

# Exhibit B

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# DRAFT RESOLUTION

## Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

**PLN220059 – ALHADI**

### **RESOLUTION NO. 22-**

Resolution by the Monterey County Zoning Administrator:

1. Finding that the project is construction of a single family dwelling which qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approving a:
  - a. Design Approval to allow the construction of a 4,369 square foot single family dwelling inclusive of a 718 square foot attached garage; and
  - b. Tree Removal Permit for the removal of one Monterey pine tree.

[PLN220059 – Taufiek Alhadi, 2865 17 Mile Drive, Pebble Beach, Greater Monterey Peninsula Area Plan (APN: 007-201-015-000)]

**The Alhadi application (PLN220059) came on for a public hearing before the Monterey County Zoning Administrator on September 8, 2022. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County Zoning Administrator finds and decides as follows:**

### **FINDINGS**

1. **FINDING:** **CONSISTENCY** – The project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:** a) The project has been reviewed for consistency with the text, policies, and regulations in:
  - 2010 Monterey County General Plan (General Plan);
  - Greater Monterey Peninsula Area plan (GMPAP); and
  - Monterey County Zoning Ordinance, Title 21 of the Monterey County Code (MCC).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 2865 17 Mile Drive, Pebble Beach, Greater Monterey Peninsula Area Plan (APN: 007-201-015-000). The subject parcel is zoned Medium Density Residential with a Building Site, Design Control, and Recreation Equipment Storage Overlay, or “MDR/B-6-D-RES”. This project involves the construction of a new 3,651 square foot two story residence with a 718 square foot attached garage. Pursuant to MCC Section 21.12.030.A, MDR allows establishment of a single family dwelling on the property and pursuant to MCC Section 21.44.030, the development is subject to a Design Approval because it lies within a Design Control overlay. Therefore, the proposed project is an allowed use.
- c) Lot Legality. The current configuration of the subject property is identified as Lot 14 in Block 11 of the Monterey Peninsula Country Club Subdivision No. 1. Therefore, the County recognizes the property as a legal lot of record.
- d) Design/Neighborhood and Community Character. Pursuant to MCC Chapter 21.44, the project is subject to the Design Control Zoning District (“D” district) standards, which are intended to regulate the location, size, materials, and colors of the structures to assure protection of the public viewshed and neighborhood character. The homes in this residential neighborhood are largely modern in character and vary between 1 and 2 stories. The proposed 2 story single family dwelling is similar in nature to those located in the immediate area, reflecting that of a modern craftsman style home with mahogany, stained wood, cedar shiplap and stone veneer siding; aluminum door and window frames, glass guard rail, and Tesla solar panel roof tiles. The proposed design and architectural scheme do not detract from the neighborhood’s character and will not detract from its visual integrity. Homes in the immediate area have similar modern and craftsman architectural styles. While this project will not impact any visual resources, Figure 14 of the Greater Monterey Peninsula Area Plan (GMPAP) illustrates that the subject property is located within an area which is mapped as visually sensitive. Although this project fronts on 17 Mile Drive this lot does not present a threat to the visual sensitivity of the area, because the lot is surrounded by residential units and therefore is not viewed as a detriment to the public viewshed. The property is not visible from either Highway 1 or Highway 68. The proposed is within an established residential neighborhood of the inland area of Pebble Beach. The project will not create any new visual impacts or exacerbate any existing impacts.
- e) Development Standards. The MDR district establishes a maximum building site coverage and maximum floor area ratio (FAR) of 35%, (4,373 square feet). The proposed coverage is 3,061 square feet and FAR is 4,369 square feet, which meet the regulations. A Variance (ZA00595) was granted in 1969 for the Del Monte Forest Country Club Area which established special setbacks; 20 feet from the front, 10 feet from the side and rear, and for second stories 20 feet from the side. As shown in the attached plans (Attachment 2), the project meets these development standards. A balcony at the western portion

of the property extends into the side setback by 3 feet which is allowable pursuant to an exception in MCC Section 21.62.040.D.

- f) Cultural Resources. The project site is mapped as a high archaeological sensitivity area; however, an archaeological report (Finding 1, Evidence “b”) was prepared for the site and that report found no evidence of archeological resources. The siting and design of the project is not likely to impact archaeological resources, however, a standard condition of approval will be applied which requires work to stop and notification of the County and a professional archaeologist in the event that unanticipated resources are discovered during construction.
- g) Based on the LUAC procedure guidelines adopted by the Monterey County Board of Supervisors, the project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review on June 16, 2022. The LUAC unanimously recommended the project for approval with minor changes to the asphalt guest parking which was initially proposed towards the front of the lot and since has been removed, with a vote of 6 ayes to 0 noes.
- h) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development can be found in HCD-Planning File No. PLN220059.

**2. FINDING:**

**SITE SUITABILITY** – The site is physically suitable for the proposed use.

**EVIDENCE:**

- a) The project includes construction of a single family dwelling and an attached garage which establishes a residential use in a residential neighborhood. The project was reviewed by HCD-Planning. Conditions recommended have been incorporated.
- b) Staff identified potential impacts to archaeological and forest resources as well as soils. The following reports have been prepared:
  - “Preliminary Archaeological Reconnaissance Report” (LIB220163) prepared by Patricia Paramoure Archaeological Consulting, Soquel, CA, May 2, 2021.
  - “Arborist Report”, (LIB220164) prepared by Amanda Gates, Carmel, CA, March 8, 2022.
  - “Soil Engineering Investigation” (LIB220615) prepared by Landset Engineers, Inc., Salinas, CA, October 2021.County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.
- c) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220059.

**3. FINDING:**

**HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or present opportunity for injury to property and

improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, and conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary public facilities are existing on the subject property. California American Water Company is the domestic water purveyor and wastewater services are provided by Carmel Area Wastewater District through the Pebble Beach Community Services District. The project applicant has purchased water credits for the proposed development.
  - c) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in HCD-Planning File No. PLN220059.

- 4. FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
  - b) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220059.

- 5. FINDING:** **TREE REMOVAL** – The subject project minimizes tree removal in accordance with the applicable goals and policies of the 2010 General Plan, Greater Monterey Peninsula Area Plan, and Monterey County Zoning Ordinance.

- a) The project involves the removal of a 23 inch Monterey pine tree which has been identified as a tree that is hazardous. The proposed design and siting of the home took into consideration the minimum number of trees that could be removed and will not incur an adverse environmental impact. Due to the location of the tree (roughly the middle of the lot), development without this tree’s removal is not feasible and is the minimal amount possible.
- b) The arborist report (Finding 2, Evidence “b”) prepared for this project application indicated that construction related impacts would likely cause damage to the tree’s root system and possibly lead the tree to fail; therefore, the arborist recommended that the tree be removed.
- c) Removal of this tree will not involve a risk of adverse environmental impacts in this case. No significant long-term impacts to the surrounding ecosystem are anticipated because a majority of the surrounding area is built out and developed. The project as proposed is unlikely to significantly impact the environment or reduce the availability of wildlife habitat.
- d) A condition has been placed on the project requiring a replacement tree be planted and monitored following construction of the home.

6. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts construction of new single family residence.
  - b) The subject project consists of the construction of a single-family residence with an attached garage. Therefore, the proposed development is consistent with the exemption parameters of CEQA Guidelines Section 15303.
  - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource (see Finding 1, Evidence g), a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact. No adverse environmental effects were identified during staff review of the development application.
  - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN220059.
7. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.
- EVIDENCE:** Pursuant to Monterey County Zoning Ordinance (MCC) Section 21.44.070, Design Approvals may be appealed to the Board of Supervisors.

### DECISION

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find that the project involves the construction of a single family dwelling, which qualifies as a Class 3 Categorical Exemption pursuant to Sections 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approve a:
  - a. Design Approval to allow the construction of a 4,369 square foot single family dwelling inclusive of a 718 square foot attached garage; and
  - b. Tree Removal Permit for the removal of one Monterey pine tree.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 8<sup>th</sup> day of September, 2022.

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Mike Novo, AICP  
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON \_\_\_\_\_.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE \_\_\_\_\_.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

#### NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services offices in Salinas.

# County of Monterey Housing and Community Development Planning Department

## Condition Compliance Status Report for PLN220059

(as of 09/02/2022)

### 1. PD001 - SPECIFIC USES ONLY

**Current Status:** **Not Met**

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** This Design Approval (PLN220059) allows construction of a 4,369 square foot single family dwelling including an attached garage and removal of 1 pine tree. The property is located at 2865 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 007-201-015-000), Greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

**Comments By Staff**

**Last Update on:**

**Updated By:**

9/2/2022 2:21:54AM

PATTONC

Condition Compliance Status Report for PLN220059

2. PD002 - NOTICE PERMIT APPROVAL

Current Status: **Not Met**

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state: "A Design Approval (Resolution Number \_\_\_\_\_) was approved by Zoning Administrator for Assessor's Parcel Number 007-201-015-000 on September 8, 2022. The permit was granted subject to 10 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

Comments By Staff

Last Update on:

Updated By:

9/2/2022 2:21:54AM

PATTONC

Condition Compliance Status Report for PLN220059

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Current Status: **Not Met**

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

Comments By Staff

Last Update on:

Updated By:

9/2/2022 2:21:54AM

PATTONC

## Condition Compliance Status Report for PLN220059

### 4. PD011 - TREE AND ROOT PROTECTION

**Current Status:** **Not Met**

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

**Comments By Staff**

**Last Update on:**

**Updated By:**

9/2/2022 2:21:54AM

PATTONC

### 5. PD011(A) - TREE REMOVAL

**Current Status:** **Not Met**

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

**Compliance or Monitoring Action to be Performed:** Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

**Comments By Staff**

**Last Update on:**

**Updated By:**

9/2/2022 2:21:54AM

PATTONC

## Condition Compliance Status Report for PLN220059

### 6. PD048 - TREE REPLACEMENT/RELOCATION

**Current Status:** **Not Met**

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 1:1 ratio (5 gallons or larger) pine

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

**Comments By Staff**

**Last Update on:**

**Updated By:**

9/2/2022 2:21:54AM

PATTONC

### 7. PD006(A) - CONDITION COMPLIANCE FEE

**Current Status:** **Not Met**

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

**Compliance or Monitoring Action to be Performed:** Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

**Comments By Staff**

**Last Update on:**

**Updated By:**

9/2/2022 2:21:54AM

PATTONC

## Condition Compliance Status Report for PLN220059

### 8. PW0044 - CONSTRUCTION MANAGEMENT PLAN

**Current Status:** **Not Met**

**Responsible Department:** Public Works Department

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

**Compliance or Monitoring Action to be Performed:**

1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

*Comments By Staff*

*Last Update on:*

*Updated By:*

9/2/2022 2:21:54AM

PATTONC

### 9. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

**Current Status:** **Not Met**

**Responsible Department:** Public Works Department

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

*Comments By Staff*

*Last Update on:*

*Updated By:*

9/2/2022 2:21:54AM

PATTONC

## Condition Compliance Status Report for PLN220059

### 10. PW0045 – COUNTYWIDE TRAFFIC FEE

**Current Status:** **Not Met**

**Responsible Department:** Public Works Department

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

**Comments By Staff**

**Last Update on:**

**Updated By:**

9/2/2022 2:21:54AM

PATTONC



**PROJECT DATA**

**OWNER:** Dr. Taufiek and Theresa Alhadi  
 24845 Fairmount Dr  
 Dearborn MI, 48124  
 E-mail: alhadi1@aol.com  
 Contact: Taufiek Alhadi

**ARCHITECT:** Lx Design Studio  
 3771 Rio Road, Suite 101A  
 Carmel, CA 93921  
 Phone: 206-427-3539  
 E-mail: patrick@lxdesignstudio.com  
 Contact: Patrick LeMaster, AIA, LEED AP

**STRUCTURAL:** t.b.d

**CONTRACTOR:** t.b.d



**Design Studio**

ARCHITECTURE + PLANNING

3771 Rio Road - Suite 101A  
 Carmel CA 93923  
 (PH) 206.427.3539  
 lxdesignstudio.com



SHEET NO.	SHEET NAME	P.R. ARE. REVIEW
		1.11.22
GENERAL		
G1.0	GENERAL INFORMATION	•
G1.1	GENERAL NOTES	•
G2.0	SURVEY	•
G3.0	EROSION CONTROL & C.M.P PLAN	•
G3.1	EROSION CONTROL & C.M.P PLAN	•
ARCHITECTURE		
A1.0	SITE PLAN	•
A1.20	GRADING PLAN	•
A2.11	1ST FLOOR PLAN	•
A2.12	2ND FLOOR PLAN	•
A2.20	ROOF PLAN	•
A2.30	1ST FLOOR RCP PLAN	•
A2.31	2ST FLOOR RCP PLAN	•
A2.40	ENLARGED KITCHEN / ELEVATIONS	•
A3.10	EXTERIOR MATERIAL PALLETTE	•
A3.11	EXTERIOR MATERIAL PALLETTE	•
A3.30	EXTERIOR ELEVATIONS	•
A3.40	EXTERIOR ELEVATIONS	•
A4.10	BUILDING SECTIONS	•
A5.00	WALL SECTIONS	•
LANDSCAPE		
L1.0	CONCEPTUAL LANDSCAPE PLAN	•

**SCOPE OF WORK**

A NEW 4369 SF TWO STORY SINGLE FAMILY RESIDENCE. THE RESIDENCE CONSISTS OF 2728 SF ON THE FIRST FLOOR INCLUDING AN ATTACHED 2 CAR GARAGE. THE 2ND FLOOR CONSISTS OF 1,641 SF WITH 2 ROOF TERRACES (467 SF) FACING SOUTH WEST FOR SUN EXPOSURE AND ACCESS TO PRIMARY VIEWS.

**ZONING INFORMATION**

PROPERTY ADDRESS: 2865 17 MILE DRIVE PEBBLE BEACH, CA 93953

APN: 007-201- 015-000

ZONING: MDR/B-6-D-RES

LOT SIZE: .286 ACRES (12,494 SF)

**SITE COVERAGE (MAX 35% = 4,373 SF)**

RESIDENCE: 2,728 SF  
 DECKS / PATIO > 24" ABOVE GRADE: 333 SF  
 TOTAL COVERAGE (28%): 3,061 SF

**FLOOR AREA RATIO (MAX 35% = 4,373 SF)**

1ST FLOOR: 2,728 SF  
 2ND FLOOR: 1,641 SF  
 TOTAL FLOOR AREA (34.9%): 4,369 SF

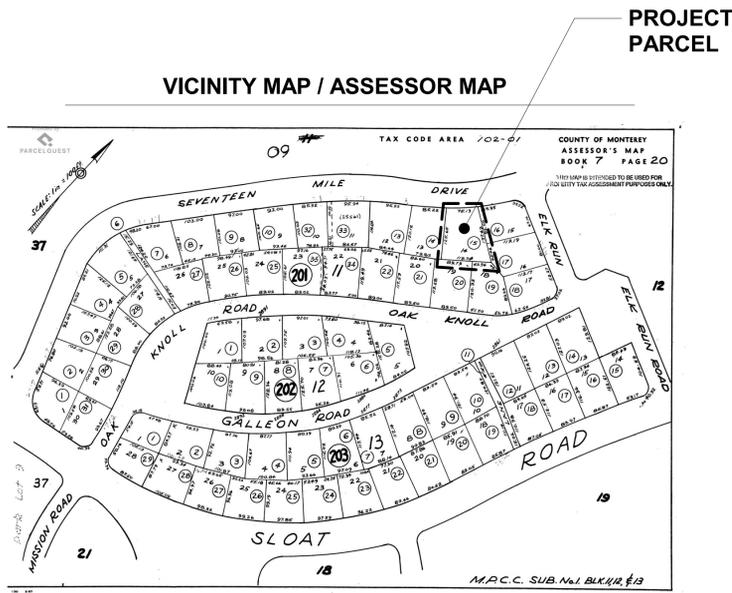
**SETBACKS**

MAIN STRUCTURE	FRONT	20'	ACCESSORY STRUCTURE	FRONT	50'
	SIDE	10' (20' 2ND STORY)		SIDE	6'
	REAR	20'		REAR	6'

HEIGHT LIMIT: 27' MAIN STRUCTURE  
 15' ACCESSORY STRSTRUCTURE

**BUILDING AREA**

Area Schedule (Gross Building)		Area Schedule (Exterior Deck)	
Level	Area	Level	Area
LEVEL 1	2010 SF	LEVEL 2	466 SF
ATTACHED GARAGE	718 SF	TOTAL	466 SF
LEVEL 2	1641 SF		
TOTAL	4369 SF		



**PROJECT PARCEL**

**GRADING ESTIMATES**

GRADING CUT: 225 CU.YDS.  
 GRADING FILL: 38.4 CU.YDS.  
 GRADING NET CUT OR FILL: 182 CU.YDS. (CUT)

**MISCELLANEOUS**

WATER SOURCE: CAL AM

SEWER SYSTEM: Pebble Beach

TREES TO BE REMOVED: 1 - 24" Pine

**BUILDING CODE INFO**

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

- 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA PLUMBING CODE (CPC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 CALIFORNIA ENERGY CODE (CEnc)
- 2019 CALIFORNIA FIRE CODE (CFc)
- 2019 CALIFORNIA GREEN BUILDING STANDARDS

**SHEET ISSUE**

REVISION #

OWNER: Dr. Taufiek and Theresa Alhadi  
 Pebble Beach

**Alhadi Residence**  
 2865 17 mile drive  
 Pebble Beach, CA 93953

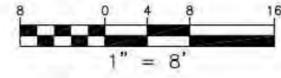
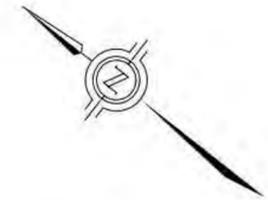
**SCHEMATIC DESIGN**

Scale:  
 Job: 2104

Sheet  
**GENERAL INFORMATION**

**G1.0**

8/22/2022 5:03:44 PM



**LEGEND**

	PROPERTY LINE
	FLOW LINE
	WOOD FENCE
	WIRE FENCE
	MAJOR CONTOUR
	MINOR CONTOUR

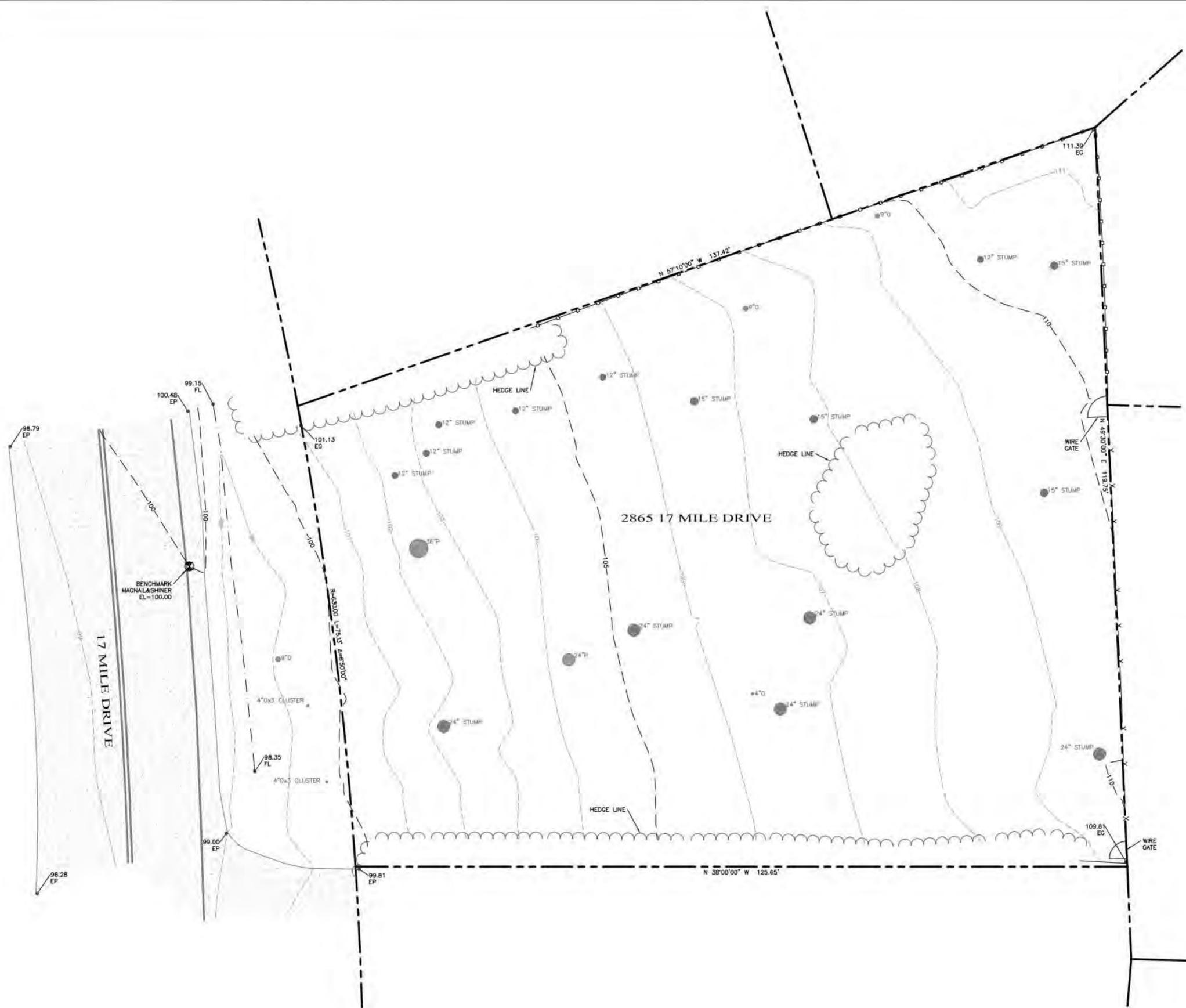
80.00 → SPOT ELEVATION

AC	ASPHALT
C	CYPRESS TREE
EG	EXISTING GRADE
EP	EDGE OF PAVEMENT
FL	FLOW LINE
O	OAK TREE
P	PINE TREE
T	TREE
TY	TYPICAL

AC PAVEMENT

**NOTES:**

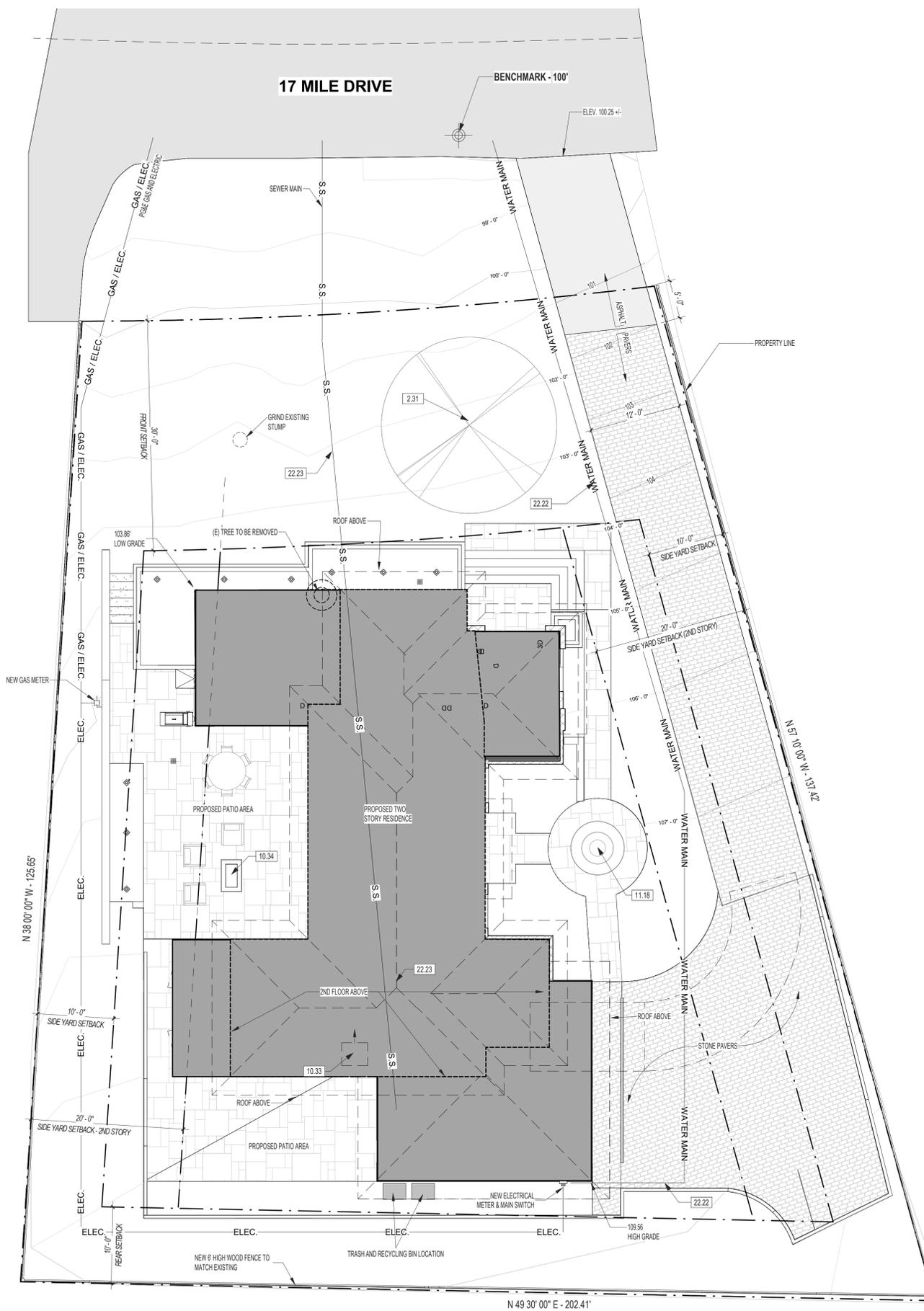
- BOUNDARY DATA SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DOCUMENTS. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS PER VOLUME 3 OF CITIES & TOWNS AT PAGE 26, AND SHOWN APPROXIMATE ONLY.
- ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
- DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
- CONTOUR INTERVAL = ONE FOOT.
- TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
- POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS, IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
- NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
- A LOCAL BENCHMARK FOR THIS PROJECT IS A SET MAG NAIL & SHINER IN 17 MILE DRIVE AS SHOWN HEREON, HAVING AN ELEVATION OF 100.00 BASED ON AN ASSUMED DATUM.
- THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN APRIL 2021.



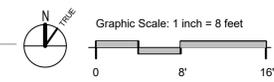
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 DESIGNED BY: 4/23/21  
 DATE: 4/23/21  
 SCALE: 1" = 8'  
 JOB NUMBER: 21-30  
 LAST REVISED: 21-30  
 REVISED BY:

PREPARED FOR:  
**DR. TAUFIEK AND THERESA ALHADI**  
 24845 FAIRMOUNT DRIVE  
 DEARBORN, MI 48124

TOPOGRAPHIC SURVEY  
 2865 17 MILE DRIVE  
 PEBBLE BEACH, CA 93953  
 APN: 007-201-015



1 Site Plan  
1/8" = 1'-0"



LANDSCAPE LIGHTING SYMBOLS  
 BOLLARD LUMINAIRE - LED LOW VOLTAGE (T.B.D)

GENERAL SHEET NOTES

- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES.
- IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY PLANNING AND A QUALIFIED ARCHAEOLOGIST (I.E. AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.
- TREE PROTECTION: PROVIDE 2X4 WOOD STAKING 4'-0" TALL (MIN.) WITH ORANGE NETTING AROUND EACH TREE PER PLAN. ALL EXCAVATION IN CLOSE PROXIMITY TO TREES SHALL BE MADE BY HAND DIGGING.

**Lx**  
**Design Studio**  
 ARCHITECTURE  
 +  
 PLANNING  
 3771 Rio Road - Suite 101A  
 Carmel CA 93923  
 (PH) 206.427.3539  
 lxdesignstudio.com



SHEET ISSUE

REVISION #	DESCRIPTION

OWNER:  
**Dr. Taufek and Theresa Alhadi**  
 Pebble Beach

**Alhadi Residence**  
 2885 17 mile drive  
 Pebble Beach, CA 93953

**SCHEMATIC DESIGN**  
 Scale: As indicated  
 Job: 2104

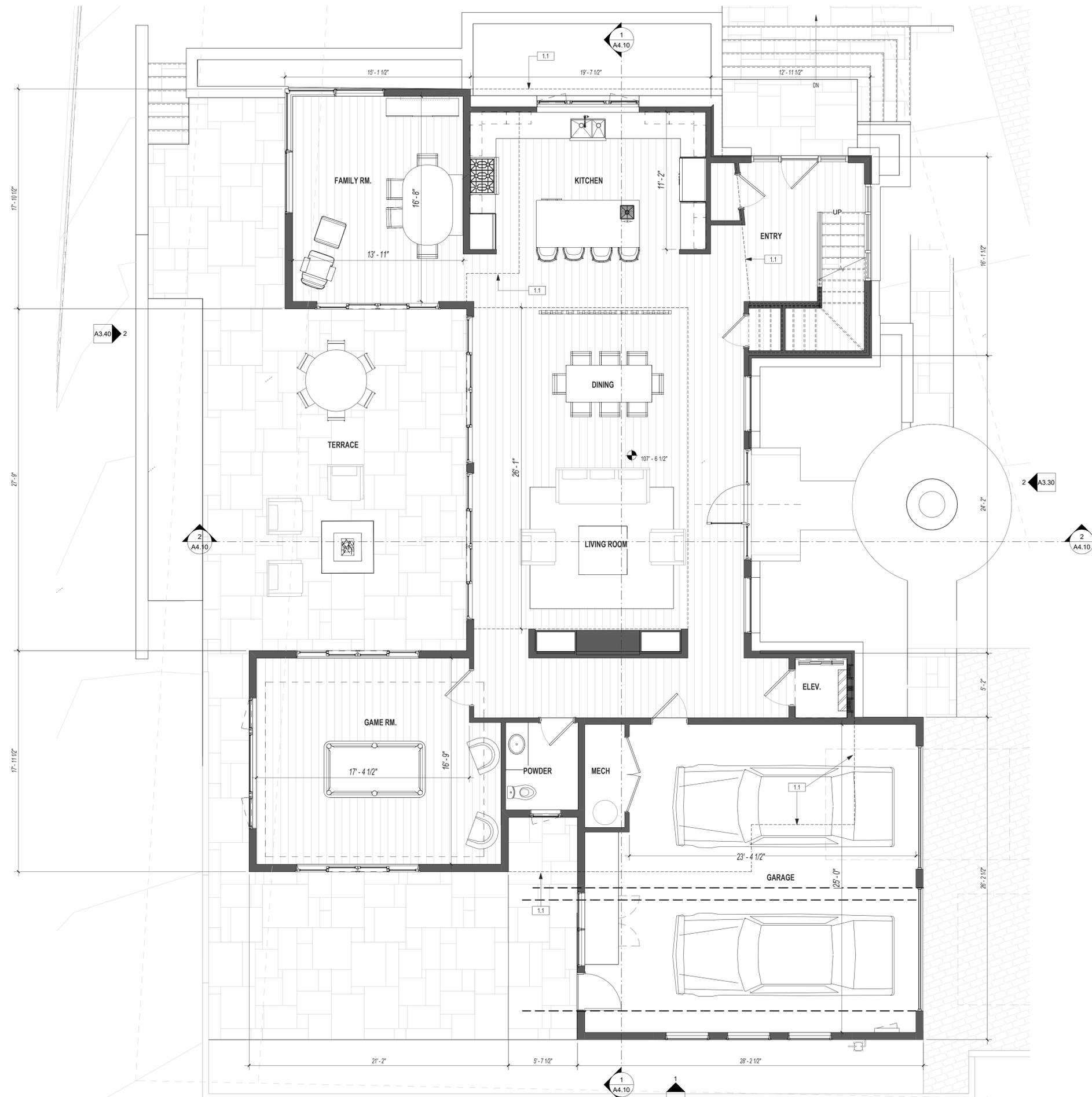
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**SITE PLAN**

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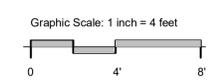
SHEET KEYNOTES

KEYNOTE#	DESCRIPTION
2.31	EXISTING TREES TO REMAIN - INSTALL TREE PROTECTION PRIOR TO CONSTRUCTION
10.33	36"X36" CRAWLSPACE ACCESS HATCH
10.34	48"X36" GAS FIRE PIT TABLE WITH NG CONVERSION KIT, BY REALFLAME #C3813 -WEATHERED SLATE COLOR
11.18	NEW WATER FEATURE
22.22	PROPOSED WATER MAIN LOCATION
22.23	PROPOSED MAIN WASTE LINE LOCATION

AVERAGE GRADE CALCULATION:  
 LOW GRADE = 103.86  
 HIGH GRADE = 109.56  
 TOTAL 213.42 / 2 = 106.71'



1 1ST LEVEL FLOOR PLAN  
1/4" = 1'-0"



GENERAL SHEET NOTES



SHEET ISSUE

REVISION	SCHEDULE

**OWNER:**  
Dr. Taufek and Theresa Alhadi  
Pebble Beach

**Alhadi Residence**  
2665 17 mile drive  
Pebble Beach, CA 93963

SCHEMATIC DESIGN

Scale: 1/4" = 1'-0"  
Job: 2104

Sheet  
1ST FLOOR PLAN

A2.11

1/10/2022 2:36:34 PM

SHEET KEYNOTES

KEYNOTE #	DESCRIPTION
1.1	2ND FLOOR ABOVE

Area Schedule (Gross Building)	
Level	Area
LEVEL 1	2728 SF
LEVEL 2	1641 SF
	4369 SF



SHEET ISSUE

REVISION SCHEDULE

OWNER:  
Dr. Taufiek and Theresa Alhadi  
Pebble Beach

**Alhadi Residence**  
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Pebble Beach CA 93953

SCHEMATIC DESIGN

Scale: 1/4" = 1'-0"

Job: 2104

Sheet  
2ND FLOOR PLAN

A2.12

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GENERAL SHEET NOTES

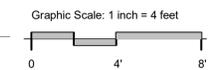
SHEET KEYNOTES

KEYNOTE #	DESCRIPTION

Area Schedule (Gross Building)	
Level	Area
LEVEL 1	2728 SF
LEVEL 2	1641 SF
	4369 SF



**2ND FLOOR - FLOOR PLAN**  
1/4" = 1'-0"





SHEET ISSUE

REVISION SCHEDULE



**OWNER:**  
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Pebble Beach

**Alhadi Residence**  
2865 17 mile drive  
Pebble Beach CA 93953

**SCHEMATIC DESIGN**

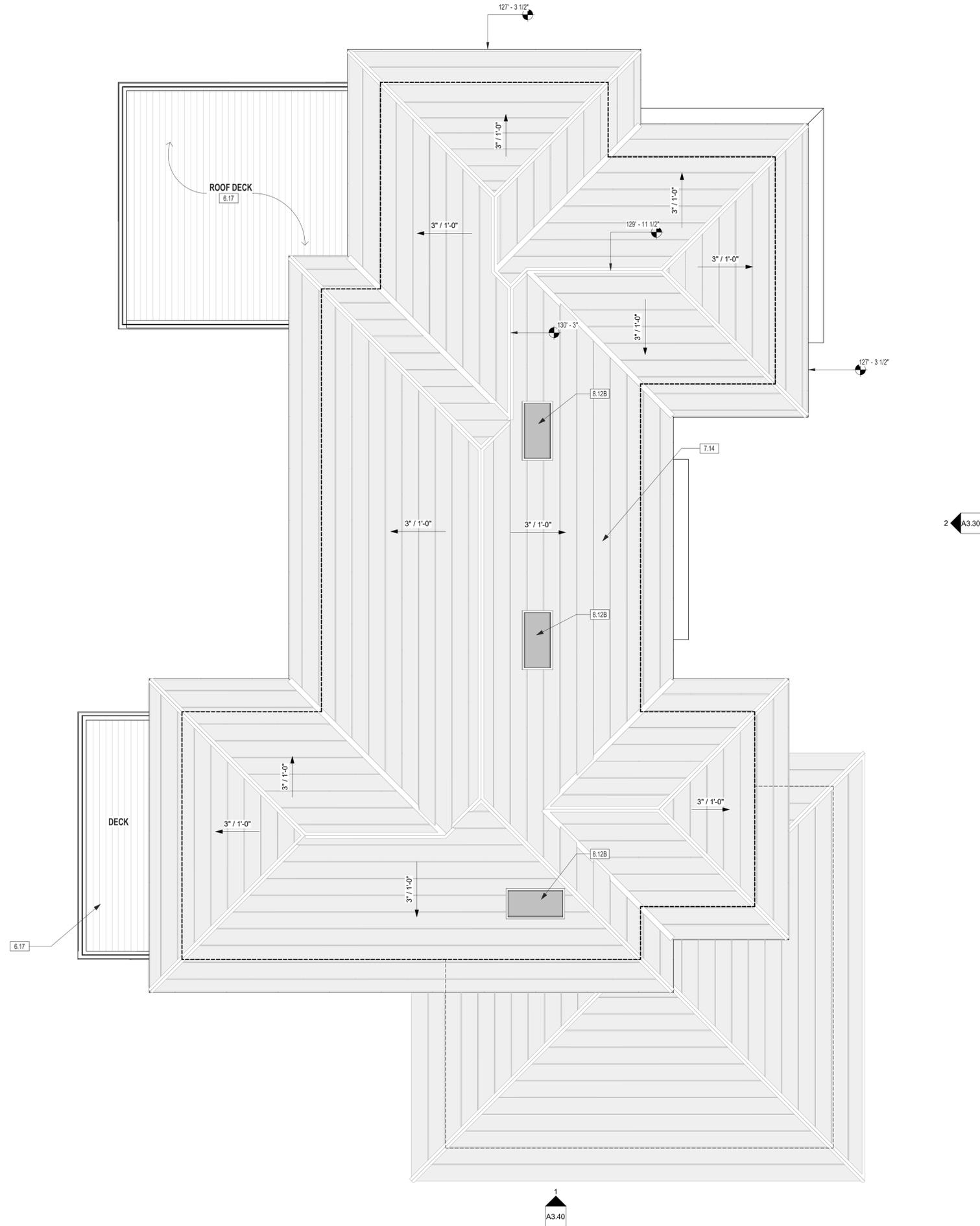
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ROOF PLAN

**A2.20**

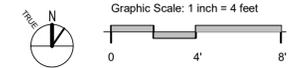
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**SHEET KEYNOTES**

KEYNOTE #	DESCRIPTION
6.17	NEW WOOD DECK (KEBONY 5/4 X 6 DECK BOARD)
7.14	NEW TESLA TILE SOLAR ROOF
8.12B	SKYLIGHT (OPERABLE)

1 **ROOF - SHEET**  
1/4" = 1'-0"





1 3D VIEW - NORTH ELEVATION  
12" = 1'-0"



2 3D VIEW - EAST ELEVATION  
12" = 1'-0"



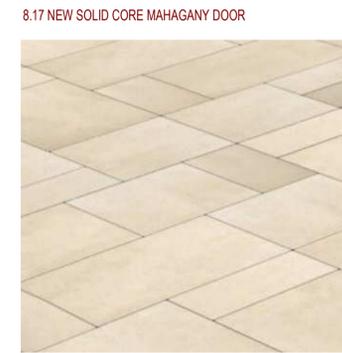
9.19 - STAINED WOOD BEAM TO MATCH SIDING



6.10D - 1X6 CEDAR OR KEBONO SHIPLAP SIDING (HORIZONTAL)



4.1 - STONE VENEER - "GOLDSTONE" SPLIT FACE DIMENSIONAL (3 SIZES)



8.17 NEW SOLID CORE MAHAGANY DOOR



7.14 - TESLA "SOLAR ROOF" ROOF TILES WITH INTEGRATED PV PANELS



32.6 STONE PAVERS - BELGARD LAFITT GRANA SLAB - COLOR: ASPEN



8.13 - ALUMINUM EXTERIOR DOORS AND WINDOW FRAMES - DARK BRONZE COLOR



32.5 - STONE PAVER - BELGAR - AVALON SLATE - COLOR: ASPEN



9.18 - PAINTED PVC FASCIA BOARD COLOR TO MATCH ROOF



26.19 - DOUBLE AXIS SMALL LED OUTDOOR SCONCE



1 3D VIEW - SOUTH ELEVATION  
12" = 1'-0"



2 3D VIEW - WEST ELEVATION  
12" = 1'-0"



9.19 - STAINED WOOD BEAM TO MATCH SIDING



6.10D - 1X6 CEDAR OR KEBONO SHIPLAP SIDING (HORIZONTAL)



8.17 NEW SOLID CORE MAHAGANY DOOR



4.1 - STONE VENEER - "GOLDSTONE" SPLIT FACE DIMENSIONAL (3 SIZES)



32.6 STONE PAVERS - BELGARD LAFITT GRANA SLAB - COLOR: ASPEN



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32.5 - STONE PAVER - BELGAR - AVALON SLATE - COLOR: ASPEN



8.13 - ALUMINUM EXTERIOR DOORS AND WINDOW FRAMES - DARK BRONZE COLOR



9.18 - PAINTED PVC FASCIA BOARD COLOR TO MATCH ROOF



26.19 - DOUBLE AXIS SMALL LED OUTDOOR SCONCE



SHEET ISSUE

REVISION SCHEDULE



OWNER:  
Dr. Taufiek and Theresa Alhadi  
Pebble Beach

**Alhadi Residence**  
2865 17 mile drive  
Pebble Beach CA 93953

SCHEMATIC DESIGN

Scale: 12" = 1'-0"

Job: 2104

Sheet  
EXTERIOR  
MATERIAL  
PALLETTE

A3.11

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SHEET ISSUE



1 NORTH ELEVATION  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"

SHEET KEYNOTES

KEYNOTE #	DESCRIPTION
4.1	NEW STONE VENEER
5.3B	42" HIGH GLASS GUARD RAIL (PAINTED)
6.10D	NEW WOOD SHIP LAP SIDING - 1x6 CLEAR CEDAR OR KEBONY
7.14	NEW TESLA TILE SOLAR ROOF
8.13	NEW DARK BRONZE WOOD/ALUMINUM CLAD WINDOWS AND DOORS
9.18	PAINTED PVC FASCIA BOARD COLOR TO MATCH ROOF
26.19	NEW DOUBLE AXIS SMALL LED OUTDOOR SCNCE

LEGEND

REVISION SCHEDULE

OWNER:  
Dr. Taufiek and Theresa Alhadi  
Pebble Beach

**Alhadi Residence**  
2865 17<sup>th</sup> mile drive  
Pebble Beach CA 93953

SCHEMATIC DESIGN

Scale: 1/4" = 1'-0"

Job: 2104

Sheet  
EXTERIOR  
ELEVATIONS

A3.30

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GENERAL SHEET NOTES



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+  
PLANNING

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SHEET ISSUE

REVISION SCHEDULE

A

OWNER:

Dr. Taufiek and Theresa Alhadi  
Pebble Beach

**Alhadi Residence**  
2865 17<sup>th</sup> mile drive  
Pebble Beach CA 93953

SCHEMATIC DESIGN

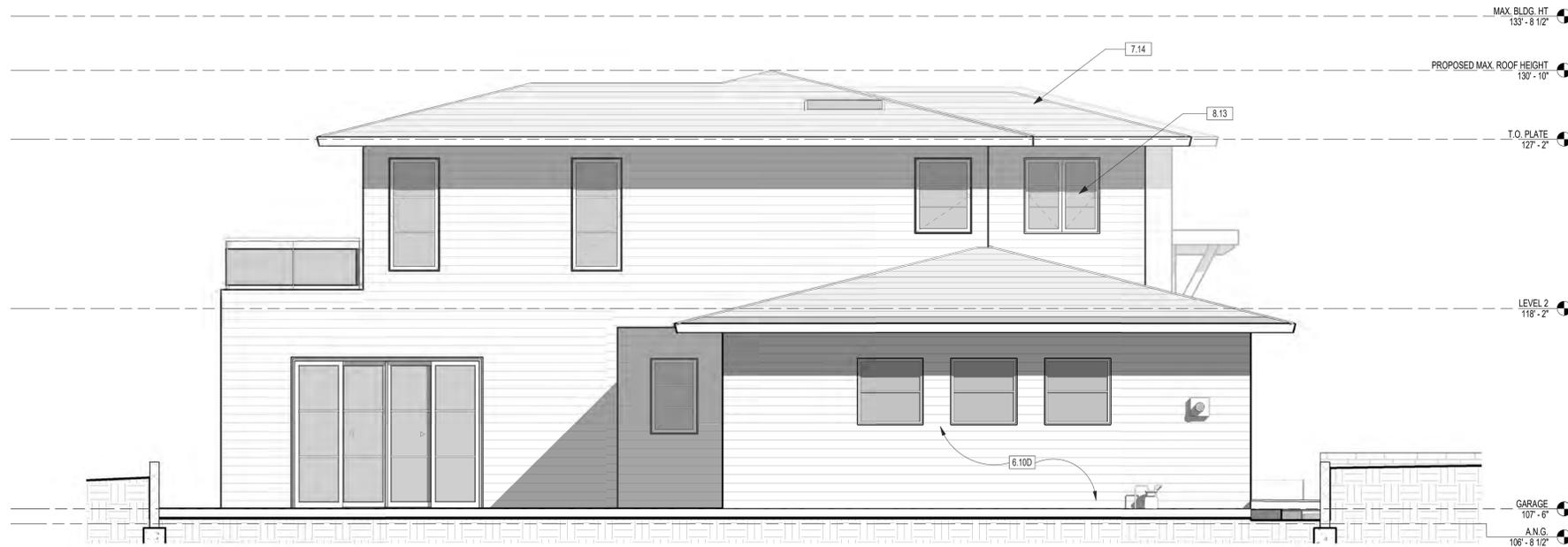
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EXTERIOR  
ELEVATIONS

A3.40

1/10/2022 3:10:22 PM



1 SOUTH ELEVATION  
1/4" = 1'-0"

SHEET KEYNOTES

KEYNOTE #	DESCRIPTION
5.3B	42" HIGH GLASS GUARD RAIL (PAINTED)
6.10D	NEW WOOD SHIP LAP SIDING - 1x6 CLEAR CEDAR OR KEBONY
7.14	NEW TESLA TILE SOLAR ROOF
8.13	NEW DARK BRONZE WOOD/ALUMINUM CLAD WINDOWS AND DOORS

LEGEND



2 WEST ELEVATION  
1/4" = 1'-0"

GENERAL SHEET NOTES



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ARCHITECTURE + PLANNING

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206.427.3539



SHEET ISSUE

REVISION SCHEDULE

OWNER:

Dr. Taufiek and Theresa Alhadi  
Pebble Beach

**Alhadi Residence**  
2865 17<sup>th</sup> Mile Drive  
Pebble Beach CA 93953

SCHEMATIC DESIGN

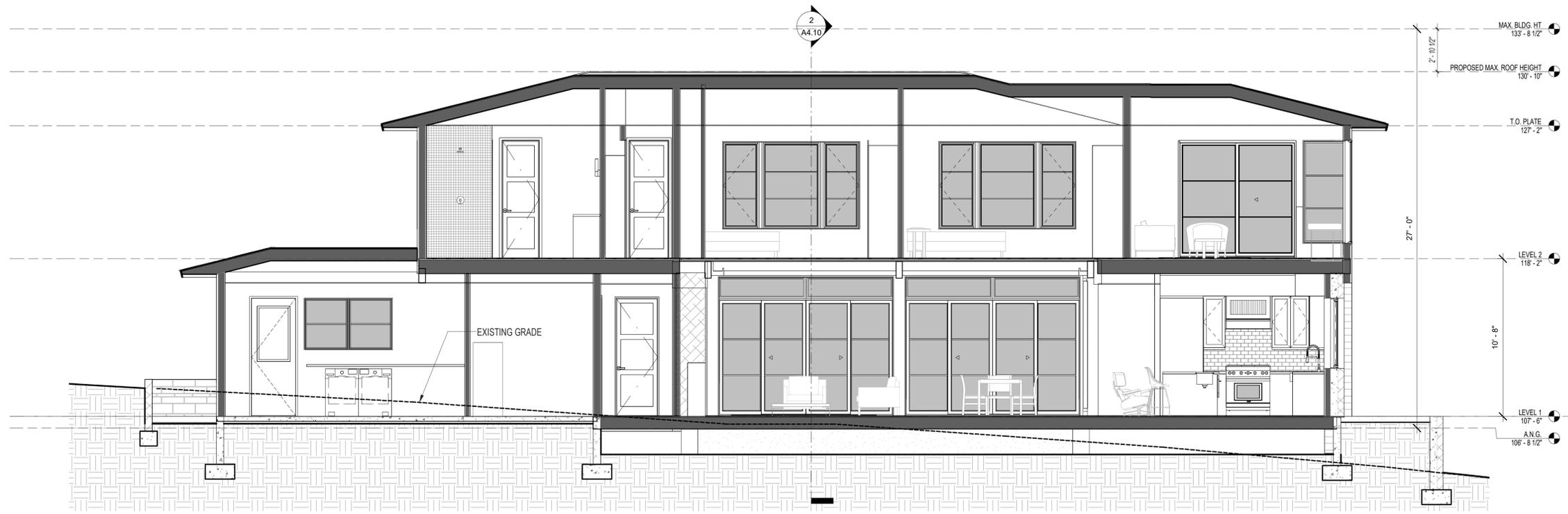
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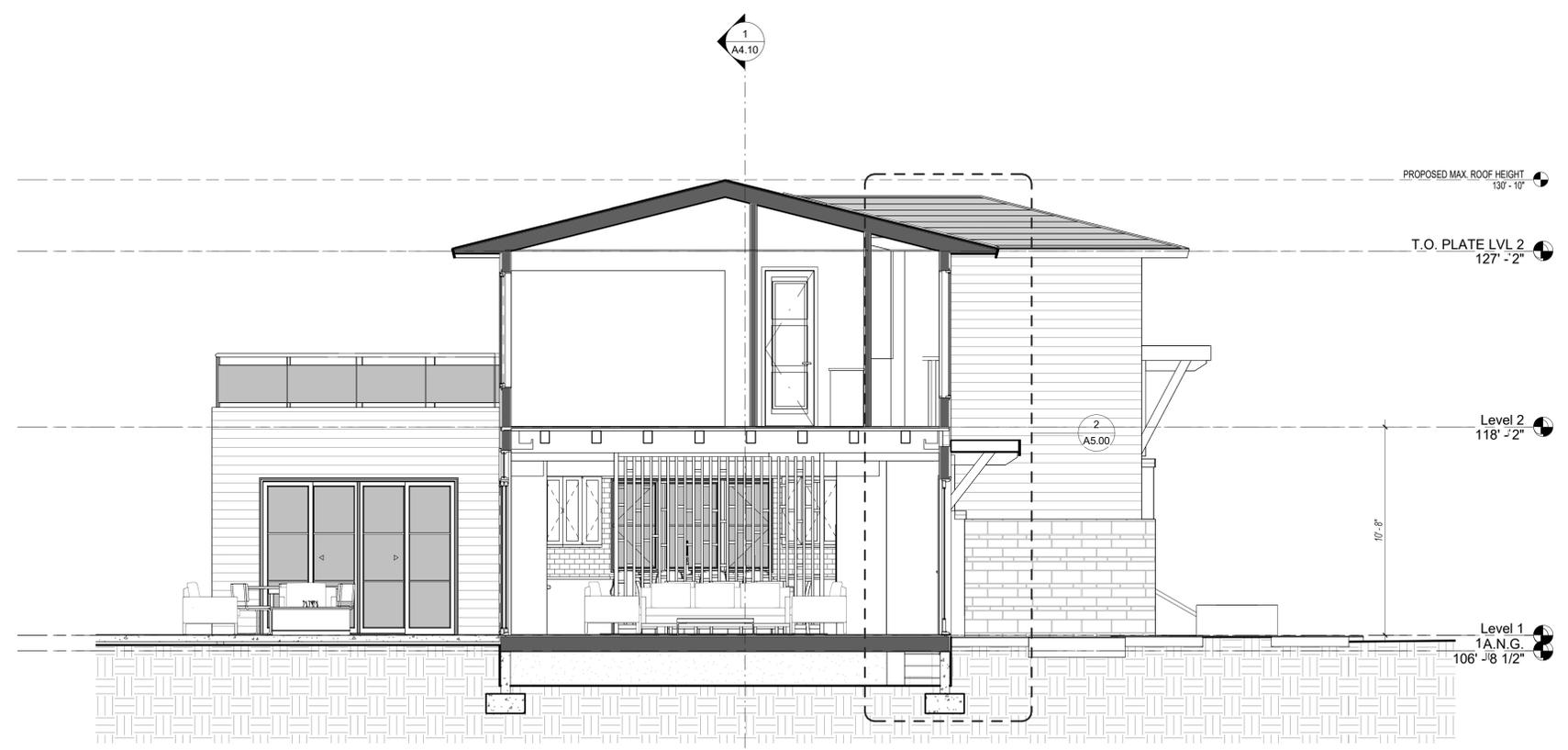
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BUILDING  
SECTIONS

A4.10

1/10/2022 2:37:07 PM



1 Section A  
1/4" = 1'-0"



2 Section B  
1/4" = 1'-0"

SHEET KEYNOTES

KEYNOTE #	DESCRIPTION



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SHEET ISSUE

REVISION SCHEDULE

OWNER:  
Dr. Taufiek and Theresa Alhadi  
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2865 17<sup>th</sup> Mile Drive  
Pebble Beach CA 93953

SCHEMATIC DESIGN

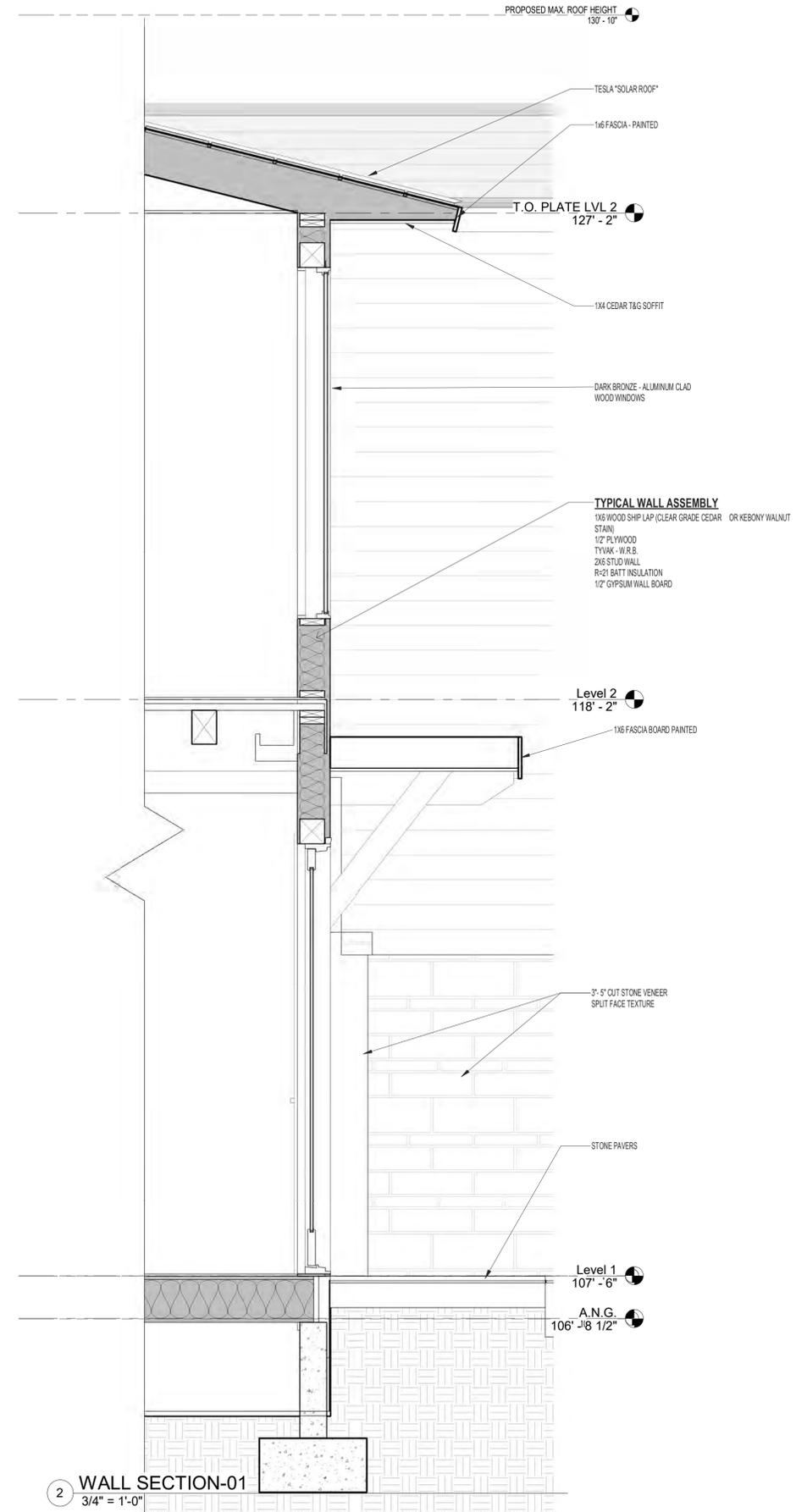
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Job: 2104

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WALL SECTIONS

A5.00

1/10/2022 2:37:10 PM





ALHADI RESIDENCE

2865 17 MILE DRIVE  
PEBBLE BEACH, CA 93953

APN:

Issue set: DESIGN APPROVAL  
Issue date: 7 MAY, 2022

Previous Issue

REV.	DESCRIPTION	DATE
------	-------------	------

Preliminary Planting Plan

Scale: 1/8" = 1'-0"  
Drawn by: BH

L1.0

PLANT LEGEND

Symbol	Quantity	Botanical Name	Common Name	Container Size	Spacing
<b>TREES</b>					
	1	<i>Acer palmatum</i>	Japanese Maple	24" box	as shown
<b>SHRUBS</b>					
	15	<i>Anigozanthos 'Big Red'</i>	Big Red Kangaroo Paw	5 gal	as shown
	27	<i>Anigozanthos 'Harmony'</i>	Harmony Kangaroo Paw	5 gal	as shown
	62	<i>Arctostaphylos 'Emerald Carpet'</i>	Emerald Carpet Manzanita	1 gal	18" o.c.
	29	<i>Arctostaphylos hookeri 'Wayside'</i>	Wayside Manzanita	5 gal	6'-0" o.c.
	36	<i>Arctostaphylos uva-ursi 'Radiant'</i>	Radiant Manzanita	1 gal	3'-0" o.c.
	190	<i>Carex pansa</i>	Californian Meadow Sedge	4"	18" o.c.
	85	<i>Carex tumulicola</i>	Berkeley Sedge	1 gal	24" o.c.
	3	<i>Echium fastuosum</i>	Pride of Madeira	15 gal	as shown
	20	<i>Phormium 'Emerald Green'</i>	Emerald Green Dwarf New Zealand Flax	5 gal	as shown
	5	<i>Phormium 'Evening Glow'</i>	Evening Glow New Zealand Flax	5 gal	as shown
	10	<i>Pittosporum crassifolium</i>	Karo	15 gal	6'-0" o.c.
	109	<i>Sesleria 'Campo Azul'</i>	Autumn Moor Grass	1 gal	18" o.c.
	10	<i>Verbena bonariensis</i>	Purpletop Vervain	1 gal	18" o.c.

SUGGESTED RESTORATION MIX AT R.O.W.

<i>Abronia villosa</i>	Sand Verbena	4"	t.b.d.
<i>Artemisia californica</i>	California Sagebrush	1 gal	t.b.d.
<i>Carex pansa</i>	Californian Meadow Sedge	1 gal	t.b.d.
<i>Dudleya caespitosa</i>	Coast Dudleya	4"	t.b.d.
<i>Eriogonum latifolium</i>	Seaside Buckwheat	1 gal	t.b.d.



Restore any area disturbed in the ROW, see Legend for proposed plant list

