

Exhibit B

This page intentionally left blank.

**EXHIBIT B
DRAFT RESOLUTION**

**Before the Planning Commission
in and for the County of Monterey, State of California**

In the matter of the application of:

DAVIS KELLY TR (PLN210191)

RESOLUTION NO. 22 -

Resolution by the Monterey County Planning Commission:

1. Finding that the disapproval of the project is Statutorily Exempt from the California Environmental Quality Act per Section 15270 of the Guidelines;
2. Denying a Coastal Administrative Permit and Design Approval to allow construction of a approximately 3,646 square foot single family dwelling, a 476 square foot attached garage, a 344 square foot guesthouse over a 398 square foot storage area connected to the single family dwelling by an arbor, and 1,350 square feet of trellises and an arbor; and
3. Denying a Coastal Administrative Permit to allow less than 120 square feet of development on slopes exceeding 30%.

[1458 Riata Road, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone (APN: 008-332-019-000)]

The Davis Kelly TR application (PLN210191) came on for a public hearing before the Monterey County Planning Commission on August 24, 2022. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, including the project plans (Attachment 1), the Monterey County Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **INCONSISTENCY** – The project, as proposed, does not conform to the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE: a) The project has been reviewed for consistency with the text, policies, and regulations in the:

- 1982 Monterey County General Plan (General Plan);
- Del Monte Forest Land Use Plan (DMF LUP);
- Monterey County Coastal Implementation Plan, Part 5 (DMF CIP); and
- Monterey County Coastal Zoning Ordinance (Title 20).

The project conflicts with the text, policies, and/or regulations of the applicable Monterey County Code (MCC). No communications were received during the course of review of the project. The subject

property is located within the Coastal Zone; therefore, the 2010 Monterey County General Plan does not apply.

- b) The project involves the construction of a 3,646 square foot one-story single-family dwelling, an attached 476 square foot attached garage, and construction of a 344 square foot guesthouse over a 398 square foot storage area, attached to the single-family dwelling by an arbor. Associated site improvements include a new driveway and a total of 1,350 square feet of trellis roof overhangs and an arbor, less than 120 square feet of development on slopes in excess of 30% and removal of 10 non-native trees. The subject property contains a 3,099 square foot single-family dwelling, attached garage, and various hardscapes. Demolition of this residence was approved under Resolution No. 21-026 (PLN210002) and therefore is not included in the proposed project's scope of work or analyzed in this resolution.
- c) Allowed Use. The subject property is located at 1458 Riata Road, Pebble Beach, within the Del Monte Forest Land Use Plan area, Coastal Zone (Assessor's Parcel Number [APN]: 008-332-019-000). The parcel is zoned Low Density Residential, 1.5 acres per unit, with a Design Control overlays in the Coastal Zone or "LDR/1.5-D (CZ)." Pursuant to Monterey County Code (MCC) Section 20.14.040, LDR zoning allows for the development of the first single-family dwelling as a principal use, subject to the granting of a Coastal Administrative Permit in each case. The project as described in preceding Evidence "b" is an allowed use in the LDR zone. Site improvements require the removal of 10 non-native trees which does not require a permit. The project also requires approximately 62 square feet of development on slopes exceeding 30% and therefore is subject to the granting of a Coastal Administrative Permit pursuant to MCC 20.64.230.C.2. Although the proposed project is an allowed use, it does not comply with the required site development standards for the LDR zoning district or the Design Control Zoning District criteria (see Finding 1, Evidence "e" and "f")
- d) Lot Legality. The subject property (approximately 30,785 square feet), APN:008-332-019-000, is identified in its current configuration and under separate ownership as Lot 13, within Block 160-A of the El Pescadero Rancho, in both the 1964 (Volume 1) and 1972 (Volume 3) Assessor's Map Book 8, Page, 33. Therefore, the County recognizes the subject property as a legal lot of record.
- e) Development Standards. The project does not meet all the required development standards for LDR Zoning District which are identified in Monterey County Code (MCC) Section 20.14.060. The maximum allowed height for main structures in the LDR zoning district is 30 feet above average natural grade. The proposed main dwelling would have a height of approximately 25 feet 2 inches above average natural grade. A guesthouse above a storage area is proposed to be attached to the main residence via an arbor. If the structure is considered "structurally attached" to the main structure by an arbor, the storage/guesthouse would be subject to the same height requirements as the main structure (Monterey County Code Section 20.62.030.d). The proposed guesthouse would have a height of approximately 17 feet above average natural grade. If the garage/guesthouse is not

considered “structurally attached,” it would be subject to a 15 foot height requirement. Arbors, trellises, and other similar accessory structures have historically been considered an attachment for the purposes of Section 20.62.030.d by staff.

The minimum required setbacks for main structures are 30 feet (front), 20 feet (sides), and 20 feet (rear). Identical to the height exception above, MCC 20.62.040.k allows attached accessory structures the same setback requirements as the main structure. A detached accessory structure is subject to a 50-foot front setback. The proposed residence and guesthouse will have front setbacks of setback 36.14 feet and 30 feet and side and rear setbacks of 20.91 feet (northwest) and 31.04 feet (southwest). Again, structural attachment of the storage/guesthouse by an arbor is necessary to in the determination of conformance with setbacks (30 feet v. 50 feet front setback requirement).

The allowed maximum floor area ratio (FAR) and site coverage is 17.5% and 15%, respectively. The subject property is 30,785 square feet, which allows a FAR of 5,387.37 square feet and a site coverage of 4,615.75 square feet. The project would result in FAR of 4,864 square feet (15.8%) and site coverage of 5,962 square feet (19.36%) when including all buildings, building overhangs of more the 30 inches (ie. the proposed trellises), and the arbor. Although the proposed FAR is under the allowable limit, the proposed site coverage exceeds the maximum by 1,344.25 square feet or 1.86%.

- f) Coverage. “Coverage” is defined by the Coastal Zoning Ordinance (Title 20 MCC) as: “...any area covered by a structure, structures or structure protrusions including decks twenty-four inches or more above grade but not including building eaves of thirty inches or less or similar non-usable areas, paved driveways, sidewalks, paths, patios and decks less than twenty-four inches above grade.” (MCC 20.06.250). Building site coverage is a common zoning tool used to control the bulk and mass of structures. Each zoning district in Monterey County Code (MCC) contains site development standards including setbacks and lot coverage. Coverage is expressed as a percentage of the overall lot size and varies based on the type and nature of each zoning district.

“Structure” is defined as: “...anything constructed or erected, except fences under six feet in height, the use of which requires location on the ground or attachment to something having location on the ground, but not including any trailer or tent.” (MCC 20.06.1220).

Trellises and arbors are subject to site development standards including setback and lot coverage in most cases. In this case, multiple trellises and one arbor are proposed. The trellises proposed for this project extend from the eaves of the buildings and overlie decks and patio areas proposed at the rear of the house. These trellises would be included in the lot coverage calculation since they extend 30 inches from the exterior wall. The arbor between the main

dwelling and the proposed storage/guesthouse building is relied upon as a “structural connection” for the purposes of applying height and setbacks as an “attached structure.” (See MCC Chapter 20.62 for height and setback exceptions).

“Structural connection” is defined as “...connection between structures by means of structural members such as bearing walls, columns, beams, girders, or roof.” (MCC 20.06.1200).

“Structure, Attached” is defined as “...any structure which is connected to any other structure by means of a structural connection, such as a roof, stairway, atrium, breezeway or other structural connection.” (MCC 20.06.1240)

For this project, without the structural attachment, the storage/guesthouse structure are over the height for a detached accessory structure in the LDR zone (maximum 15 feet allowed, 17 feet proposed) and would not meet the front setback requirement from Alvarado Road (50 feet required, 30 feet proposed). In summary, it is inappropriate to allow an arbor to represent a “structural connection” for height and setback purposes but not count it toward site development standards like setback and lot coverage.

- g) Design. Pursuant to Title 20, Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District (“D” zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The colors of the proposed development consist of a white smooth stucco and red cedar horizontal wood siding, black steel windows and doors, and grey metal roofing. Although these colors and materials are consistent and compatible with residences in the surrounding area which contains electric architectural styles, the proposed bulk and mass of the project is not compatible with because the proposed development exceeds the allowable lot coverage (see Finding 1, evidence “e”).
- h) Combined Structural and Impervious Surface Coverage. The subject property is located within the Pescadero Watershed, a designated watershed as shown on the DMF LUP Figure 2b. Therefore, site structural and impervious surface coverage is limited to 9,000 square feet per DMF LUP Policy 77. As proposed, the project has an impervious surface coverage of 8,130 square feet.
- i) Visual Resources. The project is consistent with DMF LUP policies for the protection of scenic and visual resources. As depicted on DMF LUP Figure 3, Visual Resources, the subject property is located within the public viewshed. As proposed, residence will not be visible from 17 Mile Drive, Point Lobos, or any other public viewing area due to existing topography, distance and siting.
- j) Cultural Resources. DMF CIP Section 20.147.080.B.1 states that an archaeological survey report shall be required for all development within a known or potential archaeological resource area. According to the Monterey County Geographic Informational System (GIS), the

subject property has a high archaeological sensitivity and is not within 750 of a known archeological resource. The Preliminary Cultural Resources Reconnaissance (LIB210071) concluded that there is no surface evidence of potentially significant archaeological resources. In addition, the subject lot has been previously disturbed by structures, hardscape, and landscape development. Therefore, there is no evidence that any cultural resources would be disturbed, and the potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County's standard project condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during demolition.

- k) Development on Slopes in Excess of 30%. MCC Section 20.64.230.C.2.d allows additions to existing structures on natural or man-made slopes, provided the addition does not exceed 120 square feet on the slope area and that a Coastal Administrative Permit is obtained. As proposed, the project involves 62 square feet hardscape and landscaping walls on slopes in excess of 30%. Although this development is not an addition to the existing residence as that residence is slated to be demolished under Resolution No. 21-026, the proposed development on slopes meets the intent of this policy. The proposed development on slopes will be in addition to the proposed replacement residence. The portions in excess of 30% are anticipated to be man-made slopes because they are adjacent to Riata Road and the existing driveway and are therefore likely the sluff of the existing developments grading. As proposed, the project limits the required development on slopes in excess of 30%.
- l) Environmentally Sensitive Habitat Area. According to the Monterey County Geographic Information System, the subject property is located in an area with a known occurrence of a special status species, Yadon's Piperia, which is federally protected. Therefore, pursuant to Section 20.147.040 of the Del Monte Forest Coastal Implementation Plan, a biological report was prepared. This Biological Resource Report (LIB220076) concluded that Yadon's Piperia had a moderate potential to occur on the project site and therefore recommended that a focused botanical survey for Yadon's Piperia be conducted within the project site during the appropriate blooming period to determine if the species is present. A Special Status Survey (LIB220208) was conducted on March 28, 2022 and determined that no special-status plant species, including Yadon's Piperia, were identified on the property. As such, no further actions were recommended by the biologist and the project will have no impact on Environmentally Sensitive Habitat Area or special status species.
- m) Tree Removal. Upon completion of a site visit, staff identified two Monterey Pine trees (16 inches in diameter at breast height) which had been removed without the benefit of a Coastal Development Permit. According to the prepared arborist report, Pacific Gas & Electric Company (PG&E) removed these trees. Staff worked with PG&E and has confirmed that these trees were removed because they were in a dead or dying condition and posed an immediate threat to

the nearby utility line. In this case, a Coastal Development Permit was not required for such removal pursuant to DMF CIP Section 20.145.050.A.3 and MCC Sections 20.70.120.O, and R, relating to hazardous trees posing a threat to public services, vegetation removal and maintenance activities. Additionally, Resources Code - PRC § 4293) administered by Cal Fire requires the removal of dead, diseased, defective and dying trees that could fall into the lines. The project also involves the removal of 10 non-native trees, which is not regulated under applicable MCC.

- n) Guesthouse. The project includes a Coastal Administrative Permit and Design Approval to allow construction of a 344 square foot guesthouse over a 398 square foot storage area. As designed and conditioned, the guesthouse conforms to MCC Section 20.64.020.
- o) Land Use Advisory Committee (LUAC). Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application was referred to the Del Monte Forest LUAC because the project is subject to review by the Planning Commission. At the August 4, 2022 Del Monte Forest LUAC public meeting, the LUAC voted 7-0 (7 ayes, 0 nays) to support the project with the change that the County of Monterey and the Applicant come to an agreement or conclusion regarding site coverage and trellises/arbors. The LUAC agreed that although the design of the proposed residence was appropriate for the surrounding area, the LUAC could not support as proposed due to the exceedance of the allowable site coverage. Thus, the LUAC recommended the above-mentioned change.
- p) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in HCD-Planning File No. PLN210191.

- 2. **FINDING:** **CEQA (Exempt)** – The project is statutorily exempt from environmental review.
EVIDENCE:
 - a) Section 152700(a) of the CEQA Guidelines states that the California Environmental Quality Act does not apply to projects which a public agency rejects or disapproves.
 - b) This project was disapproved due to inconsistency with the applicable plans and policies as described in Finding 1.

- 3. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.
EVIDENCE:
 - a) Board of Supervisors. Pursuant to Title 20, Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Coastal Commission. Denial of a project is not a decision that is appealable to the California Coastal Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Find that the disapproval of the project is Statutorily Exempt from the California Environmental Quality Act per Section 15270 of the Guidelines; and
2. a Coastal Administrative Permit and Design Approval to allow construction of a approximately 3,646 square foot single family dwelling, a 476 square foot attached garage, a 344 square foot guesthouse over a 398 square foot storage area connected to the single family dwelling by an arbor, and 1,350 square feet of trellises and an arbor; and
3. Deny a Coastal Administrative Permit to allow less than 120 square feet of development on slopes exceeding 30%.

PASSED AND ADOPTED this 24th day of August, 2022 upon motion of _____, seconded by _____, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Craig Spencer
Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

This page intentionally left blank



PEBBLE BEACH RETREAT

1458 RIATA RD. PEBBLE BEACH, CA 93953

05/09/2022 planning update

ABBREVIATIONS

ABV ABOVE	HC HOLLOW CORE
AFB ABOVE FINISHED FLOOR	HM HOLLOW METAL
ACOUS ACCOUS	HRHZ HORIZONTAL
ADJ ADJUSTABLE	HB HOSE BIBB
ANOD ANODIZED	INCAND INCANDESCENT
AC AIR CONDITIONING	INCH INCHES
ALT ALTERNATE	INCL INCLUDE (D), (ING)
ALUM ALUMINUM	ID INSIDE DIAMETER
ADA AMERICANS WITH DISABILITIES ACT	INSUL INSULATION, INSULATING
A.B. ANCHOR BOLT	INT INTERIOR
ARCH ARCHITECT (URAL)	LAM LAMINATE (D)
AREA AREA DRAIN	LAV LAVATORY
ASPH ASPHALT	LH LEFT HAND
BRG BEARING	LONG LONG
BW BEAM	LH LONG LEG HORIZONTAL
B.M. BENCH MARK	LLV LONG LEG VERTICAL
BTWN BETWEEN	MSRY MASONRY
BT BITUMINOUS	MAX MAXIMUM
BLK (G) BLOCK (ING)	MECH MECHANICAL
BOB BOARD	M.C. MEDICINE CABINET
B.S. BOTH SIDES	MED MEDIUM
B.W. BOTH WAYS	MBR MEMBER
BTM BOTTOM	MEMB MEMBRANE
B.O.B. BOTTOM OF BEAM	MTL METAL
B.O.D. BOTTOM OF DECK	M. METER (S)
B.O.S. BOTTOM OF STEEL	MIN MINIMUM
BLDG BUILDING	MISC MISCELLANEOUS
BU BUILT UP	NOM NOMINAL
CAB CABINET	N NORTH
C.I. CAST IRON	NOT N CONTRACT
C.B. CATCH BASIN	NTS NOT TO SCALE
CG ON CENTER (S)	OC ON CENTER (S)
CEM CEMENT	O.H. OPPOSITE HAND
CER TILE CERAMIC TILE	OPG OPENING
CMU CONCRETE MASONRY UNIT	OPP OPPOSITE
CONC CONSTRUCTION	OD OUTSIDE DIAMETER
CONST CONSTRUCTION	PTD PAINTED
CONT CONTINUOUS, CONTINUE	PANEL ELECTRICAL PANELBOARD
CON CONTROL JOINT	PERF PERFORATED
CTR COUNTERTOP	PLAS PLASTER
D DIA DIAGONAL, CIRCUMFERENCE	PLM PLASTIC LAMINATE
COMB COMBINATION	PNL PANEL
CONC CONCRETE	PL PLATE
CONST CONSTRUCTION	PLYWD PLYWOOD
CONT CONTINUOUS, CONTINUE	PVC POLYVINYL CHLORIDE
C.J. CONTROL JOINT	PSI POUNDS PER SQUARE INCH
ONR COUNTERTOP	PROP PROPERTY LINE
D DEMO DEMOLISH, DEMOLITION	R RADIUS
DTL DETAIL	REF REFER (ENCE)
DR DOOR	REFL REFLECTED
D.H. DOUBLE HUNG	REFG REFRIGERATOR
DBL DOUBLE	RAQ RETURN AIR GRILLE
DC DIAGONAL	REQD REQUIRED
DM DIMENSION	RH RIGHT HAND
DR DOOR	RD ROOF DRAIN
D.H. DOUBLE HUNG	RO ROUGH OPENING
DBL DOUBLE	RH RIGHT HAND
DISP DISPENSER	RD ROOF DRAIN
DWR DRAWER	RO ROUGH OPENING
DWG DRAWING	SCHED SCHEDULE
E EAST	SEC SECTION
ELEC ELECTRIC (AL)	SHT SHEET
ELEV ELEVATION	SHLV SHELVE
ELV ELEVATOR	SIM SIMILAR
EXIST EXISTING	SC SOLID CORE
EPS EQUAL	S SOUTH
EMERG EMERGENCY	SP SPACE (S)
EX EXPOSED	SPEC SPECIFICATION, SPECIFIED
EXP JT EXPANSION JOINT	SQ SQUARE
EIS EXTERIOR INSULATING FINISH SYSTEM	SS STAINLESS STEEL
FEC FIRE EXTINGUISHER CABINET	STD STANDARD
FIN FINISH (ED)	STL STEEL
FIN FLR FINISHED FLOOR	STOR STORAGE
FP FIREPLACE	STR STRINGER
FLR FLOOR (ING)	SD STORM DRAIN
F.D. FINISHED DIMENSION	STRUCT STRUCTURAL
FD FLOOR DRAIN	TAS TEXAS ACCESSIBILITY STANDARDS
FLUOR FLUORESCENT	TEL TELEPHONE
FRP FIBERGLASS REINFORCED PANEL	TEMP TEMPERED
FRZR FREEZER	THK THICK (NESS)
FT FOOT (FEET)	T&G TONGUE AND GROOVE
FTG FOOTING	T.O.P. TOP OF PLATE
FOUND FOUNDATION	T.O.S. TOP OF STEEL
GA GAGE, GAUGE	T.O.W. TOP OF WALL
GALV GALVANIZED	TYP TYPICAL
G.C. GENERAL CONTRACTOR	UNO UNLESS NOTED OTHERWISE
GL GLASS	VERT VERTICAL
GLZ GLAZING	WSCS WAINSCOT
GYP BD. GYPSUM WALL BOARD	WH WATER HEATER
GWB GYPSUM	WC WATER CLOSET
H.C. HANDICAPPED	WP WATERPROOFING
HDWE HARDWARE	WWF WELDED WIRE FABRIC
HDR HEADER	W WEST
HVAC HEATING / VENTILATING / AIR CONDITIONING	WIN WINDOW
H.D. HEAVY DUTY	W/ WITH
HGT HEIGHT	W/O WITHOUT
H HIGH	WD WOOD

ABBREVIATION SYMBOLS

	ANGLE
	CENTERLINES
	CHANNEL
	PENNY
	PLATE
	DIAMETER
	WIDE FLANGE BEAM

DRAWING SYMBOLS

	DOOR NUMBER
	WINDOW NUMBER
	ELEVATION MARK - HEIGHT ABOVE REF. ELEV. (0'-0")
	REVISION NUMBER
	ROOM NAME & NUMBER
	INTERIOR ELEVATION NUMBER & SHEET NUMBER
	DETAIL NUMBER
	SHEET NUMBER
	SHEET NUMBER
	SHEET NUMBER
	SECTION NUMBER
	SHEET NUMBER

DIRECTORY

Civil Engineering
L&S Engineering and Surveying
2460 Garden Road, Suite G
Monterey, CA 93940
Contact: Mark Sterner
Phone: (831) 655-2723
Email: mark@landsengineers.com

Landscape Architects
Bliss Landscape Architecture, P.C.
2400 Robinson Canyon Road
Carmel, California 93923
Contact: Michael Bliss
Phone: (831) 298-0990
Email: michael@blisslandscapearch.com

Structural Engineering
Strandberg Engineering
1511 15th Street
San Francisco, CA 94103
Contact: David Strandberg
Phone: (415) 778-8726
Email: david@strandbergeng.com

MEP Engineering
Monterey Energy Group, Inc.
26465 Camel Rancho Blvd. Ste. 8
Carmel, CA 93923
Contact: David Knight
Phone: (831) 372-8328
Email: dave@meg4.com

Lighting
Byrdwaters Design
Contact: Steven Byrd
Phone: (214) 240-3369
Email: steven@byrdwaters.com

PROJECT DATA

PROJECT: PEBBLE BEACH RETREAT
PROJECT ADDRESS: 1458 RIATA RD, PEBBLE BEACH, CA 93953
OWNER: DAVIS FAMILY TRUST DATED JULY 10, 2001, AS AMENDED, 3875 TANGER LANE, JACKSON, WY 83001
SCOPE OF WORK: CONSTRUCTION OF A NEW 4,914 SQ FT SINGLE FAMILY RESIDENCE, AN ATTACHED GARAGE, AND A NEW DRIVEWAY.
BUILDING USE: RESIDENCE

ZONING DATA

PLANNING AREA: DEL MONTE FOREST LUP
ASSESSOR'S PARCEL #: 008-332-019-000
LOT / PARCEL SIZE: 30,785 SQ FT (0.707 ACRES)
BUILDING SITE COVERAGE: ALLOWED: 4,617.75 SQ FT (15% OF LOT SIZE)
PROPOSED: 4,585 SQ FT
FAR: ALLOWED: 5,387.38 SQ FT (17.5% OF LOT SIZE)
PROPOSED: 4,914 SQ FT

PESCADERO WATERSHED, NON-PERMEABLE COVERAGE: ALLOWED: 9,000 SQ FT
PROPOSED: 7,527 SQ FT
INCLUDES: 2,942 SQ FT DRIVEWAY & ARBOR
4,585 SQ FT HOUSE
(COMBINED STRUCTURES, NON-PERMEABLE SURFACES, & ROOFS > 30" OVERHANG)
ALL OTHER PATIOS AND DECKS ARE PERMEABLE

GENERAL LAND USE DESIGNATION: 1C
LDR1.5-D(CZ)
1.5AU

HEIGHT & SETBACK REGULATIONS: SETBACKS: FRONT 30'-0", REAR / SIDE 20'-0", MAX HEIGHT 30'-0".

GRADING: YES, REFER TO CIVIL PLANS
TREES TO BE REMOVED: REFER TO LANDSCAPE DRAWINGS
WASTE WATER SYSTEM: PBCSD (PEBBLE BEACH COMMUNITY SERVICES DISTRICT)
WATER SERVICE: CAL AM (CALIFORNIA AMERICAN WATER)
NO. OF PLUMBING FIXTURES: 28.5

Type of Fixture	Fixture	Value	Count
Washbasin (lavatory sink), each	2	1	4
Two washbasins in the Master Bathroom	1	1.7	1
Toilet, High Efficiency (HET)*	5	1.3	6.5
Toilet, Ultra High Efficiency (UHET)*	1	0.8	0.8
Urinal (1.0 gallon per flush)	1	0.5	0.5
Urinal (0.5 gallon per flush)	1	0.5	0.5
Zero Water Consumption urinal*	1	0	0
Masterbath (one per sink), tub & separate shower	1	3	3
Large bathtub (may have showerhead above)	2	2	2
Standard bathtub (may have showerhead above)	3	2	6
Shower, separate stall	2	2	2
Shower additional fixtures: heads, body spray, etc.	2	2	2
Shower system (per space)	2	2	2
Kitchen sink (with optional dishwasher)	1	1.5	1.5
Dishwasher, each additional (with optional sink)	1	1.5	1.5
Dishwasher, ultra-low consumption (with opt. sink)*	1	1.5	1.5
Laundry sink/laundry area (one per residential site)	1	2	2
Washing machine	2	2	2
Washing machine, HEW (water factor 3.0 or less)*	2	2	2
Bidet	1	1	1
Entertainment sink	1	1	1
Vegetable sink	1	1	1
Swimming pool (each 100 sq-ft of pool surface)	1	-0.5	-0.5
Instant access water			
Totals			28.5

PARKING: 2 GARAGE SPACES AND 2 GUEST PARKING SPOTS
COASTAL ZONE: YES
SRA FIRE HAZARD ZONE: VERY HIGH / HIGH
FLOOD ZONE; FLOODWAY: X: AREA OF MINIMAL FLOOD HAZARD

BUILDING DATA

STORIES: 2
TYPE OF CONSTRUCTION: VB
OCCUPANCY GROUP: R-1

DRAWING INDEX

GENERAL

- G001 PROJECT INFORMATION SHEET
- G002 RENDERINGS
- G003 CODE COMPLIANCE

CIVIL

- C1 TITLE SHEET
- C2 SITE DEMOLITION PLAN
- C3 SITE GRADING PLAN
- C4 SITE STORM DRAIN AND UTILITY PLAN
- C5 STORMTECH UNDERGROUND INFILTRATION SYSTEM DETAILS
- C6 SITE CROSS SECTIONS & DETAILS
- C7 EROSION CONTROL PLAN
- C8 CONSTRUCTION MANAGEMENT PLAN

LANDSCAPE

- L0.1 TREE PROTECTION PLAN
- L0.2 FUEL MANAGEMENT PLAN
- L1.0 LANDSCAPE SITE PLAN
- L1.1 Unnamed
- L3.0 PLANTING PLAN
- L3.1 PLANTING DETAILS
- L4.0 IRRIGATION PLAN
- L5.0 LIGHTING PLAN

ARCHITECTURAL

- A100 SITE PLAN
- A200 FLOOR PLAN - OVERALL
- A201 FLOOR PLAN - WEST
- A202 FLOOR PLANS - EAST
- A240 ROOF PLAN - OVERALL
- A260 DOOR SCHEDULE
- A261 WINDOW SCHEDULE
- A262 WINDOW & ROOM SCHEDULE
- A301 REFLECTED CEILING PLAN - WEST
- A302 REFLECTED CEILING PLANS - EAST
- A400 EXTERIOR ELEVATIONS - NORTH
- A401 EXTERIOR ELEVATIONS - SOUTH
- A402 EXTERIOR ELEVATIONS - EAST & WEST
- A500 BUILDING SECTIONS - PAVILION & KITCHEN
- A501 BUILDING SECTIONS - PAVILION & KITCHEN
- A502 BUILDING SECTIONS - OAK SUITE & GARAGE
- A503 BUILDING SECTIONS - ARBOR & BEDROOM 2
- A700 INTERIOR ELEVATIONS
- A701 INTERIOR ELEVATIONS
- A702 INTERIOR ELEVATIONS
- A703 INTERIOR ELEVATIONS
- A704 INTERIOR ELEVATIONS
- A900 PLAN DETAILS
- A901 PLAN DETAILS
- A902 DETAILS
- A903 DETAILS
- A904 DETAILS - EAST

STRUCTURAL

- S1.0 GENERAL NOTES
- S1.1 TYPICAL CONCRETE DETAILS
- S1.2 TYPICAL CONCRETE DETAILS
- S1.3 TYPICAL WOOD DETAILS
- S1.4 TYPICAL WOOD DETAILS
- S1.5 TYPICAL STEEL DETAILS
- S1.6 TYPICAL STEEL DETAILS
- S1.7 TYPICAL CMU DETAILS
- S2.0 CRAWL SPACE FOUNDATION PLAN - WEST
- S2.1 FLOOR FRAMING & FOUNDATION PLAN - WEST
- S2.2 TRANSOM & CEILING FRAMING PLAN - WEST
- S2.3 ROOF FRAMING PLAN - WEST
- S2.4 ROOF & FLOOR FRAMING & FOUNDATION PLAN - EAST
- S3.0 SECTIONS
- S3.1 SECTIONS
- S3.2 SECTIONS
- S3.3 SECTIONS
- S3.4 SECTIONS
- S3.5 SECTIONS
- S4.0 FOUNDATION DETAILS
- S4.1 FOUNDATION DETAILS
- S5.0 ROOF & FLOOR FRAMING DETAILS

MECHANICAL

- M0.1 NOTES
- M0.2 NOTES
- M0.3 ENERGY COMPLIANCE
- M0.4 2019 LOW-RISE RESIDENTIAL MANDATORY MEASURES SUMMARY
- M2.1 MAIN LEVEL RADIANT HEATING PANEL LAYOUT
- M2.2 MAIN LEVEL RADIANT HEATING TUBING LAYOUT
- M2.3 HVAC PLAN
- M2.4 CASITA HVAC PLAN
- M6.1 PIPING SCHEMATIC
- M6.2 SCHEDULES & DETAILS
- M6.3 JAGA DETAILS
- M6.5 ECO-WARM INSTALLATION DETAILS

PLUMBING

- P0.1 LEGENDS, SCHEDULES, NOTES & DETAILS
- P2.1 WASTE & VENT PLAN
- P2.2 DOMESTIC WATER & GAS PLAN & GAS LINE SCHEMATIC
- P2.3 CASITA WASTE & VENT PLAN
- P2.4 CASITA DOMESTIC WATER & GAS PLAN

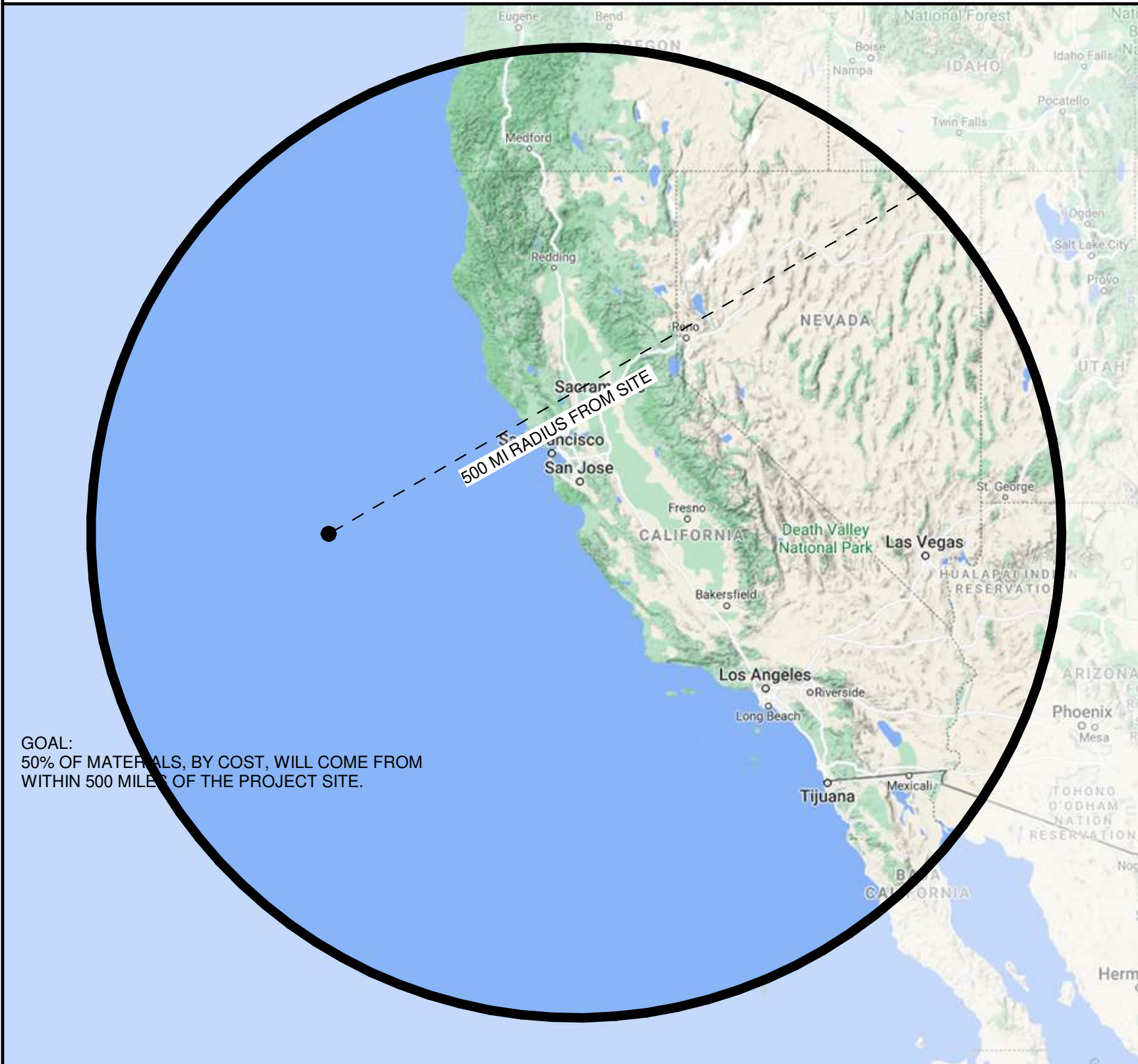
ELECTRICAL

- EL201 ELECTRICAL PLAN - WEST
- EL202 ELECTRICAL PLANS - EAST

LIGHTING

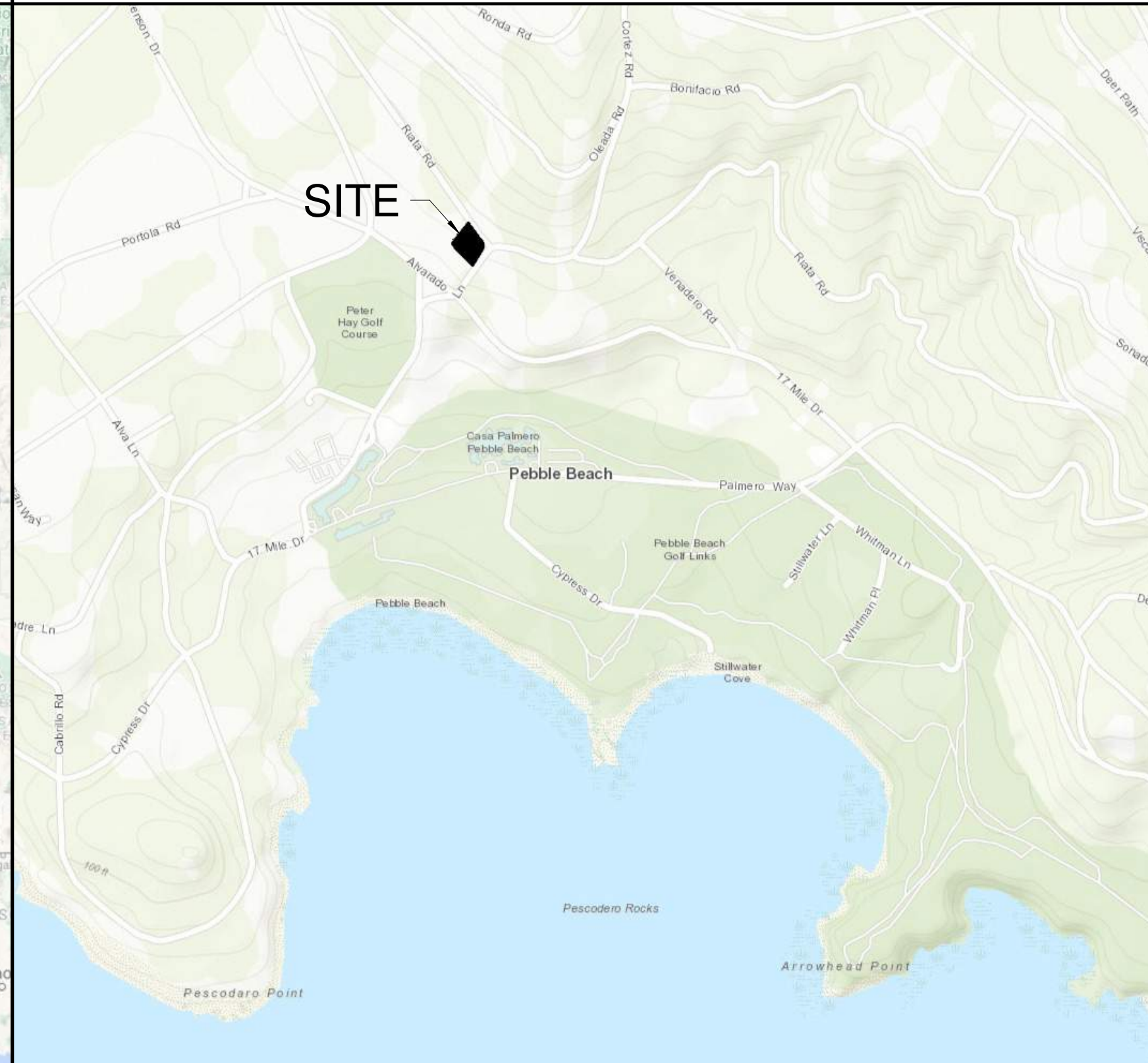
- LD100 FLOOR PLAN - OVERALL
- LD201 LIGHTING PLAN - WEST
- LD202 LIGHTING PLAN - EAST ARBOR & BEDROOM 2

VICINITY MAP



GOAL: 50% OF MATERIALS, BY COST, WILL COME FROM WITHIN 500 MILES OF THE PROJECT SITE.

VICINITY MAP



ARCHITECTS INC.
LAKE FLATO
311 THIRD STREET
SAN ANTONIO, TEXAS 78205
P.210.227.3333 F.1.202.4.9515
www.lakeflato.com



PEBBLE BEACH RETREAT

1458 Riata Rd. Pebble Beach, CA 93953

02/18/2022 LIF PROJ. NO. 20154
PROJ. ARCHITECT SR DRAWN BY: Author

SET/ISSUE DATES	
DATE	ISSUE
06/23/21	PLANNING AND BUILDING
08/27/21	DD PRICING
10/07/21	PLANNING AND BUILDING UPDATE
02/18/22	BUILDING PERMIT

REVISIONS		
NO.	DATE	DESCRIPTION

BUILDING PERMIT

PROJECT INFORMATION SHEET

G001

General File Path: C:\Myprojects\General\Information\Information\...
Local File Path: C:\Users\lflato\Documents\Projects\Pebble Beach\2021\Information\...



**PEBBLE
 BEACH
 RETREAT**

1458 Riata Rd. Pebble
 Beach, CA 93953

02/18/2022 LIF PROJ. NO. 20154
 PROJ. ARCHITECT SR DRAWN BY: Author

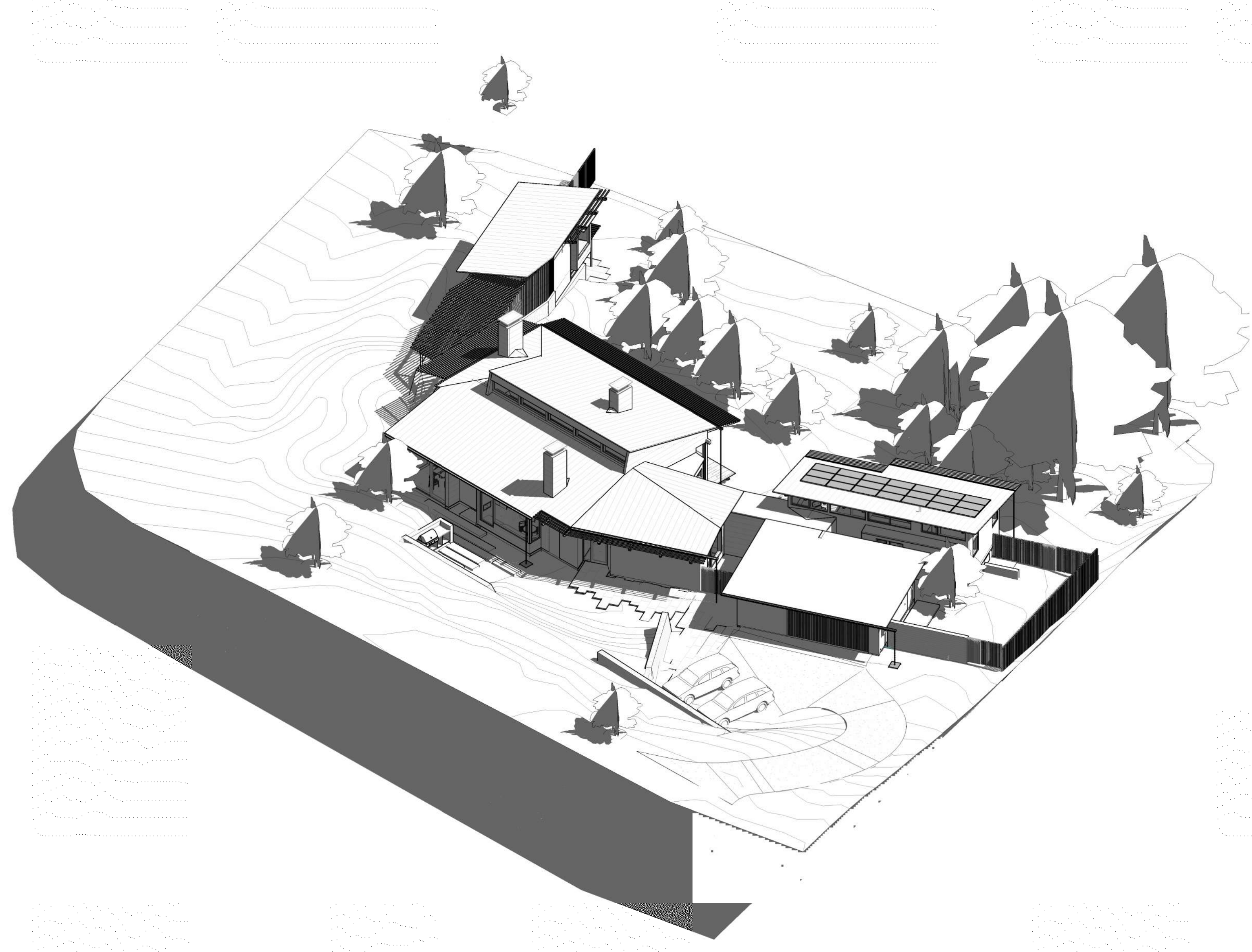
SET ISSUE DATES	
DATE	ISSUE
06/23/21	PLANNING AND BUILDING
08/27/21	DD PRICING
10/07/21	PLANNING AND BUILDING UPDATE
02/18/22	BUILDING PERMIT

REVISIONS		
NO.	DATE	DESCRIPTION

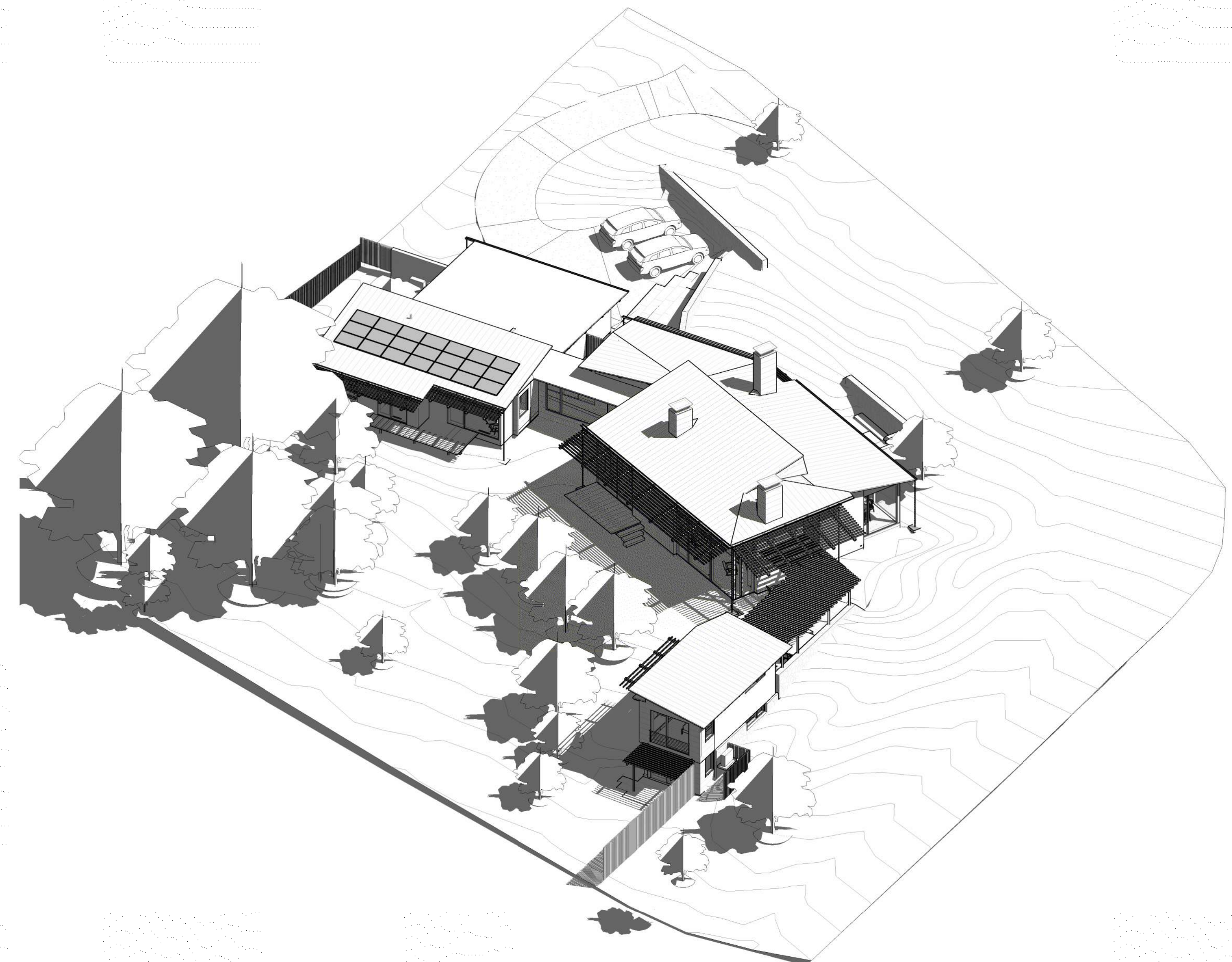
BUILDING PERMIT

RENDERINGS

G002



2 OVERALL AXON - NORTH



1 OVERALL AXON - SOUTH

GENERAL NOTES

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS HERE ON. IN ADDITION ALL WORK SHALL ALSO COMPLY WITH TITLE 24 AND 2019 CALIFORNIA BUILDING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA ELECTRICAL CODE AND THE CALIFORNIA ENERGY CODE AS THEY MAY APPLY.
2. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
4. IN THE EVENT THAT THE CONTRACTOR FINDS A CONFLICT OR A DEFICIENCY IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, THE OWNER, AND OR THE OWNER'S REPRESENTATIVE(S) IMMEDIATELY.
5. ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER PRIOR TO THEIR CONSTRUCTION, AND SHALL BE ACCURATELY SHOWN ON DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.
6. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE EXISTING TOPOGRAPHY SHOWN, NOR THE ACCURACY OF THE DELINEATION OF SAID UNDERGROUND UTILITIES NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED AND ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS HEREBY NOTICED THAT PRIOR TO COMMENCING CONSTRUCTION HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THEIR UNDERGROUND UTILITIES AND FACILITIES. REPAIR OF DAMAGE TO ANY UNDERGROUND UTILITY OR FACILITY SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
7. THE CONTRACTOR SHALL NOTIFY UNDERGROUND UTILITY SERVICE ALERT AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
8. THE CONTRACTOR SHALL LEAVE A 24-HOUR EMERGENCY TELEPHONE NUMBER WITH THE SHERIFF, FIRE DEPARTMENT, AND PRIVATE SECURITY COMPANY (IF APPLICABLE), AND KEEP THEM INFORMED DAILY REGARDING ANY CONSTRUCTION RELATED ACTIVITY IN THE PUBLIC RIGHT-OF-WAY.
9. EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED SHALL BE REPLACED AS DIRECTED BY THE COUNTY AND OR THE ENGINEER AT THE CONTRACTOR'S EXPENSE WHETHER SHOWN ON THE PLANS OR NOT, EVEN IF DAMAGE OR DISPLACEMENT WAS NOT CAUSED BY ACTUAL WORK PERFORMED BY THE CONTRACTOR.
10. THE CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL MANHOLES, VALVE AND MONUMENT COVERS WITHIN THE WORK AREA UNLESS NOTED OTHERWISE.
11. THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT AND SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER AND THE ENGINEER FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
12. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.
 - B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
13. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL, AND PROPER DISPOSAL OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: DEBRIS FROM THE SITE, TREES, ROOT BALLS AND FENCING.
15. ALL CUT AND FILL SLOPES DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY PUBLIC WORKS DEPARTMENT, THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
16. CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO THE HOURS OF 7:00 AM TO 5:00 PM.
17. CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED IN GOOD CONDITION.
18. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT STATE OF CALIFORNIA DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, SALINAS, CA. PHONE (811) 443-3200.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND TRAFFIC CONTROL WITHIN THE CONSTRUCTION AREA.
20. FOR ALL TRENCH EXCAVATIONS FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, 21 WEST LAUREL DRIVE, SUITE 405, SALINAS CALIFORNIA 93908, PHONE (831) 443-3200, PRIOR TO ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
21. AT COMPLETION OF THE CONSTRUCTION, THE CONTRACTOR SHALL FURNISH REPRODUCIBLE AS-BUILT PLANS TO THE ENGINEER AND TO THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OF PUBLIC WORKS. SAID PLANS SHALL SHOW ALL CHANGES AND ADDITIONS/DELETIONS IN RED ON THE REPRODUCIBLE PLANS.
22. PAYMENT SECTION TO BE DETERMINED AS SHOWN ON THESE PLANS.
23. A SEPARATE PERMIT IS REQUIRED FOR THE CONSTRUCTION OF ALL RETAINING WALLS.
24. TREES WHICH ARE LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.

GRADING NOTES

1. REFER TO GENERAL NOTES AND DETAILS AS SHOWN ON THESE PLANS.
2. ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE #2535, EROSION CONTROL ORDINANCE #2806, THE CALIFORNIA BUILDING CODE AND GEOTECHNICAL REPORT ENTITLED:
 - *GEOTECHNICAL INVESTIGATION DESIGN PHASE FOR PROPOSED RESIDENCE
 - 1458 RIATA ROAD, PEBBLE BEACH, MONTEREY, CALIFORNIA*
- PREPARED BY: BUTANO GEOTECHNICAL ENGINEERING, INC.
231 GREEN VALLEY ROAD, SUITE E
FREEDOM, CA 95019
(831) 724-2612
- DATED: FEBRUARY 19, 2021
3. ALL GRADING AND COMPACTION SHALL BE DONE IN THE PRESENCE OF AND TESTED BY THE SOILS ENGINEER AND/OR SOILS TESTING CONSULTANT, WHO WILL PROVIDE THE ENGINEER WITH COPIES OF ALL TEST RESULTS. THE CONTRACTOR SHALL SUBMIT TESTS AND REPORT FROM SOILS ENGINEER TO THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT PRIOR TO SCHEDULING ANY INSPECTIONS.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO GRADING.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS TO THE SATISFACTION OF THE SOILS ENGINEER AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY BY THE SOILS ENGINEER.
6. WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS DIRECTED IN THE FIELD BY THE SOILS ENGINEER.
7. ALL CUT AND FILL SLOPE SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE DIRECTED IN WRITING BY THE ENGINEER OR SOILS ENGINEER AND APPROVED BY THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT.
8. ALL CUT SLOPES SHALL BE SLOPED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER AND LANDSCAPE MAINTENANCE WILL BE REQUIRED UNTIL GROUND COVER IS ESTABLISHED.
9. ELEVATION BENCHMARK SEE SHEET C3.
10. CONTRACTOR SHALL USE CAREFUL GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.
11. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CONTROL OF WIND BLOWN MATERIAL IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE. THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
12. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST TWO (2) DAYS IN ADVANCE OF COMMENCING WORK, INCLUDING SITE STRIPPING AND GRADING OPERATIONS. THIS WORK SHALL BE OBSERVED AND TESTED BY THE SOILS ENGINEER.
13. STRIPINGS TO BE USED AS TOPSOIL SHALL BE STOCKPILED IN APPROVED AREAS FOR FUTURE USE IN LANDSCAPED AREAS.
14. IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED DURING CONSTRUCTION WORK SHALL BE STOPPED IMMEDIATELY WITHIN THE 100 FT OF THE FIND UNITS. A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE MONTEREY COUNTY PMA-PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY RETURN THE SITE TO DETERMINE THE EXTENT OF RESOURCES AND TO DEVELOPE PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.
15. ALL HALL ROADS SHALL BE RETURNED TO ORIGINAL CONDITION AND RESEDED WHEN GRADING IS COMPLETE. NO HALL ROADS SHALL BE ALLOWED IN AREAS WHICH ARE NOT SHOWN TO BE GRADED WITHOUT PRIOR APPROVAL OF THE ENGINEER.
16. RESTORATION OF HALL ROADS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
16. EARTHWORK QUANTITIES ARE SHOWN ON SHEET C3.
17. ALL GRADES TO BE A MINIMUM OF 5% AWAY FROM FOUNDATIONS FOR 10 FEET UNLESS SPECIFIED OTHERWISE ON PLANS.
18. TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOTBALLS. THE REMAINING CAVITY SHALL BE LEAKED OF ALL ROOTS LARGER THAN 2" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE ORIGINAL GROUND.
19. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
 - A) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
 - C) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- (MONTEREY COUNTY GRADING ORDINANCE 2806, 2900-16.12.02)
20. PAD ELEVATIONS SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
21. GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPACTING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS SCRAPING TO PROVIDE A BOND WITH THE NEW FILL, AND WHERE SLOPES ARE STEEPER THAN 5 TO 1, AND THE HEIGHT IS GREATER THAN 6 FT, BY BENCHING INTO SOUND BEDROCK OR OTHER COMPETENT MATERIAL AS DETERMINED BY THE GEOTECHNICAL ENGINEER.
22. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH. NO ROCK OVER 12" IN ITS MAXIMUM DIMENSION MAY BE USED IN A FILL.
23. PRIOR TO FINAL INSPECTION, THE GEOTECHNICAL CONSULTANT SHALL PROVIDE CERTIFICATION THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
24. ALL FILL SOILS SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
25. OVER EXCAVATION SHOULD BE CONDUCTED BELOW THE FOUNDATIONS AND FLOOR SLABS IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
26. A COPY OF ALL FIELD REPORTS/COMPACTION TESTS, AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.

STATEMENT OF PURPOSE

THESE PLANS WERE PRODUCED TO PROVIDE FOR GRADING, DRAINAGE, AND EROSION CONTROL FOR AND DURING THE CONSTRUCTION OF A SINGLE FAMILY RESIDENCE AT 1458 RIATA ROAD, PEBBLE BEACH CA 93953

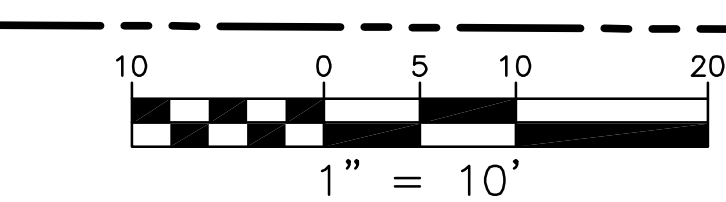
FIRE DEPARTMENT NOTES

1. FIRE007-DRIVEWAYS SHALL NOT BE LESS THAN 12 FT WIDE UNOBSTRUCTED, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FT. ALL DRIVEWAYS SHALL NOT EXCEED 10% WHERE THE GRADE EXCEEDS 6 PERCENT. A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FT OF AC OR 0.34 FT OF AB SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING APPROXIMATELY 22 TONS, AND BE ACCESSIBLE BY CONVENTIONAL-DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS 90° AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS CURVATURE SHALL BE 25 FT. FOR DRIVEWAYS WITH TURNS GREATER THAN 90°, THE MINIMUM HORIZONTAL INSIDE RADIUS CURVATURE SHALL BE 28 FT. FOR ALL DRIVEWAY TURNS AN ADDITIONAL SURFACE OF 4 FT SHALL BE ADDED. BURNMARKS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FT OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50 FT OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40 FT FROM THE CENTER LINE OF A SINGLE DRIVEWAY. IF A HAMMERHEAD T IS USED, THE TOP OF THE T SHALL BE A MINIMUM OF 60 FT IN LENGTH, OR AS APPROVED BY THE FIRE CHIEF.
2. FIRE01-ALL GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST 30 FT FROM THE ROADWAY AND SHALL OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THE ROAD. GATE ENTRANCES SHALL BE AT LEAST THE WIDTH OF THE TRAFFIC LANE BEHIND THE GATE. WHERE THERE IS ONE WAY ROAD WITH A SINGLE TRAFFIC LANE PROVIDES ACCESS TO A GATED ENTRANCE, A 40 FT TURNING RADIUS SHALL BE USED, WHERE GATES ARE TO BE LOCKED, THE INSTALLATION OF A KEY BOX OR OTHER ACCEPTABLE MEANS FOR IMMEDIATE ACCESS BY EMERGENCY EQUIPMENT MAY BE REQUIRED.
3. FIRE011-ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE N01241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS, LETTERS, NUMBERS AND SYMBOLS, WITH A MINIMUM OF 4 IN HEIGHT. THE ADDRESS SHALL BE PLACED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. ADDRESS SIGNS SHALL BE PLACED AT A SINGLE DRIVEWAY. THEY SHALL BE MOUNTED ON A SINGLE SIGN, WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY. THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING ROAD CLEARANCE.
4. FIRE020-REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 100 FT OF STRUCTURES. LIMB TREES 6 FT UP FROM GROUND, REMOVE LIMBS WITHIN 10 FT OF CHIMNEYS, ADDITIONAL FIRE PROTECTION OR FIREBREAKS APPROVED BY THE REVIEWING AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
5. FIRE022-FIRE PROTECTION EQUIPMENT & SYSTEMS-FIRE SPRINKLER SYSTEMS-(HAZARDOUS CONDITIONS). THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD, A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-15 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR AND COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION. DUE TO SUBSTANDARD ACCESS, OR OTHER MITIGATING FACTORS, SMALL BATHROOMS AND OPEN ATTACHED PORCHES, CARPORTS, AND SIMILAR STRUCTURES SHALL BE PROTECTED WITH FIRE SPRINKLERS.

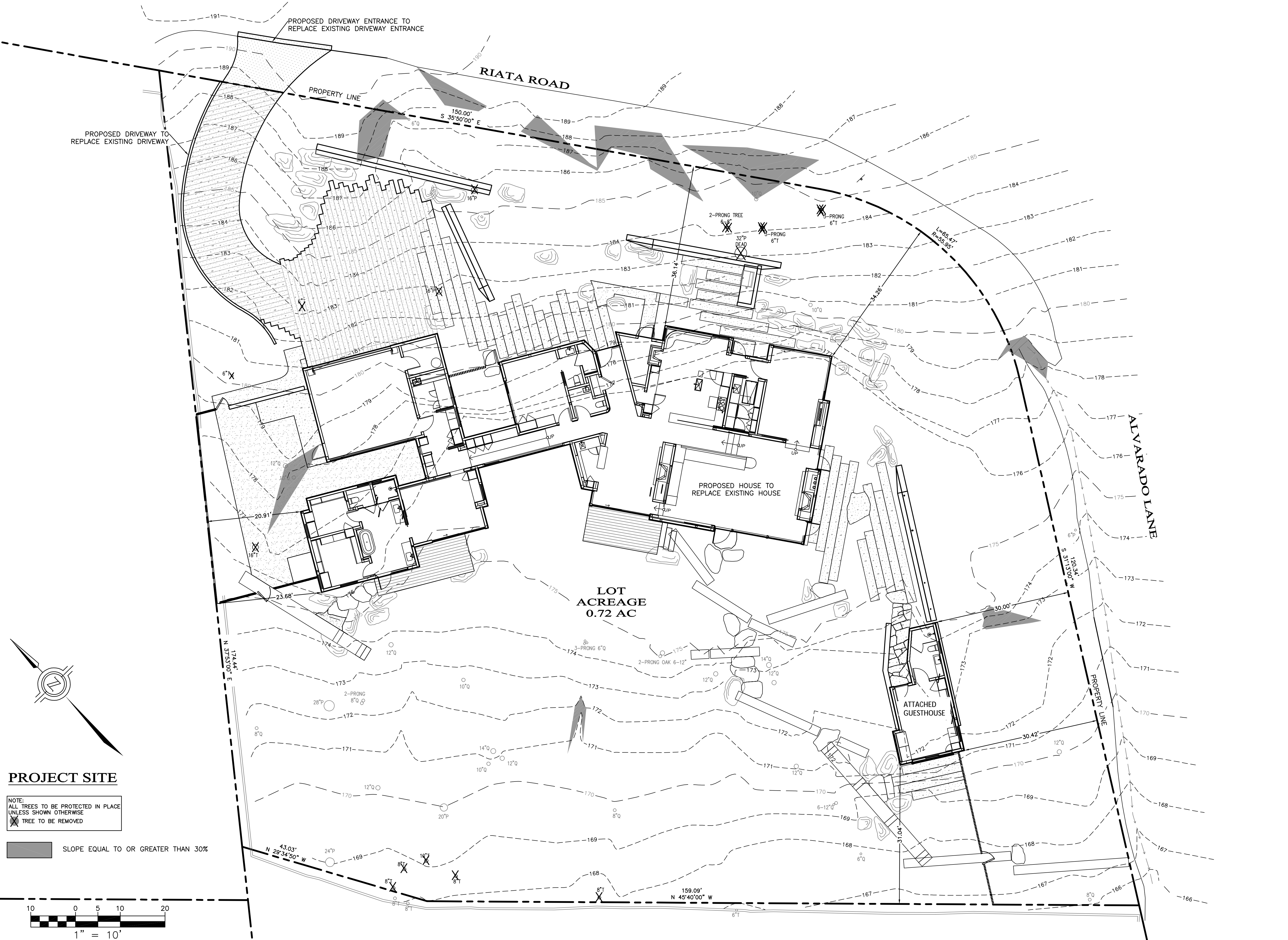
PROJECT SITE

NOTE:
X ALL TREES TO BE PROTECTED IN PLACE UNLESS SHOWN OTHERWISE
X TREE TO BE REMOVED

■ SLOPE EQUAL TO OR GREATER THAN 30%



GRADING, DRAINAGE, & EROSION CONTROL PLANS



GEOTECHNICAL INSPECTION WITH TIMING OF INSPECTION

DESCRIPTION OF THE REQUIRED INSPECTION:	WHEN INSPECTION IS TO BE COMPLETED:	WHO WILL CONDUCT THE INSPECTION:	INSPECTOR NAME:	COMPLETION DATE:
INSPECT AND TEST KEYWAY/SUBEXCAVATION/OVEREXCAVATION:	1) PRIOR TO BACKFILLING	GEOTECHNICAL ENGINEER		
INSPECT AND TEST KEYWAY/SUBEXCAVATION/OVEREXCAVATION:	2) DURING BACKFILL PLACEMENT - ONGOING	GEOTECHNICAL ENGINEER		
INSPECT AND TEST BUILDING PAD SUBGRADE:	1) PRIOR TO EXCAVATION FOOTINGS OR PLACEMENT OF SLAB-ON-GRADE MATERIALS	GEOTECHNICAL ENGINEER		
INSPECT SLAB-ON-GRADE INSTALLATION:	1) PRIOR TO CONCRETE PLACEMENT	GEOTECHNICAL ENGINEER		
INSPECT FOUNDATION AND/OR RETAINING WALL FOOTING EXCAVATIONS:	1) PRIOR TO REINFORCEMENT PLACEMENT	GEOTECHNICAL ENGINEER		
INSPECT AND TEST RETAINING WALL BACKFILL:	1) DURING BACKFILL PLACEMENT	GEOTECHNICAL ENGINEER		
INSPECT AND TEST DRIVEWAY FILL, SUBGRADE, AND BASEROCK PLACEMENT:	1) DURING FILL PLACEMENT	GEOTECHNICAL ENGINEER		
INSPECT AND TEST DRIVEWAY FILL, SUBGRADE, AND BASEROCK PLACEMENT:	2) SUBGRADE, PRIOR TO BASEROCK PLACEMENT	GEOTECHNICAL ENGINEER		
INSPECT AND TEST DRIVEWAY FILL, SUBGRADE, AND BASEROCK PLACEMENT:	3) BASEROCK PRIOR TO AC, CONCRETE, OR PAVEMENT	GEOTECHNICAL ENGINEER		
INSPECT AND TEST DRAINAGE INSTALLATION:	1) AFTER PIPE PLACEMENT, PRIOR TO BACKFILL PLACEMENT	GEOTECHNICAL ENGINEER		
INSPECT AND TEST DRAINAGE INSTALLATION:	2) DURING BACKFILL PLACEMENT - ONGOING	GEOTECHNICAL ENGINEER		

ABBREVIATIONS

AB	AGGREGATE BASE	K	CURVE COEFFICIENT
AC	ASPHALT CONCRETE	LF	LINEAR FEET
AD	AREA DRAIN	MIN	MINIMUM
BS	BOTTOM OF STEP	N/A	NOT APPLICABLE
CB	CATCH BASIN	(N)	NEW
CL	CENTERLINE	N/S	NOT TO SCALE
DIA	DIAMETER	PG&E	PACIFIC GAS & ELECTRIC
DWY	DRIVEWAY	PVC	POLYVINYL CHLORIDE
E	EXISTING SERVICE	SD	STORM DRAIN
EC	EXISTING	S	SLOPE
EC	END CURVE	SS	SANITARY SEWER
ELEV	ELEVATION	SSCO	SEWER CLEAN-OUT
ED	EDGE OF PAVEMENT	FM	FORCE MAIN
FC	FACE OF CURB	TC	TOP OF CURB
FP	FINISHED PAVEMENT	TN	TRENCH DRAIN
FF	FINISHED FLOOR ELEVATION	TS	TOP OF STEP
FL	FLOW LINE	TW	TOP OF WALL
G	GAS SERVICE	TYP	TYPICAL
HDPE	HIGH DENSITY POLYETHYLENE	W	WATER
JT	JOINT UTILITY TRENCH		

LEGEND

	(E) CURB
	(E) EDGE OF PAVEMENT
	(E) MAJOR CONTOUR
	(E) MINOR CONTOUR
	PROPERTY LINE
	(E) GAS LINE
	(E) STORM DRAIN
	(E) SANITARY SEWER
	(E) WATER LINE
	(N) CURB
	(N) EDGE OF PAVEMENT
	(N) GAS LINE
	(N) STORM DRAIN
	(N) SANITARY SEWER
	(N) WATER LINE
	(N) WALL
	(N) SAWCUT LINE
	DESIGN MAJOR CONTOUR
	DESIGN MINOR CONTOUR
	(N) BUILDING FOOTPRINT

SHEET INDEX

C1	TITLE SHEET
C2	SITE DEMOLITION PLAN
C3	SITE GRADING PLAN
C4	SITE STORM DRAIN & UTILITY PLAN
C5	STORMTECH UNDERGROUND INFILTRATION SYSTEM DETAILS
C6	SITE CROSS SECTIONS & DETAILS
C7	EROSION CONTROL PLAN
C8	CONSTRUCTION MANAGEMENT PLAN

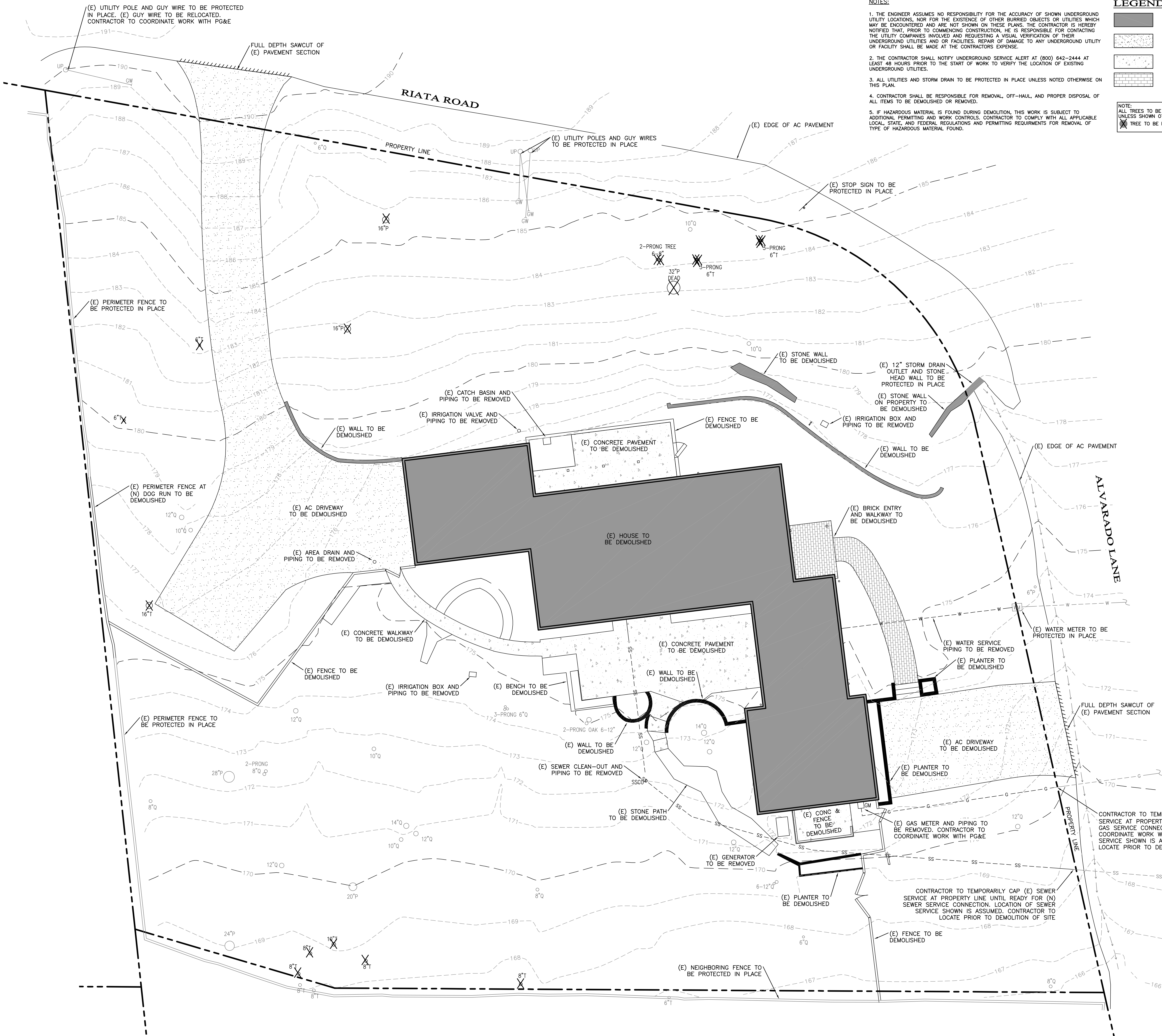
ENGINEERING AND SURVEYING, INC.
2465 Garden Road, Suite G, Monterey, California 93940
P: (831) 685-1223 F: (831) 685-3425
Luis@engsurvey.com

REGISTERED PROFESSIONAL ENGINEER
M.S. M.A.B.R. STERNBERG
No. 69930
EXP. 9-30-28
CIVIL
STATE OF CALIFORNIA

DRAWN BY: MRS
DESIGNED BY: MRS
DATE: 03-17-2022
SCALE: AS SHOWN
JOB NUMBER: 21-53
LAST REVISED: 05-02-2022
REVISED BY: MRS

TITLE SHEET

DAVIS RESIDENCE
1458 RIATA ROAD
PEBBLE BEACH, CA 93953
APN 008-332-019



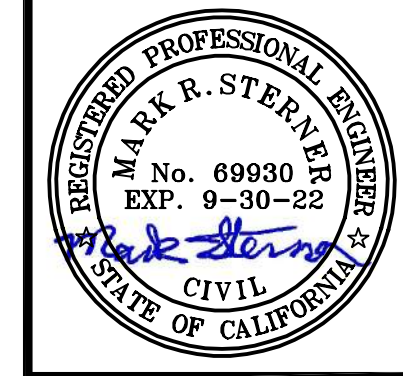
NOTES:

1. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SHOWN UNDERGROUND UTILITY LOCATIONS, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED AND ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS HEREBY NOTIFIED THAT, PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THEIR UNDERGROUND UTILITIES AND/OR FACILITIES. REPAIR OF DAMAGE TO ANY UNDERGROUND UTILITY OR FACILITY SHALL BE MADE AT THE CONTRACTORS EXPENSE.
2. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
3. ALL UTILITIES AND STORM DRAIN TO BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE ON THIS PLAN.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL, AND PROPER DISPOSAL OF ALL ITEMS TO BE DEMOLISHED OR REMOVED.
5. IF HAZARDOUS MATERIAL IS FOUND DURING DEMOLITION, THIS WORK IS SUBJECT TO ADDITIONAL PERMITTING AND WORK CONTROLS. CONTRACTOR TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND PERMITTING REQUIREMENTS FOR REMOVAL OF TYPE OF HAZARDOUS MATERIAL FOUND.

LEGEND

	(E) BUILDING TO BE DEMOLISHED
	(E) AC DRIVEWAY TO BE DEMOLISHED
	(E) CONCRETE PAVEMENT TO BE DEMOLISHED
	(E) BRICK PAVEMENT TO BE DEMOLISHED

NOTE:
 ALL TREES TO BE PROTECTED IN PLACE UNLESS SHOWN OTHERWISE
 TREE TO BE REMOVED

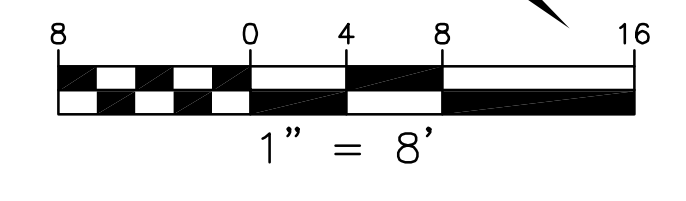


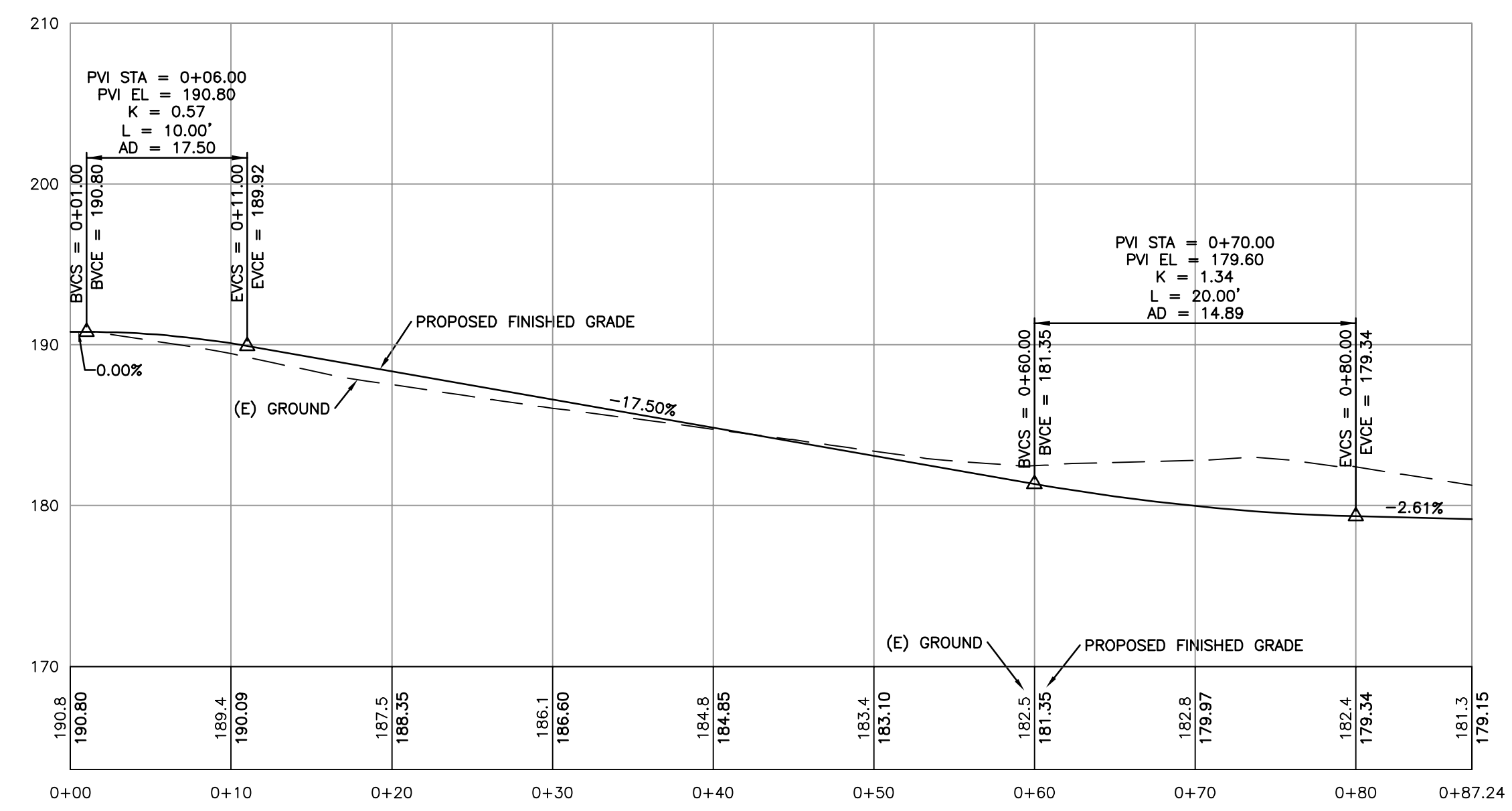
DRAWN BY:	MRS
DESIGNED BY:	MRS
DATE:	03-17-2022
SCALE:	AS SHOWN
JOB NUMBER:	2153
LAST REVISED:	N/A
REVISED BY:	N/A

SITE DEMOLITION PLAN

DAVIS RESIDENCE
 1458 RIATA ROAD
 PEBBLE BEACH, CA 93953
 APN 008-332-019

SITE DEMOLITION PLAN
 SCALE: 1" = 8'





EARTHWORK
CUT=1000 CY
FILL=340 CY
NET=660 CY CUT

EARTHWORK QUANTITIES AS CALCULATED BY THE ENGINEER ARE TO SUB GRADE IN PAVED AREAS AND ARE ESTIMATES ONLY. AN 11" SECTION WAS ASSUMED FOR THE DRIVEWAY, AN 11" SECTION WAS ASSUMED FOR THE AUTO COURT, A 7" SECTION WAS ASSUMED FOR CONC SITE WORK, AND AN 8" SECTION WAS ASSUMED FOR GRAVEL PAVEMENT. A 10% COMPACTION RATIO WAS ASSUMED FOR FILL LOCATIONS. SPOILS FROM UTILITY TRENCHING AND RETAINING WALL BACKFILL WERE NOT INCLUDED IN THESE CALCULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE QUANTITIES BY PERFORMING HIS OWN CALCULATIONS.

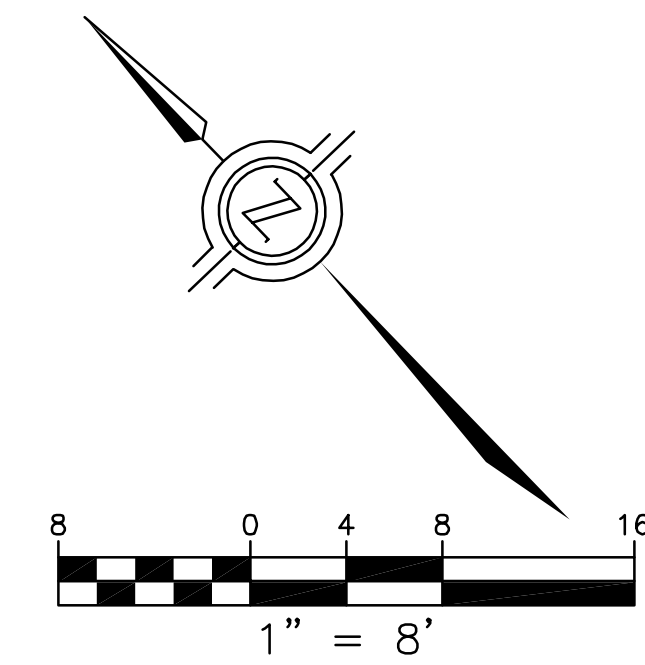
- LEGEND**
- (N) BUILDING SEE ARCHITECTURAL PLANS
 - (N) AC DRIVEWAY APRON, SEE DETAIL E/C6
 - (N) STONE PAVING OVER CONCRETE BASE. DRIVEWAY/AUTO COURT, SEE DETAIL F/C6 PATIO/BUILDING ENTRIES, SEE DETAIL G/C6
 - (N) WOOD DECK SEE ARCHITECTURAL PLANS
 - (N) GRAVEL PAVEMENT, SEE DETAIL J/C6
 - CONTRACTOR TO CREATE FLOW LINE AS SHOWN

- AD AREA DRAIN
- BR BOTTOM OF RAMP
- BS BOTTOM OF STEP
- CB CATCH BASIN
- E EXISTING
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOW LINE
- FP FINISHED PAVEMENT
- ME MATCH EXISTING
- N NEW
- TD TRENCH DRAIN
- TR TOP OF RAMP
- TS TOP OF STEP
- TW TOP OF WALL

DRIVEWAY LINE AND CURVE ANNOTATION

LINE TABLE			
LINE	LENGTH	DIRECTION	
L1	12.59'	N 79°55'47" E	
L2	26.59'	N 10°29'10" W	

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	27.32'	50.84'	30°46'57"
C2	20.74'	19.93'	59°38'00"
C3	40.83'	44.59'	52°27'30"
C4	18.28'	13.68'	76°34'31"
C5	8.95'	13.00'	39°27'20"
C6	29.22'	57.09'	29°19'22"
C7	30.51'	26.18'	66°45'59"
C8	10.56'	16.37'	36°56'41"



(E) UTILITY POLE AND GUY WIRE TO BE PROTECTED IN PLACE. (E) GUY WIRE TO BE RELOCATED, CONTRACTOR TO COORDINATE WORK WITH PG&E

(E) UTILITY POLES AND GUY WIRES TO BE PROTECTED IN PLACE

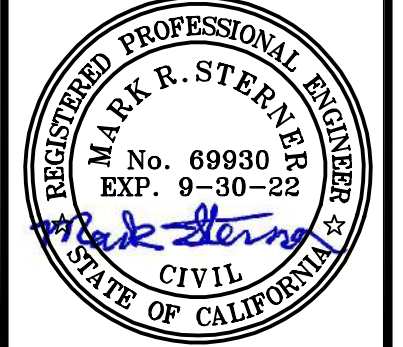
(E) WATER METER PROTECTED IN PLACE. CONTRACTOR TO CONNECT (N) WATER SERVICE TO (E) METER. CONTRACTOR TO COORDINATE WORK WITH CAL-AM, WATER UTILITY PROVIDER

CONTRACTOR TO CONNECT (N) GAS SERVICE TO TEMPORARILY CAPPED (E) GAS SERVICE AT PROPERTY LINE. CONTRACTOR TO COORDINATE WORK WITH PG&E. LOCATION OF GAS SERVICE SHOWN IS ASSUMED. CONTRACTOR TO LOCATE PRIOR TO DEMOLITION OF SITE

CONTRACTOR TO CONNECT (N) SEWER SERVICE TO TEMPORARILY CAPPED (E) SEWER SERVICE AT PROPERTY LINE. LOCATION OF SEWER SERVICE AND DEPTH ARE ASSUMED. CONTRACTOR TO LOCATE AND VERIFY DEPTH PRIOR TO DEMOLITION OF SITE. NOTIFY ENGINEER IF DEPTH AND LOCATION VARY FROM WHAT IS SHOWN. INSTALL CLEAN-OUT AT CONNECTION. SEE DETAIL M/C6. 4" SS INV=164.67

KEYNOTES:

- 1 (N) GAS METER LOCATION. CONTRACTOR TO COORDINATE METER SIZE AND WORK WITH PG&E. GAS SERVICE PIPING TO MATCH (E) SERVICE PIPE CAPPED AT PROPERTY LINE.
- 2 (N) 2" PVC SCHEDULE 40 WATER SERVICE
- 3 (N) WATER SERVICE POINT OF CONNECTION. CONTRACTOR TO INSTALL SHUT-OFF GATE VALVE ABOVE GRADE PRIOR TO CONNECTING TO BUILDING
- 4 (N) SANITARY SEWER CLEAN-OUT AT CONNECTION TO HOUSE. SEE DETAIL M/C6. 4" SS INV=173.17
- 5 (N) SANITARY SEWER CLEAN-OUT AT CONNECTION TO HOUSE. SEE DETAIL M/C6. 4" SEWER TO BE SLEAVED THROUGH FOUNDATION STEM WALL. 4" SS INV=174.67
- 6 45° WYE FITTING AT PIPE INTERSECTION, 4" SS INV=172.25
- 7 45° WYE FITTING AT PIPE INTERSECTION WITH (N) CLEAN-OUT. SEE DETAIL M/C6. 4" SS INV=165.75
- 8 (N) SANITARY SEWER CLEAN-OUT AT CONNECTION TO HOUSE. SEE DETAIL M/C6. 4" SS INV=165.57
- 9 45° WYE FITTING AT PIPE INTERSECTION, 4" SS INV=165.35
- 10 (N) ROOF DRAINAGE RAIN CHAIN ANCHOR AND ROCK DISSIPATOR TO BE SPECIFIED BY ARCHITECT (TYPICAL). STORM WATER TO FLOW INTO LANDSCAPING AND BE COLLECTED BY STORM DRAIN SYSTEM SHOWN
- 11 (N) ROOF DRAINAGE RAIN CHAIN ANCHOR AND ROCK DISSIPATOR TO BE SPECIFIED BY ARCHITECT. STORM WATER TO FLOW INTO LANDSCAPING
- 12 (N) 4" ACC 1/100 SLOPED CHANNEL TRENCH DRAIN W/ IRON MOSAIC DECORATIVE GRATE (ACC 4/90 TRAFFIC RATED), OR EQUIVALENT. GRATE=179.15, 4" SD INV=176.32
- 13 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 DEEP HOUSING ADAPTER (NDS-931), OR EQUIVALENT. GRATE=178.65, 6" SD INV=175.50
- 14 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 DEEP HOUSING ADAPTER (NDS-931), OR EQUIVALENT. GRATE=178.65, 6" SD INV=175.50
- 15 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 DEEP HOUSING ADAPTER (NDS-931), OR EQUIVALENT. GRATE=177.20, 4" SD INV=174.87
- 16 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 DEEP HOUSING ADAPTER (NDS-931), OR EQUIVALENT. GRATE=177.20, 4" SD INV=174.87
- 17 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 DEEP HOUSING ADAPTER (NDS-931), OR EQUIVALENT. GRATE=177.20, 6" SD INV=174.70
- 18 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 CATCH BASIN (NDS-900-4), OR EQUIVALENT. GRATE=176.00, 6" SD INV=172.93
- 19 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 DEEP HOUSING ADAPTER (NDS-931), OR EQUIVALENT. GRATE=175.50, 6" SD INV=172.50
- 20 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 DEEP HOUSING ADAPTER (NDS-931), OR EQUIVALENT. GRATE=171.75, 6" SD INV=169.25
- 21 (N) 30" NYLON/PLAST DRAIN BASIN W/ STANDARD GRATE, OR EQUIVALENT. GRATE TO ACT AS OVERFLOW ONCE SYSTEM IS FULL AND SURROUNDING SOIL IS SATURATED. LID=168.00, 6" INV IN=166.00, 24" INV OUT=164.00, SLUMP=163.33
- 22 (N) 12"X12" JENSEN PRECAST CONCRETE CATCH BASIN W/ TRAFFIC RATED GRATE, OR EQUIVALENT. GRATE=178.50, 6" SD INV=175.68
- 23 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 DEEP HOUSING ADAPTER (NDS-931), OR EQUIVALENT. GRATE=175.50, 6" SD INV=173.00
- 24 (N) SUBSURFACE ENERGY DISSIPATER. SEE DETAIL H/C6. GRATE=173.50
- 25 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 DEEP HOUSING ADAPTER (NDS-931), OR EQUIVALENT. GRATE=168.25, 6" SD INV=165.75
- 26 (N) SUBSURFACE ENERGY DISSIPATER. SEE DETAIL H/C6. GRATE=166.50



DRAWN BY: MRS
 DESIGNED BY: MRS
 DATE: 03-17-2022
 SCALE: AS SHOWN
 JOB NUMBER: 2153
 LAST REVISED: N/A
 REVISED BY: N/A

SITE STORM DRAIN AND UTILITY PLAN

DAVIS RESIDENCE
 1458 RIATA ROAD
 PEBBLE BEACH, CA 93953
 APN 008-332-019

SHEET C4
 OF
 8 SHEETS

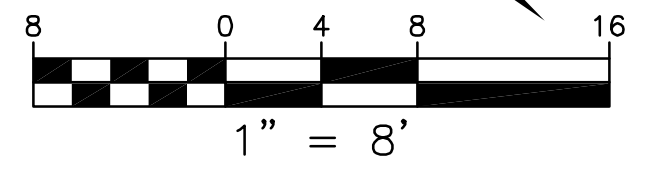
LEGEND

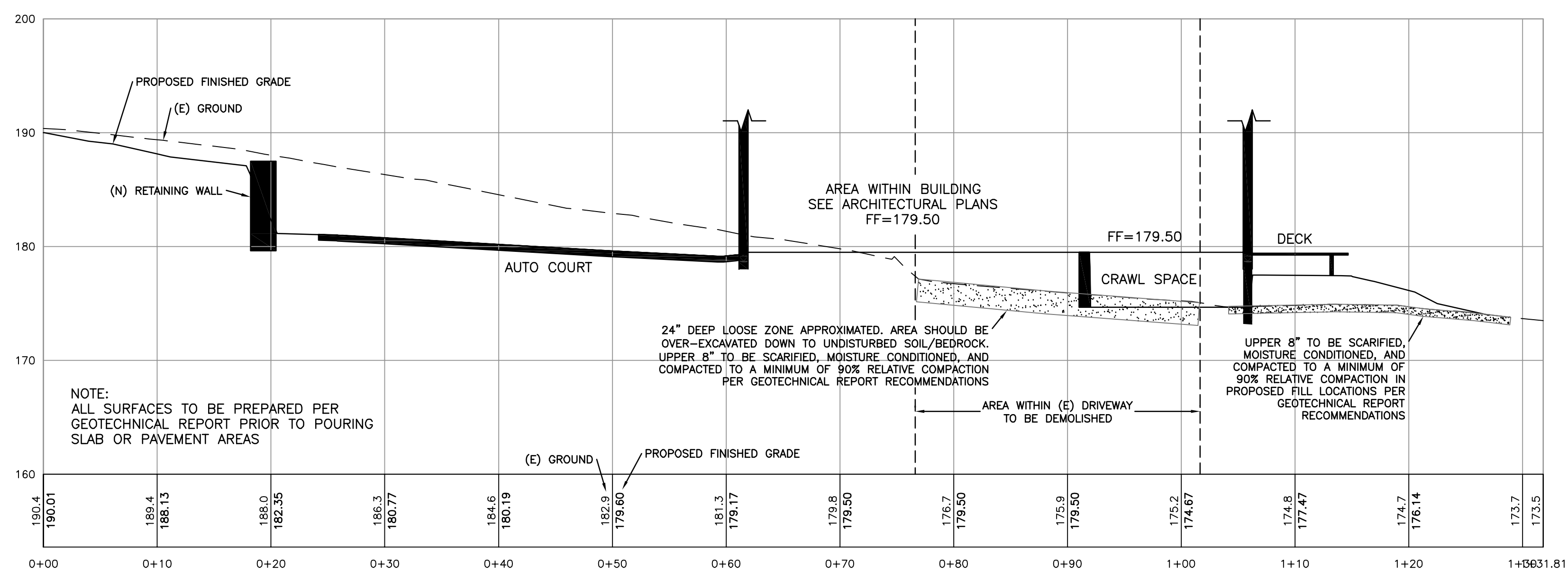
	(N) AREA DRAIN/CATCH BASIN (AD OR CB)
	(N) ROOF DRAINAGE RAIN CHAIN
	(N) CLEAN-OUT
	(N) RETAINING WALL DRAIN STUB
	(N) GRAVITY SANITARY SEWER
	(N) STORM DRAIN
	(N) WATER SERVICE
	(N) GAS SERVICE
	(E) GRAVITY SANITARY SEWER
	(E) STORM DRAIN
	(E) WATER SERVICE
	(E) GAS SERVICE

UTILITY NOTES:

1. ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND AND INSTALLED WITH PIPE MANUFACTURER'S RECOMMENDED BENDING RADIUS
2. STORM DRAIN AND SANITARY SEWER INVERTS TO GOVERN UTILITY LINE INSTALLATIONS
3. ALL ELECTRICAL, TV, COMMUNICATION, AND GAS LINES TO BE COORDINATED BY GENERAL CONTRACTOR
4. ALL WALLS AND DRAINAGE BEHIND WALLS TO BE DESIGNED BY OTHERS. WALL DRAINS AND FOUNDATION DRAINS ARE NOT TO BE CONNECTED TO THE STORM DRAIN SYSTEM SHOWN AND ARE TO DRAIN ONTO DOWNHILL SLOPE AS SHOWN
5. ALL STORM DRAIN LATERALS ARE 4" PVC OR HDPE AND HAVE A MINIMUM SLOPE OF 2.0% UNLESS NOTED OTHERWISE.
6. ALL STORM DRAIN PIPE TO BE SDR-35 PVC (OR STRONGER) OR ADS N-12 HDPE PIPE (OR EQUIVALENT).
7. REDUCER TO BE USED TO CONNECT GRATES AND HOUSING TO PVC PIPE SHOWN. WYE FITTING TO BE USED AT AREA DRAIN LOCATIONS WITH NO BOX.
8. SEE DETAIL I/C6 FOR TRENCH DETAIL.

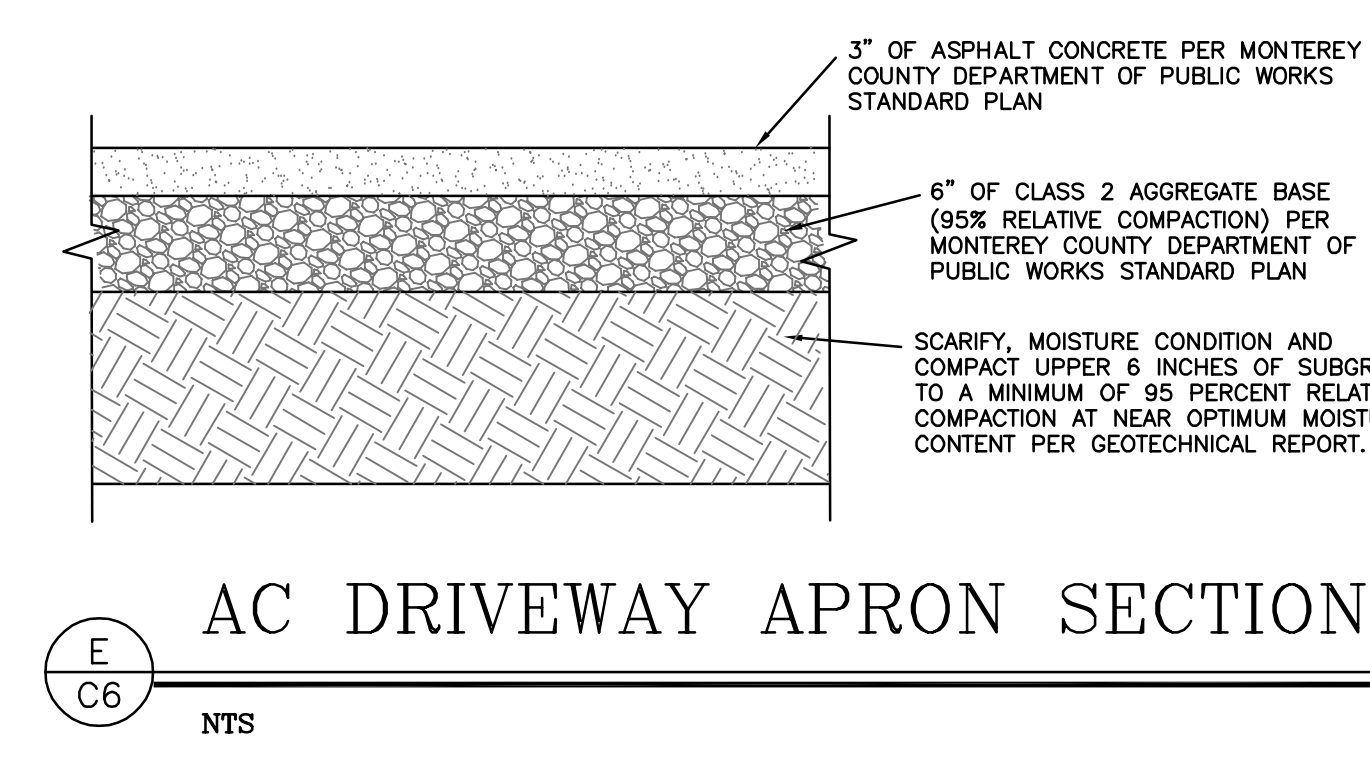
SITE STORM DRAIN AND UTILITY PLAN
 SCALE: 1"=8'





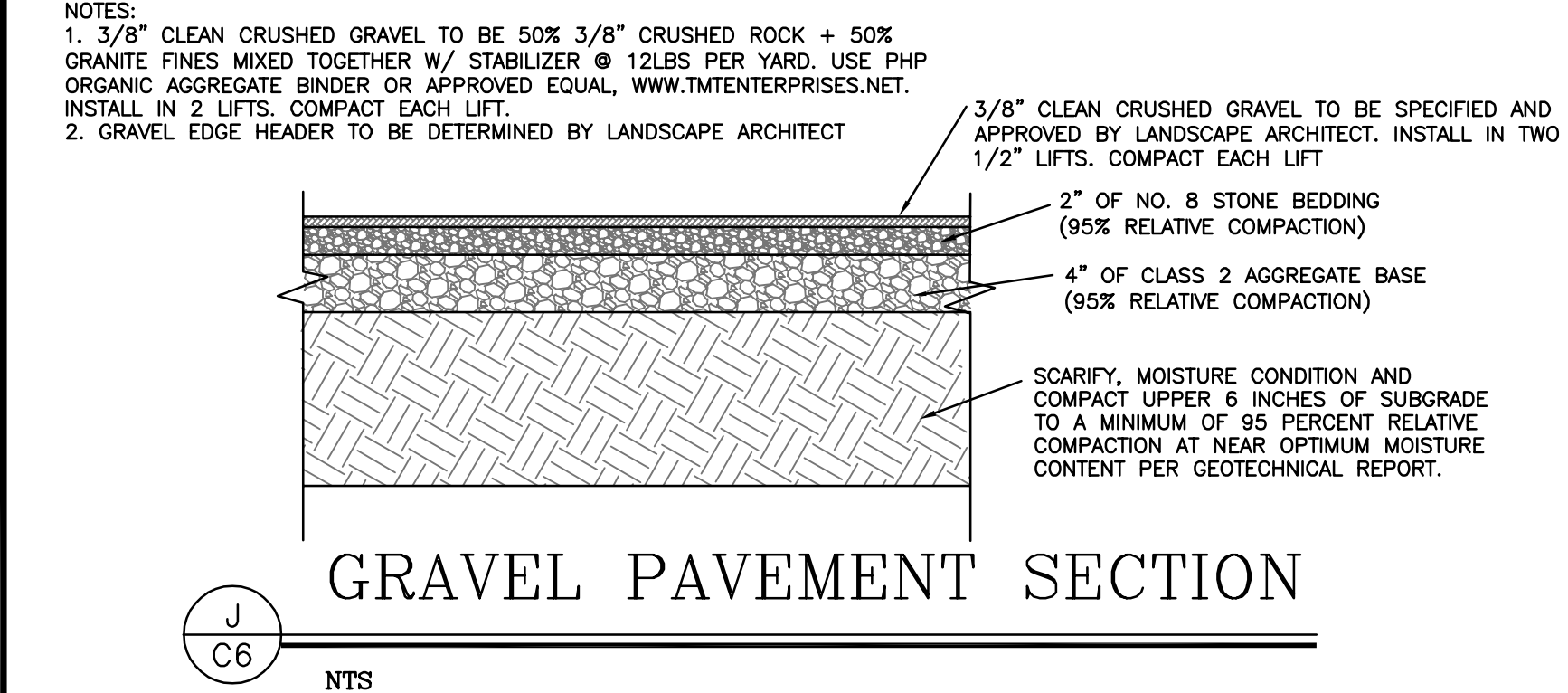
SITE CROSS SECTION - AT MAIN HOUSE

SCALE: 1"=8'



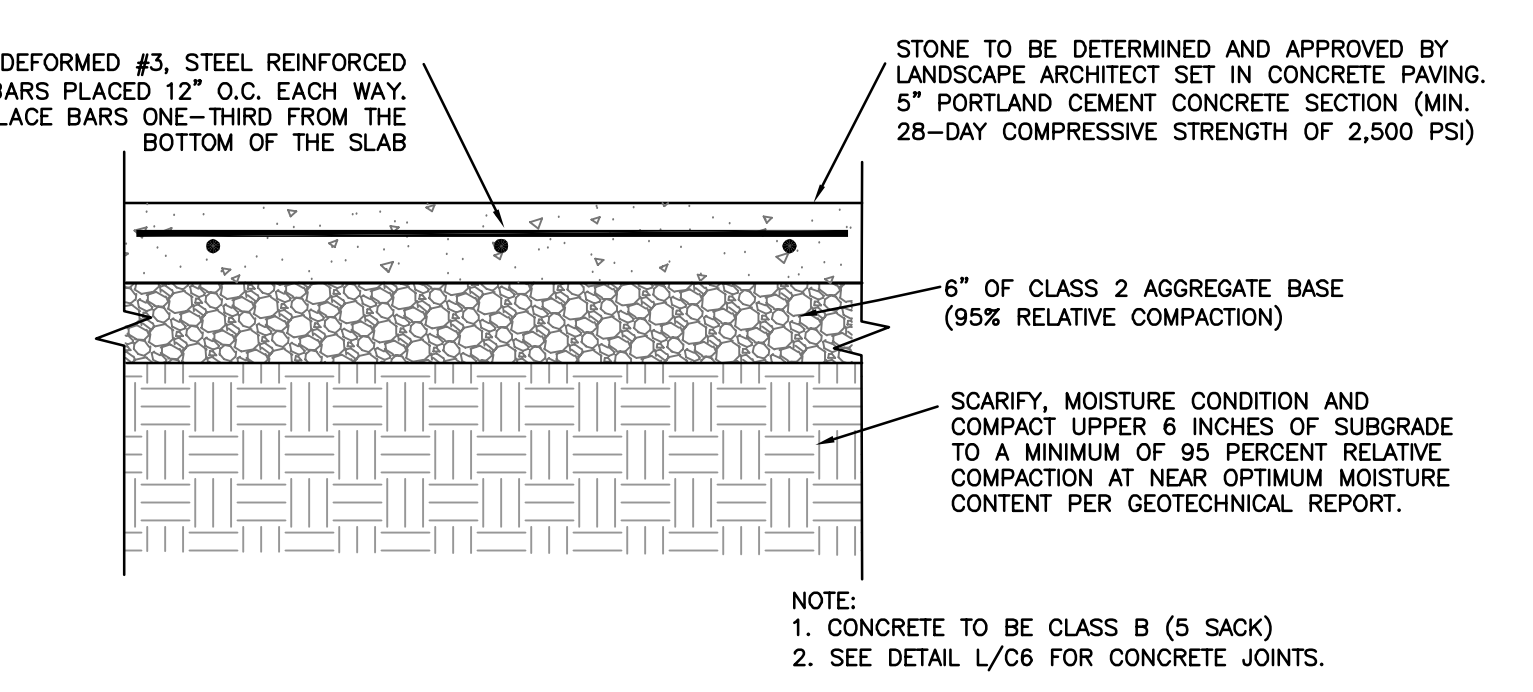
AC DRIVEWAY APRON SECTION

NTS



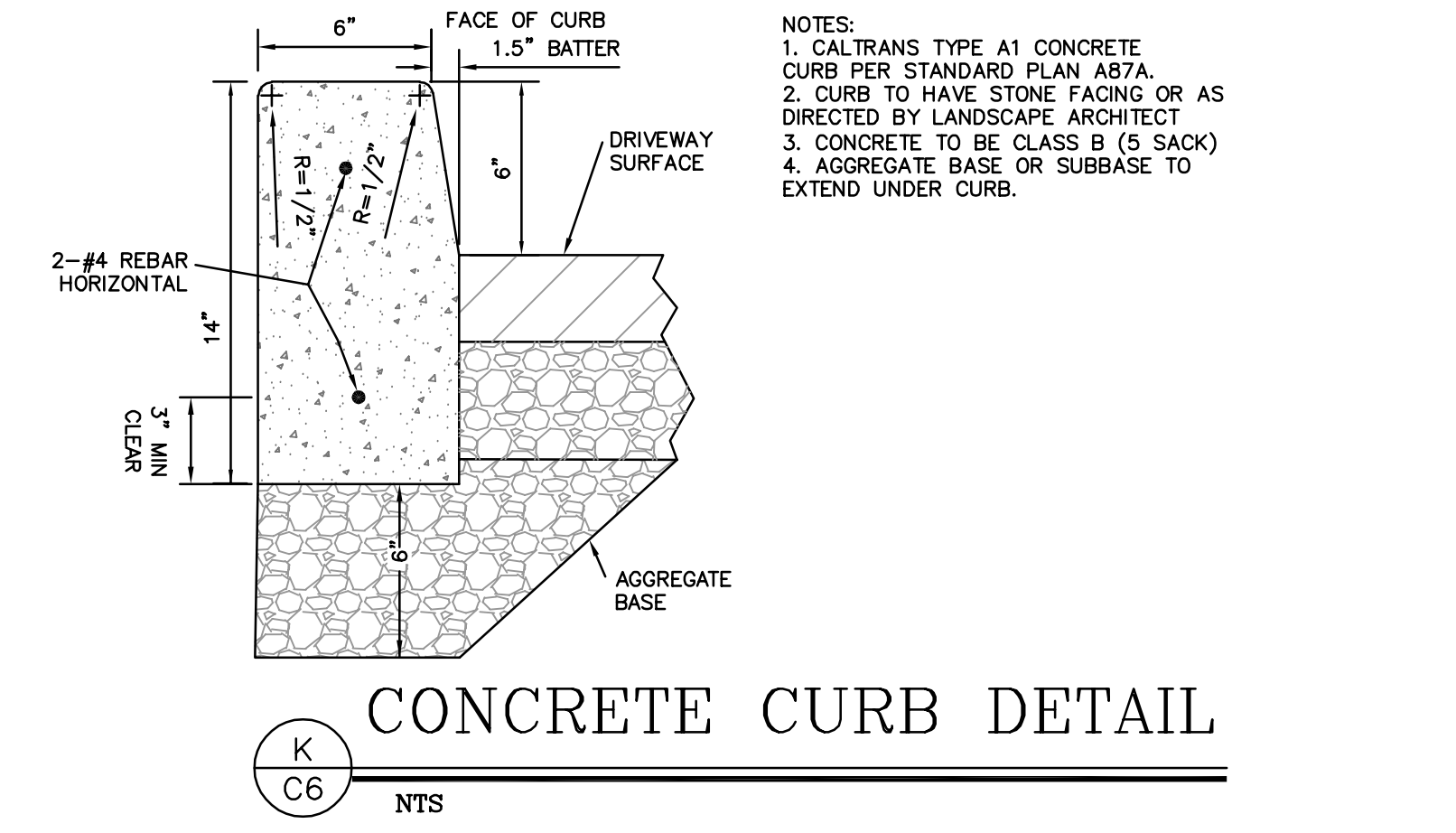
GRAVEL PAVEMENT SECTION

NTS



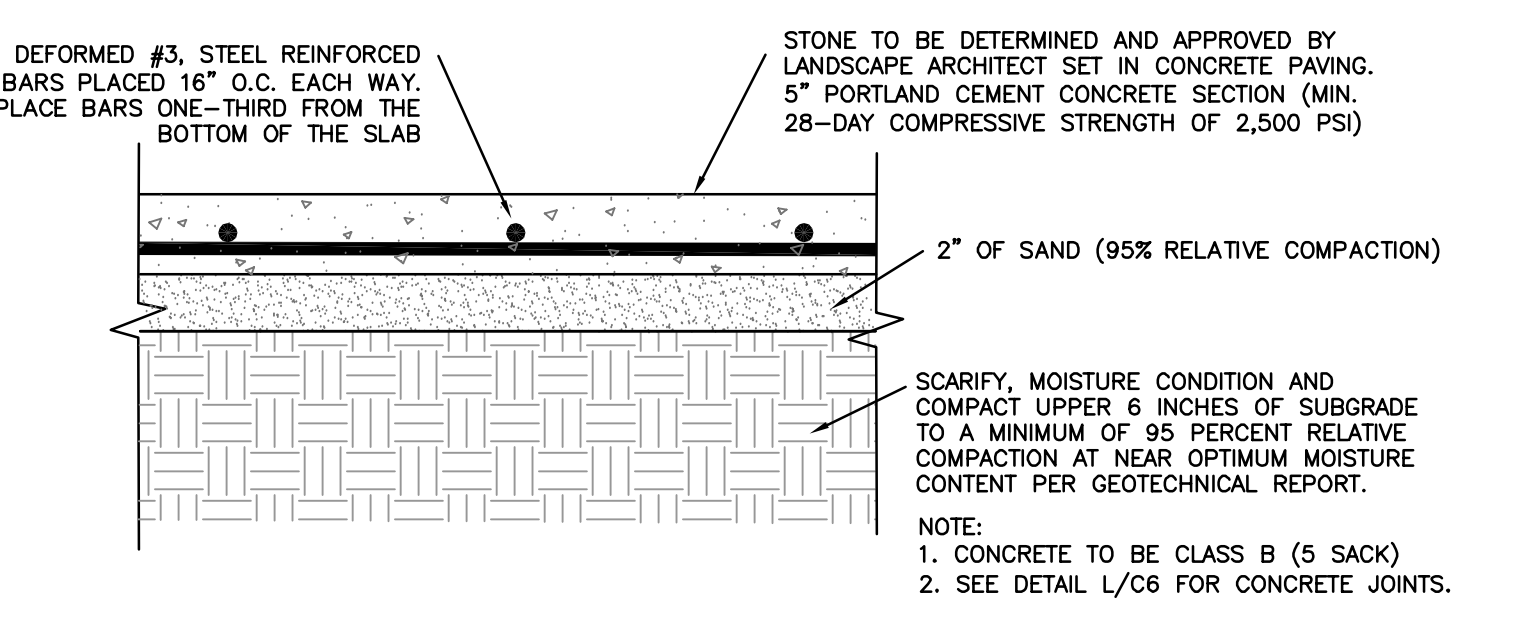
DRIVEWAY/AUTO COURT PAVEMENT SECTION

NTS



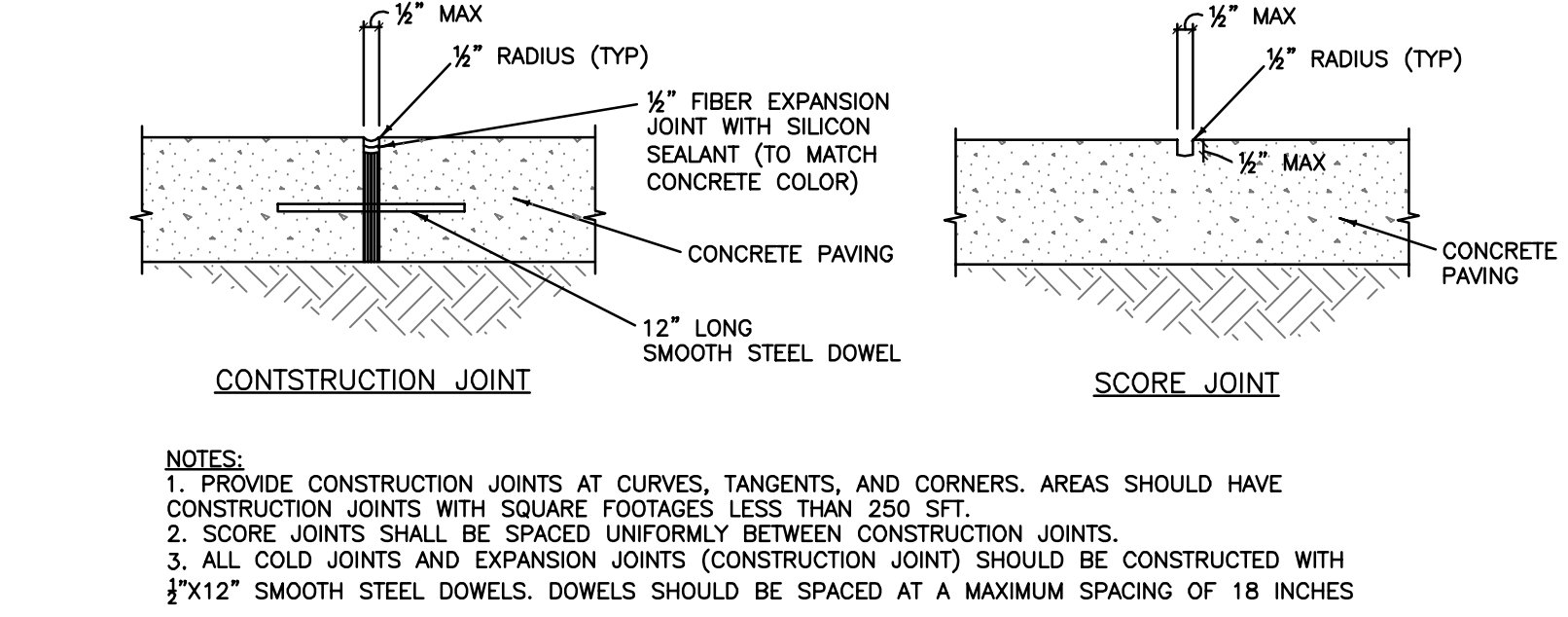
CONCRETE CURB DETAIL

NTS



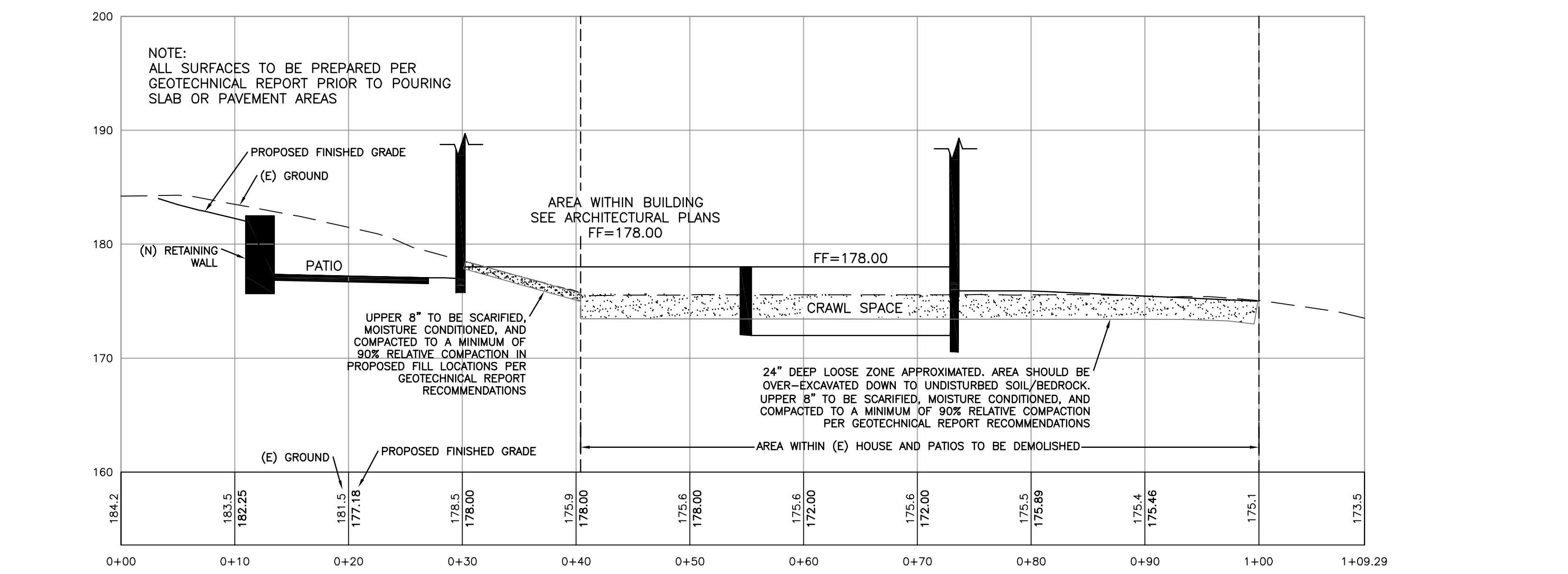
PATIO STONE PAVEMENT SECTION

NTS



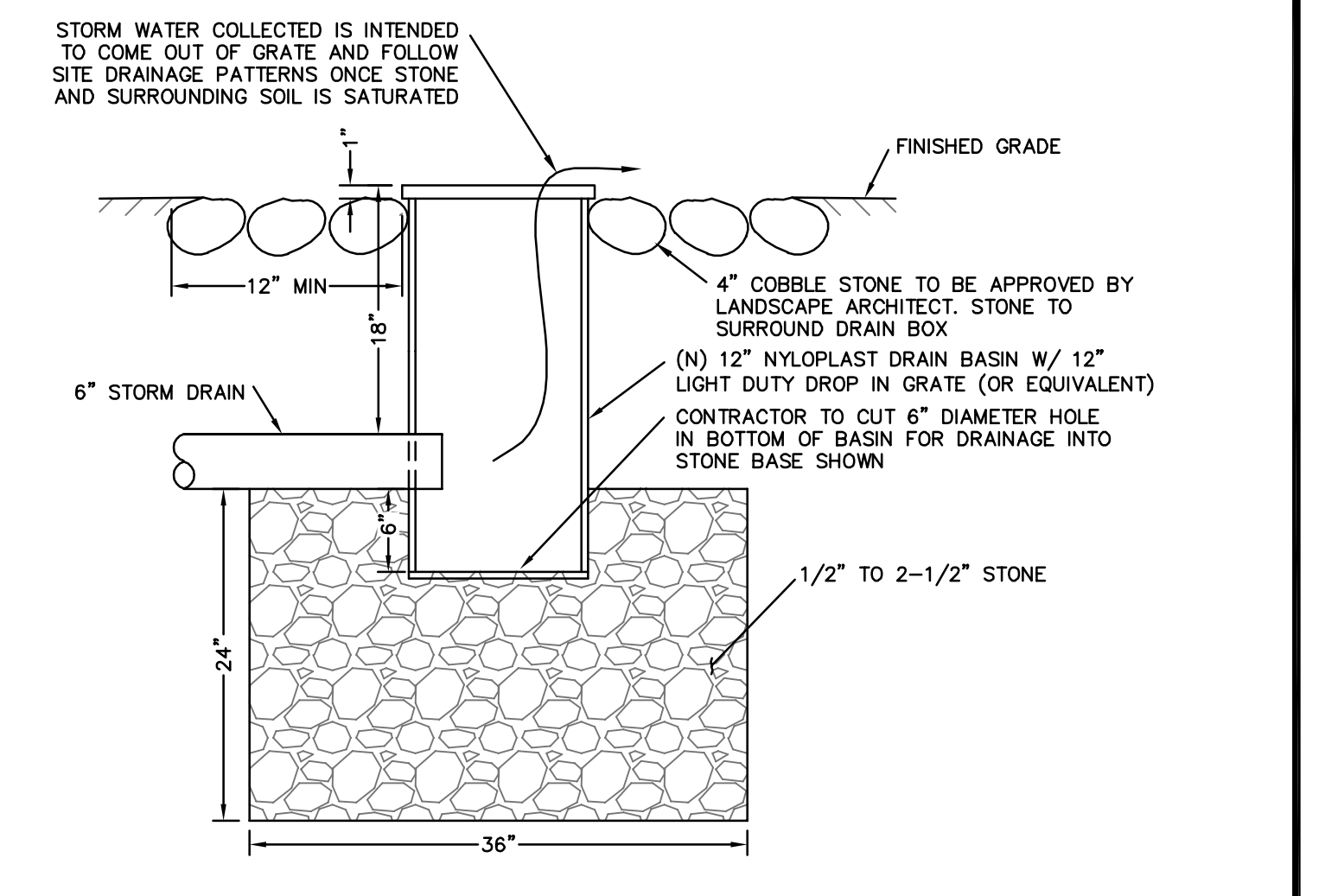
CONCRETE JOINTS

NTS



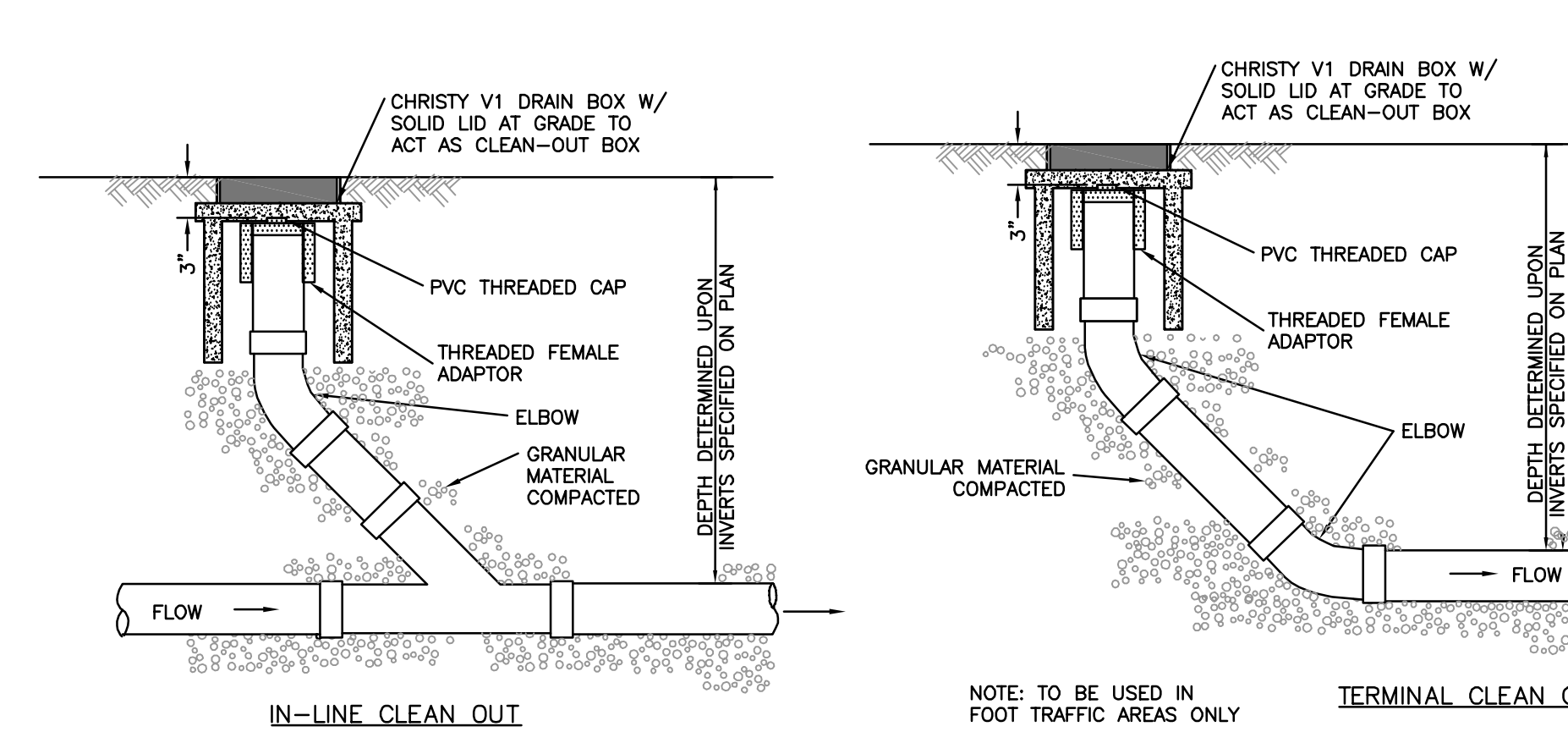
SITE CROSS SECTION - AT MAIN HOUSE

SCALE: 1"=8'



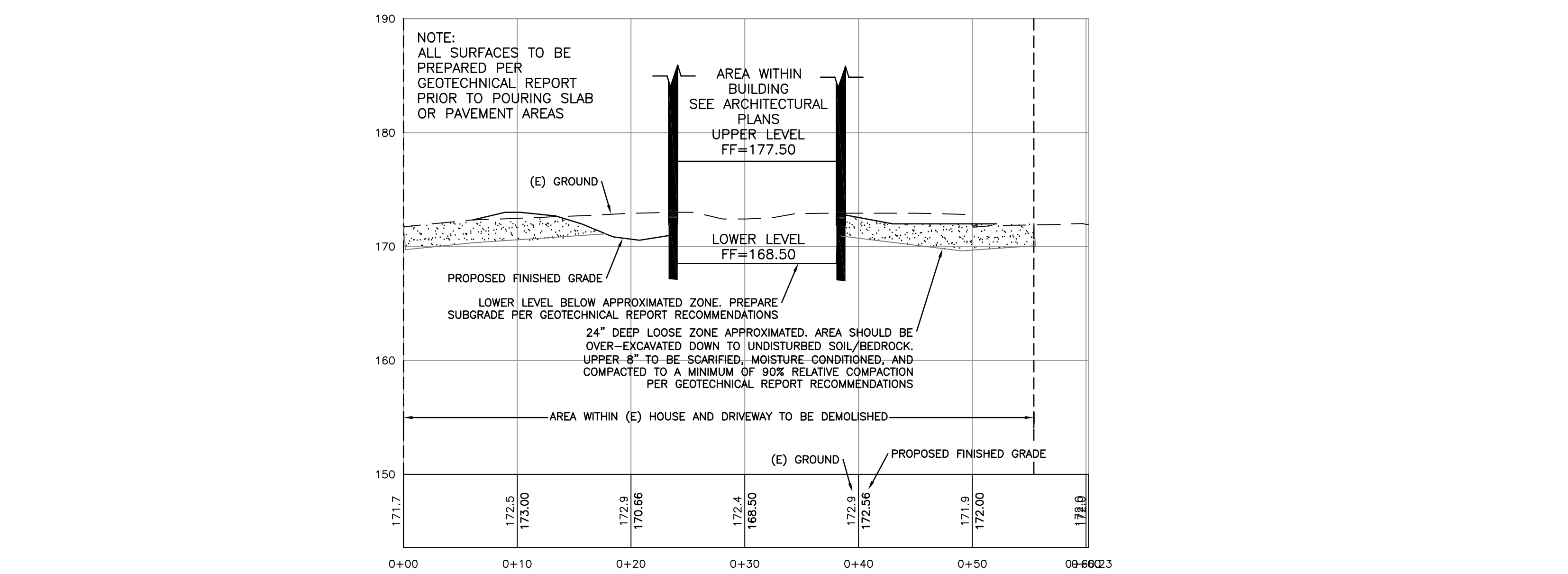
SUBSURFACE ENERGY DISSIPATER

NTS



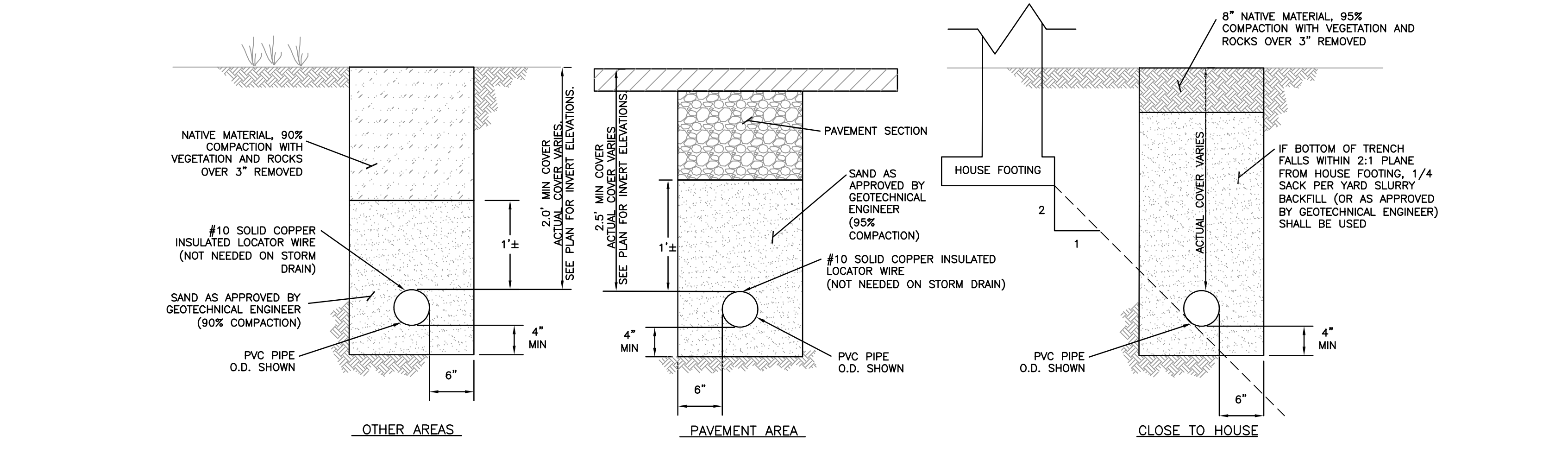
SANITARY SEWER CLEAN-OUT

NTS



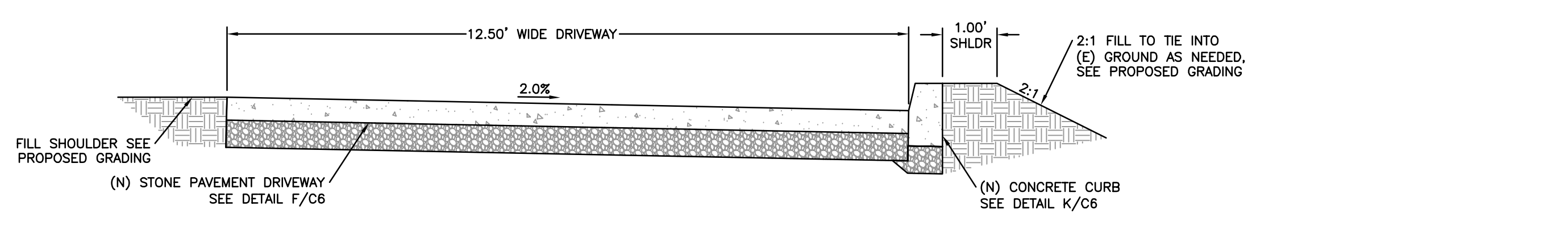
SITE CROSS SECTION - AT BEDROOM #2

SCALE: 1"=8'



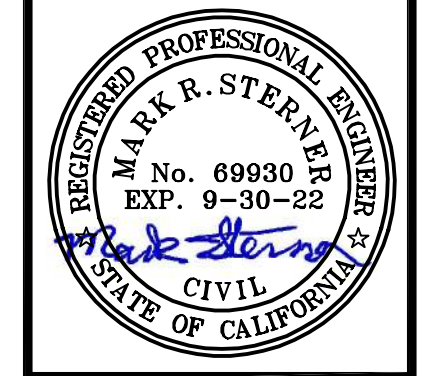
UTILITY AND STORM DRAIN TRENCHING DETAIL

NTS



TYPICAL DRIVEWAY SECTION

SCALE: 1"=4'



MRS	MRS	MRS	MRS
DRAWN BY:	DESIGNED BY:	DATE:	03-17-2022
AS SHOWN	AS SHOWN	SCALE:	21:53
JOB NUMBER:	N/A	LAST REVISED BY:	N/A

SITE CROSS SECTIONS AND DETAILS

DAVIS RESIDENCE
1458 RIATA ROAD
PEBBLE BEACH, CA 93953
APN 008-332-019

EROSION/DUST CONTROL NOTES

- VEGETATION REMOVAL BETWEEN OCTOBER 15th AND APRIL 15th SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE.
- DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
 - DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DRIVEWAY.
 - DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT (MONTEREY COUNTY GRADING/EROSION ORD. 2806-16.12.090)
- RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
- ALL CUT AND FILL SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEEDDED, OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING SUBJECT TO THE APPROVAL OF THE DIRECTOR OF RMA-PLANNING AND RMA-BUILDING SERVICES. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
- THE DIRECTOR OF THE BUILDING INSPECTION DEPARTMENT MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - PROVIDE EQUIPMENT AND MACHINERY COVERED OR REQUIRE WETTING AND EXPOSED DISTURBED EARTH.
 - COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - LANDSCAPE SEEDS OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
- CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL, IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE. THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE EROSION AND PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM. ACCEPTABLE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: INSTALLATION OF SILT FENCES, FIBER ROLLS, INSTALLATION OF STORM DRAIN INLET PROTECTION, AND INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCES. AT THE CONTRACTOR'S DISCRETION, ANY ONE OR A COMBINATION OF THESE MEASURES MAY BE USED ABOVE AND BEYOND WHAT IS SHOWN ON THE PLANS.

- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

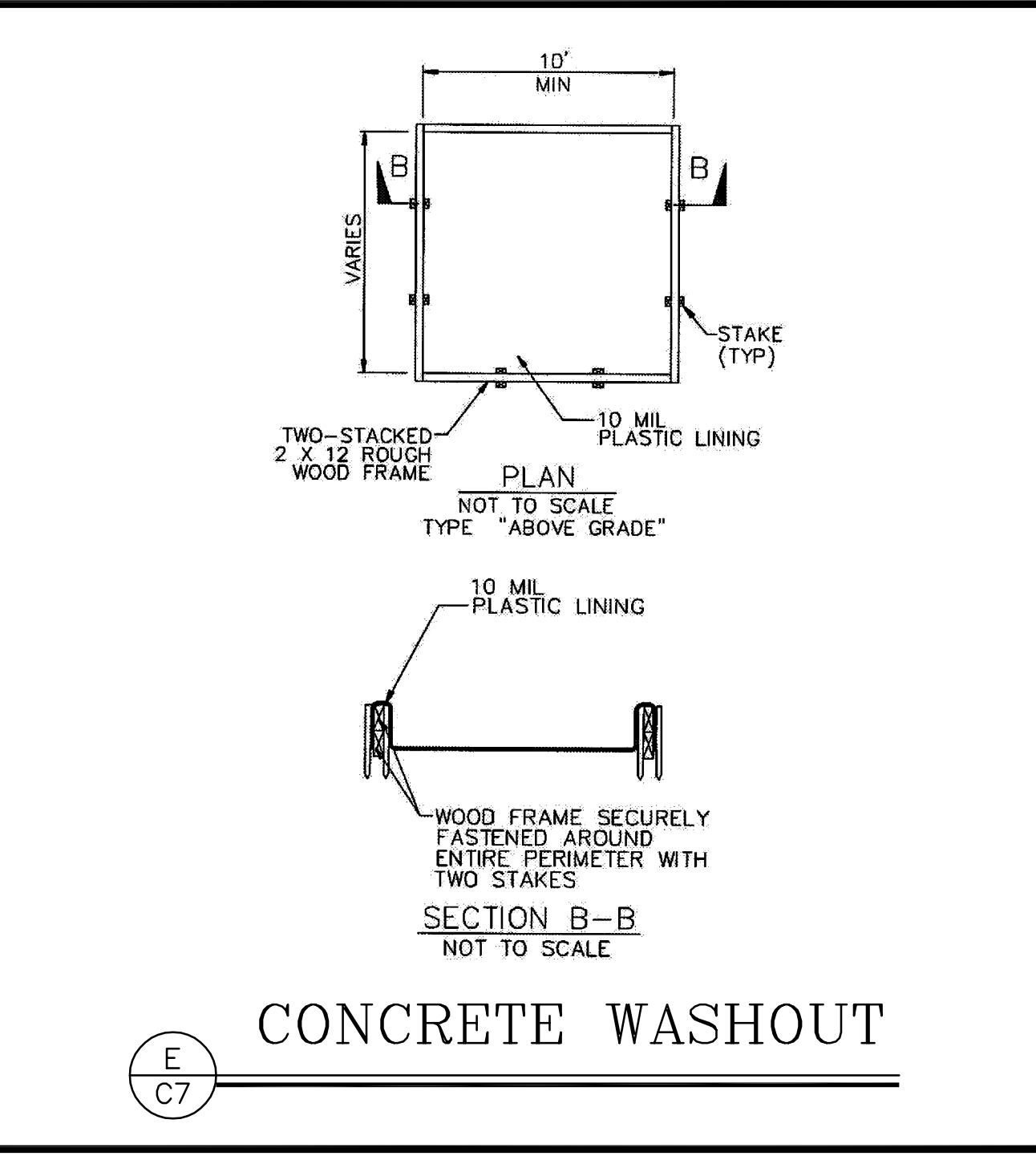
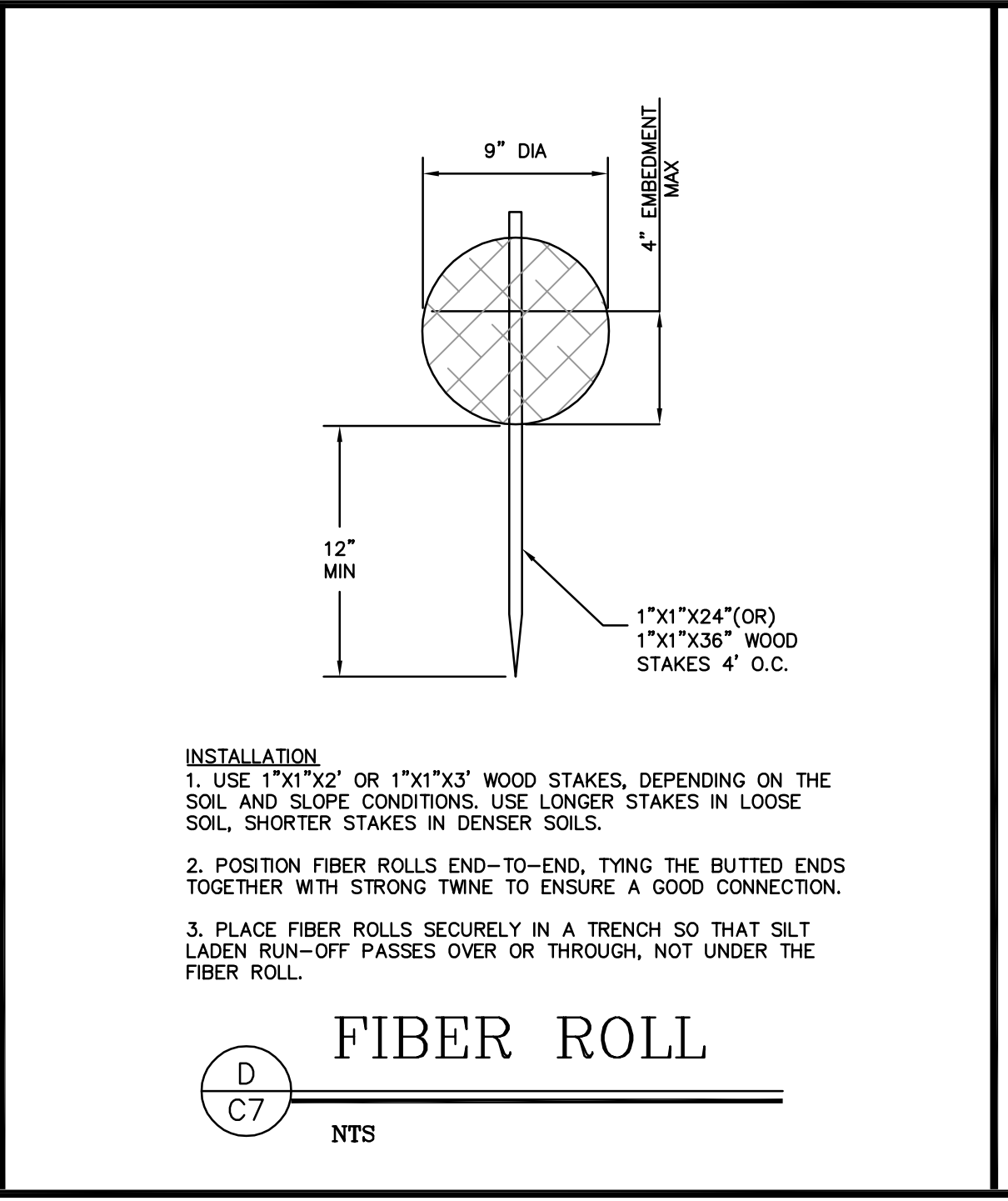
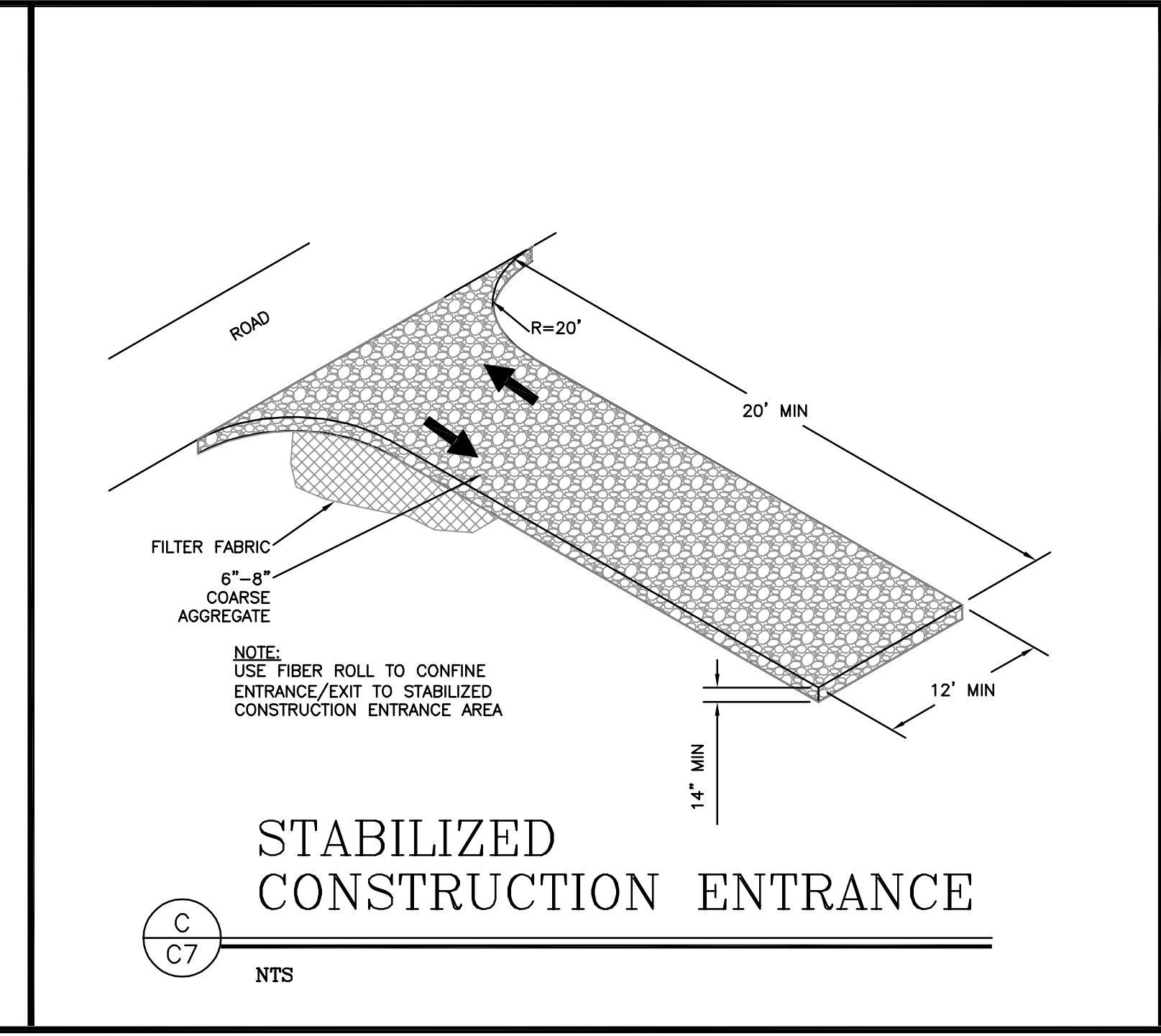
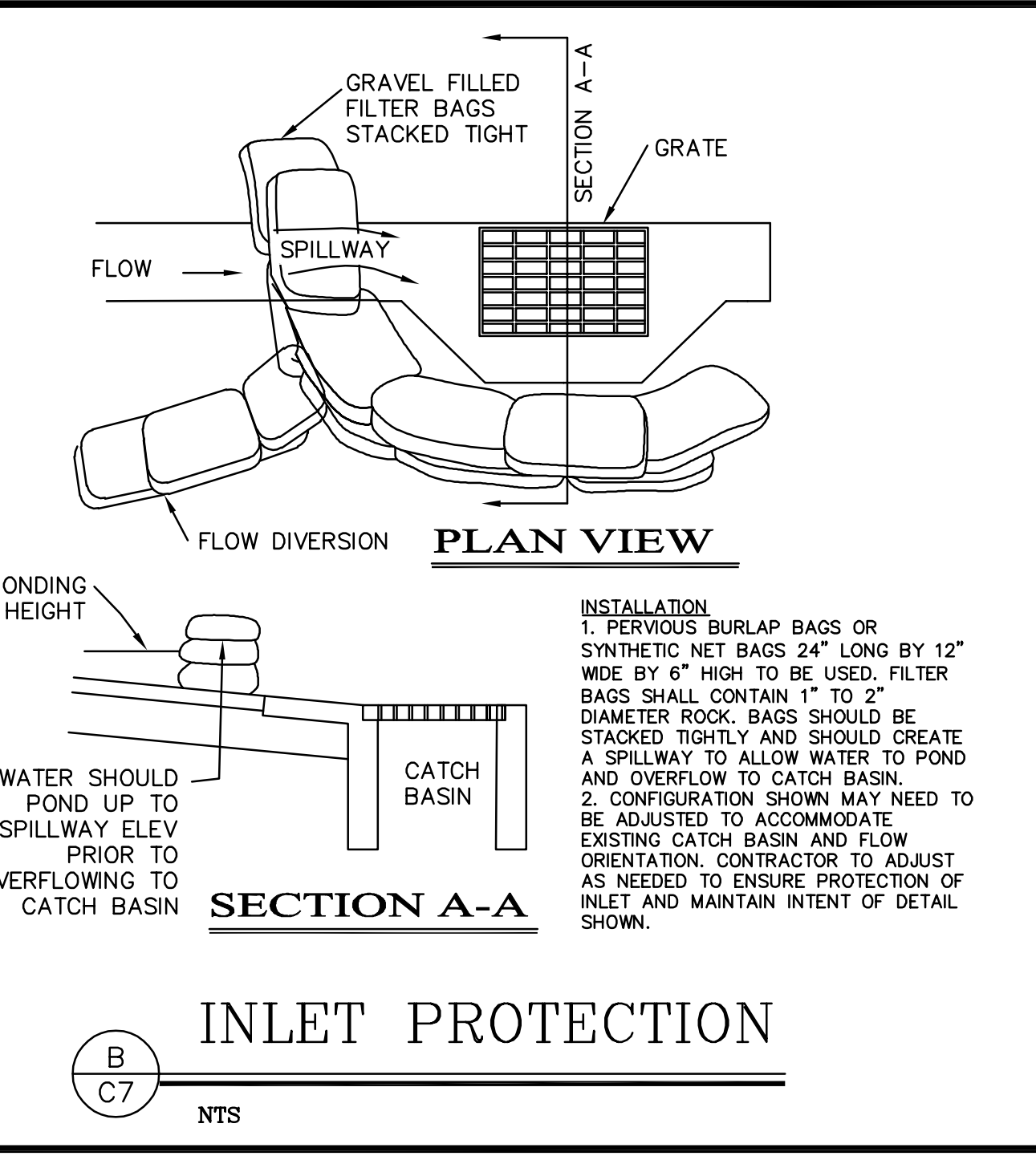
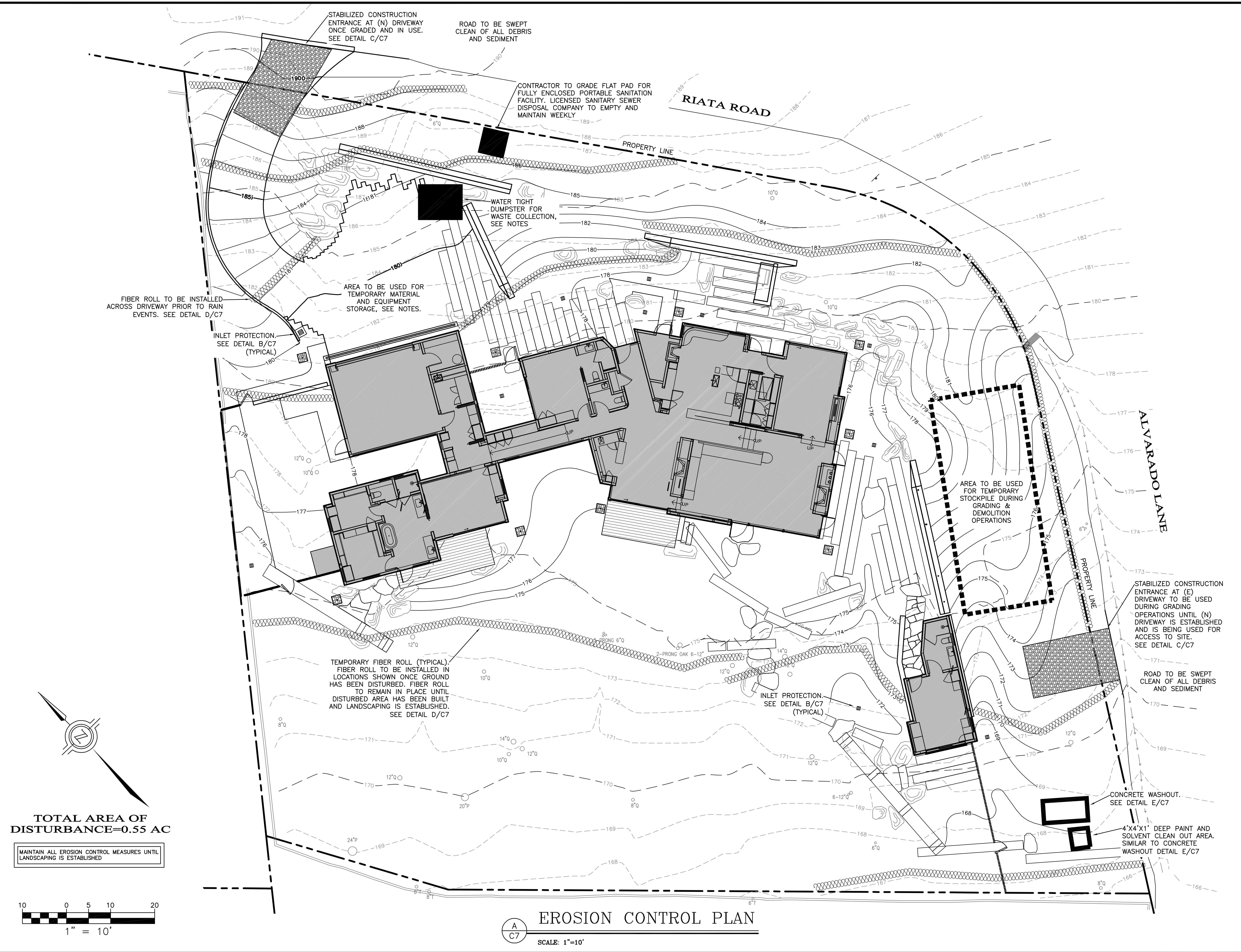
- ### STORM DRAIN INLET PROTECTION
- STORM DRAIN INLET PROTECTION SHALL BE INSTALLED AROUND EXISTING AND NEW STORM DRAIN INLETS AS REQUIRED TO PREVENT ANY SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM.
 - INSTALL STORM DRAIN INLET PROTECTION AS SHOWN ON DETAIL B/C7.
 - STORM DRAIN INLET PROTECTION SHALL BE INSPECTED MONTHLY DURING DRY PERIODS AND IMMEDIATELY AFTER EACH RAINFALL. REPAIRS SHALL BE MADE IMMEDIATELY TO ANY DAMAGED PORTION OF THE BARRIER. SEDIMENT AND DEBRIS SHOULD BE REMOVED FROM THE PERIMETER OF THE BARRIER.
- ### FIBER ROLL
- FIBER ROLLS WILL BE INSTALLED AT LOCATIONS SHOWN ON THIS PLAN AND PER DETAIL D/C7. CONTRACTOR MAY USE SILT FENCE AS AN ALTERNATE/SupPLEMENTAL EROSION CONTROL/SEDIMENT BARRIER.
- ### TYPICAL CONSTRUCTION ENTRANCE
- CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER DETAIL C/C7 AT THE LOCATION SHOWN ON THE PLANS.
 - RUN-OFF FROM CONSTRUCTION ENTRANCE SHALL BE DIVERTED SO AS TO PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING DIRECTLY INTO THE STORM DRAINAGE SYSTEM.
 - ALL VEHICLES LEAVING THE PROJECT SITE SHOULD PASS OVER THE CONSTRUCTION ENTRANCE AND BE CLEARED OF DIRT, MUD, OR ANY DEBRIS BEFORE ENTERING THE MAIN ROAD.
 - ANY DIRT, MUD, OR DEBRIS DEPOSITED IN THE MAIN ROAD ADJACENT TO THE CONSTRUCTION SITE SHOULD BE CLEANED IMMEDIATELY.
 - THE CONSTRUCTION ENTRANCE SHOULD BE INSPECTED AND MAINTAINED PERIODICALLY TO ENSURE PROPER FUNCTION.
 - THE CONSTRUCTION ENTRANCE MAY BE FIELD MODIFIED TO MEET SITE CONDITIONS.

- ### CONCRETE WASHOUT
- TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING OF MATERIALS.
 - A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
 - TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
 - TEMPORARY WASHOUT FACILITIES SHOULD HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
 - WASHOUT OF CONCRETE TRUCKS SHOULD BE PERFORMED IN DESIGNATED AREAS ONLY.
 - ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT.
 - CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFF-SITE.
 - ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF PER PROPER WASTE MANAGEMENT PROCEDURES. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.

- ### MATERIAL DELIVERY AND STORAGE
- LIQUIDS, PETROLEUM PRODUCTS, AND SUBSTANCES LISTED IN 40 CFR PARTS 110, 117, OR 302 SHOULD BE STORED IN APPROVED CONTAINERS AND DRUMS AND SHOULD NOT BE OVERFILLED. CONTAINERS AND DRUMS SHOULD BE PLACED IN TEMPORARY CONTAINMENT FACILITIES FOR STORAGE.
 - TEMPORARY CONTAINMENT FACILITY SHOULD PROVIDE FOR A SPILL CONTAINMENT VOLUME ABLE TO CONTAIN PRECIPITATION FROM A 25 YEAR STORM EVENT, PLUS THE AGGREGATE VOLUME OF ALL CONTAINERS OR 100% OF THE CAPACITY OF THE LARGEST CONTAINER WITH ITS BOUNDARY, WHICHEVER IS GREATER.
 - A TEMPORARY CONTAINMENT FACILITY SHOULD BE IMPERVIOUS TO THE MATERIALS STORED THEREIN FOR A MINIMUM CONTACT TIME OF 72 HOURS.
 - A TEMPORARY CONTAINMENT FACILITY SHOULD BE MAINTAINED FREE OF ACCUMULATED RAINWATER AND SPILLS. IN THE EVENT OF SPILLS OR LEAKS, ACCUMULATED RAINWATER SHOULD BE COLLECTED AND PLACED INTO DRUMS. THESE LIQUIDS SHOULD BE HANDLED AS A HAZARDOUS WASTE UNLESS TESTING DETERMINES THEM TO BE NON-HAZARDOUS. ALL COLLECTED LIQUIDS OR NON-HAZARDOUS LIQUIDS SHOULD BE SENT TO AN APPROVED DISPOSAL SITE.
 - SUFFICIENT SEPARATION SHOULD BE PROVIDED BETWEEN STORED CONTAINERS TO ALLOW FOR SPILL CLEANUP AND EMERGENCY RESPONSE ACCESS.
 - INCOMPATIBLE MATERIALS, SUCH AS CHLORINE AND AMMONIA, SHOULD NOT BE STORED IN THE SAME TEMPORARY CONTAINMENT FACILITY.
 - THROUGHOUT THE RAINY SEASON, EACH TEMPORARY CONTAINMENT FACILITY SHOULD BE COVERED DURING NON-WORKING DAYS, PRIOR TO, AND DURING RAIN EVENTS.
 - MATERIALS SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS AND THE ORIGINAL PRODUCT LABELS SHOULD BE MAINTAINED IN PLACE IN A LEGIBLE CONDITION. DAMAGED OR OTHERWISE ILLEGIBLE LABELS SHOULD BE REPLACED IMMEDIATELY.
 - BAGGED AND BOXED MATERIALS SHOULD BE STORED ON PALLETS AND SHOULD NOT BE ALLOWED TO ACCUMULATE ON THE GROUND. TO PROVIDE PROTECTION FROM WIND AND RAIN THROUGHOUT THE RAINY SEASON, BAGGED AND BOXED MATERIALS SHOULD BE COVERED DURING NON-WORKING DAYS AND PRIOR TO AND DURING RAIN EVENTS.
 - STOCKPILES SHOULD BE PROTECTED IN ACCORDANCE WITH CALIFORNIA STORM WATER QUALITY HANDBOOK PRACTICES WM-3, STOCKPILE MANAGEMENT.
 - MATERIALS SHOULD BE STORED INDOORS WITHIN EXISTING STRUCTURES OR SHEDS WHEN AVAILABLE.
 - PROPER STORAGE INSTRUCTIONS SHOULD BE POSTED AT ALL TIMES IN AN OPEN AND CONSPICUOUS LOCATIONS.
 - AN AMPLIFIED SUPPLY OF APPROPRIATE SPILL CLEAN MATERIAL SHOULD BE KEPT NEAR STORAGE AREAS.
 - KEEP AN ACCURATE, UP-TO-DATE INVENTORY OF MATERIAL DELIVERED AND STORED ON-SITE.
 - ARRANGE FOR EMPLOYEES TRAINED IN EMERGENCY SPILL CLEANUP PROCEDURES TO BE PRESENT WHEN DANGEROUS MATERIALS OR LIQUID CHEMICALS ARE UNLOADED.

- ### WASTE COLLECTION AREA
- WATER TIGHT DUMPSTERS OF SUFFICIENT SIZE AND NUMBER SHALL BE PROVIDED TO CONTAIN THE SOLID WASTE GENERATED BY THE PROJECT AND SHALL BE PROPERLY SERVICED.
 - LITTERING ON THE PROJECT SITE SHALL BE PROHIBITED.
 - TRASH RECEPTACLES SHALL BE PROVIDED IN FIELD TRAILER AREAS AND IN LOCATIONS WHERE WORKERS CONGREGATE FOR LUNCH AND BREAK PERIODS.
 - CONSTRUCTION DEBRIS AND LITTER FROM WORK AREAS WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT SITE SHALL BE COLLECTED AND PLACED IN WATER TIGHT DUMPSTERS AT LEAST WEEKLY. COLLECTED LITTER OR DEBRIS SHALL NOT BE PLACED IN OR NEXT TO DRAIN INLETS, STORM WATER DRAINAGE SYSTEMS OR WATERCOURSES.
 - FULL DUMPSTERS SHALL BE REMOVED FROM THE PROJECT SITE AND THE CONTENTS SHALL BE DISPOSED OF AT A LEGALLY APPROVED LAND FILL LOCATION.
 - ALL DUMPSTERS SHALL BE HANDLED AND DISPOSED OF BY TRASH HAULING CONTRACTOR.
 - CONSTRUCTION DEBRIS AND WASTE SHALL BE REMOVED FROM THE SITE EVERY TWO WEEKS OR SOONER IF NEEDED.
 - STORM WATER RUN ON SHALL BE PREVENTED FROM CONTACTING STOCKPILED SOLID WASTE THROUGH THE USE OF BERMS OR OTHER TEMPORARY DIVERSION STRUCTURES OR THROUGH THE USE OF ELEVATE WASTE FROM SURFACE.
 - WASTE STORED IN STOCKPILES SHALL BE SECURELY COVERED FROM WIND AND RAIN BY COVERING WASTE WITH TARPS OR PLASTIC SHEETING WHILE WAITING FOR OFF HAUL OR TRANSFER TO DUMPSTER.
 - SEGREGATE HAZARDOUS WASTE FROM NON-HAZARDOUS WASTE. FOR DISPOSAL OF HAZARDOUS WASTE SEE BMP WM-6. HAVE HAZARDOUS WASTE HAULED TO AN APPROPRIATE DISPOSAL FACILITY IMMEDIATELY AFTER DEMOLITION OR USE.
 - MAKE SURE THAT TOXIC LIQUID WASTES AND CHEMICALS ARE NOT DISPOSED OF IN DUMPSTERS BUT ARE REMOVED OFF SITE APPROPRIATELY.

NOTE:
ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15 THROUGH APRIL 15).



ENGINEERING AND SURVEYING, INC.
2495 Garden Road, Suite G, Monterey, California 93940
P: 831.658.2123 F: 831.658.3425
Luis@engsurvey.com

REGISTERED PROFESSIONAL ENGINEER
No. 69930
EXP. 9-30-2018
CIVIL
STATE OF CALIFORNIA

EROSION CONTROL PLAN

DAVIS RESIDENCE
1458 RIATA ROAD
PEBBLE BEACH, CA 93953
APN 008-332-019

SHEET C7
OF
8 SHEETS

MRS
DESIGNED BY:
03-17-2022
DATE:
AS SHOWN

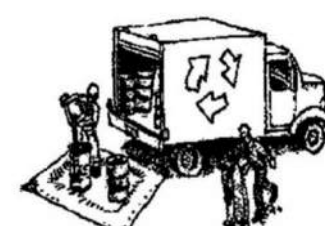
MRS
DRAWN BY:
21-53
SCALE:
N/A

N/A
JOB NUMBER:
21-53
LAST REVISED BY:
REVISD BY:



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & CONTAMINATED WORK

Non-Hazardous Materials

- Bern and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.



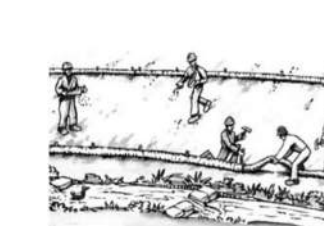
EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.

Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
- Do not hose down surfaces or use a drip pan big enough to collect fluids, recycle or dispose of fluids as hazardous waste.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- Inlet protection is the last line of spill defense. Drain inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt mud, other debris, or illicit discharges, and include garter controls and filtration where applicable in a manner not impeding traffic or safety.



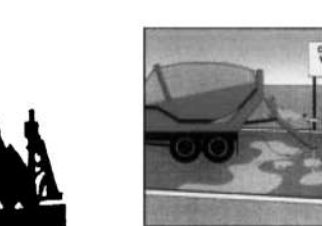
EARTHWORK & CONTAMINATED SOILS

Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

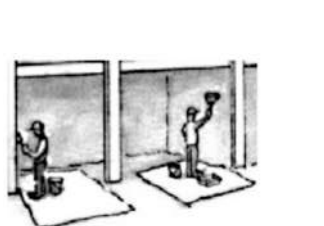
- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filter, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.
- If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspectors:
 - Unusual soil conditions, discoloration, or odor
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.



PAVING/ASPHALT WORK

Sealing

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt or concrete pavement.



CONCRETE, GROUT & MORTAR APPLICATION

Storage

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment trucks/offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

Swallowing & Asphalt Concrete Removal

- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.



PAINTING & PAINT REMOVAL

Painting Cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes or rinse paint containers into a proper container. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinner and solvents. Dispose of residue and unusable thinner/solvent as hazardous waste.

Paint Removal

- Chemical paint stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



DEWATERING

Run-off

- Effectively manage all run-off, all runoff within the site, and all runoff that discharges from the site.
- Divert run-off water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or discharge through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

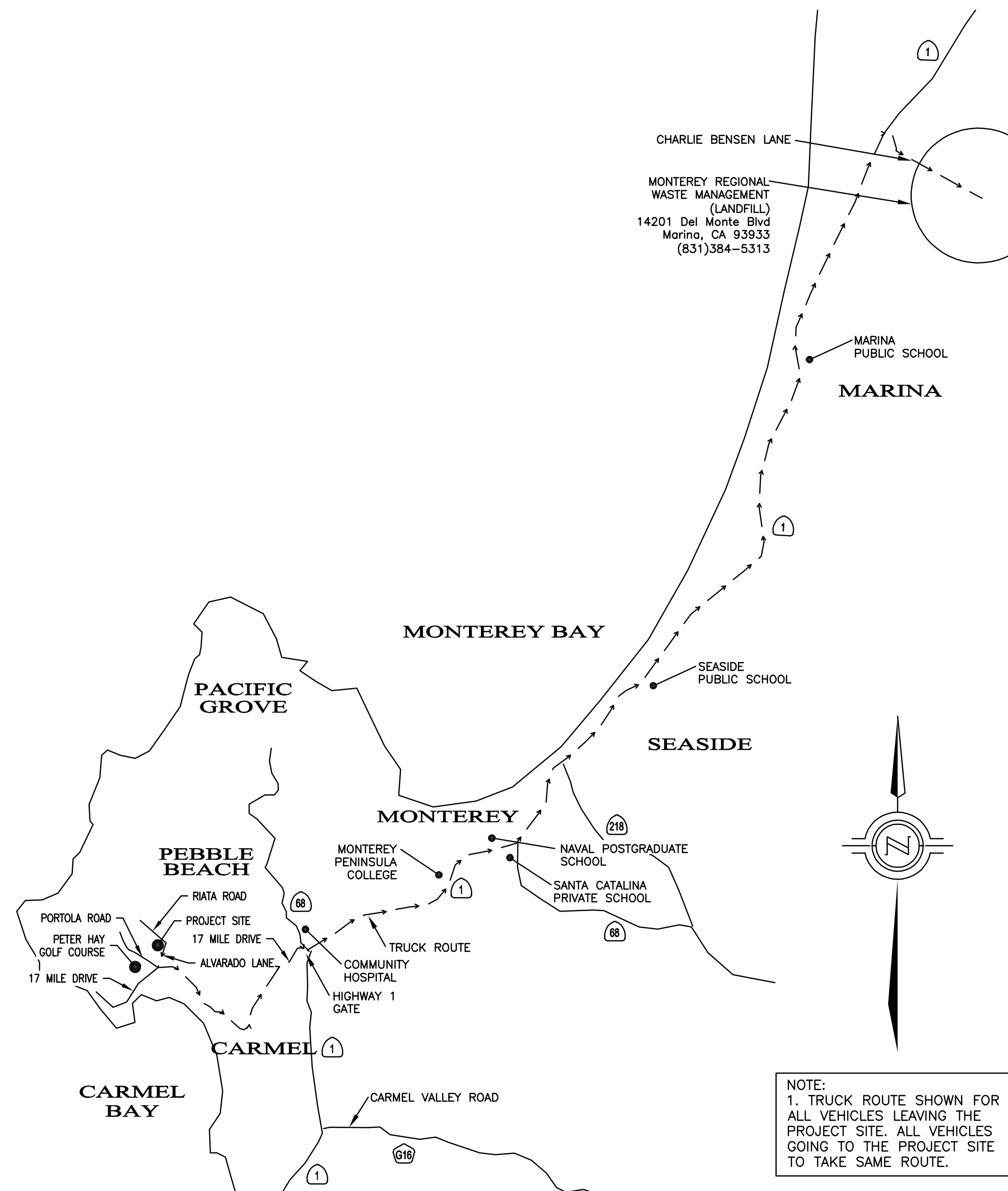


LANDSCAPE MATERIALS

Storage

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program



OVERALL TRUCK ROUTING PLAN SCALE: 1"=8000'

CONSTRUCTION NOTES

- ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY - SATURDAY, 8AM TO 6PM (EXCLUDING NATIONAL HOLIDAYS)
- THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES, AND THAT SUCH COPIES ARE AVAILABLE FOR AGENCY REVIEW ON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE SOCIETY OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.
- EQUIPMENT WASHING AND SERVICING SHALL TAKE PLACE ONLY IN APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES.
- THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES (E.G. CLEANUP ALL LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY; KEEP MATERIALS COVERED AND OUT OF THE RAIN, INCLUDING COVERING EXPOSED PILES OF SOIL AND WASTES; DISPOSE OF ALL WASTES PROPERLY; PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER). SEE BMP HANDOUT ON THIS SHEET.
- ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION-RELATED RUNOFF AND/OR SEDIMENT FROM LEAVING THE SITE.
- THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING MEASURES TO CONTROL FUGITIVE DUST EMISSIONS DURING CONSTRUCTION (MM AQ C1 - DUST CONTROL):
 - WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. FREQUENCY SHOULD BE BASED ON THE TYPE OF OPERATION, SOIL, AND WIND EXPOSURE. - NOT APPLICABLE TO SITE.
 - PROHIBIT ALL GRADING ACTIVITIES DURING PERIODS OF HIGH WIND MORE THAN 15 MILES PER HOUR.
 - APPLY CHEMICAL SOIL STABILIZERS ON INACTIVE CONSTRUCTION AREAS SUCH AS DISTURBED LANDS WITHIN CONSTRUCTION PROJECTS THAT ARE UNUSED FOR AT LEAST FOUR CONSECUTIVE DAYS. - NOT APPLICABLE TO SITE.
 - APPLY NON-TOXIC BRIDGES LIKE LATEX ACTIVE COPOLYMER TO EXPOSED AREAS AFTER CUT AND FILL OPERATIONS AND HYDROSEED AREA. - NOT APPLICABLE TO SITE.
 - MAINTAIN AT LEAST 2 FEET OF FREEBOARD ON HAUL TRUCKS.
 - COVER ALL TRUCKS HAULING DIRT SAND OR LOOSE MATERIAL.
 - PLANT TREE WINDBROWS ON THE WINDWARD PERIMETER OF CONSTRUCTION PROJECTS IF ADJACENT TO OPEN LAND, PRIOR TO CONSTRUCTION-NOT APPLICABLE TO SITE.
 - PLANT VEGETATIVE GROUND COVER IN DISTURBED AREAS AS SOON AS POSSIBLE.
 - COVER INACTIVE STORAGE PILES.
 - INSTALL WHEEL WASHERS AT THE ENTRANCE TO CONSTRUCTION SITES FOR ALL EXITING TRUCKS - NOT APPLICABLE TO SITE.
 - PAVE ALL ROADS ON CONSTRUCTION SITES PRIOR TO USE BY CONSTRUCTION EQUIPMENT - NOT APPLICABLE TO SITE.
 - SWEEP STREETS IF VISIBLE SOIL MATERIAL IS CARRIED OUT FROM THE CONSTRUCTION SITE.
 - POST A PUBLICLY VISIBLE SIGN THAT SPECIFIES THE TELEPHONE NUMBER AND PERSON TO CONTACT REGARDING DUST COMPLAINTS. THIS PERSON WILL RESPOND TO COMPLAINTS AND TAKE IMMEDIATE ACTION WITHIN 48 HOURS. THE PHONE NUMBER OF THE MERCHANT WILL BE VISIBLE TO ENSURE COMPLIANCE WITH RULE 402 SIGNAGE.
 - LIMIT THE AREA UNDER CONSTRUCTION AT ANY ONE TIME.
- THE CONSTRUCTION CONTRACTOR SHALL ENSURE THESE MEASURES ARE IMPLEMENTED DURING CONSTRUCTION AS VERIFIABLE UPON COUNTY INSPECTION.
- THE CONTRACTOR WILL ENSURE THAT ALL STATIONARY NOISE GENERATING EQUIPMENT, SUCH AS PUMPS AND GENERATORS ARE LOCATED AS FAR AS POSSIBLE FROM NEARBY NOISE SENSITIVE RECEPTORS AS PRACTICABLE. WHERE POSSIBLE, NOISE GENERATING EQUIPMENT WILL BE SHELDED FROM NEARBY NOISE SENSITIVE RECEPTORS BY NOISE ATTENUATING BARRIERS SUCH AS STRUCTURES OR HAUL TRUCK TRAILERS. STATIONARY NOISE SOURCES LOCATED CLOSER THAN 500 FEET FROM NOISE SENSITIVE RECEPTORS WILL BE EQUIPPED WITH NOISE REDUCING ENGINE HOUSINGS, PORTABLE ACOUSTIC BARRIERS WILL BE PLACED AROUND NOISE GENERATING EQUIPMENT LOCATED WITHIN 200 FEET OF RESIDENCES, WATER TANKS AND EQUIPMENT STORAGE, STAGING, AND WARM-UP AREAS WILL BE LOCATED AS FAR FROM NOISE SENSITIVE RECEPTORS AS POSSIBLE.
- THE CONTRACTOR WILL ENSURE ALL CONSTRUCTION EQUIPMENT POWERED BY GASOLINE OR DIESEL ENGINES HAS SOUND CONTROL DEVICES AT LEAST AS EFFECTIVE AS THOSE ORIGINALLY PROVIDED BY THE MANUFACTURER. NO EQUIPMENT WILL BE PERMITTED TO HAVE AN UNMUFFLED EXHAUST.
- THE APPLICANT WILL ENSURE THE CONSTRUCTION SPECIFICATIONS SPECIFY THAT ANY MOBILE NOISE-GENERATING EQUIPMENT OR MACHINERY IS SHUT OFF WHEN NOT IN USE. THESE REQUIREMENTS WILL BE INCLUDED IN ALL RELEVANT CONSTRUCTION CONTRACTS AND SHOWN ON CONSTRUCTION PLANS, AND WILL BE IMPLEMENTED DURING CONSTRUCTION.
- THE CONTRACTOR TO ENSURE THAT CONSTRUCTION VEHICLES ACCESSING THE SITE USE THE SHORTEST POSSIBLE ROUTE TO AND FROM LOCAL FREEWAYS, PROVIDED THE ROUTES DO NOT EXPOSE ADDITIONAL RECEPTORS TO NOISE. SEE APPROVED TRUCK ROUTE ON THIS SHEET.
- THE APPLICANT AND THE CONTRACTOR WILL ENSURE THAT RESIDENTS WITHIN 500 FEET OF THE CONSTRUCTION AREA ARE NOTIFIED OF THE CONSTRUCTION SCHEDULE IN WRITING BEFORE CONSTRUCTION BEGINS.

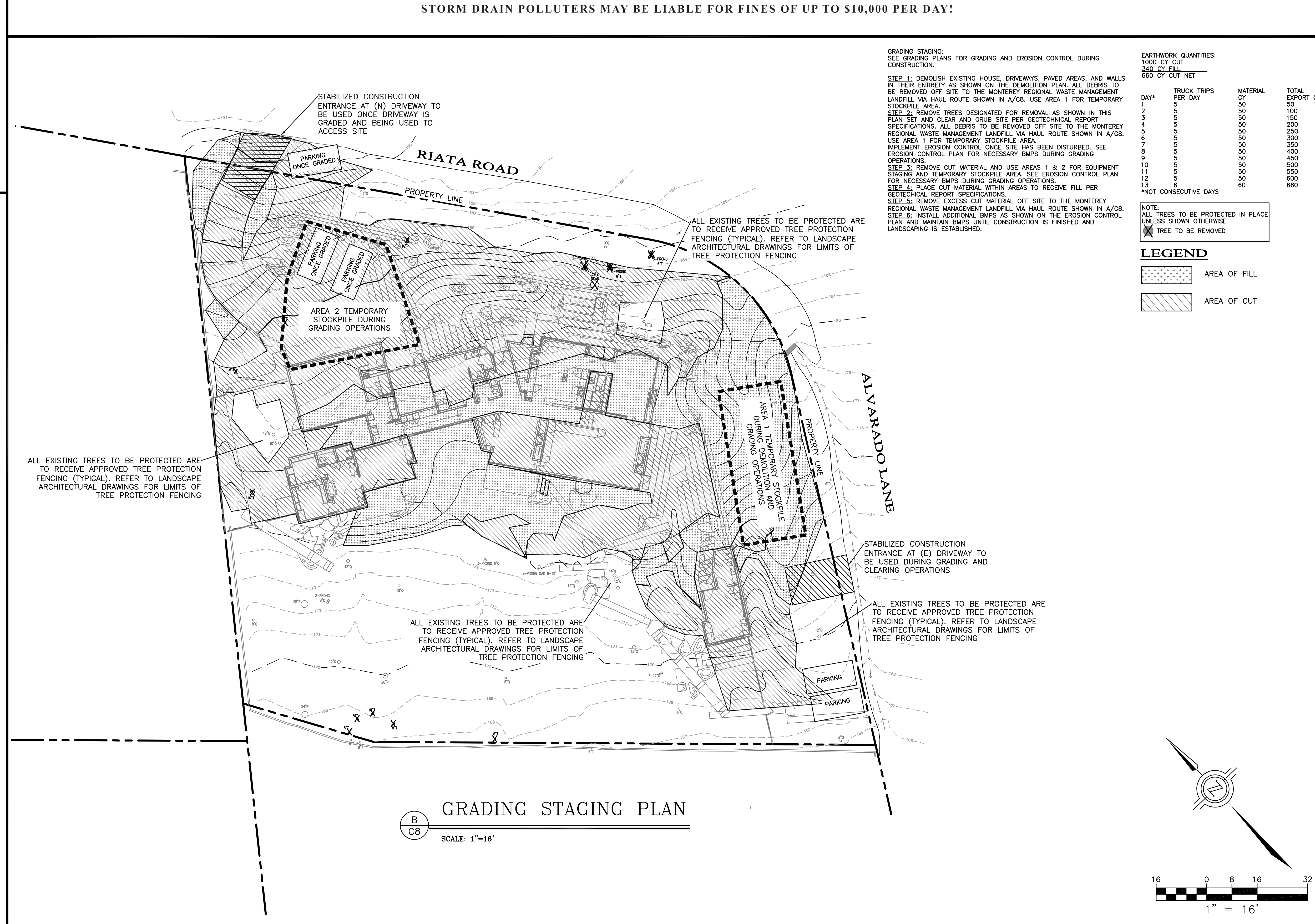
TREE PROTECTION

- AROUND EACH TREE OR GROUP OF TREES TO BE PRESERVED ADJACENT TO CONSTRUCTION SITES, A BOUNDARY OF ORANGE FENCING SUPPORTED BY WOOD OR METAL STAKES OR FUNCTIONAL EQUIVALENT WILL BE ERRECTED ALONG THE APPROXIMATE DRIP LINES OF SUCH PROTECTED TREES OR CLOSER WHERE SPECIFICALLY APPROVED BY A QUALIFIED FORESTER, ARBORIST, OR THE COUNTY OF MONTEREY, WHERE GUIDANCE OF A TREE PROFESSIONAL IS USED, ENCRICHMENT INTO THE DRIP LINE OF RETAINED TREES MAY OCCUR IN ORDER TO MINIMIZE TREE REMOVALS.
- NO EXCAVATION, STORAGE OF EXCAVATED FILL, EQUIPMENT, OR CONSTRUCTION MATERIALS, NOR PARKING OF VEHICLES WILL BE PERMITTED WITHIN THE DRIP LINES OF THESE FENCE PROTECTED TREES.
- NO SOIL MAY BE REMOVED FROM WITHIN THE DRIP LINE OF ANY TREE AND NO FILL OF ADDITIONAL SOIL WILL EXCEED TWO INCHES WITHIN THE DRIP LINES OF TREES, UNLESS IT IS PART OF APPROVED CONSTRUCTION AND IS REVIEWED BY A QUALIFIED FORESTER.
- BARX INJURY TO ANY TREE FROM EQUIPMENT OR MATERIALS WILL BE PREVENTED BY FAITHFULLY RESPECTING THE TREE PROTECTION FENCING REQUIRED ABOVE.
- ROOTS EXPOSED BY EXCAVATION WILL BE PRUNED TO PROMOTE CALLUSING, CLOSURE, AND REDGROWTH, AND WILL BE RECOVERED AS SOON AS POSSIBLE IF TREE HEALTH IS TO BE REASONABLY MAINTAINED.

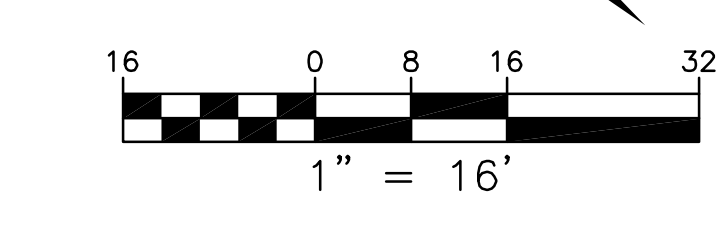
CONSTRUCTION COORDINATOR

CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION, SHOULD QUESTIONS ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBER) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF ALL COMPLAINTS (IF ANY) RECEIVED DURING CONSTRUCTION, AND SHALL INVESTIGATE COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24-HOURS OF RECEIPT OF THE COMPLAINT OR INQUIRY.

- ADDITIONAL NOTES:
- THIS PROJECT SITE WILL EXPECT 2-8 WORKERS PER DAY.
 - THIS PROJECT SITE WILL EXPECT NO MORE THAN 1 TRUCK DELIVERY PER DAY.
 - CONSTRUCTION PARKING WILL BE AT THE SITE WITHIN PROPOSED AREA.



GRADING STAGING PLAN SCALE: 1"=16'



ENGINEERING AND SURVEYING, INC.
 2407 Garden Road, Suite G, Monterey, California 93940
 P. 431.658.1223 F. 431.655.3425
 Lumbas@engsurv.com

REGISTERED PROFESSIONAL ENGINEER
 STATE OF CALIFORNIA
 CIVIL
 No. 69930
 EXP. 9-30-28

DRAWN BY: MRS
DESIGNED BY: MRS
DATE: 03-17-2022
AS SHOWN: AS SHOWN
SCALE:
JOB NUMBER: 21505
LAST REVISED: N/A
REVISED BY: N/A

GRADING STAGING:
 SEE GRADING PLANS FOR GRADING AND EROSION CONTROL DURING CONSTRUCTION.

STEP 1: DEMOLISH EXISTING HOUSE, DRIVEWAYS, PAVED AREAS, AND WALLS IN THEIR ENTIRETY AS SHOWN ON THE DEMOLITION PLAN. ALL DEBRIS TO BE REMOVED OFF SITE TO THE MONTEREY REGIONAL WASTE MANAGEMENT LANDFILL VIA HAIL ROUTE SHOWN IN A/C.B. USE AREA 1 FOR TEMPORARY STOCKPILE AREA.

STEP 2: REMOVE TREES DESIGNATED FOR REMOVAL AS SHOWN IN THIS PLAN SET AND CLEAR AND GRUB SITE PER GEO TECHNICAL REPORT SPECIFICATIONS. ALL DEBRIS TO BE REMOVED OFF SITE TO THE MONTEREY REGIONAL WASTE MANAGEMENT LANDFILL VIA HAIL ROUTE SHOWN IN A/C.B. USE AREA 1 FOR TEMPORARY STOCKPILE AREA. IMPLEMENT EROSION CONTROL ONCE SITE HAS BEEN DISTURBED. SEE EROSION CONTROL PLAN FOR NECESSARY BMPs DURING GRADING OPERATIONS.

STEP 3: REMOVE CUT MATERIAL AND USE AREAS 1 & 2 FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA. SEE EROSION CONTROL PLAN FOR NECESSARY BMPs DURING GRADING OPERATIONS.

STEP 4: PLACE CUT MATERIAL WITHIN AREAS TO RECEIVE FILL PER GEO TECHNICAL REPORT SPECIFICATIONS.

STEP 5: REMOVE EXCESS CUT MATERIAL OFF SITE TO THE MONTEREY REGIONAL WASTE MANAGEMENT LANDFILL VIA HAIL ROUTE SHOWN IN A/C.B. IMPLEMENT EROSION CONTROL ONCE SITE HAS BEEN DISTURBED. SEE EROSION CONTROL PLAN AND MAINTAIN BMPs UNTIL CONSTRUCTION IS FINISHED AND LANDSCAPING IS ESTABLISHED.

EARTHWORK QUANTITIES:
 1000 CY CUT
 340 CY FILL
 660 CY CUT NET

DAY*	TRUCK TRIPS PER DAY	MATERIAL	TOTAL EXPORT CY
1	5	50	50
2	5	50	100
3	5	50	150
4	5	50	200
5	5	50	250
6	5	50	300
7	5	50	350
8	5	50	400
9	5	50	450
10	5	50	500
11	5	50	550
12	5	50	600
13	5	50	660
*NOT CONSECUTIVE DAYS			

LEGEND

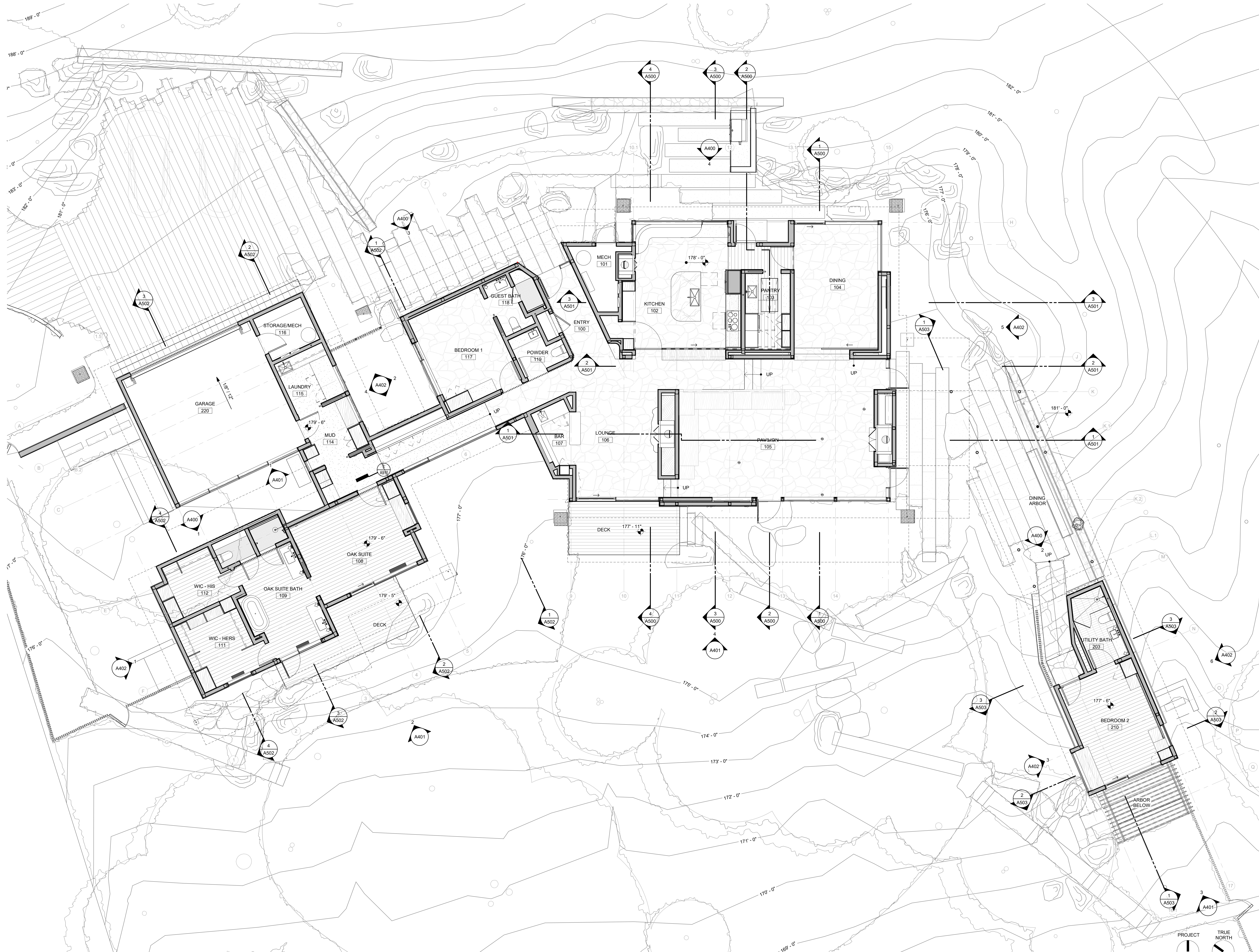
- AREA OF FILL
- AREA OF CUT

NOTE:
 ALL TREES TO BE PROTECTED IN PLACE UNLESS SHOWN OTHERWISE
 * TREE TO BE REMOVED

CONSTRUCTION MANAGEMENT PLAN

DAVIS RESIDENCE
 1458 RIATA ROAD
 PEBBLE BEACH, CA 93953
 APN 008-332-019

SHEET C8
 OF
 8 SHEETS



01 FLOOR PLAN - OVERALL
 SCALE: 3/16" = 1'-0"
 0 2 4 8 16



PEBBLE BEACH RETREAT

1458 Riata Rd. Pebble Beach, CA 93953

05/03/2022	LIF PROJ. NO. 20154
PROJ. ARCHITECT SR	DRAWN BY: AC
SET/ISSUE DATES	
DATE	ISSUE
06/23/21	PLANNING AND BUILDING
08/27/21	DD PRICING
10/07/21	PLANNING AND BUILDING UPDATE
02/18/22	BUILDING PERMIT

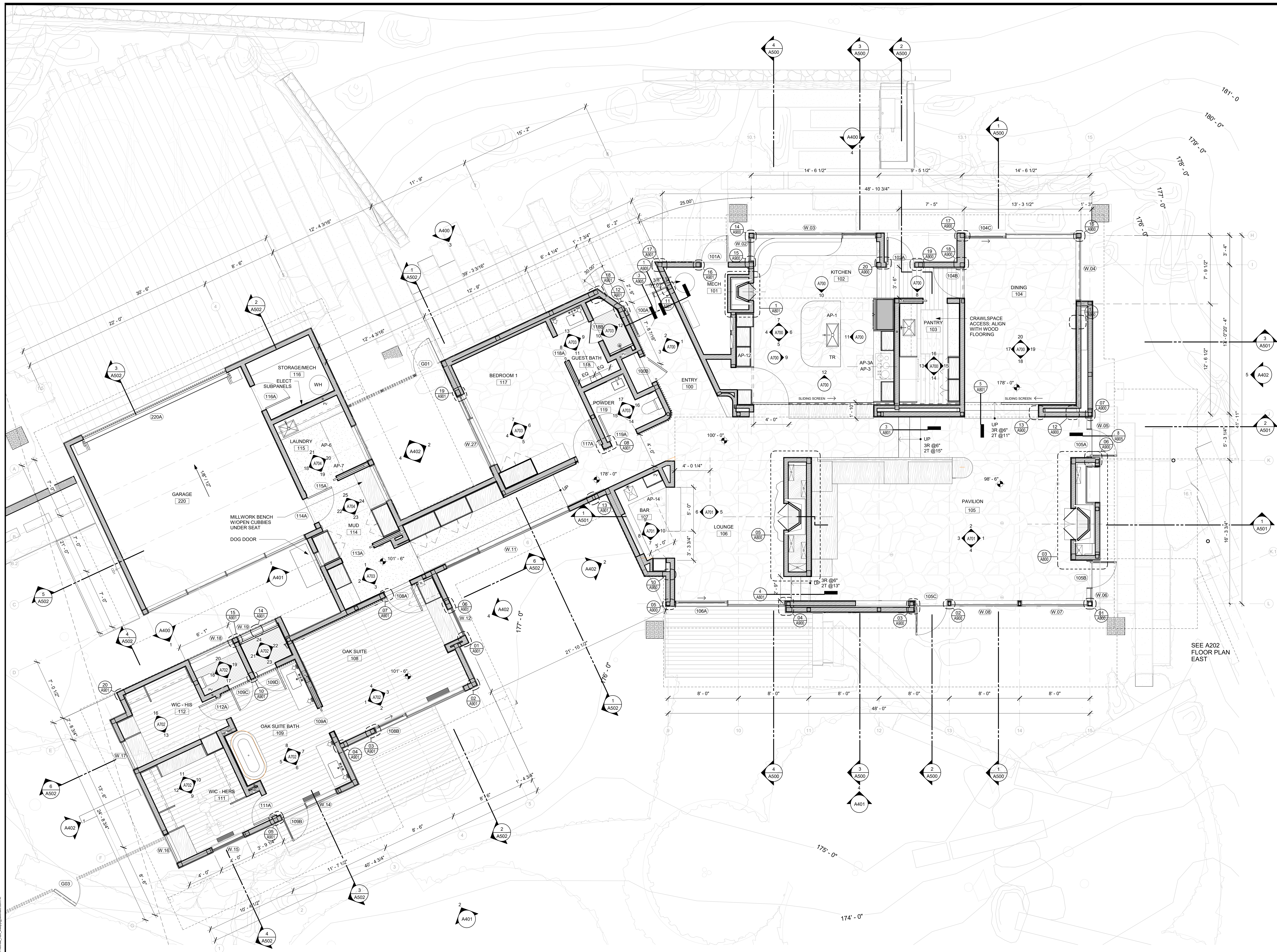
REVISIONS		
NO.	DATE	DESCRIPTION

BUILDING PERMIT

FLOOR PLAN - OVERALL

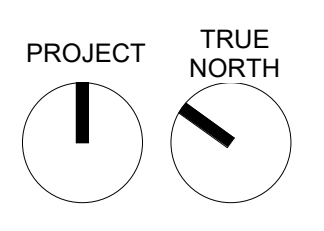
A200

General Note: 01: Hypergeometric, falsework, etc. Local Note: 01: Hypergeometric, falsework, etc.



01 FLOOR PLAN - WEST
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES
 1 DIMENSIONS ARE TO GRID LINE, FACE OF STUD, FACE OF CONCRETE, AND CENTERLINE OF DOOR OPENINGS, UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CLR" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL UNLESS NOTED AS "A.I.". VERIFY DIMENSIONS MARKED "V.I.F." PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
 2 FURNITURE LAYOUT IS FOR "REFERENCE" ONLY.



PEBBLE BEACH RETREAT

1458 Riata Rd. Pebble Beach, CA 93953

05/03/2022 LIF PROJ. NO. 20154
 PROJ. ARCHITECT SR DRAWN BY: Author

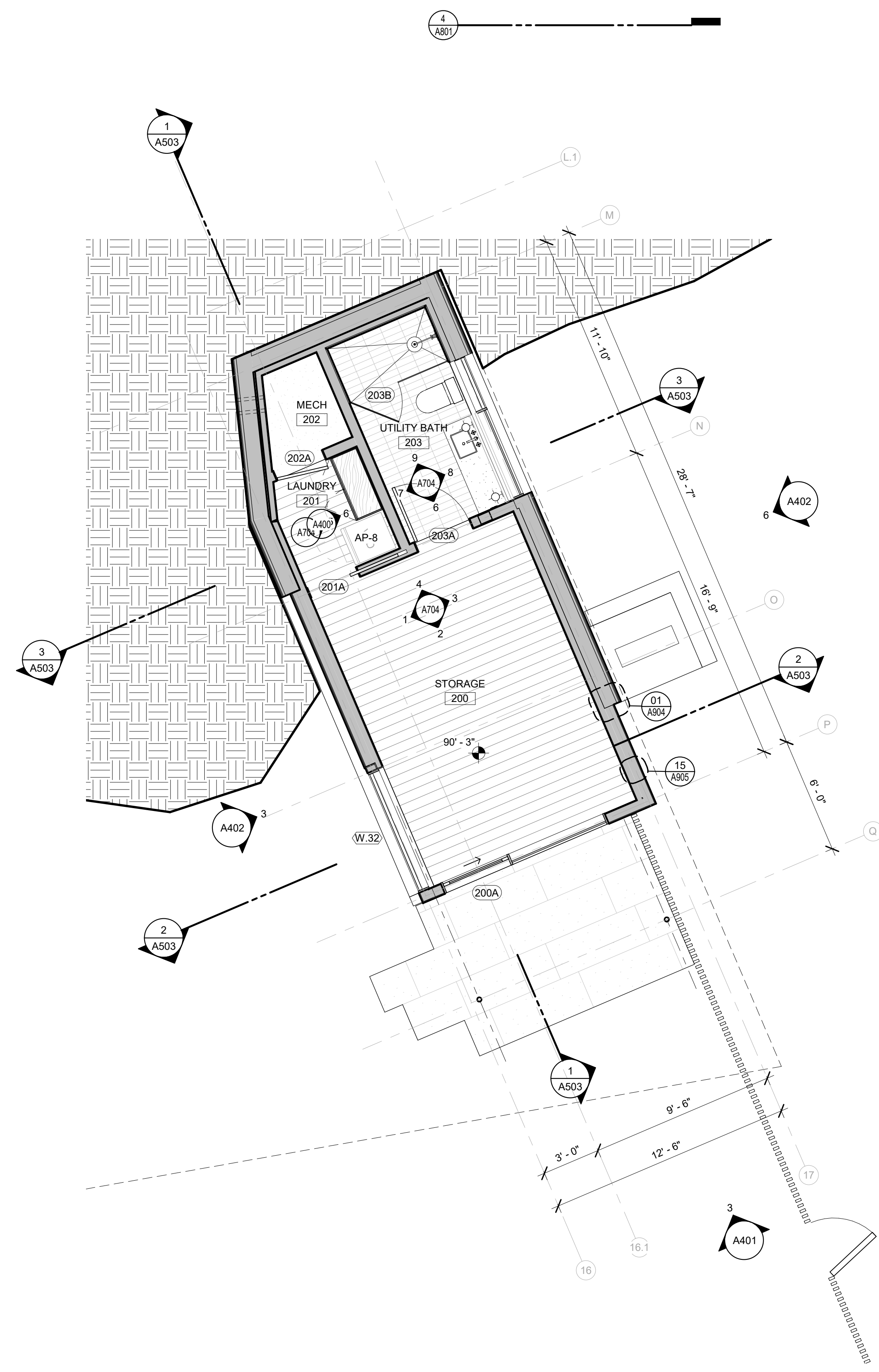
SET ISSUE DATES	
DATE	ISSUE
06/23/21	PLANNING AND BUILDING
08/27/21	DD PRICING
10/07/21	PLANNING AND BUILDING UPDATE
02/18/22	BUILDING PERMIT

REVISIONS		
NO.	DATE	DESCRIPTION

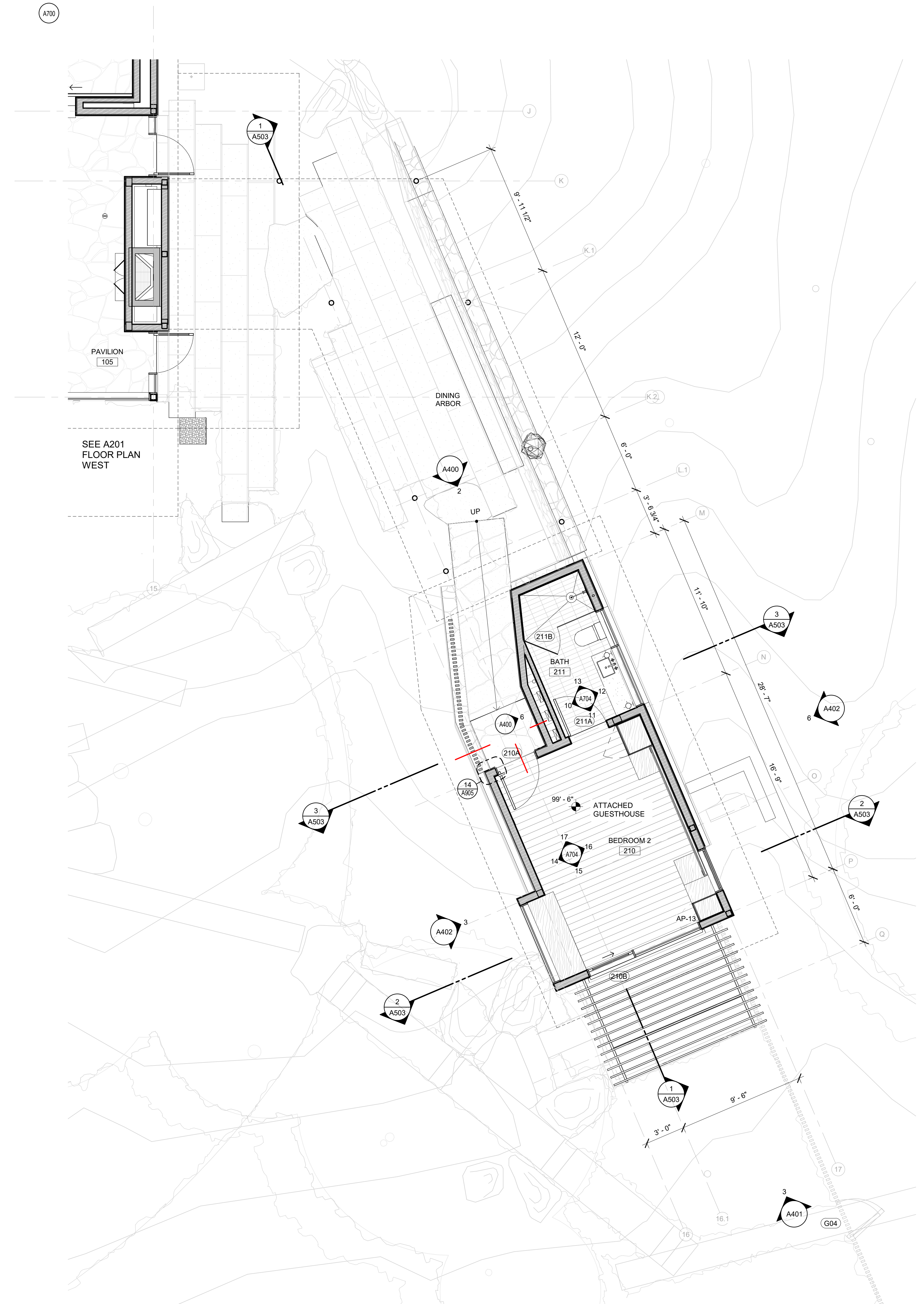
BUILDING PERMIT
FLOOR PLAN - WEST

General Note: 01: Mechanical/Electrical/Plumbing/Structural/...
 Local File Path: C:\Users\Local\Documents\Bentley\...

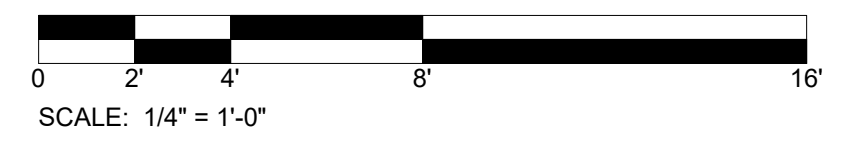
FLOOR PLAN NOTES
 1 DIMENSIONS ARE TO GRID LINE, FACE OF STUD, FACE OF CONCRETE, AND CENTERLINE OF DOOR OPENINGS, UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CL" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL UNLESS NOTED AS "+/-". VERIFY DIMENSIONS MARKED "V.I.F." PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
 2 FURNITURE LAYOUT IS FOR "REFERENCE" ONLY.



1 FLOOR PLAN - STORAGE
 SCALE: 1/4" = 1'-0"



2 FLOOR PLAN - EAST ARBOR & BEDROOM 2
 SCALE: 1/4" = 1'-0"



ARCHITECTS INC.
LAKE FLATO
 311 THIRD STREET
 SAN ANTONIO, TEXAS 78205
 P.210.227.3336 F.210.224.9515
 www.lakeflato.com



PEBBLE BEACH RETREAT

1458 Riata Rd. Pebble Beach, CA 93953

05/03/2022	LIF PROJ. NO.	20154
PROJ. ARCHITECT	SR	DRAWN BY: Author
SET ISSUE DATES		
DATE	ISSUE	
06/23/21	PLANNING AND BUILDING	
08/27/21	DD PRICING	
10/07/21	PLANNING AND BUILDING UPDATE	
02/18/22	BUILDING PERMIT	

REVISIONS		
NO.	DATE	DESCRIPTION

BUILDING PERMIT

FLOOR PLANS - EAST

A202



PEBBLE BEACH RETREAT

1458 Riata Rd. Pebble Beach, CA 93953

05/03/2022 LIF PROJ. NO. 20154

PROJ. ARCHITECT SR DRAWN BY: Author

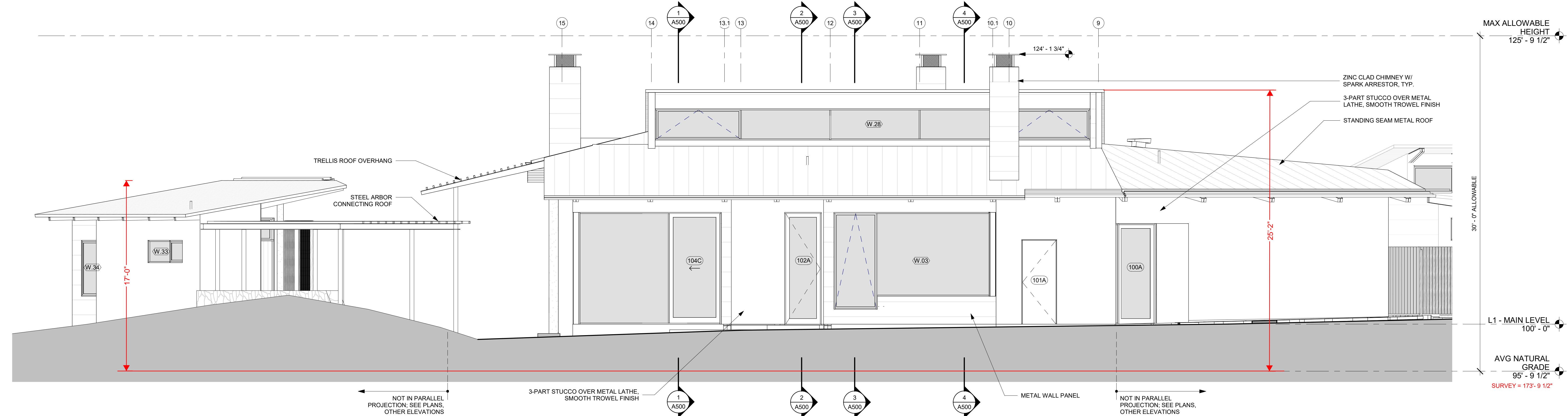
SET ISSUE DATES	
DATE	ISSUE
06/23/21	PLANNING AND BUILDING
08/27/21	DD PRICING
10/07/21	PLANNING AND BUILDING UPDATE
02/18/22	BUILDING PERMIT

REVISIONS		
NO.	DATE	DESCRIPTION

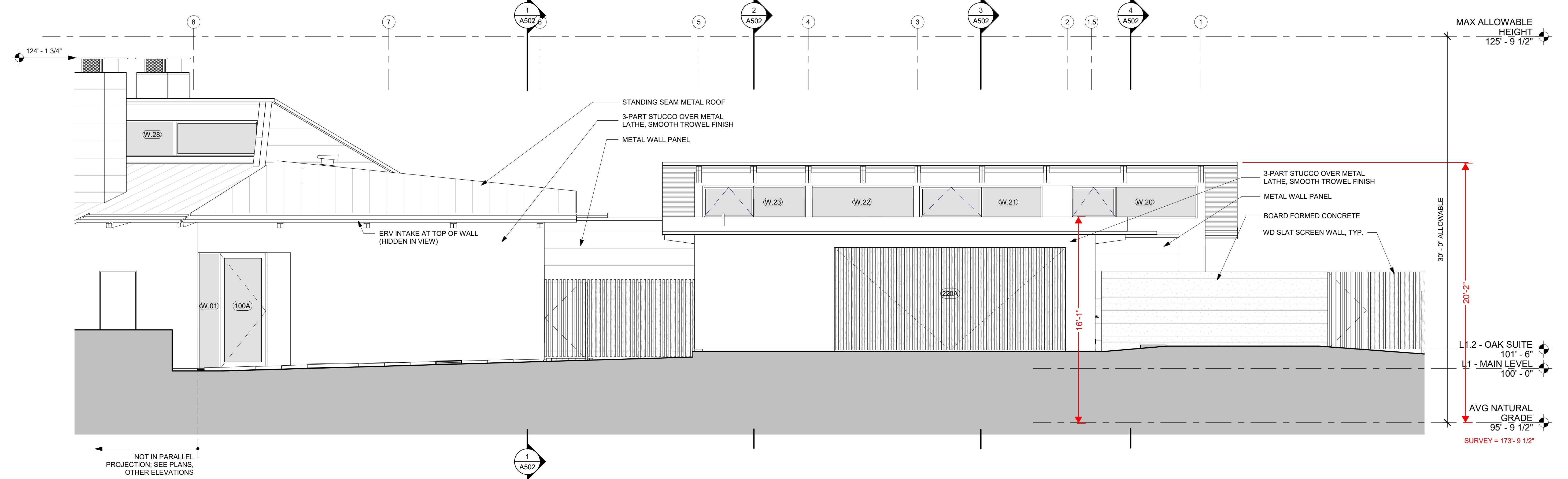
BUILDING PERMIT

EXTERIOR ELEVATIONS - NORTH

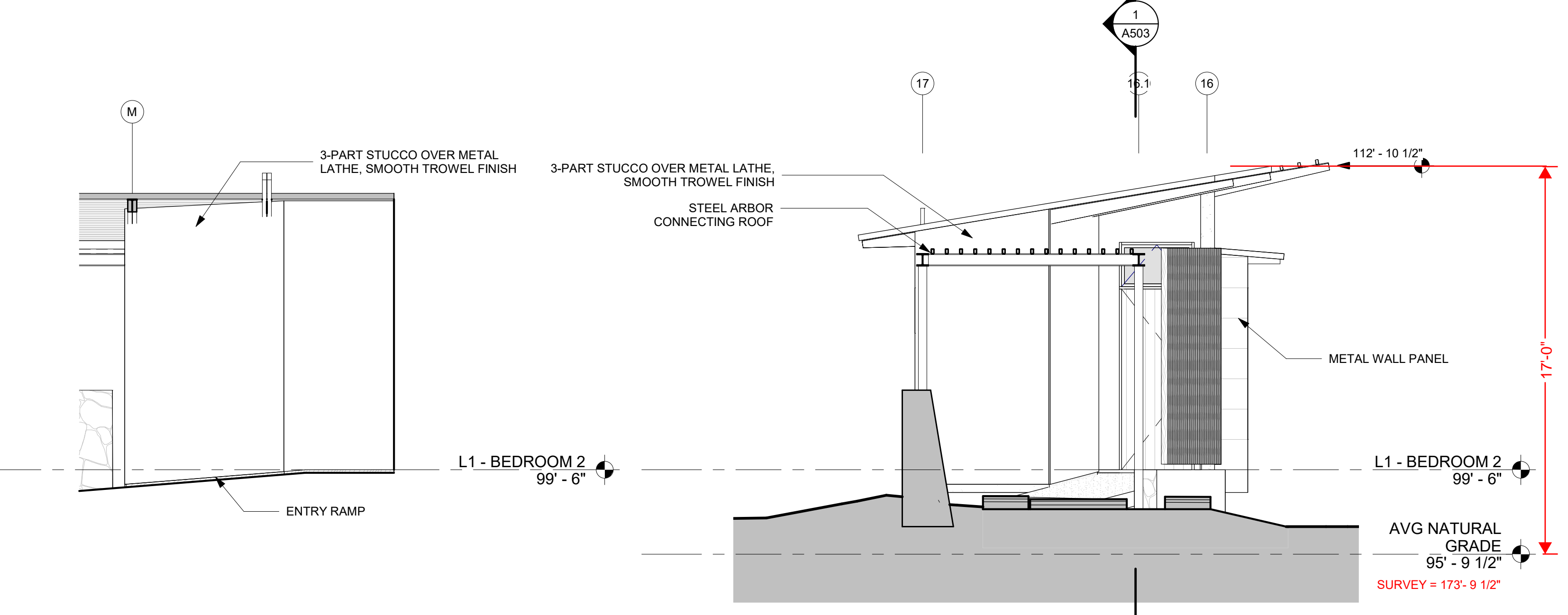
A400



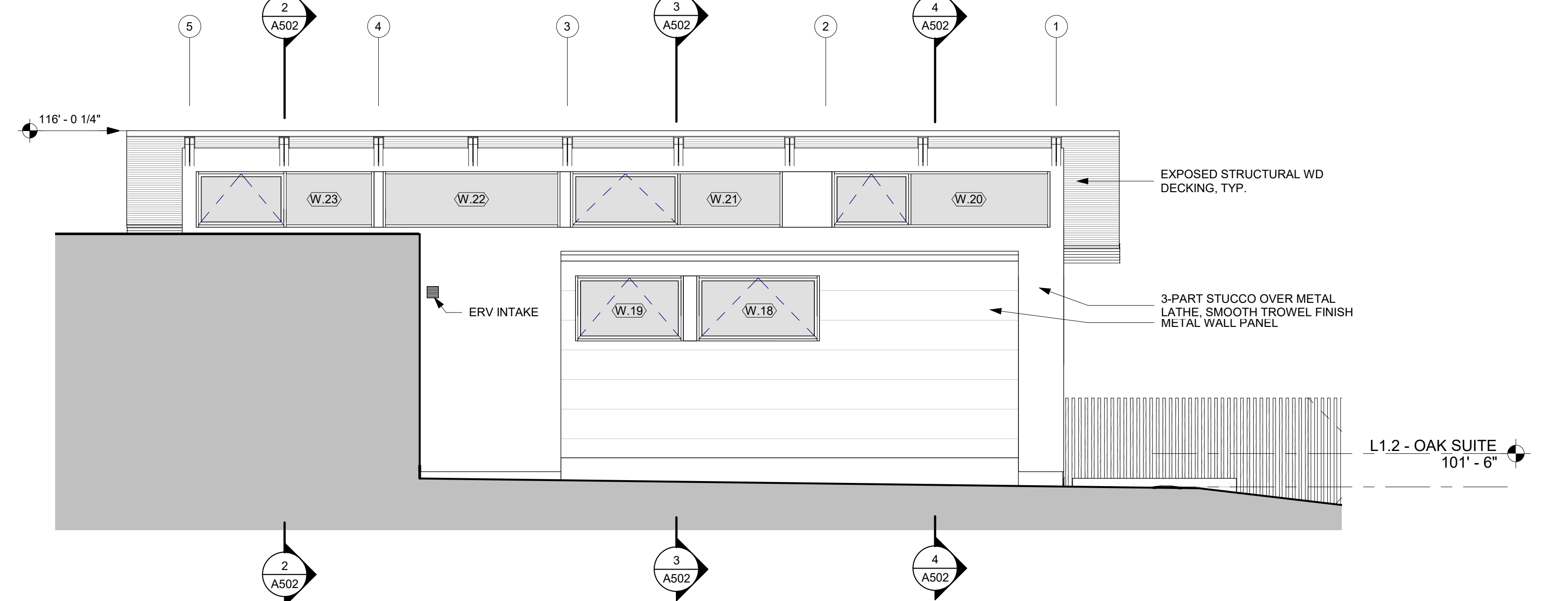
4 BLDG ELEVATION - DINING & KITCHEN NORTH
 SCALE: 1/4" = 1'-0"



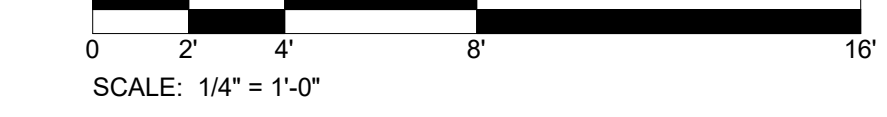
3 BLDG ELEVATION - ENTRY & GARAGE NORTH
 SCALE: 1/4" = 1'-0"



2 BLDG ELEVATION - ARBOR & BEDROOM 2 NORTH
 SCALE: 1/4" = 1'-0"



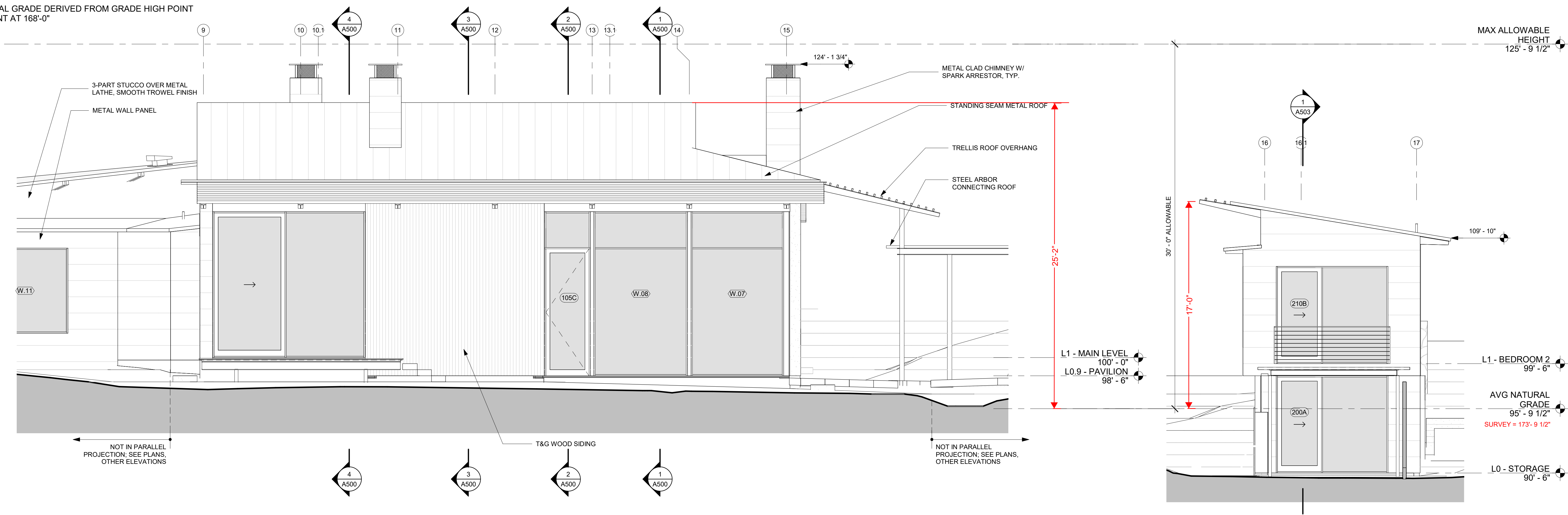
1 BLDG ELEVATION - OAK SUITE - NORTH
 SCALE: 1/4" = 1'-0"



6 HIDDEN ELEV - BEDROOM 2 NORTHEAST
 SCALE: 1/4" = 1'-0"

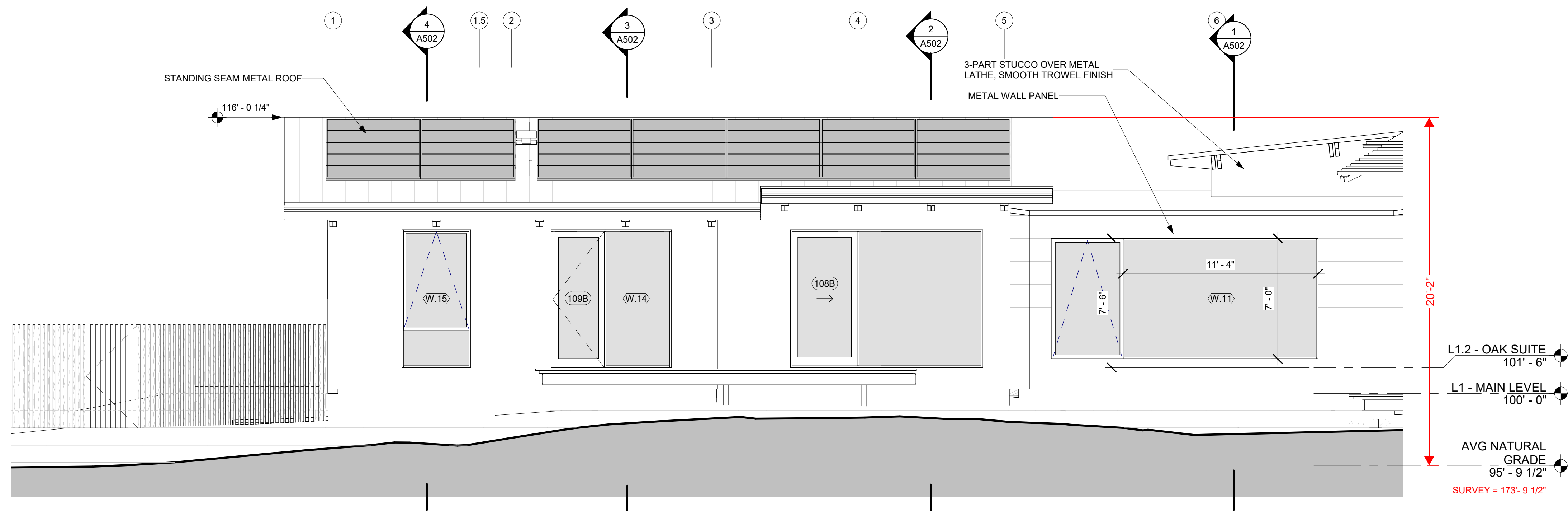
General Note: All drawings are the property of Lake Flato Architects, Inc. and shall remain confidential. No part of these drawings may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Lake Flato Architects, Inc.

NOTE: AVERAGE NATURAL GRADE DERIVED FROM GRADE HIGH POINT AT 179'-7" AND LOW POINT AT 168'-0"

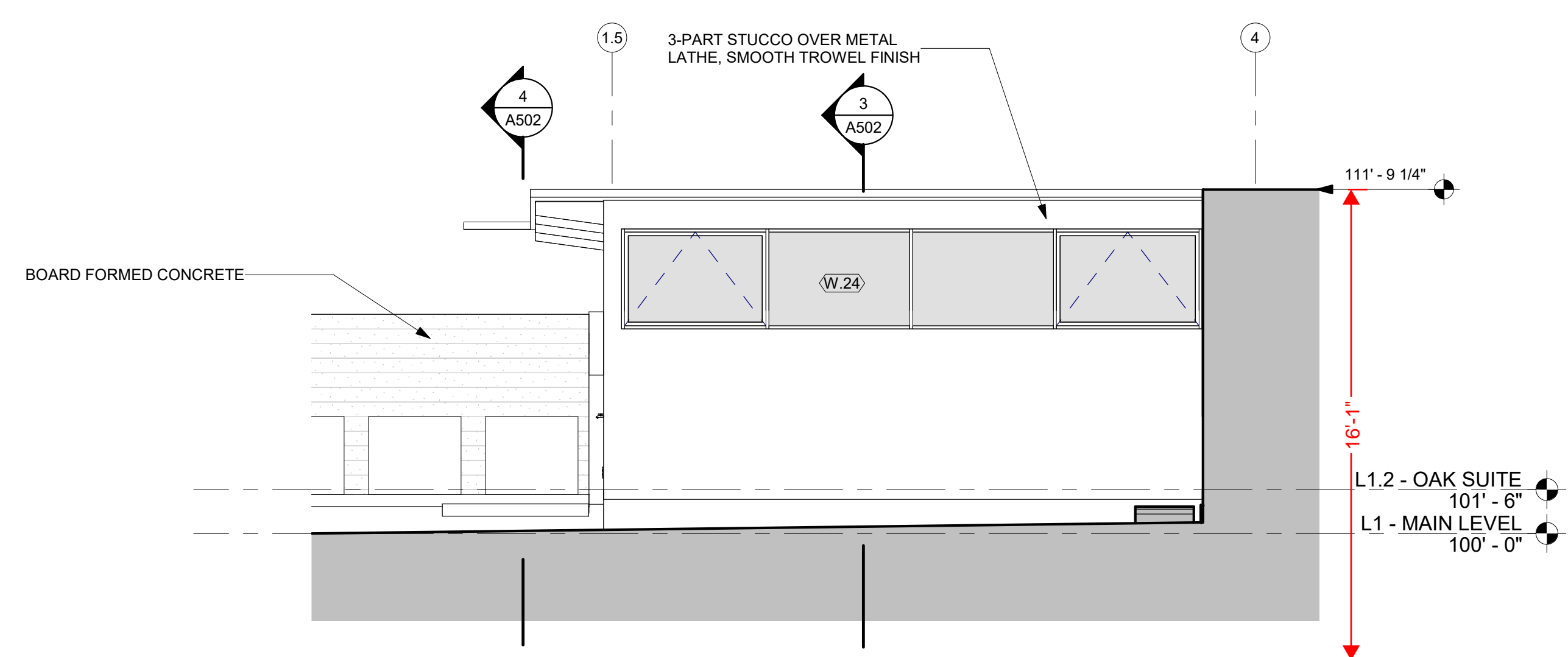


4 BLDG ELEVATION - PAVILION SOUTH
SCALE: 1/4" = 1'-0"

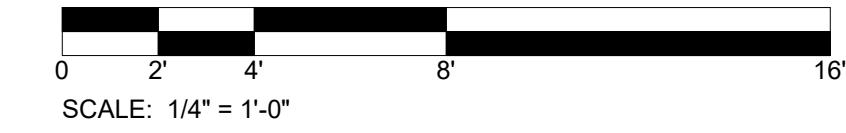
3 BLDG ELEVATION - BEDROOM 2 & 3 SOUTH
SCALE: 1/4" = 1'-0"



2 BLDG ELEVATION - OAK SUITE & GALLERY SOUTH
SCALE: 1/4" = 1'-0"



1 BLDG ELVATION - GARAGE SOUTH
SCALE: 1/4" = 1'-0"



ARCHITECTS INC.
LAKE | FLATO
311 THIRD STREET
SAN ANTONIO, TEXAS 78205
P210.227.3335 F210.224.9515
www.lakeflato.com



PEBBLE BEACH RETREAT

1458 Riata Rd. Pebble Beach, CA 93953

05/03/2022 LIF PROJ. NO. 20154
PROJ. ARCHITECT SR DRAWN BY: Author

SET ISSUE DATES	
DATE	ISSUE
06/23/21	PLANNING AND BUILDING
08/27/21	DD PRICING
10/07/21	PLANNING AND BUILDING UPDATE
02/18/22	BUILDING PERMIT

REVISIONS		
NO.	DATE	DESCRIPTION

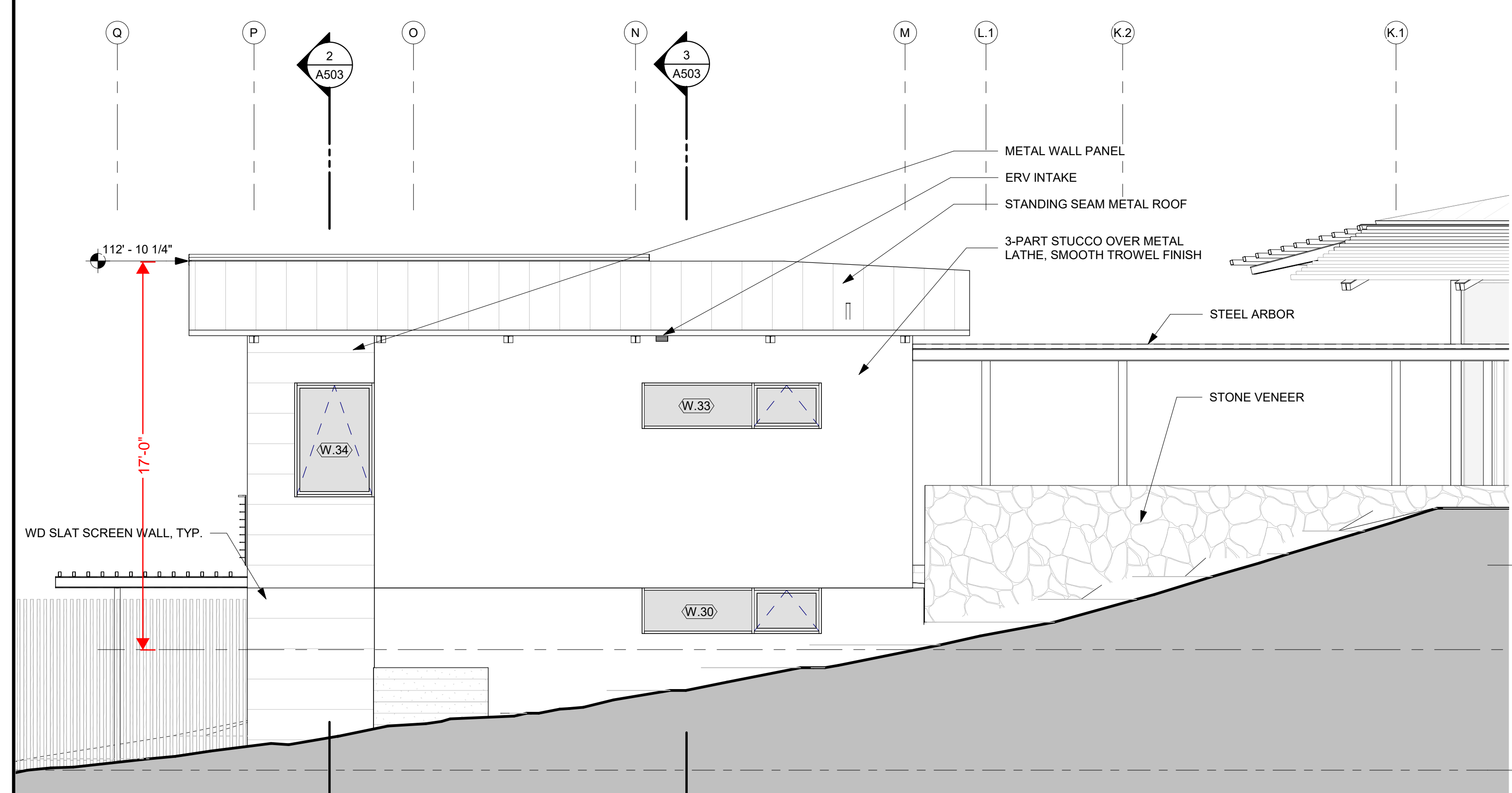
BUILDING PERMIT

EXTERIOR ELEVATIONS - SOUTH

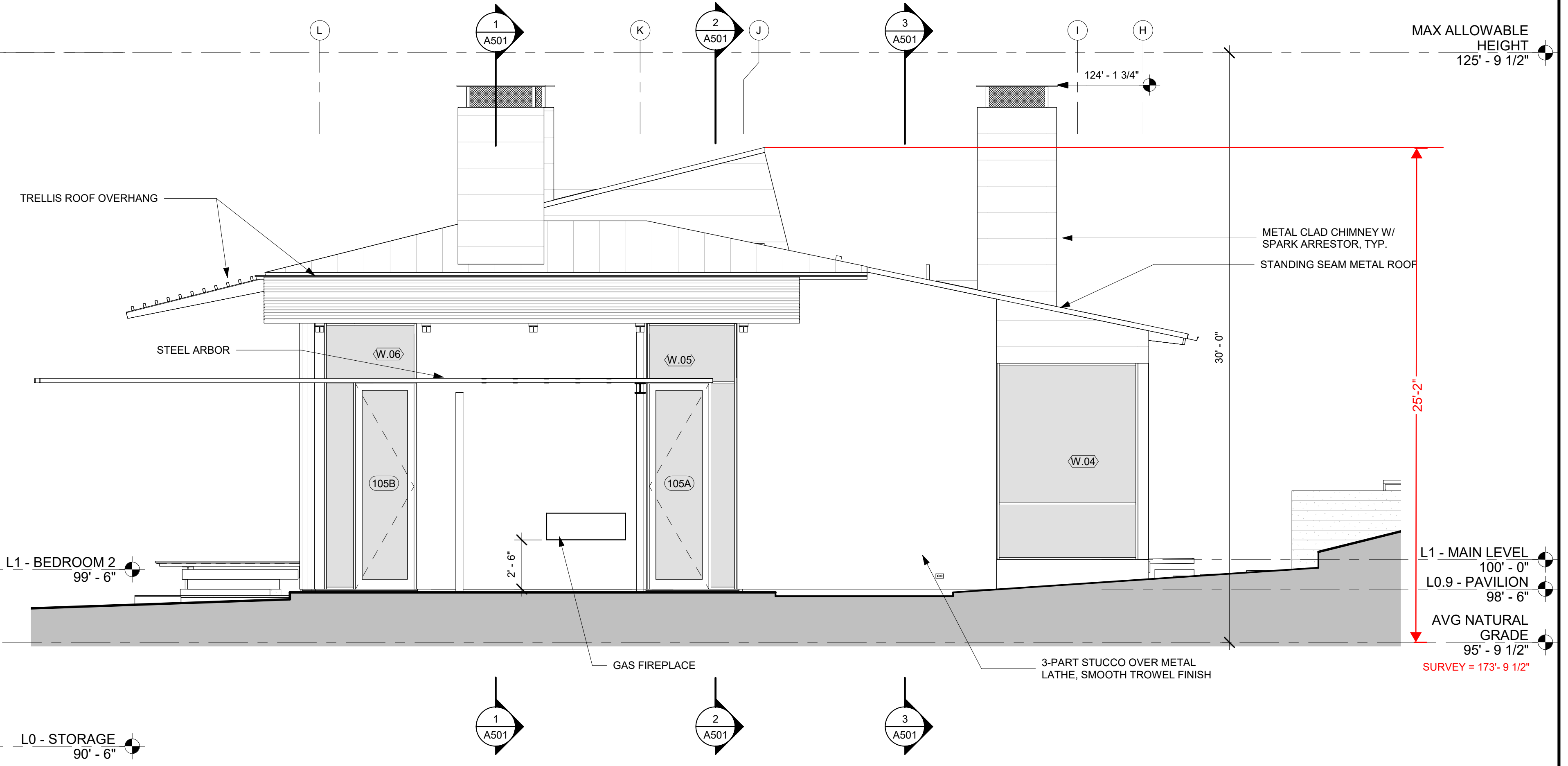
A401

General Notes: 01: Mechanical/Electrical/Plumbing/Structural...
 02: Civil/Structural/Foundation/Interior/Exterior...
 03: Landscape/Architectural/Interior/Exterior...
 04: Mechanical/Electrical/Plumbing/Structural...
 05: Civil/Structural/Foundation/Interior/Exterior...
 06: Landscape/Architectural/Interior/Exterior...

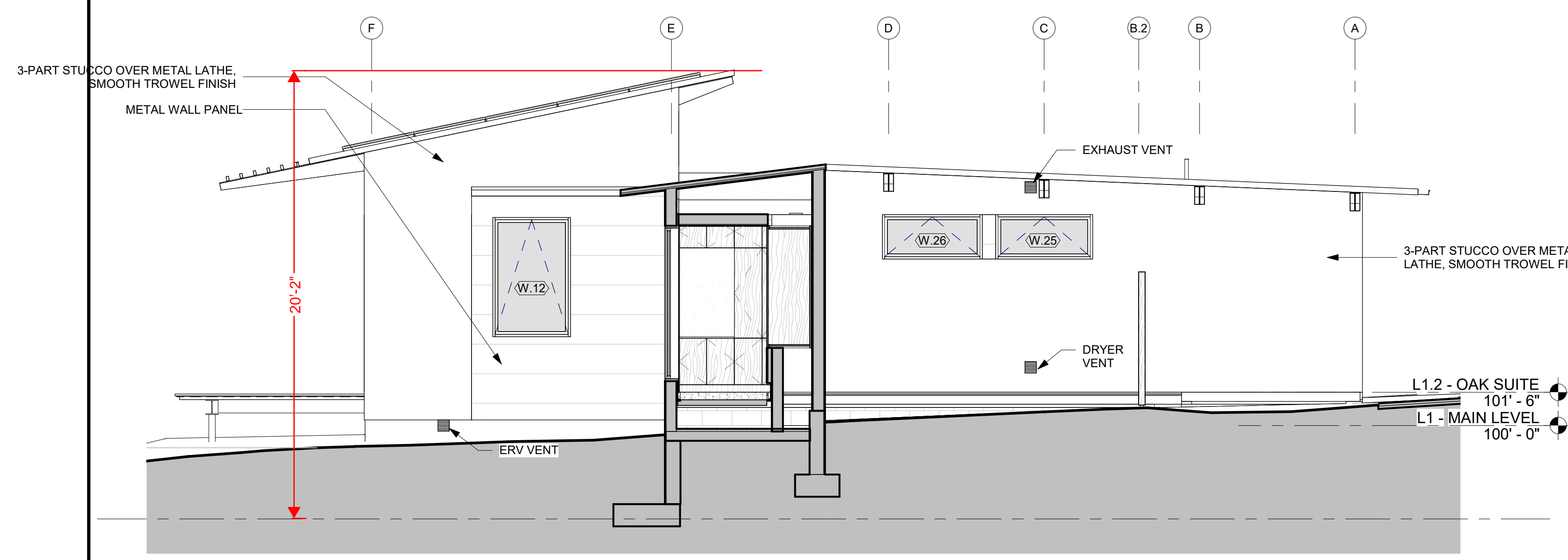
NOTE: AVERAGE NATURAL GRADE DERIVED FROM GRADE HIGH POINT AT 179'-7" AND LOW POINT AT 168'-0"



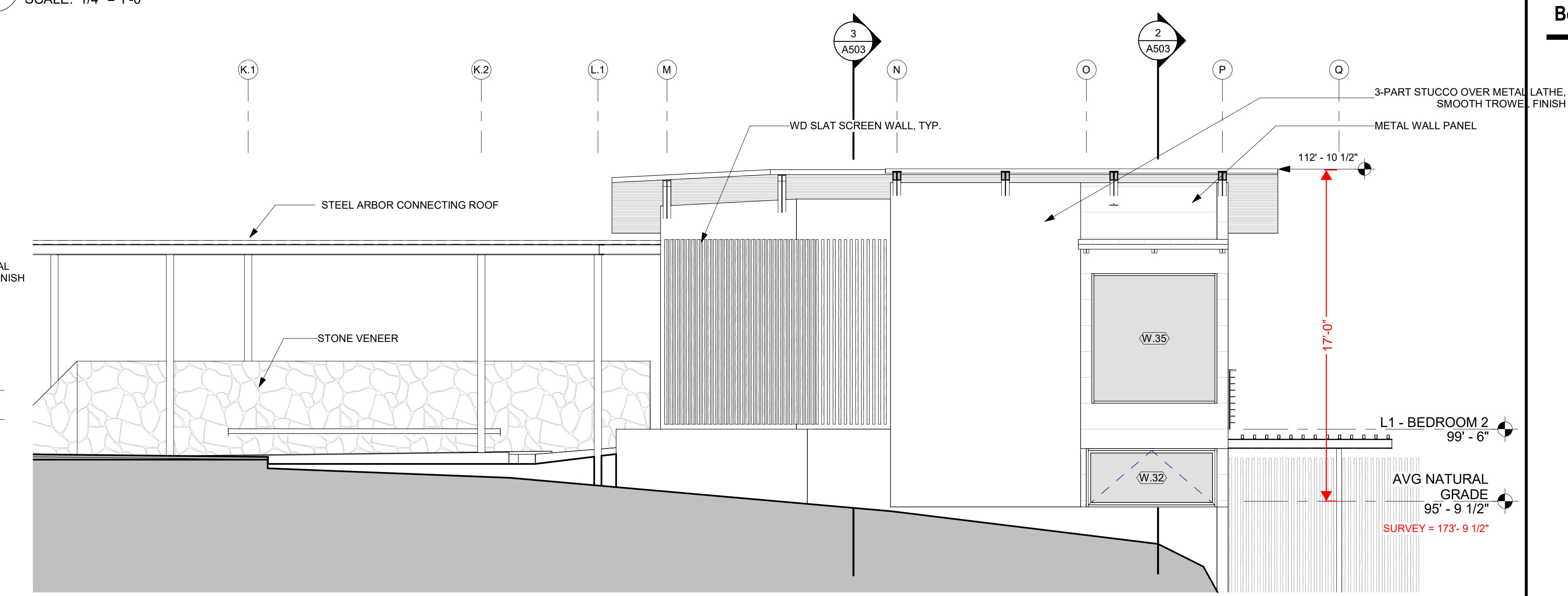
6 BLDG ELEVATION - BEDROOM 2 & ARBOR EAST
SCALE: 1/4" = 1'-0"



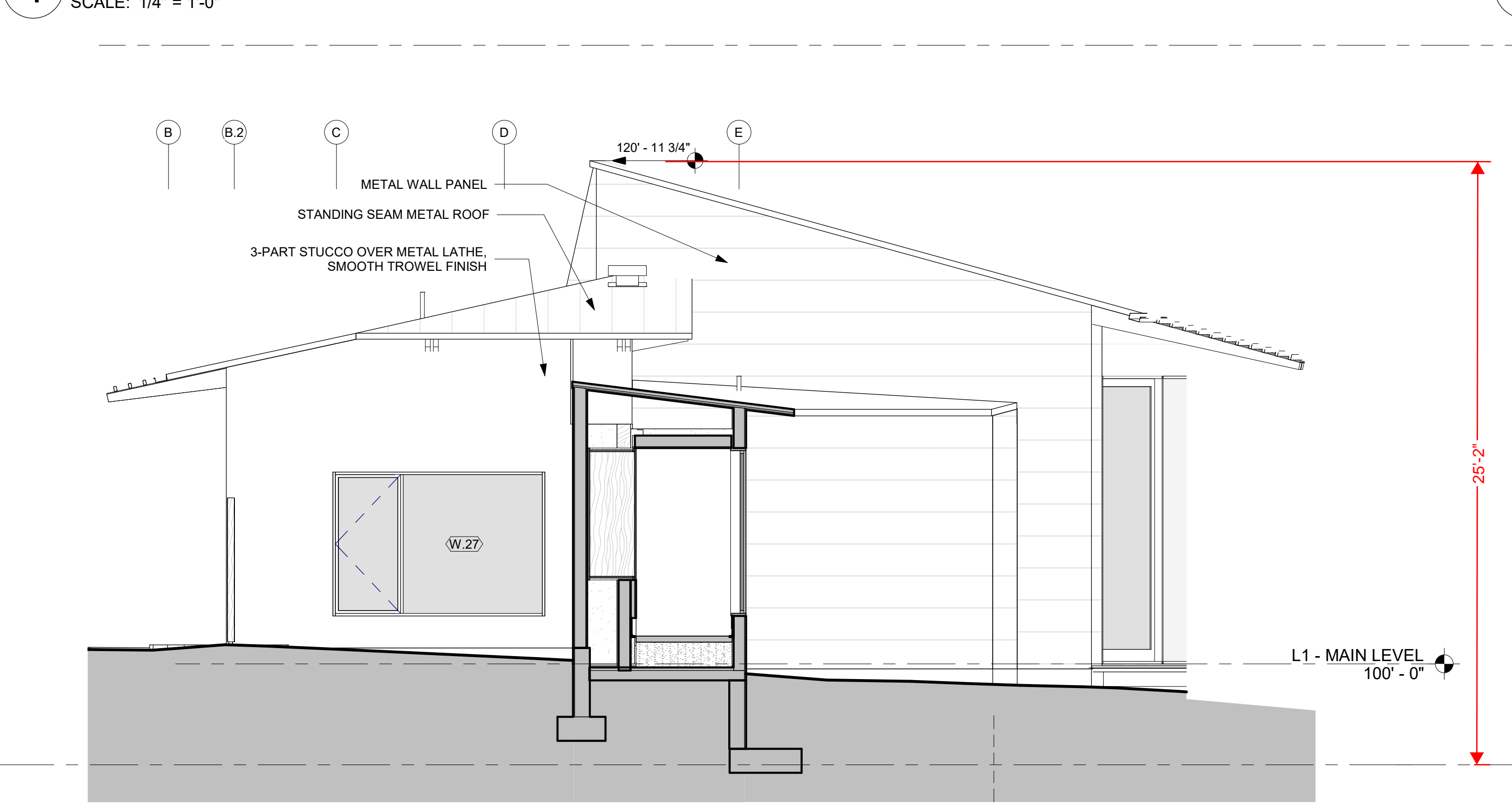
5 BLDG ELEVATION - PAVILION & DINING EAST
SCALE: 1/4" = 1'-0"



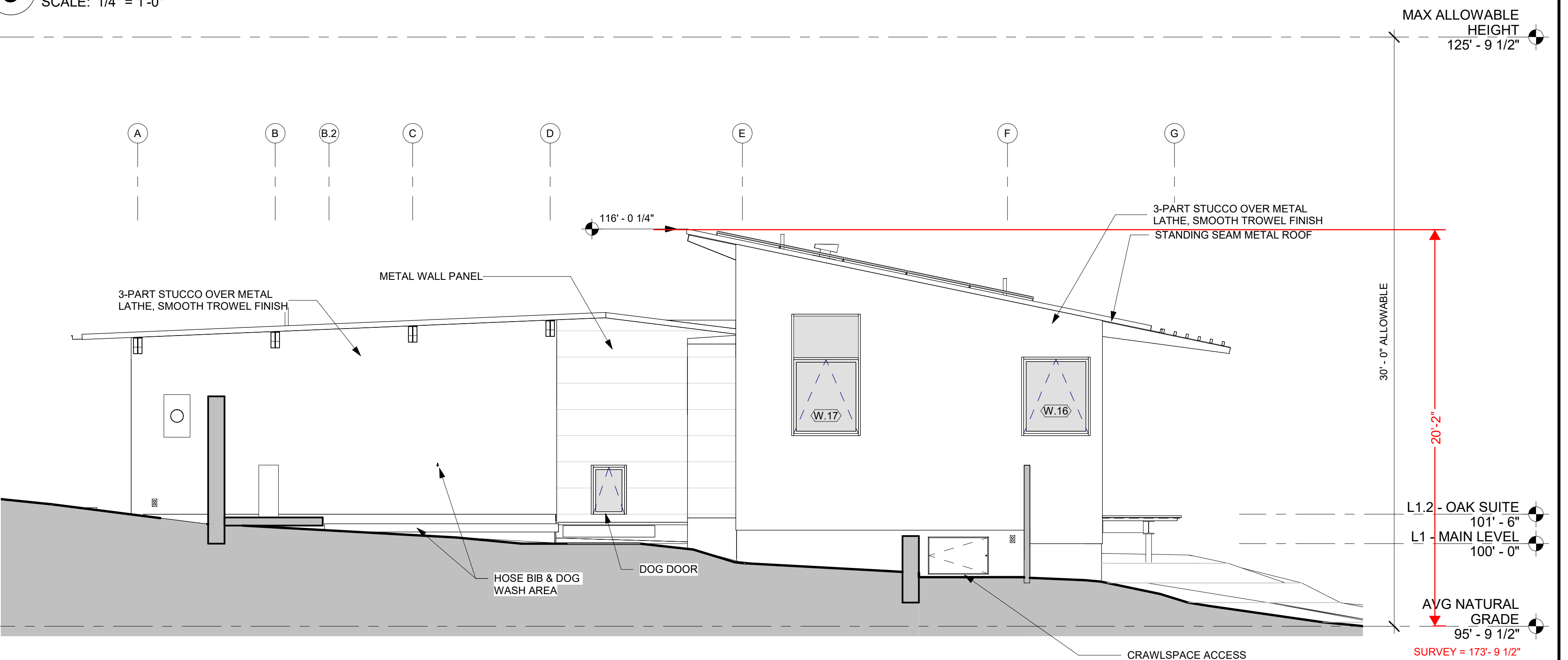
4 BLDG ELEVATION - OAK SUITE & GARAGE EAST
SCALE: 1/4" = 1'-0"



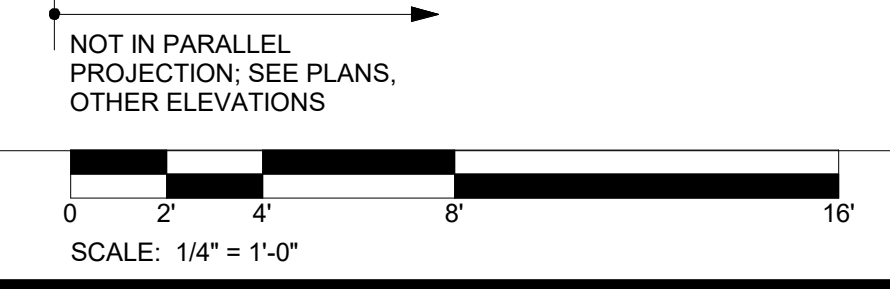
3 BLDG ELEVATION - ARBOR & BEDROOM 2 & 3 WEST
SCALE: 1/4" = 1'-0"



2 BLDG ELEVATION - BEDROOM 1 & BAR WEST
SCALE: 1/4" = 1'-0"



1 BLDG ELEVATION - GARAGE & OAK SUITE WEST
SCALE: 1/4" = 1'-0"



MAX ALLOWABLE HEIGHT
125' - 9 1/2"

AVG NATURAL GRADE
95' - 9 1/2"

L1 - MAIN LEVEL
100' - 0"

L0.9 - PAVILION
98' - 6"

L0 - STORAGE
90' - 6"

SURVEY = 173'-9 1/2"

AVG NATURAL GRADE
95' - 9 1/2"

L1 - BEDROOM 2
99' - 6"

SURVEY = 173'-9 1/2"

MAX ALLOWABLE HEIGHT
125' - 9 1/2"

30'-0" ALLOWABLE

20'-2"

L1.2 - OAK SUITE
101' - 6"

L1 - MAIN LEVEL
100' - 0"

AVG NATURAL GRADE
95' - 9 1/2"

SURVEY = 173'-9 1/2"

ARCHITECTS INC.
LAKE FLATO
311 THIRD STREET
SAN ANTONIO, TEXAS 78205
P210.227.3336 F210.224.9515
www.lakeflato.com



PEBBLE BEACH RETREAT

1458 Riata Rd. Pebble Beach, CA 93953

05/03/2022 LIF PROJ. NO. 20154
PROJ. ARCHITECT SR DRAWN BY: Author

SET ISSUE DATES	
DATE	ISSUE
06/23/21	PLANNING AND BUILDING
08/27/21	DD PRICING
10/07/21	PLANNING AND BUILDING UPDATE
02/18/22	BUILDING PERMIT

REVISIONS		
NO.	DATE	DESCRIPTION

BUILDING PERMIT

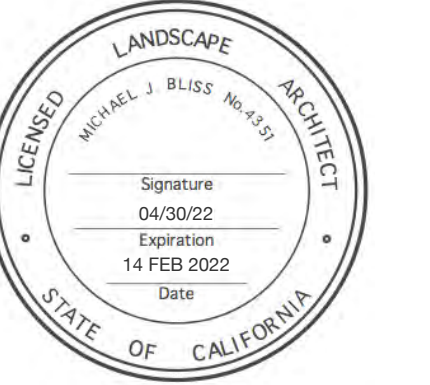
EXTERIOR ELEVATIONS - EAST & WEST

A402

General Note: All drawings are the property of Lake Flato Architects, Inc. and shall remain confidential. All rights reserved. © 2022 Lake Flato Architects, Inc. All drawings are the property of Lake Flato Architects, Inc. and shall remain confidential. All rights reserved.

BLISS
LANDSCAPE
ARCHITECTURE

24000 Robinson Canyon Road
Carmel CA 93923
831-298-0990
blisslandarch.com



FOR APPROVAL AND PERMITTING
PURPOSES ONLY

**PEBBLE BEACH
RETREAT**

1458 RIATA RD.
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-332-019

Phase
BUILDING PERMIT

Previous Issue

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9

Issue
Planning Permit Submittal

Date
14 FEB 2022

Drawn by
OL

Scale: 1"=1'-0" North

Drawing Title

COVER

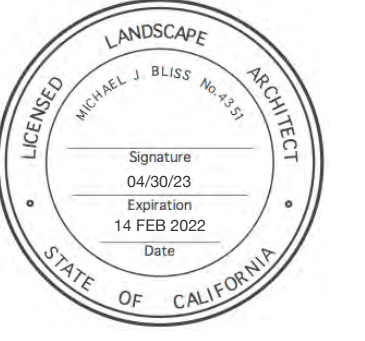
L0.0



PEBBLE BEACH RETREAT

DRAWING INDEX

- L0.1 TREE PROTECTION PLAN
- L0.2 FUEL MANAGEMENT PLAN
- L1.0 LANDSCAPE SITE PLAN
- L3.0 PLANTING PLAN
- L3.1 PLANTING DETAILS
- L4.0 IRRIGATION PLAN
- L5.0 LIGHTING PLAN



FOR APPROVAL AND PERMITTING
PURPOSES ONLY

**PEBBLE BEACH
RETREAT**

1458 RIATA RD.
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-332-019

Phase
BUILDING PERMIT

Previous Issue
1
2
3
4
5
6
7
8
9

Issue
Planning Permit Submittal

Date
14 FEB 2022

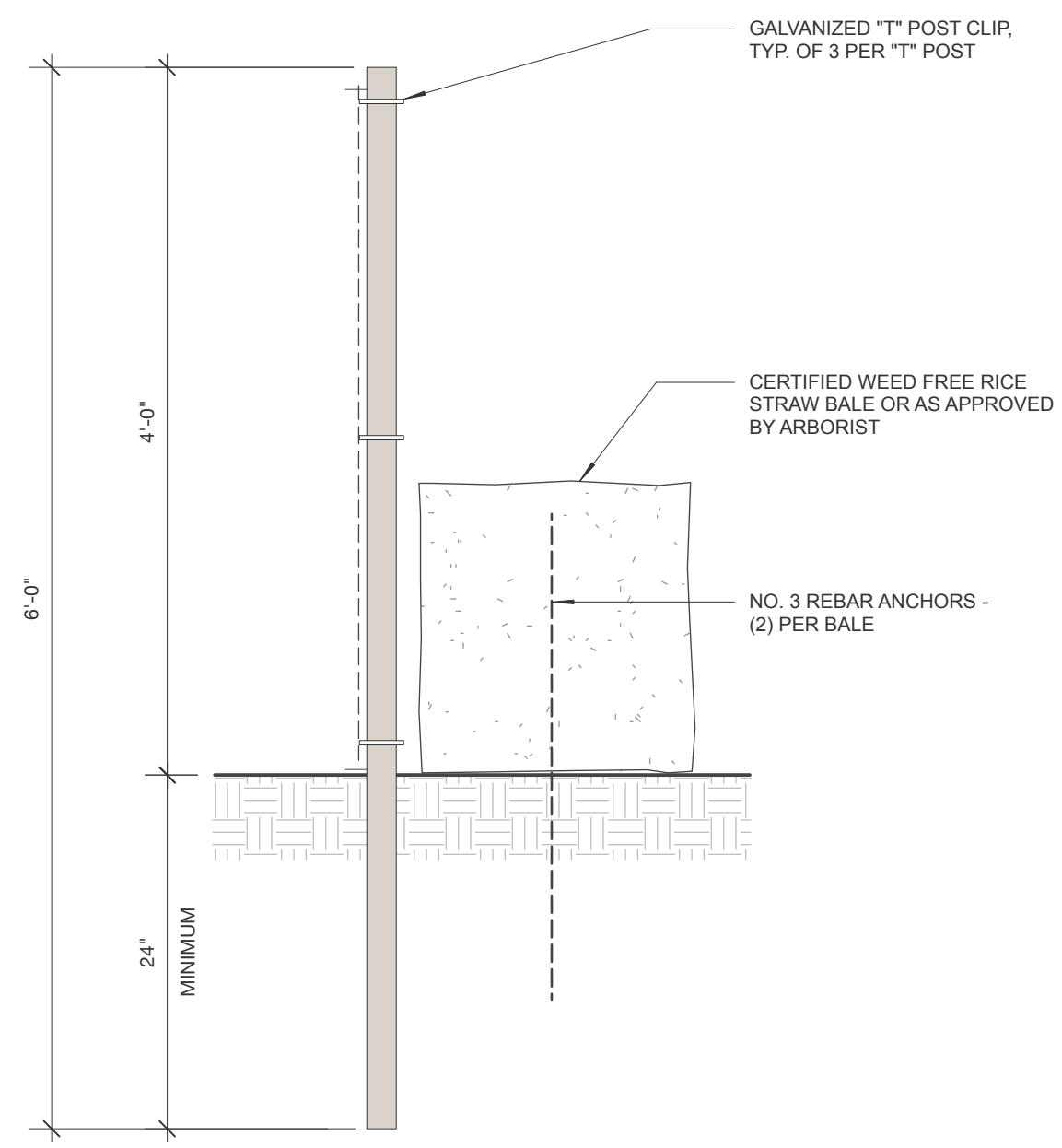
Drawn by
MT

Scale: 1"=10'
North
0' 5' 10'

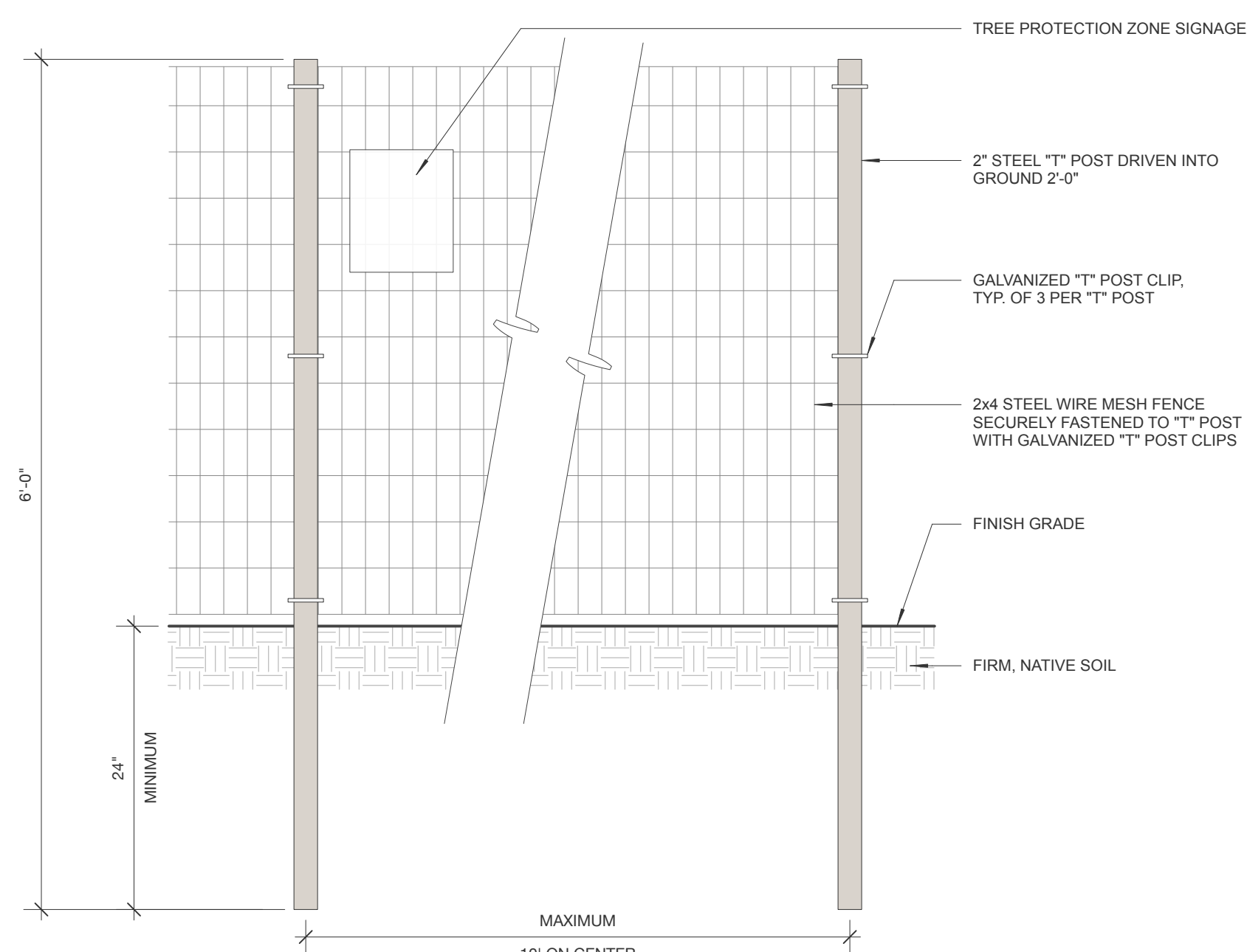
Drawing Title

**TREE REMOVAL +
PROTECTION PLAN**

L0.1



1 SECTION DETAIL: WIRE MESH TREE PROTECTION FENCING
1" = 1'-0"



2 ELEVATION DETAIL: WIRE MESH TREE PROTECTION FENCING
1" = 1'-0"

TREE REMOVAL + PROTECTION LEGEND

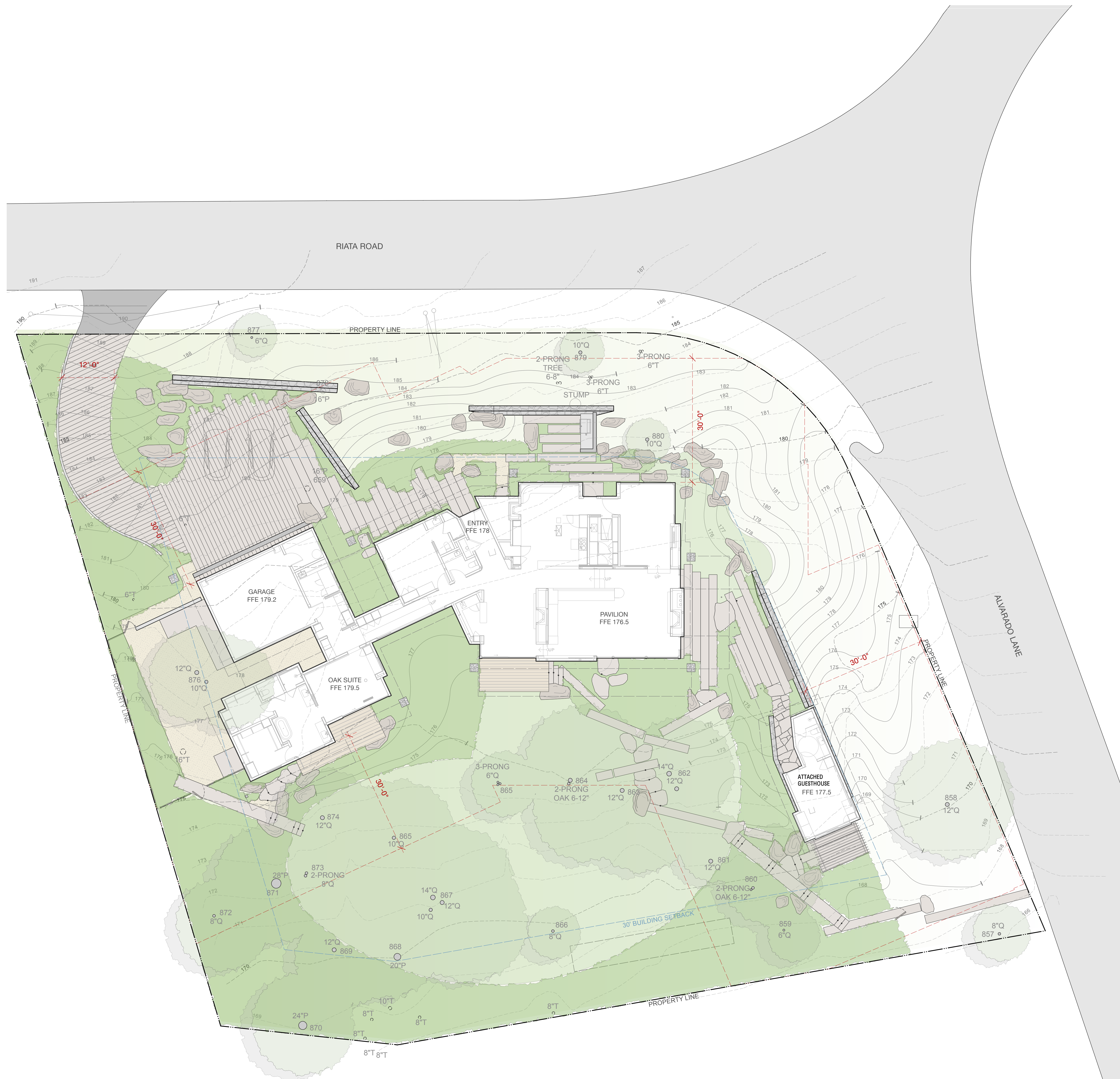
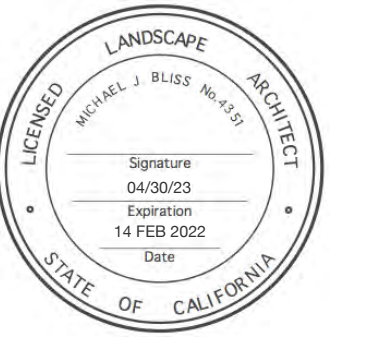
- Tree Protection Fence, VIF layout with Arborist and LA
- Tree to remain / be protected
- Tree Previously Removed by PG&E. See Arborist's Construction Impact Tree Assessment and Management Plan dated 06/19/21
- Invasive species to be removed (Acacia spp.)

Notes:
1. All existing trees not shown for removal are to remain and be protected throughout construction.
2. Refer to lot specific Arborist Report.
Mitigation Trees Required: 2

TREE PROTECTION NOTES

1. All designated trees on site must have protective fencing erected around them to delineate the tree protection zone (TPZ) avoiding soil compaction, contamination, root, trunk, branching, or foliage damage. Fencing shall be erected before demolition, grading, or construction begins and shall remain in place for the duration of the project.
2. There will be a pre-construction meeting with the project Arborist and the Contractors before demolition and construction begins, and once the fencing is installed. All tree work shall be done before demolition.
3. Fencing shall be erected per the recommendation of the project Arborist, Ono Consulting. Fencing shall be inspected by the project Arborist to insure correct placement.
4. Absolutely no activity is allowed within the protective fencing without prior consent of the project Arborist.
5. All tree protection fencing shall be installed as shown on plans and any activity within these protective fencing must first be reviewed and approved on site by the project Arborist and Landscape Architect.





FUEL MANAGEMENT NOTES:

In accordance with State guidelines for creating a defensible space around structures, a reduced fuel zone shall be created and managed for the proposed development shown in these drawings.

Management will include thinning and removal of existing combustible vegetation, live or dead. In addition, proposed plantings closest to the structures shall have some fire resistance, or be very low growing plants as to reduce the potential fire hazard.

Landscaping Zone – entire landscaped area
Approved landscaping must be designed and maintained to minimize flammability. All landscaping occurs within the property boundary. Ornamental landscaping often results in large amounts of shrubby flammable vegetation being planted near structures. Many commonly used landscape plants, such as conifers, flammable woody shrubs, and tall ornamental grasses, shall be avoided because they may create a fire threat to a home that would otherwise be fire safe. All plant material that is removed from the landscaping must be composted or removed and disposed of property. The horizontal and vertical spacing between landscaping plants and volume of landscaping biomass should be appropriate to reduce fire intensity and the rate of spread of fire.

Green Zone: 0-30ft from structures
All flammable vegetation and any dead or dying plant shall be removed within 30 feet surrounding any building on the property. Trees shall be well-pruned and well spaced to avoid the spread of fire, including removal of all limbs 6 feet from the ground. All annual grasses shall be mowed in early summer to maintain a height of 4 inches during the summer.

Management Zone: 30+ft from structures
Mowing grass under and around trees reduces fire intensity and rate of spread of fire to an acceptable level, and diminishes the possibility fire can climb into tree canopy. Pruning the small lower tree branches, will reduce the possibility fire can spread into the tree crowns. Woody weed species such as French broom, poison hemlock and thistles must be completely removed annually. All grass growing under trees, out to 6 feet beyond the drip lines of trees, should be mowed in early summer to a height of four inches. Small diameter lower tree branches must be pruned, and removal of leaf litter depth should be kept to no greater than 4 inches.

Prescriptions for Tree Pruning:

- All branches, living or dead, less than 3 inches diameter in width and less than either 8 feet from the ground or three times the height of any understory shrubs whichever is greater, shall be removed.
- Living branches that are greater than 3 inches in diameter but lower than 8 feet in height can be retained, provided that the area within the drip-line of trees is maintained Oaks with live limbs resting on the ground need not be removed, but all ground debris around and beneath the limbs must be removed to reduce fire risk.
- Dead limbs less than 8 feet in height shall be removed.
- In landscaped areas, healthy tree branches less than 3 inches in diameter or 8 inches diameter if split or diseased, should be removed to provide vertical clearance of 3 times the height of the understory plants, or 8 feet above understory plants, whichever is greater.
- For trees shorter than 24 inches in height, remove lower 1/3 of branches smaller than 3 inches in diameter, or alternatively, treat as a shrub grouping.
- Once initial pruning is accomplished, tree pruning is likely to be needed infrequently, on an interval of about once every 3 to 5 years.
- Do not thin or prune the tree canopy, as this will promote more understory shrub growth as well as lower parts of the tree, and will result in increased risk that fire will spread to the tree canopy.

FOR APPROVAL AND PERMITTING
PURPOSES ONLY

**PEBBLE BEACH
RETREAT**

1458 RIATA RD.
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-332-019

Phase
BUILDING PERMIT

Previous Issue
1
2
3
4
5
6
7
8
9

Issue
Planning Permit Submittal

Date
14 FEB 2022

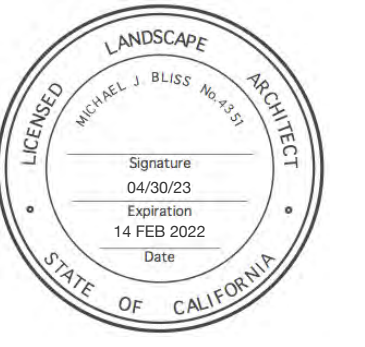
Drawn by
MT

Scale: 1"=10'
0' 5' 10'
North

Drawing Title

**FUEL
MANAGEMENT
PLAN**

L0.2



LEGEND

- 1 ASPHALT APRON
- 2 DRIVEWAY
- 3 AUTO COURT
- 4 ENTRY GARDEN
- 5 COURTYARD GARDEN
- 6 GAS BBQ
- 7 STONE TERRACE
- 8 GRAVEL PAVING
- 9 BOULDER
- 10 STONE BRIDGE
- 11 TIMBER DECK
- 12 STONE RETAINING WALL
- 13 BOARD FORMED CONCRETE WALL
- 14 STONE STEPS
- 15 STONE WALKWAY
- 16 TIMBER GATE
- 17 TIMBER FENCE
- 18 WOODLAND GRASSLAND
- 19 HILLSIDE MEADOW
- 20 RAIN CHAIN

FOR APPROVAL AND PERMITTING
PURPOSES ONLY

**PEBBLE BEACH
RETREAT**

1458 RIATA RD.
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-332-019

Phase
BUILDING PERMIT

Previous Issue

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9

Issue
Planning Permit Submittal

Date
14 FEB 2022

Drawn by
MT

Scale: 1/8"=1'-0"



Drawing Title

**LANDSCAPE SITE
PLAN**

L1.0

PLANT LIST

Symbol	Quantity	Botanical Name	Common Name	Container Size	Notes
TREES					
	10	Arbutus 'Marina'	Marina Strawberry Tree	72" box	Multi-stem
	3	Pinus radiata	Monterey Pine	5 gal	Replacement Trees
	8	Quercus agrifolia	Coast Live Oak	60" box	Multi-stem
	2	Quercus agrifolia	Coast Live Oak	72" box	Multi-stem
SHRUBS					
	13	Arbutus unedo 'Compacta'	Dwarf Strawberry Tree	15 gal	6" o.c.
	48	Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita	1 gal	3" o.c.
	38	Arctostaphylos 'Sentinel'	Sentinel Manzanita	5 gal	5" o.c.
	67	Ceanothus gloriosus 'Anchor Bay'	Anchor Bay Ceanothus	1 gal	4" o.c.
	13	Ceanothus 'Dark Star'	Dark Star Ceanothus	15 gal	6" o.c.
	250	Chondropetalum 'El Campo'	Dwarf Cape Rush	2 gal	30" o.c.
	1	Dicksonia antarctica	Tasmanian Tree Fern	15 gal	N/A
	26	Frangula californica 'Eve Case'	Eve Case Coffeeberry	15 gal	6" o.c.
	5	Garrya elliptica 'Evie'	Coast Silk-tassel	15 gal	6" o.c.
	23	Juncus patens 'Elk Blue'	California Gray Rush	1 gal	2.5" o.c.
	163	Lomandra longifolia	Mat Rush	1 gal	2'6" o.c.
	26	Phormium cookianum	Mountain Flax	10 gal	5" o.c.
	9	Prunus ilicifolia	Hollyleaf Cherry	15 gal	6" o.c.
	22	Rhaphiolepis umbellata 'Minor'	Dwarf Yeddo Hawthorn	5 gal	3" o.c.
	10	Ribes malvaceum	Chaparral Current	5 gal	4" o.c.
	7	Ribes sanguineum glutinosum	Pink Flowering Current	5 gal	5" o.c.
	6	Salvia clevelandii 'Winifred Gilman'	Cleveland Sage	5 gal	3" o.c.
	66	Salvia spathacea 'Kawatre'	Hummingbird sage	1 gal	2" o.c.
	17	Woodwardia fimbriata	Giant Chain Fern	5 gal	4" o.c.
GROUND COVER					
	1626 sf	Arctostaphylos 'Emerald Carpet'	Emerald Carpet Manzanita	1 gal	2.5" o.c.
	382 sf	Heuchera maxima	Island Alum Root	1 gal	2" o.c.
	2061 sf	Sesleria 'Campo Azul'	Campo Azul Moor Grass	1 gal	18" o.c.
	161 sf	Viola hederacea	Ivy Leaf Violet	4" pots	12" o.c.
VINES					
	4	Vitis californica 'Roger's Red'	Roger's Red Grape	5 gal	As shown
SLOPED MEADOW GARDEN					
	990 sf	Achillea millefolium	Yarrow	seed	5%
		Festuca idahoensis 'Tomaes Bay'	Idaho Fescue	4" pots	40%
		Festuca rubra 'Molate'	Red Fescue	plugs	30%
		Koeleria macrantha	Prairie Junegrass	cones	25%
SHADE MEADOW GARDEN					
	5309 sf	Festuca californica 'Horse Mtn. Green'	California Fescue	4" pots	10%
		Festuca idahoensis 'Tomaes Bay'	Idaho Fescue	4" pots	30%
		Festuca rubra 'Molate'	Red Fescue	plugs	50%
		Iris douglasiana	Douglas Iris (purple)	1 gal	5%
		Juncus patens 'Elk Blue'	California Gray Rush	1 gal	5%



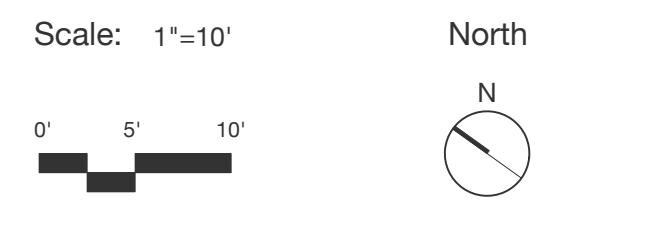
FOR APPROVAL AND PERMITTING PURPOSES ONLY

PEBBLE BEACH RETREAT

1458 RIATA RD.
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-332-019

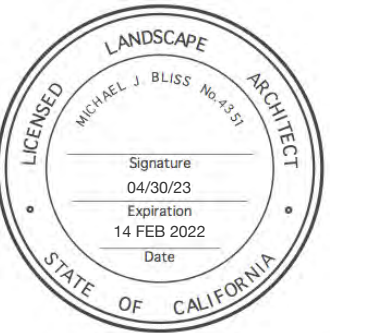
Phase	BUILDING PERMIT
Previous Issue	1 2 3 4 5 6 7 8 9
Issue	Planning Permit Submittal
Date	14 FEB 2022
Drawn by	MT



Drawing Title
PLANTING PLAN

L3.0

LANDSCAPE CERTIFICATION
Bliss Landscape Architecture certifies that this landscaping plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive, limited turf, and low-flow, water conserving irrigation fixtures.

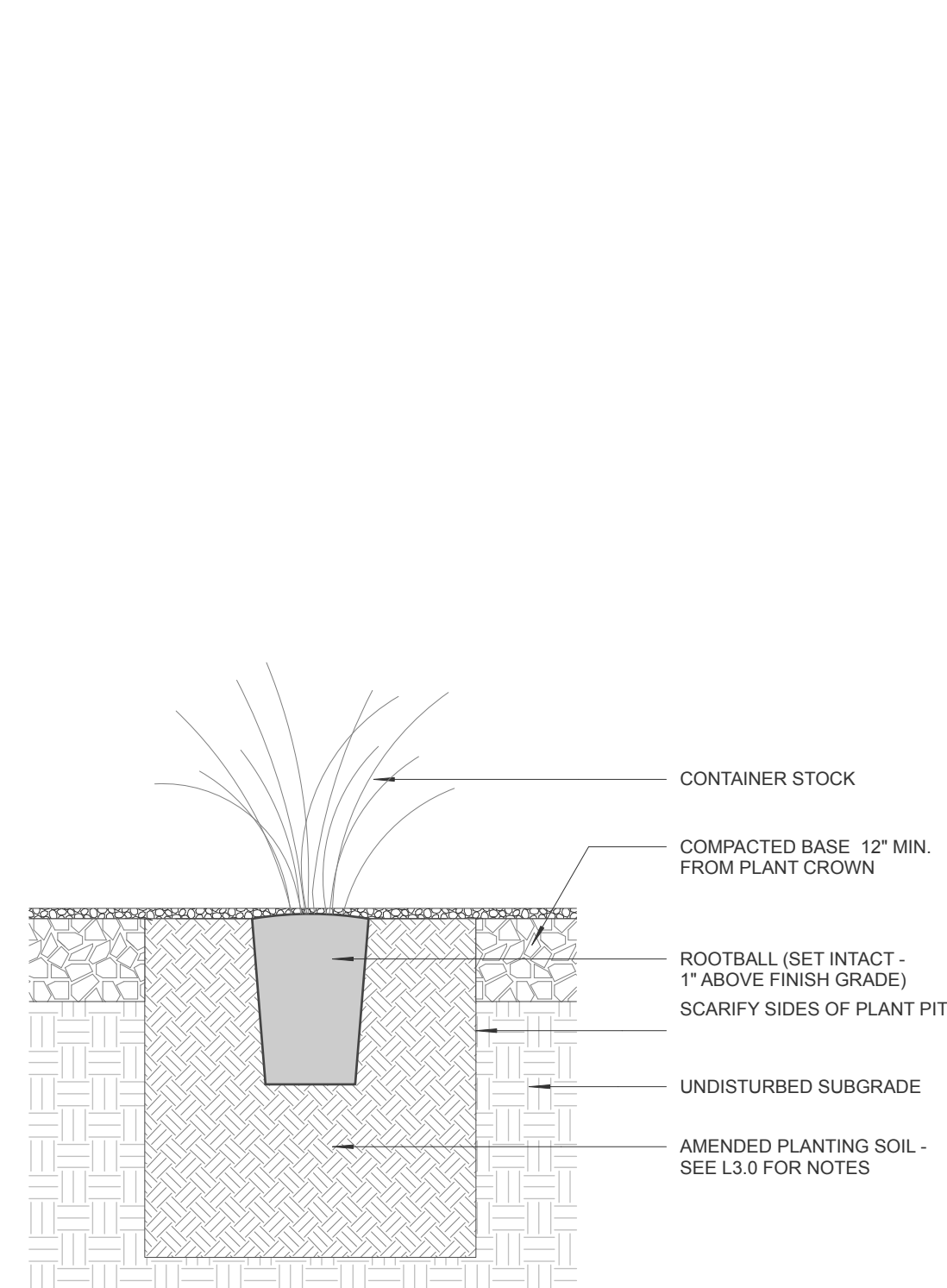


PLANTING NOTES

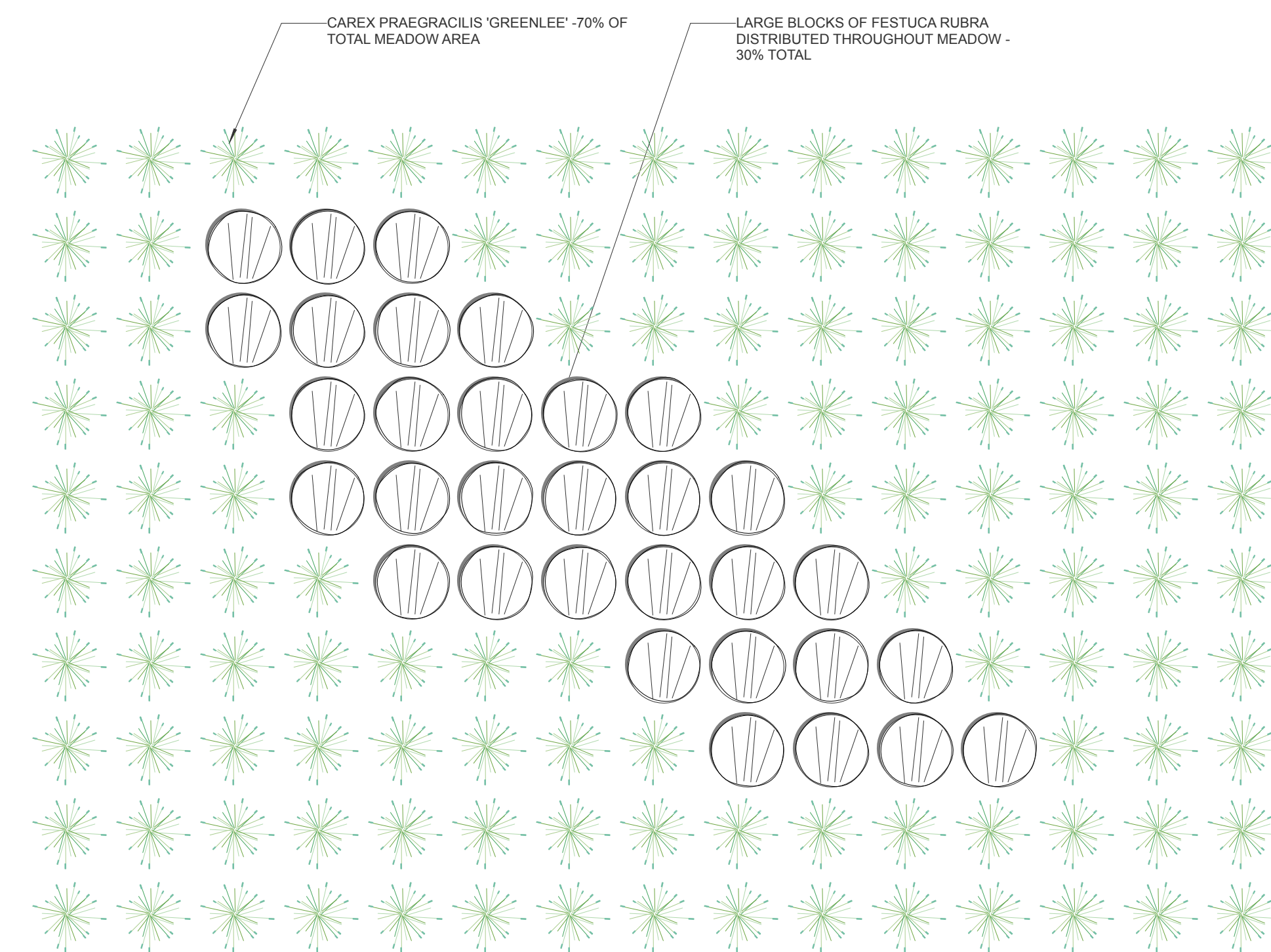
- All areas of the property shall be treated and managed to eliminate, as reasonably possible, any and all invasive plant materials. Review extent, methods, and scope of work with Landscape Architect prior to construction commencing.
- Contractor shall be responsible for making themselves familiar with all underground utilities, pipes, and structures. Contractor shall take responsibility for any cost incurred due to damage of said utilities.
- Contractor shall not willfully proceed with construction as designed when it is obvious that known or unknown obstructions and/or grade differences exist in planting areas. Such conditions shall be immediately brought to the attention of the Landscape Architect.
- Contractor shall be responsible for all coordination with subcontractors as required to successfully accomplish all planting operations on budget and on schedule.
- Contractor shall submit random soil samples from the site to a qualified soil testing lab for a horticultural suitability test and amendment recommendations. After amending topsoil to a depth of 8" (and in accordance with soil test recommendations), grade all areas smooth with no localized depressions or humps exceeding 1". Insufficient or unsuitable existing soil shall be augmented or replaced with topsoil as approved by the Landscape Architect.
- All plant material shall be approved by Landscape Architect prior to installation.
- Plant Quantity Discrepancies: Any discrepancies between the plant list and the plant quantities shown on the Drawings (including graphic symbols), the plant list quantities are to be used.
- Contractor to complete all soil amendment, finish grading, and removal of any and all construction debris from the planting areas before laying out the approved plant material for Landscape Architect's review.
- Contractor shall lay out all plants in their containers as per the drawings for Landscape Architect's on site review and approval prior to installation. Notify Landscape Architect 72 hours prior to requested review.
- Contractor shall notify Construction Manager + Landscape Architect 72 hours prior to commencement of work to coordinate project inspection schedules.
- Any plant substitutions or alternates must be approved by the Landscape Architect prior to plant purchase and delivery to the project or plant staging site.
- All plants shall be healthy, pest and disease free, free of girdling roots, free of weeds, and well established in the container.
- Mycorrhizal inoculate organic fertilizer shall be applied during planting as per manufacturer's recommendations. Use "Green Diamond Mykos Start Pro" (4-2-2 organic fertilizer) or approved equal.
- Trees shall be located a minimum of 4 ft. from walls, overhangs, walks, headers, and other trees within the project unless shown or directed by Landscape Architect otherwise.
- No plant shall be planted in overly dry conditions or during extreme high or low temperatures (Above 95 F or below 35 F)
- Water all plants by handheld hose with watering wand attachment immediately after planting (no water "jetting"). No plant should be out of its container for more than twenty minutes before being planted and watered. Contractor shall be responsible for irrigating all new plantings, seeding, and lawns until the entire project has been fully completed and accepted by the Owner.
- Contractor is responsible to apply sufficient but not excess irrigation to all new plantings to ensure healthy plant establishment.
- Backfill mix shall consist of 1/3 imported organic compost and 2/3 amended site or topsoil.
- Immediately after excavation of plant pits, test drainage of pits by filling with water. Give written notification of conditions permitting the retention of water in pits for more than (3) hours. Contractor shall submit to Owner and Landscape Architect, for approval, a written proposal and cost estimate for the correction of poor drainage conditions before proceeding with plant installation.
- All newly planted container plants and trees shall receive watering basins (soil saucers) 3 times the size of the root ball upon planting, unless otherwise shown on Drawings.
- Planting areas shall receive a 3" layer of partially decomposed, hardwood mulch, unless noted otherwise. Verify specification of mulch with Landscape Architect. Submit bagged samples as directed/ requested for Landscape Architect's approval.
- Mulch shall be kept at a maximum depth of 3" deep near the plant crowns and trunks, and not extend higher than 1/8" onto the crown or trunk of any newly planted plant or tree.
- All plant material shown on the Planting Plan is subject to the adverse effects of nature including, but not limited to, fire, earthquake, flooding, freeze, drought, erosion, and foraging predators. The Landscape Architect cannot, and does not, guarantee or imply warranty that specified plants will survive these acts of nature. All plants specified satisfy the general climatic conditions set forth by the U.S. Department of Agriculture and the Sunset Western Garden Book.
- Plant and tree maintenance (new plants): Begin maintenance immediately after planting. Provide complete maintenance and service as required to promote and maintain healthy growth including, but not limited to, watering, fertilizing, weeding, mowing, trimming, rolling, fallen leaf removal, treating for insects and disease, resetting plants to proper grade and upright position, and other operations and maintenance work. Throughout the maintenance period, restore planting saucers and mulch, and keep mulch beds weed free. Tighten and adjust guy wires, stakes, and deadman to keep trees in vertical position. Restore and replace damaged trunk wrappings. Maintenance period shall be a minimum of 90 days from date of final acceptance.
- Warranty: Provide written warranty agreeing to remove and replace work that exhibits defects in materials or workmanship for the specified periods. "Defects" is defined to include, but is not limited to, death, unsatisfactory growth, disease, insect infestation, abnormal foliage density, abnormal size, abnormal color, failure to thrive, and other unsatisfactory characteristics. Warranty on all plants shall be one year from date of the last day of the required maintenance period, unless approved by the Landscape Architect or the client otherwise.

LANDSCAPE CERTIFICATION

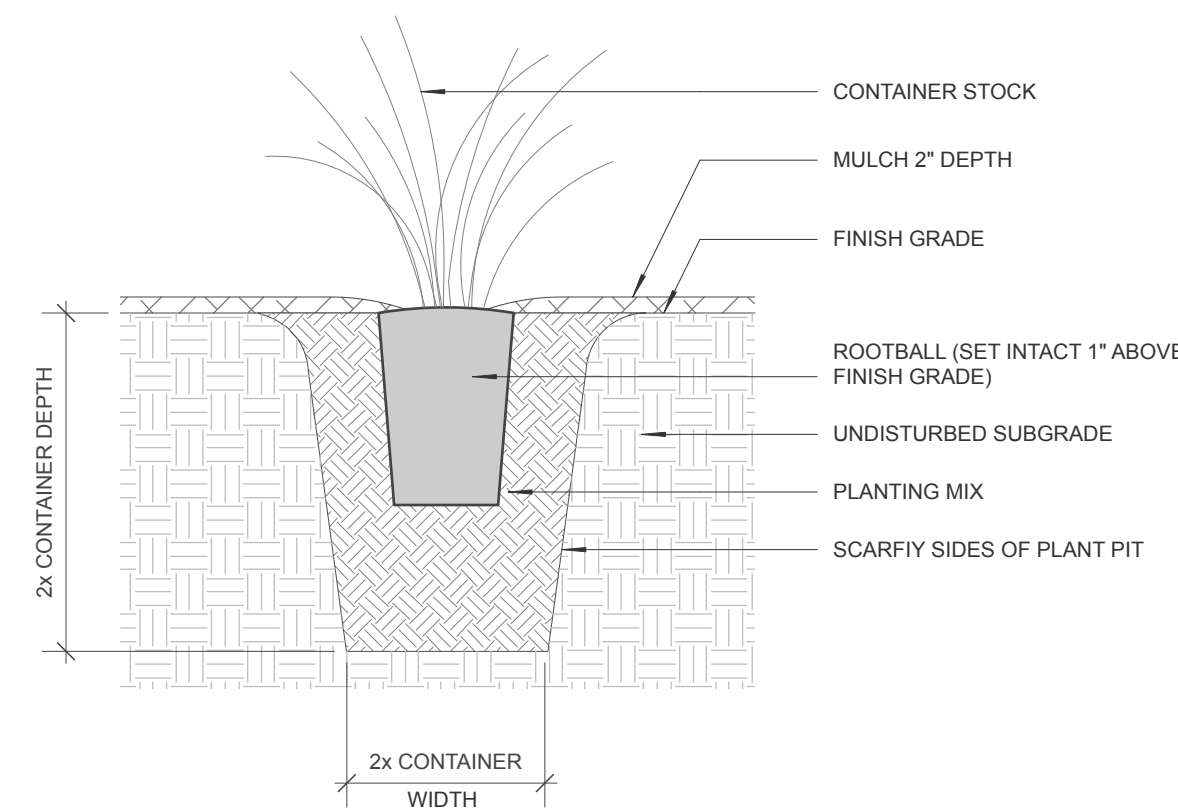
Bliss Landscape Architecture certifies that this landscaping plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive, limited turf, and low-flow, water conserving irrigation fixtures.



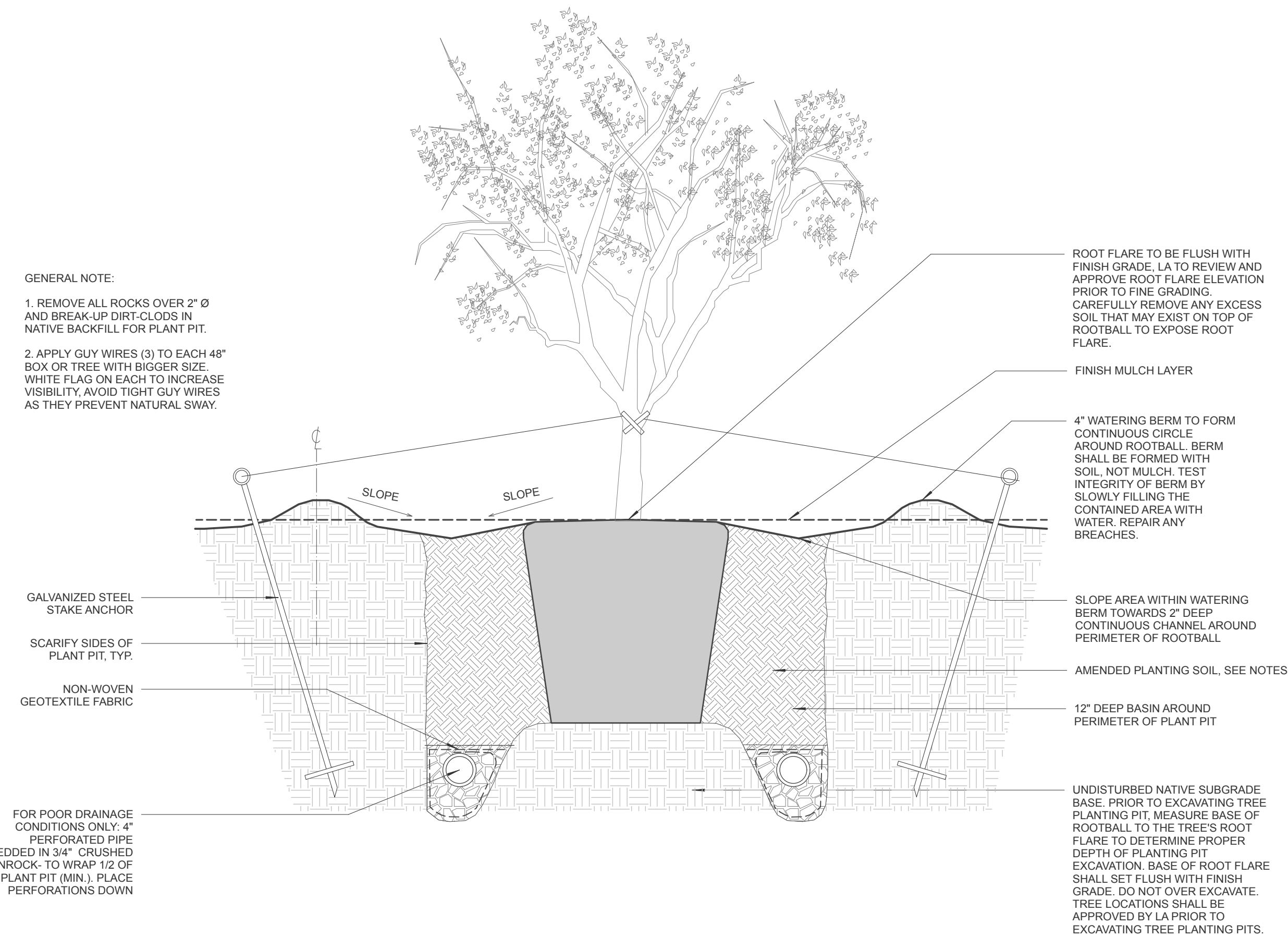
3 SECTION: CONTAINER STOCK PLANTING IN GRAVEL
L3.1 1" = 1'-0"



2 MEADOW PLUG LAYOUT
L3.1 1" = 1'-0"



4 SECTION: CONTAINER STOCK PLANTING
L3.1 1" = 1'-0"



1 ELEVATION: TREE PLANTING IN VEGETATION
L3.1 1" = 1'-0"

FOR APPROVAL AND PERMITTING PURPOSES ONLY

PEBBLE BEACH RETREAT

1458 RIATA RD.
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-332-019

Phase
BUILDING PERMIT

Previous Issue

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9

Issue
Planning Permit Submittal

Date
14 FEB 2022

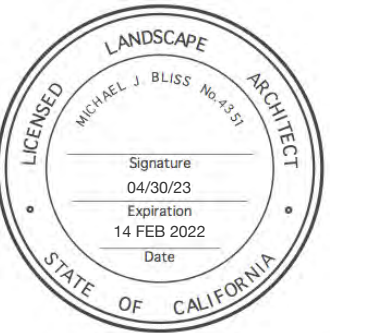
Drawn by
MT

Scale: N/A North

Drawing Title

PLANTING DETAILS

L3.1



FOR APPROVAL AND PERMITTING
PURPOSES ONLY

**PEBBLE BEACH
RETREAT**

1458 RIATA RD.
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-332-019

Phase
BUILDING PERMIT

Previous Issue
1
2
3
4
5
6
7
8
9

Issue
Planning Permit Submittal

Date
14 FEB 2022

Drawn by
MT

Scale: 1"=10'
0' 5' 10'
North

Drawing Title
IRRIGATION PLAN

L4.0

PROJECT IRRIGATION NOTES:

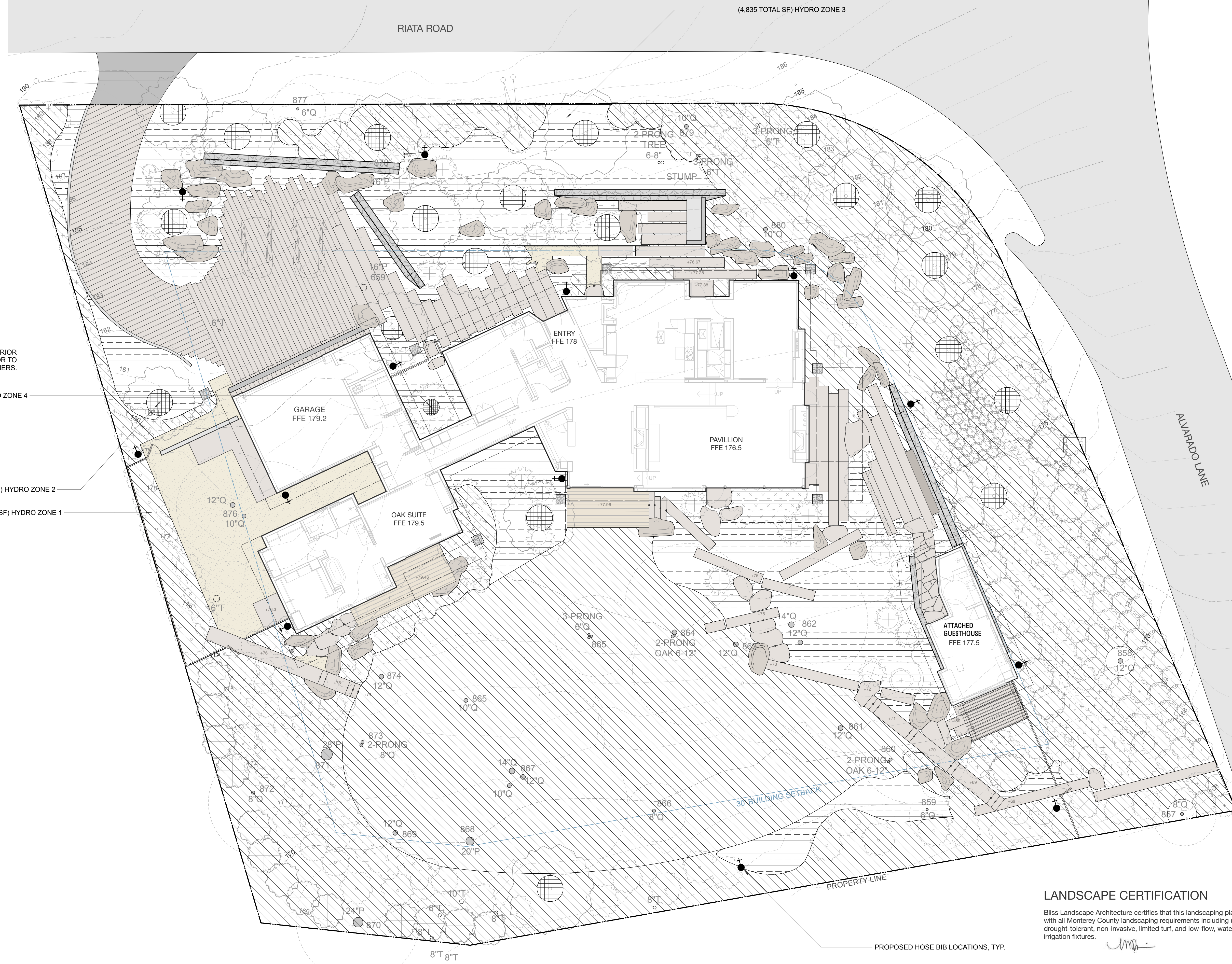
1. LANDSCAPE CONTRACTOR WILL FOLLOW INDUSTRY STANDARDS FOR THE INSTALLATION OF THE IRRIGATION SYSTEM. ANY PROPOSED CHANGES TO THE IRRIGATION SYSTEM WILL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO THE CHANGES BEING MADE. CONTRACTOR TO VERIFY IN FIELD THE CONDITIONS OF THE LANDSCAPE AREAS PRIOR TO INSTALLATION OF THE IRRIGATION SYSTEM.
2. MAINLINE PIPE SHALL BE NO LESS THAN CLASS 315 FOR PIPE SIZED 3" AND GREATER, AND SCHEDULE 40 FOR PIPE SIZED 2-1/2" AND SMALLER. MAINLINE PIPING SHALL BE INSTALLED AT A MINIMUM DEPTH TO ENSURE 18" OF COVER AND SHALL BE INSTALLED IN SUCH A MANNER AS TO NOT INTERFERE WITH THE STORMWATER AND OTHER UTILITIES SYSTEMS.
3. LATERAL PIPING SHALL BE CLASS 200 PIPE AND INSTALLED TO A MINIMUM DEPTH TO ENSURE 12" OF COVER.
4. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING, TREE ROOT ZONES AND ARCHITECTURAL FEATURES.
5. SYSTEM SHALL RECEIVE AN INTERIOR MOUNTED IRRIGATION CONTROLLER. CONTRACTOR TO VERIFY IN FIELD LOCATION PRIOR TO INSTALLATION. ELECTRICAL CONNECTION BY OTHERS.
6. LANDSCAPE IRRIGATION SYSTEMS SHALL BE INSTALLED TO PREVENT OVER-SPRAY ON STRUCTURES.
7. IRRIGATION DEMAND: 20 GPM AT 80 PSI. FIELD VERIFY EXACT PRESSURE PRIOR TO START OF WORK. IF PRESSURE VARIES FROM REQUIRED PRESSURE, NOTIFY LANDSCAPE ARCHITECT FOR FURTHER INSTRUCTION.
8. ALL TEMPORARY VALVES AND SPRINKLER OUTLETS SHOWN IN ARE FOR THE ESTABLISHMENT PERIOD AND SHALL BE SHUT-OFF POST ESTABLISHMENT.
9. CONNECT THE IRRIGATION MAINLINE TO DOMESTIC WATER LINE. INSTALL A NEW 1-1/2" SUB-METER FOR THE IRRIGATION SYSTEM. RUN 1-1/2" PVC MAINLINE FROM NEW SUB-METER TO BACKFLOW PREVENTOR. PIPE RUNS SHALL AVOID CRITICAL ROOT ZONES OF TREES AND USE 45° ELBOWS WHERE POSSIBLE TO REDUCE THE NUMBER OF 90° ELBOWS.
10. SYSTEM SHALL RECEIVE A 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER, FLOW SENSOR, AND MASTER VALVE. CONTRACTOR TO V.I.F. LOCATION OF ALL IRRIGATION SYSTEM COMPONENTS PRIOR TO INSTALLATION AND INSTALL ALL COMPONENTS PER MANUFACTURER'S RECOMMENDATIONS.

IRRIGATION CONTROLLER TO BE MOUNTED ON INTERIOR WALL OF STORAGE AREA. V.I.F. LOCATION PRIOR TO INSTALLATION. ELECTRICAL CONNECTION BY OTHERS.

(9 TOTAL SF) HYDRO ZONE 4

(438 TOTAL SF) HYDRO ZONE 2

(15,343 TOTAL SF) HYDRO ZONE 1



LANDSCAPE CERTIFICATION

Bliss Landscape Architecture certifies that this landscaping plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive, limited turf, and low-flow, water conserving irrigation fixtures.

HYDROZONE INFORMATION TABLE

Symbol	Zone Description	Irrigation Method	Water Use	Area (sq ft)	Plant Factor	PF X HA (sq ft)
	1. Low water use, sub surface dripline or drip emitters	Drip	Low	15,343	0.30	4,603
	2. Low water use, tree bubblers until established	Bubblers	Low	438	0.30	132
	3. Moderate water use, subsurface dripline or drip emitters	Drip	Mod	4,835	0.50	2,418
	4. High water use, sub surface dripline or drip emitters	Drip	High	9	0.70	7
Total				20,625		7,160

Maximum Applied Water Allowance

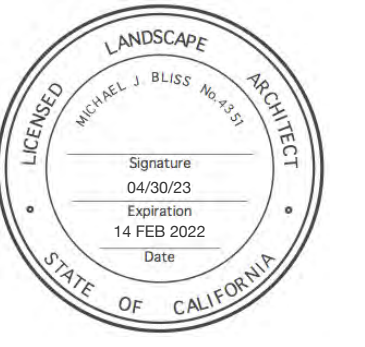
Eto	X	(ETAF)	X	Planting SF	X	Gal./SF	MAWA	ACRE-FT.
33.00		0.7		20,625		0.62	295,391	0.91

Estimated Total Water Use

Plant Water Use	(Eto)(0.62)	X	(PF x HA)	ETWU	ACRE-FT.
Low	20.5		5,845	119,585	
Med.	20.5		2,985	61,064	
High	20.5		8	159	
ETWU				180,808	0.55

Proposed Landscape Water Use

Plant Type	Water Use	Planting SF	Gallons	% of Landscape
Low	0.3	15,781	119,585	77%
Med.	0.5	4,835	61,064	23%
High	0.7	8	0	0%
				100%



FOR APPROVAL AND PERMITTING
PURPOSES ONLY

**PEBBLE BEACH
RETREAT**

1458 RIATA RD.
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-332-019

Phase
BUILDING PERMIT

Previous Issue

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9

Issue
Planning Permit Submittal

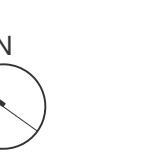
Date
14 FEB 2022

Drawn by
MT

Scale: 1"=10'



North



Drawing Title

**LANDSCAPE
LIGHTING PLAN**

L5.0

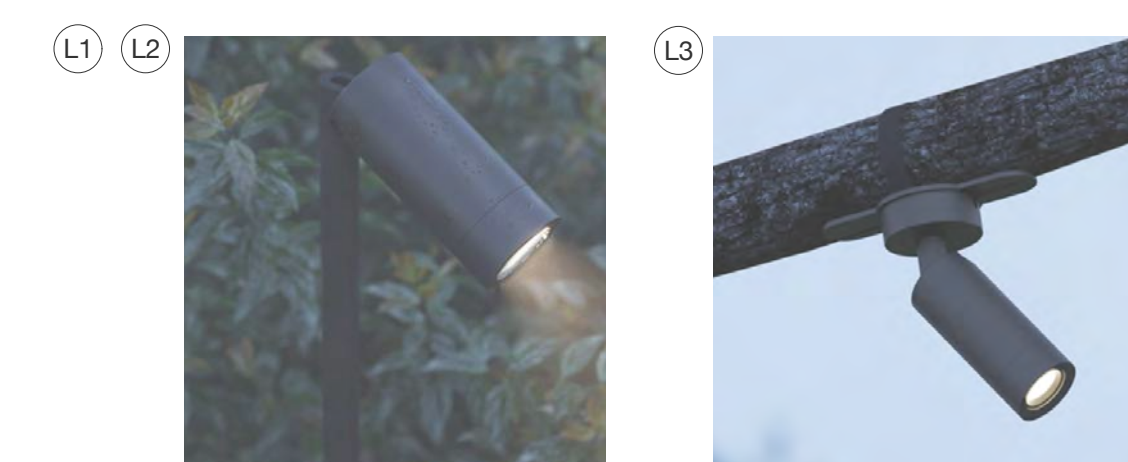


EXTERIOR LIGHTING NOTES

1. The lighting plan is diagrammatic and intended to show general fixture location and type. Exact location of fixtures and transformers shall be verified on site with landscape architect.
2. Contractor shall coordinate with general contractor and electrical contractor for installation of conduit, sleeving, switching locations and junction boxes during other phases of work.
3. All fixtures to be installed per manufacturer's specifications.
4. All "flush" fixtures to be installed level with top of paving material, gravel or plant bed mulch, unless otherwise noted.

LIGHTING LEGEND & SPECIFICATIONS

Symbol	Quantity	Description	Brand/Model	Wattage
	L1 15	14" POST MOUNTED DOWN LIGHT	REGGIANI YORI IP66	2 W LED
	L2 11	19.5" POST MOUNTED DOWN LIGHT	REGGIANI YORI IP66	2 W LED
	L3 21	TREE MOUNTED DOWN LIGHT	REGGIANI YORI IP66	2 W LED



Subject: Fwd: PLN210002/Davis

Date: Thursday, June 16, 2022 at 9:24:05 AM Pacific Daylight Time

From: Jensen, Fiona 796-6407

To: Quenga, Anna 755-5175

FAR and lot coverage calcs for PLN210191

From: Cynthia Spellacy <cspellacy@stockerallaire.com>

Sent: Tuesday, June 14, 2022 3:48 PM

To: Jensen, Fiona 796-6407 <JensenF1@co.monterey.ca.us>

Subject: Fwd: PLN210002/Davis

[CAUTION: This email originated from outside of the County. Do not click links or open attachments unless you recognize the sender and know the content is safe.]

Begin forwarded message:

From: John Chamberlain <jchamberlain@lakeflato.com>

Subject: RE: PLN210002/Davis

Date: June 14, 2022 at 3:30:27 PM PDT

To: Cynthia Spellacy <cspellacy@stockerallaire.com>

Cc: Laura K Jensen <ljensen@lakeflato.com>

Afternoon Cynthia,

See our updated numbers below. I separated the trellis area from the site coverage calculation but included it below. Happy to say we are within all given ranges, we are very close to the maximum site coverage limit but we are within it.

FAR:

House = 3,646 SQ FT

Garage = 476 SQ FT

Guest House = 344 SQ FT

Storage = 398 SQ FT

Total = 4,864 SQ FT

Proposed FAR = 4,864 SQ FT

Site Coverage:

House = 3,646 SQ FT

Garage = 476 SQ FT

Storage = 407 SQ FT

O.H. Eave > 30 in. = 83 SQ FT

Total = 4,612 SQ FT of the 4,617.75 SQ FT Allowed

Pescadero Watershed Non-permeable Coverage:

-
8,130 SQ FT of 9,000 SQ FT Allowed

Trellis Area = 1,350 SQ FT (Completely open trellis)

Let me know if you have any questions,

Thanks,
John

John Chamberlain

Designer

LAKE | FLATO ARCHITECTS

*During our office's renovation, please
contact us at our temporary location:*

321 6th Street, Suite B
San Antonio, Texas 78215
p 210.679.2352



NET ZERO | 20
22
LEARN HOW WE'RE REDUCING OUR IMPACT

This page intentionally left blank