

**Before the Zoning Administrator
in and for the County of Monterey, State of California**

In the matter of the application of:

**WALKER JOY DARLENE & ROBERT DANIEL TRS
(PLN200274) RESOLUTION NO. 22-031**

Resolution by the Monterey County Zoning
Administrator:

1. Finding the project involves construction of the first single-family dwelling and accessory structures on a vacant residential parcel, which qualify as Class 3 Categorical Exemptions pursuant to Section 15303(a) and (e) of the CEQA guidelines and there are no exceptions pursuant to Section 15300.2 of the CEQA guidelines; and
2. Approving Combined Development Permit consisting of:
 - a. Coastal Administrative Permit & Design Approval to allow construction of a 4,758 square foot two-story single family dwelling with a 106 square foot covered entry, a 105 square foot balcony, a 1,005 square foot first floor terrace & a 988 square foot attached garage;
 - b. Coastal Development Permit & Design Approval to allow construction of a 356 square foot guesthouse above the garage with a 50 square foot balcony;
 - c. Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Areas; and
 - d. Coastal Development Permit to allow removal of nine (9) Monterey Pine trees.

[1634 Sonado Rd, Pebble Beach (Assessor's Parcel Number 008-202-014-000), Del Monte Forest Land Use Plan, Coastal Zone.]

The WALKER application (PLN200274) came on for a public hearing before the Monterey County Zoning Administrator on August 25, 2022. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:**
- a) The project has been reviewed for consistency with the text, policies, and regulations in the:
- 1982 Monterey County General Plan (General Plan);
 - Del Monte Forest Land Use Plan (DMF LUP);
 - Monterey County Coastal Implementation Plan, Part 5 (DMF CIP); and
 - Monterey County Coastal Zoning Ordinance (Title 20).

Potential conflicts were found to exist with the DMF LUP and DMF CIP pursuant to development within environmentally sensitive habitat areas (ESHA). Conditions have been applied to ensure that the rare plants that qualify as habitat are transplanted and replaced on the site in accordance with the DMF CIP. As conditioned, the project ensures the long-term maintenance of the habitat in compliance with the applicable text, policies, and regulations. No communications were received during the course of project review to indicate inconsistency with the text, policies, and/or regulations of the applicable Monterey County Code (MCC).

Because the subject property is located within the Coastal Zone, the 2010 Monterey County General Plan does not apply.

- b) Allowed Use. The subject property is located at 1634 Sonado Rd, Pebble Beach (Assessor's Parcel Number 008-202-014-000), Del Monte Forest Land Use Plan, and is within the Coastal Zone. The parcel is zoned Low Density Residential, 1.5 acres per unit, with a Design Control overlay in the Coastal Zone or "LDR/1.5-D (CZ)". LDR zoning allows for the establishment of the first single family dwelling subject to the granting of a Coastal Administrative Permit and a guesthouse above a garage subject to a Coastal Development Permit. The project involves the construction of an approximately 4,758 square foot (sf) two-story single family dwelling, 106 sf covered entry, 105 sf balcony, 1,027 square first floor foot terrace, and a 988 sf detached garage with 356 sf guesthouse and 50 sf balcony above. Therefore, the development is an allowed use for this site.
- c) Lot Legality. The subject property (46,848 square feet in size), APN 008-461-005-000, is identified in its current configuration and under separate ownership as Lot 14 of Block 157A of the El Pescadero Ranch in Volume 3 Book 8, Page 202 Map. Therefore, the County recognizes the subject property as a legal lot of record.
- d) Design. Pursuant to Title 20, Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The proposed main dwelling, accessory structure and fence will match in architectural style and colors and materials, which is Italianate/Mediterranean. The colors and materials are proposed to be

beige colored stucco body and warm red “Teja Bianco Blend” classic tapered mission tile roof, dark copper gutters, dark bronze windows and front and garage doors. The driveway pavers are proposed to be cream, tan and brown. The proposed terrace tiles are limestone. The design also includes a set of 14-foot-wide wrought iron gates and 663 linear feet of 6-foot-tall wood fence and 479 linear feet of wire fence. The homes within the Pebble Beach area are eclectic in architecture, ranging from California-ranch and Mission or Italianate styles to modernist homes. The exterior finishes of the proposed home and guesthouse with matching beige stucco fence blend with the surrounding environment and are consistent with the surrounding residential neighborhood character. Retained trees will continue to surround the property and shield the development from public vista points. The plans demonstrate the intent for exterior lighting to be unobtrusive, down-lit, harmonious with the local area, located so that only the intended area is illuminated and off-site glare is fully controlled (Condition No. 9).

One letter to the Del Monte Forest Land Use Advisory Committee (LUAC) and a phone call from a neighbor expressed concern with the development’s siting on the front corner of the parcel. Although the siting may not replicate the siting of most of the homes in the neighborhood, the architect explained before the LUAC that the purpose was to keep the buildings off the slopes found on the rest of the parcel. The project does not adversely impact the public viewshed and is generally consistent with neighborhood character.

- e) Visual Resources. The project is consistent with DMF LUP policies for the protection of scenic and visual resources. As depicted on DMF LUP Figure 3, Visual Resources, the subject property is within the viewshed from Point Lobos and potentially in the viewshed from 17 Mile Dr. and other designated vista points such as the public access point at Stillwater Cove. A viewshed impact assessment by the project planner on October 22, 2021 confirmed that the proposed structure is not visible from 17-Mile Drive, Point Lobos or any vista point due to location and existing development and vegetation. See also Evidence “d” above.
- f) Review of Development Standards. The project meets all required development standards. The development standards for the Low Density Residential or “LDR” are identified in Title 20, Section 20.14.060. Development within this district shall meet the required setbacks unless otherwise indicated on a recorded final map. For the subject property, the recorded map does not identify height or setback requirements. Therefore, the required setbacks for accessory habitable structures are 50 feet (front), 1 foot (rear) and 6 feet (side). However, pursuant to MCC Section 20.62.030.D and 20.62.040.K, because the accessory structure is structurally attached to existing main residence, the required main structure setbacks and height are applied to the accessory structure: 30 feet (front), 20 feet (sides) and 20 feet (rear), and 30 feet in height. The proposed structure will have setbacks of 30 feet (front), 130 feet (rear), and 20 feet (west side). The main residence is approximately 30 feet behind the garage and

guesthouse structure. The proposed main dwelling will have a maximum height of 27 feet and 1 inch from average natural grade, and the proposed accessory structure will have a maximum height of 25 feet and 4 inches from average natural grade.

The allowed maximum site coverage and floor area ratio (FAR) is 15% and 17.5%, respectively. The subject property is 68,636 square feet (sf), which allows FAR of 12,011 sf, respectively. The project results in 6,102 sf (8.9%) FAR. The subject property requires building site coverage of 10,295 sf. The project results in approximately 4,600 sf (6.7%) building site coverage. The project meets the development standards for the zoning district.

- g) Guesthouse. The development standards for the guesthouses are identified in Title 20, Section 20.64.020. One detached guesthouse is allowed per lot; this will be the only guesthouse and it will not share internal circulation with the main dwelling. As required, it will share the same utilities with the main residence and be subordinate to it. Guesthouses may not contain no kitchen or cooking facilities; the floor plan for the proposed guesthouse shows that it does not have a kitchen. Guesthouses must be 425 square feet in livable floor area; the proposed guesthouse meets this standard at 365 square feet. The height of a guesthouse is limited to fifteen feet unless it is constructed above a garage and, in that case, it requires a Coastal Development Permit. That is the circumstance of this guesthouse. Guesthouses must demonstrate architectural consistency with the main residence; the proposed guesthouse will match the main residence in colors, materials, and architectural style. The project meets the development standards for guesthouses in the Coastal zone. Also, per MCC 20.64.020.C.8, a condition of approval has been applied requiring the owner to record a deed restriction to ensure the guesthouse is not separately rented, let or leased from the main residence and stating the other regulations discussed above (Condition No. 13).
- h) Combined Structural and Impervious Surface Coverage. The subject property is located within the Carmel Area of Special Biological Significance of the Pescadero Watershed, a designated watershed as shown on the DMF LUP Figure 2b. Therefore, site structural and impervious surface coverage is limited to 9,000 sf per DMF LUP Policy 77. The project will have a total impervious site coverage of 9,000 sf and an additional 1,005 sf of pervious pavers in the driveway. The project meets the Pescadero Watershed limitation on impervious surfaces.
- i) Cultural Resources. DMF CIP Section 20.147.080.B.1 states that an archaeological survey report shall be required for all development within a known or potential archaeological resource area. According to the Monterey County Geographic Informational System (GIS), the subject property has a high archaeological sensitivity and is not within 750 feet of a known archeological resource. A Preliminary Cultural Resources Reconnaissance for the property was prepared by Dana E. Supernowicz of Historic Resource Associates on April 4, 2021 (LIB210211). This archaeological report concluded that there is no surface evidence of potentially significant archaeological

resources. The nearest known cultural resource is over 1,000 feet away from the subject parcel. The potential for inadvertent impacts to cultural resources is limited and will be controlled by use of the County's standard condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.

j) Development on Environmentally Sensitive Habitat Areas.

Development within 100 feet of ESHA must minimize impacts in accordance with the applicable goals and policies of the DMF LUP through adherence with the regulations of the DMF CIP. The project includes removal of nine living Monterey Pine trees and removal/replanting of two rare plant species (Hooker's manzanita and small-leaved lomatium, an herbaceous flowering plant). Due to slopes, lot-size and the location of the rare plant species, impacts cannot be avoided in this case. Conditions requiring transplanting and replanting have been applied in accordance with the DMF LUP policies. See Finding No. 6.

k) Tree Removal.

Nine living Monterey Pine trees are proposed to be removed for the development. The proposed tree removal has been found to be the minimum required under the circumstances and will not result in adverse environmental impacts. See Finding No. 5.

l) Del Monte Forest Land Use Advisory Committee.

Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application warranted referral to the LUAC because the project involves a Design Approval subject to review by the Zoning Administrator. The LUAC reviewed the project at a duly-noticed public meeting on March 3, 2022, at which all persons had the opportunity to be heard, and voted 7 – 0 with one member absent to support the project as proposed. One public member email comment on the project expressed a preference for the buildings to be sited at the parcel's center. LUAC members raised no concerns regarding the project. See also Evidence "d" above.

m) Public Access. As demonstrated in Finding 7, the development is consistent with public access policies of the DMF LUP.

n) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in HCD-Planning File No. PLN200274.

2. **FINDING:** **SITE SUITABILITY** - The site is physically suitable for the proposed use.

EVIDENCE:

- a) The project includes construction of a single-family dwelling and accessory dwelling unit in a residential neighborhood.
- b) The project was reviewed by Housing and Community Development (HCD)-Planning, Pebble Beach Community Services District (CSD Fire Protection District), HCD-Engineering Services, HCD-Environmental Services and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

- c) The following technical report has been prepared:
- Cultural Resources Study of 1634 Sonado Road, Pebble Beach, Monterey County, CA (LIB210211) prepared by Dana E. Supernowicz of Historic Resource Associates, Pebble Beach, CA on April 04, 2021;
 - Arborist Report and Forest Management Plan (LIB210210) prepared by Frank Ono, F.O. Consulting, Pacific Grove, CA on October 13, 2020;
 - Biological assessment (LIB220044) prepared by Pat Regan, Regan Biological and Horticultural Consulting, Carmel Valley, updated December 2021;
 - Compensatory Planting Plan (Appendix to LIB220044) prepared by Pat Regan, as above, on July 12, 2022;
 - Soil Engineering Investigation (LIB210212) prepared by Geronimo Davila of GMD Engineers, Salinas CA, on May 10, 2021.

Upon independent review, staff concurs with conclusions of the report. There are no physical or environmental constraints that render the site unsuitable for the use proposed. The specific choice of location for the development within the parcel avoids slopes and more removal of protected Monterey Pine trees.

- d) Staff conducted a site inspection on June 23, 2021 and confirmed the site is suitable for implementation of the proposed development.
- e) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN200274.

3. **FINDING:** a) **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:** b) The project was reviewed by HCD-Planning, Pebble Beach CSD Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, and Monterey County Environmental Health Bureau, and conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- c) All necessary public facilities are available to the subject property. Sewer service will be provided by the Pebble Beach Community Services District (PBCSD). The PBCSD wastewater collection and treatment system has adequate remaining capacity for sewage disposal, which then transfers wastewater to the Carmel Area Wastewater District treatment facility. Potable water is provided by the California American Water Company (CAW). CAW informed the applicant in a letter dated October 5, 2021 that the agency will provide water service, in accordance with all applicable federal, state

and local laws and restrictions including those of the Monterey Peninsula Water Management District and any order of the California State Water Resources Control Board issued prior to the date service is initiated.

- d) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in HCD-Planning File No. PLN200274.

4. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN200274.

5. **FINDING:** **TREE REMOVAL** – The siting, location, size and design of the project minimizes tree removal in accordance with the Del Monte Forest Land Use Plan Policies and the removal will not impact the overall health and long-term maintenance of the Pine Forest ecosystem found on the property.

- a) The project includes application for the removal of nine living and two dead Monterey Pine trees. In accordance with the applicable policies of DMF CIP, a Coastal Development is required for the nine living trees and the criteria to grant said permit have been met.
- b) Pursuant to Section 20.147.050.B.1 of the DMF CIP, an Arborist Report and Forest Management Plan was prepared for the proposed project. The arborist report evaluated the health, structure, and preservation suitability for each tree within or adjacent to the proposed development. Nine living protected Monterey Pines are located within the proposed footprint of the project. Two other Monterey Pine trees within the construction area are dead. This total of eleven trees was recommended for removal by the arborist. A minimum of one-to-one onsite tree replacement for the living nine trees is proposed and is incorporated in this permit as Condition No. 7. Other entities with jurisdiction on the property, such as the Homeowners Association, may increase this replanting ratio. Measures for tree protection during construction are also incorporated as Condition No. 6.
- c) The project has been designed and sited to minimize the removal of protected trees to the greatest extent possible. An early draft of the plans would have required removal of two more Monterey Pine trees. The driveway was redesigned to avoid them. The specific choice of location for the development within the parcel avoids slopes and more removal of Monterey Pine.
- d) No significant long-term effects on the forest ecosystem are anticipated. The project as proposed will not significantly reduce the

- availability of wildlife habitat over the long term as the site has surrounding forested areas which will be managed for long term health, including the addition of understory areas and tree planting.
- e) Planning staff conducted a site inspection on October 22, 2021 to verify that the tree removal is the minimum necessary for the project.
 - f) The conclusions of the Arborist Report assert that this planned tree removal and limbing up to six feet from the ground on remaining trees within 100 feet of the structures pursuant to the Fire-Safe Fuel Management Plan (Sheet A-9 of the Plans) and Forest Management Plan (LIB210210) will not degrade the overall health and long-term maintenance of the Pine Forest ecosystem found on the property.
 - g) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN200274.

6. **FINDING:** **DEVELOPMENT WITHIN 100 FEET OF ESHA.** The project minimizes impact on environmentally sensitive habitat areas (ESHA) in accordance with the applicable goals and policies of the Del Monte Forest Land Use Plan (DMF LUP).
- a) The project includes application for development within 100 feet of ESHA. In accordance with the applicable policies of the DMF LUP and the Monterey County Zoning Ordinance (Title 20), a Coastal Development Permit is required and the criteria to grant said permit has been met.
 - b) A review of the County GIS database combined with a staff site visit on June 23, 2021 revealed maritime chaparral to be present in the development footprint. Pursuant to section 20.147.040.B of the DMF CIP, a Biological Report was prepared for the proposed project. The biological analysis confirmed that the development footprint is on an area that two sensitive plant species are occupying – Hooker’s manzanita (*Arctostaphylos hookeri ssp hookeri*, California Rare Plant Rank 1B.1) and small-leaved lomatium (*Lomatium parvifolium*, California Rare Plant Rank 4.2).
 - c) Subsequent review of DMF CIP in relation to the presence of these sensitive plant species resulted in a request for a compensatory planting plan to be prepared by the Biologist. This plan proposes to transplant the Hooker’s Manzanitas to a suitable area on the subject parcel and to cause additional planting of them in the same area to sum to a ratio of 1:1.5. The plan proposes an attempt to transplant the small-leaved lomatium and additional planting of them in the same area to sum to a ratio of 1:1. Control of non-native invasive plants and enhancement of the compensatory planting area are also prescribed. The success criteria for the plan are proposed to be 75% survival of all container stock plantings and 50% survival of transplanted Manzanita and small-leaved lomatium plants in the fall of the third year of monitoring.
 - d) Consistent with LUP policies regarding protection of ESHA, the County has applied Condition No. 8 requiring that a conservation and scenic easement be established around the area where that will contain the relocated/replacement plants, and Condition No. 10 to

require a Biologist visit prior to any grading or construction to establish buffers around the plants near the disturbance area to preserve them. Condition No. 10 also includes the proposed compensatory planting plan be followed during and after the development and requiring biologist certification that all treatment of ESHA has been done in accordance with the recommendations in the reports prepared for the project. In addition, Condition No. 11 requires other areas disturbed during construction activities be restored.

- e) The proposed first dwelling on the parcel and detached garage and guesthouse are sited on an area that provides the most direct access from Sonado Road, affords the best views, avoids steep slopes, and removes the fewest protected Monterey Pines. As shown in the topographic map included in the attached Plans, if the development were to avoid as many Hooker's manzanita bushes and small-leaved lomatium plants as possible, it would have to be fully developed on slopes. It would be possible to reduce the size of the proposed development to better comply with the DMF CIP (MCC 20.147.040) but the owner refused due to their strong inclination to build following the proposed plans, both for structural integrity and fire safety. Therefore, onsite remediation in the form of transplanting/planting container stock of 94 Hooker's manzanita bushes and approximately 50 small-leaved lomatium plants is proposed to provide the long-term preservation of the central maritime chaparral community. The compensatory planting plan includes three years of survivorship monitoring and habitat enhancement which the Biologist states will serve to offset the impact of the planned removals.
- f) HCD – Planning staff, with the project Biologist, conducted a site inspection on June 23, 2022. The area of rare plants was described as “remnant.”
- g) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN200274.

7. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts single family dwellings and accessory structures.
 - b) The project includes construction of the first dwelling on a vacant residential lot and accessory structures, which meets this exemption.
 - c) No significant adverse environmental effects were identified during staff review of the development application or during a site visit by staff, including the Chief of Planning, on October 22, 2022.
 - d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. Removal of nine native trees and

removal and replanting of unlisted but protected sensitive plant species will not result in an adverse environmental impact or significant long-term impacts at this location. There is no cumulative impact with prior successive projects of the same type in the same place, over time given the close proximity to the Pebble Beach Company buildout with extensive preservation of the Monterey Pine Forest ecosystem. The DMF CIP requires that a Biological Report be prepared and one was prepared. The DMF CIP also requires that the recommendations of the report be followed in the development of the property and included in the permit conditions (MCC sec. 20.147.040). The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered on a hazardous waste site. No known historical resources are found in the geotechnical or archaeological reports which may cause a substantial adverse change in the significance of a historical resource. It is not visible from 17-Mile Drive or designated public access areas/vista points.

- e) Staff conducted site inspections on October 22, 2021 and June 23, 2022 to verify that the site is suitable for this use.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN200274.

8. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in DMF CIP Section 20.147.130, can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 8, Major Public Access and Recreational Facilities, in the DMF LUP).
 - d) The subject project site is not identified as an area where the Local Coastal Program requires visual public access (Figure 3, Visual Resources, in the DMF LUP).
 - e) Based on the project location among large trees and its topographical relationship to visual public access points in the area, the development proposal will not interfere with visual access along 17-Mile Drive or from Point Lobos. Consistent with DMF LUP Policies 123 and 137, the proposed development will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity.
 - f) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN200274.

9. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.
- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20, Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Coastal Commission. Pursuant to Title 20, Section 20.86.080.A, the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea (i.e., State Route/Highway 1).


DECISION

NOW, THEREFORE, based on the above findings and evidence, the Monterey County Zoning Administrator does hereby:

1. Find the project involves construction of a single-family dwelling and accessory structures, which qualifies as Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA guidelines and there are no exceptions pursuant to Section 15300.2 of the CEQA guidelines; and
2. Approve a Combined Development Permit consisting of
 - a) Coastal Administrative Permit & Design Approval to allow construction of a 4,758 square foot two-story single family dwelling with a 106 square foot covered entry, a 105 square foot balcony, a 1,005 square foot first floor terrace & a 988 square foot attached garage;
 - b) Coastal Development Permit & Design Approval to allow construction of a 356 square foot guesthouse above the garage with a 50 square foot balcony;
 - c) Coastal Administrative Permit to allow development within 100 feet of ESHA; and
 - d) Coastal Development Permit to allow removal of nine Monterey Pine trees.

All in general conformance with the attached plans and subject to the attached sixteen conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 25th day of August, 2022.

DocuSigned by:

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Mike Novo, AICP
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON 08-26-22.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE 09-06-22.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a construction permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no construction permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services offices in Salinas.

2. This permit expires 2 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN200274

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

**Condition/Mitigation
Monitoring Measure:**

This Combined Development permit (PLN200274) allows the following:

- a. Coastal Administrative Permit & Design Approval to allow construction of a 4,758 square foot two-story single family dwelling with a 106 square foot covered entry, a 105 square foot balcony, a 1,005 square foot first floor terrace & a 988 square foot attached garage;
- b. Coastal Development Permit & Design Approval to allow construction of a 356 square foot guesthouse above the garage with a 50 square foot balcony;
- c. Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Areas; and
- d. Coastal Development Permit to allow removal of nine (9) Monterey Pine trees. The property is located at 1634 Sonado Rd, Pebble Beach (Assessor's Parcel Number 008 -202-014-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the HCD Chief of Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Combined Development Permit (Resolution Number 22-031) was approved by the Zoning Administrator for Assessor's Parcel Number 008-202-014-000 on August 25, 2022. The permit was granted subject to 16 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Prior to the issuance of grading and building permits, certificates of compliance, or
Action to be commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Performed: shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring The Owner/Applicant shall adhere to this condition on an on-going basis.

Action to be Prior to the issuance of grading or building permits and/or prior to the recordation of the
Performed: final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD005(A) - NOTICE OF EXEMPTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Pursuant to CEQA Guidelines § 15062, a Notice of Exemption shall be filed for this project. The filing fee shall be submitted prior to filing the Notice of Exemption. (HCD-Planning)

Compliance or Monitoring Action to be Performed: After project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to the Director of HCD - Planning.

5. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

6. PD011 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

7. PD011(A) - TREE REMOVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed.

Tree removal shall be prepared for, executed, and replacement planting of trees shall be done in accordance with the Arborist Report and Forest Management Plan (LIB210210) prepared by Frank Ono, F.O. Consulting, Pacific Grove, CA on October 13, 2020. If the owner wishes to augment the number of Monterey Pine trees planted on the property, pursuant to the Compensatory Planting Plan (Appendix to LIB220044) prepared by Pat Regan, Regan Biological and Horticultural Consulting, Carmel Valley on July 12, 2022, the increase in number is welcomed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued.

Tree replacement shall be no less than a ratio of 1:1 using tree saplings sized and prepared as described in the project specific Arborist Report.

8. PD022(B) - EASEMENT-CONSERVATION & SCENIC IN THE DEL MONTE FOREST

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: A conservation and scenic easement shall be conveyed to the Del Monte Forest Conservancy over those portions of the property where environmentally sensitive habitats, remnant native sand dune habitats, habitats of rare, endangered and sensitive native plants and animals, and visually prominent areas exist in accordance with the procedures in Monterey County Code § 20.64.280.A. The easement conveyance shall include funding adequate to ensure the management and protection of the easement area over time. The easement shall be developed in consultation with a certified professional and the Del Monte Forest Conservancy Inc. A Subordination Agreement shall be required, where necessary. These instruments shall be subject to approval by the County as to form and content, shall provide for enforcement, if need be, by the County or other appropriate agency, and name the County as beneficiary in event the Conservancy is unable to adequately manage these easements for the intended purpose of scenic and visual resource protection. An easement deed shall be submitted to, reviewed, and approved by the Director of HCD - Planning and the Executive Director of the California Coastal Commission, and accepted by the Board of Supervisors prior to recording the parcel/final map or prior to issuance of grading and building permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to recording the parcel/final map or prior to the issuance of grading and building permits, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to the to the Del Monte Forest Conservancy for review and approval.

Prior to recording the parcel/final map or prior to the issuance of grading and building permits, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to HCD - Planning for review and approval.

Prior to recording the parcel/final map or prior to the issuance of grading and building permits, the Owner/Applicant, shall submit a signed and notarized Subordination Agreement, if required, to HCD - Planning for review and approval

Prior to or concurrent with recording the parcel/final map, prior to the issuance of grading and building permits, or commencement of use, the Owner/Applicant shall record the deed and map showing the approved conservation and scenic easement. Submit a copy of the recorded deed and map to HCD-Planning.

9. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

10. PDSP001 -- COMPENSATORY PLANTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: A Compensatory Planting Plan (CPP) has been prepared for this project. Specific project impacts addressed in the CPP include: 1) permanent loss of approximately 4000 square feet of Central Maritime Chaparral; 2) removal of 9 Pine trees (*Pinus radiata*) of varying age class and size, from 6" dbh and up, 3) removal of 63 individual Hooker's manzanita from within the impacted Central Maritime Chaparral and 4) removal of approximately 50 plants of *Lomatium parvifolium*.

Preserve, restore and enhance with Chaparral species, approximately 3500 square feet of land along the northerly east side of the Walker property identified in the CPP as "one continuous strip of land running north to south along the east side of the Walker Lot will be restored to a mix of Central Maritime Chaparral and Monterey Pine woodland. This strip of land is approximately 3500 square feet running approximately 100 feet from end to end and is bounded on the north by the proposed fence line along Sonado Road and on the south by open space and Monterey Pine woodland.

All replanting and habitat enhancement will take place within the subject parcel. Planting objectives include enhancement of a 3500 square feet area by planting *Arctostaphylos hookeri* ssp *hookeri* to replace 63 plants that will be permanently lost due to construction on a 1:1.5 ratio, and planting 50 *Lomatium parvifolium* plants on a 1:1 ratio.

The CPP recommends planting Monterey pine trees to replace the 9 that will be removed by the project on a 1:2 ratio. However, this ratio is not recommended by the Arborist Report for the project by Frank Ono (LIB210210) which is the normal guiding document for tree replacement. Therefore, tree planting above a 1:1 ratio per the Arborist Report is voluntary.

All other aspects of the CPP on shrub and herbaceous planting, maintenance and monitoring, as well as invasive plant species controls are to be followed.

All planting and maintenance shall be performed under the direction of the Project Biologist by a restoration ecologist or landscape contractor with experience in planting and maintaining native plants for habitat restoration purposes (henceforth referred to as the Landscape Contractor). The Landscape Contractor shall be responsible for conducting all site preparation, planting, and maintenance according to the details and specifications provided herein. A qualified biologist (from the Monterey County list of approved consulting biologists) shall conduct all monitoring and preparation of annual monitoring reports.

Intermediate performance standards for Years 1 and 2 and final success criteria for Year 3 are listed below by area.

Restoration site Intermediate performance standards:

- 1) 85% survival of all container stock combined in fall of Year 1 (the first fall after planting) 70% of transplanted manzanita and *Lomatium* plants in fall of year 1.
- 2) Total non-native species cover 10% or less in spring of Year 1; 10% or less in spring of Year 2

Final success criteria:

- 1) 75% survival of all container stock in fall of Year 3 and 50% survival of transplanted manzanita and *Lomatium* plants in fall of year 3.
- 2) Total non-native species cover 5% or less in spring of Year 3.

Monterey Pine Planting Intermediate performance standard: 100% survival of planted pines in fall of Years 1 and 2.

Monterey Pine Planting Final Success criterion: 90% survival of planted pines in fall of Year 3.

Compliance or Monitoring Action to be Performed: Prior to issuance of grading permit, provide a copy of a contract with a County-approved Biologist including a scope of work that outlines the key aspects of the CPP as it relates to Biologist tasks on shrubs, vines and herbaceous plants.

Prior to issuance of grading permit, the County-approved Biologist shall collect cuttings from plants that will be removed to grow out plants for use restoration area. Transplant shrubs as feasible to restoration area identified in the CPP as "one continuous strip of land running north to south along the east side of the Walker Lot will be restored to a mix of Central Maritime Chaparral and Monterey Pine woodland. This strip of land is approximately 3500 square feet running approximately 100 feet from end to end and is bounded on the north by the proposed fence line along Sonado Road and on the south by open space and Monterey Pine woodland."

Prior to issuance of grading permit, the Biologist shall collect seed to grow out plants for use in the restoration area.

Prior to building final inspection, transplant existing plants to restoration area as feasible following the Planting Schedule (section 6.2 of the CPP).

Within one month after planting is completed, a monitoring report shall be submitted to HCD - Planning.

Additional monitoring reports shall be submitted to HCD - Planning at one year, two years and three years after the first report. Performance standards are to be met as stated in the CPP and the body of this condition of approval.

11. PD012 – LANDSCAPING

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: LANDSCAPING: The site shall be landscaped. Applicant/owner shall submit a Landscape Package Application in accordance with MCC Chapter 16.63 as required in Section 16.63.050 or Section 16.63.060, and subject to review and approval by the Chief of Planning.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permits, the owner shall submit a Landscape Package Application to HCD Chief of Planning for review and approval.

Prior to final inspection, Landscaping shall be installed in accordance with the provisions of the approved Landscape Package. Compliance with the approved Landscape Package shall be verified by inspections in accordance with Section 16.63.120.

12. PD016 - NOTICE OF REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:

"The following technical report has been prepared:

- Arborist Report (LIB210210) prepared by Frank Ono, F.O. Consulting, Pacific Grove, CA on October 13, 2020;
- Biological assessment (LIB220044) prepared by Pat Regan, Regan Biological and Horticultural Consulting, Carmel Valley, updated December 2021;
- Compensatory Planting Plan (attached to LIB220044) prepared by Pat Regan, Regan Biological and Horticultural Consulting, Carmel Valley on July 12, 2022;
- Soil Engineering Investigation (LIB210212) prepared by Geronimo Davila of GMD Engineers, Salinas CA, on May 10, 2021.

These reports are on file in Monterey County HCD - Planning. All development shall be in accordance with these reports."

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

13. PD019(B) - DEED RESTRICTION-GUESTHOUSE (COASTAL)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a deed restriction stating the regulations applicable to a Guesthouse (Coastal) as follows:

- Only 1 guesthouse shall be allowed per lot.
- Detached guesthouses shall be located in close proximity to the principal residence.
 - Guesthouses shall share the same utilities with the main residence, unless prohibited by public health requirements.
- The guesthouse shall not have cooking or kitchen facilities, including but not limited to microwave ovens, hot plates and toaster ovens.
- The guesthouse shall have a maximum of 6 linear feet of counter space, excluding counter space in a bathroom. There shall be a maximum of 8 square feet of cabinet space, excluding clothes closets.
- The guesthouse shall not exceed 425 square feet of livable floor area.
- The guesthouse shall not be separately rented, let or leased from the main residence whether compensation be direct or indirect.
- Subsequent subdivisions which divide a main residence from a guesthouse shall be prohibited.
- The guesthouse shall be designed in such a manner as to be visually consistent and compatible with the main residence on site and other residences in the area.
- The guesthouse height shall not exceed 12 feet nor be more than one story.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall submit a signed and notarized document to the Director of HCD-Planning for review and signature by the County.

Prior to occupancy or commencement of use, the Owner/Applicant shall submit proof of recordation of the document to the Director of the HCD-Planning.

14. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

15. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD - Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning Department and the Department of Public Works for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

16. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

The Walker Residence

1634 Sonado Road, Pebble Beach



REVISIONS	
NO.	DATE

WILLIAM C. MEFFORD
ARCHITECT
P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567 LICENSE # C-22883

NEW RESIDENCE FOR:
Mr. & Mrs. Robert Walker
1634 SONADO ROAD
PEBBLE BEACH
APN 008-202-014

DATE: 4/25/2022
PROJECT NO. 20020
DRAWN BY:
CHECKED BY:
SHEET TITLE:
COVER SHEET

SHEET NO.
A-0
OF FOURTEEN SHEETS



IRON GATES & COLUMNS



6' WOOD FENCE



6' WIRE FENCE



SITE PLAN

1/16" = 1'-0"

PROJECT DATA

OWNER: MR. & MRS. ROBERT WALKER
1400 CANTERA COURT
PEBBLE BEACH, CA 93953
(831) 262-1438

SITE ADDRESS: 1634 SONADO ROAD
PEBBLE BEACH, CA

AP NUMBER: 008-202-014

SITE AREA: 68636 SF (158 AC)

ZONING: LDR/15 (CZ)

CONSTRUCTION TYPE: VB

SPRINKLERS: YES

PROJECT SCOPE: BUILD NEW 4758 SF 2 STORY HOUSE W/ 106 SF COVERED ENTRY, 988 SF GARAGE W/ 356 SF GUEST HOUSE ABOVE, 1005 SF 1ST FLOOR TERRACE, 105 SF 2ND FLOOR BALCONY, AND 49 SF GUEST HOUSE BALCONY, 1 SET OF 14' WIDE WROUGHT IRON GATES AND 663 LF OF 6' TALL WOOD FENCE AND 478 LF OF WIRE FENCE

SITE COVERAGE

BUILDING AREA:	
1ST FLOOR LIVEABLE AREA	3165.0 SF
2ND FLOOR LIVEABLE AREA	1593.0 SF
GUEST HOUSE	356.0 SF
TOTAL LIVABLE AREA	5114.0 SF
GARAGE	988.0 SF
TOTAL FLOOR AREA	6102.0 SF
COVERED ENTRY	106.0 SF
TERRACE	1021.0 SF
2ND FLOOR BALCONY	105.0 SF
BUILDING SITE COVERAGE	
ALLOWED	9000.0 SF
PROVIDED	9000.0 SF
F.A.R.	
ALLOWED	1201.3 SF (17.5%)
PROVIDED	6102.0 SF (8.9%)
TOTAL SITE COVERAGE:	
ALLOWED	9000.0 SF
PROVIDED	9000.0 SF
STRUCTURE AREA (IMPERVIOUS)	4301.0 SF
MOTOR COURT & WALK (IMPERVIOUS)	2356.0 SF
TERRACE (IMPERVIOUS)	902.0 SF
PAVER DRIVEWAY (PERVIOUS)	1025.0 SF
DG WALKWAY & TRASH	332.0 SF
STAIR AND GENERATOR PAD	104.0 SF
TOTAL	9000.0 SF

GRADING CUT 1100 CYD
FILL 160 CYD

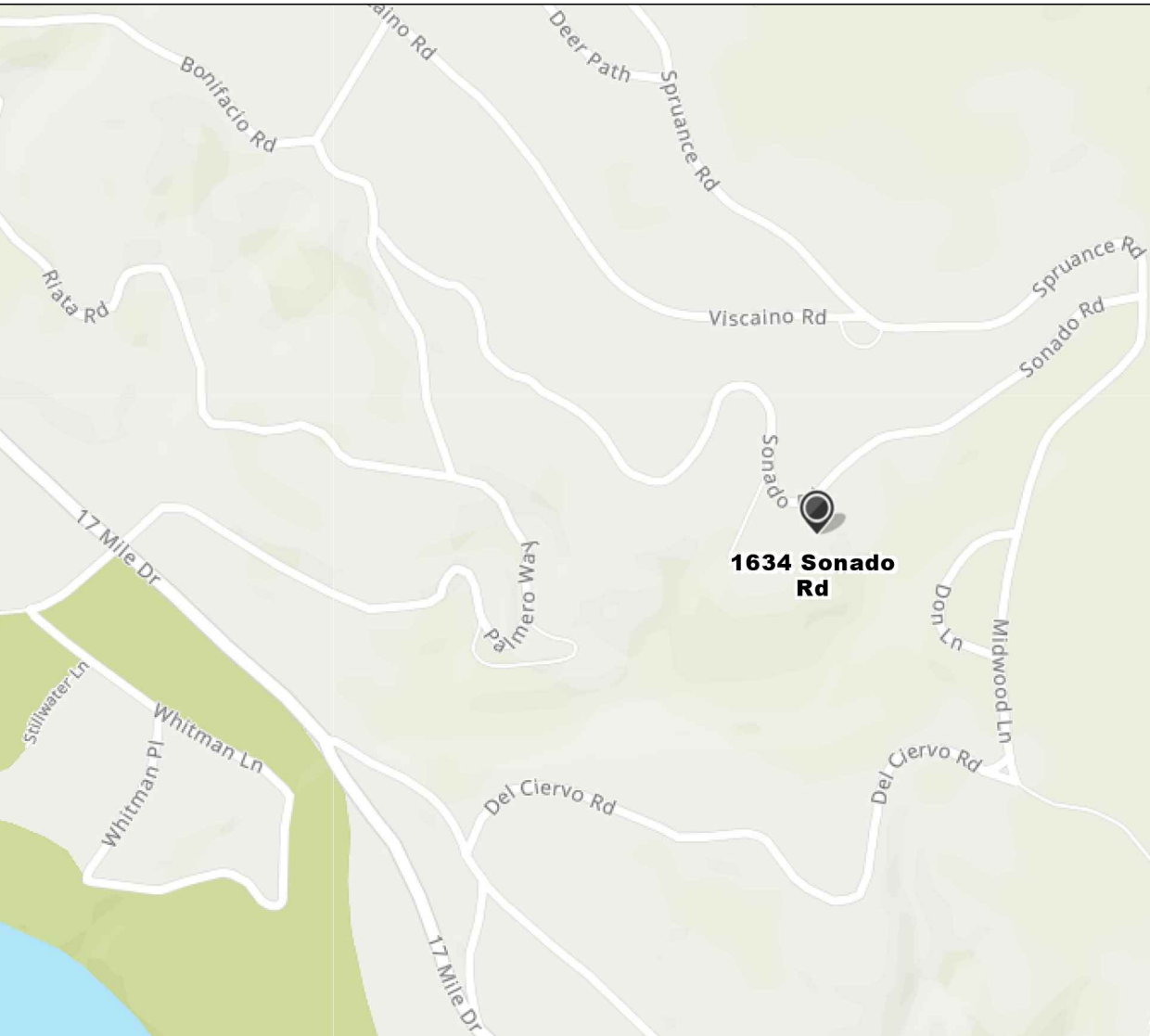
WATER SUPPLY BY CAL AM

SEWAGE DISPOSAL BY PEBBLE BEACH COMMUNITY SERVICES DISTRICT

TREE REMOVAL	
TREES REMOVED	
MONTEREY PINES	
12" 2	
16" 1	
18" 2	
20" 2	
22" 2 BOTH DEAD	
TOTAL 9	

DRAWING INDEX

- A-0 COVER SHEET
- A-1 SITE PLAN, PROJECT DATA, VICINITY MAP
- A-2 FIRST FLOOR PLAN
- A-3 SECOND FLOOR PLAN
- A-4 GARAGE PLAN, GUEST HOUSE PLAN, ROOF PLAN
- A-5 EXTERIOR ELEVATIONS
- A-6 EXTERIOR ELEVATIONS
- A-7 GARAGE EXTERIOR ELEVATIONS
- A-8 WINDOW AND DOOR SCHEDULES
- A-9 FUEL MANAGEMENT PLAN
- SL-1 SITE LIGHTING PLAN
- C-1 SITE GRADING PLAN
- C-2 STORM DRAIN AND UTILITY PLAN
- C-3 EROSION CONTROL PLAN
- C-4 CONSTRUCTION MANAGEMENT PLAN



VICINITY MAP

NTS

REVISIONS

NO.	DATE

WILLIAM C. MEFFORD

ARCHITECT

P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567 LICENSE # C-22893

NEW RESIDENCE FOR:

Mr. & Mrs. Robert Walker

PEBBLE BEACH

1634 SONADO ROAD
APN 008-202-014

DATE: 4/25/2022

PROJECT NO. 20020

DRAWN BY:

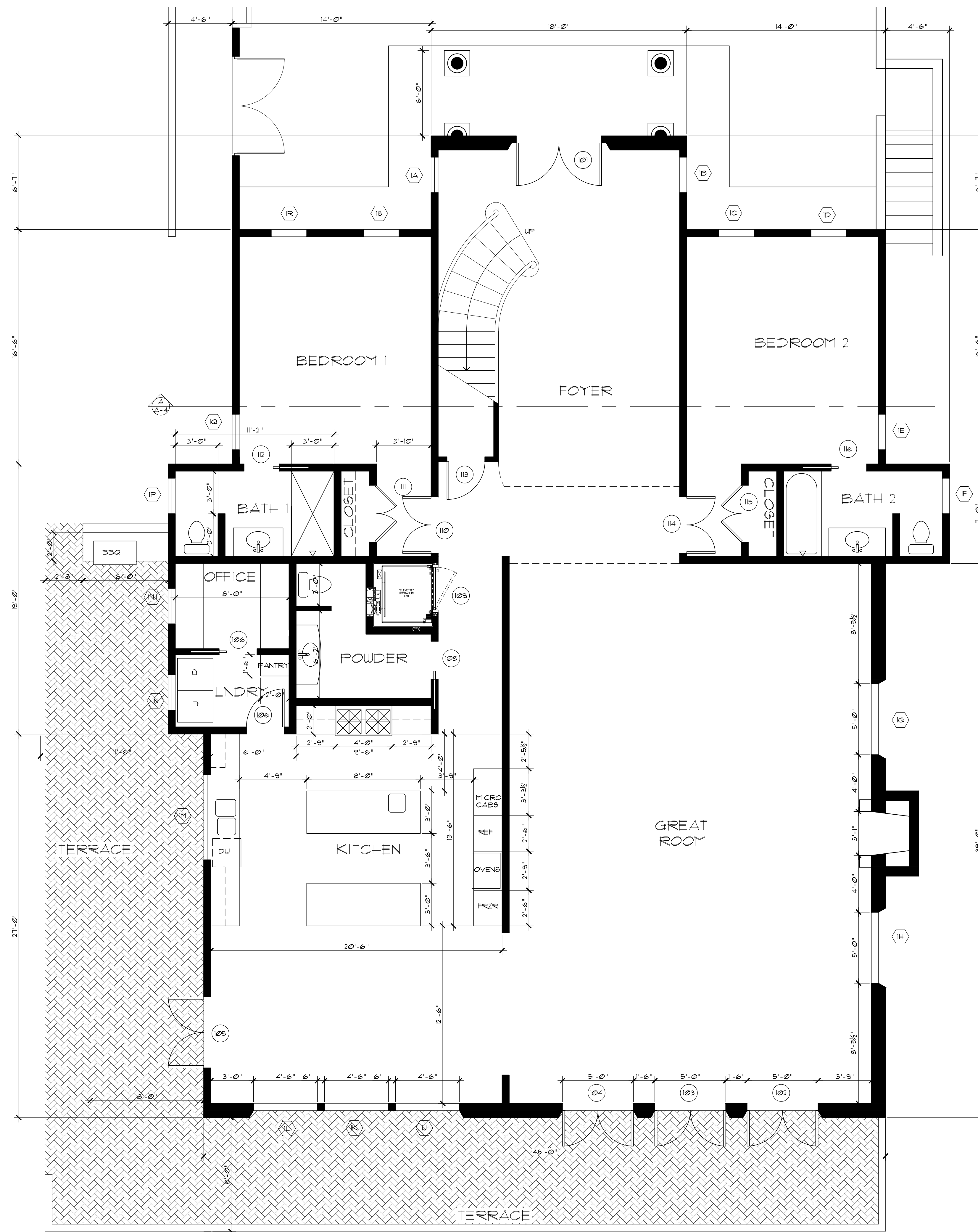
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SHEET TITLE: SITE PLAN

SHEET NO.

A-1

OF FOURTEEN SHEETS



FIRST FLOOR PLAN

1/4" = 1'-0"



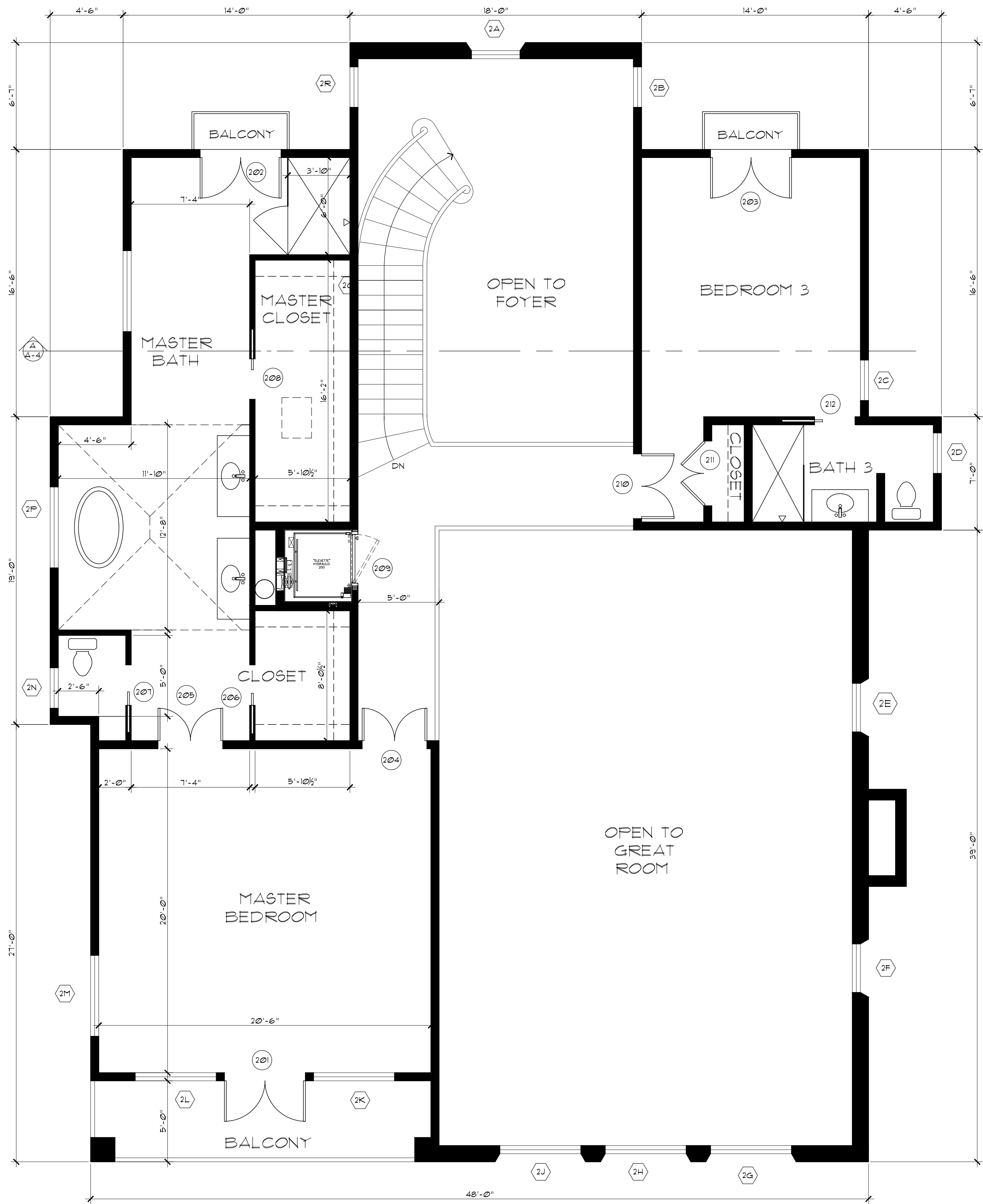
REVISIONS	
NO.	DATE

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DATE: 4/25/2022
PROJECT NO. 20020
DRAWN BY:
CHECKED BY:
SHEET TITLE:
FIRST FLOOR PLAN

SHEET NO. **A-2**
OF FOURTEEN SHEETS



SECOND FLOOR PLAN

1/4" = 1'-0"



REVISIONS	
NO.	DATE

WILLIAM C MEFFORD

ARCHITECT

P.O. BOX 1072

PACIFIC GROVE, CA 93950

(831) 373-4567

LICENSE # C-22893

NEW RESIDENCE FOR:

Mr. & Mrs. Robert Walker

1634 SONADO ROAD

PEBBLE BEACH

APN 008-202-014

DATE:

4/25/2022

PROJECT NO.

20020

DRAWN BY:

CHECKED BY:

SHEET TITLE:

SECOND FLOOR PLAN

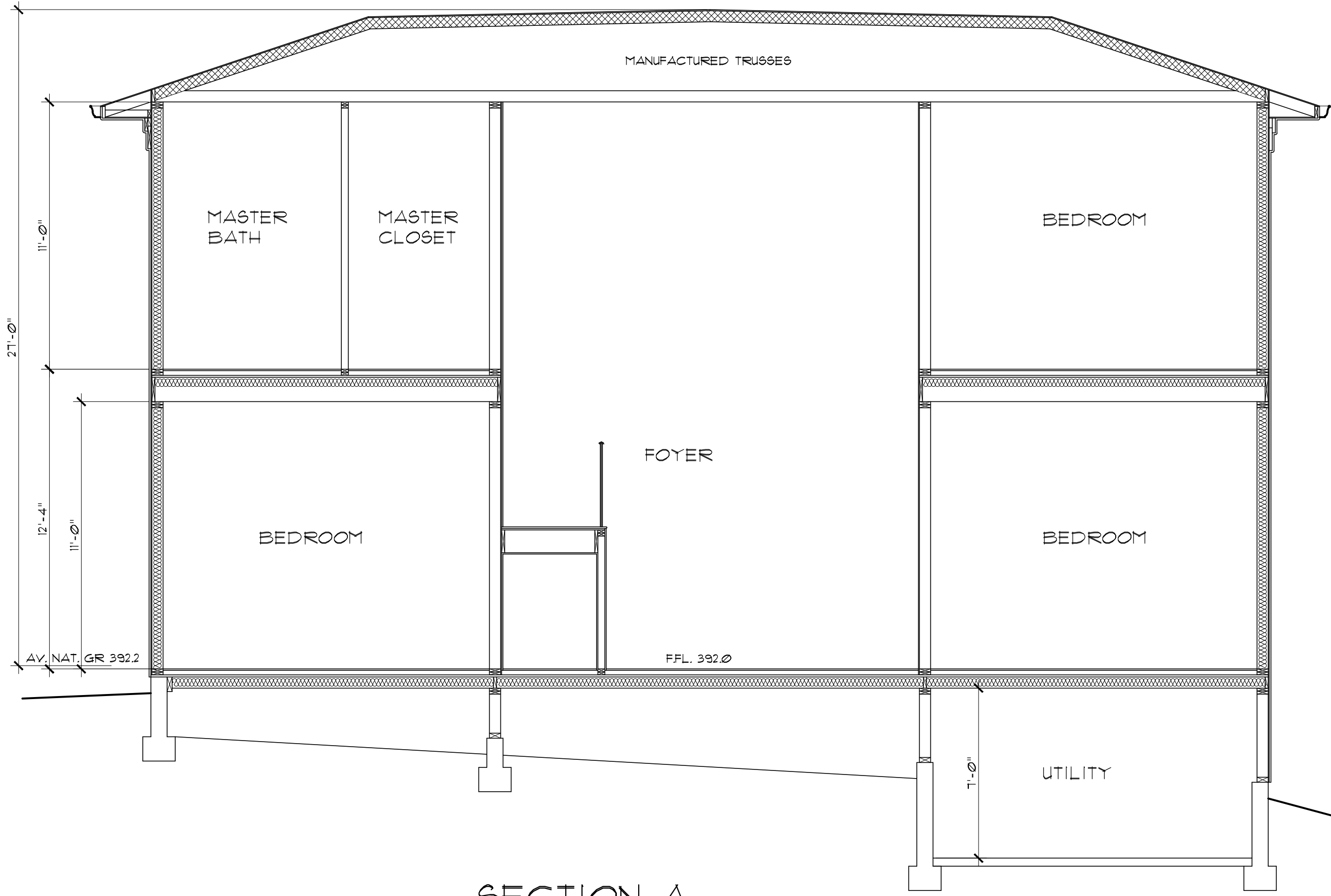
SHEET NO.

A-3

OF FOURTEEN SHEETS



NORTH
1/4" = 1'-0"



SECTION A
1/4" = 1'-0"



EAST
1/4" = 1'-0"

REVISIONS	
NO.	DATE

WILLIAM C. MEFFORD
ARCHITECT
P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567 LICENSE # C-22893

NEW RESIDENCE FOR:
Mr. & Mrs. Robert Walker
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PEBBLE BEACH
APN 008-202-014

DATE: 4/25/2022
PROJECT NO. 20020
DRAWN BY:
CHECKED BY:
SHEET TITLE:
EXTERIOR ELEVATIONS



SOUTH

1/4" = 1'-0"



WEST

1/4" = 1'-0"

REVISIONS

NO. DATE

WILLIAM C. MEFFORD

ARCHITECT

P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567 LICENSE # C-22893

NEW RESIDENCE FOR:

Mr. & Mrs. Robert Walker

1634 SONADO ROAD
PEBBLE BEACH
APN 008-202-014

DATE: 4/25/2022

PROJECT NO. 20020

DRAWN BY:

CHECKED BY:

SHEET TITLE:

EXTERIOR
ELEVATIONS

SHEET NO.

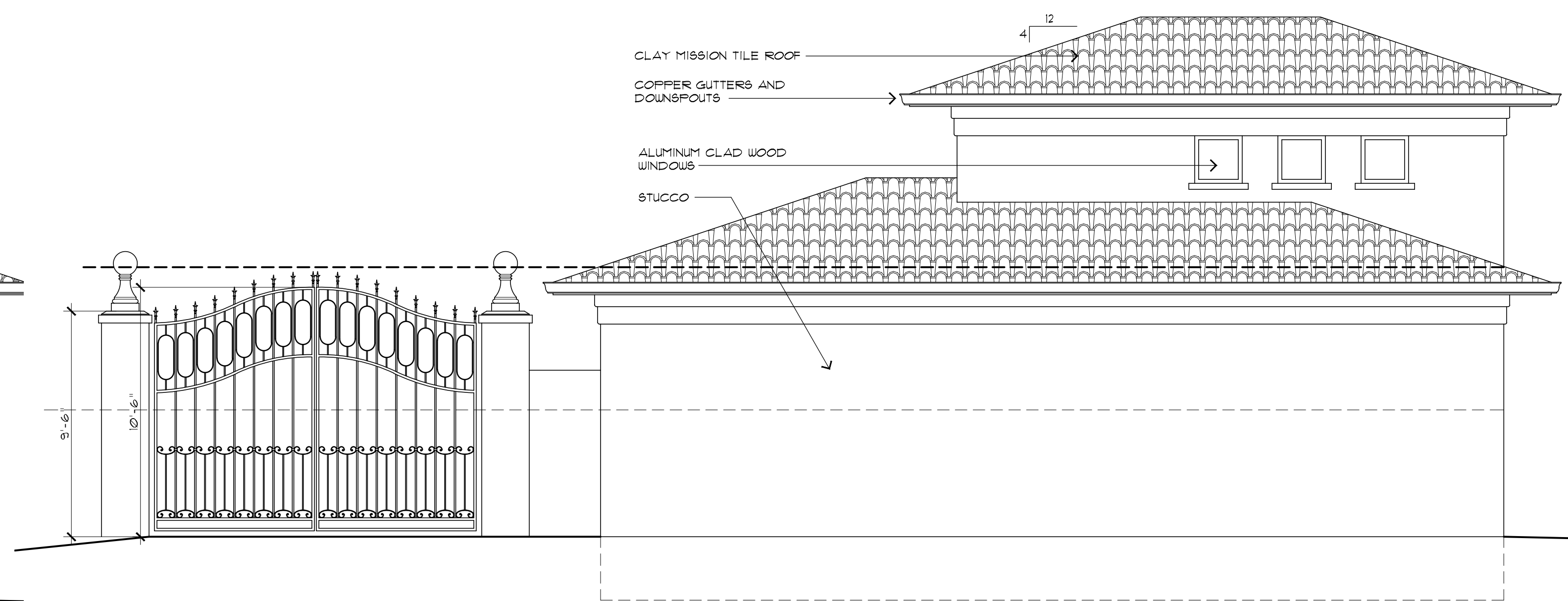
A-6

OF FOURTEEN SHEETS



SOUTHEAST - GARAGE

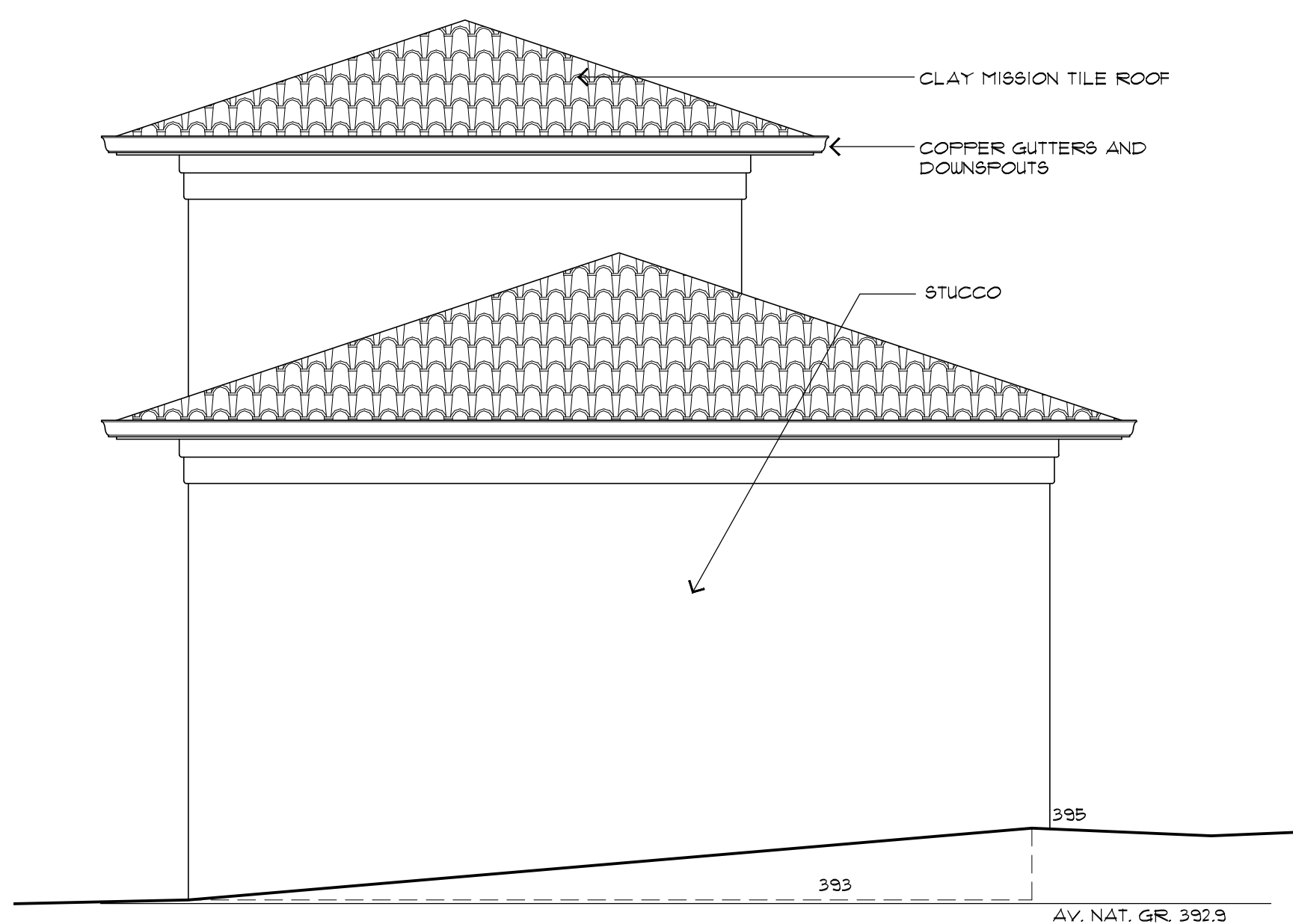
1/4" = 1'-0"



NORTHWEST - GARAGE

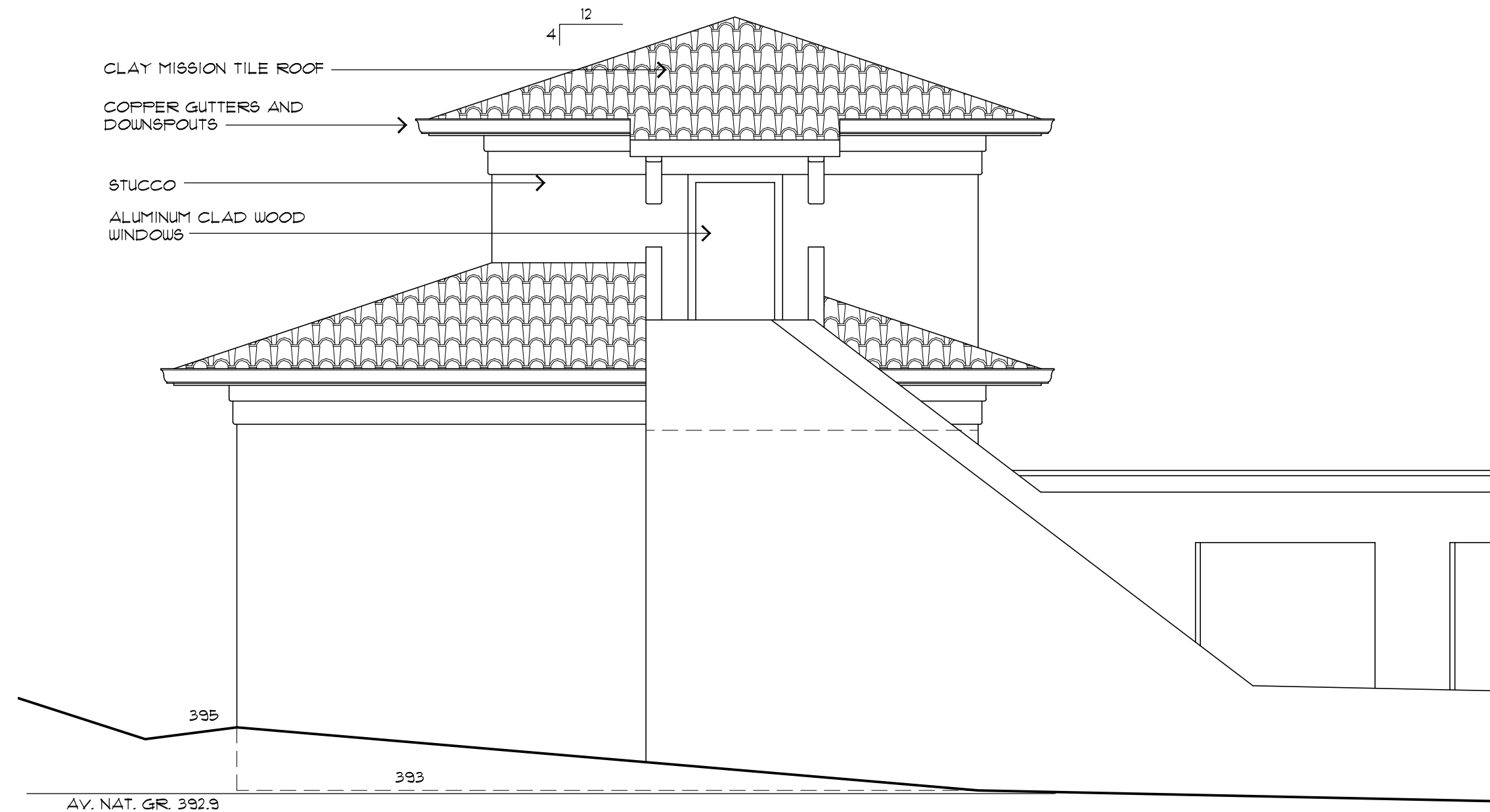
1/4" = 1'-0"

21' MAX HEIGHT



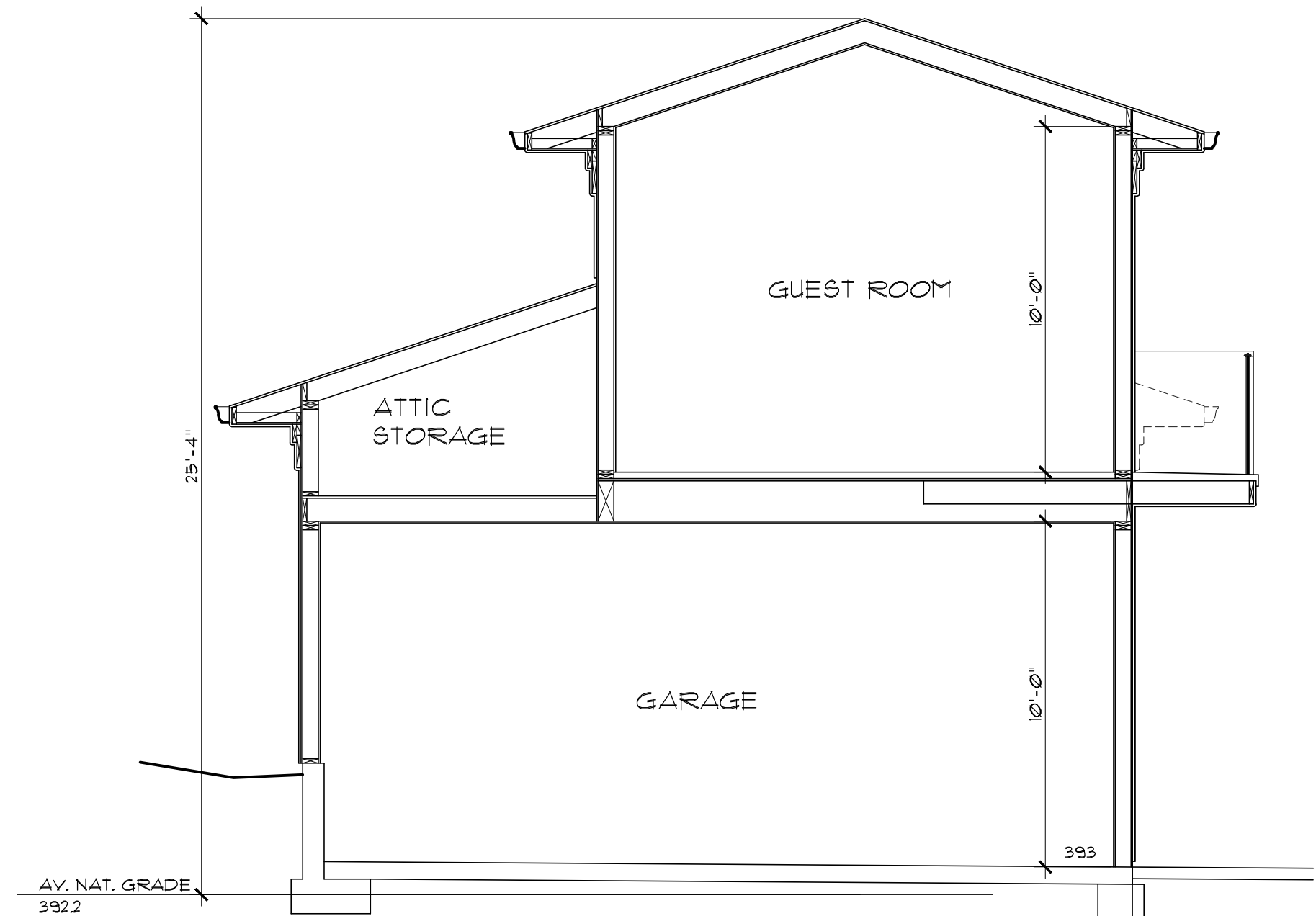
NORTHEAST - GARAGE

1/4" = 1'-0"



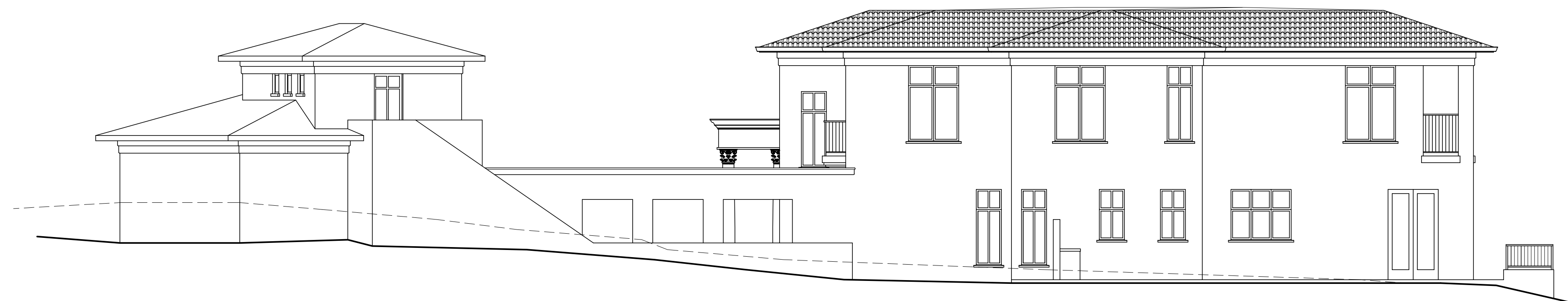
SOUTHWEST - GARAGE

1/4" = 1'-0"



SECTION B

1/4" = 1'-0"



WEST - COMBINED

1/8" = 1'-0"

REVISIONS

NO.	DATE

WILLIAM C. MEFFORD

ARCHITECT

P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567 LICENSE # C-22893

NEW RESIDENCE FOR:

Mr. & Mrs. Robert Walker

1634 SONADO ROAD

PEBBLE BEACH

APN 008-202-014

DATE: 4/25/2022

PROJECT NO. 20020

DRAWN BY:

CHECKED BY:

SHEET TITLE:

GARAGE
ELEVATIONS

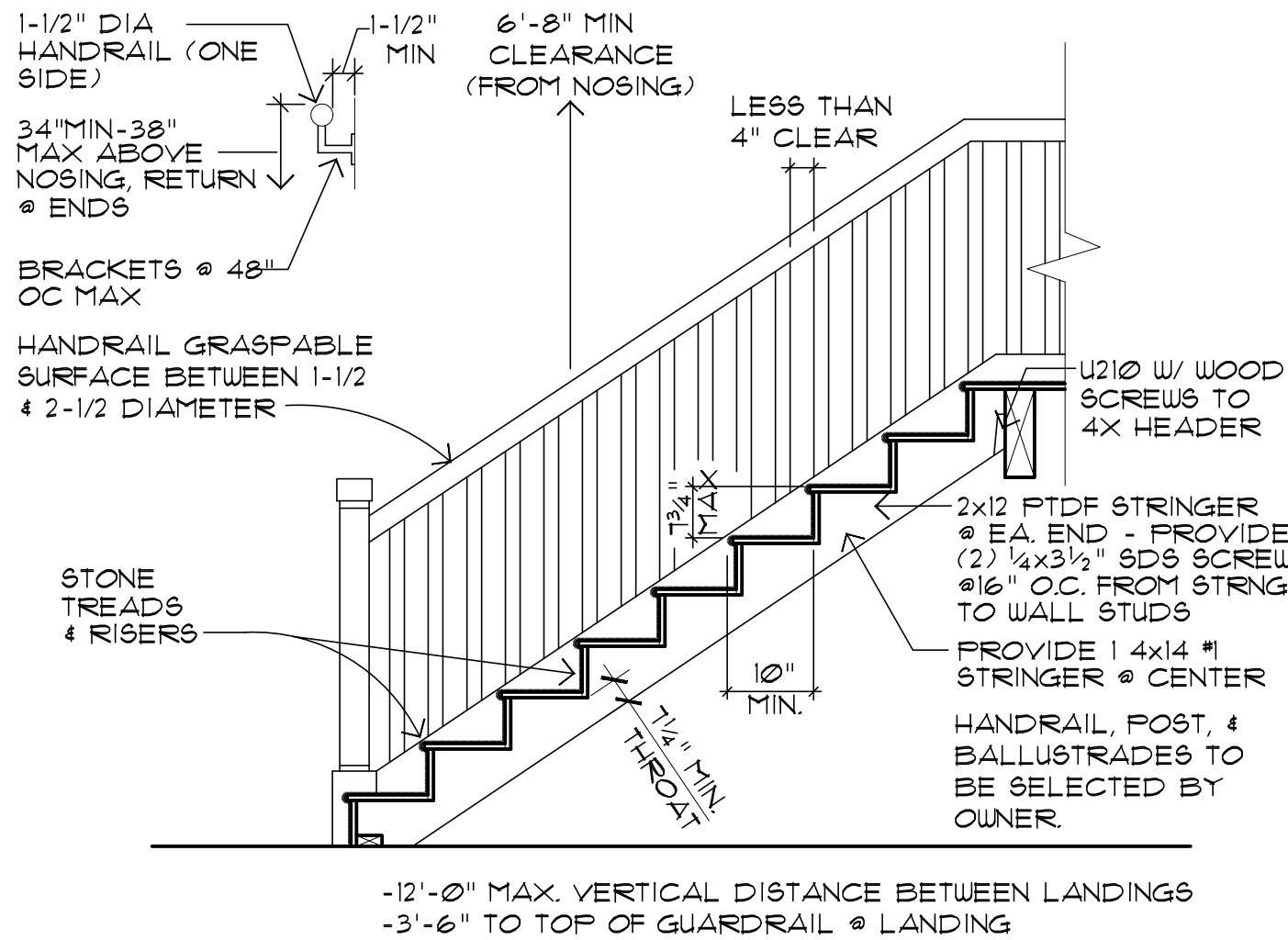
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A-7

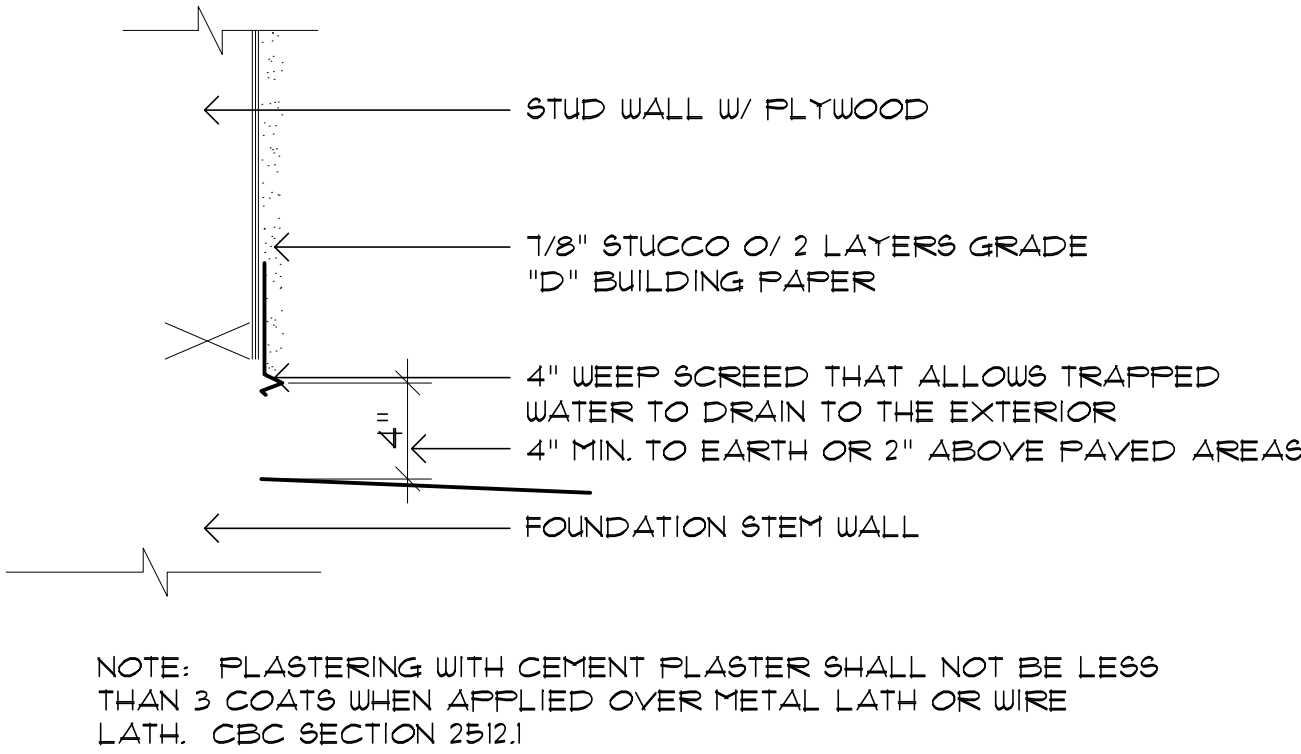
OF FOURTEEN SHEETS

DOOR SCHEDULE								
MARK	SIZE	LOCATION	MATERIAL	CORE	TYPE	REMARKS	HARDUR	MODEL
101	FR 3'-0"x9'-0"	FOYER	WOOD	WD/GLS	SWING	1¾" THICK, TEMP'D W/ 6'-0"x2'-0" FIXED TRANSOM	ENTRY	
102	FR 2'-6"x9'-0"	GREAT ROOM	WOOD	WD/GLS	SWING	SINGL LITE FR, TEMP'D W/ 5'-0"x3'-0" FIXED TRANSOM	ENTRY 2	
103	FR 2'-6"x9'-0"	GREAT ROOM	WOOD	WD/GLS	SWING	SINGL LITE FR, TEMP'D W/ 5'-0"x3'-0" FIXED TRANSOM	ENTRY 2	
104	FR 2'-6"x9'-0"	GREAT ROOM	WOOD	WD/GLS	SWING	SINGL LITE FR, TEMP'D W/ 5'-0"x3'-0" FIXED TRANSOM	ENTRY 2	
105	FR 2'-6"x9'-0"	KITCHEN	WOOD	WD/GLS	SWING	SINGL LITE FR, TEMP'D	ENTRY 2	
106	2'-8"x9'-0"	LAUNDRY	WOOD	WOOD	SWING		BED	
107	2'-8"x9'-0"	OFFICE	WOOD	WOOD	PCKT	HEAVY DUTY HARDWARE W/ LOCK	PCKT	
108	2'-8"x9'-0"	POUDER RM	WOOD	WOOD	PCKT	HEAVY DUTY HARDWARE W/ LOCK	PCKT	
109	3'-0"x9'-0"	ELEVATOR	WOOD	WOOD	SWING	SOLID CORE, 1 HR RATED, SELF CLOSING	ELEV	
110	FR 2'-0"x9'-0"	BEDROOM 1	WOOD	WOOD	SWING		BED	
111	FR 2'-0"x9'-0"	BRM 1 CLOSET	WOOD	WOOD	SWING		CLOSET	
112	2'-6"x9'-0"	BATH 1	WOOD	WOOD	PCKT	HEAVY DUTY HARDWARE W/ LOCK	PCKT	
113	2'-8"x9'-0"	CLOSET	WOOD	WOOD	SWING		CLOSET	
114	FR 2'-0"x9'-0"	BEDROOM 2	WOOD	WOOD	SWING		BED	
115	FR 2'-0"x9'-0"	BRM 2 CLOSET	WOOD	WOOD	SWING		CLOSET	
116	2'-6"x9'-0"	BATH 2	WOOD	WOOD	PCKT	HEAVY DUTY HARDWARE W/ LOCK	PCKT	
201	FR 2'-6"x9'-0"	MSTR BEDRM	WOOD	WD/GLS	SWING	SINGL LITE FR, TEMP'D	ENTRY 2	
202	FR 2'-6"x9'-0"	MASTER BATH	WOOD	WD/GLS	SWING	SINGL LITE FR, TEMP'D	ENTRY 2	
203	FR 2'-6"x9'-0"	BEDROOM 3	WOOD	WD/GLS	SWING	SINGL LITE FR, TEMP'D	ENTRY 2	
204	FR 2'-0"x9'-0"	MSTR BEDRM	WOOD	WOOD	SWING		BED	
205	FR 2'-0"x9'-0"	MASTER BATH	WOOD	WOOD	SWING		BATH	
206	2'-6"x9'-0"	MSTR CLOS 1	WOOD	WOOD	PCKT	HEAVY DUTY HARDWARE	PCKT	
207	2'-6"x9'-0"	MSTR TOILET	WOOD	WOOD	PCKT	HEAVY DUTY HARDWARE W/ LOCK	PCKT	
208	2'-6"x9'-0"	MSTR CLOS 2	WOOD	WOOD	PCKT	HEAVY DUTY HARDWARE	PCKT	
209	3'-0"x9'-0"	ELEVATOR	WOOD	WOOD	SWING	SOLID CORE, 1 HR RATED, SELF CLOSING	ELEV	
210	FR 2'-0"x9'-0"	BEDROOM 3	WOOD	WOOD	SWING		BED	
211	FR 2'-0"x9'-0"	BRM 3 CLOSET	WOOD	WOOD	SWING		CLOSET	
212	2'-6"x9'-0"	BATH 3	WOOD	WOOD	PCKT	HEAVY DUTY HARDWARE W/ LOCK	PCKT	
G1	9'-0"x8'-0"	GARAGE	WOOD	WOOD	OVRHD		OVRHD	
G2	9'-0"x8'-0"	GARAGE	WOOD	WOOD	OVRHD		OVRHD	
G3	9'-0"x8'-0"	GARAGE	WOOD	WOOD	OVRHD		OVRHD	
GH1	3'-0"x8'-0"	GUEST ROOM	WOOD	WD/GLS	SWING	SINGL LITE FR, TEMP'D	ENTRY 3	
GH2	FR 2'-6"x8'-0"	GUEST ROOM	WOOD	WOOD	SWING		CLOSET	
GH3	2'-6"x8'-0"	GUEST BATH	WOOD	WOOD	PCKT	HEAVY DUTY HARDWARE W/ LOCK	PCKT	
GH4	2'-6"x8'-0"	GUEST CLOSET	WOOD	WOOD	PCKT	HEAVY DUTY HARDWARE	PCKT	
U1	3'-0"x8'-0"	UTILITY	WOOD	WOOD	SWING		ENTRY 4	

DOOR NOTES:
1. ALL GLAZING TO BE DOUBLE GLAZED, TEMP'D. U.O.N.
2. INTERIOR DOORS TO BE STAIN GRADE, CLEAR ALDER, U.O.N.
3. EXTERIOR PATIO DOORS AND SWINGING DOORS TO MATCH WINDOWS, U.O.N.
4. EXTERIOR GLAZED DOORS TO COMPLY WITH CBC SECTION 108A REQUIREMENTS.
5. EXTERIOR DOORS TO COMPLY WITH CBC SECTION 108A3 REQUIREMENTS.



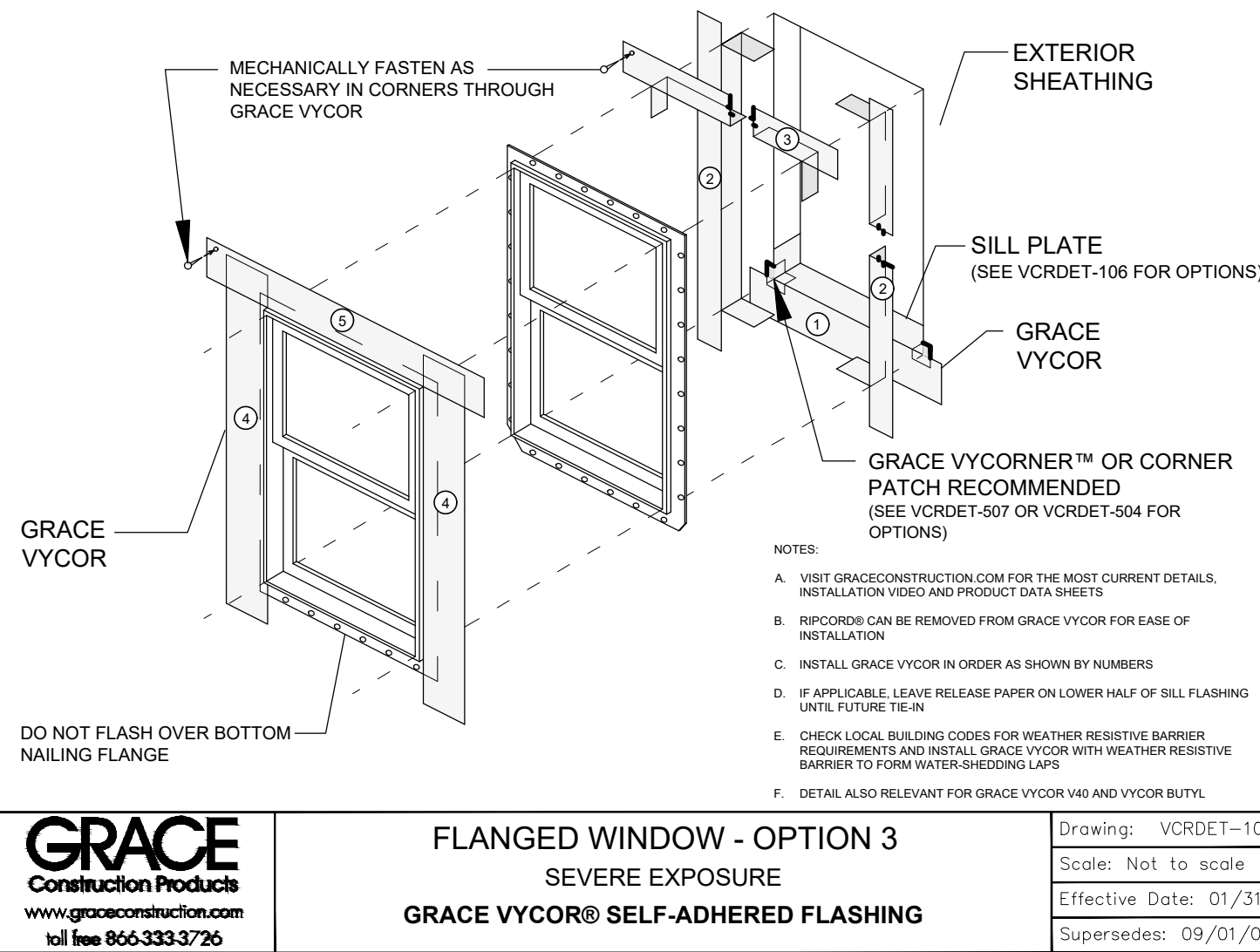
6 INTERIOR STAIR
1/2"=1'-0"



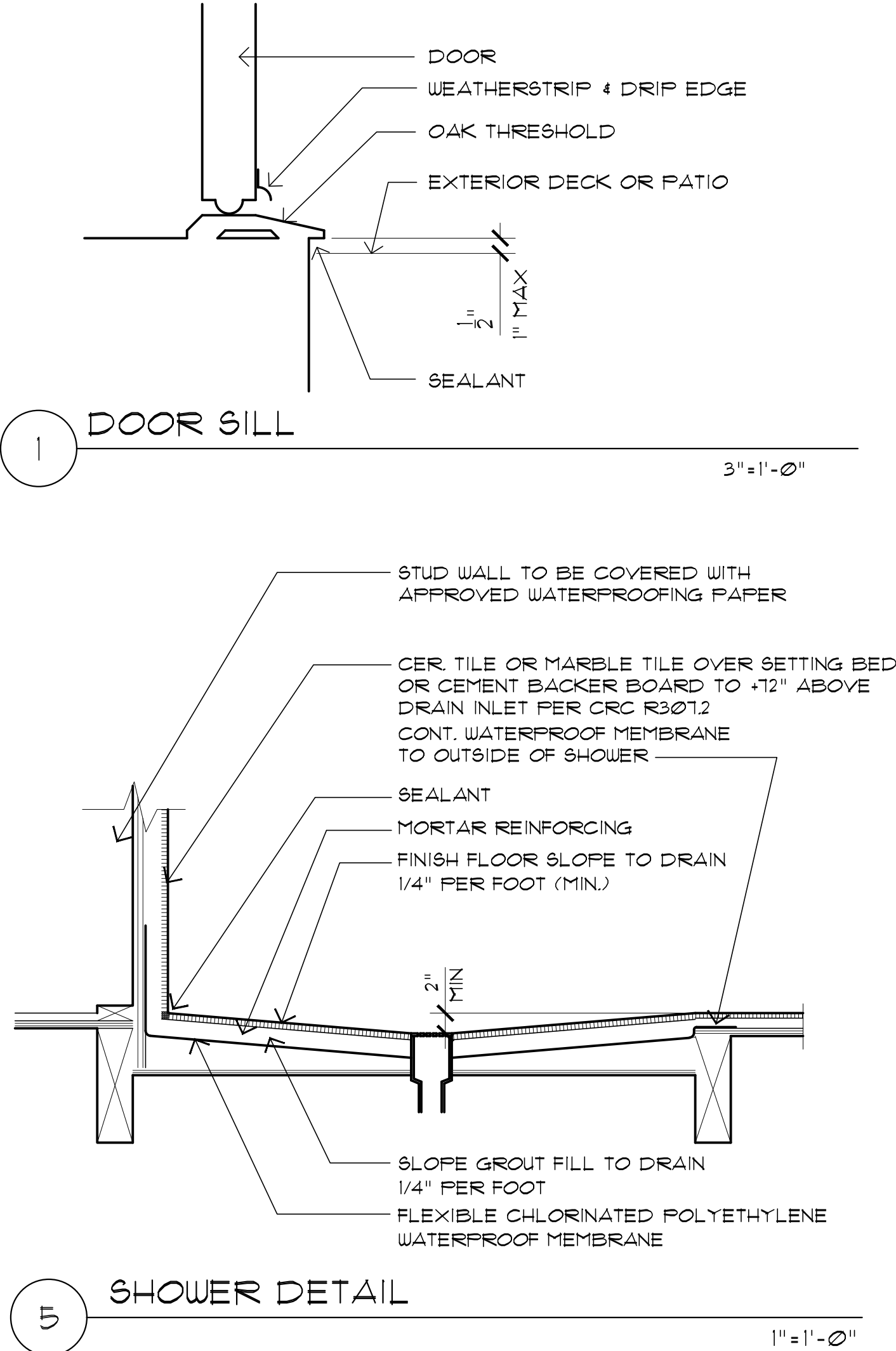
2 WEEP SCREED
1 1/2"=1'-0"

WINDOW SCHEDULE				
MARK	SIZE	LOCATION	TYPE	REMARKS
1A	2'-6"x7'-6"	FOYER	C&MT/FIX	5'-6" C&MT W/ 2'-0" FIXED ABOVE
1B	2'-6"x7'-6"	FOYER	C&MT/FIX	5'-6" C&MT W/ 2'-0" FIXED ABOVE
1C	2'-6"x7'-6"	BEDROOM 2	C&MT/FIX	5'-6" C&MT W/ 2'-0" FIXED ABOVE, EGRESS
1D	2'-6"x7'-6"	BEDROOM 2	C&MT/FIX	5'-6" C&MT W/ 2'-0" FIXED ABOVE
1E	2'-6"x7'-6"	BEDROOM 2	C&MT/FIX	5'-6" C&MT W/ 2'-0" FIXED ABOVE
1F	2'-6"x7'-6"	BATH 2	C&MT/FIX	TEMP 5'-6" C&MT W/ 2'-0" FIXED ABOVE
1G	FR 2'-6"x8'-0"	GREAT ROOM	FIXED	W/ FR TEMP 2'-6"x5'-0" FIXED TRANSOM, MATCH GR. RM DOORS
1H	FR 2'-6"x8'-0"	GREAT ROOM	FIXED	W/ FR TEMP 2'-6"x5'-0" FIXED TRANSOM, MATCH GR. RM DOORS
1J	FR 2'-3"x7'-6"	KITCHEN	C&MT/FIX	5'-6" C&MT W/ 2'-0" FIXED ABOVE
1K	FR 2'-3"x7'-6"	KITCHEN	C&MT/FIX	5'-6" C&MT W/ 2'-0" FIXED ABOVE
1L	FR 2'-3"x7'-6"	KITCHEN	C&MT/FIX	5'-6" C&MT W/ 2'-0" FIXED ABOVE
1M	3 - 2'-0" x 5'-0"	KITCHEN	C&MT/FIX	3 - 2'-0" x 3'-0" C&MT, FIXED, C&MT W/ 3 - 2'-0" FIXED ABOVE
1N	2'-6" x 5'-0"	LAUNDRY	C&MT/FIX	2'-0"x2'-6" FIXED ABOVE
1N1	2'-6" x 5'-0"	OFFICE	C&MT/FIX	2'-0"x2'-6" FIXED ABOVE
1P	2'-6"x7'-6"	BATH 1	C&MT/FIX	TEMP 5'-6" C&MT W/ 2'-0" FIXED ABOVE
1Q	2'-6"x7'-6"	BEDROOM 1	C&MT/FIX	5'-6" C&MT W/ 2'-0" FIXED ABOVE
1R	2'-6"x7'-6"	BEDROOM 1	C&MT/FIX	5'-6" C&MT W/ 2'-0" FIXED ABOVE, EGRESS
1S	2'-6"x7'-6"	BEDROOM 1	C&MT/FIX	5'-6" C&MT W/ 2'-0" FIXED ABOVE
1T	2'-6"x7'-6"	FOYER	C&MT/FIX	5'-6" C&MT W/ 2'-0" FIXED ABOVE
2A	2'-6"x4'-0"	FOYER	FIXED	TEMP'D
2B	2'-6"x7'-6"	FOYER	FIXED	5'-6" FIXED W/ 2'-0" FIXED ABOVE
2C	2'-6"x7'-6"	BEDROOM 3	C&MT/FIX	5'-6" C&MT W/ 2'-0" FIXED ABOVE
2D	2'-6"x7'-6"	BATH 3	C&MT/FIX	TEMP 5'-6" C&MT W/ 2'-0" FIXED ABOVE
2E	FR 2'-6"x5'-0"	GREAT ROOM	FIXED	TEMP'D
2F	FR 2'-6"x5'-0"	GREAT ROOM	FIXED	TEMP'D
2G	FR 2'-6"x5'-0"	GREAT ROOM	FIXED	TEMP'D
2H	FR 2'-6"x5'-0"	GREAT ROOM	FIXED	TEMP'D
2J	FR 2'-6"x5'-0"	GREAT ROOM	FIXED	TEMP'D
2K	FR 2'-6"x7'-6"	MSTR BEDROOM	C&MT/FIX	FR TEMP 5'-6" C&MT W/ FR 2'-0" FIXED ABOVE
2L	FR 2'-6"x7'-6"	MSTR BEDROOM	C&MT/FIX	FR TEMP 5'-6" C&MT W/ FR 2'-0" FIXED ABOVE
2M	FR 2'-6"x7'-6"	MSTR BEDROOM	C&MT/FIX	FR 5'-6" C&MT W/ FR 2'-0" FIXED ABOVE
2N	2'-6"x7'-6"	MSTR TOILET	C&MT/FIX	FR 5'-6" C&MT W/ FR 2'-0" FIXED ABOVE
2P	FR 2'-6"x7'-6"	MSTR BATH	C&MT/FIX	FR TEMP 5'-6" C&MT W/ FR 2'-0" FIXED ABOVE
2Q	FR 2'-6"x7'-6"	MSTR BATH	C&MT/FIX	FR TEMP 5'-6" C&MT W/ FR 2'-0" FIXED ABOVE
2R	2'-6"x7'-6"	FOYER	FIXED	5'-6" FIXED W/ 2'-0" FIXED ABOVE
GHA	FR 2'-6"x6'-6"	GUEST BEDROOM	C&MT/FIX	FR TEMP 5'-6" C&MT W/ FR 1'-6" FIXED ABOVE
GHB	FR 2'-6"x6'-6"	GUEST BEDROOM	C&MT/FIX	FR TEMP 5'-6" C&MT W/ FR 1'-6" FIXED ABOVE
GHC	2'-6"x4'-6"	GUEST BATH	C&MT/FIX	3'-0" C&MT W/ 1'-6" FIXED ABOVE
GHD	2'-0"x2'-0"	GUEST BEDROOM	AWNING	
GHE	2'-0"x2'-0"	GUEST BEDROOM	FIXED	
GHF	2'-0"x2'-0"	GUEST BEDROOM	AWNING	

WINDOW NOTES:
1. ALL GLAZING TO BE DOUBLE GLAZED W/ TEMP'D EXTERIOR LITE. U.O.N. TO MEET WJI STANDARDS (CBC 108A)
2. ALL GLAZING TO BE LOW "E" GLASS
3. PATIO AND EXTERIOR SWINGING DOORS TO MATCH SASH COLOR
4. ALL DOORS AND WINDOWS TO HAVE A 2" NAILING FIN.



3 WINDOW FLASHING
N/A



REVISIONS	
NO.	DATE

WILLIAM C. WELFORD
ARCHITECT
P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567 LICENSE # C-22893

NEW RESIDENCE FOR:
Mr. & Mrs. Robert Walker
1634 SONADO ROAD
APEX 008-202-014

DATE: 4/25/2022
PROJECT NO. 20020
DRAWN BY:
CHECKED BY:
SHEET TITLE: SCHEDULES DETAILS
SHEET NO. A-8
OF FOURTEEN SHEETS














A = 9
OF FOURTEEN SHEETS

5" TC 900 LUMEN LED DOWNLIGHT
NEW CONSTRUCTION
TC20LED (G4 09LM) RECESSED HOUSING
LENSED TRIMS

Series	Construction	Lenses	Color Temperature	CR	Voltage/Driver
TC20LD	5" LED Downlight New Construction	64	6000K	90+ CRI	120VAC
			3000K		120VAC
			4000K		120VAC
			5000K		120VAC
			6000K		120VAC

Emergency Battery	Trim/Finish
EB	Emergency Battery
CP	Clearance Plate

Trim/Description	Accessories (linked separately)
 210N WH *	5" Lensed Flat Glass Downlight Trim - White
 210N SC *	5" Lensed Flat Glass Downlight Trim - Satin Chrome
 210N ABZ *	5" Lensed Flat Glass Downlight Trim - Clear Acrylic Baffle
 212N WH *	5" Lensed Frosted Lens with Clear Center Trim - White
 212N SC *	5" Lensed Frosted Lens with Clear Center Trim - Satin Chrome
 212N ABZ *	5" Lensed Frosted Lens with Clear Center Trim - Clear Acrylic Baffle
 2130 WHH *	5" Lensed Baffle with Regulated Frosted Downlight Lens - White/Half, White Trim Ring
 2130 WHH *	5" Lensed Baffle with Regulated Frosted Downlight Lens - Black/Half, Black Trim Ring
 5101 ABZ *	5" Lensed Baffle with Frosted Downlight Lens - Clear Acrylic Baffle
 5101 SC *	5" Lensed Baffle with Frosted Downlight Lens - Satin Chrome
 5101 WH *	5" Lensed Baffle with Frosted Downlight Lens - White

Catalog Number	Description
HB 1	Hex 1/2" x 1/2" x 1/2" Hex Nuts
HB 20	Hex 1/2" x 1/2" x 1/2" Hex Nuts
HB 50	Hex 1/2" x 1/2" x 1/2" Hex Nuts
LED27	27° Beam Flood Light
LED27G3	Medium Flood Spot (27°)
LED27G3M	Medium Flood Spot (27°)
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LED27G3M	Medium Flood Spot (27°)
LED27G3M	Medium

1/8" Lensed for use in wet locations.
*This unit was factory shipped with frosted LED housing.
Note: The TC20LED is not suitable for use in wet locations.
Note: In Canada, when installing in a garage, the TC20LED must be used.
Note: In Canada, when installing in a garage, the TC20LED must be used.
Note: In Canada, when installing in a garage, the TC20LED must be used.

Acuity Brands
1200 S. Wolf Road • Dan Folsom, IL 60010 • Phone: 1-800-765-5551 (7273) • Visit us at www.acuitybrands.com/jenacces
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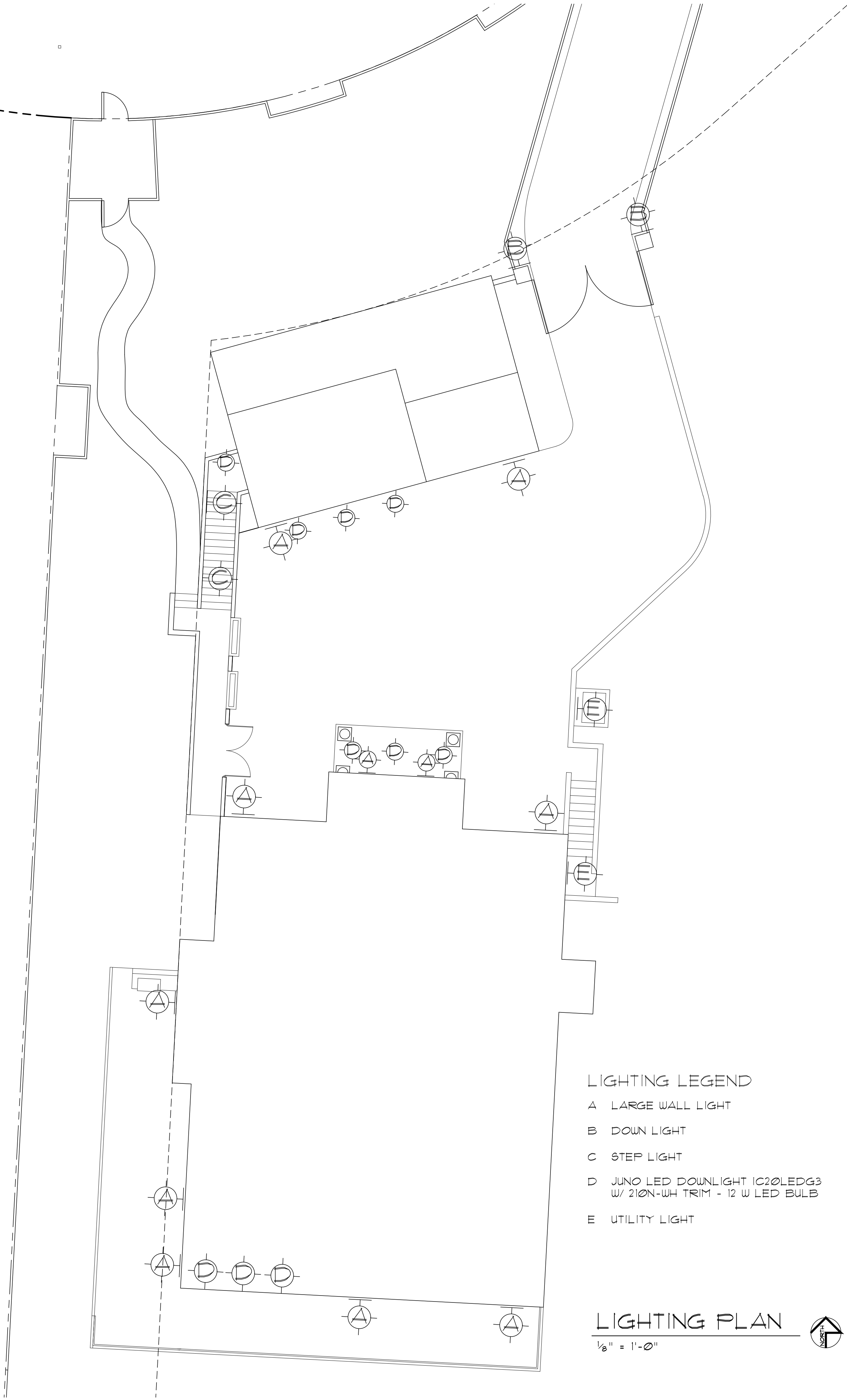
Light Commercial & Residential 2 of 3



FIXTURE E

Home Decorator's Collection
Rodham #IZC1691L-2

NUMBER OF LIGHTS	SCENCE TYPE	POWER TYPE	LIGHT DIRECTION
1 X	WALL LANTERN	HARDWIRED	DOWN
FIXTURE MATERIAL	LUMENS	LIGHT BULB TYPE INCLUDED	VOLTAGE TYPE
METAL	360	INTEGRATED LED	LINE VOLTAGE

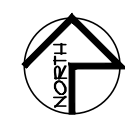


LIGHTING LEGEND

- A LARGE WALL LIGHT
- B DOWN LIGHT
- C STEP LIGHT
- D JUNO LED DOWNLIGHT IC20LEDG3 W/ 210N-WH TRIM - 12 W LED BULB
- E UTILITY LIGHT

LIGHTING PLAN

1/8" = 1'-0"



FIXTURE A
LED LIGHT UNDER CAP



FIXTURE B
LED LIGHT UNDER CAP

WAC LIGHTING

WL-LED120
Step And Wall Light

Model & Voltage	Color Temp & CRI	Lumens	Finish
WL-LED120-120 VAC	3000K (90)	36	Black on Aluminum
WL-LED120F-277 VAC	3000K (90)	36	BZ Bronze on Aluminum
	3000K (90)	36	WT White on Aluminum

Example: WL-LED120-AM-BK

DESCRIPTION
WAC Lighting Step and Wall Lights are designed to seamlessly blend into any architecture featuring a sleek interchangeable magnetic faceplate with no visible hardware. These luminaires offer enhanced energy efficient functionality and optimized light output to adequately illuminate stairs, walls, and walkways with little or no glare. Light engine is IP66 sealed for both indoor and outdoor applications.

- FEATURES**
 - Louvered design offers shielded illumination
 - Magnetized design for easy installation and maintenance
 - Low profile, flush to wall aesthetics with no visible hardware
 - 5-year warranty

SPECIFICATIONS	FINISHES:
Construction: Die-cast corrosion resistant aluminum alloy	Black on Aluminum
Power: 3.5W, 3W	BZ Bronze on Aluminum
Input: 120 VAC, 50/60Hz, 277 VAC	WT White on Aluminum
Dimming: ELV: 100-10%	
Light Source: Integrated LED	
Rated Life: 50000 Hours	
Mounting: Fits into 2" x 4" J-Box with minimum inside dimensions of 3 1/4" x 2 1/4" x 2 5/8"	
Finish: Enamel Coated: Black on Aluminum, Bronze on Aluminum, White on Aluminum	
Operating Temp: -40°F to 104°F (-40°C to 40°C)	
Standards: ETL, cETL, Wet Location Listed, IP66, Title 24 JAG-2019 Compliant, ADA	

REPLACEMENT PARTS
W-4051-120-BK - LED120 Cover Plate BK
W-4051-120-BZ - LED120 Cover Plate BZ
W-4051-120-WT - LED120 Cover Plate WT

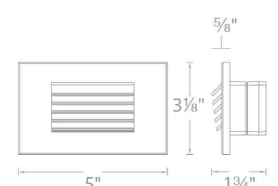
FIXTURE C



FINISHES:



LINE DRAWING:



REVISIONS	
NO.	DATE

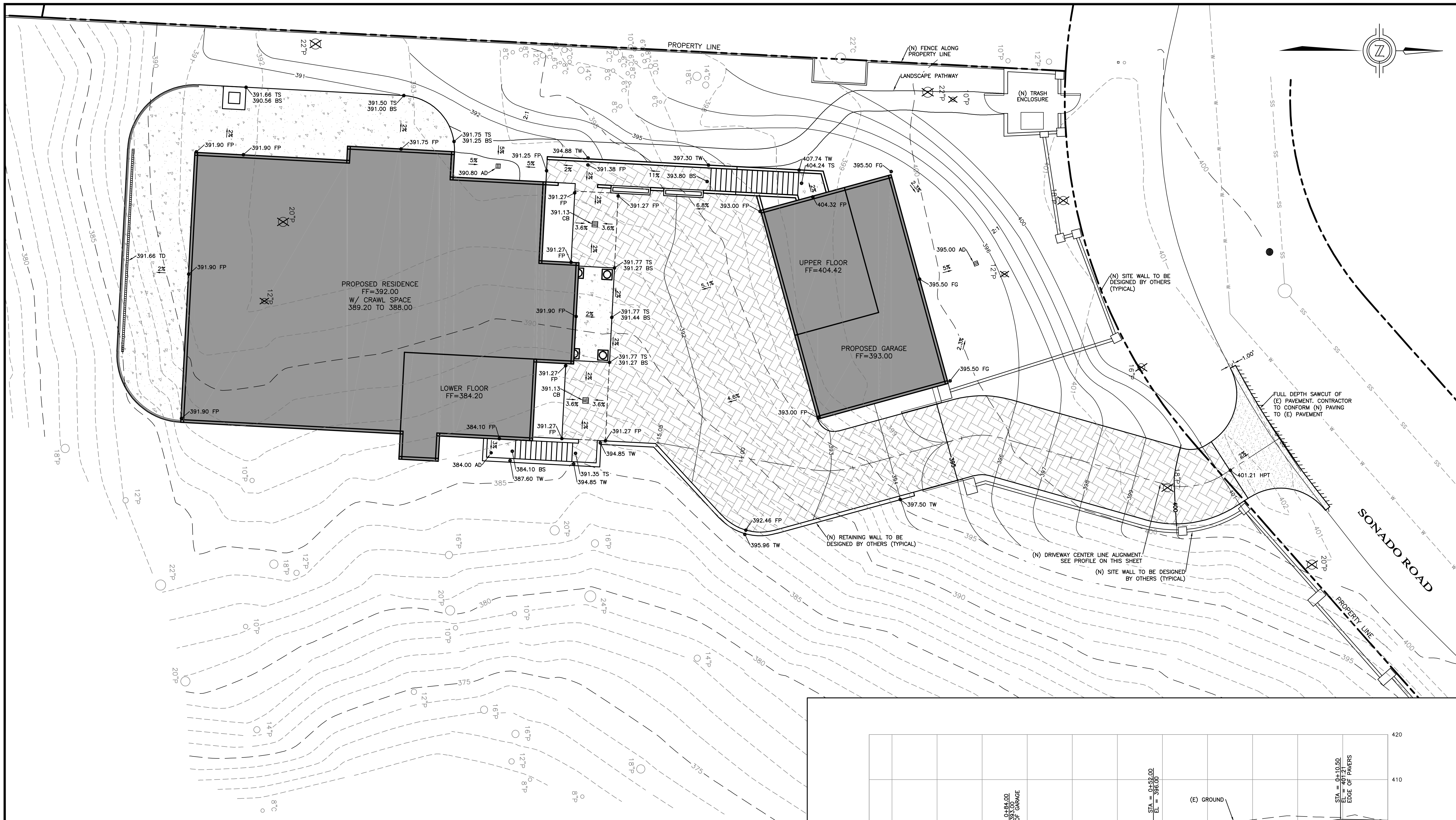
WILLIAM C. MEFFORD
ARCHITECT
P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567 LICENSE # C-22893

NEW RESIDENCE FOR:
Mr. & Mrs. Robert Walker
1634 SONADO ROAD
APN 008-202-014
PEBBLE BEACH

DATE: 4/25/2022
PROJECT NO. 20010
DRAWN BY:
CHECKED BY:
SHEET TITLE:
LIGHTING PLAN

SHEET NO. SL-1
OF FOURTEEN SHEETS





NOTE:
ALL TREES TO BE PROTECTED IN PLACE
UNLESS SHOWN OTHERWISE
X TREE TO BE REMOVED

LEGEND

- (N) BUILDING SEE ARCHITECTURAL PLANS
- (N) CONCRETE PAVEMENT
- (N) PAVERS SET IN CONCRETE
- (N) AC PAVEMENT DRIVEWAY APRON

- AD AREA DRAIN
- BS BOTTOM OF STEP
- CB CATCH BASIN
- E EXISTING
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOW LINE
- FP FINISHED PAVEMENT
- HPT HIGH POINT
- ME MATCH EXISTING
- N NEW
- TD TRENCH DRAIN
- TS TOP OF STEP
- TW TOP OF WALL

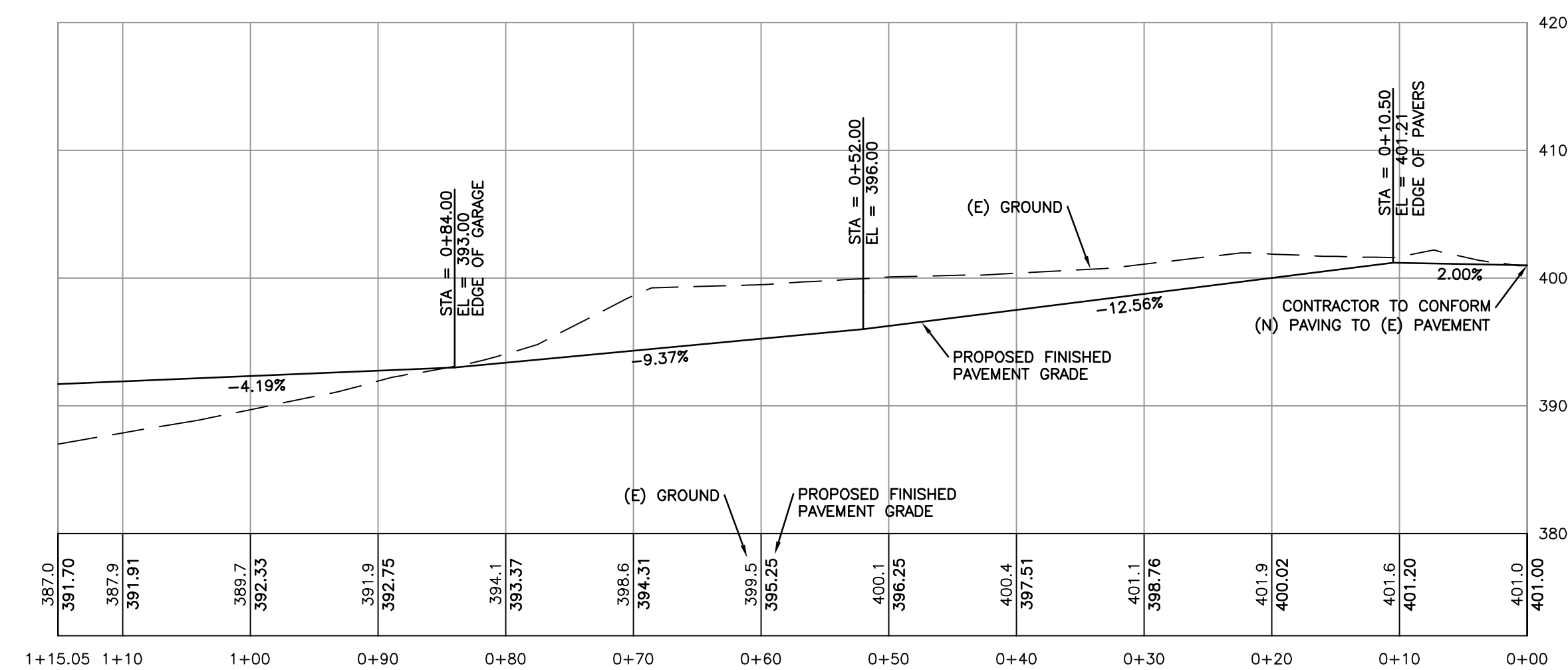
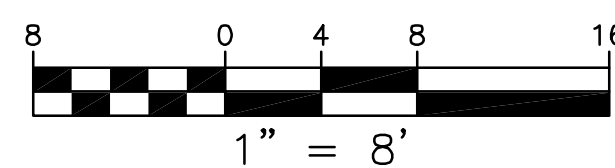
A
C1

SITE GRADING PLAN

SCALE: 1"=8'

EARTHWORK
CUT=1100 CY
FILL=160 CY
NET=940 CY CUT

EARTHWORK QUANTITIES AS CALCULATED BY THE ENGINEER ARE TO SUB GRADE IN PAVED AREAS AND ARE ESTIMATES ONLY. AN 11" SECTION WAS ASSUMED FOR BUILDING SLAB AREAS, AN 11" SECTION WAS ASSUMED FOR THE DRIVEWAY, AND A 7" SECTION WAS ASSUMED FOR ALL OTHER FLAT WORK. A 15% COMPACTION RATIO WAS ASSUMED FOR FILL LOCATIONS. SPOILS FROM UTILITY TRENCHING AND RETAINING WALL BACKFILL WERE NOT INCLUDED IN THESE CALCULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE QUANTITIES BY PERFORMING HIS OWN CALCULATIONS.



DRIVEWAY CENTER LINE PROFILE

SCALE: 1"=10'

SITE GRADING PLAN

WALKER RESIDENCE
1634 SONADO ROAD
PEBBLE BEACH, CA 93953
APN 008-202-014

SHEET C1

OF

4 SHEETS

EROSION/DUST CONTROL NOTES

1. VEGETATION REMOVAL BETWEEN OCTOBER 15th AND APRIL 15th SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE.
 2. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
A) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
C) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT.
(MONTEREY COUNTY GRADING/EROSION ORD. 2806-16.12.090)
 3. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
 4. ALL CUT AND FILL SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEED, OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING SUBJECT TO THE APPROVAL OF THE DIRECTOR OF RMA-PLANNING AND RMA-BUILDING SERVICES. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
 5. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
 6. THE DIRECTOR OF THE BUILDING INSPECTION DEPARTMENT MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
 7. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.
B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
 8. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE. THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
 9. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE EROSION AND PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM. ACCEPTABLE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: INSTALLATION OF SILT FENCES, FIBER ROLLS, INSTALLATION OF STORM DRAIN INLET PROTECTION, AND INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCES. AT THE CONTRACTOR'S DISCRETION, ANY ONE OR A COMBINATION OF THESE MEASURES MAY BE USED ABOVE AND BEYOND WHAT IS SHOWN ON THE PLANS.
 10. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
 11. DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
 12. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- STORM DRAIN INLET PROTECTION**
1. STORM DRAIN INLET PROTECTION SHALL BE INSTALLED AROUND EXISTING AND NEW STORM DRAIN INLETS AS REQUIRED TO PREVENT ANY SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM.
 2. INSTALL STORM DRAIN INLET PROTECTION AS SHOWN ON DETAIL B/C3.
 3. STORM DRAIN INLET PROTECTION SHALL BE INSPECTED MONTHLY DURING DRY PERIODS AND IMMEDIATELY AFTER EACH RAINFALL. REPAIRS SHALL BE MADE IMMEDIATELY TO ANY DAMAGED PORTION OF THE BARRIER. SEDIMENT AND DEBRIS SHOULD BE REMOVED FROM THE PERIMETER OF THE BARRIER.
- FIBER ROLL**
1. FIBER ROLLS WILL BE INSTALLED AT LOCATIONS SHOWN ON THIS PLAN AND PER DETAIL D/C3. CONTRACTOR MAY USE SILT FENCE AS AN ALTERNATE/SUPPLEMENTAL EROSION CONTROL/SEDIMENT BARRIER.
- TYPICAL CONSTRUCTION ENTRANCE**
1. CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER DETAIL C/C3 AT THE LOCATION SHOWN ON THE PLANS.
 2. RUN-OFF FROM CONSTRUCTION ENTRANCE SHALL BE DIVERTED SO AS TO PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING DIRECTLY INTO THE STORM DRAINAGE SYSTEM.
 3. ALL VEHICLES LEAVING THE PROJECT SITE SHOULD PASS OVER THE CONSTRUCTION ENTRANCE AND BE CLEARED OF DIRT, MUD, OR ANY DEBRIS BEFORE ENTERING THE MAIN ROAD.
 4. ANY DIRT, MUD, OR DEBRIS DEPOSITED IN THE MAIN ROAD ADJACENT TO THE CONSTRUCTION SITE SHOULD BE CLEANED IMMEDIATELY.
 5. THE CONSTRUCTION ENTRANCE SHOULD BE INSPECTED AND MAINTAINED PERIODICALLY TO ENSURE PROPER FUNCTION.
 6. THE CONSTRUCTION ENTRANCE MAY BE FIELD MODIFIED TO MEET SITE CONDITIONS.
- CONCRETE WASHOUT**
1. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
 2. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
 3. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
 4. TEMPORARY WASHOUT FACILITIES SHOULD HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
 5. WASHOUT OF CONCRETE TRUCKS SHOULD BE PERFORMED IN DESIGNATED AREAS ONLY.
 6. ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT.
 7. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFFSITE.
 8. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF PER PROPER WASTE MANAGEMENT PROCEDURES. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.
- MATERIAL DELIVERY AND STORAGE**
1. LIQUIDS, PETROLEUM PRODUCTS, AND SUBSTANCES LISTED IN 40 CFR PARTS 110, 117, OR 302 SHOULD BE STORED IN APPROVED CONTAINERS AND DRUMS AND SHOULD NOT BE OVERFILLED. CONTAINERS AND DRUMS SHOULD BE PLACED IN TEMPORARY CONTAINMENT FACILITIES FOR STORAGE.
 2. TEMPORARY CONTAINMENT FACILITY SHOULD PROVIDE FOR A SPILL CONTAINMENT VOLUME ABLE TO CONTAIN PRECIPITATION FROM A 25 YEAR STORM EVENT, PLUS THE AGGREGATE VOLUME OF ALL CONTAINERS OR 100% OF THE CAPACITY OF THE LARGEST CONTAINER WITHIN ITS BOUNDARY, WHICHEVER IS GREATER.
 3. A TEMPORARY CONTAINMENT FACILITY SHOULD BE IMPERVIOUS TO THE MATERIALS STORED THEREIN FOR A MINIMUM CONTACT TIME OF 72 HOURS.
 4. A TEMPORARY CONTAINMENT FACILITY SHOULD BE MAINTAINED FREE OF ACCUMULATED RAINWATER AND SPILLS. IN THE EVENT OF SPILLS OR LEAKS, ACCUMULATED RAINWATER SHOULD BE COLLECTED INTO DRUMS. THESE LIQUID WASTES SHOULD BE HANDLED AS A HAZARDOUS WASTE UNLESS TESTING DETERMINES THEM TO BE NON-HAZARDOUS. ALL COLLECTED LIQUIDS OR NON-HAZARDOUS LIQUIDS SHOULD BE SENT TO AN APPROVED DISPOSAL SITE.
 5. SUFFICIENT SEPARATION SHOULD BE PROVIDED BETWEEN STORED CONTAINERS TO ALLOW FOR SPILL CLEANUP AND EMERGENCY RESPONSE ACCESS.
 6. INCOMPATIBLE MATERIALS, SUCH AS CHLORINE AND AMMONIA, SHOULD NOT BE STORED IN THE SAME TEMPORARY CONTAINMENT FACILITY.
 7. THROUGHOUT THE RAINY SEASON, EACH TEMPORARY CONTAINMENT FACILITY SHOULD BE COVERED DURING NON-WORKING DAYS, PRIOR TO, AND DURING RAIN EVENTS.
 8. MATERIALS SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS AND THE ORIGINAL PRODUCT LABELS SHOULD BE MAINTAINED IN PLACE IN A LEGIBLE CONDITION. DAMAGED OR OTHERWISE ILLEGIBLE LABELS SHOULD BE REPLACED IMMEDIATELY.
 9. BAGGED AND BOXED MATERIALS SHOULD BE STORED ON PALLETES AND SHOULD NOT BE ALLOWED TO ACCUMULATE ON THE GROUND. TO PROVIDE PROTECTION FROM WIND AND RAIN THROUGHOUT THE RAINY SEASON, BAGGED AND BOXED MATERIALS SHOULD BE COVERED DURING NON-WORKING DAYS AND PRIOR TO AND DURING RAIN EVENTS.
 10. STOCKPILES SHOULD BE PROTECTED IN ACCORDANCE WITH CALIFORNIA STORM WATER QUALITY HANDBOOK CONSTRUCTION PRACTICES WM-3, STOCKPILE MANAGEMENT.
 11. MATERIALS SHOULD BE STORED INDOORS WITHIN EXISTING STRUCTURES OR SHEDS WHEN AVAILABLE.
 12. PROPER STORAGE INSTRUCTIONS SHOULD BE POSTED AT ALL TIMES IN AN OPEN AND CONSPICUOUS LOCATIONS.
 13. AN AMPLE SUPPLY OF APPROPRIATE SPILL CLEAN MATERIAL SHOULD BE KEPT NEAR STORAGE AREAS.
 14. KEEP AN ACCURATE, UP-TO-DATE INVENTORY OF MATERIAL DELIVERED AND STORED ONSITE.
 15. ARRANGE FOR EMPLOYEES TRAINED IN EMERGENCY SPILL CLEANUP PROCEDURES TO BE PRESENT WHEN DANGEROUS MATERIALS OR LIQUID CHEMICALS ARE UNLOADED.

WASTE COLLECTION AREA

1. WATER TIGHT DUMPSTERS OF SUFFICIENT SIZE AND NUMBER SHALL BE PROVIDED TO CONTAIN THE SOLID WASTE GENERATED BY THE PROJECT AND SHALL BE PROPERLY SERVICED.
2. LITTERING ON THE PROJECT SITE SHALL BE PROHIBITED.
3. TRASH RECEPTACLES SHALL BE PROVIDED IN FIELD TRAILER AREAS AND IN LOCATIONS WHERE WORKERS CONGREGATE FOR LUNCH AND BREAK PERIODS.
4. CONSTRUCTION DEBRIS AND LITTER FROM WORK AREAS WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT SITE SHALL BE COLLECTED AND PLACED IN WATER TIGHT DUMPSTERS AT LEAST WEEKLY. COLLECTED LITTER OR DEBRIS SHALL NOT BE PLACED IN OR NEXT TO DRAIN INLETS, STORM WATER DRAINAGE SYSTEMS OR WATERCOURSES.
5. FULL DUMPSTERS SHALL BE REMOVED FROM THE PROJECT SITE AND THE CONTENTS SHALL BE DISPOSED OF AT A LEGALLY APPROVED LAND FILL LOCATION.
6. ALL DUMPSTERS SHALL BE HANDLED AND DISPOSED OF BY TRASH HAULING CONTRACTOR.
7. CONSTRUCTION DEBRIS AND WASTE SHALL BE REMOVED FROM THE SITE EVERY TWO WEEKS OR SOONER IF NEEDED.
8. STORM WATER RUN ON SHALL BE PREVENTED FROM CONTACTING STOCKPILED SOLID WASTE. THE USE OF BERMS OR OTHER TEMPORARY DIVERSION STRUCTURES OR THROUGH THE USE OF MEASURES TO ELEVATE WASTE FROM SURFACE.
9. WASTE STORED IN STOCKPILES SHALL BE SECURLY COVERED FROM WIND AND RAIN BY COVERING WASTE WITH TARPS OR PLASTIC SHEETING WHILE WAITING FOR OFF HAUL OR TRANSFER TO DUMPSITE.
10. SEGREGATE HAZARDOUS WASTE FROM NON-HAZARDOUS WASTE. FOR DISPOSAL OF HAZARDOUS WASTE SEE BMP WM-6. HAVE HAZARDOUS WASTE HAULED TO AN APPROPRIATE DISPOSAL FACILITY IMMEDIATELY AFTER DEMOLITION OR USE.
11. MAKE SURE THAT TOXIC LIQUID WASTES AND CHEMICALS ARE NOT DISPOSED OF IN DUMPSTERS BUT ARE REMOVED OFF SITE APPROPRIATELY.

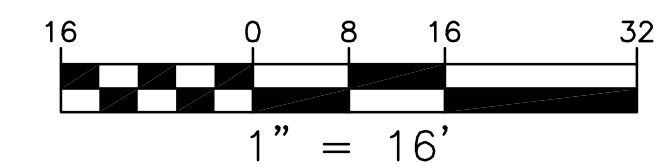
TREE PROTECTION

1. AROUND EACH TREE OR GROUP OF TREES TO BE PRESERVED ADJACENT TO CONSTRUCTION SITES, A BOUNDARY OF ORANGE FENCING SUPPORTED BY WOOD OR METAL STAKES OR FUNCTIONAL EQUIVALENT WILL BE ERCTED ALONG THE APPROXIMATE DRIP LINES OF SUCH PROTECTED TREES OR CLOSER WHERE SPECIFICALLY APPROVED BY A QUALIFIED FORESTER, ARBORIST, OR THE COUNTY OF MONTEREY. WHERE GUIDANCE OF A TREE PROFESSIONAL IS USED, ENCRoACHMENT INTO THE DRIP LINE OF RETAINED TREES MAY OCCUR IN ORDER TO MINIMIZE TREE REMOVALS.
2. NO EXCAVATION, STORAGE OF EXCAVATED FILL, EQUIPMENT, OR CONSTRUCTION MATERIALS, NOR PARKING OF VEHICLES WILL BE PERMITTED WITHIN THE DRIP LINES OF THESE FENCE PROTECTED TREES.
3. NO SOIL MAY BE REMOVED FROM WITHIN THE DRIP LINE OF ANY TREE AND NO FILL OF ADDITIONAL SOIL WILL EXCEED TWO INCHES WITHIN THE DRIP LINES OF TREES, UNLESS IT IS PART OF APPROVED CONSTRUCTION AND IS REVIEWED BY A QUALIFIED FORESTER.
4. BARK INJURY TO ANY TREE FROM EQUIPMENT OR MATERIALS WILL BE PREVENTED BY FAITHFULLY RESPECTING THE TREE PROTECTION FENCING REQUIRED ABOVE.
5. ROOTS EXPOSED BY EXCAVATION WILL BE PRUNED TO PROMOTE CALLUSING, CLOSURE, AND REGROWTH, AND WILL BE RECOVERED AS SOON AS POSSIBLE IF TREE HEALTH IS TO BE REASONABLY MAINTAINED.

NOTE:
ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15 THROUGH APRIL 15).

TOTAL AREA OF DISTURBANCE=0.33 AC

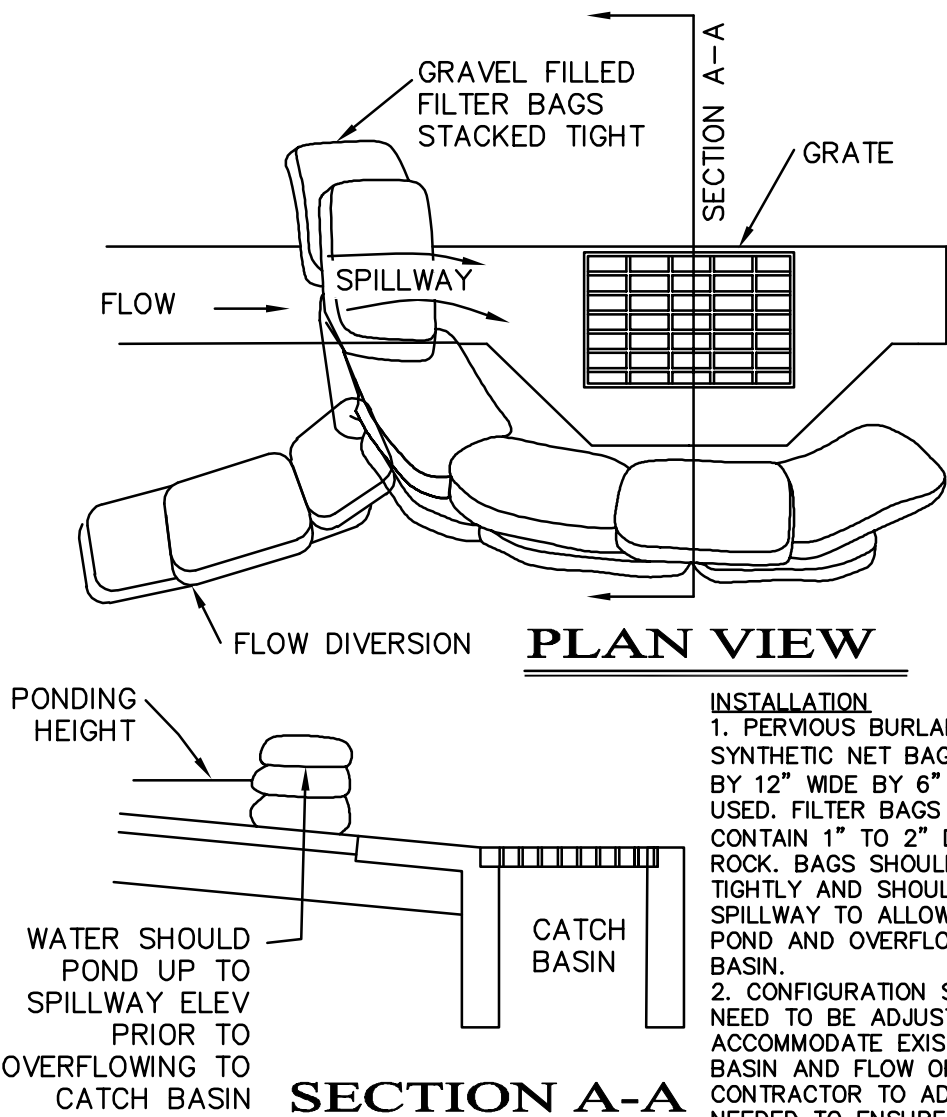
MAINTAIN ALL EROSION CONTROL MEASURES UNTIL LANDSCAPING IS ESTABLISHED



A
C3

EROSION CONTROL PLAN

SCALE: 1"=16'

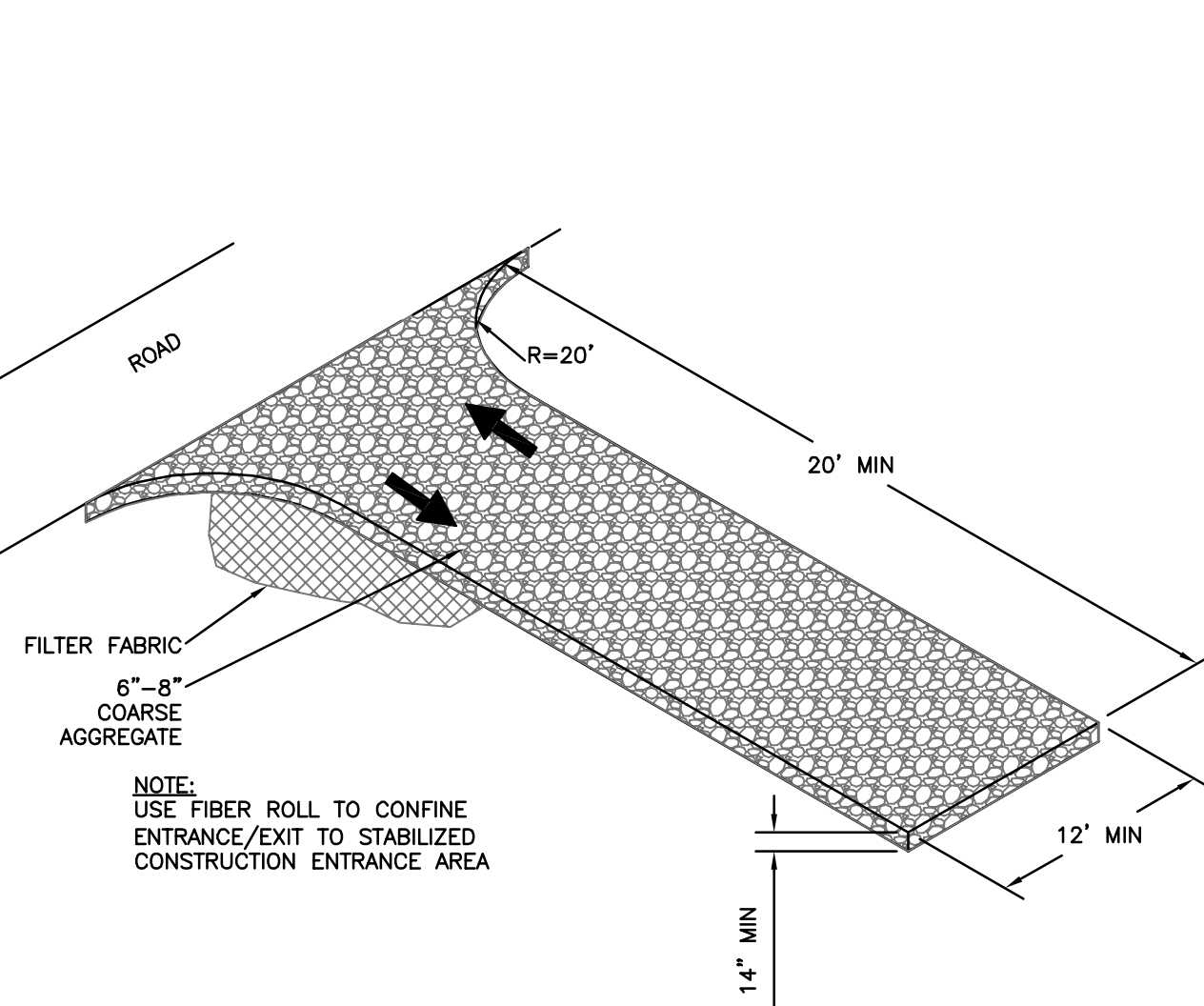


SECTION A-A

INLET PROTECTION

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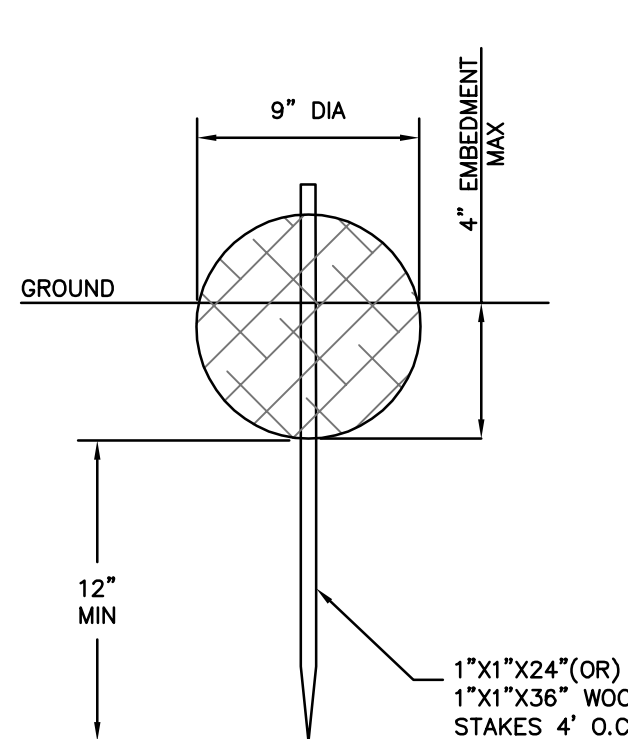
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STABILIZED CONSTRUCTION ENTRANCE

C
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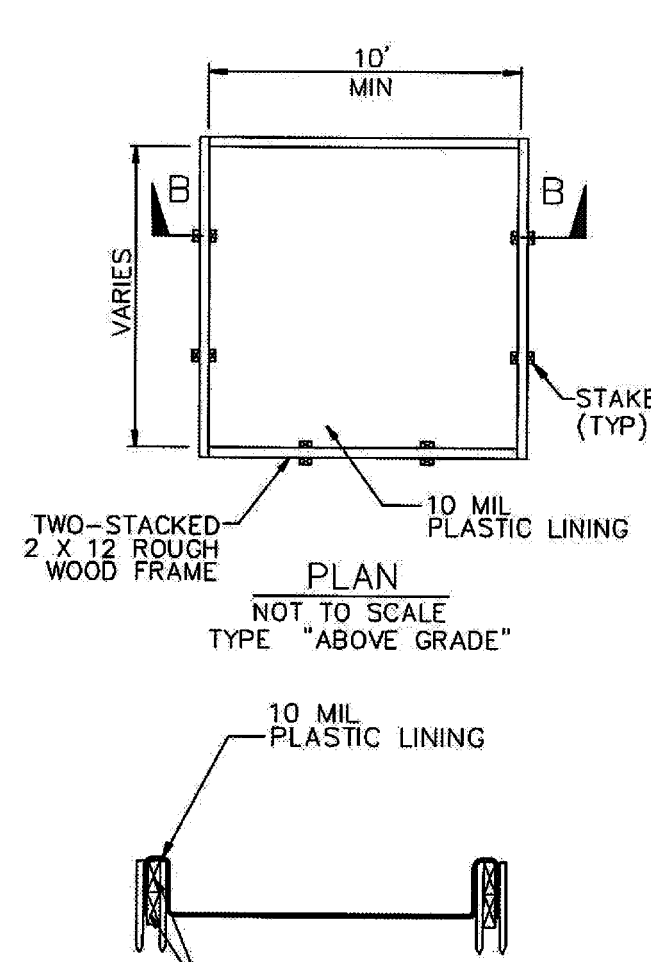
NTS



FIBER ROLL

D
C3

NTS



CONCRETE WASHOUT

E
C3

NTS



DRAWN BY: MRS
DESIGNED BY: MRS
DATE: 7-23-2021
SCALE: AS SHOWN
JOB NUMBER: 21-69
LAST REVISED: N/A
REVISED BY: N/A

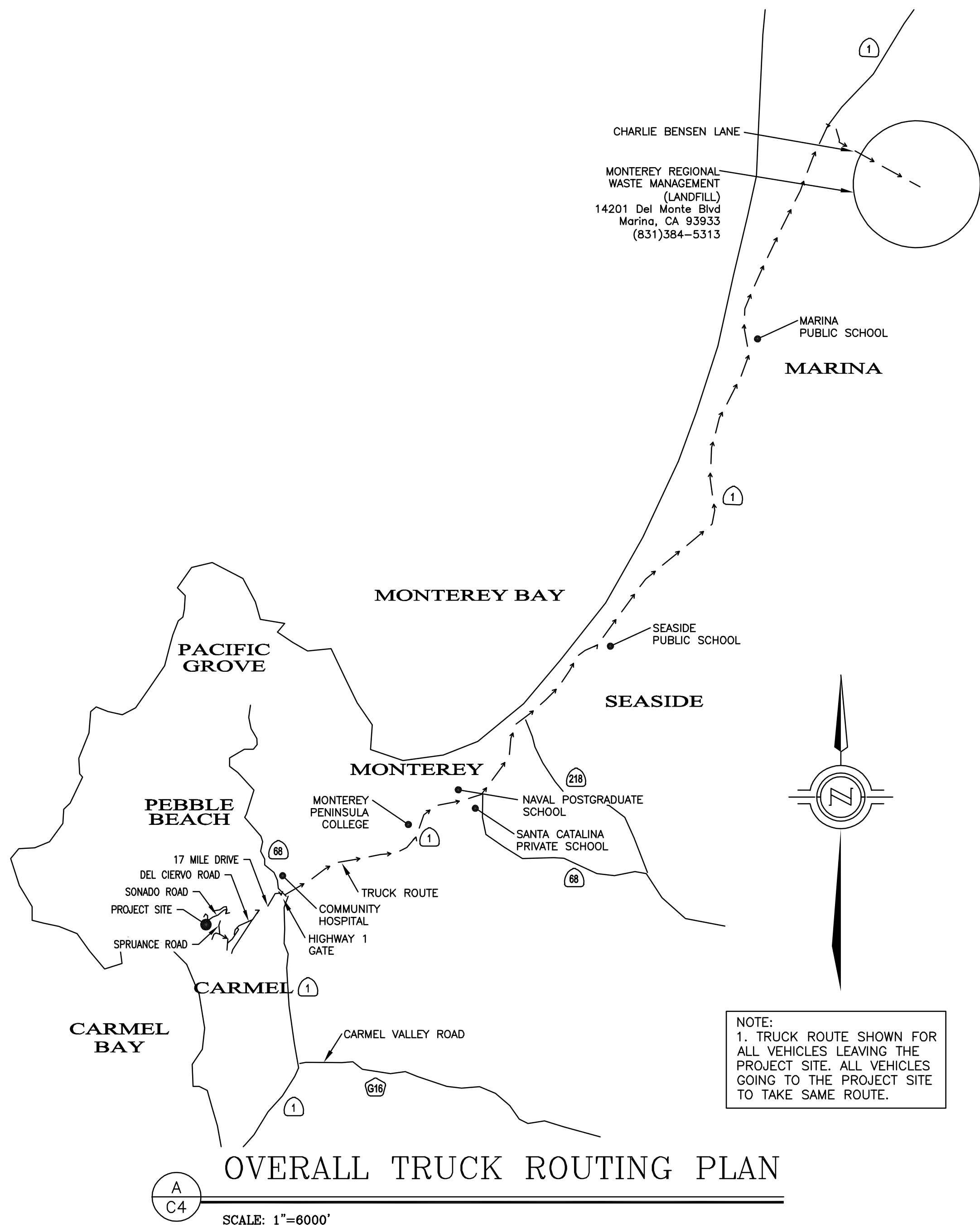
EROSION CONTROL PLAN

WALKER RESIDENCE
1634 SONADO ROAD
PEBBLE BEACH, CA 93953
APN 008-202-014

SHEET C3

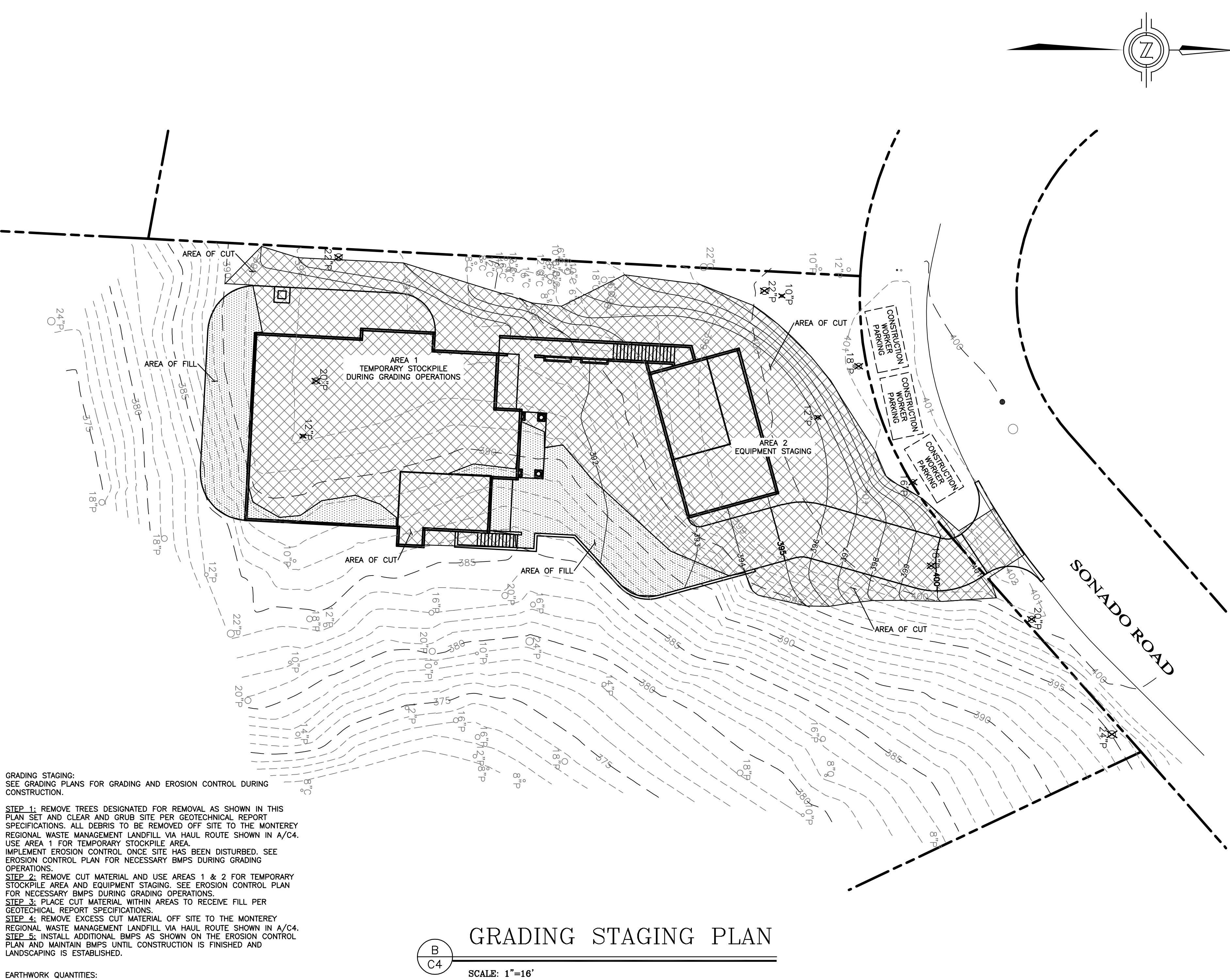
OF

4 SHEETS



CONSTRUCTION NOTES

1. ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY – SATURDAY, 8AM TO 6PM (EXCLUDING NATIONAL HOLIDAYS)
2. THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES, AND THAT SUCH COPIES ARE AVAILABLE FOR AGENCY REVIEW ON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE MONTEREY COUNTY RMA – PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE SOCIETY OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.
4. EQUIPMENT WASHING, REFUELING AND SERVICING SHALL TAKE PLACE ONLY ONSITE, APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES.
5. THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES (E.G. CLEANUP ALL LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY; KEEP MATERIALS COVERED AND OUT OF THE RAIN, INCLUDING COVERING EXPOSED PILES OF SOIL AND WASTES; DISPOSE OF ALL WASTES PROPERLY, PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER).
6. ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION-RELATED RUNOFF AND/OR SEDIMENT FROM LEAVING THE SITE.
7. THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING MEASURES TO CONTROL FUGITIVE DUST EMISSIONS DURING CONSTRUCTION (MM AQ C1 – DUST CONTROL):
 1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. FREQUENCY SHOULD BE BASED ON THE TYPE OF OPERATION, SOIL, AND WIND EXPOSURE. – NOT APPLICABLE TO SITE
 2. PROHIBIT ALL GRADING ACTIVITIES DURING PERIODS OF HIGH WIND MORE THAN 15 MILES PER HOUR.
 3. APPLY CHEMICAL SOIL STABILIZERS ON INACTIVE CONSTRUCTION AREAS SUCH AS DISTURBED LANDS WITHIN CONSTRUCTION PROJECTS THAT ARE UNUSED FOR AT LEAST FOUR CONSECUTIVE DAYS. – NOT APPLICABLE TO SITE
 4. APPLY NON-TOXIC BINDERS LIKE LATEX ACRYLIC COPOLYMER TO EXPOSED AREAS AFTER CUT AND FILL OPERATIONS AND HYDROSEED AREA. – NOT APPLICABLE TO SITE
 5. MAINTAIN AT LEAST 2 FEET OF FREEBOARD ON HAUL TRUCKS.
 6. COVER ALL TRUCKS HAULING DIRT SAND OR LOOSE MATERIALS.
 7. PLANT TREE WINDBREAKS ON THE WINDWARD PERIMETER OF CONSTRUCTION PROJECTS IF ADJACENT TO OPEN LAND, PRIOR TO CONSTRUCTION–NOT APPLICABLE TO SITE
 8. PLANT VEGETATIVE GROUND COVER IN DISTURBED AREAS AS SOON AS POSSIBLE.
 9. COVER INACTIVE STORAGE PILES.
 10. INSTALL WHEEL WASHERS AT THE ENTRANCE TO CONSTRUCTION SITES FOR ALL EXITING TRUCKS – NOT APPLICABLE TO SITE
 11. PAVE ALL ROADS ON CONSTRUCTION SITES PRIOR TO USE BY CONSTRUCTION EQUIPMENT – NOT APPLICABLE TO SITE
 12. SWEEP STREETS IF VISIBLE SOIL MATERIAL IS CARRIED OUT FROM THE CONSTRUCTION SITE
 13. POST A PUBLICLY VISIBLE SIGN THAT SPECIFIES THE TELEPHONE NUMBER AND PERSON TO CONTACT REGARDING DUST COMPLAINTS. THIS PERSON WILL RESPOND TO COMPLAINTS AND TAKE CORRECTIVE ACTION WITHIN 48 HOURS. THE PHONE NUMBER OF THE MBAPCD WILL BE VISIBLE TO ENSURE COMPLIANCE WITH RULE 402 NUISANCE.
 14. LIMIT THE AREA UNDER CONSTRUCTION AT ANY ONE TIME.
8. THE CONTRACTOR WILL ENSURE THAT ALL STATIONARY NOISE GENERATING EQUIPMENT, SUCH AS PUMPS AND GENERATORS ARE LOCATED AS FAR AS POSSIBLE FROM NEARBY NOISE SENSITIVE RECEPTORS AS PRACTICABLE. WHERE POSSIBLE, NOISE GENERATING EQUIPMENT WILL BE SHIELDED FROM NEARBY NOISE SENSITIVE RECEPTORS BY NOISE ATTENUATING BUFFERS SUCH AS STRUCTURES OR HAUL TRUCK TRAILERS. STATIONARY NOISE SOURCES LOCATED CLOSER THAN 500 FEET FROM NOISE SENSITIVE RECEPTORS WILL BE EQUIPPED WITH NOISE REDUCING ENGINE HOUSINGS. PORTABLE ACOUSTIC BARRIERS WILL BE PLACED AROUND NOISE GENERATING EQUIPMENT LOCATED WITHIN 200 FEET OF RESIDENCES, WATER TANKS AND EQUIPMENT STORAGE, STAGING, AND WARM-UP AREAS WILL BE LOCATED AS FAR FROM NOISE SENSITIVE RECEPTORS AS POSSIBLE.
9. THE CONTRACTOR WILL ENSURE ALL CONSTRUCTION EQUIPMENT POWERED BY GASOLINE OR DIESEL ENGINES HAS SOUND CONTROL DEVICES AT LEAST AS EFFECTIVE AS THOSE ORIGINALLY PROVIDED BY THE MANUFACTURER. NO EQUIPMENT WILL BE PERMITTED TO HAVE AN UNMUFFLED EXHAUST.
10. THE APPLICANT WILL ENSURE THE CONSTRUCTION SPECIFICATIONS SPECIFY THAT ANY MOBILE NOISE-GENERATING EQUIPMENT OR MACHINERY IS SHUT OFF WHEN NOT IN USE. THESE REQUIREMENTS WILL BE INCLUDED IN ALL RELEVANT CONSTRUCTION CONTRACTS AND SHOWN ON CONSTRUCTION PLANS, AND WILL BE IMPLEMENTED DURING CONSTRUCTION.
11. THE CONTRACTOR TO ENSURE THAT CONSTRUCTION VEHICLES ACCESSING THE SITE USE THE SHORTEST POSSIBLE ROUTE TO AND FROM LOCAL FREEWAYS, PROVIDED THE ROUTES DO NOT EXPOSE ADDITIONAL RECEPTORS TO NOISE. SEE APPROVED CONSTRUCTION MANAGEMENT PLAN.
12. THE APPLICANT AND THE CONTRACTOR WILL ENSURE THAT RESIDENTS WITHIN 500 FEET OF THE CONSTRUCTION AREA ARE NOTIFIED OF THE CONSTRUCTION SCHEDULE IN WRITING BEFORE CONSTRUCTION BEGINS.



EARTHWORK QUANTITIES:
1100 CY CUT
160 CY FILL
940 CY CUT NET

DAY*	TRUCK TRIPS PER DAY	MATERIAL CY	TOTAL EXPORT CY	DAY*	TRUCK TRIPS PER DAY	MATERIAL CY	TOTAL EXPORT CY
1	5	50	50	11	5	50	550
2	5	50	100	12	5	50	600
3	5	50	150	13	5	50	650
4	5	50	200	14	5	50	700
5	5	50	250	15	5	50	750
6	5	50	300	16	5	50	800
7	5	50	350	17	5	50	850
8	5	50	400	18	5	50	900
9	5	50	450	19	4	40	940
10	5	50	500				

*NOT CONSECUTIVE DAYS

*NOT CONSECUTIVE DAYS

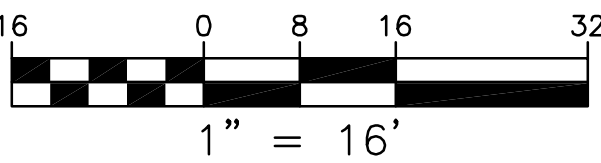
CONSTRUCTION COORDINATOR

CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION, SHOULD QUESTIONS ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBER) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF ALL COMPLAINTS (IF ANY) RECEIVED DURING CONSTRUCTION, AND SHALL INVESTIGATE COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24-HOURS OF RECEIPT OF THE COMPLAINT OR INQUIRY.

ADDITIONAL NOTES:

1. THIS PROJECT SITE WILL EXPECT 2-8 WORKERS PER DAY.
2. THIS PROJECT SITE WILL EXPECT NO MORE THAN 1 TRUCK DELIVERY PER DAY.
3. CONSTRUCTION PARKING WILL BE AT THE SITE WITHIN PROPOSED AREA

NOTE:
ALL TREES TO BE PROTECTED IN PLACE
UNLESS SHOWN OTHERWISE
X TREE TO BE REMOVED



W I L L I A M C M E F F O R D

A R C H I T E C T



Exterior Colors for 1634 Sonado Road, Pebble Beach

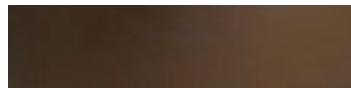
Roof –
MCA Tile - Classic Tapered Mission
BB383-R - Teja Bianco Blend



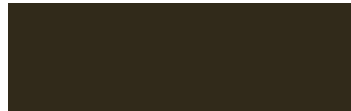
Stucco
Western Blended “#67 Candle Light”
Smooth Finish



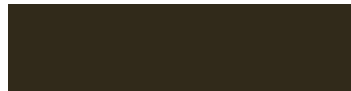
Copper Gutters



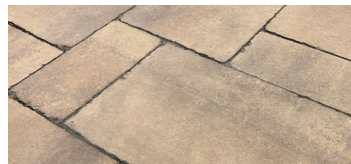
Aluminum Clad Windows
Kolbe Bronze



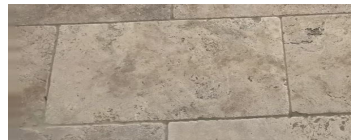
Front Door & Garage Doors
Dark Bronze



Driveway Pavers
Calstone Antique Flat Top
Cream/Tan/Brown



Terrace Paving
Limestone Tiles



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