

# Exhibit A

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**EXHIBIT A  
DRAFT RESOLUTION**

**Before the HCD Chief of Planning  
in and for the County of Monterey, State of California**

In the matter of the application of:

**PLN170208 – QLORA GROUP, INC. (BYBERRY HOLDING COMPANY, INC)  
RESOLUTION NO.**

Resolution by the Monterey County HCD Chief of Planning:

- 1) Considering an Addendum together with the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration (IS/MND) and Addendum (HCD-Planning File No. REF150048), per California Environmental Quality Act (CEQA) Guidelines Section 15164; and
- 2) Approving an Administrative Permit allow 283,648 square feet of greenhouses consisting of 209,248 square feet of existing greenhouse and the construction of 74,400 square feet of new greenhouses for commercial cannabis cultivation, processing, nursery, and distribution. The processing, including third-party processing, would occur in an existing 5,043 square foot structure and a separate 1,958 square foot structure would be used for storage and distribution, including third-party distribution. The proposal also includes transportation to support the supply chain. The project also includes upgrades to existing electrical, lighting, and mechanical equipment for cannabis cultivation and other infrastructure upgrades to support on the cannabis operations.

[20180 Spence Road, Salinas, CA 93908, Greater Salinas Area Plan (APN 137-121-006-000)]

**The QLORA Group, Inc (Byberry Holding Company, Inc) application (PLN170208) came on for an administrative hearing before the Monterey County HCD Chief of Planning on September 7, 2022. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County Chief of Planning finds and decides as follows:**

**FINDINGS**

1. **FINDING:** **CONSISTENCY** - The proposed project and/or use, as conditioned and/or mitigated, is consistent with the 2010 Monterey County General Plan, Greater Salinas Area Plan, and the requirements of the Title 21 Zoning Ordinance to include Chapter 21.70 (Administrative Permits),

Chapter 21.67 (Commercial Cannabis Activities), and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) **Conformance Review:** During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in the:
    - 2010 Monterey County General Plan;
    - Greater Salinas Area Plan; and
    - Monterey County Zoning Ordinance (Title 21).
  - b) The project consists of cannabis cultivation within greenhouses on a property that was established with greenhouses before January 1, 2016 and the reconstruction of existing greenhouses and reuse of the property for commercial cannabis operations is consistent with establishment regulations contained in Title 21 Section 21.67.050.B.1.
  - c) The subject property is located at 20180 Spence Road, Salinas (Assessor's Parcel Number 137-121-006-000), Greater Salinas Area Plan. The subject property is located in the "F/40", Farmland Zoning District and allows commercial cannabis operations and its ancillary uses pursuant to Title 21, Section 21.30.040.
  - d) The proposed application requests 283,648 square feet of greenhouses consisting of 209,248 square feet of existing greenhouse and the construction of 74,400 square feet of new greenhouses for commercial cannabis cultivation, processing, nursery, and self-distribution. The processing, including third-party processing, would occur in an existing 5,043 square foot structure and a separate 1,958 square foot structure would be used for storage and distribution, including third-party distribution. The proposal also includes transportation to support the supply chain. The project also includes upgrades to existing electrical, lighting, and mechanical equipment for cannabis cultivation and other infrastructure upgrades to support on the cannabis operations. No conflicts exist within the Monterey County Code (MCC) for this project, pursuant to MCC Chapter 7.90 and 21.67.
  - e) Location: In accordance with Title 21 Section 21.67.050.B.4, and as demonstrated in Finding No. 5, the property is located more than 600-feet from the nearest school, public park, and drug recovery facility.
  - f) Unique Identifiers: In accordance with Title 21 Section 21.67.050.B.5, the Operation Plan describes how the applicant will implement a Unique Identifier program that can track each batch or crop back to its source. Unique identifiers shall be attached to each plant and shall be traceable through the supply chain back to the cultivation site through the METRC track-and-trace system.
  - g) Security Measures: The applicant has provided a security plan for the proposed commercial cannabis operation in accordance with Title 21 Section 21.67.040, Monterey County Code Chapter 7.90, and the Business and Professions Code Section 26070. See Finding No. 2, Evidence "c" below.
  - h) Pesticides and Fertilizers: As stated in the Operation Plan, pesticides and fertilizers will be stored to avoid contamination through erosion, leakage, or inadvertent damage from animals. In addition, pesticide testing will be done to detect trace amounts of chemical pesticides in dried flowers and cannabis concentrates. If test results indicate unsafe

levels of pesticides, operators will dispose of the tested batch in accordance with established waste management procedures.

- i) Water Conservation: In accordance with Title 21, Chapter 67, Section 21.67.050.B.8, water conservation measures will be taken where possible, including controlled watering techniques to prevent irrigation run-off and to increase efficiency.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use as built.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, Monterey County Regional Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
  - b) County staff reviewed all submitted materials and concluded that there are no physical or environmental constraints that would indicate the project property is not suitable for the proposed use and development.
  - c) The project planner conducted a virtual site visit using Google Earth on August 1, 2022 to verify that the site is suitable for the proposed project.
  - d) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File No. PLN170208.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by the HCD-Planning, Monterey County Regional Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Monterey County Health Department has completed the project review and finds the existing septic and water system(s) are appropriately sized and acceptable to serve the demand safely, with the incorporation of conditions of approval.
  - c) Staff conducted a virtual site inspection on August 1, 2022 to verify that the proposed project would not impact public health and safety. Security fencing consists of 6-foot high chain-link fences with barbwire above and green fence weave to protect from public view. Additionally, all hazardous chemicals including fertilizers and pesticides will be stored in designated containers and labeled properly to avoid any environmental detriment on the site.

- d) The application plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File No. PLN170208.

4. **FINDING:** **REQUIRED SETBACKS:** The cultivation will not be located within a 600-foot radius of a school providing instruction in kindergarten or any grades 1 through 12, a childcare center, a youth center, a playground, or a drug recovery facility that is in existence at the time of approval of permits.

- EVIDENCE:**
- a) The cultivation site will be located at 20180 Spence Road, Salinas.
  - b) The nearest schools or kindergarten is over 3 miles south of the subject site.
  - c) The nearest childcare center is approximately 8 miles west of the subject site.
  - d) The nearest playground is approximately 5 miles northwest of the subject site.
  - e) The nearest rehabilitation center is approximately 7 miles north of the subject site.

5. **FINDING:** **STATE AND COUNTY REQUIREMENTS:** The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) Operational Plans including security measures, track and trace programs, monitoring and reporting requirements, packaging and labeling standards, sustainability measures, and other relevant information are proposed to address regulatory requirements contained in Title 21 Section 21.67.050.
  - b) The owner and its licensees and permittees, operating on a site permitted pursuant to MCC section 21.67.050, and with a commercial cannabis permit required pursuant to MCC Chapter 7.90, shall ensure that the total canopy size of cannabis cultivation does not individually exceed the amounts authorized by County permits and state law.

6. **FINDING:** **FEDERAL COMPLIANCE:** The cultivation will provide adequate measures that address the federal enforcement priorities for cannabis activities including restricting access to minors, prohibiting use or possession of firearms for security purposes at the premises, and ensuring that medical cannabis and medical cannabis products are supplied from permitted and licensed sources.

- EVIDENCE:**
- a) Plans and materials contained in file PLN170208 include descriptions of security measures that restrict youth access to the site by implementing security fencing, security guards and electronic round-the-clock electronic surveillance and electronic intrusion detection. Unique identifiers, track and trace systems, and adequate records will be kept providing on-going evidence of non-diversion requirements.
  - b) Background checks of all persons with 10 percent or more interest in the cannabis businesses will be conducted. Any known association

with organized crime may be grounds for denial of business permits and State licenses required to operate the dispensary.

- c) Violations of Federal Enforcement priorities may be grounds for revocation of this permit.

**7. FINDING:**

**QUALITY CONTROL:** Adequate measures are proposed to ensure that cannabis cultivated at the site meets the industry standards.

**EVIDENCE:**

*Section D-2-b, Safety and Quality of Products of The Operations Plan* describes that owners and managers will ensure the regular maintenance of cultivation areas including closed environment, odor control equipment, and the health of all cultivators. *Section D-2-b, Safety and Quality of Products* section of the Operations Plan states that the quality control manager will implement and maintain all plant care activities including but not limited to plant selection, pest management, water application and quality, and equipment maintenance. A minimum 7 years of record keeping and monitoring will be maintained by the *Section D-2-c-1, Record Keeping Procedures - Financing*.

**8. FINDING:**

**CEQA (IS/MND)** – In accordance with CEQA Guidelines Section 15164(d), the HCD Chief of Planning considered the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration and Addendum) prior to approving the project on the Project Site referred to as No. 6 in the documents. The HCD Chief of Planning finds the project does not cause substantial changes to the project and that there are no substantial changes in circumstances or new information of substantial importance that would require major revisions to the adopted Multi-Site Cannabis Initial Study/Mitigated Negative Declaration (IS/MND).

**EVIDENCE:**

- a) The Multi-Site Cannabis IS/MND (State Clearinghouse No. 2020060325, HCD-Planning File No. REF150048), adopted by the Board of Supervisors on November 17, 2020 (Board of Supervisor Resolution No. 20-381), evaluated potential cumulative effects of 45 sites that proposed to cultivate cannabis within existing greenhouses or industrial buildings.
- b) An Addendum to the IS/MND was prepared pursuant to CEQA Guidelines, Article 11, Section 15164. Monterey County HCD-Planning, as the lead agency prepared the Addendum to the previously approved IS/MND to make minor changes to Mitigation Measure TRA-1. The amended language specifies that construction of the intersection improvement is the responsibility of the owner, applicant, and/or cannabis operator(s) instead of the County and that the compliance action would be specified in a binding agreement between the County and the owner, applicant, and/or cannabis operator(s). As amended, the mitigation remains consistent with the requirement to improve the Old State Road/Spence Road intersection, but allows flexibility in who is responsible to construct the improvement and when completion of the improvement will occur. Therefore, the amendment to mitigation measure TRA-1 does not present a substantial change to identified environmental impacts previously discussed and addressed in the ISM/MND. Mitigation Measures TRA-

1 (as amended), TRA-2 and TRA-3 have been incorporated as conditions of approval.

- c) Pursuant to Section 15168(c)(4) of the CEQA Guidelines, there is no new information of substantial importance that was not acknowledged when the IS/MND was adopted. According to CEQA Consistency Checklist for Cannabis Cultivation Facilities (attached to this resolution and incorporated herein by reference), no substantial changes occur with respect to the circumstances under the IS/MND. The proposed project was analyzed and mitigated, as required in the previously identified in the adopted IS/MND and Addendum.
- d) As demonstrated in preceding Evidence “b”, an Addendum has been prepared to make minor changes to Mitigation Measure TRA-1. This change does not constitute a substantial modification that would require major revision to the previously adopted IS/MND. Pursuant to Section 15162 of the CEQA Guidelines, a subsequent or supplemental IS/MND for the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration is not required.
- e) The HCD Chief of Planning considered the Addendum, along with the IS/MND, prepared and adopted for the Multi-Site Cannabis Project (SCH No. 2020060325). The materials upon which the County’s decision is based are located in HCD-Planning, 1441 Schilling Place, 2<sup>nd</sup> Floor, Salinas, CA.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File No. PLN170208.

**9. FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission.

**EVIDENCE:** Section 21.80.040.A of the Monterey County Zoning Ordinance (Planning Commission).

**DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the HCD Chief of Planning does hereby:

- A. Consider an Addendum together with the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration (HCD-Planning File No. REF170315), per CEQA Guidelines Section 15164; and
- B. Approve an Administrative Permit allow 283,648 square feet of greenhouses consisting of 209,248 square feet of existing greenhouse and the construction of 74,400 square feet of new greenhouses for commercial cannabis cultivation, processing, nursery, and distribution. The processing, including third-party processing, would occur in an existing 5,043 square foot structure and a separate 1,958 square foot structure would be used for storage and distribution, including third-party distribution. The proposal also includes transportation to support the supply chain. The project also includes upgrades to existing electrical, lighting, and mechanical equipment for cannabis cultivation and other infrastructure upgrades to support on the cannabis operations.

All of which are in general conformance with the attached plan set (Attachment 2) and subject to the conditions (Attachment 1), both being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 7th day of September 2022.

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Craig Spencer, HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON \_\_\_\_\_

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

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This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

## NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN170208

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** This Administrative Permit (PLN170208) allows 283,648 square feet of greenhouses consisting of 209,248 square feet of existing greenhouse and the construction of 74,400 square feet of new greenhouses for commercial cannabis cultivation, processing, nursery, and distribution. The processing, including third-party processing, would occur in an existing 5,043 square foot structure and a separate 1,958 square foot structure would be used for storage and distribution, including third-party distribution. The proposal also includes transportation to support the supply chain. The project also includes upgrades to existing electrical, lighting, and mechanical equipment for cannabis cultivation and other infrastructure upgrades to support on the cannabis operations. The property is located at 20180 Spence Road, Salinas (Assessor's Parcel Number 137-121-006-000), Greater Salinas Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the HCD Chief of Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"An Administrative Permit (Resolution Number \*\*\*) was approved by the HCD Chief of Planning for Assessor's Parcel Number 137-121-006-000 on September 7, 2022. The permit was granted subject to 10 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(RMA - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.  
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. CALIFORNIA CONSTRUCTION GENERAL PERMIT

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a Stormwater Pollution Prevention Plan (SWPPP) including the Waste Discharger Identification (WDID) number, to HCD-Environmental Services. In lieu of a SWPPP, a letter of exemption or erosivity waiver from the Central Coast Regional Water Quality Control Board may be provided. (HCD-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any grading or construction permits, the applicant shall submit a SWPPP including the WDID number certifying the project is covered under the California Construction General Permit or a letter of exemption from the Central Coast Regional Water Quality Control Board.

#### 5. EHSP01 – WATER SYSTEM CONNECTION (Non-Standard)

**Responsible Department:** Health Department

**Condition/Mitigation Monitoring Measure:** The proposed commercial cannabis facility is in the process of receiving domestic water from Altman Water System #2 and a Shared Well and Easement Agreement has been established to grant sharing of the water.

The facility is currently in the process of installing a domestic water distribution system to connect to Altman Water System #2.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of the Commercial Cannabis Business Permit (CNB), install the water system improvements necessary to complete connection to Altman Water System #2, in accordance with approved plans and obtain a final inspection from Drinking Water Protection Services of the Environmental Health Bureau.

## 6. EHSP02 – CROSS CONNECTION CONTROL PROGRAM (Non-Standard)

**Responsible Department:** Health Department

**Condition/Mitigation Monitoring Measure:** The proposed commercial operation will receive domestic water service from Altman Water System #2. In order to prevent backflow of water utilized for activities related to the commercial cannabis operation into the domestic supply, a cross-connection control survey shall be completed by a qualified professional to identify potential cross-connections and recommend mitigations.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of the Commercial Cannabis Business Permit (CNB), submit to the following information to the Environmental Health Bureau (EHB) for review and acceptance:

A cross-connection control program, prepared by a qualified professional and documentation of program implementation shall be submitted to the Environmental Health Bureau for review and acceptance, which shall include, but not limited to, the following:

- A detailed site plan, specifying any and all equipment that will receive water from or be connected to the domestic water supply; and
- Identification of actual and potential cross-connections and include installation of appropriate backflow prevention assemblies or otherwise ensure that water-using equipment is installed in accordance with plumbing code requirements and good practice.

At the discretion of EHB, additional review and/or monitoring may be required at renewal of CNB.

## 7. PWSP0001 – FRONTAGE IMPROVEMENTS

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Applicant/Owner shall improve the existing roadway connection/pavement to Spence Road.  
Clearing/grading of drainage ditch along the property frontage and culvert under private driveways, as necessary, to provide sufficient flow. Drainage in this area shall be evaluated as part of this proposed project, and, as needed, improvements will be required to maintain drainage and safe access to the project site.

Trim/remove existing trees and vegetation along the property frontage around the driveways and Spence Road. The project will be required to trim or remove the trees and vegetation as necessary, and continue to maintain the vegetation, to provide sight visibility at the driveway and Spence Road.

**Compliance or Monitoring Action to be Performed:** Design and construct driveway/roadway improvements to insure proper drainage. Show all proposed improvements on site plan for Spence Road and private driveway. Improvements are to be completed prior to occupancy or commencement of use. Encroachment permits are required for work done within the county right of way. Applicant is responsible to obtain all permits and environmental clearances

**7. EHSP03 – DEMOLISH OR REPLACE EXISTING ONSITE WASTEWATER TREATMENT SYSTEM (Non-Standard)**

**Responsible Department:** Health Department

**Condition/Mitigation Monitoring Measure:** The existing onsite wastewater treatment system (OWTS) that previously served a mobile home was found to be in failure and shall be demolished/ abandoned or replaced pursuant to the standards found in Monterey County Code (MCC), Chapter 15.20 and the Monterey County Local Agency Management Program (LAMP).

**Compliance or Monitoring Action to be Performed:** Prior to issuance of the Commercial Cannabis Business Permit, the applicant shall complete either of the following:

Submit an OWTS demolition permit application for the existing system for review and acceptance by the Environmental Health Bureau (EHB).

Or

The applicant shall submit documentation that the system will remain in use to serve a designated structure and evidence of completed septic tank repairs, as identified in the Tom's Septic Construction OWTS Performance Evaluation, to the satisfaction of EHB.

**8. PW0045 – COUNTYWIDE TRAFFIC FEE**

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County RMA Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to the Development Services.

## 9. MM TRA-2: TAMC RDIF

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Prior to the issuance or renewal of the commercial cannabis permits, each project applicant shall pay the TAMC RDIF, in the amount specified in Appendix G of the Traffic Impact Study, for the following improvements:

- US 101/Hartnell Road, US 101/Spence Road, US 101/Potter Road: Regional Improvement Project #7 US-101 South County Phase 1 to eliminate the at-grade highway crossings and construct a two-lane frontage road on the east side of US 101 from Harris Road to Chualar where the frontage road will link a new interchange to Harris Road/US 101.
- US 101 between Prunedale Road and Sala Road: US 101 capacity improvements with the City of Salinas.
- US 101 between Sala Road and Boronda Road: US 101 capacity improvements with the City of Salinas.
- US 101 between Boronda Road and Laurel Drive: US 101 capacity improvements with the City of Salinas.

Fees shall be paid in accordance with the square footage of cultivation building areas approved in the Planning entitlements for each site. If approved as part of a phased development, the traffic fee may be paid in increments corresponding to the timing and square footage of cultivation building area approved in each phase of development . Such timing and square footage shall be denoted as a condition of approval for each project proposing a phased cultivation plan. Adjustments to the phasing schedule can be approved by the Chief of Planning

**Compliance or Monitoring Action to be Performed:** Prior to issuance of cannabis permits, the applicant shall pay their fair share TAMC RDIF fee.

## 10. MM TRA-3: CUMULATIVE IMPACT FEES

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Prior to the issuance or renewal of the commercial cannabis permits, each applicant shall pay its fair contribution to the County in the amount specified in Appendix H of the Traffic Impact Study ("Cumulative Impacts Fee"), for the following intersection improvements:

- Boronda Road/N. Main Street: Modify the existing traffic signal equipment to provide for a right-turn overlap signal phase for the SB approach
- Alisal Road/Hartnell Road: Install a traffic signal. Widen the NB approach with single left-turn and single right-turn lanes, EB approach with a single shared through-right lane, and WB approach with single left-turn and single through lanes.
- Alisal Road/Fuji Lane: Widen the NB approach to include single left-turn and single right-turn lanes, the EB approach to include a single shared through-right lane, and the WB approach to include single left-turn and single through lanes.
- Alisal Road/Old Stage Road: Widen the SB approach to include single left-turn and single right-turn lanes, the EB approach to include single left-turn and single through lanes, and the WB approach to include single through and single right-turn lanes.
- Old Stage Road/Spence Road: Install a traffic signal. Widen the NB approach to include single shared left-through and single right lanes, the EB approach to include single left-turn and single shared through-right lanes, and the WB approach to include single left-turn and single shared through-right lanes.
- Old Stage Road/Encinal Road: Install a traffic signal. Widen the NB approach to include single left-turn and single right-turn lanes, the EB approach to include single through and single right-turn lanes, and the WB approach to include single left-turn and single through lanes.
- Old Stage Road/Potter Road: Widen the NB approach to include single left-turn and single right-turn lanes, the EB approach to include a single shared through-right lane, and the WB approach to include single left turn and single through lanes.

Fees shall be paid in accordance with the square footage of cultivation building areas approved in the Planning entitlements for each site. If approved as part of a phased development, the traffic fee may be paid in increments corresponding to the timing and square footage of cultivation building area approved in each phase of development. Such timing and square footage shall be denoted as a condition of approval for each project proposing a phased cultivation plan. Adjustments to the phasing schedule can be approved by the Chief of Planning. To ensure that the improvements are constructed, the County shall either establish intersection improvement funds for each of the aforementioned intersections, or one general transportation improvement fund for all intersection improvements, and deposit each applicant's fair share contribution into said fund(s) as they are collected. When the estimated cost of an improvement is fully funded, the County shall cause the construction of the improvements in accordance with applicable rules and regulations governing the construction of these intersection improvement projects. Should the County elect to create one general transportation improvement fund, improvements shall be prioritized and constructed as deemed appropriate by the County, as not all individual improvements may be fully funded when the improvement is determined to be necessary to construct.

**Compliance or Monitoring Action to be Performed:** Prior to issuance or renewal of commercial cannabis permits, the applicant shall pay their fair contribution of the traffic cumulative impacts fee.



THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT. AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



A.P.N.: 137-121-006-000

**QLORA GROUP, INC.**  
20180 SPENCE ROAD  
SALINAS, CA 93908

JOB NO.: 20014  
PRINT DATE: 8.12.2022  
PLOT DATE: 8.12.2022  
DRAWN BY: BA  
CHECKED BY:  
SET ISSUED:  
Plan Check Response 5/25/22

SHEET NAME: **DEMOLITION SITE PLAN**  
SHEET NO.: **D100**  
FILE NAME: 20014-0100

### KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 EXISTING ELECTRICAL COMPONENTS TO REMAIN.
- 2 EXISTING GREENHOUSE 'F' TO REMAIN.
- 3 EXISTING METAL STRUCTURE GREENHOUSE 'E' TO REMAIN.
- 4 EXISTING 6'-0" HIGH CHAIN LINK FENCE w/ PRIVACY SLATTING AND BARBED WIRE ON TOP.
- 5 PROPERTY LINE.

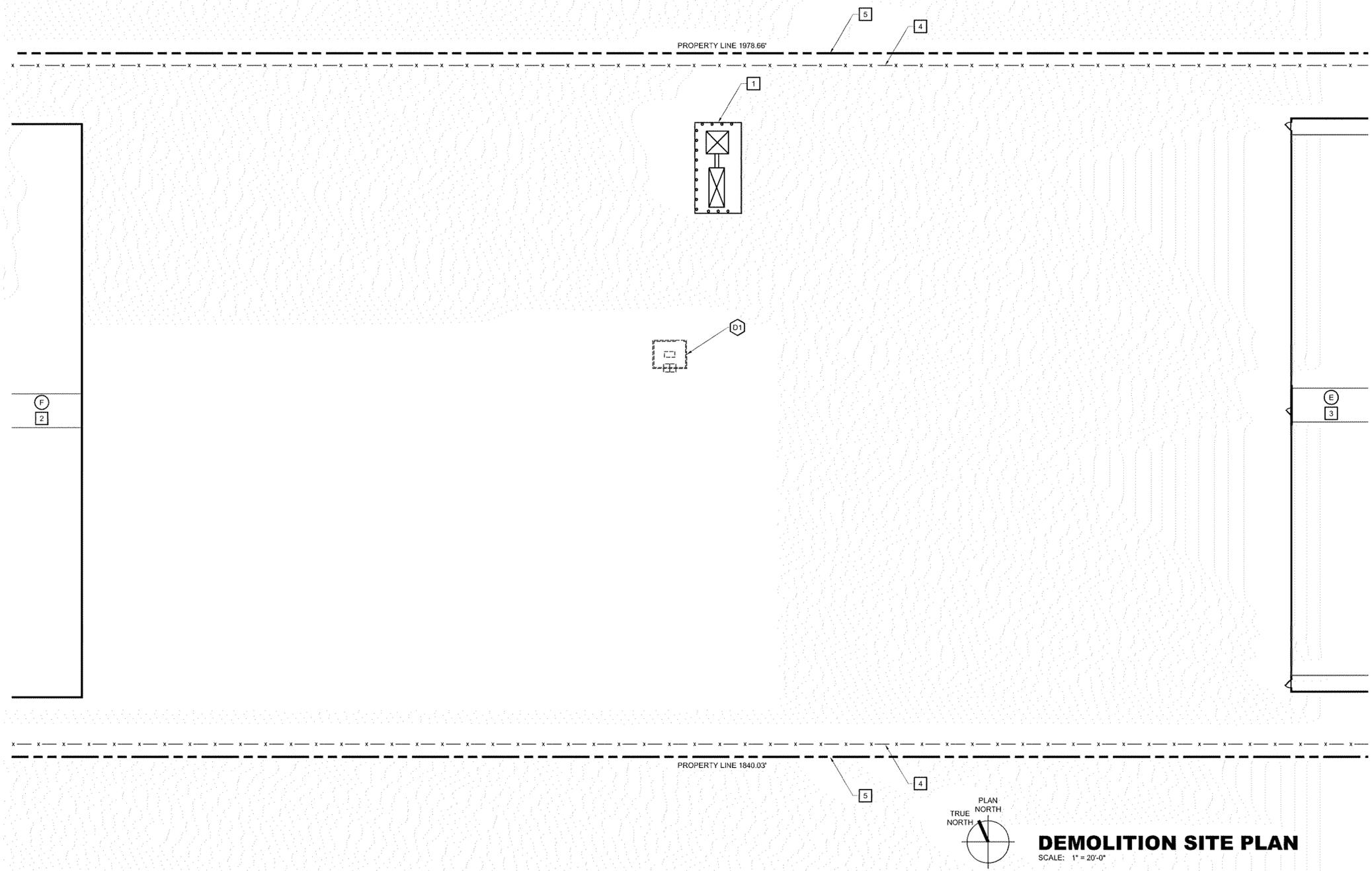
### DEMOLITION NOTES

THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- D1 REMOVE EXISTING METAL SHED AND ALL ELECTRICAL COMPONENTS.

### DEMOLITION GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING. ALL ELEMENTS NOT SHOWN TO REMAIN ARE TO BE DEMOLISHED PER ARCHITECT'S APPROVAL.
2. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO THE ITEMS TO REMAIN.
3. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
4. PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION/CONSTRUCTION AREA. KEEP AREA CLEAN.
5. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
6. THE ELECTRICAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHT AND POWER IN THE SPACE DURING CONSTRUCTION, INCLUDING PROVISIONS FOR EMERGENCY LIGHTING.
7. REMOVE ALL EXISTING CARPET, TILE, VCT AND SHEET VINYL WHERE OCCURS. U.O.N. REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RISES OR DEPRESSIONS IN FLOORING SURFACE, SUCH AS FASTNERS, OUTLET CORES, COVER PLATES, CARPET PADS, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.
8. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
9. REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
10. ALL DOORS, FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT FIXTURES (INCLUDING DOWNLIGHTS & FLUORESCENTS), AND SPECIAL EQUIPMENT TO BE DEMOLISHED EXCEPT AS SPECIFICALLY EXCLUDED BECOMES PROPERTY OF THE CONTRACTOR AND SHOULD BE REMOVED FROM THE PREMISES.
11. GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.
12. PATCH AND REPAIR WALL SURFACES TO REMAIN TO MATCH SCHEDULE FINISHES AFTER COMPLETION OF DEMOLITION WORK AND INSTALLATION OF NEW PARTITIONS AND/OR NEW DOORS AND WINDOWS.
13. AT ALL WALLS TO REMAIN, REFER TO DRAWINGS FOR TREATMENT OF EXISTING SURFACES OTHER THAN PAINT. PATCH AND FILL WALLS, PREP FOR NEW FINISH.
14. CONTRACTOR SHALL LEGALLY DISPOSE OF ANY MATERIAL SCHEDULED FOR DEMOLITION.



### DEMOLITION SITE PLAN

SCALE: 1" = 20'-0"

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A.P.N.: 137-121-006-000

**QLORA GROUP, INC.**  
 20180 SPENCE ROAD  
 SALINAS, CA 93908

JOB NO.: 20014  
 PRINT DATE:  
 PLOT DATE: 8.12.2022  
 DRAWN BY: BA  
 CHECKED BY:  
 SET ISSUED:

Plan Check Response 5/25/22

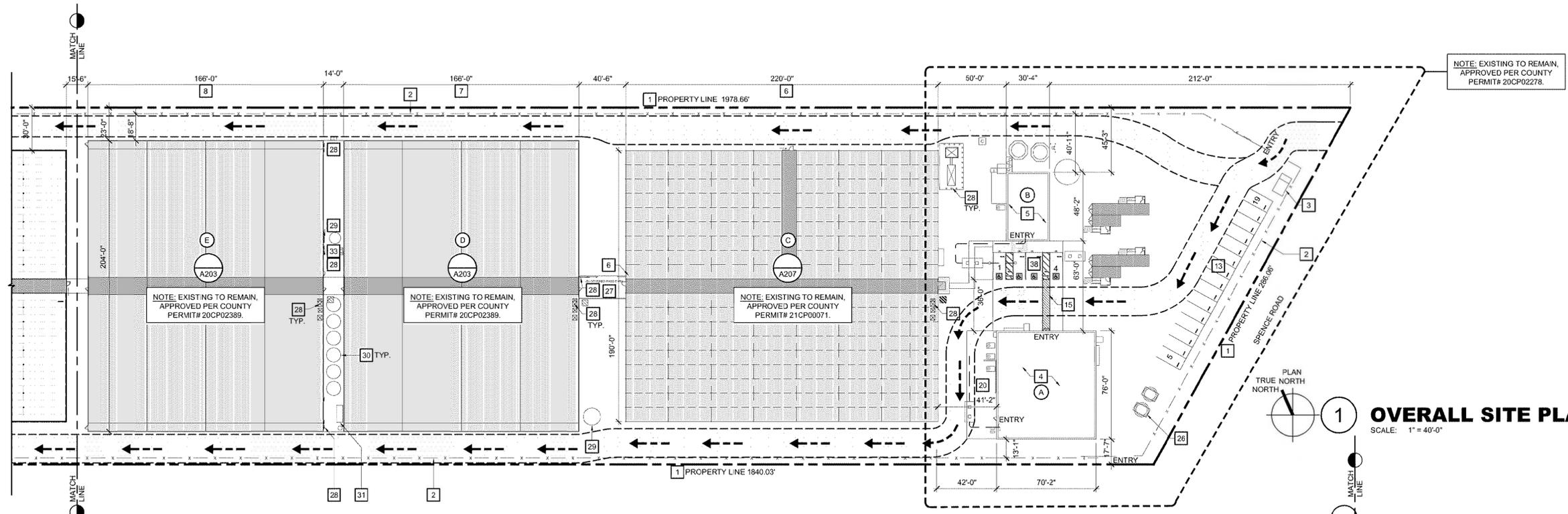
SHEET NAME:

**OVERALL SITE PLAN**

SHEET NO.:

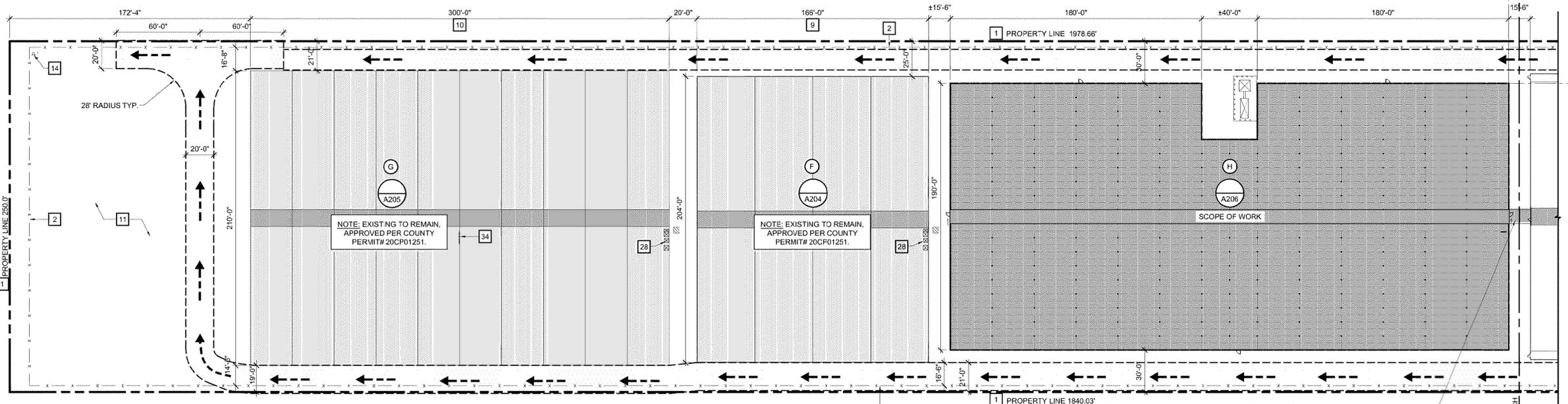
**A100**

FILE NAME: 20014-A100



**1 OVERALL SITE PLAN**

SCALE: 1" = 40'-0"



**2 OVERALL SITE PLAN**

SCALE: 1" = 40'-0"

THE CLEAR WIDTH ACCESSIBLE ROUTES FOR SIDEWALKS AND WALKS TO EXISTING ACCESSIBLE PARKING SHALL BE 48" MIN. FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. CHANGES IN LEVEL OF 1/4" HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL AND WITHOUT EDGE TREATMENT. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48. ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS: WALKING SURFACES WITH A RUNNING SLOPE NOT STEEPER THAN 1:20, DOORWAYS, RAMPS, CURB RAMPS EXCLUDING THE FLARED SIDES, ELEVATORS, AND PLATFORM LIFTS.

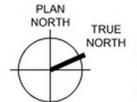
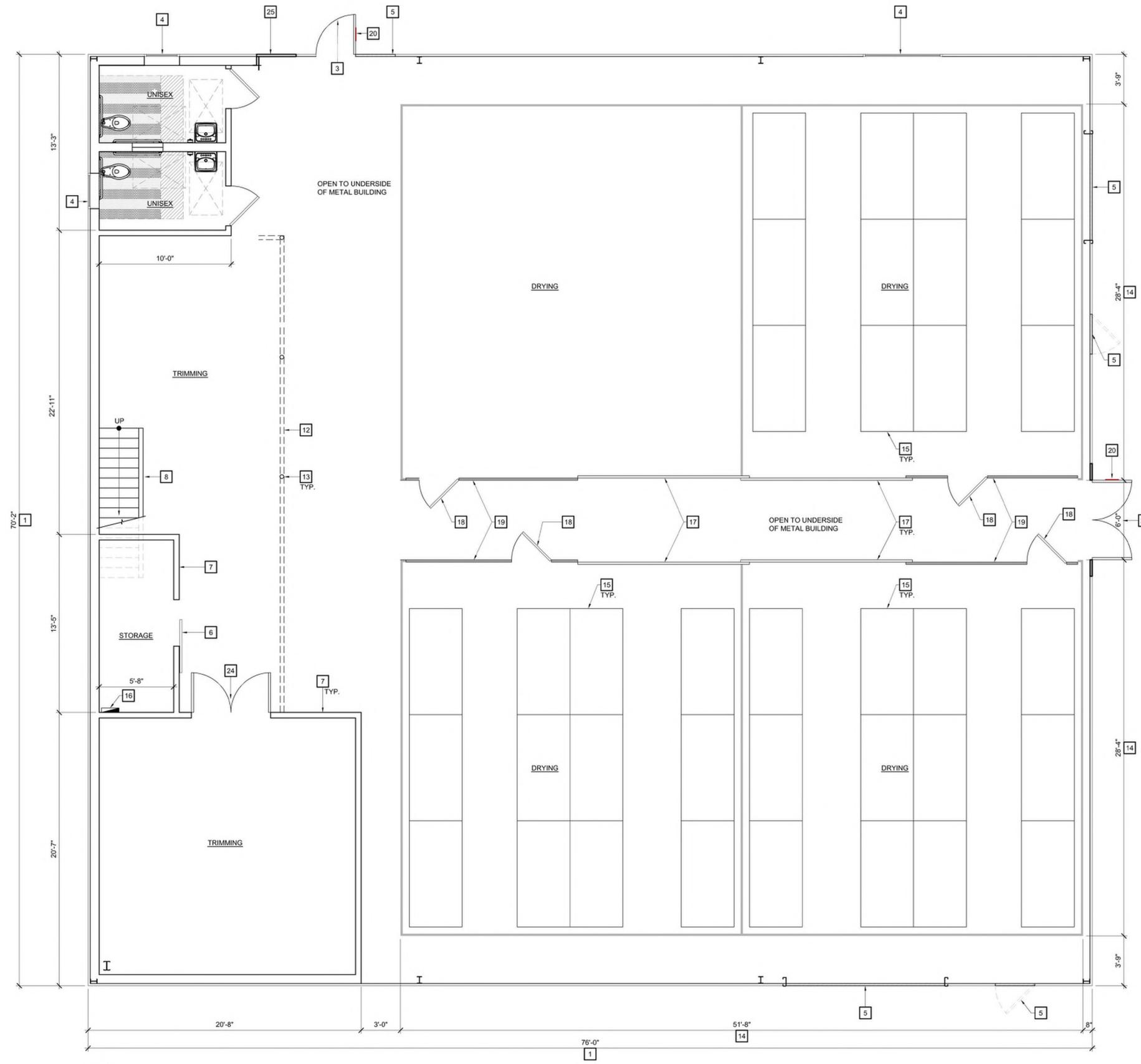
**KEY NOTES**

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- |   |   |   |
|---|---|---|
| 1 (E) PROPERTY LINE.  | 10 (E) GREENHOUSE 'G'.  | 22 NOT USED.  |
| 2 (E) 6'-0" HIGH CHAIN LINK FENCE w/ PRIVACY SLATTING AND BARBED WIRE ON TOP. | 11 OPEN FIELD.  | 23 NOT USED.  |
| 3 (E) GUARD STATION ±112 S.F..  | 12 NOT USED.  | 24 NOT USED.  |
| 4 (E) TWO STORY METAL BUILDING 'A' (PROCESSING, TRIMMING, DRYING, BREAK).     | 13 (E) EMPLOYEE PARKING, PARKING STALLS 9'-0" x 19'-0" TYPICAL. | 25 NOT USED.  |
| 5 (E) TWO STORY METAL BUILDING 'B' (OFFICES AND LAB).                         | 14 FIRE HYDRANT.  | 26 DIESEL FUEL TANK ON PALLET.  |
| 6 (E) METAL STRUCTURE GREENHOUSE 'C'.   | 15 (E) ACCESSIBLE PARKING PATH OF TRAVEL.                       | 27 CONCRETE PAD (COVERED) - EQUIPMENT STORAGE.                        |
| 7 (E) METAL STRUCTURE GREENHOUSE 'D'.   | 16 NOT USED.  | 28 (E) ELECTRICAL (PANELS, TRANSFORMER, SWITCHGEAR).                  |
| 8 (E) METAL STRUCTURE GREENHOUSE 'E'.   | 17 NOT USED.  | 29 WATER STORAGE TANK.  |
| 9 (E) GREENHOUSE 'F'.   | 18 NOT USED.  | 30 (6x) 5'000 GALLON WATER STORAGE TANK (GREENHOUSE WATERING SYSTEM). |
|   | 19 NOT USED.  | 31 FILTRATION SYSTEM.   |
|   | 20 (E) CONCRETE SLAB.   | 32 NOT USED.  |
|   | 21 NOT USED.  | 33 PUMPS ON CONCRETE PAD.   |
|   |   | 34 ELECTRICAL PANEL ON BACK-BOARD AND WOOD POSTS.                     |
|   |   | 35 NOT USED.  |
|   |   | 36 NOT USED.  |
|   |   | 37 NOT USED.  |
|   |   | 38 (E) ACCESSIBLE PARKING APPROVED PER COUNTY PERMIT# 21CP00071.      |

**LEGEND**

- EXISTING GREENHOUSE EXIT DOORS
- BUILDING DESIGNATOR: SEE SHEET A001 BUILDING LEGEND FOR USE.
- NEW 20 FOOT WIDE FIRE TRUCK PATHWAY. THE MATERIAL SHALL BE AN ALL-WEATHER DRIVING SURFACE OF CONCRETE, ASPHALT OR COMPACTED GRAVEL THAT CAN WITHSTAND THE WEIGHT OF APPARATUS WEIGHING 22 TONS. THE PAVING SECTION SHALL BE DESIGNED BY A LICENSED ENGINEER.



**BUILDING 'A'**  
**PROPOSED LOWER FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**KEY NOTES**

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- 1 EXISTING TWO STORY METAL STRUCTURE.
- 2 EXISTING DOOR TO REMAIN.
- 3 NEW DOOR.
- 4 EXISTING WINDOW TO REMAIN.
- 5 PRE-EXISTING OPENING ENCLOSED.
- 6 EXISTING SLIDING DOOR.
- 7 EXISTING WOOD STUD WALL.
- 8 EXISTING STAIRWAY, LANDING AND GUARDRAILS.
- 9 NOT USED.
- 10 NOT USED.
- 11 NOT USED.
- 12 LINE OF MEZZANINE ABOVE.
- 13 PIPE COLUMN - MEZZANINE SUPPORT.
- 14 EXISTING CANNABIS DRYING ENCLOSURE.
- 15 NEW DRYING RACKS 4' x 8'.
- 16 EXISTING ELECTRICAL PANEL.
- 17 NEW 12'-0" x FULL HEIGHT SLIDING BARN-STYLE DOORS TO MOVE PRODUCT IN AND OUT OF DRYING ROOM.
- 18 NEW PERSONNEL 3'-0" x 6'-8" MINIMUM SIZE EGRESS DOOR SHALL BE FRAMED WITHIN THE INSULATED METAL WALL PANEL AND SHALL BE USABLE WHILE THE BARN DOOR IS CLOSED. REFER TO DOOR NOTES AND DETAILS FOR APPLICABLE CODE REQUIREMENTS OF EGRESS DOORS.
- 19 NEW 4" INSULATED METAL WALL PANELS TO ENCLOSE DRYING ROOM - TYP.
- 20 DOOR SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY WITH ADDITIONAL DIRECTIONAL SIGN.
- 21 NOT USED.
- 22 NOT USED.
- 23 NOT USED.
- 24 NEW DOUBLE SWING DOOR.
- 25 NEW WALL.

**GENERAL NOTES**

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
2. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO ITEMS TO REMAIN.
3. CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS/EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
4. CONTRACTOR TO CLEAN AND PROPERLY DISPOSE OF ALL ABANDONED EQUIPMENT AND TRASH/DEBRIS LEFT FROM PREVIOUS TENANT. CONTRACTOR SHALL VERIFY ALL ITEMS FOR DISPOSAL WITH TENANT AND/OR OWNER PRIOR TO STARTING WORK.
5. CONTRACTOR SHALL IMPLEMENT CONSTRUCTION DUST / DEBRIS CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.
6. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
7. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
8. REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
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11. CARE SHALL BE TAKEN BY CONTRACTOR TO MINIMIZE DISRUPTION TO THE TENANT THROUGHOUT DURATION OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO CONSTRUCTION SCHEDULE & HOURS OF CONSTRUCTION WITH FACILITIES MANAGER PRIOR TO WORK.
12. ALL CONDITIONS ARE EXISTING UNLESS NOTED OTHERWISE.

**LEGEND**

- (E) WALL TO REMAIN.
- (E) DOOR TO REMAIN.
- (E) WINDOW TO REMAIN.
- (N) WALL OR INFILL PORTION OF WALL.
- (N) DOOR.



WALD RUHNKE & DOST  
 ARCHITECTS LLP  
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A.P.N.: 137-121-006-000

**QLORA GROUP, INC.**  
**20180 SPENCE ROAD**  
 QLORA GROUP, INC.  
 20180 SPENCE ROAD  
 SALINAS, CA 93908

JOB NO.:  
**20014**  
 PRINT DATE:  
 PLOT DATE: 8.12.2022  
 DRAWN BY: C.J.  
 CHECKED BY: KT  
 SET ISSUED:

Plan Check Response 5/25/22

SHEET NAME:  
**BUILDING 'A'**  
**PROPOSED**  
**LOWER FLOOR**  
 SHEET NO.:

**A200**

FILE NAME: 20014-0200



A.P.N.: 137-121-006-000

**QLORA GROUP, INC.**  
20180 SPENCE ROAD  
SALINAS, CA 93908

JOB NO.:  
**20014**  
PRINT DATE:  
PLOT DATE: 8.12.2022  
DRAWN BY: JTI  
CHECKED BY: KT  
SET ISSUED:

Plan Check Response 5/25/22

SHEET NAME:  
**BLDG 'A'  
PROPOSED UPPER  
FLOOR PLAN**

SHEET NO.:

**A201**

### KEY NOTES

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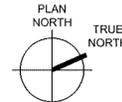
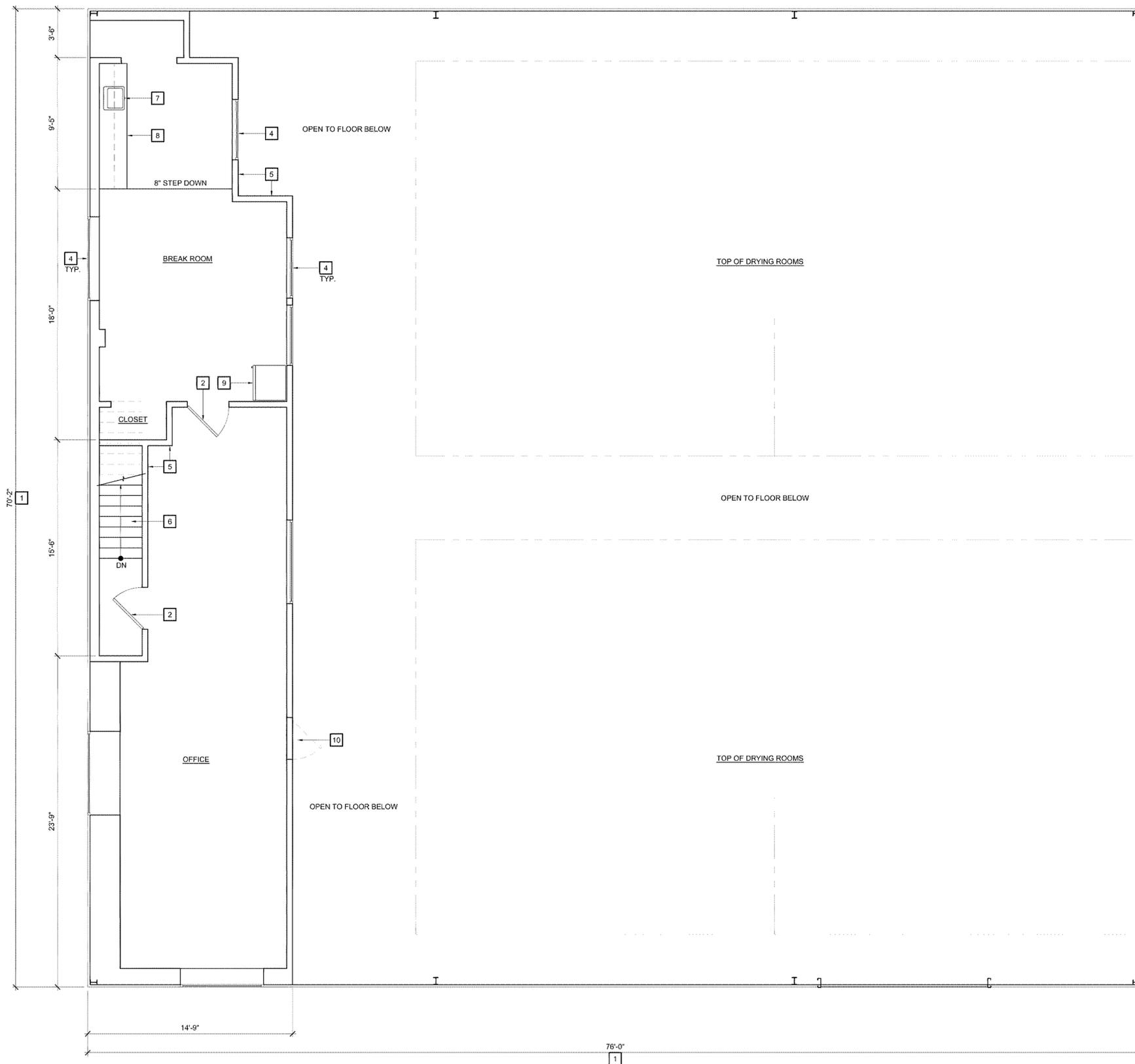
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- 2 EXISTING DOOR TO REMAIN.
- 3 EXISTING ROLL-UP DOOR TO REMAIN.
- 4 EXISTING WINDOW TO REMAIN.
- 5 EXISTING WOOD STUD WALL.
- 6 EXISTING STAIRWAY, LANDING AND HANDRAILS.
- 7 EXISTING SINK.
- 8 EXISTING CASEWORK.
- 9 EXISTING REFRIGERATOR.
- 10 PRE- EXISTING OPENING ENCLOSED.
- 11 NEW WALL MATCHING EXISTING , TO CLOSE UP OPENING AFTER REMOVING ROLL UP DOOR .

### GENERAL NOTES

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### LEGEND

- (E) WALL TO REMAIN.
- (E) DOOR TO REMAIN.
- (E) WINDOW TO REMAIN.



**BUILDING 'A'  
PROPOSED UPPER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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A.P.N.: 137-121-006-000

**QLORA GROUP, INC.**  
20180 SPENCE ROAD  
SALINAS, CA 93908

JOB NO.:  
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PLOT DATE: 8.12.2022  
DRAWN BY: JTI  
CHECKED BY: KT  
SET ISSUED:

Plan Check  
Response 5/25/22

SHEET NAME:  
**BLDG 'B' FIRST & SECOND FLOOR PROPOSED PLAN**  
SHEET NO.:

**A202**  
FILE NAME: 20014-0202

### KEY NOTES

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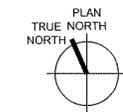
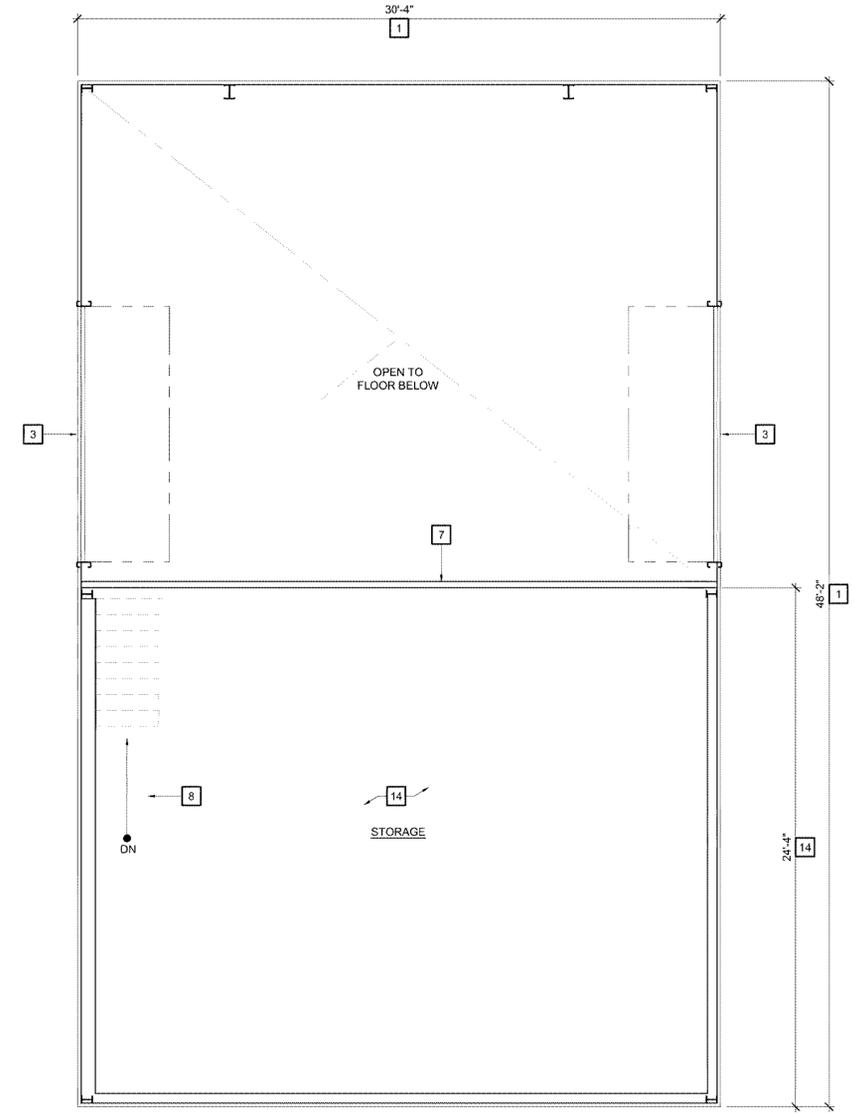
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- 5 PRE-EXISTING OPENING ENCLOSED.
- 6 NEW DOORS.
- 7 EXISTING WOOD STUD WALL.
- 8 EXISTING STAIRWAY, LANDING AND GUARDRAILS.
- 9 NEW DOUBLE SWING DOOR.
- 10 RAILING UNDER STAIRS, WHEN HEAD HEIGHT IS LESS THAN 80".
- 11 LINE OF SECOND FLOOR ABOVE.
- 12 (E) PIPE COLUMN - SECOND FLOOR SUPPORT.
- 13 EXISTING ELECTRICAL PANEL.
- 14 STORAGE SECOND FLOOR ABOVE: WOOD DECK AND GUARDRAILS.
- 15 DOOR SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- 16 NEW WALL FRAMING & FINISH TO MATCH EXISTING.
- 17 NEW WALL MATCHING EXISTING TO CLOSE UP OPENING AFTER REMOVING EXISTING WINDOW.

### GENERAL NOTES

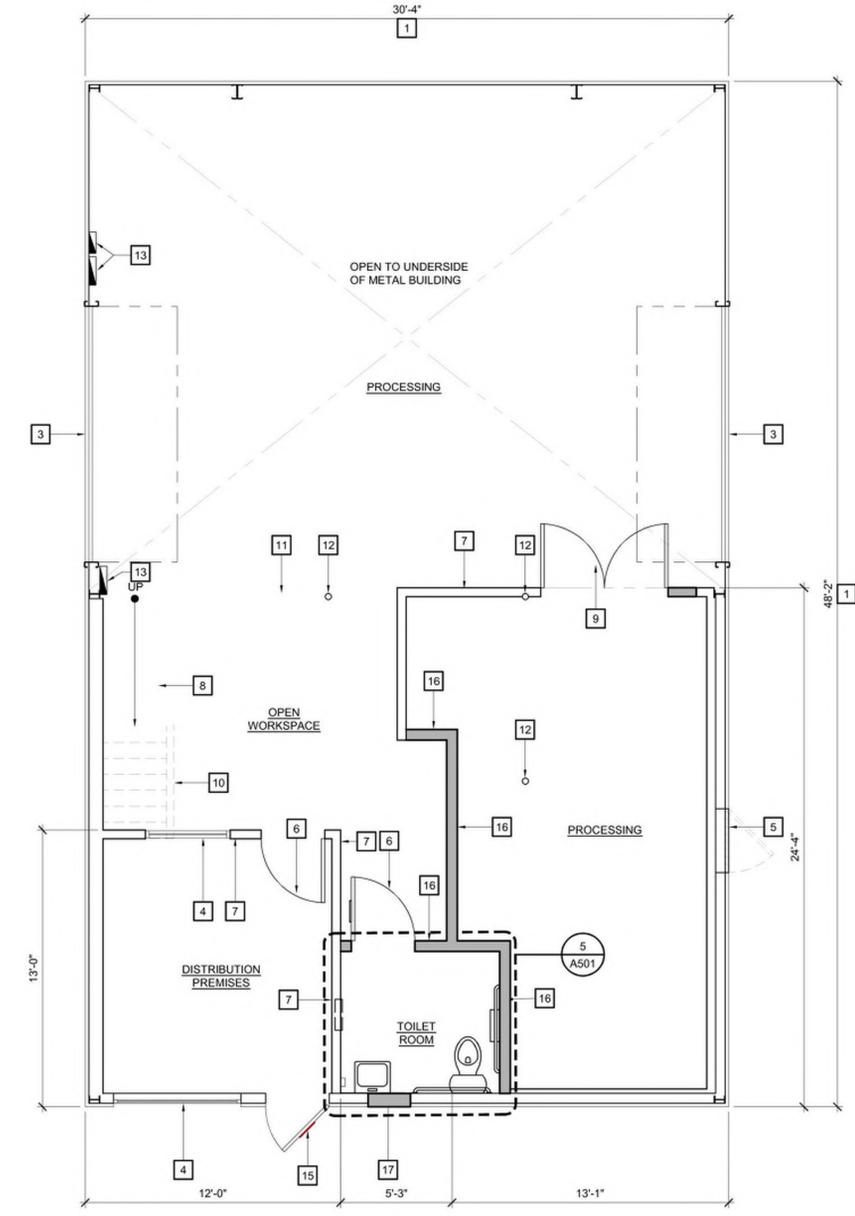
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### LEGEND

- (E) WALL TO REMAIN.
- (E) DOOR TO REMAIN.
- (E) WINDOW TO REMAIN.
- (N) WALL OR INFILL PORTION OF WALL.
- (N) DOOR.



**BUILDING 'B' PROPOSED SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**BUILDING 'B' PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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### KEY NOTES

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- 1 (E) 3'-0" X 7'-0" SWINGING EGRESS DOOR, FRAMED WITHIN SLIDING DOOR.
- 2 (E) SLIDING DOOR TO REMAIN.
- 3 (E) EXTERIOR WALL OF GREENHOUSE.
- 4 (N) 3'-0" X 7'-0" SWINGING EGRESS DOOR. SEE A901/7.
- 5 (N) INTERNALLY ILLUMINATED EXIT SIGN. FINAL LOCATIONS TO BE DETERMINED BY FIRE MARSHALL.
- 6 (N) ACCESS ASILE. KEEP CLEAR FOR EGRESS.
- 7 (N) WALL MOUNTED FIRE EXTINGUISHER TYPE 2A-10BC TO MEET NFPA 10 MIN. STANDARD. ONE FIRE EXTINGUISHER PER 3,000 S.F. OR FRACTION THEREOF. MAX TRAVEL DISTANCE FROM ANY SPOT WITHIN THE SUITE TO EXTINGUISHER SHALL NOT EXCEED 75 FEET. MOUNT EXTINGUISHER AT ACCESSIBLE HEIGHT. REFER TO LEGEND FOR SYMBOL.
- 8 A MIN. 5% GRADE SLOPE AWAY FROM THE FOUNDATION IS REQUIRED FOR A MIN. OF 6" OF FALL WITHIN THE FIRST 10'-0" MEASURED PERPENDICULAR TO THE FACE OF THE WALL.
- 9 (E) 3'-0" X 7'-0" SWINGING EGRESS DOOR TO REMAIN.
- 10 (E) (6x) 5'000 GALLON WATER STORAGE TANK (GREENHOUSE WATERING SYSTEM).
- 11 (E) FILTRATION SYSTEM.
- 12 (E) ELECTRICAL PANELS.
- 13 TRANSFORMER AND DISTRIBUTION SWITCHBOARDS-FOR MORE DETAILS REFER TO ELECTRICAL PLANS.

### LEGEND

- (E) WALL TO REMAIN.
- (E) DOOR TO REMAIN.
- (N) DOOR.
- (E) WALL TO BE REMOVED.
- GREENHOUSE EXIT DOORS
- WALL AND/OR CEILING MOUNTED ILLUMINATED EXIT SIGN.
- FIRE EXTINGUISHER W/ MOUNTING BRACKET
- ACTUAL ALLOWED PATH OF EGRESS TRAVEL

### DEMOLITION NOTES

THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- D1 REMOVE WALL, OR PORTION OF WALL, TO ACCOMMODATE NEW WORK.

### BUILDING OCCUPANCY CALCULATIONS

**GREENHOUSE D:**  
EGRESS DOOR REQUIREMENTS:  
33,864 / 15,000 = 2.26 (3) EGRESS DOOR REQUIREMENTS PER APPENDIX "C" C104.1 EXCEPTION 2

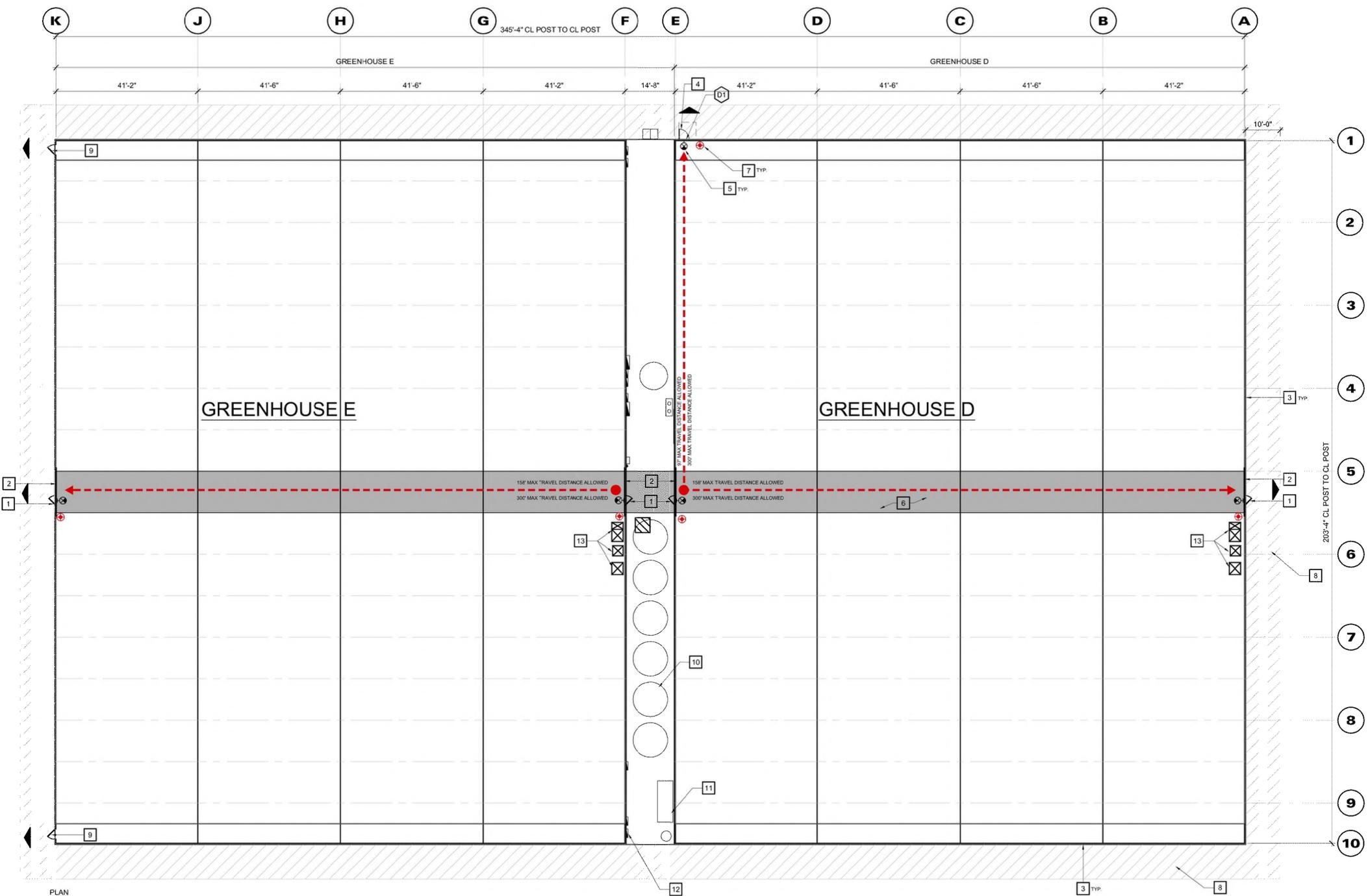
OCCUPANT LOAD:  
33,864 S.F. / 500 = 67.73 OCCUPANTS

MAXIMUM TRAVEL DISTANCE:  
300'-0" MAX. PER APPENDIX "C" C104.1 EXCEPTION 1

**GREENHOUSE E:**  
EGRESS DOOR REQUIREMENTS:  
36,720 / 15,000 = 2.45 (3) EGRESS DOOR REQUIREMENTS PER APPENDIX "C" C104.1 EXCEPTION 2

OCCUPANT LOAD:  
36,720 S.F. / 500 = 73.44 OCCUPANTS

MAXIMUM TRAVEL DISTANCE:  
300'-0" MAX. PER APPENDIX "C" C104.1 EXCEPTION 1



PLAN TRUE NORTH  
**GREENHOUSES 'D' & 'E' EGRESS & FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

### GENERAL NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
- 2. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO ITEMS TO REMAIN.
- 3. CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS/EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
- 4. CONTRACTOR TO CLEAN AND PROPERLY DISPOSE OF ALL ABANDONED EQUIPMENT AND TRASH/DEBRIS LEFT FROM PREVIOUS TENANT. CONTRACTOR SHALL VERIFY ALL ITEMS FOR DISPOSAL WITH TENANT AND/OR OWNER PRIOR TO STARTING WORK.
- 5. CONTRACTOR SHALL IMPLEMENT CONSTRUCTION DUST / DEBRIS CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.
- 6. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
- 7. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 8. REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
- 9. GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.
- 10. CONTRACTOR TO ENSURE THAT EXISTING UTILITIES (GAS, ELECTRIC OR PHONE, ETC.), ACCESS FOR TENANT & CUSTOMER USE, MECHANICAL VENTILATION, HEATING AND/OR COOLING SYSTEMS, PROVIDED TO ALL TENANTS IN THE EXISTING BUILDINGS WHERE WORK WILL OCCUR (AS WELL AS IN BUILDINGS WHERE WORK WILL NOT OCCUR).
- 11. CARE SHALL BE TAKEN BY CONTRACTOR TO MINIMIZE DISRUPTION TO THE TENANT THROUGHOUT DURATION OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO CONSTRUCTION SCHEDULE & HOURS OF CONSTRUCTION WITH FACILITIES MANAGER PRIOR TO WORK.
- 12. ALL CONDITIONS ARE EXISTING UNLESS NOTED OTHERWISE.

### DEMOLITION GENERAL NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING. ALL ELEMENTS NOT SHOWN TO REMAIN ARE TO BE DEMOLISHED PER ARCHITECT'S APPROVAL.
- 2. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO THE ITEMS TO REMAIN.
- 3. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
- 4. PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION/CONSTRUCTION AREA. KEEP AREA CLEAN.
- 5. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
- 6. THE ELECTRICAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHT AND POWER IN THE SPACE DURING CONSTRUCTION, INCLUDING PROVISIONS FOR EMERGENCY LIGHTING.
- 7. REMOVE ALL EXISTING CARPET, TILE, VCT AND SHEET VINYL WHERE OCCURS, U.O.N. REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RISES OR DEPRESSIONS IN FLOORING SURFACE, SUCH AS FASTENERS, OUTLET CORES, COVER PLATES, CARPET PADS, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.
- 8. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 9. REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
- 10. ALL DOORS, FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT FIXTURES (INCLUDING DOWNLIGHTS & FLUORESCENTS), AND SPECIAL EQUIPMENT TO BE DEMOLISHED EXCEPT AS SPECIFICALLY EXCLUDED BECOMES PROPERTY OF THE CONTRACTOR AND SHOULD BE REMOVED FROM THE PREMISES.
- 11. GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.
- 12. PATCH AND REPAIR WALL SURFACES TO REMAIN TO MATCH SCHEDULE FINISHES AFTER COMPLETION OF DEMOLITION WORK AND INSTALLATION OF NEW PARTITIONS AND/OR NEW DOORS AND WINDOWS.
- 13. AT ALL WALLS TO REMAIN, REFER TO DRAWINGS FOR TREATMENT OF EXISTING SURFACES OTHER THAN PAINT. PATCH AND FILL WALLS. PREP FOR NEW FINISH.
- 14. CONTRACTOR SHALL LEGALLY DISPOSE OF ANY MATERIAL SCHEDULED FOR DEMOLITION.

SHEET NAME:  
**FLOOR PLAN GREENHOUSE 'D' & 'E'**  
SHEET NO.:

**A203**





**KEY NOTES**

- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- NOT USED.
  - (E) EXTERIOR WALL OF GREENHOUSE.
  - (N) 3'-0" X 7'-0" SWINGING EGRESS DOOR. SEE A901/7.
  - (N) INTERNALLY ILLUMINATED EXIT SIGN. FINAL LOCATIONS TO BE DETERMINED BY FIRE MARSHALL.
  - (N) ACCESS ASILE. KEEP CLEAR FOR EGRESS.
  - (N) WALL MOUNTED FIRE EXTINGUISHER TYPE 2A-10BC TO MEET NFPA 10 MIN. STANDARD. ONE FIRE EXTINGUISHER PER 3,000 S.F. OR FRACTION THEREOF. MAX TRAVEL DISTANCE FROM ANY SPOT WITHIN THE SUITE TO EXTINGUISHER SHALL NOT EXCEED 75 FEET. MOUNT EXTINGUISHER AT ACCESSIBLE HEIGHT. REFER TO LEGEND FOR SYMBOL.
  - A MIN. 5% GRADE SLOPE AWAY FROM THE FOUNDATION IS REQUIRED FOR A MIN. OF 6" OF FALL WITHIN THE FIRST 10'-0" MEASURED PERPENDICULAR TO THE FACE OF THE WALL.
- (N) 12'-0" X 8'-0" SLIDING BARN-STYLE DOORS TO MOVE PRODUCT IN AND OUT OF THE GREENHOUSE. A 3'-0" X 6'-8" MINIMUM SIZE EGRESS DOOR SHALL BE FRAMED WITHIN THE BARN DOOR AND SHALL BE USABLE WHILE THE BARN DOOR IS CLOSED. REFER TO DOOR NOTES AND DETAILS FOR APPLICABLE CODE REQUIREMENTS OF EGRESS DOORS.
- TRANSFORMER AND DISTRIBUTION SWITCHBOARDS-FOR MORE DETAILS REFER TO ELECTRICAL PLANS.

**LEGEND**

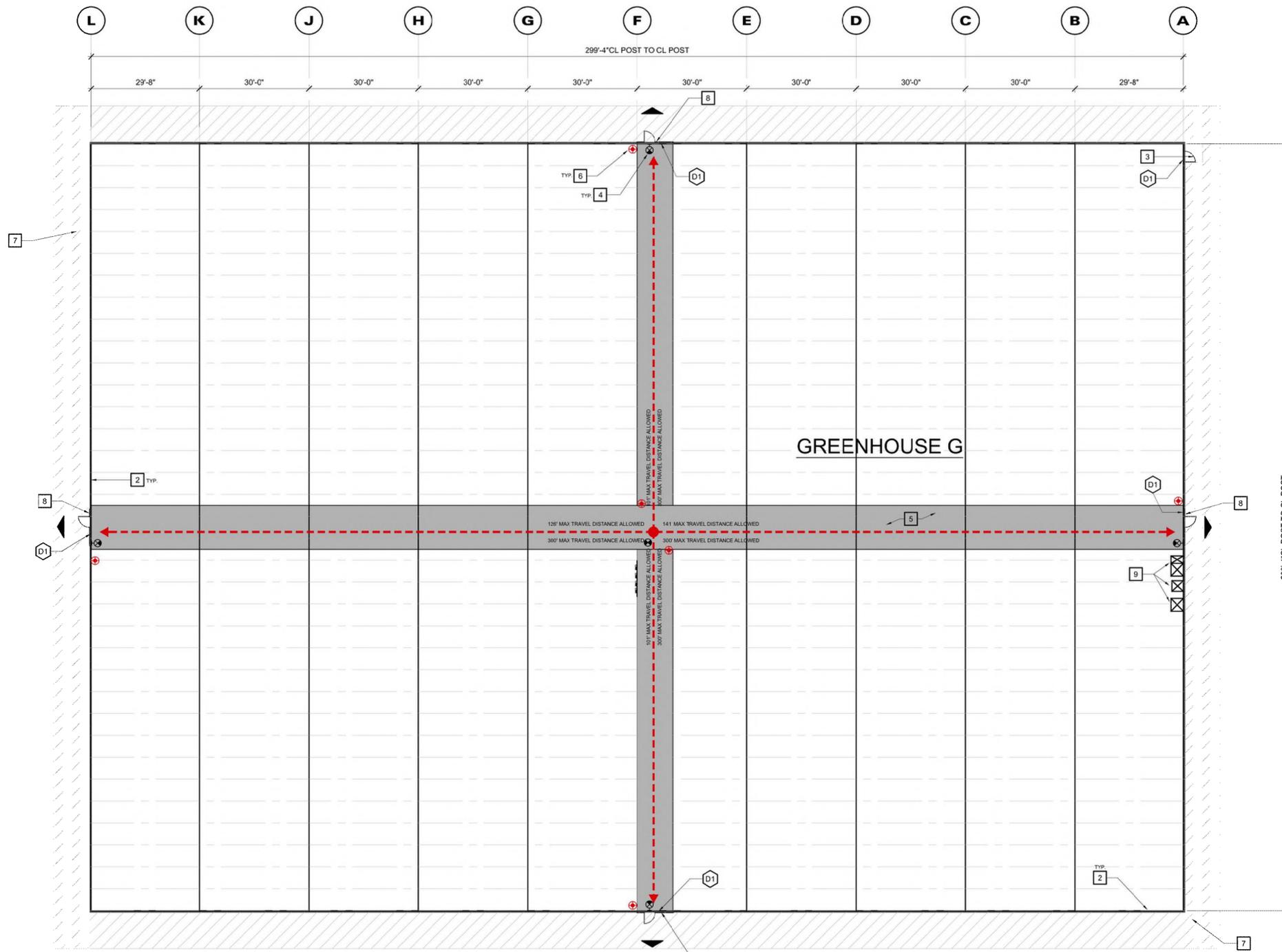
- (E) WALL TO REMAIN.
- (E) DOOR TO REMAIN.
- (N) DOOR.
- (E) WALL TO BE REMOVED.
- GREENHOUSE EXIT DOORS
- WALL AND/OR CEILING MOUNTED ILLUMINATED EXIT SIGN.
- FIRE EXTINGUISHER w/ MOUNTING BRACKET
- ACTUAL ALLOWED
- PATH OF EGRESS TRAVEL

**DEMOLITION NOTES**

- THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- D1 REMOVE WALL, OR PORTION OF WALL, TO ACCOMMODATE NEW WORK.

**BUILDING OCCUPANCY CALCULATIONS**

**GREENHOUSE G:**  
 EGRESS DOOR REQUIREMENTS:  
 63,000 / 15,000 = 4.2(5) EGRESS DOOR REQUIREMENTS PER APPENDIX "C" C104.1 EXCEPTION 2  
 OCCUPANT LOAD:  
 63,000 S.F. / 500 = 126 OCCUPANTS  
 MAXIMUM TRAVEL DISTANCE:  
 300'-0" MAX. PER APPENDIX "C" C104.1 EXCEPTION 1



**GREENHOUSE 'G' EGRESS & FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"

**GENERAL NOTES**

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO ITEMS TO REMAIN.
- CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS/EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
- CONTRACTOR TO CLEAN AND PROPERLY DISPOSE OF ALL ABANDONED EQUIPMENT AND TRASH/DEBRIS LEFT FROM PREVIOUS TENANT. CONTRACTOR SHALL VERIFY ALL ITEMS FOR DISPOSAL WITH TENANT AND/OR OWNER PRIOR TO STARTING WORK.
- CONTRACTOR SHALL IMPLEMENT CONSTRUCTION DUST / DEBRIS CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.
- AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
- DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
- GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.
- CONTRACTOR TO ENSURE THAT EXISTING UTILITIES (GAS, ELECTRIC OR PHONE, ETC.), ACCESS FOR TENANT & CUSTOMER USE, MECHANICAL VENTILATION, HEATING AND/OR COOLING SYSTEMS, PROVIDED TO ALL TENANTS IN THE EXISTING BUILDINGS WHERE WORK WILL OCCUR (AS WELL AS IN BUILDINGS WHERE WORK WILL NOT OCCUR).
- CARE SHALL BE TAKEN BY CONTRACTOR TO MINIMIZE DISRUPTION TO THE TENANT THROUGHOUT DURATION OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO CONSTRUCTION SCHEDULE & HOURS OF CONSTRUCTION WITH FACILITIES MANAGER PRIOR TO WORK.
- ALL CONDITIONS ARE EXISTING UNLESS NOTED OTHERWISE.

**DEMOLITION GENERAL NOTES**

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING. ALL ELEMENTS NOT SHOWN TO REMAIN ARE TO BE DEMOLISHED PER ARCHITECT'S APPROVAL.
- CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO THE ITEMS TO REMAIN.
- CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
- PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION/CONSTRUCTION AREA. KEEP AREA CLEAN.
- AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
- THE ELECTRICAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHT AND POWER IN THE SPACE DURING CONSTRUCTION, INCLUDING PROVISIONS FOR EMERGENCY LIGHTING.
- REMOVE ALL EXISTING CARPET, TILE, VCT AND SHEET VINYL WHERE OCCURS, U.O.N. REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RISES OR DEPRESSIONS IN FLOORING SURFACE, SUCH AS FASTNERS, OUTLET CORES, COVER PLATES, CARPET PADS, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.
- DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
- ALL DOORS, FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT FIXTURES (INCLUDING DOWNLIGHTS & FLUORESCENTS), AND SPECIAL EQUIPMENT TO BE DEMOLISHED EXCEPT AS SPECIFICALLY EXCLUDED BECOMES PROPERTY OF THE CONTRACTOR AND SHOULD BE REMOVED FROM THE PREMISES.
- GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.
- PATCH AND REPAIR WALL SURFACES TO REMAIN TO MATCH SCHEDULE FINISHES AFTER COMPLETION OF DEMOLITION WORK AND INSTALLATION OF NEW PARTITIONS AND/OR NEW DOORS AND WINDOWS.
- AT ALL WALLS TO REMAIN, REFER TO DRAWINGS FOR TREATMENT OF EXISTING SURFACES OTHER THAN PAINT. PATCH AND FILL WALLS, PREP FOR NEW FINISH.
- CONTRACTOR SHALL LEGALLY DISPOSE OF ANY MATERIAL SCHEDULED FOR DEMOLITION.

SHEET NAME:  
**FLOOR PLAN GREENHOUSE 'G'**  
 SHEET NO.:

**A205**

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES FRAUD. FAILURE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



A.P.N.: 137-121-006-000

**QLORA GROUP, INC.**  
 20180 SPENCE ROAD  
 SALINAS, CA 93908

JOB NO.: 20014

PRINT DATE: 8.12.2022

PLOT DATE: BA

CHECKED BY:

SET ISSUED:

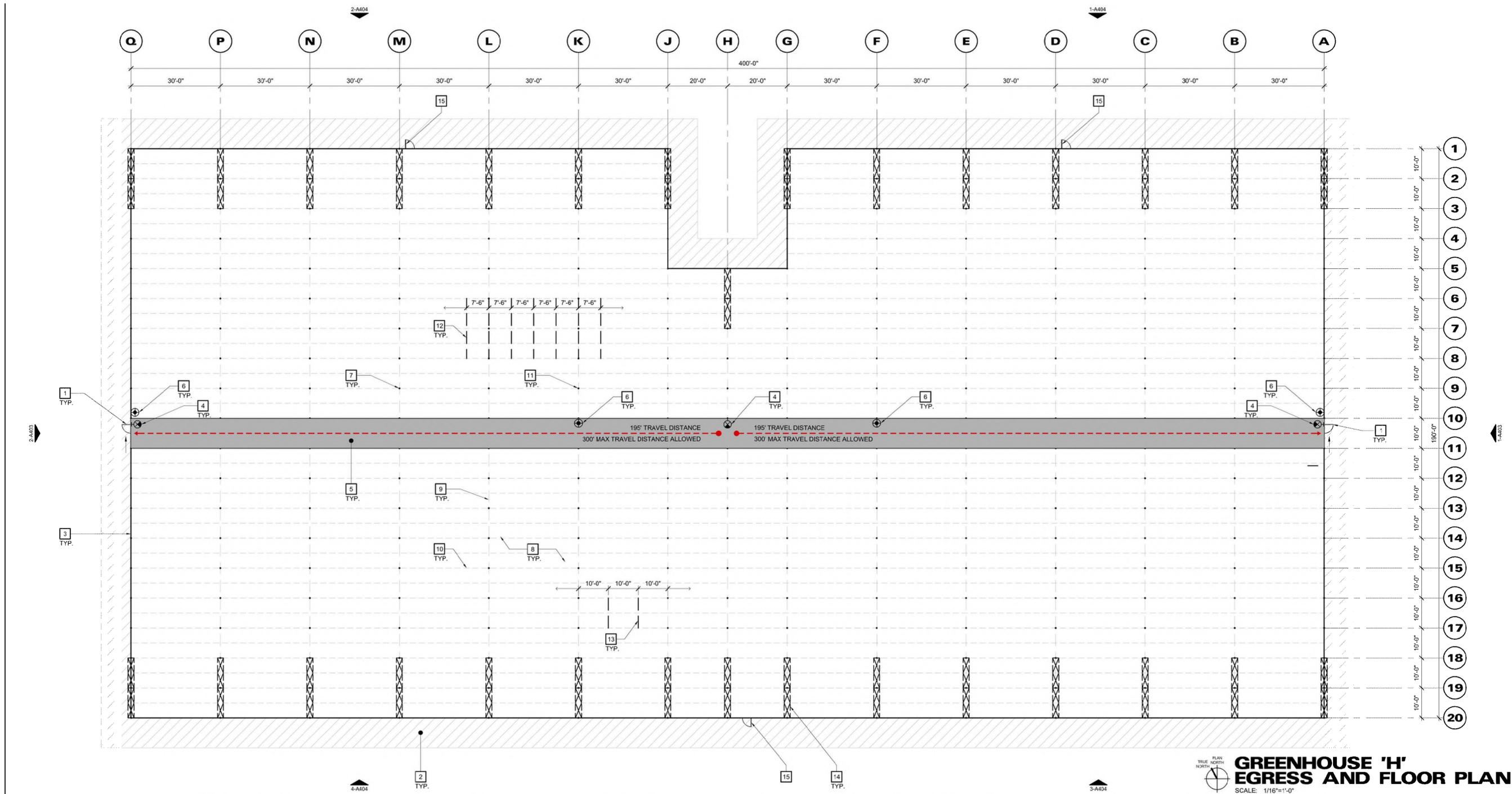
Plan Check Response 5/25/22

SHEET NAME:  
**FLOOR PLAN GREENHOUSE 'H'**

SHEET NO.:

**A206**

FILE NAME: 2014-A206

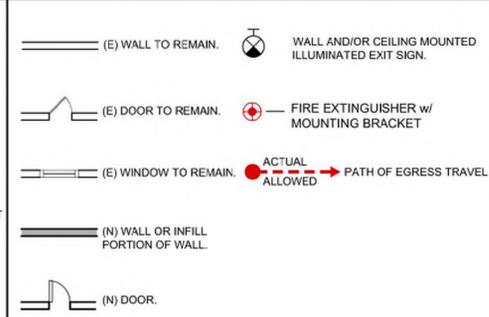


**GREENHOUSE 'H'**  
**EGRESS AND FLOOR PLAN**  
 SCALE: 1/16"=1'-0"

**KEY NOTES**

- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- 10'-0" X 8'-0" SLIDING BARN-STYLE DOORS TO MOVE PRODUCT IN AND OUT OF THE GREENHOUSE. A 3'-0" X 8'-8" MINIMUM SIZE EGRESS DOOR SHALL BE FRAMED WITHIN THE BARN DOOR AND SHALL BE USABLE WHILE THE BARN DOOR IS CLOSED. REFER TO DOOR NOTES AND DETAILS FOR APPLICABLE CODE REQUIREMENTS OF EGRESS DOORS.
  - A MIN. 5% GRADE SLOPE AWAY FROM THE FOUNDATION IS REQUIRED FOR A MIN. OF 6" OF FALL WITHIN THE FIRST 10'-0" MEASURED PERPENDICULAR TO THE FACE OF THE WALL.
  - EXTERIOR ENCLOSURE AND ROOF COVERING OF GREENHOUSE TO BE SEMI-TRANSLUCENT 6 MIL. FILM.
  - INTERNALLY ILLUMINATED EXIT SIGN. FINAL LOCATIONS TO BE DETERMINED BY FIRE MARSHALL.
  - ACCESS AISLE. KEEP CLEAR FOR EGRESS.
  - WALL MOUNTED FIRE EXTINGUISHER TYPE 2A-10BC TO MEET NFPA 10 MIN. STANDARD. ONE FIRE EXTINGUISHER PER 3,000 S.F. OR FRACTION THEREOF. MAX TRAVEL DISTANCE FROM ANY SPOT WITHIN THE SUITE TO EXTINGUISHER SHALL NOT EXCEED 75 FEET. MOUNT EXTINGUISHER AT ACCESSIBLE HEIGHT. REFER TO LEGEND FOR SYMBOL.
  - METAL POLES TYP. 6MM X 12GA PIPE WITH ADDED HSS4 X 4 X 3/8 COLUMN AT 10'-0" O.C.
  - FLOOR INSIDE GREENHOUSE SHALL BE COMPACTED PERVIOUS SOIL -TYPICAL.
  - DASHED LINE INDICATES LINE OF 4" DIA. STANDARD PIPE X 10'-0" AT 30'-0" O.C. -TYPICAL.
  - DASHED LINE INDICATES METAL TRUSS STRUCTURE ABOVE AT 5'-0" O.C. DO NOT HANG ANYTHING FROM TRUSS -TYPICAL.
  - 18" DIAMETER X 10'-0" MIN. CONCRETE PIERS W/ (4) #6 VERTICALS AND 43 TIES AT 12" ON CENTER, TYP. AT ALL METAL POLES.
  - DASHED LINES INDICATES 16GA PURLINS AT 7'-6" ON CENTER AND AT EACH SIDE OF POLES, TYP. DO NOT HANG ANYTHING FROM PURLINS.
  - DASHED LINES INDICATES 2GA PURLINS AT BOTTOM CHORD PANEL POINTS, TYP.
  - DIAGONAL BRACES, TYP. 2 BAYS EACH SIDE AT 30'-0" O.C. W/ 18"x18" GRADE BEAM.
  - EGRESS DOOR -REFER TO DOOR NOTES AND DETAILS FOR APPLICABLE CODE REQUIREMENTS OF EGRESS DOORS.

**LEGEND**



**BUILDING OCCUPANCY CALCULATIONS**

**GREENHOUSE 'H':**  
 EGRESS DOOR REQUIREMENTS:  
 74,400 / 15,000 = 4.96 (5) EGRESS DOOR REQUIREMENTS PER APPENDIX "C" C104.1 EXCEPTION 2  
 OCCUPANT LOAD:  
 74,400 S.F. / 500 = 148.8 OCCUPANTS  
 MAXIMUM TRAVEL DISTANCE:  
 300'-0" MAX. PER APPENDIX "C" C104.1 EXCEPTION 1

**GENERAL NOTES**

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- CONTRACTOR SHALL IMPLEMENT CONSTRUCTION DUST / DEBRIS CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.
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- REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
- GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.
- CONTRACTOR TO ENSURE THAT EXISTING UTILITIES (GAS, ELECTRIC OR PHONE, ETC.) ACCESS FOR TENANT & CUSTOMER USE, MECHANICAL VENTILATION, HEATING AND/OR COOLING SYSTEMS, PROVIDED TO ALL TENANTS IN THE EXISTING BUILDINGS WHERE WORK WILL OCCUR (AS WELL AS IN BUILDINGS WHERE WORK WILL NOT OCCUR).
- CARE SHALL BE TAKEN BY CONTRACTOR TO MINIMIZE DISRUPTION TO THE TENANT THROUGHOUT DURATION OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO CONSTRUCTION SCHEDULE & HOURS OF CONSTRUCTION WITH FACILITIES MANAGER PRIOR TO WORK.
- ALL CONDITIONS ARE EXISTING UNLESS NOTED OTHERWISE.

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A.P.N.: 137-121-006-000

**QLORA GROUP, INC.**  
 20180 SPENCE ROAD  
 SALINAS, CA 93908

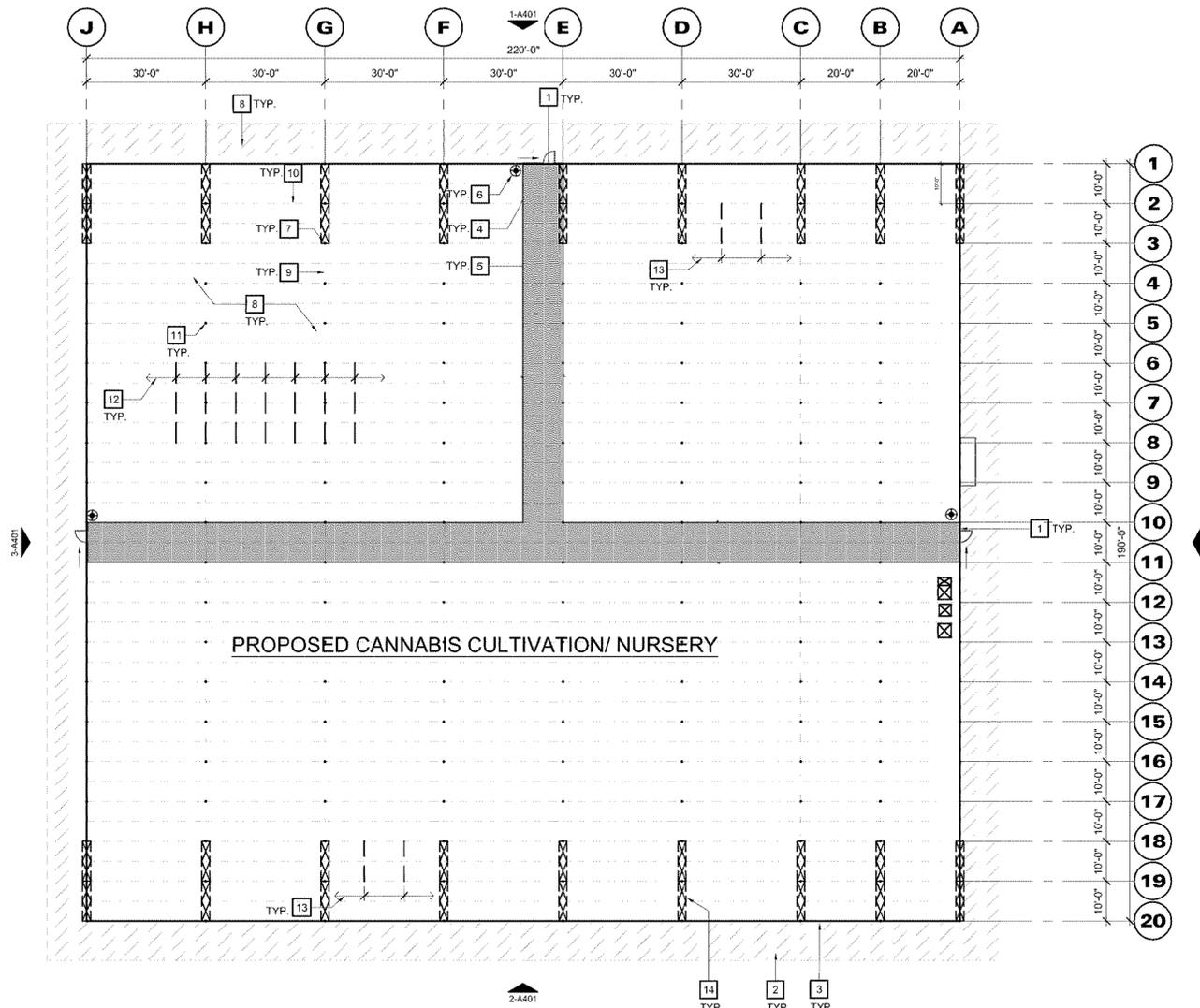
JOB NO.: 20014  
 PRINT DATE: 8.12.2022  
 PLOT DATE: 8.12.2022  
 DRAWN BY: BA  
 CHECKED BY:  
 SET ISSUED:

Plan Check Response 5/25/22

SHEET NAME:  
**FLOOR PLAN GREENHOUSE 'C'**

SHEET NO.:  
**A207**

FILE NAME: 20014-A207



**GREENHOUSE C  
 EGRESS AND FLOOR PLAN**  
 SCALE: 1"=20'-0"

KEY NOTES	
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1 10'-0" X 8'-0" SLIDING BARN-STYLE DOORS TO MOVE PRODUCT IN AND OUT OF THE GREENHOUSE. A 3'-0" X 6'-8" MINIMUM SIZE EGRESS DOOR SHALL BE FRAMED WITHIN THE BARN DOOR AND SHALL BE USABLE WHILE THE BARN DOOR IS CLOSED. REFER TO DOOR NOTES AND DETAILS FOR APPLICABLE CODE REQUIREMENTS OF EGRESS DOORS. REFER TO SHEET A900 FOR ADDITIONAL DOOR DETAILS.	9 DASHED LINE INDICATES LINE OF 4" DIA. STANDARD PIPE X 10'-0" AT 30'-0" O.C. -TYPICAL
2 A MIN. 5% GRADE SLOPE AWAY FROM THE FOUNDATION IS REQUIRED FOR A MIN. OF 6" OF FALL WITHIN THE FIRST 10'-0" MEASURED PERPENDICULAR TO THE FACE OF THE WALL.	10 DASHED LINE INDICATES METAL TRUSS STRUCTURE ABOVE AT 5'-0" O.C. DO NOT HANG ANYTHING FROM TRUSS -TYPICAL
3 EXTERIOR ENCLOSURE AND ROOF COVERING OF GREENHOUSE TO BE SEMI-TRANSLUCENT MOVEABLE 6 MIL FILM	11 18" DIAMETER X 10'-0" MIN. CONCRETE PIERS W/ (4) #6 VERTICALS AND #3 TIES AT 12" ON CENTER. TYP. AT ALL METAL POLES
4 INTERNALLY ILLUMINATED EXIT SIGN. FINAL LOCATIONS TO BE DETERMINED BY FIRE MARSHALL.	12 DASHED LINES INDICATES 16GA PURLINS AT 7'-6" ON CENTER AND AT EACH SIDE OF POLES. TYP. DO NOT HANG ANYTHING FROM PURLINS.
5 ACCESS AISLE. KEEP CLEAR FOR EGRESS.	13 DASHED LINES INDICATES 16GA PURLINS AT BOTTOM CHORD PANEL POINTS, TYP.
6 WALL MOUNTED FIRE EXTINGUISHER TYPE 2A-10BC TO MEET NFPA 10 MIN. STANDARD. ONE FIRE EXTINGUISHER PER 3,000 S.F. OR FRACTION THEREOF. MAX TRAVEL DISTANCE FROM ANY SPOT WITHIN THE SUITE TO EXTINGUISHER SHALL NOT EXCEED 75 FEET. MOUNT EXTINGUISHER AT ACCESSIBLE HEIGHT. REFER TO LEGEND FOR SYMBOL.	14 DIAGONAL BRACES, TYP. 2 BAYS EACH SIDE AT 30'-0" O.C. W/ 18"x18" GRADE BEAM.
7 METAL POLES TYP. 60MM X 12GA PIPE WITH ADDED HSS4 X 4 X 3/8 COLUMN AT 10'-0" O.C.	
8 FLOOR INSIDE GREENHOUSE SHALL BE COMPACTED PERVIOUS SOIL -TYPICAL	

LEGEND	
	(E) WALL TO REMAIN.
	(E) DOOR TO REMAIN.
	(E) WINDOW TO REMAIN.
	(N) WALL OR INFILL PORTION OF WALL.
	(N) DOOR.
	GREENHOUSE EXIT DOORS
	WALL AND/OR CEILING MOUNTED ILLUMINATED EXIT SIGN.
	FIRE EXTINGUISHER W/ MOUNTING BRACKET
	ACTUAL ALLOWED PATH OF EGRESS TRAVEL

BUILDING OCCUPANCY CALCULATIONS	
<b>GREENHOUSE C:</b>	
EGRESS DOOR REQUIREMENTS: $41,800 / 15,000 = 2.79$ (3) EGRESS DOOR REQUIREMENTS PER APPENDIX 'C' C104.1 EXCEPTION 2	
OCCUPANT LOAD: $41,800 \text{ S.F.} / 500 = 83.6$ OCCUPANTS	
MAXIMUM TRAVEL DISTANCE: 300'-0" MAX. PER APPENDIX 'C' C104.1 EXCEPTION 1	

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8.	REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
9.	GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.
10.	CONTRACTOR TO ENSURE THAT EXISTING UTILITIES (GAS, ELECTRIC OR PHONE, ETC.), ACCESS FOR TENANT & CUSTOMER USE, MECHANICAL VENTILATION, HEATING AND/OR COOLING SYSTEMS, PROVIDED TO ALL TENANTS IN THE EXISTING BUILDINGS WHERE WORK WILL OCCUR (AS WELL AS IN BUILDINGS WHERE WORK WILL NOT OCCUR).
11.	CARE SHALL BE TAKEN BY CONTRACTOR TO MINIMIZE DISRUPTION TO THE TENANT THROUGHOUT DURATION OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO CONSTRUCTION SCHEDULE & HOURS OF CONSTRUCTION WITH FACILITIES MANAGER PRIOR TO WORK.
12.	ALL CONDITIONS ARE EXISTING UNLESS NOTED OTHERWISE.

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A.P.N.: 137-121-006-000

QLORA GROUP, INC.  
20180 SPENCE ROAD  
SALINAS, CA 93908

JOB NO.: 20014  
PRINT DATE:  
PLOT DATE: 8.12.2022  
DRAWN BY: BA  
CHECKED BY:  
SET ISSUED:

Plan Check Response 5/25/22

SHEET NAME:  
GREENHOUSE H  
EXTERIOR  
ELEVATIONS

SHEET NO.:

A403

FILE NAME: 2014-A403

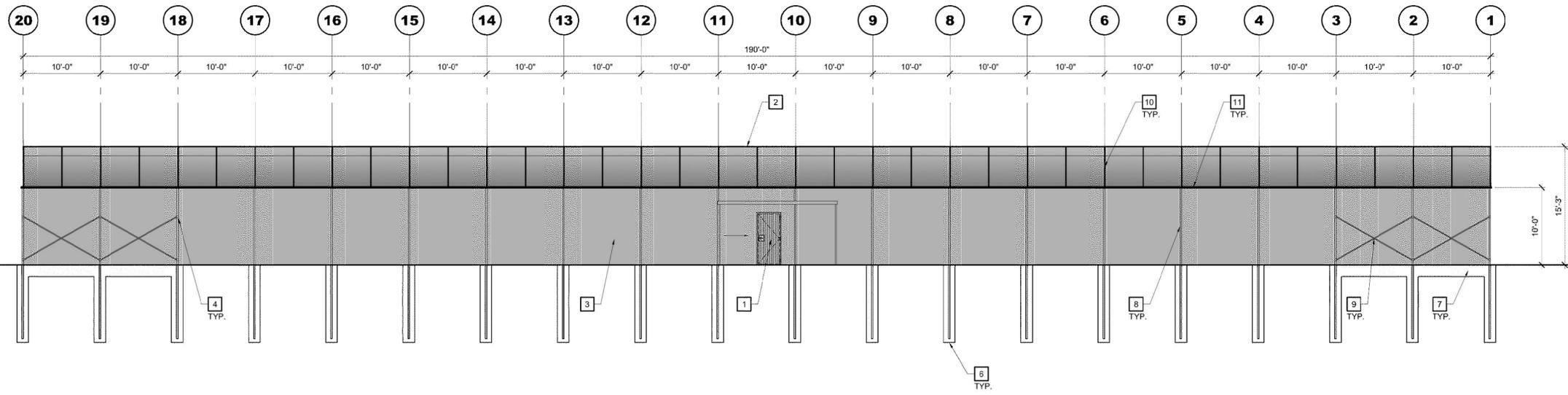
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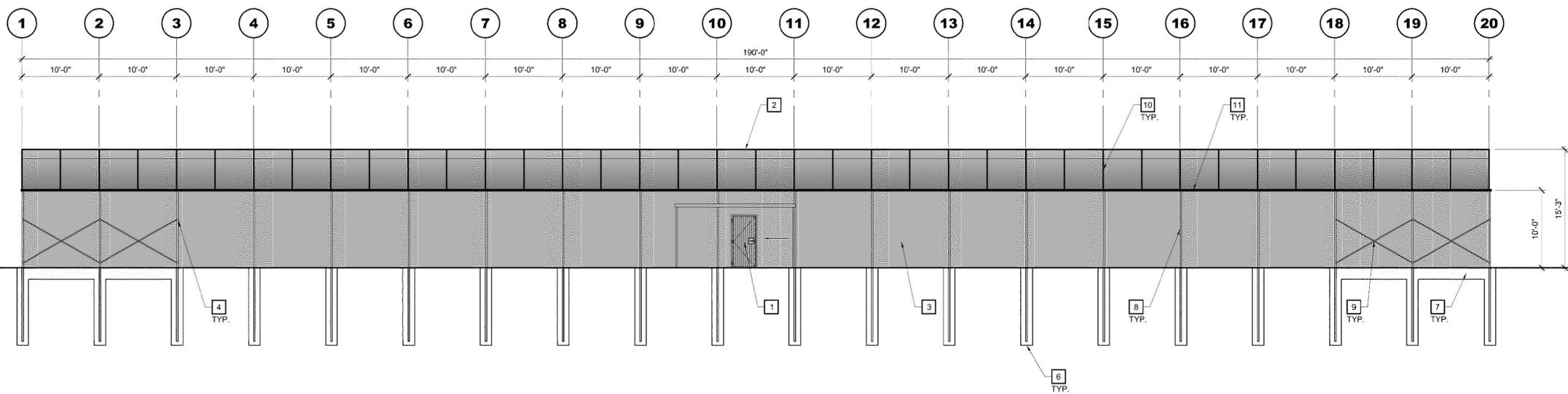
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- 4 BRACES @ ENDS & @ 1/3 POINTS AS SHOWN.
- 5 NOT USED.
- 6 18" DIAMETER X 10'-0" PIER, EMBED HSS4 X 4 COLUMN IN 9'-6".
- 7 18" X 18" GRADE BEAM AT DIAGONALS W/ (2) #5 TOP & BOTTOM AND #4 TIES AT 12" O.C.
- 8 60MM X 12GA PIPE X HSS4 X 4 X 3/8 COLUMN TYP. AT 10'-0" O.C.
- 9 33MM X 16GA DIAGONALS, TYP. AT 30'-0" O.C.
- 10 TRUSS AT 5'-0" O.C.
- 11 4" DIAMETER STANDARD PIPE X 10'-0", TYP.

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SCALE: 1/8" = 1'-0"



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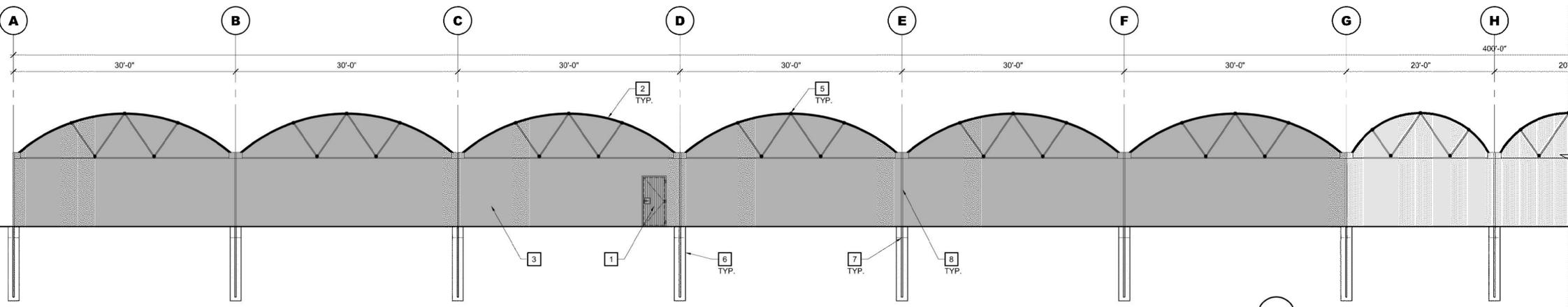
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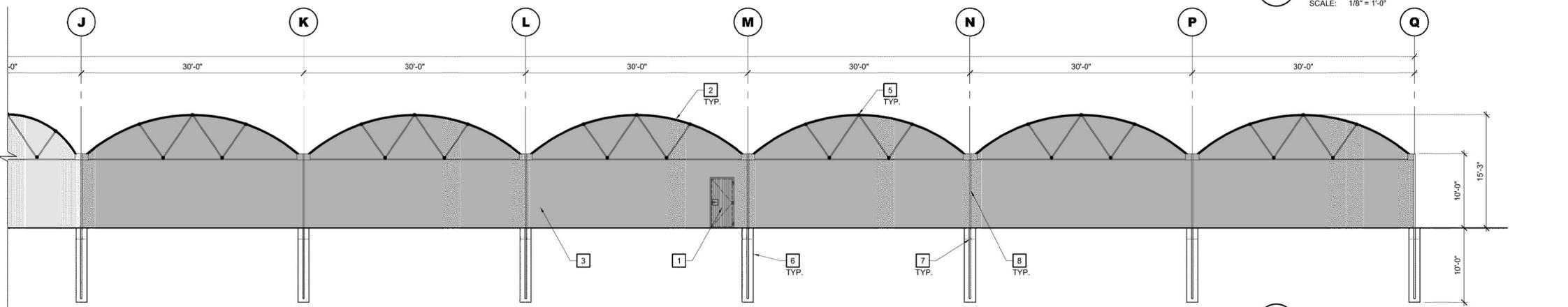
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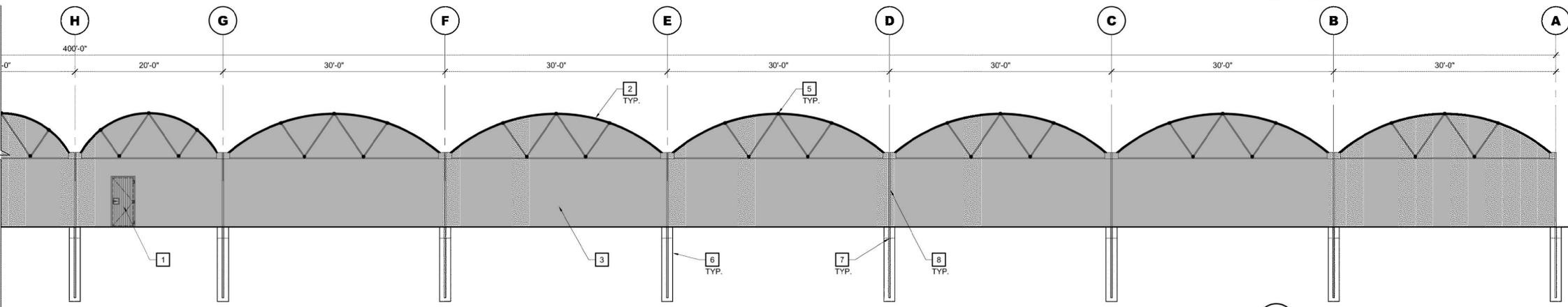
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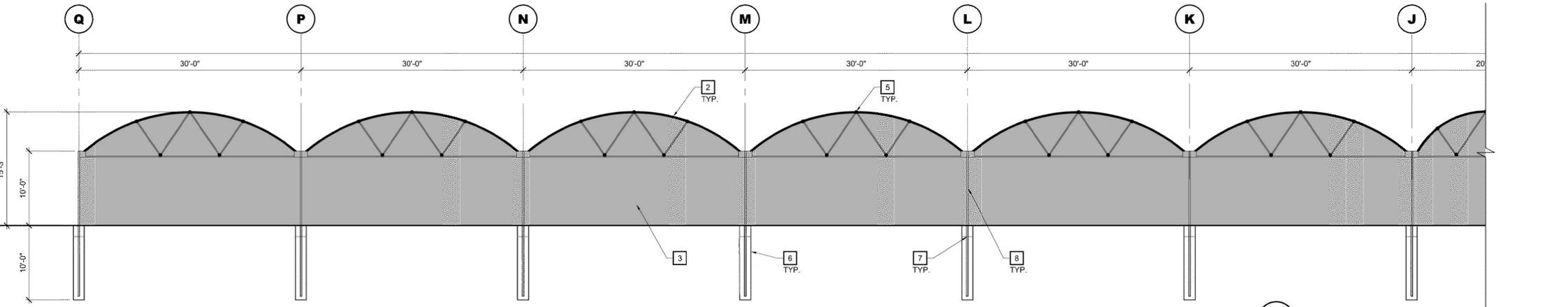
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SCALE: 1/8" = 1'-0"



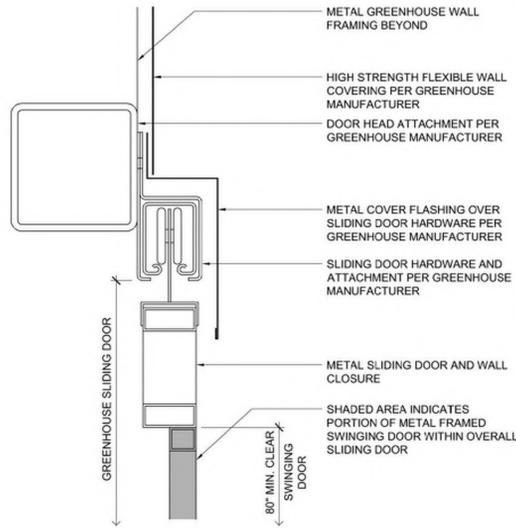
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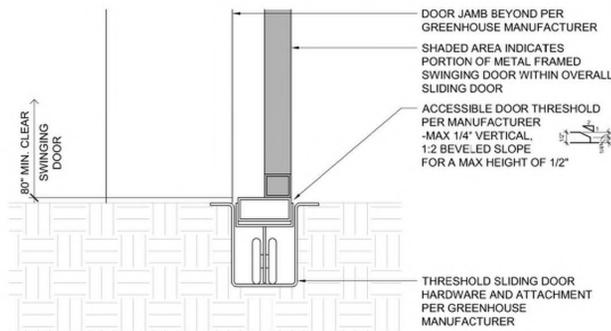
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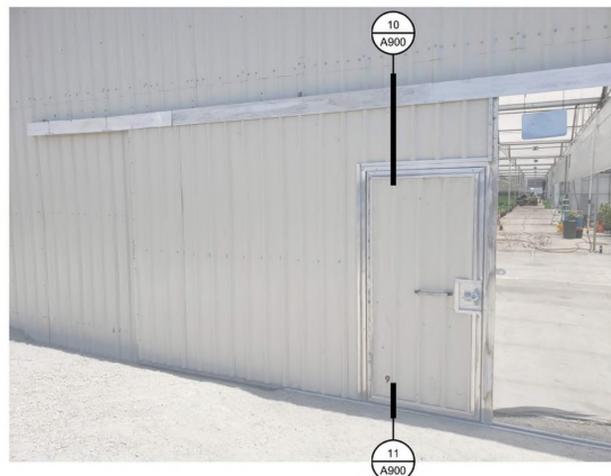
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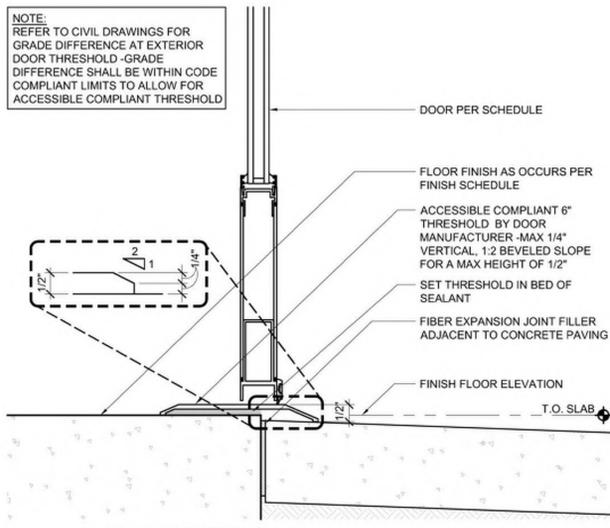
**10 SLIDING DOOR HEAD**  
SCALE: 3" = 1'-0"



**11 SLIDING DOOR THRESHOLD**  
SCALE: 3" = 1'-0"



**12 EGRESS DOOR, SIMILAR**  
SCALE: 1/4" = 1'-0"



**7 ACCESSIBLE DOOR THRESHOLD**  
SCALE: 3" = 1'-0"

**FEATURES & SPECIFICATIONS**

**INTENDED USE** — Ideal for applications where electrical power cannot be provided.

**CONSTRUCTION** — Tritium filled gas tubes require no electrical input. Universal directional indicator lockouts and mounting (screws included). Letters 9" high with 3/4" stroke, with 100' viewing distance rating, based upon UL 924 standard. Completely sealed lamp compartment. Polycarbonate or aluminum frame with aluminum faceplate. Explosion proof hazardous location. Suitable for wet locations. Ideal for extreme temperatures: -20°F to 150°F (-28°C to 65°C). Temperature mounting hardware. Optional vandal shield suitable for low-level applications.

**OPTICS** — Tritium filled gas tubes require no electrical input and are rated for 10 or 20-year life. No energy consumption. Self-Luminous signs are required to meet a minimum luminance of 0.06 foot lamberts per square meter. The initial brightness measurements are: 10 Year - 0.33 foot lamberts and 20 Year - 0.20 foot lamberts. The light output of a tritium sign reduces over time due to decay. The level of lumens in the exit is 7.5 Curies in a 10-year sign and 11.5 Curies in a 20-year sign (for double face the unit will have 2x the amount).

**INSTALLATION** — Universal (top, end or back) mounting. Mounting hardware included.

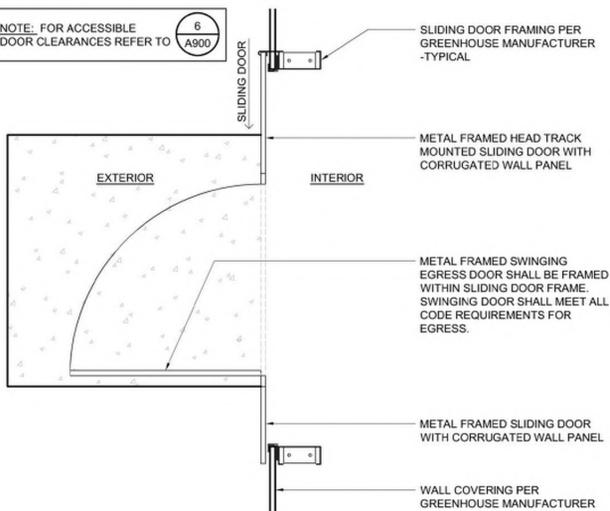
**LISTINGS** — UL Listed, UL Listed for low-level applications with VR option. Meets UL 924, NFPA 101 (current Life Safety Code), NEC and 509A Illumination standards, and State of Minnesota energy efficiency legislation requiring less than 2000 consumption. All options suitable for use in Class I, Div. 1, Groups C & D.

**WARRANTY** — 3-year limited warranty (varies with luminous life option chosen). Complete warranty terms located at: [www.avalystbrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.avalystbrands.com/CustomerResources/Terms_and_conditions.aspx)

All life safety equipment, including emergency lighting for paths of egress must be maintained, serviced, and tested in accordance with all National Fire Protection Association (NFPA) and local codes. Failure to perform the required maintenance, service, or testing could jeopardize the safety of occupants and will void all warranties.

**Note:** Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

**8 ILLUMINATED EXIT SIGN**  
SCALE: 1/4" = 1'-0"



**9 GREENHOUSE EXIT DOOR AT SLIDING DOORS**  
SCALE: 3/4" = 1'-0"

**ACCESSIBILITY NOTES**

- A. GENERAL**
- All dimensions and clearances within restroom areas shown on details are to be measured from finished surfaces.
  - Doorways leading to men's sanitary facilities shall be identified by an equilateral triangle 1/4" thick, with edges 12" long and a vertex pointing upward. Women's sanitary facilities shall be identified by a circle 1/4" thick and 12" in diameter.
  - Unisex sanitary facilities shall be identified by a circle 1/4" thick, 12" diameter, with a 1/4" thick triangle superimposed within the circle.
  - Where a tactile sign is provided at a door, the sign shall be located alongside the door at the latch side. Where a tactile sign is provided at double doors with one active leaf, the sign shall be installed on the wall adjacent to the latch outside of the door. Where a tactile sign is provided at double doors with two active leaves, the sign shall be located to the right of the right hand door. Where there is no wall space at the latch side of a single door or at the right side of double doors, signs shall be located on the nearest adjacent wall. Signs containing tactile characters shall be located so that a clear floor space of 18" min. by 18" min., centered on the tactile characters, is provided beyond the arc of any door swing between the closed position and 45 degree open position. Tactile characters on signs shall be located 48" min. above the finish floor or ground surface, measured from the baseline of the lowest tactile character and 60" max. above the finish floor or ground surface, measured from the baseline of the highest tactile character.
  - There shall be sufficient space in the toilet room for a wheelchair measuring 30" wide by 48" long to enter the room and permit the door to close.
  - There shall be in the room a clear floor space of at least 60" in diameter, or a T-shaped space. No door shall encroach into this space for more than 12".
  - The water closet shall be located in a space 60" min. clear in width. The side shall provide a minimum of 17" and a maximum of 18" from the center line of the water closet to the adjacent wall. A minimum 48"x60" clear floor space shall be provided in front of the water closet. Provide a minimum 60"x56" clear floor space around water closet when toilet is wall mounted, and a 60" x 59" minimum clear floor space if water closet is floor mounted. No fixture (including sinks) shall obstruct this clear floor space at the water closet.
  - In other than dwelling units, toilet rooms floors shall have a smooth, hard, non-absorbent surface such as portland cement, concrete, ceramic tile or other approved material which extends upward onto the walls at least 5 inches. Walls within water closet compartments shall be similarly finished to a height of 48 inches.
- B. SANITARY FACILITY FIXTURES & ACCESSORIES**
- A minimum of 30"x48" clear space is provided in front of lavatory allowing forward approach.
  - Lavatory faucets are lever type, push type or electronic control mechanism valves that are operable with one hand and do not require tight grasping, pinching or twisting of the wrist. Self closing valves shall maintain a minimum of 10 second open flow of 5 lbs. maximum force required to activate controls.
  - Lavatories adjacent to a wall shall be mounted with a minimum distance of 18" to the center line of the fixture.
  - All lavatories that are designed to be accessible shall be mounted with the rim or counter edge no higher than 34" above the finished floor and vertical clearance measured from the bottom of the apron or outside bottom edge of the lavatory of 23" reducing to 27" at a point located 8" back from edge. Toe clearance under lavatory is under 9" high, 30" wide and extends a minimum of 17" in depth from the front of the lavatory.
  - All piping under lavatories shall be configured, insulated or otherwise covered to prevent contact. There shall be no sharp or abrasive surfaces under lavatories.
  - Controls for water closet flush valves shall be mounted on the wide side of toilet areas and shall require 5 lbs. maximum pressure to operate flush valve.
  - Water closet and urinal flush valves controls and faucet and operating mechanism controls, shall be mounted no more than 44" above the floor.
  - Mirrors shall be mounted with the bottom of the reflective surface no higher than 40" from the finished floor elevation.
  - Where towels, sanitary napkins, waste receptacles, and other similar dispensing and disposal fixtures are provided, at least one of each type shall be located with all operable parts, including coin slots, within 40" from the finished floor.
  - Where towels, sanitary napkins, waste receptacles, and other similar dispensing and disposal fixtures are provided, at least one of each type shall be located with all operable parts, including coin slots, within 40" from the finished floor.
  - Toilet tissue dispensers that control delivery or that do not permit continuous paper flow shall not be used. Dispenser is to be located within 7'-9" of the front edge of the toilet seat to the centerline of the dispenser with 19" min. height from floor to center line of dispenser (below grab bar).
  - The top of the toilet seat 17" to 19" from floor surface measured to the top of a maximum 2" high toilet seat.
- C. GRAB BARS**
- Grab bars shall be located on each side, or on one side and the back of the accessible toilet stall or compartment.
  - Grab bars at the side shall be 42" long minimum, located 12" maximum from the rear wall and extending 54" minimum from rear wall with the front end positioned 24" minimum in front of the water closet.
  - Grab bars shall be securely attached in a horizontal position, 33" minimum and 36" maximum above the finish floor measured to the top of the gripping surface.
  - The diameter or width of the gripping surfaces of a grab bar shall be 1-1/4" to 1-1/2" or the shape shall provide an equivalent gripping surface. If grab bars are mounted adjacent to a wall, the clearance between the wall and the grab bars shall be 1-1/2".
  - No protruding objects shall be mounted 12" above the grab bar or 1-1/2" below the grab bar.
  - The rear wall grab bar shall be 36" min. and extend from the centerline of the water closet 12" minimum on one side and 24" min. on the other.



**6 DOOR CLEARANCES**  
SCALE: 1/4" = 1'-0"

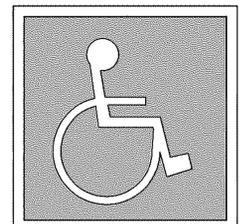
**DOOR NOTES**

- DOOR HARDWARE AND OPERATION**
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
  - OPERABLE PARTS SUCH AS DOOR HANDLES, PULLS, LATCHES AND LOCKS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM.
  - DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
  - DOOR AND GATE SPRING HINGES SHALL BE ADJUSTED SO THAT FROM THE OPEN POSITION OF 70 DEGREES, THE DOOR OR GATE SHALL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS MINIMUM.
  - DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34" MIN. AND 44" MAX. ABOVE THE FINISHED FLOOR. LOCKS USED ONLY FOR SECURITY PURPOSES AND NOT USED FOR NORMAL OPERATION ARE PERMITTED AT ANY HEIGHT.
  - LOCKS AND LATCHES SHALL BE PERMITTED TO PREVENT OPERATION OF DOORS WHERE ANY OF THE FOLLOWING EXISTS:
    - PLACES OF DETENTION OR RESTRAINT.
    - IN BUILDINGS IN OCCUPANCY GROUP "A" HAVING AN OCCUPANT LOAD OF 300 OR LESS, GROUPS B, F, M AND S, AND IN PLACES OF RELIGIOUS WORSHIP. THE MAIN EXTERIOR DOOR OR DOORS ARE PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE PROVIDED:
      - THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED;
      - A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING: THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED. THE SIGN SHALL BE IN LETTERS 1 INCH HIGH ON A CONTRASTING BACKGROUND; AND
      - THE USE OF THE KEY-OPERATED LOCKING DEVICE IS REVOKABLE BY THE BUILDING OFFICIAL FOR DUE CAUSE.
  - THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION, OTHER THAN:
    - WHERE MANUALLY OPERATED BOLT LOCKS ARE PERMITTED
    - DOORS WITH AUTOMATIC FLUSH BOLTS AS PERMITTED
  - DOORS SERVING A GROUP H OCCUPANCY AND DOORS SERVING ROOMS OR SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE IN A GROUP H OCCUPANCY, ASSEMBLY AREA NOT CLASSIFIED AS AN ASSEMBLY OCCUPANCY, E, I-2 OR I-2.1 OCCUPANCIES SHALL NOT BE PROVIDED WITH A LATCH OR LOCK UNLESS IT IS PANIC HARDWARE OR FIRE EXIT HARDWARE. ELECTRICAL ROOMS WITH EQUIPMENT RATED 1,200 AMPERES OR MORE AND OVER 6'-0" WIDE THAT CONTAIN OVERCURRENT DEVICES, SWITCHING DEVICES OR CONTROL DEVICES WITH EXIT OR EXIT ACCESS DOORS SHALL BE EQUIPPED WITH PANIC HARDWARE OR FIRE EXIT HARDWARE. THE DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL.
  - WHERE PANIC OR FIRE EXIT HARDWARE IS INSTALLED, IT SHALL COMPLY WITH THE FOLLOWING:
    - PANIC HARDWARE SHALL BE LISTED IN ACCORDANCE WITH UL 305;
    - FIRE EXIT HARDWARE SHALL BE LISTED IN ACCORDANCE WITH UL 10C AND UL 305;
    - THE ACTUATING PORTION OF THE RELEASING DEVICE SHALL EXTEND AT LEAST ONE-HALF OF THE DOOR LEAF WIDTH
    - THE MAXIMUM UNLATCHING FORCE SHALL NOT EXCEED 15 POUNDS.
  - THRESHOLD CHANGE IN HEIGHT BETWEEN FLOOR SURFACES ON EITHER SIDE OF DOOR SHALL NOT EXCEED 1/2".
  - LEVER TYPE LATCHSET AND LOCKSET HANDLES SHALL COMPLY WITH TITLE-24 ACCESSIBILITY REQUIREMENTS
  - SWINGING DOOR AND GATE SURFACES WITHIN 10" OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THESE SURFACES SHALL BE WITHIN 1/16" OF THE SAME PLANE AS THE OTHER AND BE FREE OF SHARP OR ABRASIVE EDGES. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED.
- DOOR OPENING FORCE**
- THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGRESS DOORS, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS. FOR OTHER SWINGING DOORS, AS WELL AS SLIDING AND FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15-POUND FORCE. THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30-POUND FORCE. THE DOOR SHALL SWING TO A FULL OPEN POSITION WHEN SUBJECTED TO A 15-POUND FORCE. FORCES SHALL BE APPLIED TO THE LATCH SIDE OF THE DOOR.
  - THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE OTHER THAN FIRE DOORS SHALL BE AS FOLLOWS:
    - INTERIOR HINGED DOORS AND GATES: 5 POUNDS MAX.
    - SLIDING OR FOLDING DOORS: 5 POUNDS MAX.
    - REQUIRED FIRE DOORS: THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS.
    - EXTERIOR HINGED DOORS: 5 POUNDS MAX.

**EXCEPTION:**

    - EXTERIOR DOORS TO MACHINERY SPACES INCLUDING, BUT NOT LIMITED TO, ELEVATOR PITS OR ELEVATOR PENTHOUSES, MECHANICAL, ELECTRICAL OR COMMUNICATIONS EQUIPMENT ROOMS
- DOOR SWING**
- EGRESS DOORS SHALL BE OF THE PIVOTED OR SIDE-HINGED SWINGING TYPE AND SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR AREA CONTAINING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP H OCCUPANCY.
- DOOR WIDTH AND HEIGHT**
- DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32" MIN., THE MAX. WIDTH OF A SWINGING DOOR LEAF SHALL BE 48" NOMINAL. THE HEIGHT OF DOOR OPENINGS SHALL NOT BE LESS THAN 80". DOOR CLOSERS AND DOOR STOPS SHALL BE PERMITTED TO BE 78" MIN. ABOVE THE FINISH FLOOR OR GROUND.

**3 ACCESSIBILITY SYMBOL**  
SCALE: 3/4" = 1'-0"



**INTERNATIONAL SYMBOL OF ACCESSIBILITY**

- MINIMUM 6"x6" DECAL TO BE LOCATED AT EACH PRIMARY PUBLIC ENTRANCE AND AT EVERY MAJOR EXTERIOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL.
- MINIMUM 36"x36" PAINTED SYMBOL ON PAVEMENT SHALL BE LOCATED IN STALL SO THAT IT IS VISIBLE BY A TRAFFIC ENFORCEMENT OFFICER WHEN A VEHICLE IS PROPERLY PARKED IN THE SPACE. (CENTERED AT STALL ENTRANCE RECOMMENDED)
- BACKGROUND TO BE BLUE, WHEELCHAIR SYMBOL TO BE WHITE (TYPICAL).



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