

# Exhibit B

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**Before the HCD Chief of Planning  
in and for the County of Monterey, State of California**

In the matter of the application of:

**AMAG HOLDINGS LLC (PLN180180)**

**RESOLUTION NO. 21 - 015**

Resolution by the Monterey County HCD Chief of Planning:

- 1) Considering the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration (IS/MND) and Addendum (HCD-Planning File No. REF150048), per California Environmental Quality Act (CEQA) Guidelines Section 15164; and
- 2) Approving an Administrative Permit to allow the commercial cannabis cultivation, manufacturing and distribution operations within an existing greenhouse and warehouse buildings consisting of:
  - a) An indoor cultivation area of 3,457 square feet;
  - b) A volatile manufacturing facility of 29,135 square feet;
  - c) A security building of 1,420 square feet;
  - d) An administrative building of 4,120 square feet; and
  - e) A maintenance building of 4,387 square feet; and
- 3) Adopting the Mitigation Monitoring and Reporting Plan for Multiple Cannabis Cultivation Site.

[(PLN180180/AMAG) 20800 Spence Road, Salinas, Greater Salinas Area Plan (APN: 137-021-033-000)]

Corrected on May 18, 2021  
(This resolution supersedes  
the previous resolution  
mailed on April 22, 2021)

**The AMAG application (PLN180180) came on for an administrative hearing before the Monterey County HCD Chief of Planning on April 21, 2021. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County HCD Chief of Planning finds and decides as follows:**

**FINDINGS**

1. **FINDING:** **CONSISTENCY** - The proposed project and/or use, as conditioned and/or mitigated, is consistent with the 2010 Monterey County General Plan, Greater Salinas Area Plan, and the requirements of the Title 21 Zoning Ordinance to include Chapter 21.70 (Administrative Permits), Chapter 21.67 (Commercial Cannabis Activities), and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) **Conformance Review:** During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in the:
    - 2010 Monterey County General Plan;
    - Greater Salinas Area Plan; and
    - Monterey County Zoning Ordinance (Title 21).
  - b) No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
  - c) **Lot Legality:** The current configuration of the subject approximately 5-acre parcel (Assessor's Parcel Number 137-021-033-000) is identified in the Monterey County Map Book 137, Page 02, and under separate ownership. Therefore, the County recognizes the parcel as a separate legal lot of record.
  - d) **Allowed Uses:** The subject property is located at 20800 Spence Road in Salinas, within Greater Salinas Area Plan area. Designated zoning is Heavy Industrial, with a Building Site zoning overlay and a minimum building site of five (5) acres ["HI/B-5 5 AC MIN"] which allow indoor, mixed-light cannabis cultivation and volatile cannabis manufacturing uses (Ref. Title 21 Section 21.28.050.X and Y). The project proposes to operate cannabis cultivation within the established 3,457 square feet of metal building located at the back of the project site. Additionally, 29,135 square feet of the existing building would be used for volatile manufacturing, and the existing 4,387 metal building is proposed for volatile extraction, maintenance and storage usages on site. Therefore, the proposed cannabis operation is an allowed use in the Heavy Industrial Districts with an administrative permit.
  - e) **Development Standards:** The proposed project complies with the site development standards for the "HI" zoning district. All the established structures for the proposed project meet the maximum building height and minimum setback requirements. Also, the existing building site coverage (40,459 square feet) is not exceeding the allowed lot coverage, maximum fifty (50) percent (10,899 square feet) excluding parking and landscaping.
  - f) **Unique Identifiers:** All proposed commercial cannabis cultivation on the project site will be compliant to and implement a County approved unique identification protocol until a track and trace program is generated and applied by the California Department of Food and Agriculture. The Unique Identifier program will be linked with the appropriate track and trace program with batch records as well as the produce recall procedures if necessary. In addition, package labels will include a list of pharmacologically active ingredients and identify the source and manufacture date of the product.
  - g) **Location:** The subject property is not within a six hundred (600) foot radius of any schools, public parks, or rehabilitation centers.
  - h) **Security and Visibility:** The project site plan indicates that existing security fencing consists of 6-foot high chain-link fences with slates to screen and protect from public view. Additionally, all hazardous chemicals including two tanks of ethanol and fertilizers will be stored in a locked room and only authorized managers would access to the

room with proper signs and notices to avoid any environmental detriment on the site.

- i) Pesticides and Fertilizers: The proposed project scope would not result in significant impact on the environment in accordance with the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration (Exhibit E).
- j) Water conservation measures: Water at the project site is served by the El Camino Public Water System. The water system of the subject property is proactively taking measures to implement a system-wide Point of Use (POU) program and all the required items must be complete prior to any project related activities. According to a water management plan dated April 24, 2019, the applicant will minimize and conserve water use as much as possible during the propagation of the cannabis plant by a drip irrigation system.
- k) Energy Efficiency: The project includes adequate measures to address the projected energy demand for cannabis cultivation at the site, consistent with the requirement specified in accordance with Title 21 Sections 21.67.050.B.9 and 21.67.050.C.5. The commercial cannabis operations will require some use of artificial lighting as well as use of mechanical systems for environmental controls which could increase energy demands and result increased greenhouse gas emissions. Therefore, the Operation Plan includes the installation of energy efficient equipment such as LED lighting and an upgraded HVAC and dehumidifiers. Additionally the applicants will have timers and smart controls for lights and AC system, and essential equipment.
- l) Additional Permits and Licenses: Cultivation at the site will be required to obtain the appropriate Commercial Cannabis Business Permits pursuant to Chapter 7.90 of the Monterey County Code and Business License pursuant to Chapter 7.100 of the Monterey County Code. These licenses and entitlements will ensure ongoing monitoring of compliance with the plans and operational requirements. Failure to obtain and maintain all required permits, licenses, and entitlements may be ground for revocation of this permit
- m) Land Use Advisory Committee: The project was not referred to a Land Use Advisory Committee (LUAC) for review because there is not one assigned to the Greater Salinas area. Furthermore, this application did not warrant referral since it does not involve any conflicts or raise significant land use issues that necessitate review by a LUAC prior to a public hearing.
- n) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN180180.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use as built.

**EVIDENCE:** a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, Monterey County Regional Fire Protection District, Public Works, Environmental Services, and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

- b) County staff reviewed all submitted materials and concluded that there are no physical or environmental constraints that would indicate the project property is not suitable for the proposed use and development.
- c) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN180180.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by the HCD-Planning, Monterey County Regional Fire Protection District, Public Works, Environmental Services, and Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Monterey County Health Department has completed the project review and considers the project to be complete with conditions which require the applicant to submit a treatment plan or obtain a domestic water source to meet quality requirement prior to any construction permit.
  - c) The project site plan indicates that existing security fencing consists of 6-foot high chain-link fences with slates to screen and protect from public view. Additionally, all hazardous chemicals including two tanks of ethanol and fertilizers will be stored in a locked room and only authorized managers would access to the room with proper signs and notices to avoid any environmental detriment on the site.
  - d) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN180180.

4. **FINDING:** **STATE AND COUNTY REQUIREMENTS:** The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

**EVIDENCE:** Operational plans including security measures, track and trace programs, monitoring and reporting requirements, packaging and labeling standards, sustainability measures, and other relevant information are proposed to address regulatory requirements contained in Title 21 Section 21.67.050 (also see Finding No. 1). Required conditions of approval specified in Title 21 Section 21.67.050.D have been incorporated.

5. **FINDING:** **REQUIRED SET BACKS:** The cultivation will not be located within a six hundred foot radius of a school providing instruction in kindergarten or any grades 1 through 12, a child care center, a youth center, a playground, or a drug recovery facility that is in existence at the time of approval of permits by the HCD Chief of Planning.
- EVIDENCE:**
- a) The cultivation and manufacturing operation will be located at 20800 Spence Road, Salinas, Greater Salinas Area Plan.
  - b) The closest public park is Spreckels Memorial Park, located approximately 4.6 miles (24,500 feet) northwest of the subject property.
  - c) The closest school is Alondra Baptist School, located over 4.3 miles (23,000 feet) southwest of the subject property.
  - d) The closest drug recovery facility is Windsor Gardens Rehabilitation Center of Salinas, located over 5.3 miles (28,000 feet) northwest of the subject property.
6. **FINDING:** **QUALITY CONTROL:** Adequate measures are proposed to ensure that medical cannabis cultivated at the site meets the industry standards.
- EVIDENCE:**
- a) Cannabis and cannabis products supplied by Biopharmaceutical Research Company will only be distributed to federally approve institutions to conduct scientific research. Therefore, strict quality control is a necessity. The operations plan describes how the facility will be kept in clean and utilize a unique air pressurized system to keep the sterile environment contaminant free. Products will be inspected and tested through an in-house quality control lab. If necessary, procedures for the recall of cannabis or cannabis products produced on-site have been provided.
  - b) Operational standards that ensure testing of each batch of cannabis produced at the site will be addressed through the Commercial Cannabis Business Permit required pursuant to Chapter 7.90 of the Monterey County Code.
7. **FINDING:** **FEDERAL COMPLIANCE:** The cultivation will provide adequate measures that address the federal enforcement priorities for cannabis activities including restricting access to minors, prohibiting use or possession of firearms for security purposes at the premises, and ensuring that medical cannabis and medical cannabis products are supplied from permitted and licensed sources.
- EVIDENCE:**
- a) Plans and materials contained in file PLN180180 include descriptions of security measures that restrict youth access to the site. Unique identifiers, track and trace systems, and adequate records will be kept providing on-going evidence of non-diversion requirements. On-site security is prohibited from carrying lethal weapons.
  - b) Background checks of all persons with 10 percent or more interest in the cannabis businesses will be conducted. Any known association with organized crime may be grounds for denial of business permits and State licenses required to operate the dispensary.
  - c) Violations of Federal Enforcement priorities may be grounds for revocation of this permit.

8. **FINDING:** **CEQA:** In accordance with CEQA Guidelines Section 15164(d), the Chief of Planning considered the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration and Addendum prior to approving the project. The Chief of Planning finds the project does not cause substantial changes to the project and that there are no substantial changes in circumstances or new information of substantial importance that would require major revisions to the adopted Multi-Site Cannabis Initial Study/Mitigated Negative Declaration (IS/MND).

- EVIDENCE:**
- a) The IS/MND for the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration (HCD-Planning File No. REF150048), adopted by the Board of Supervisors on November 17, 2020 (Board of Supervisor Resolution No. 20-381), evaluated potential cumulative effects of 45 sites that proposed to cultivate cannabis within existing greenhouses or industrial buildings.
  - b) An Addendum to the IS/MND was prepared pursuant to CEQA Guidelines, Article 11, Section 15164. Monterey County HCD-Planning, as the lead agency prepared the Addendum to the previously approved IS/MND to make minor changes to Mitigation Measure TRA-1. The amended language specifies that construction of the intersection improvement is the responsibility of the owner, applicant, and/or cannabis operator(s) instead of the County and that the compliance action would be specified in a binding agreement between the County and the owner, applicant, and/or cannabis operator(s). As amended, the mitigation remains consistent with the requirement to improve the Old State Road/Spence Road intersection, but allows flexibility in who is responsible to construct the improvement and when completion of the improvement will occur. Therefore, the amendment to mitigation measure TRA-1 does not present a substantial change to identified environmental impacts previously discussed and addressed in the ISM/MND. Mitigation Measures TRA-1 (as amended), TRA-2 and TRA-3 have been incorporated as conditions of approval.
  - c) Pursuant to Section 15168(c)(4) of the CEQA Guidelines, there is no new information of substantial importance that was not acknowledged when the IS/MND adopted. According to CEQA Consistency Checklist for Cannabis Cultivation Facilities (attached to this resolution and incorporated herein by reference), no substantial changes occur with respect to the circumstances under the IS/MND. The proposed project was analyzed and mitigated, as required in the previously identified in the adopted IS/MND and Addendum.
  - d) As demonstrated in preceding Evidence “b”, an Addendum has been prepared to make minor changes to Mitigation Measure TRA-1. This change does not constitute a substantial modification that would require major revision to the previously adopted IS/MND. Pursuant to Section 15162 of the CEQA Guidelines, a subsequent or supplemental IS/MND for the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration is not required.
  - e) The Chief of Planning considered the Addendum, along with the IS/MND prepared and adopted for the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration (SCH No. 2020060325). The



materials upon which the County’s decision is based are located in HCD-Planning, 1441 Schilling Place, 2<sup>nd</sup> Floor, Salinas, CA.

- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN180180.

9. **FINDING:** **NO VIOLATIONS:** The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and Building Services records and is not aware of any violations existing on subject property.
  - b) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN180180.

10. **FINDING:** **PUBLIC NOTICE:** Consideration of the request for the Administrative Permit has been carried out pursuant to Monterey County Code Section 21.30 and 21.67 of Monterey County Code Title 21 (Zoning).

- EVIDENCE:**
- a) On April 7, 2021, notices were mailed to all persons owning property within 300 feet of the project site.
  - b) On April 8, 2021, a notice was published in the Monterey County Weekly. No objections were received during the notification period April 8, 2021 to April 20, 2021.
  - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County Housing and Community Development Planning Services for the proposed project can be found in the Project File PLN180180.

11. **FINDING:** **APPEALABILITY -** The decision on this project may be appealed to the Planning Commission.

**EVIDENCE:** Section 21.80.040.A of the Monterey County Zoning Ordinance (Planning Commission).

### **DECISION**

**NOW, THEREFORE,** based on the above findings and evidence, the Director of Housing and Community Development does hereby:

- A. Considering the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration (IS/MND) and Addendum (HCD-Planning File No. REF150048), per California Environmental Quality Act (CEQA) Guidelines Section 15164; and
- B. Approve an Administrative Permit to allow commercial cannabis cultivation, manufacturing and distribution operations within an existing greenhouse and warehouse buildings consisting of an existing indoor cultivation area of 3,457 square feet, a volatile manufacturing facility of 29,135 square feet, a security building of 1,420 square feet, an administrative building of 4,120 square feet, and a maintenance building of 4,387 square feet; and
- C. Adopt Mitigation Monitoring and Reporting Plan for Multiple Cannabis Cultivation Site (State Clearinghouse Number: 2020060325)

All work must be in general conformance with the attached plans, and this approval is subject to 13 conditions of approval, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 21<sup>st</sup> day of April, 2021.

DocuSigned by:

*Erik Lundquist*

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Erik Lundquist, AICP  
Monterey County HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON ~~APR 22~~ **APR 22 2021**

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **MAY 03 2021**

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

# Monterey County HCD Planning

## Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN180180

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** This Administrative Permit (PLN180180) allows commercial cannabis cultivation, manufacturing and distribution operations within established greenhouse and warehouse buildings. The property is located at 20800 Spence Road, Salinas (Assessor's Parcel Number 137-021-033-000), Greater Salinas Area Plan/Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** HCD-Planning

**Condition/Mitigation** The applicant shall record a Permit Approval Notice. This notice shall state:

**Monitoring Measure:** "An Administrative Permit to allow commercial cannabis cultivation, manufacturing and distribution operations within established greenhouse and warehouse buildings (Resolution Number 21-015) was approved by Chief of Planning for Assessor's Parcel Number 137-021-033-000 on April 21, 2021. The permit was granted subject to ten (10) conditions of approval and three (3) mitigation measures which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or** Prior to the issuance of grading and building permits, certificates of compliance, or  
**Monitoring** commencement of use, whichever occurs first and as applicable, the Owner/  
**Action to be Performed:** Applicant shall provide proof of recordation of this notice to the HCD - Planning.

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** HCD-Planning

**Condition/Mitigation** If, during the course of construction, cultural, archaeological, historical or  
**Monitoring Measure:** paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or** The Owner/Applicant shall adhere to this condition on an on-going basis.  
**Monitoring**

**Action to be Performed:** Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. EHSP01 - APPROVED WATER SOURCE (NON-STANDARD)

**Responsible Department:** Health Department

**Condition/Mitigation Monitoring Measure:** The subject property is served by El Camino Public Water System (ECPWS), System ID 2702409. ECPWS intends to incorporate a treatment system that meets standards in Title 22 of the California Code of Regulations. If ECPWS does not achieve compliance, as determined by EHB, the property will be required to obtain a domestic water source that meets quality and quality requirements as regulated through EHB.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any CNB or Construction Permit, the applicant is required to complete the following:

Submit treatment plan for review and acceptance by EHB. Additionally, the water system permit shall be amended as required by EHB.

OR

Obtain a domestic water source that meets quality and quality requirements as regulated through EHB.

#### 5. PDSP001-OPERATIONAL COMPLIANCE INSPECTIONS

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** The owner and permittees shall allow access to the premises and access to records if requested by the County, its officers, or agents, and shall pay for an annual inspection and submit to inspections from the County or its officers to verify compliance with all relevant rules, regulations, and conditions.

**Compliance or Monitoring Action to be Performed:** Ongoing during cannabis operations. The owner and/or permittee shall allow access to the site if requested by the County and pay any required inspection fees.

#### 6. PDSP002 – INSPECTION OF RECORDS

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** The applicant, owner, and permittees agree to submit to and pay for, inspection of the operations and relevant records or documents necessary to determine compliance with Chapter 21/20.67 from any enforcement officer of the County or their designee.

**Compliance or Monitoring Action to be Performed:** On-going during cannabis operations. The owner and/or permittee shall allow access to cannabis business records and pay any required inspection fees.

## 7. PDSP003 – COMMERCIAL CANNABIS PERMIT

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** Any person, business, or entity operating a commercial cannabis activity on the property shall obtain a valid and fully executed Commercial Cannabis Business Permit pursuant to Chapter 7.90 of the Monterey County Code prior to commencing commercial cannabis activities at the site and must maintain such permits in good standing in order to continue operations.

**Compliance or Monitoring Action to be Performed:** Within 90 days of approval of a Use Permit/Coastal Development Permit, the person, business, and/or entities operating commercial cannabis activities shall obtain all required Commercial Cannabis Business Permits.

## 8. PDSP004 – GROUNDS FOR REVOCATION

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** The property owner shall be responsible for ensuring that all commercial cannabis activities at the site operate in good standing with all permits and licenses required by the Monterey County Code and State law. Failure to take appropriate action to evict or otherwise remove permittees and persons conducting commercial cannabis activities at the site who do not maintain permits and licenses in good standing with the County and State shall be grounds for the suspension or revocation of this permit.

**Compliance or Monitoring Action to be Performed:** On-going during cannabis operations at the site. The owner shall ensure that all commercial cannabis operations have obtained and maintain all required permits, licenses, and entitlements or take appropriate actions to evict operators who do not maintain appropriate permits, licenses, and entitlements.

## 9. PDSP005 – COMPLIANCE WITH OPERATIONS PLANS

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** The commercial cannabis activities shall be maintained in accordance with the operation plans approved by the County.

**Compliance or Monitoring Action to be Performed:** On-going during cannabis operations. Cannabis activities shall comply with the operations plans attached to this permit and as may be approved under a Commercial Cannabis Business Permit.

## 10. PDSP006 – ODOR CONTROL

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** The property owner shall ensure that any cannabis business operating on-site confirms to Section 7.90.100.A.8 of the Monterey Code, as may be amended. Odor prevention devices and techniques, such as ventilation system with a carbon filter, shall be incorporated to ensure that odors from cannabis are not detectable off-site.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Commercial Cannabis Business Permits, the owner/applicants shall provide plans and information to the satisfaction of the Chief of Planning, describing how odors will be controlled and how the odor control devices will be maintained.

Odor prevention devices shall be maintained in accordance with approved odor control plans during the life of the operations.

## 11. Mitigation Measure (MM) TRA-1

**Responsible Department:** HCD-Public Works

**Condition/Mitigation Monitoring Measure:** TRA-1 (FAIR SHARE CONTRIBUTION – DIRECT IMPACT): Prior to the issuance or renewal of commercial cannabis permits, the owner, applicant, and/or cannabis operator shall enter into an agreement with Monterey County requiring that the intersection improvements be installed by the applicant, owner, and/or cannabis operator within a reasonable time. The agreement shall specify the intersection improvements components, for which shall be installed in accordance with all applicable rules and regulations, and identify the date which the intersection improvement shall be completed.

- Old Stage Road/Spence Road: Widen Spence Road for separate right turn lane and shared through-left lane for the NB approach.

**Compliance or Monitoring Action to be Performed:** Prior to issuance or renewal of a commercial cannabis permit, the owner, applicant, and/or cannabis operator shall enter into an agreement with Monterey County as specific in the condition. Construction of improvements to the Old Stage Road/Spence Road intersection identified in Appendix H of the Traffic Impact Study prepared for the Multiple Cannabis Cultivation Facilities Initial Study (State Clearinghouse Number: 2020060325), shall be constructed by the owner, applicant, and/or cannabis operator(s) within a reasonable time subsequent to the issuance or renewal of commercial cannabis permits that allow new or expanded commercial cannabis activities impacting the intersection.

## 12. Mitigation Measure (MM) TRA-2

**Responsible Department:** HCD-Public Works

**Condition/Mitigation Monitoring Measure:** TRA-2: Prior to the issuance or renewal of the commercial cannabis permits, each project applicant shall pay the TAMC RDIF, in the amount specified in Appendix G of the Traffic Impact Study, for the following improvements:

- US 101/Hartnell Road, US 101/Spence Road, US 101/Potter Road: Regional Improvement Project #7 US-101-South County Phase 1 to eliminate the at-grade highway crossings and construct a two-lane frontage road on the east side of US 101 from Harris Road to Chualar where the frontage road will link a new interchange to Harris Road/US 101.
- US 101 between Prunedale Road and Sala Road: US 101 capacity improvements with the City of Salinas.
- US 101 between Sala Road and Boronda Road: US 101 capacity improvements with the City of Salinas.
- US 101 between Boronda Road and Laurel Drive: US 101 capacity improvements with the City of Salinas.

**Compliance or Monitoring Action to be Performed:** Fees shall be paid in accordance with the square footage of cultivation building areas approved in the Planning entitlements for each site. If approved as part of a phased development, the traffic fee may be paid in increments corresponding to the timing and square footage of cultivation building area approved in each phase of development. Such timing and square footage shall be denoted as a condition of approval for each project proposing a phased cultivation plan. Adjustments to the phasing schedule can be approved by the Chief of Planning.

### 13. Mitigation Measure (MM) TRA-3

**Responsible Department:** HCD-Public Works

**Condition/Mitigation Monitoring Measure:** MM TRA-3: "Prior to the issuance or renewal of the commercial cannabis permits, each applicant shall pay its fair contribution to the County in the amount specified in Appendix H of the Traffic Impact Study ("Cumulative Impacts Fee"), for the following intersection improvements:

- Boronda Road/N. Main Street: Modify the existing traffic signal equipment to provide for a right-turn overlap signal phase for the SB approach.
- Alisal Road/Hartnell Road: Install a traffic signal. Widen the NB approach with single left-turn and single right-turn lanes, EB approach with a single shared through-right lane, and WB approach with single left-turn and single through lanes.
- Alisal Road/Fuji Lane: Widen the NB approach to include single left-turn and single right-turn lanes, the EB approach to include a single shared through-right lane, and the WB approach to include single left-turn and single through lanes.
- Alisal Road/Old Stage Road: Widen the SB approach to include single left-turn and single right-turn lanes, the EB approach to include single left-turn and single through lanes, and the WB approach to include single through and single right-turn lanes.
- Old Stage Road/Spence Road: Install a traffic signal. Widen the NB approach to include single shared left-through and single right lanes, the EB approach to include single left-turn and single shared through-right lanes, and the WB approach to include single left-turn and single shared through-right lanes.
- Old Stage Road/Encinal Road: Install a traffic signal. Widen the NB approach to include single left-turn and single right-turn lanes, the EB approach to include single through and single right-turn lanes, and the WB approach to include single left-turn and single through lanes.
- Old Stage Road/Potter Road: Widen the NB approach to include single left-turn and single right-turn lanes, the EB approach to include a single shared through-right lane, and the WB approach to include single left turn and single through lanes.

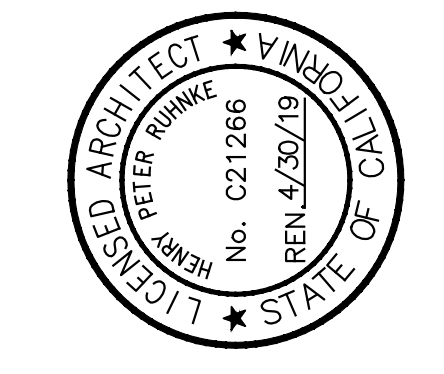
**Compliance or Monitoring Action to be Performed:** approved in the Planning entitlements for each site. If approved as part of a phased development, the traffic fee may be paid in increments corresponding to the timing and square footage of cultivation building area approved in each phase of development. Such timing and square footage shall be denoted as a condition of approval for each project proposing a phased cultivation plan. Adjustments to the phasing schedule can be approved by the Chief of Planning. To ensure that the improvements are constructed, the County shall either establish intersection improvement funds for each of the aforementioned intersections, or one general transportation improvement fund for all intersection improvements, and deposit each applicant's fair share contribution into said fund(s) as they are collected. When the estimated cost of an improvement is fully funded, the County shall cause the construction of the improvements in accordance with applicable rules and regulations governing the construction of these intersection improvement projects. Should the County elect to create one general transportation improvement fund, improvements shall be prioritized and constructed as deemed appropriate by the County, as not all individual improvements may be fully funded when the improvement is determined to be necessary to construct.







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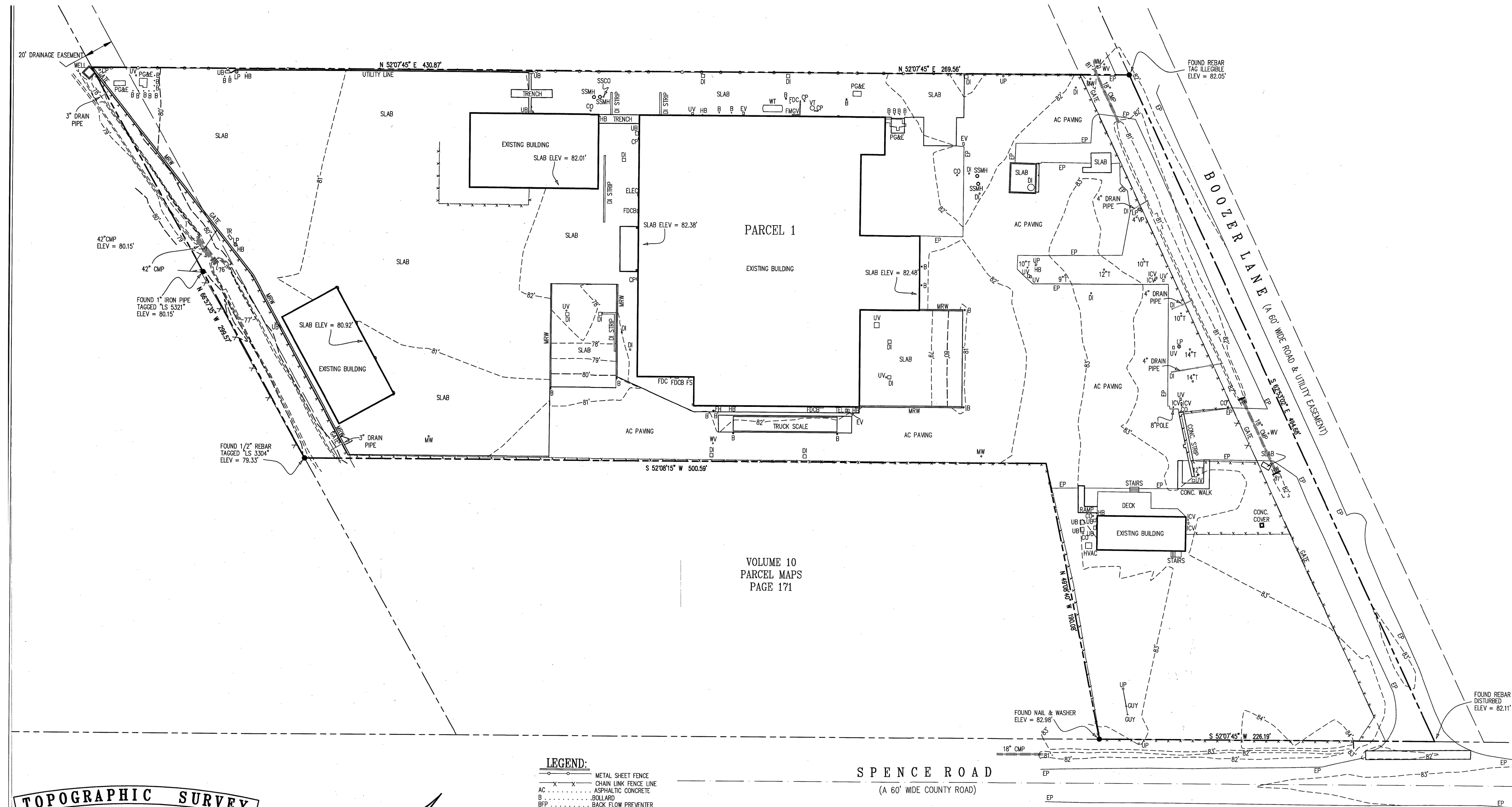
C QUADRANT, LLC - CANNABIS  
MANUFACTURING & EXTRACTION FACILITY  
C QUADRANT  
20800 SPENCE ROAD  
SALINAS, CA 93908  
A.P.N. 137-021-033-000

JOB NO.  
18171  
PRINT DATE: 4.16.2019  
DRAWN BY:  
CHECKED BY: KT  
SET ISSUED:

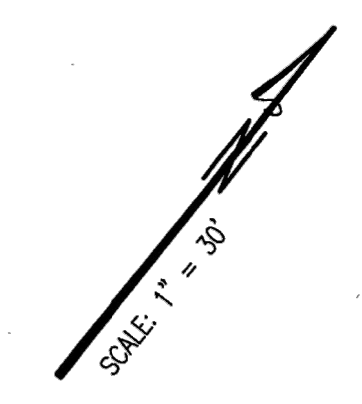
SHEET NAME:  
EXISTING  
CONDITIONS  
TOPO SURVEY  
SHEET NO.:

EC-1

FILE NAME: 18171-EC-1



**TOPOGRAPHIC SURVEY**  
OF  
**PARCEL 1**  
**RANCHO ENCINAL Y BUENA ESPERANZA**  
**VOLUME 11, PARCEL MAPS, PAGE 85**  
COUNTY OF MONTEREY STATE OF CALIFORNIA  
PREPARED FOR  
**C QUADRANT, LLC**  
BY  
**MONTEREY BAY ENGINEERS, INC.**  
CIVIL ENGINEERING • SUBDIVISIONS • LAND SURVEYING • CONSTRUCTION STAKING  
607 Charles Ave Suite B Phone: (831) 899-7899 Seaside, California 93955  
SCALE: 1" = 30' JOB No. 18-098 NOVEMBER 2018  
FIELD: END & CMW DRAWN BY: END



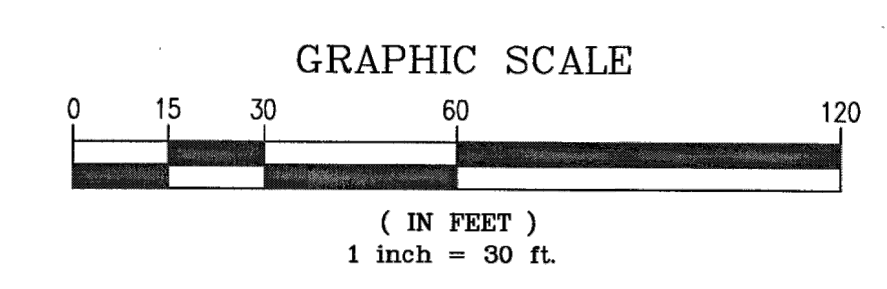
**LEGEND:**

AC	METAL SHEET FENCE
AS	CHAIN LINK FENCE LINE
ASPH	ASPHALTIC CONCRETE
B	BOLLARD
BFP	BACK FLOW PREVENTER
CATV	CABLE TV VAULT
CO	CLEAN OUT
CONC	CONCRETE
CP	CONTROL PANEL
DI	DROP INLET
ELEC	ELECTRIC PANEL
ELEV	ELEVATION
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
EV	ELECTRIC VAULT
FS	FIRE SPRINKLER
FDC	FIRE DEPARTMENT CONNECTION
FDCB	FIRE DEPARTMENT CONNECTION BOX
FEE	FINISHED FLOOR ELEVATION
FH	FIRE HYDRANT
HB	HOSE BIB
HVAC	HEATING, VENTILATION & AIR CONDITIONING
HW	HEADWALL
ICV	IRRIGATION CONTROL VALVE
LP	LIGHT POST
MRW	MASONRY RETAINING WALL
MW	MONITORING WELL
PG&E	PG&E VAULT
SDMH	STORM DRAIN MANHOLE
SSCO	SANITARY SEWER CLEAN OUT
SSMH	SANITARY SEWER MANHOLE
T	TREE SPECIES NOT SPECIFIED
TR	TRANSFORMER
TEL	TELEPHONE VAULT
UB	UTILITY BOX
UP	UTILITY POLE
UV	UTILITY VAULT
VP	VERTICAL PIPE
VT	VERTICAL TANK
WM	WATER METER
WT	WATER TANK
WV	WATER VALVE

**SPENCE ROAD**  
(A 60' WIDE COUNTY ROAD)

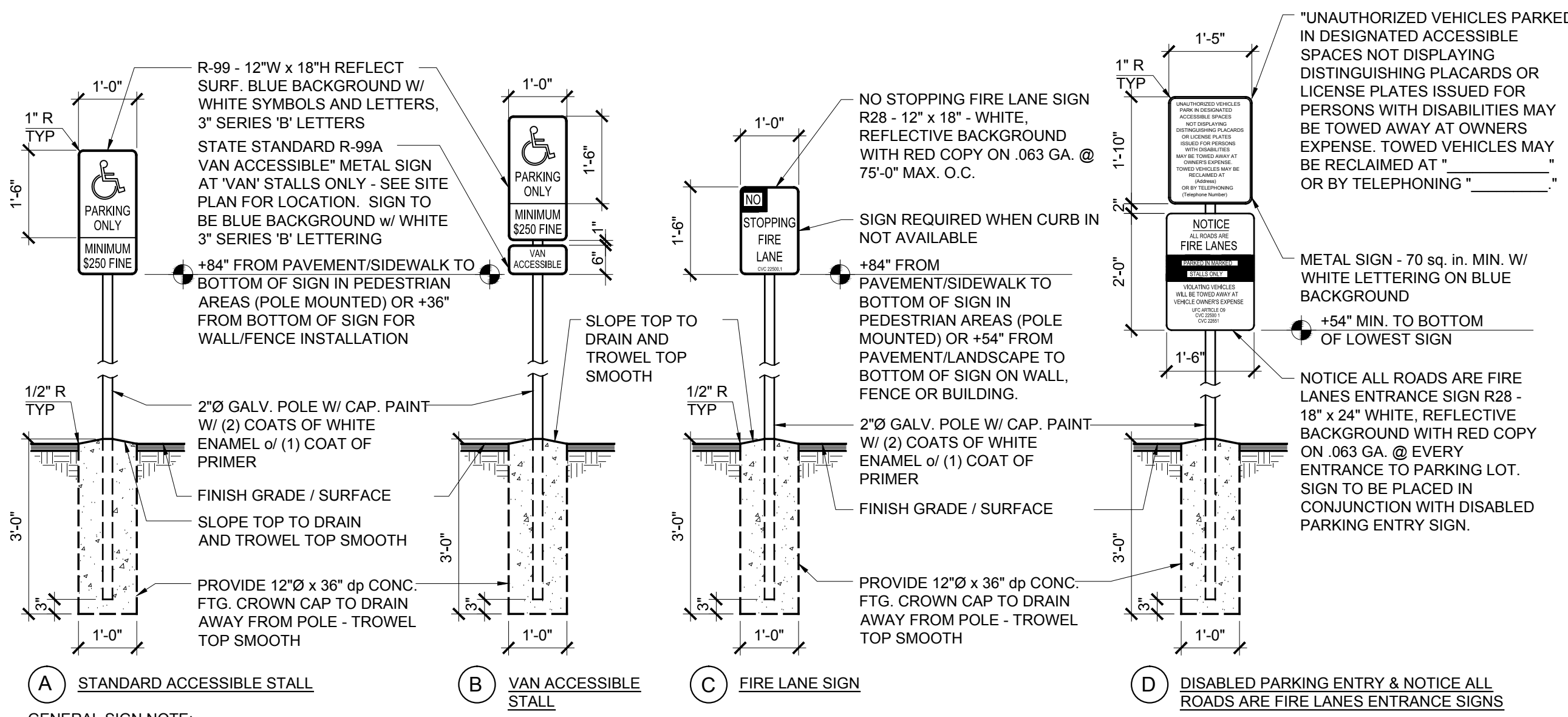
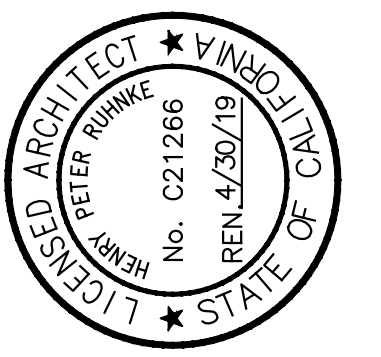
**NOTES:**

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS.
- DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
- THIS PROPERTY MAY BE AFFECTED BY EASEMENTS THAT ARE NOT SHOWN ON THIS MAP.
- CONTOUR INTERVAL = 1 FOOT.
- ELEVATIONS SHOWN ARE BASED ON NAVD-88 DATUM. THE BENCHMARK IS A USGARS DISC STAMPED "1192", NCS ID# G12208. ELEVATION = 87.29'.



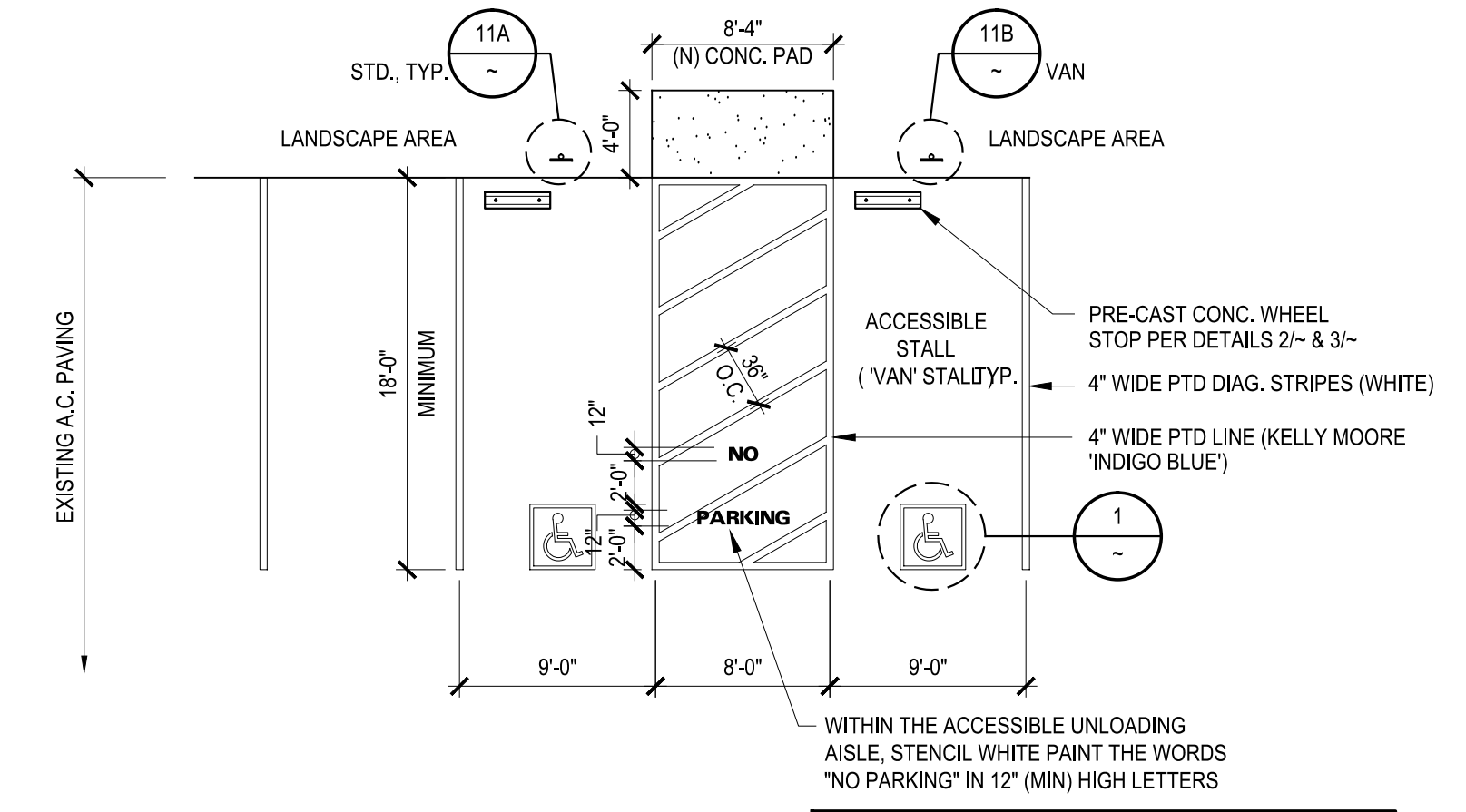




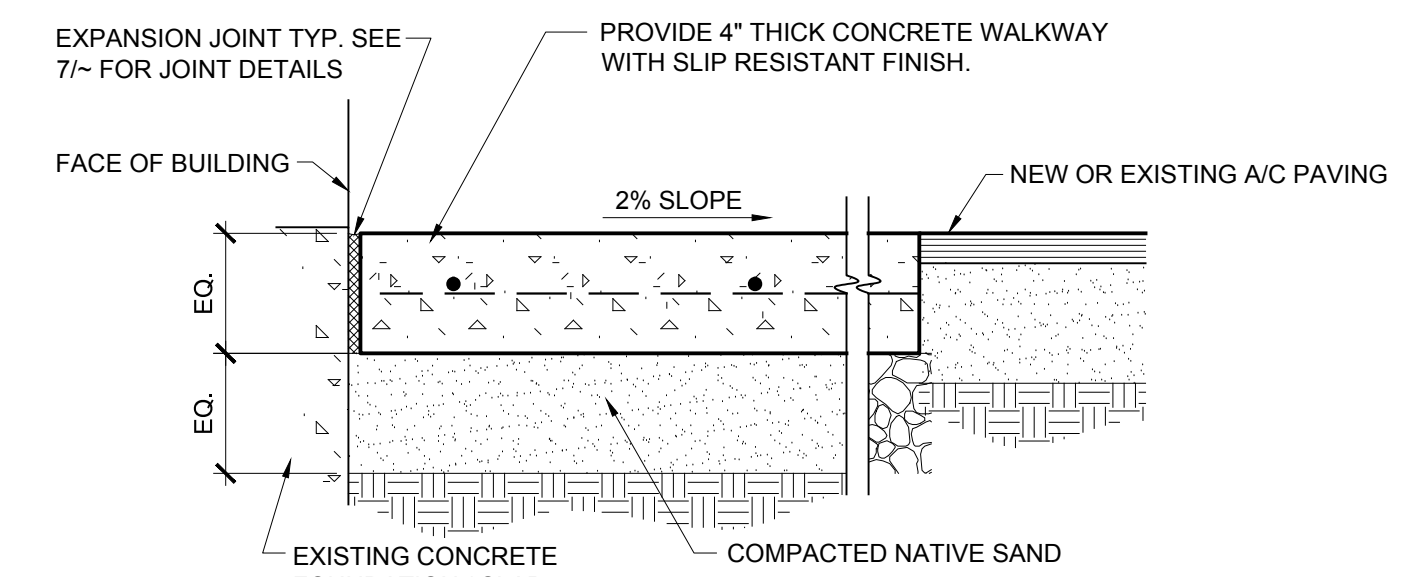


GENERAL SIGN NOTE: 1. VERIFY ALL WORDING AND CONFIGURATION OF SIGNAGE WITH COUNTY OF MONTEREY PUBLIC WORKS AND FIRE DEPARTMENTS PRIOR TO INSTALLATION. 2. SIGNS MAY BE MOUNTED ON WALL, WHERE OCCURS - SEE SITE PLAN A100.

11 MISC. ACCESSIBLE & PARKING SIGNAGE SCALE: 1/2" = 1'-0"

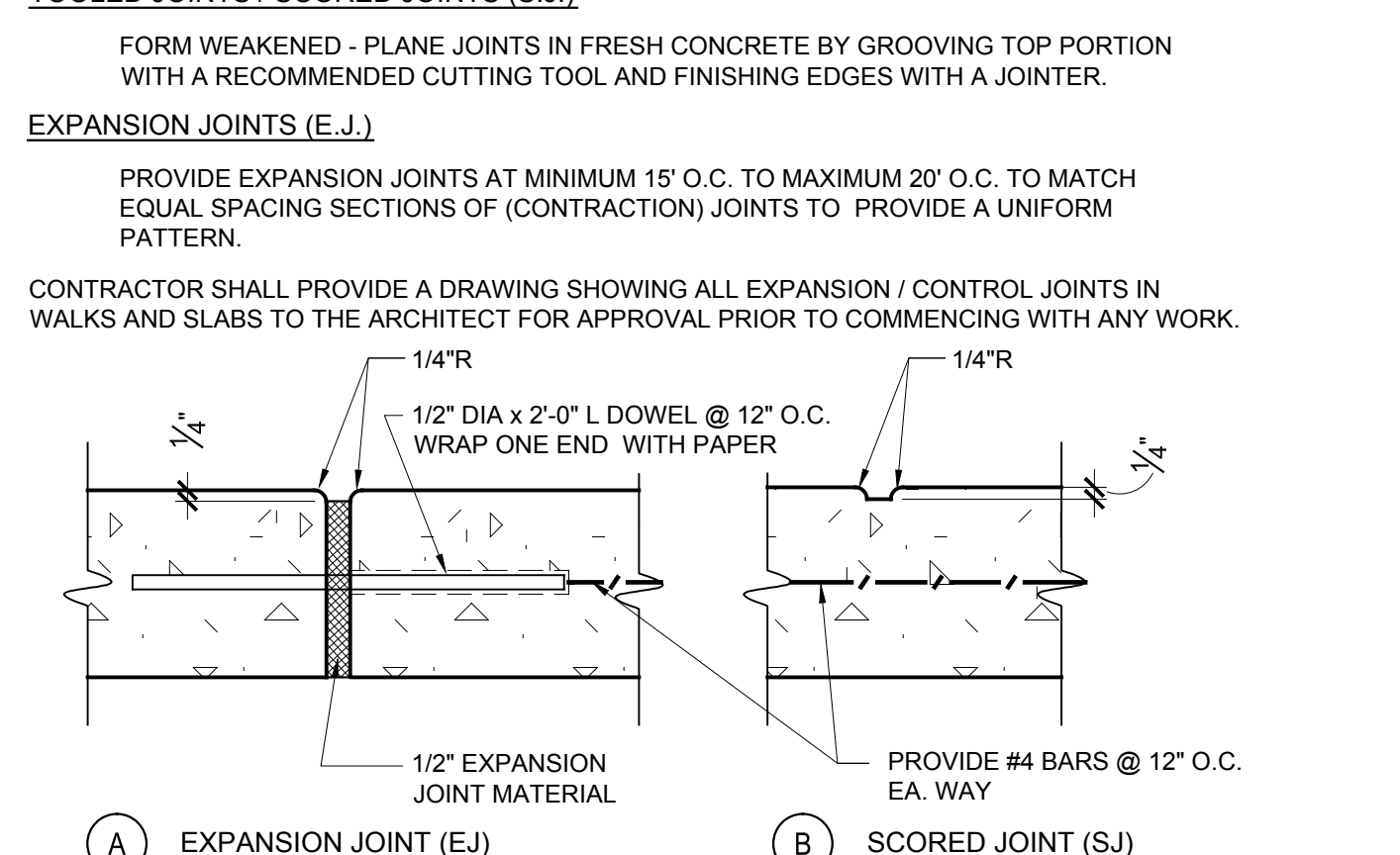


12 ACCESSIBLE PARKING STALL SCALE: 1/8" = 1'-0"

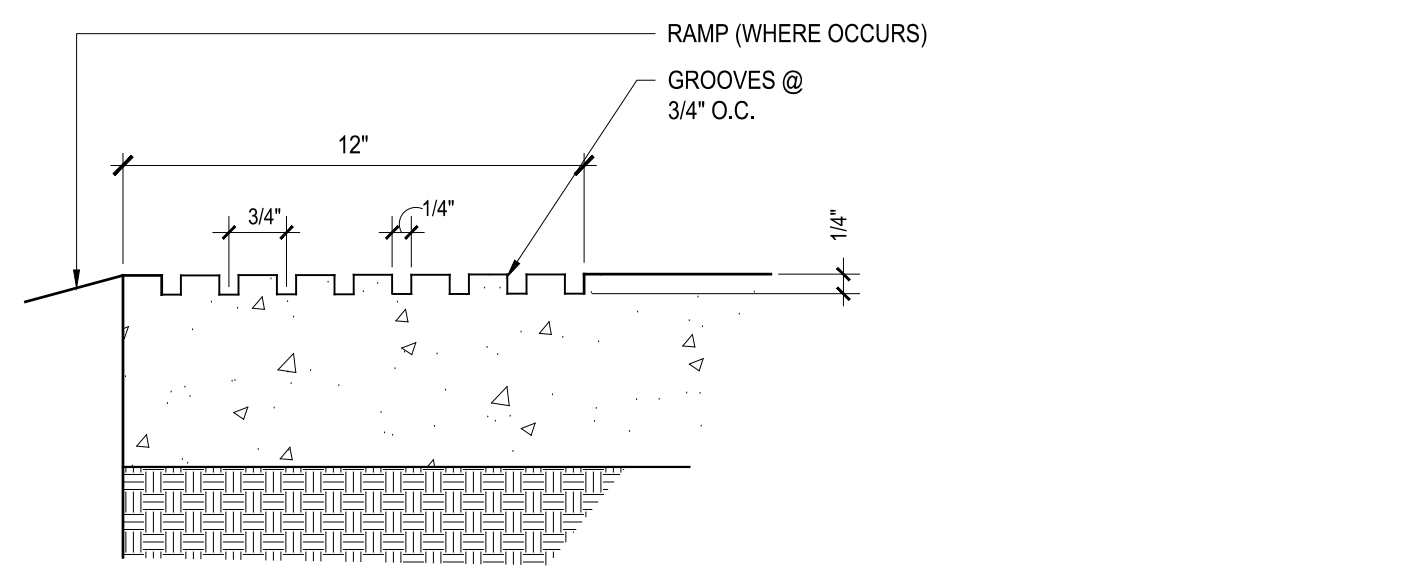


6 CONCRETE WALK SCALE: 1 1/2" = 1'-0"

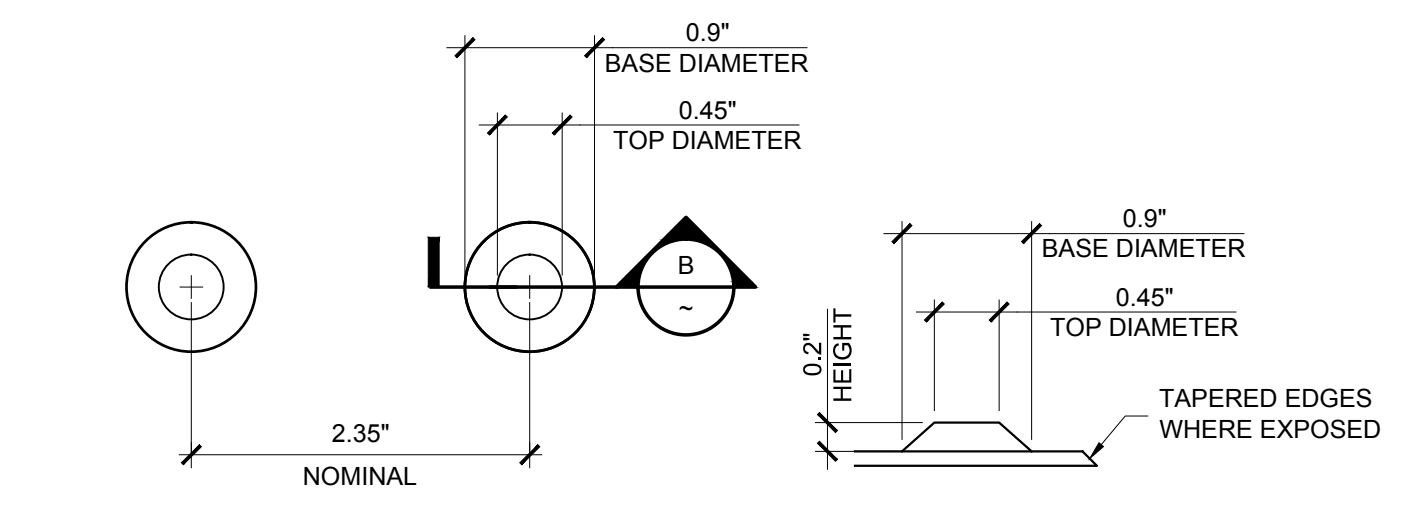
NOTES: CONTROL JOINTS (CONTRACTION) CONCRETE FLATWORK SHALL BE DIVIDED INTO AS NEARLY SQUARE PANELS AS POSSIBLE, I.E. 8' WIDE CONCRETE WALK WOULD HAVE (CONTRACTION) JOINTS AT 8' O.C. PROVIDE (CONTRACTION) JOINTS, SECTIONING CONCRETE FOR DEPTH EQUAL TO AT LEAST 1/4 CONCRETE THICKNESS, AS FOLLOWS: TOOLED JOINTS / SCORED JOINTS (S.J.) FORM WEAKENED - PLANE JOINTS IN FRESH CONCRETE BY GROOVING TOP PORTION WITH A RECOMMENDED CUTTING TOOL, AND FINISHING EDGES WITH A JOINTER. EXPANSION JOINTS (E.J.) PROVIDE EXPANSION JOINTS AT MINIMUM 15' O.C. TO MAXIMUM 20' O.C. TO MATCH EQUAL SPACING SECTIONS OF (CONTRACTION) JOINTS TO PROVIDE A UNIFORM PATTERN. CONTRACTOR SHALL PROVIDE A DRAWING SHOWING ALL EXPANSION / CONTROL JOINTS IN WALKS AND SLABS TO THE ARCHITECT FOR APPROVAL PRIOR TO COMMENCING WITH ANY WORK.



7 CONCRETE JOINTS SCALE: 3" = 1'-0"

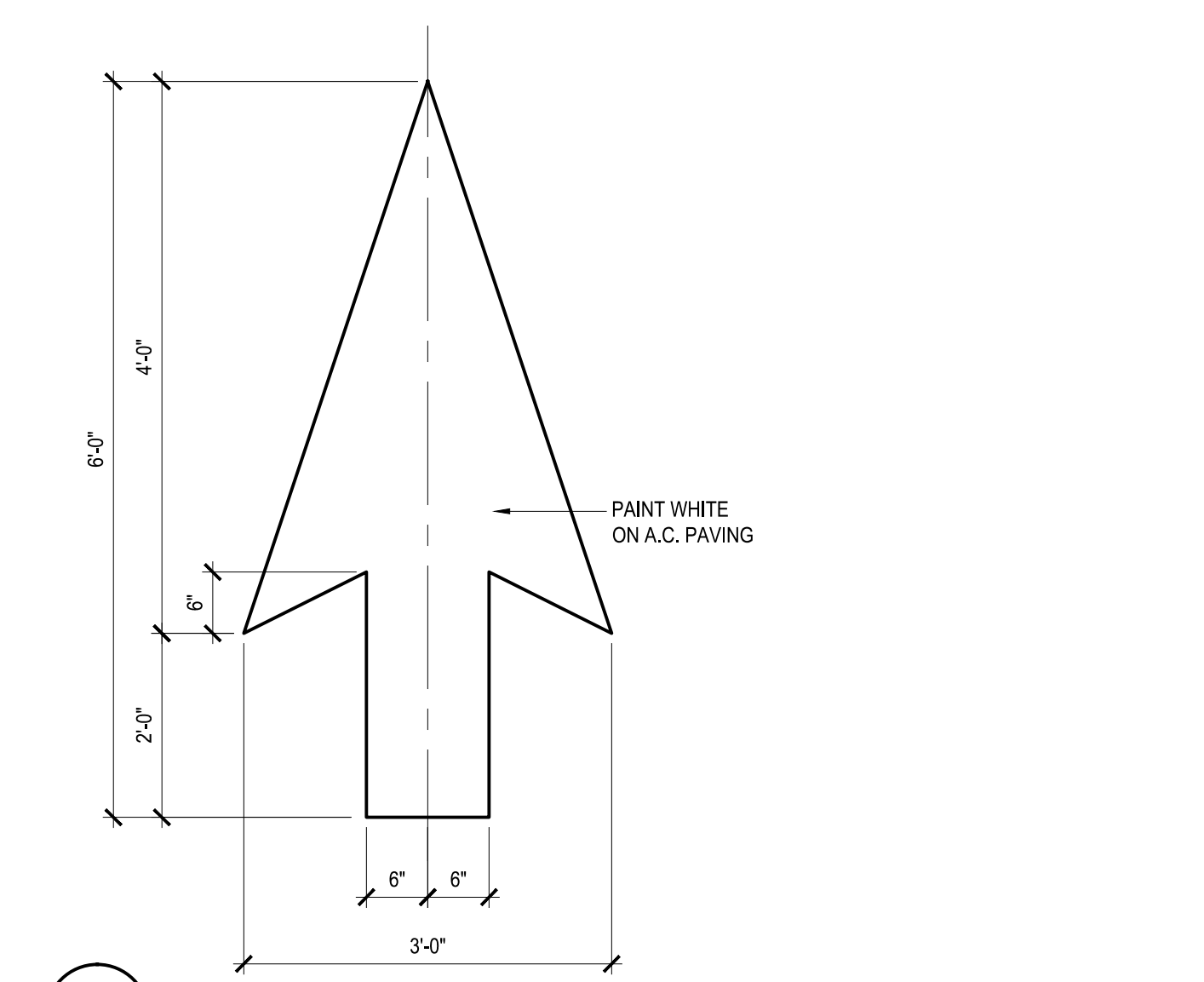


8 GROOVE SCALE: NONE

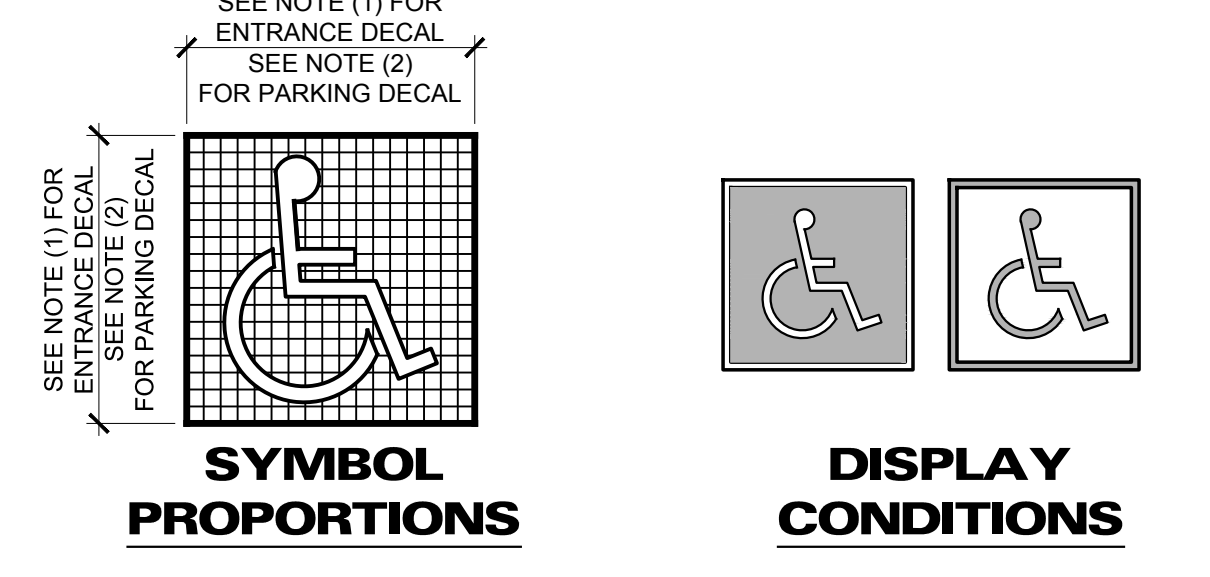


NOTES: 1. ONLY APPROVED DETECTABLE WARNING PRODUCTS AND DIRECTIONAL SURFACES SHALL BE INSTALLED IN ACCORDANCE WITH CBC SECTION 11338.8.5. 2. TRUNCATED DOMES (DETECTABLE WARNINGS) SHALL BE SUPPLIED BY: SAFETY STEP TD, INC., PH: (866) 723-3883, EMAIL: www.safetystep.com 3. INSTALLER SHALL BE CERTIFIED BY MANUFACTURER. 4. TRUNCATED DOMES (DETECTABLE WARNINGS) SHALL BE SLIP RESISTANT & SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON- DARK OR DARK-ON-LIGHT; CONTRACTOR SHALL VERIFY ACCEPTABLE COLOR WITH THE LOCAL BLDG. OFFICIAL OR PUBLIC WORKS DEPT. 5. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. 6. CONTRACTOR SHALL PROVIDE A 6" X 6" MIN. SAMPLE OF THE TRUNCATED DOMES TO THE ARCHITECT / CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO INSTALLATION.

9 TRUNCATED DOMES SCALE: N.T.S.

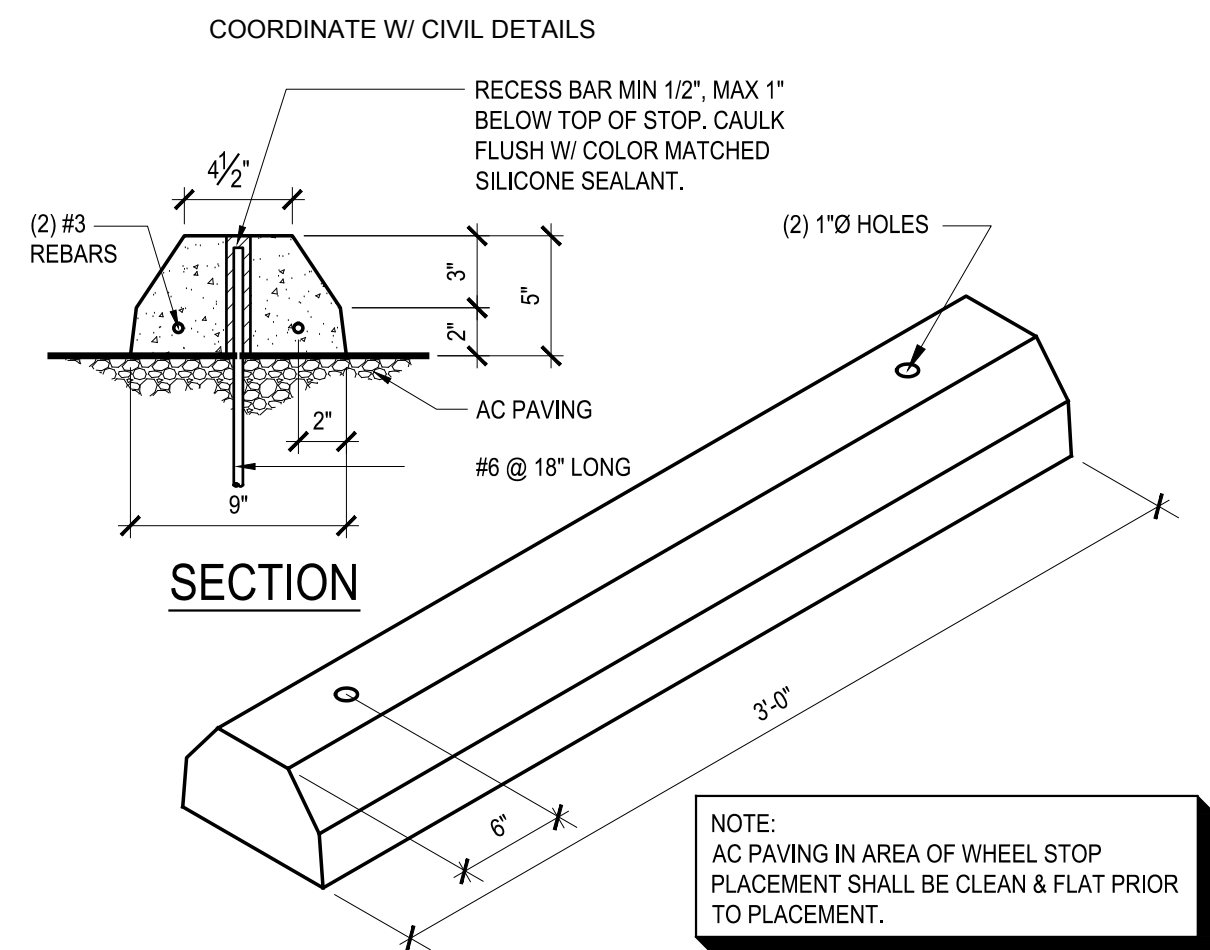


10 TRAFFIC ARROW SCALE: 1 1/2" = 1'-0"

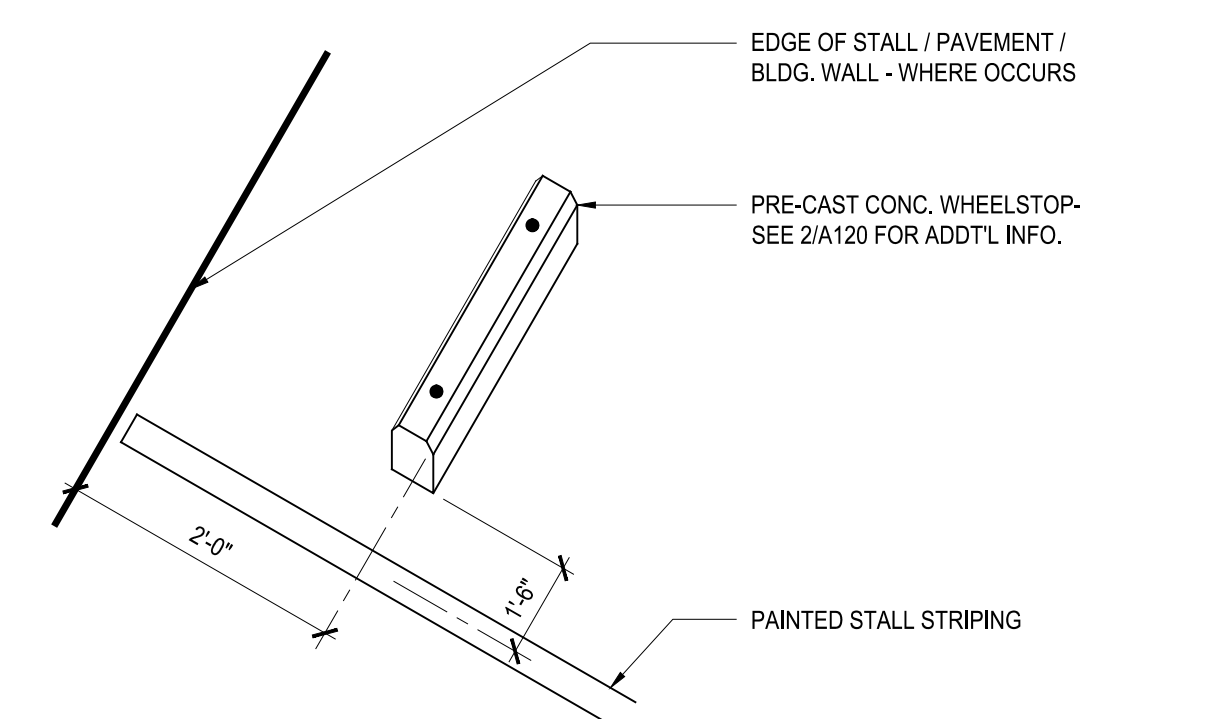


1 ACCESSIBILITY SYMBOL SCALE: N.T.S.

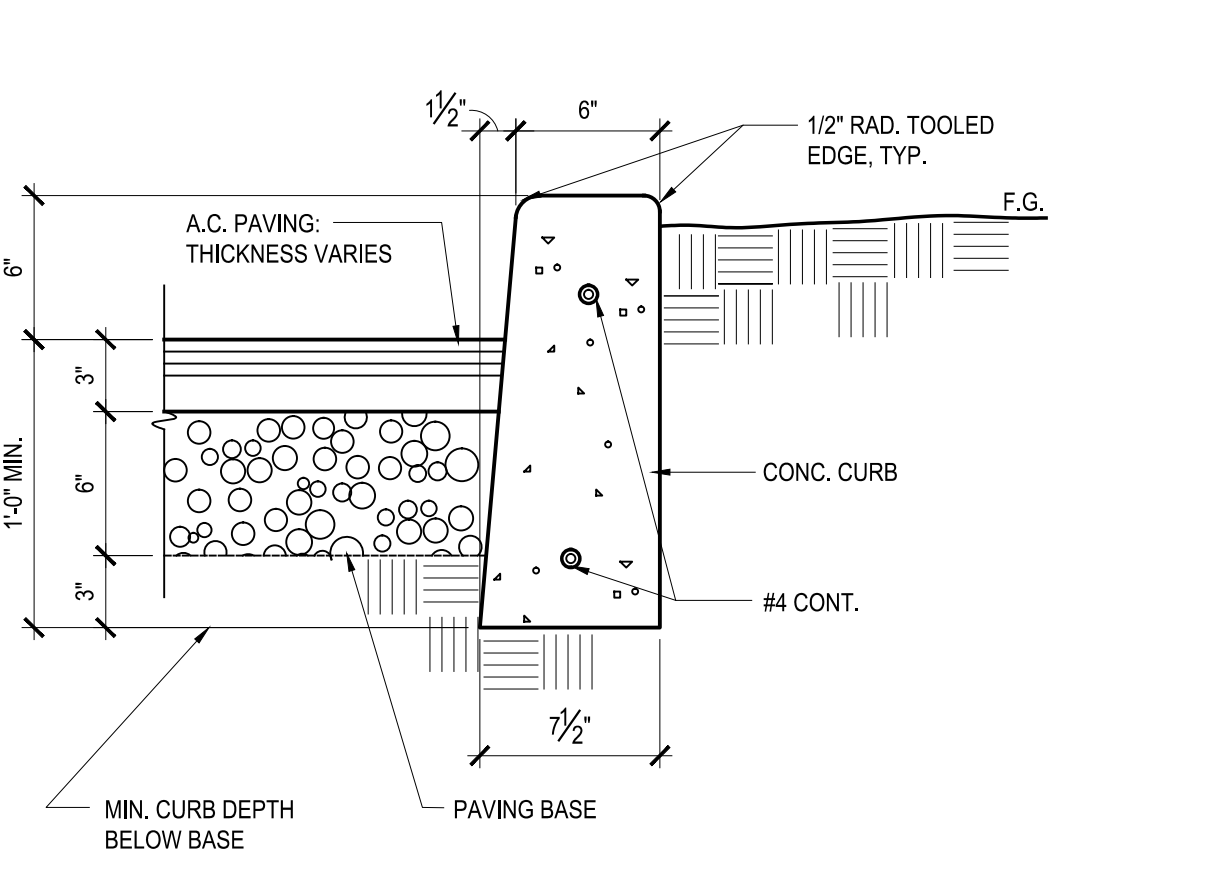
NOTES: 1. MINIMUM 5'x5' DECAL TO BE LOCATED BY PRIMARY ENTRANCE. 2. MINIMUM 36"x36" PAINTED SYMBOL ON PAVEMENT BEYOND ACCESSIBLE PARKING STALL(S). 3. CENTER EMBLEM AT ENTRANCE TO PARKING STALL. 4. EMBLEM MUST BE LOCATED IN STALL SO THAT IT IS VISIBLE BY A TRAFFIC ENFORCEMENT OFFICER WHEN VEHICLE IS PROPERLY PARKED IN STALL. 5. BACKGROUND TO BE BLUE, WHEELCHAIR SYMBOL TO BE WHITE (TYPICAL). 6. USE 2 COATS OF "TRAFFIC LINE" PAINT U.O.N. 7. PAINT COLORS SHALL BE AS REQUIRED BY THE ACCESSIBILITY REGULATIONS.



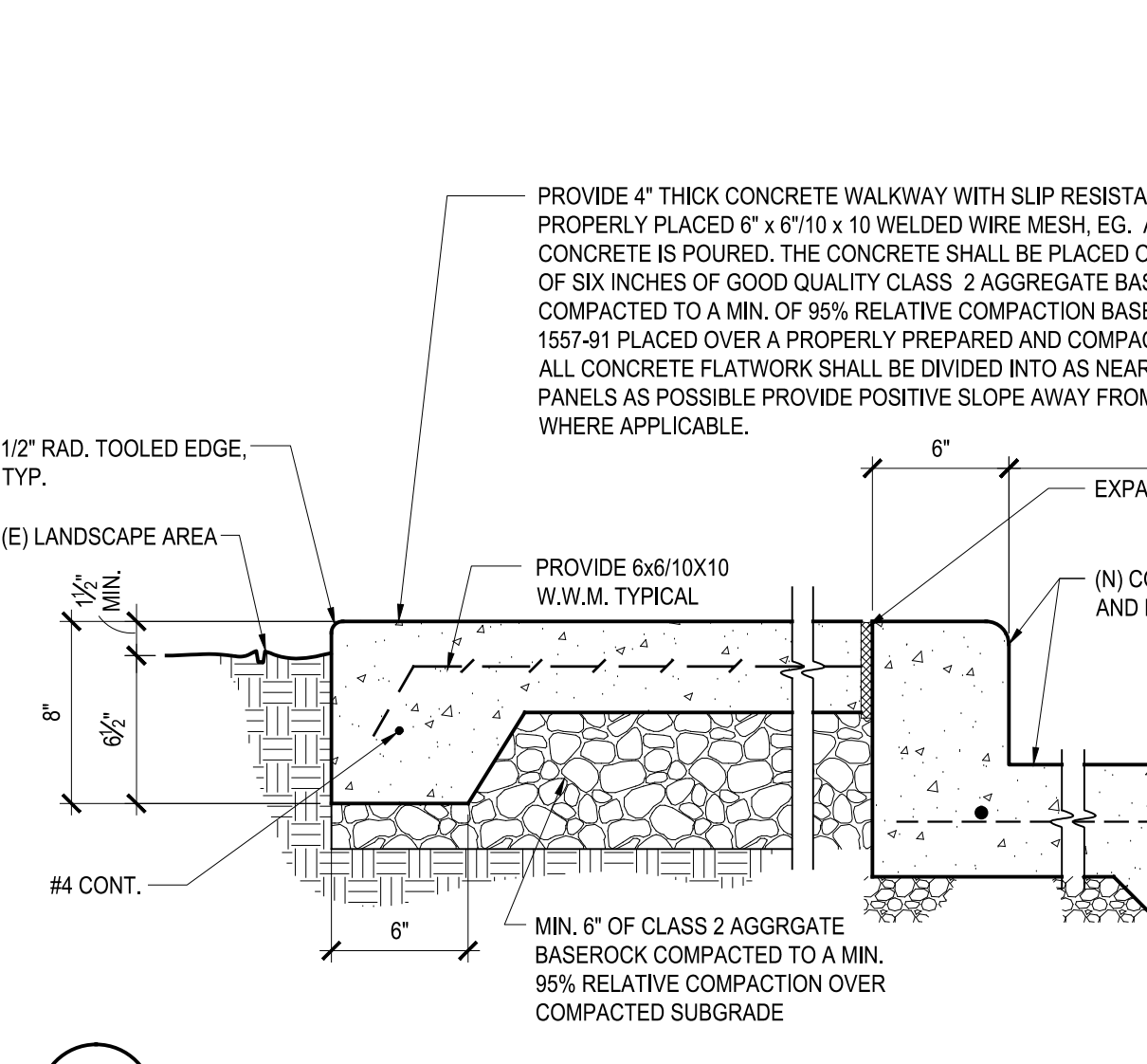
2 PRE-CAST CONCRETE WHEEL STOP SCALE: 1 1/2" = 1'-0"



3 PRE-CAST WHEELSTOP SCALE: N.T.S.



4 CURB AT GRADE SCALE: 1 1/2" = 1'-0"

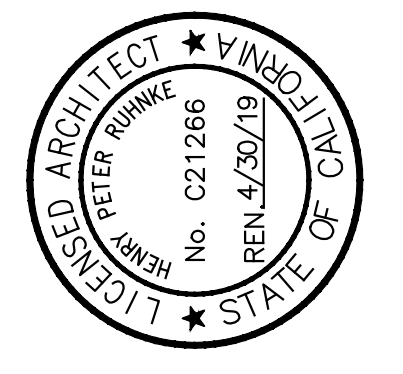


5 CONCRETE WALK @ CURB SCALE: 1 1/2" = 1'-0"

SYMBOL PROPERTIES: 1. MINIMUM 5'x5' DECAL TO BE LOCATED BY PRIMARY ENTRANCE. 2. MINIMUM 36"x36" PAINTED SYMBOL ON PAVEMENT BEYOND ACCESSIBLE PARKING STALL(S). 3. CENTER EMBLEM AT ENTRANCE TO PARKING STALL. 4. EMBLEM MUST BE LOCATED IN STALL SO THAT IT IS VISIBLE BY A TRAFFIC ENFORCEMENT OFFICER WHEN VEHICLE IS PROPERLY PARKED IN STALL. 5. BACKGROUND TO BE BLUE, WHEELCHAIR SYMBOL TO BE WHITE (TYPICAL). 6. USE 2 COATS OF "TRAFFIC LINE" PAINT U.O.N. 7. PAINT COLORS SHALL BE AS REQUIRED BY THE ACCESSIBILITY REGULATIONS.



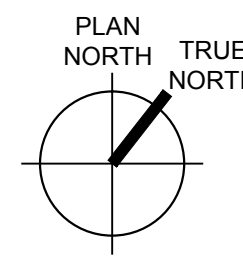
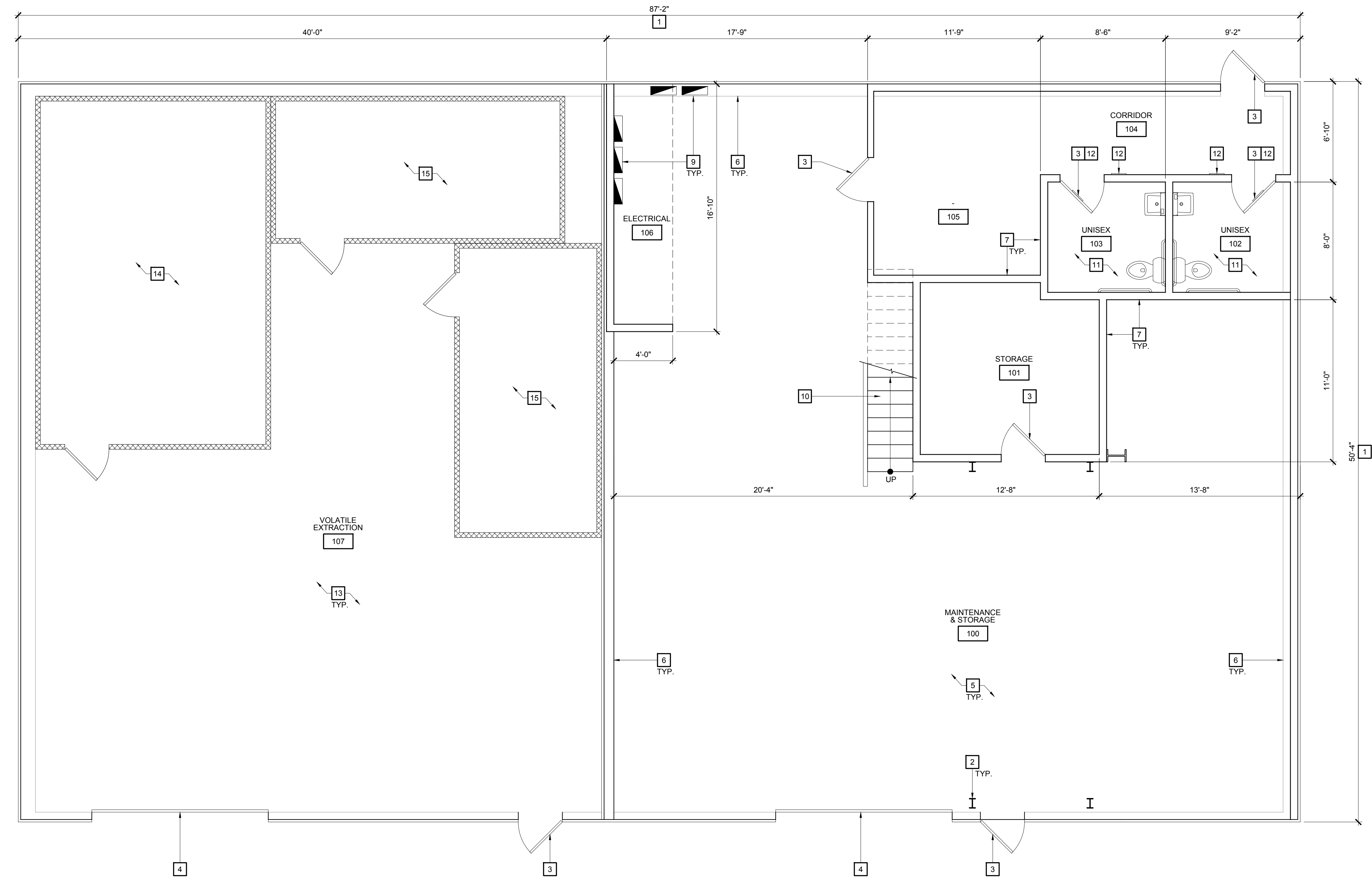
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KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 EXISTING METAL BUILDING.
- 2 EXISTING STRUCTURAL COLUMN.
- 3 EXISTING DOOR TO REMAIN.
- 4 EXISTING ROLL-UP DOOR TO REMAIN.
- 5 EXISTING CONCRETE SLAB FLOOR.
- 6 EXISTING CONCRETE CURB / FOOTING.
- 7 EXISTING WOOD STUD WALL TO REMAIN.
- 8 EXISTING ELECTRICAL ENCLOSURE.
- 9 EXISTING ELECTRICAL PANELS - SEE ELECTRICAL DRAWINGS.
- 10 EXISTING WOOD STAIRWAY AND GUARDRAIL TO REMAIN.
- 11 EXISTING CONFORMING ACCESSIBLE RESTROOM.
- 12 RESTROOM SIGNAGE.
- 13 CONCRETE SLAB FLOOR - SOLVENT EXTRACTION FLOOR.
- 14 NEW 10' x 20' WALK-IN FREEZER.
- 15 NEW 16'W x 24'L x 14'H.T. CIDI PRE-FAB BOOTH.



**BUILDING 'D' - VOLATILE EXTRACTION - MAINTENANCE & STORAGE**  
SCALE: 1/4"=1'-0"

**C QUADRANT, LLC - CANNABIS MANUFACTURING & EXTRACTION FACILITY**

AP.N. 137-021-033-000

C QUADRANT  
20800 SPENCE ROAD  
SALINAS, CA 93908

JOB NO. 18171  
PRINT DATE: 4.16.2019  
DRAWN BY: JTI  
CHECKED BY: KT  
SET ISSUED:

SHEET NAME:  
**BUILDING 'D' LOWER LEVEL FLOOR PLAN**

SHEET NO.:

**A202**

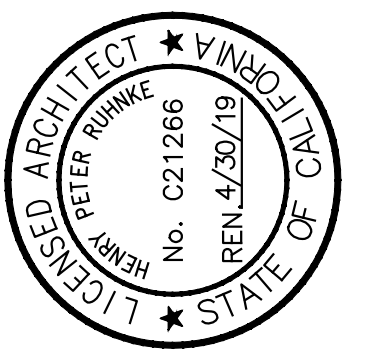
FILE NAME: 18171-A202

**LEGEND**

- (E) WALL TO REMAIN.
- (E) DOOR TO REMAIN.



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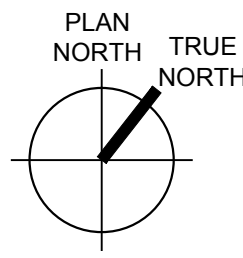
**KEY NOTES**

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- 1 EXISTING METAL BUILDING.
- 2 EXISTING DOOR TO REMAIN.
- 3 EXISTING ROLL-UP DOOR TO REMAIN.
- 4 EXISTING CONCRETE SLAB FLOOR.
- 5 EXISTING CONCRETE STRUCTURAL SUPPORT PILLAR.
- 6 ROLLING FLOWER RACKS, 3 BAYS HIGH.
- 7 NURSERY RACKS, 3 BAYS HIGH.



**CULTIVATION S.F.:**  
 FLOWER: 5,400 S.F.  
 NURSERY: 1,600 S.F.  
 SQUARE FOOTAGES  
 BASED ON 3 STORY  
 HIGH RACKED GROW  
 CONFIGURATION



**BUILDING 'E'  
CULTIVATION FLOOR PLAN**  
SCALE: 1/4"=1'-0"

C QUADRANT, LLC - CANNABIS  
MANUFACTURING & EXTRACTION FACILITY

A.P.N. 137-021-033-000

C QUADRANT  
20800 SPENCE ROAD  
SALINAS, CA 93908

JOB NO. 18171  
 PRINT DATE: 4.16.2019  
 PLOT DATE: 4.16.2019  
 DRAWN BY: JTI  
 CHECKED BY: KT  
 SET ISSUED:

SHEET NAME:  
BUILDING 'E'  
CULTIVATION  
FLOOR PLAN

SHEET NO.:

**A204**

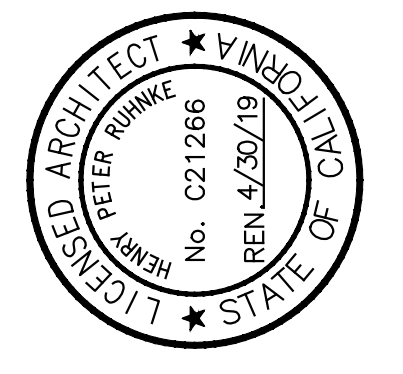
FILE NAME: 18171-A204

**LEGEND**

- (E) WALL TO REMAIN.
- (E) DOOR TO REMAIN.



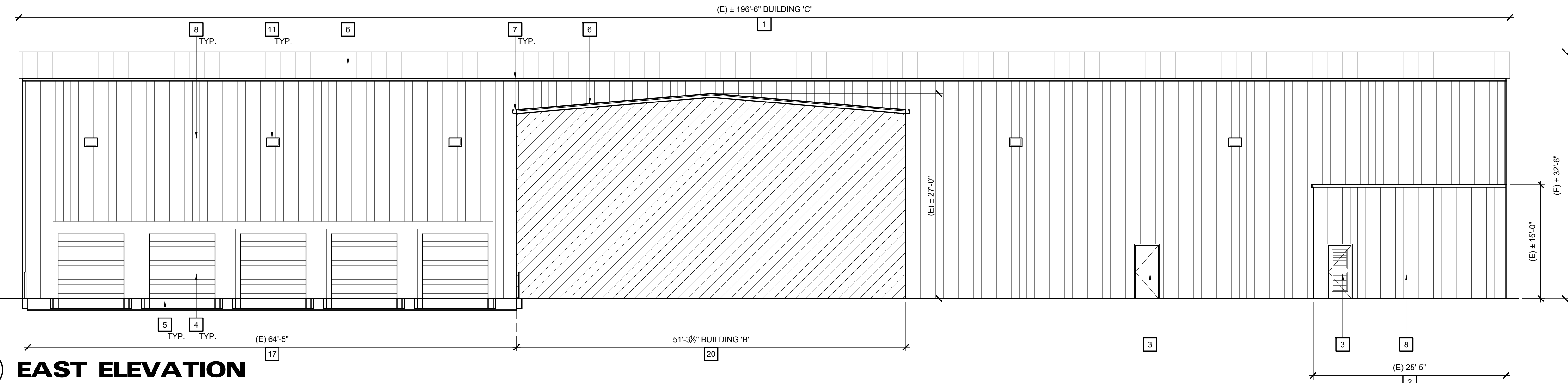
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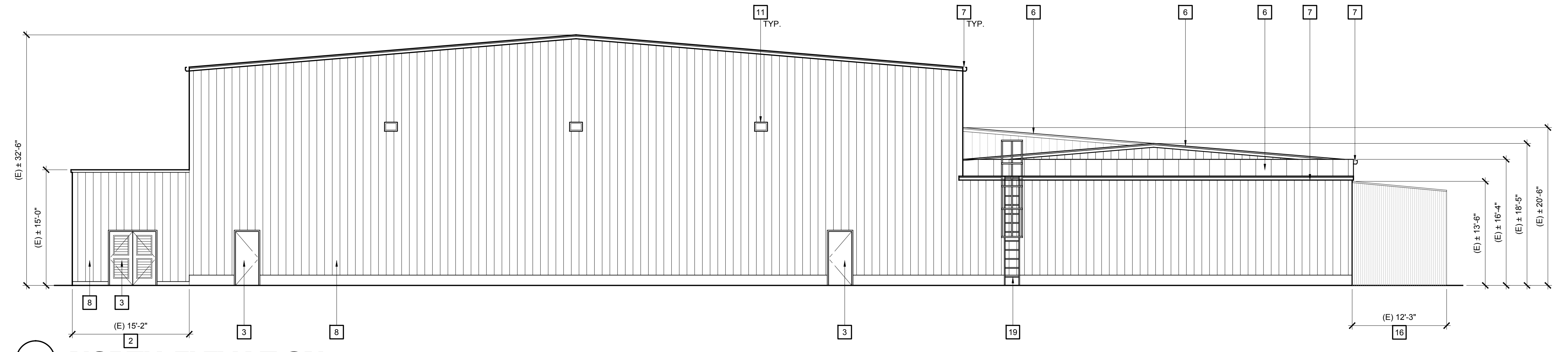
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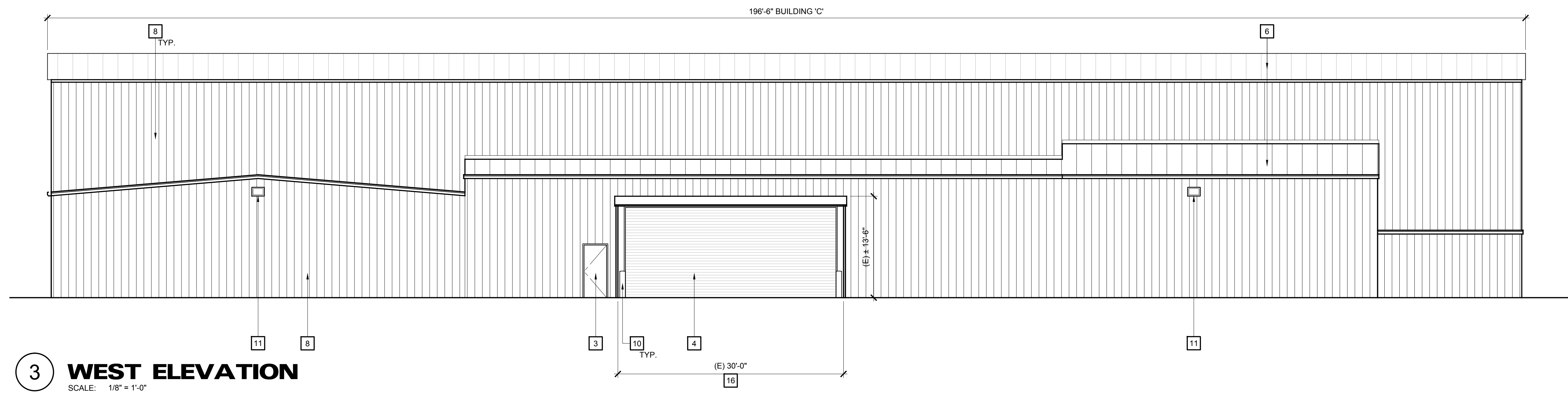
- 1 EXISTING METAL BUILDING(S).
- 2 EXISTING ELECTRICAL ROOM TO REMAIN.
- 3 EXISTING DOOR TO REMAIN.
- 4 EXISTING ROLL-UP DOOR TO REMAIN.
- 5 EXISTING DOCK BUMPER TO REMAIN.
- 6 EXISTING STANDING SEAM METAL ROOF TO REMAIN.
- 7 EXISTING GUTTER TO REMAIN.
- 8 EXISTING METAL SIDING TO REMAIN.
- 9 EXISTING METAL SIDED AWNING.
- 10 EXISTING PIPE BOLLARD TO REMAIN.
- 11 EXISTING LIGHTING - SEE ELECTRICAL DRAWINGS FOR ANY WORK TO OCCUR.
- 12 EXISTING FIRE RISER TO REMAIN.
- 13 EXISTING FIRE SYSTEM CONNECTION TO REMAIN.
- 14 EXISTING FIRE SYSTEM PUMP HOUSE TO REMAIN.
- 15 EXISTING FIRE HOSE BOX.
- 16 EXISTING METAL AWNING AND METAL SIDING.
- 17 EXISTING LOADING DOCK RAMP.
- 18 EXISTING LOADING DOCK GUARDRAILS TO REMAIN.
- 19 EXISTING ROOF ACCESS LADDER TO REMAIN.
- 20 DIAGONALLY HATCHED AREA INDICATES ZONE OF NEW OFFICE BUILDING - UNDER SEPARATE PERMIT.



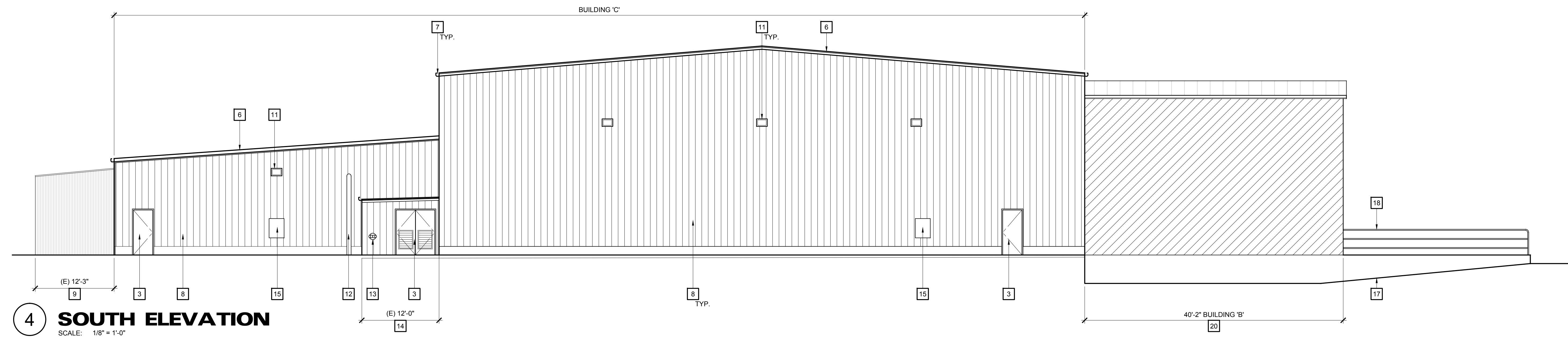
1 **EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



2 **NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



3 **WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



4 **SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

C QUADRANT, LLC - CANNABIS  
MANUFACTURING & EXTRACTION FACILITY

AP.N. 137-021-033-000

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DRAWN BY: JTI  
CHECKED BY: KT  
SET ISSUED:

SHEET NAME:  
**BUILDING 'C'  
EXTERIOR  
ELEVATIONS**

SHEET NO.:

**A400**

FILE NAME: 18171-A400

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