

Exhibit B

This page intentionally left blank.

DRAFT RESOLUTION

Before the Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of:

NEESE MARTY T & KIMBERLY A VENTRE TRS (PLN220148)

RESOLUTION NO. 22-

Resolution by the Monterey County Chief of
Planning:

- 1) Considering an Addendum together with a previously certified EIR for the Santa Lucia Preserve Subdivision (EIR No. 94-005/Resolution No. 96-059) pursuant to CEQA Guidelines Section 15164; and
- 2) Approving an Administrative Permit and Design Approval to allow the construction of a 3,570 square foot single-family dwelling, 721 square foot detached carport, 102 square foot storage unit, 1,044 square foot accessory dwelling unit and associated site improvements including a spa, plunge pool, landscaping, and the removal of 11 Oak trees. Colors and materials consist of Corten panels for the siding of the main structure, accessory dwelling unit (ADU) and landscape walls, powder coated metal for the roof fascia and infill panels, board formed concrete retaining walls, black aluminum window frames, ballast roof for the carport and green roofs for the main structure and ADU.

[PLN220148, Neese Marty T & Kimberly A Ventre TRS, 2 Arrowmaker Trace, Carmel, Greater Monterey Peninsula Area Plan (APN: 239-051-008-000)]

The Neese Marty T & Kimberly A Ventre TRS application (PLN220148) came on for hearing before the Monterey County Chief of Planning on September 21st, 2022. Having considered all the written and documentary evidence, the administrative record, the staff report, written testimony, and other evidence presented, the Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
- EVIDENCE:**
- a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Greater Monterey Peninsula Area Plan;
 - Monterey County Zoning Ordinance (Title 21);
 - Resolution 96-060, Santa Lucia Preserve (SLP) Final Environmental Impact Report #94-005, SLP Subdivision Forest Management PlanNo conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) Project Scope. The project is the construction of a single-family dwelling, accessory dwelling unit, accessory structures, and associated site improvements on an undeveloped lot in the Santa Lucia Preserve:
 - The single-family dwelling is two stories totaling 3,570 square feet.
 - The accessory dwelling unit (ADU) is 1,044 square feet.
 - The accessory structures include a 721 square foot carport and a 102 square foot storage unit.
 - 11 protected trees consisting of; 2 Valley oaks and 9 Coast live oaks are proposed for removal. These trees are in the proposed building footprint and proposed driveway area.
 - The property will receive water and sewage services from Santa Lucia Preserve Community Services District (CSD).
 - Other site improvements consist of a paved driveway with two parking spots and a fire truck turnaround, two decks, one patio, a spa, a plunge pool, stone paved walkways, tree planting and landscaping.
 - c) Allowed Use. The property is located at 2 Arrowmaker Trace, Carmel (APN: 239-051-008-000), in the Greater Monterey Peninsula Area Plan. The parcel is zoned Resource Conservation with a density of 1 unit per 40 acres and Design Control and Site Plan Review overlay zones or “RC/40-D-S”, which allows one single-family dwelling (Title 21 Section 21.36.030.A), accessory dwelling units (Title 21 Section 21.64.030.C) and accessory structures and uses (Title 21 Section 21.36.030.E). Therefore, the project is an allowed land use for this site.
 - d) Site Inspection. The project planner conducted a site inspection on July, 6, 2022, to verify that the project on the subject parcel conforms to the plans listed above.
 - e) Lot Legality. The property is shown in its current configuration as lot 39 in Volume 20 Cities & Towns, Pg 8 (Tract No. 1308, Santa Lucia Preserve Phase A) on sheet 29 of 33. Therefore, the County recognizes the property as a legal lot of record.
 - f) Design/Neighborhood and Community Character. The property is subject to the Design Control “D” overlay zoning district regulations, which requires design review of proposed development to assure

protection of the public viewshed and neighborhood character. The project has been designed to blend with the natural environment, consistent with other homes in the Santa Lucia Preserve. Colors and materials consist of Corten panels for the siding of the main structure, ADU and landscape walls, powder coated metal for the roof fascia and infill panels, board formed concrete retaining walls, black aluminum window frames, ballast roof for the carport and green roofs for the main structure and ADU.

- g) Site Plan Review. The property is subject to the Site Plan Review “S” overlay zoning district, which provides regulations for where development, by reason of its location, has the potential to adversely affect or be adversely affected by natural resources or site constraints. A site plan was included in the application and a discretionary permit is being processed pursuant to these regulations. The project is proposed within a designated “homeland” boundary and has been appropriately sited to minimize impact to slopes in excess of 30% and removal of protected trees. Homeland boundaries were established in the original SLP Plan to protect resources on the property by directing development to less sensitive areas of the property. An archeological report was completed as part of the environmental impact report when the Santa Lucia Preserve subdivision was created; this parcel did not have any archeological recourses identified on the property. A fuel management plan was included in the application which included measures to maintain vegetation surrounding the development area to reduce fire hazards. A geotechnical report was prepared for the project which analyzed the soil conditions of the site and determined it was suitable for development of the proposed project.
- h) Development Standards. Development standards for the Resource Conservation zoning district can be found in Title 21 Section 21.36.060. The proposed development is consistent with applicable development standards. All structures are within the homeland boundary (building envelope) established by the recorded final map. The structures far exceed the setbacks between structures with over 30 feet between each structure. The maximum height allowed is 30 feet for main structures and 16 feet for ADUs and accessory structures. The proposed single-family dwelling is 24 feet and $\frac{3}{4}$ of an inch from average natural grade, consistent with the height limit for main structures; and the carport and ADU are 11 feet $3\frac{3}{4}$ inches and 11 feet 2 inches, respectively, consistent with the height limit for accessory, and accessory dwelling structures. The maximum allowed site coverage for RC/40 zoning is 25% (74,052 square feet); the proposed site coverage is 1.83% (5,437 square feet).
- i) Development on Slopes. The proposed project includes limited development on slopes in excess of 30%. 2010 General Plan Policy OS-3.5 uses a threshold of 25% or more for defining steep slopes. However, the property is within Rancho San Carlos, and Policy GMP-1.6 establishes Rancho San Carlos as a Special Treatment Area to follow the policies of the Santa Lucia Preserve Comprehensive Plan. In an interpretation dated June 6, 2011, as the Santa Lucia Preserve Comprehensive Plan utilizes a threshold of 30% or greater to define

steep slopes, the County has interpreted OS-3.5 to apply to slopes in excess of 30% (instead of 25%) for Rancho San Carlos. The project would include 498 square feet of development on slopes in excess of 30%. Because it does not exceed 500 square feet, or 10%, of the development area, it is consistent with the 2010 General Plan, Section OS-3.5.1.c and no additional permit is required. This development consists of 118 square feet of the proposed main structure and 380 square feet of a proposed planter and staircase. Although there is development on slopes exceeding 30%, the project has been sited to minimize impacts to slopes to the greatest extent feasible while balancing with protecting other site resources. The structures are clustered on the northern side of the homeland boundary to utilize the flattest portion of the development area. Re-designing to push the structures further south to the center of the building envelope would impact more areas of steep slope and require an alternate driveway plan which would impact more protected trees. The current location of the proposed development is in the further corner away from the access road to minimize impact on the viewshed. This location allows a wall of existing trees between the structures and the main road to help the development blend in with the surrounding environment.

- j) The project was not referred to a Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did not warrant referral to the LUAC because it is within the Santa Lucia Preserve which is a special treatment area that does not have a LUAC.
- k) The application, project plans, staking & flagging photos and related support materials submitted by the project applicant to Monterey County HCD- Planning for the proposed development found in Project File PLN220148.

2. **FINDING:**

SITE SUITABILITY – The site is physically suitable for the use proposed.

EVIDENCE:

- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, Monterey County Regional Fire Protection District, HCD-Environmental Services and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
- b) Staff identified potential impacts to soil/slope stability and protected trees. The following reports have been prepared:
 - “Construction Impact Analysis” (LIB220186) prepared by Justin Ono, Pacific Grove, California, March 3rd 2022 (amended June 23rd 2022).
 - “Geotechnical Investigation” (LIB220188) prepared by Robert Hasseler, Watsonville, California, May 27th 2022.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions. The Final EIR #94-005 and Forest Management Plan for

the Santa Lucia Preserve subdivision were reviewed by staff to ensure the proposed project is suitable for this parcel and meets the goals of the original subdivision plan.

- c) Staff conducted a site inspection on July 6th, 2022 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development found in Project File PLN220148.

3. **FINDING:**

HEALTH AND SAFETY - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

EVIDENCE:

- a) The project was reviewed by HCD- Planning, HCD- Engineering Services, Monterey County Regional Fire Protection District, HCD- Environmental Services and Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Necessary public facilities will be provided, as discussed in subsequent evidences “c” through “e”
- c) Domestic water and sewage service will be provided by the Santa Lucia Preserve Community Services District (CSD), who provided a can and will serve letter dated June 24th, 2022 confirming their ability to serve all proposed development.
- d) The property has a well just outside the homeland boundary on the far northwest side of the parcel. This well is part of the water system for the Santa Lucia Preserve and does not belong to the homeowners of 2 Arrowmaker Trace. The well shares driveway access with the proposed development. To ensure the preserve can easily reach this well there is a proposed well easement and road that leads from the driveway entrance to the well.
- e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development found in Project File PLN220148

4. **FINDING:**

NO VIOLATIONS - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

EVIDENCE:

- a) Staff reviewed Monterey County HCD-Planning and Building Services Department records and is not aware of any violations existing on subject property.
- b) Staff conducted a site inspection on July 6th 2022 and researched County records to assess if any violation exists on the subject property.
- c) The application, plans and supporting materials submitted by the project applicant to Monterey County HDC-Planning for the proposed development are found in Project File PLN220148.

5. **FINDING:** **ACCESSORY DWELLING UNIT** – The project meets the established regulations and standards as identified in Title 21, Section 21.64.030.
- EVIDENCE:**
- a) Title 21, Section 21.64.030 establishes regulations and standards for which an accessory dwelling unit, accessory to the main residence on a lot, may be permitted. The project includes the construction of a 1,044 square foot Accessory Dwelling Unit that includes independent living facilities, as shown in the attached plans.
 - b) The proposed ADU is below the maximum 1,200 square foot floor area. The ADU is sited about 46 feet and $\frac{3}{4}$ of an inch southeast of the existing single-family dwelling, and 48 feet and $10\frac{3}{4}$ inches south of the detached garage. The ADU exceeds all setback standards stated in Title 21 Section 21.36.060.4.D.
 - c) The proposed ADU stands 11 feet and 2 inches, which is under the 16 foot height regulation as stated in Title 21 Section 21.36.060.2.b.
 - d) The ADU meets the required site development standards and design criteria as defined in Title 21 Section 21.64.030 and Chapter 21.44 (See Finding 1).
 - e) The application was reviewed by the Environmental Health Bureau (EHB) to ensure adequate sewage disposal and water supply facilities exist and are readily available to serve the ADU. EHB made the determination that the property has adequate public facilities, and no further comments or conditions were provided (See Finding 3).
 - f) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220148.
6. **FINDING:** **TREE REMOVAL** – The tree removal is the minimum required under the circumstances and will not involve risk of adverse environmental impact.
- EVIDENCE:**
- a) Greater Monterey Peninsula Area Plan Policy GMP-3.5 indicates removal of healthy, native oak, Monterey pine, and redwood trees in the planning area shall be discouraged. The Zoning Ordinance (Title 21) Section 21.64.260 – Preservation of Oak and Other Protected Trees provides implementing regulations for this policy.
 - b) The project includes removal of 11 protected trees, two Valley oaks, one of which is a landmark tree, and nine Coast live oaks, four of which are landmark trees (See pg. L1.00 of Exhibit B - Attachment 2). Two of the trees proposed for removal are in the footprint of the proposed driveway, four are in the proposed building site of the main structure and accessory structures, and the other five would be removed to allow grading and landscaping. The Santa Lucia Preserve Combined Development Permit has allotted 17 trees to be removed from this property: therefore a Use Permit is not required to remove the 11 proposed trees (See Finding 7).
 - c) The tree removal is the minimum required under the circumstances. The original driveway plan was revised to minimize grading and reduce the number of trees to be removed, page A1.20 of Exhibit B - Attachment 2 shows the original driveway plan, page L1.00 shows the updated plan. The current siting of the proposed development is the most feasible location and balances the protection of resources with avoidance of

steeper slopes. Re-designing to move the structures south would impact steep slopes and would require alterations to the driveway which would impact more protected trees.

- d) The tree removal will not involve risk of an adverse environmental impact. Environmental impacts of tree removal were analyzed in the EIR for Santa Lucia Preserve Phases A-C (the Rancho San Carlos Subdivision). This parcel is allotted 17 trees for removal through earlier discretionary permits; 11 are proposed to be removed. Therefore, the proposed project is below the contemplated tree removal from that Combined Development Permit and much less than removal analyzed in the EIR. The project has been conditioned with the appropriate number of replacement trees from the EIR (3:1 for non-landmark trees and 5:1 for landmark trees, for a total of 43 trees). See Finding No. 7. Additionally, the tree resources assessment prepared for the project analyzed the removal and concluded that no significant long-term effects on the forest ecosystem are anticipated.
- e) Existing trees not being removed shall be protected through construction. The arborist report discusses the possibility of 36 Coast live oaks being impacted by the proposed grading and construction. The County's tree protection condition has been applied to the project as Condition No. 4, requiring the applicant to wrap and protect trees not being removed during construction. The condition shall also require that the applicant follow the best management practice recommendations of the arborist from the Construction Impact Analysis prepared for the project. The County's pre-construction condition has also been applied to this project as Condition No. 9; this meeting will allow the arborist to instruct personnel about tree removal, retention, and protection.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220148.

7. **FINDING:**

CEQA (Addendum) – An Addendum to a previously certified EIR was prepared in accordance with CEQA Guidelines Section 15164 to reflect changes or additions in a project that do not cause substantial changes or new information that would require major revisions to the certified EIR.

EVIDENCE:

- a) An Environmental Impact Report for the Santa Lucia Preserve Subdivision of the Santa Lucia Preserve (Phases A-C) was prepared and certified by the Board of Supervisors on February 6, 1996 (EIR #94-005/Resolution #96-059).
- b) An Addendum to the Environmental Impact Report for the Santa Lucia Preserve Subdivision of the Santa Lucia Preserve was prepared for this project pursuant to CEQA Guidelines Section 15164, and none of the conditions detailed in Section 15162 requiring the preparation of a subsequent EIR or Negative Declaration have occurred.
- c) Pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162, when an EIR has been certified, no subsequent EIR shall be prepared for the project unless the agency determines that substantial changes are proposed which require major revisions, or substantial changes occur with respect to the circumstances under which the project is undertaken due to new significant environmental effects. In this case, no new information has been

identified to warrant further environmental review. The proposed structures are within a designated building envelope, and the proposed tree removal is within the overall tree removal analyzed for the subdivision. The proposed amount of trees to be removed is less than the allotted amount of trees permitted to be removed for the parcel.

- d) The Forest Management Plan prepared by Ralph Osterling for the Environmental Impact Report (EIR) in 1994 for Phase A provided specific tree removal estimates for each lot created by the subdivision. The Ventre and Neese parcel, Lot 39, had an estimated removal of 17 protected trees. The addendum was prepared to address potential impacts related to the removal of 11 protected trees for this project.
- e) The project includes construction of 3,570 square foot single family dwelling, 721 square foot detached carport, 102 square foot storage unit, 1,044 square foot accessory dwelling unit (ADU) and associated site improvements including a spa, plunge pool, landscaping and the removal of 11 Oak trees.
- f) As part of the EIR, removal of 1480 trees was contemplated for the subdivision Phases A-C. To date, including this project's proposed trees to be removed, 658 trees have been approved for removal. The estimated 11 trees proposed within the homeland boundary for removal on Lot 39 would represent 1.7% percent of the total trees approved for removal within all homeland boundaries, currently totaling approximately 47% of the overall subdivision's tree removal. 114 of 254 lots have been built out and the Santa Lucia Preserve Subdivision (Phase A-C/Rancho San Carlos) is well under the tree removal approved by the Combined Development Permit and analyzed by the EIR and will remain under the approved tree removal limits if remaining lots stay within the allowed tree removal.
- g) Tree replacement requirements for the Santa Lucia Preserve Phase A (Condition No. 24 of PC94067) have been incorporated as project conditions. The project is consistent with all tree removal conditions pursuant to Use Permit PC94067 (Resolution No. 96-060) for the Santa Lucia Preserve Subdivision. A total of 43 trees will be replanted in accordance with the Osterling Reforestation Plan prepared for the Rancho San Carlos subdivision. This amount represents a 3:1 replacement ratio for non-landmark trees, and 5:1 for all landmark trees, as recommended by the arborist and to compensate for possible failure of some new trees to achieve the required 90% success rate.
- h) See supporting Finding Nos. 1, 2, and 6. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN220148.

8. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission.
- EVIDENCE:** Pursuant to Title 21 Section 21.80.040, an aggrieved party may appeal a decision of the Chief of Planning to the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

1. Consider an Addendum together with a previously certified EIR for the Santa Lucia Preserve Subdivision (EIR No. 94-005/Resolution No. 96-059) pursuant to CEQA Guidelines Section 15164; and

Approve: An Administrative Permit and Design Approval to allow the construction of a 3,570 square foot single family dwelling, 721 square foot detached carport, 102 square foot storage unit, 1,044 square foot accessory dwelling unit (ADU) and associated site improvements including a spa, plunge pool, landscaping and the removal of 11 Oak trees.

PASSED AND ADOPTED this 21st day of September, 2022:

Craig Spencer HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD- Planning and HCD- Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

This page intentionally left blank.

Attachment 1

This page intentionally left blank.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220148

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Administrative permit and Design Approval (PLN220148) allows the construction of a 3,570 square foot single-family dwelling, 721 square foot detached carport, 102 square foot storage unit, 1,044 square foot accessory dwelling unit and associated site improvements including a spa, plunge pool, landscaping, and the removal of 11 Oak trees. The property is located at 2 Arrowmaker Trace, Carmel (Assessor's Parcel Number 239-051-008-000), Greater Monterey Peninsula Area Plan/Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An Administrative Permit and Design Approval (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 239-051-008-000 on 09/21/22. The permit was granted subject to 13 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD011(A) - TREE REMOVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

5. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

6. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to final applicant shall replace and or relocate each tree approved for removal as follows:

- Trees will need to be replaced following a landscape plan prepared by a qualified landscape architect or designer.

- Replacement ratio: 3:1 for oak trees with a DBH between 6-23" which includes 6 trees on this lot, 5:1 for oak trees with a DBH of 24" or greater which includes 5 trees on this lot. A total of 43 oak trees must be replanted.

- Replacement ratio recommended by arborist:

- Other: Pursuant to Condition 24 of PC94067, the reforestation program shall include a monitoring element that guarantees a success period of not less than 5 years after planting and a success ratio threshold of no less than 90%.

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

Five years after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

7. PD049 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to beginning any tree removal, trees which are located close to trees approved for removal shall be protected from inadvertent damage from equipment or tree removal activity by fencing off the canopy drip-lines and/or critical root zones (whichever is greater) with protective materials. Any tree protection measures recommended by a County-approved tree consultant, in addition to the standard condition, shall be implemented. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to construction or tree removal, the Owner/Applicant/Tree Removal Contractor submit evidence of tree protection to HCD -Planning for review and approval.

After construction or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit photos of the trees on the property to HCD -Planning to document that the tree protection has been successful or if follow-up remediation measures or additional permits are required.

8. PD052 - PRE-CONSTRUCTION MEETING

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to the commencement of any grading or construction activities, a pre-construction meeting shall be held on the site. The meeting shall include representatives of each of the selected contractors, any consultant who will conduct required monitoring, the Owner/Applicant, the HCD -Planning Department and any other appropriate County Departments. The purpose of the meeting is to review the conditions of approval that are applicable to the grading and construction of the approved development. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to commencement of any grading or construction activities, the Owner/Applicant shall contact HCD -Planning to schedule a pre-construction meeting prior to commencement of any grading or construction activities. The Owner/Applicant shall be responsible for ensuring that all appropriate contractors and technical consultants are in attendance. HCD -Planning staff shall be responsible for identifying and notifying other County Departments that should attend the meeting (if applicable).

9. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

10. PD016 - NOTICE OF REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:
"An Arborist Report (Library No. LIB220186), was prepared by Justin Ono on March 3rd, 2022 and is on file in Monterey County HCD - Planning. All development shall be in accordance with this report."
(HCD - Planning)

"A Geotechnical Report (Library No. LIB220188), was prepared by Robert Hasseler on May 27rd, 2022 and is on file in Monterey County HCD - Planning. All development shall be in accordance with this report."
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

11. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

12. PW0006 - CARMEL VALLEY

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI).

Compliance or Monitoring Action to be Performed: Prior to Building Permits Issuance Owner/Applicant shall pay to PBI the required traffic mitigation fee.

13. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

Attachment 2

This page intentionally left blank.



PROJECT NAME
CURVEBALL

PROJECT ADDRESS
**2 ARROWMAKER
TRACE, CARMEL
CA, 93923**

APN #
239-051-008-000

CLIENT
KIMBERLY VENTRE & MARTY NEESE

FA JOB NO.
21-020

CURVEBALL SLP, CARMEL, CA

PROJECT DIRECTORY

OWNER

KIMBERLY VENTRE & MARTY NEESE
715 FREMONT STREET
MENLO PARK, CA 94025

PHONE: +1 (415) 597-7165
CONTACT: KIMBERLY VENTRE
E-MAIL: KIMVENTRE@YAHOO.COM

ARCHITECT

FELDMAN ARCHITECTURE
1648 PACIFIC AVE, SUITE B
SAN FRANCISCO, CA 94109

PHONE: +1 (415) 856 9028
CONTACT: ANJALI IYER
E-MAIL: AIYER@FELDMANARCH.COM

LANDSCAPE ARCHITECT

MFLA
1234 NAME ST, SUITE 123
METRO CITY, ST ZZZZZ

PHONE: +1 (AAA) XXX-NNNN
CONTACT: JAMES
E-MAIL: USER@NODE.COM

SURVEYOR

WHITSON ENGINEERS
6 HARRIS COURT
MONTEREY, CALIFORNIA

PHONE: +1 (831) 649-5225
CONTACT: RICHARD WEBER
E-MAIL: RWEBER@WHITSONENGINEERS.COM

ARBORIST

ONO CONSULTING
1213 MILES AVE
PACIFIC GROVE, CA 93950

PHONE: +1 (831) 402-2959
CONTACT: JUSTIN ONO
E-MAIL: JONCONSULTING@GMAIL.COM

CIVIL ENGINEER

L&S ENGINEERING & SURVEYING
2460 GARDEN ROAD, SUITE G
MONTEREY, CA 93940

PHONE: +1 (831) 655-2723
CONTACT: MARK STERNER
E-MAIL: MARK@LANDSENGINEERS.COM

SHEET INDEX

GENERAL

A0.00 COVER SHEET
A0.01 PROJECT INFO
A0.02 SITE PHOTOGRAPHS
A0.03 SITE ANALYSIS
A0.06 SITE STAKING IMAGERY
A0.07 EXTERIOR FACADE MATERIALS

SURVEY

1 TOPOGRAPHIC SURVEY

CIVIL

C1.0 OVERALL GRADING PLAN
C2.0 DRIVEWAY GRADING PLAN
C3.0 SITE GRADING PLAN
C4.0 STORM DRAIN & UTILITY PLAN
C5.0 EROSION CONTROL PLAN

ARCHITECTURAL

A1.20 SITE PLAN
A2.00 KEY PLAN
A2.20 MAIN RESIDENCE FLOOR PLAN - LEVEL 1
A2.21 MAIN RESIDENCE FLOOR PLAN - LEVEL 2
A2.22 MAIN RESIDENCE ROOF PLAN
A2.23 ADU & CARPORT FLOOR PLAN
A2.24 ADU & CARPORT ROOF PLAN

A3.00 MAIN RESIDENCE EXTERIOR ELEVATIONS
A3.01 MAIN RESIDENCE EXTERIOR ELEVATIONS
A3.02 ADU EXTERIOR ELEVATIONS
A3.03 CARPORT EXTERIOR ELEVATIONS
A3.11 EXTERIOR VIEWS
A3.12 EXTERIOR VIEWS
A3.13 EXTERIOR VIEWS

LANDSCAPE

L0.00 GENERAL NOTES
L1.00 TREE PROTECTION & REMOVAL PLAN
L1.01 ARBORIST REPORT
L2.00 SITE PLAN - OVERALL
L2.01 SITE PLAN - MAIN RESIDENCE & ADU
L2.02 RENDERED VIEWS
L2.03 RENDERED VIEWS
L3.00 PROPOSED GRADING AND DRAINAGE PLAN
L4.00 FUEL TREATMENT PLAN
L5.00 PLANTING PLAN
L6.00 PRELIMINARY IRRIGATION PLAN
L7.00 PRELIMINARY LIGHTING PLAN
L7.01 PRELIMINARY LIGHTING SPECIFICATIONS

ISSUE

**PLANNING
APPLICATION SET**

DATE
06.24.2022

HISTORY

△ DESC. DATE

TITLE
COVER SHEET

A0.00
SHEET

VICINITY MAPS



AERIAL PHOTO



NEIGHBORHOOD PLAN

ARCHITECTURAL SYMBOLS

DRAWING SYMBOLS

	NORTH ARROW
	KEYNOTE
	SLOPE (DOWN, UON)
	SLOPE DESIGNATION
	DIMENSION
	ALIGN FINISH SURFACES
	CENTERLINE
	PROPERTY LINE
	PARTITION TAG
	MATERIAL TAG
	WINDOW TAG
	DOOR TAG
	CEILING TAG

REFERENCE SYMBOLS

	BUILDING SECTION
	BUILDING ELEVATION
	INTERIOR ELEVATION
	DETAIL CALLOUT
	DETAIL REFERENCE
	SPOT ELEVATION
	REVISION MARK
	LEVEL
	GRID LINE

ABBREVIATIONS

A	AB. ANCHOR BOLT	J	J-BOX JUNCTION BOX
ABV. ABOVE	ARCHITECTURAL EXPOSED STRUCTURAL STEEL	J.H. JOINT	JOIST HANGER
A.C. AIR CONDITIONING	ACOUST. ACOUSTING	JST. JOIST	
AD. AREA DRAIN	ADJ. ADJUSTABLE	K	K.D. KILN DRIED
A.F.F. ABOVE FINISHED FLOOR	AGGR. AGGREGATE	KIT. KITCHEN	
ALT. ALTERNATE	ALUM. ALUMINUM	L. LONG LENGTH	
ANVD. ANVOID	AP. ACCESS PANEL	LAM. LAMINATE	
APPROX. APPROXIMATE	ARCH. ARCHITECTURAL	LAV. LAVATORY	
B	BD. BOARD	LB. POUND	
BLK. BLOCK	BLK'G BLOCKING	LP. LOW POINT	
BLW. BELOW	BM. BEAM	LT. LIGHT	
BOT. BOTTOM	BRKT. BRACKET	LTG. LIGHTING	
BTWN. BETWEEN	B.U.R. BUILT UP ROOFING	M	MACH. MACHINE
C/C CENTER TO CENTER	C.B. CATCH BASIN	MAT. MATERIAL	
CEM. CEMENT	C.J. CONTROL JOINT	MAX. MAXIMUM	
CLG. CEILING	CLG. CAULKING	MECH. MECHANICAL	
CLR. CLEAR	CLR. COLUMN	MEMB. MEMBRANE	
COMB. COMBINATION	CONC. CONCRETE	MEZZ. MEZZANINE	
CONN. CONNECTION	CONSTR. CONSTRUCTION	MFR. MANUFACTURER	
CONT. CONTINUOUS	CONTR. CONTRACTOR	MID. MIDDLE	
CPT. CARPET	C.T. CERAMIC TILE	MIN. MINIMUM/MINUTE	
CTR. CENTER	C.W. COLD WATER	MIR. MIRROR	
D	DBL. DOUBLE	MISC. MISCELLANEOUS	
DEG. DEGREE	DEMO. DEMOTITION	M.P. METAL PANEL	
DET/DTL. DETAIL	DIAG. DIAGONAL	M.S. MOTION SENSOR	
DIA. DIAMETER	DIM. DIMENSION	MTD. MOUNTED	
DN. DOWN	DR. DOOR	MTG. MOUNTING	
DR. DOWNSPOUT	DW. DISHWASHER	MUL. MULLION	
DWG. DRAWING	DWR. DRAWER	MW. MICROWAVE	
E	(E) EXISTING	N	(N) NEW
EA. EACH	E.B. EXPANSION BOLT	N. NORTH	
E.J. EXPANSION JOINT	E.L. ELEVATION	N.I.C. NOT IN CONTRACT	
ELEC. ELECTRICAL	ELEV. ELEVATOR	NO. NUMBER	
EMER. EMERGENCY	ENCL. ENCLOSURE	NOM. NOMINAL	
ENGR. ENGINEER	ENGR. ENGINEER	N.T.S. NOT TO SCALE	
E.P.B. EQUAL	EXP. EXPANSION/EXPOSED	O	O. OVER
EQ. EQUAL	EXT. EXTERIOR	OA. OVERALL	
F	(F) FUTURE	O.C. ON CENTER	
F.A. FIRE ALARM	FABR. FABRICATE	O.D. OUTSIDE DIMENSION	
F.A.R. FLOOR AREA RATIO	F.B. FLAT BAR	OH. OVERHEAD	
F.C. FLOOR DRAIN	F.D. FIRE DEPARTMENT CONNECTION	OPG. OPENING	
F.D.C. FOUNDATION	F.E. FIRE EXTINGUISHER	OPP. OPPOSITE	
F.D.N.F. FIRE EXTINGUISHER CABINET	F.F. FINISH FLOOR	P	PERF. PERFORATED
F.F. FINISH FLOOR ELEVATION	F.G. FINISH GRADE	PERP. PERPENDICULAR	
F.H. FULL HEIGHT	F.H.M.S. FLAT HEAD MACHINE SCREW	P.L. PROPERTY LINE	
F.H.W.S. FLAT HEAD WOOD SCREW	FIN. FINISH	P.LAM. PLASTIC LAMINATE	
FIN. FINISH	FIKT. FIXTURE	PLAS. PLASTER	
FL. FLOW LINE	FLASH. FLASHING	PLYWD. PLYWOOD	
FLR. FLOOR	FLUOR. FLUORESCENT	PNT. PAINT	
FLUOR. FLUORESCENT	F.O. FACE OF BRICK	P.T.D. PAINTED	
F.O.B. FACE OF CONCRETE	F.O.C. FACE OF FINISH	PR. PAIR	
F.O.F. FACE OF FINISH	F.O.M. FACE OF MASONRY	PT. POINT/PRESSURE TREATED	
F.O.S. FIREPROOFING	FRFF. FIREPROOFING	PWR. POWER	
FT. FOOT OR FEET	FTG. FOOTING	Q	QTY. QUANTITY
FTG. FOOTING	FURR. FURRING	R	(R) REMODELED
G	GA. GAUGE	R. RISER	
GALV. GALVANIZED	G.B. GRAB BAR	RAD. RADIUS	
G.C. GENERAL CONTRACTOR	G.D. GARBAGE DISPOSAL	RCP. REFLECTED CEILING PLAN	
GEN. GENERAL	GF.CI. GROUND FAULT CIRCUIT INTERRUPTED	R.D. ROOF DRAIN	
GL. GLASS	GLZ. GLAZED	RECEP. RECEPTACLE	
GLB. GLUE LAM BEAM	GND. GROUND	RECT. RECTANGULAR	
GR. GRADE	GSM. GALVANIZED SHEET METAL	REF. REFERENCE	
GSM. GALVANIZED SHEET METAL	GYP. GYPSUM	REFR. REFRIGERATOR	
GYP. GYPSUM BOARD	H.B. HOSE BIB	REINF. REINFORCED	
H	H.C. HOLLOW CORE	REQ'D. REQUIRED	
H.C.W.D. HOLLOW CORE WOOD DOOR	HDWD. HARDWOOD	RESIL. RESILIENT	
HDWD. HARDWOOD	H.M. HOLLOW METAL	RETV. RETAINING	
HDWR. HARDWARE	HORIZ. HORIZONTAL	REV. REVISION	
H.M. HOLLOW METAL	HP. HIGH POINT	RM. ROOM	
HORIZ. HORIZONTAL	HR. HOUR	RND. ROUND	
HR. HOUR	HT. HEIGHT	R.O. ROUGH OPENING	
H.V. HEIGHT	HVAC. HEATING VENTILATION AIR CONDITIONING	RWL. RAINWATER LEADER	
H.W. HOT WATER	I.D. INSIDE DIAMETER	S. SOUTH	
I	INSUL. INSULATION	S.C. SOLID CORE	
INT. INTERIOR	INT. INTERIOR	S.C.D. SEE CIVIL DRAWINGS	
		SCHED. SCHEDULE	
		SCR. SCREEN	
		SCWD. SOLID CORE WOOD DOOR	
		SECT. SECTION	
		S.F. SQUARE FOOT	
		SHT. SHEET	
		SHTG. SHEATHING	
		SHWR. SHOWER	
		SIM. SIMILAR	
		SKYLT. SKYLIGHT	
		S.L.D. SEE LANDSCAPE DRAWINGS	
		S.M.D. SEE MECHANICAL DRAWINGS	
		SMS. SHEET METAL SCREW	
		S.M.W.P. SHEET MEMBRANE WATERPROOFING	
		SPEC. SPECIFICATION	
		S.R. SUPPLY REGISTER	
		SQ. SQUARE	
		S.S. STAINLESS STEEL	
		S.S.D. SEE STRUCTURAL DRAWINGS	
		STD. STANDARD	
		STL. STEEL	
		STOR. STORAGE	
		STRUC. STRUCTURAL	
		SUR. SURFACE	
		SUSP. SUSPENDED	
		SVC. SERVICE	
		SVY. SURVEY	
		SYM. SYMMETRICAL	
		T. TREAD	
		T&B. TOP AND BOTTOM	
		T&G. TONGUE AND GROOVE	
		T.B. TOWEL BAR	
		T.C. TRASH CAN	
		T.D. TRENCH DRAIN	
		TEMP. TEMPERED	
		TER. TERRAZZO	
		TG. TEMPERED GLAZING	
		THK. THICK	
		THRES. THRESHOLD	
		T.O.C. TOP OF CONCRETE	
		T.O.P. TOP OF PAVEMENT	
		TOPO. TOPOGRAPHY	
		T.O.S. TOP OF STEEL	
		T.O.W. TOP OF WALL	
		TPO. THERMOPLASTIC OLEFIN	
		TYP. TYPICAL	
		U	UNF. UNFINISHED
		UNON. UNLESS OTHERWISE NOTED	
		V	VCT. VINYL COMPOSITION TILE
		VER. VERIFY	
		VERT. VERTICAL	
		VG. VERTICAL GRAIN	
		V.I.F. VERIFY IN FIELD	
		W	W. WEST/WIDE/WIDTH
		W. WITH	
		W.C. WATER CLOSET	
		WD. WOOD	
		W.H. WATER HEATER	
		WN. WINDOW	
		W/O. WITHOUT	
		W.P. WATERPROOFING	
		W.R. WATER RESISTANT	
		WT. WEIGHT	
		W.V. WOOD VENEER	

GENERAL NOTES

- ALL CONSTRUCTION AND INSTALLATION SHALL CONFORM TO THE FOLLOWING CODES: 2019 CALIFORNIA BUILDING, RESIDENTIAL, PLUMBING, MECHANICAL, ELECTRICAL CODE, STATE ENERGY STANDARDS, AND ANY OTHER GOVERNING CODES AND ORDINANCES.
- IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS OF BUILDING AND SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, LANDSCAPE, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH SAME DISCIPLINES.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.
- WHEN SHOWN IN PLAN, ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, CENTERLINE OF COLUMNS, OR CENTERLINE OF STUD WITHIN WALL ASSEMBLIES, UNLESS OTHERWISE NOTED.
- WHEN SHOWN IN SECTION OR ELEVATION, ALL DIMENSIONS ARE TO TOP OF PLATE OR TOP OF CONCRETE UNLESS OTHERWISE NOTED.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.
- PROVIDE AND INSTALL 2x FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
- ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
- VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, FIREPLACES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- PROVIDE FIRE-BLOCKING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL), AS PER 2019 CBC 718.2 & CRC R302.11, FIRE-BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
 - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT MAX. 10 FOOT INTERVALS.
 - IN CONCEALED INTERCONNECTIONS SUCH AS SOFFITS, DROP CEILINGS, COVE CEILINGS.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
 - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT CEILING & FLR. LEVEL W/ AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME & PRODUCTS OF COMBUSTION.
- PROVIDE DRAFT-STOPPING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL). AS PER 2019 CBC 718.3-4 & CRC R302.12 DRAFT-STOPS SHALL BE INSTALLED SO THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ. FT. AND IS BELOW, DRAFT-STOPPING SHOULD BE PROVIDED IN THE FOLLOWING CIRCUMSTANCES:
 - SUSPENDED CEILING UNDER FLOOR FRAMING
 - OPEN WEB TRUSS OR PERFORATED FLOOR FRAMING MEMBERS.
- PRESSURE TREATED LUMBER TO BE USED IF IN DIRECT CONTACT WITH CONCRETE WALLS IF THERE IS NO PROVIDED AIR GAP.
- ALL EARTHWORK AND SITE DRAINAGE INCLUDING BASEMENT AND PIER EXCAVATION, PREPARATION OF THE SUBGRADE BENEATH HARDSCAPE, PLACEMENT AND COMPACTION OF ENGINEERED FILL BENEATH HARDSCAPE, BASEMENT RETAINING WALL BACKFILL, AND FINAL SURFACE DRAINAGE INSTALLATION SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. THE GEOTECHNICAL ENGINEER SHOULD BE PRESENT TO OBSERVE AND TEST, AS NECESSARY, THE EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.
- ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN 2019 CALGREEN TABLES 4.504.1-4.504.3.
- STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.

APPLICABLE CODES

- THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:
- 2019 CALIFORNIA RESIDENTIAL CODE
 - 2019 CALIFORNIA BUILDING CODE
 - 2019 CALIFORNIA MECHANICAL CODE
 - 2019 CALIFORNIA ELECTRICAL CODE
 - 2019 CALIFORNIA PLUMBING CODE
 - 2019 CALIFORNIA ENERGY CODE (TITLE-24)
 - 2019 CALIFORNIA FIRE CODE
 - 2019 CALIFORNIA GREEN BUILDING CODE
 - ALL OTHER APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.

IN THE EVENT OF CONFLICTS IN CODE REQUIREMENTS, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. ANY CONFLICTS BETWEEN THE CONSTRUCTION DOCUMENTS AND THE ABOVE LISTED CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR RESOLUTION BEFORE COMMENCING WITH THE WORK.

PROJECT DATA

WORK DESCRIPTION: CONSTRUCTION OF A NEW SINLGE FAMILY RESIDENCE WITH DETACHED CARPORT AND ADU. LANDSCAPE IMPROVEMENTS INCLUDE PAVED DRIVEWAY, PORCHES, COURTYARDS, PATIOS, TERRACES AND PLUNGE POOL

APN: 239-051-008-000

OCCUPANCY GROUP: R-3
CONSTRUCTION TYPE: V-B
ZONING DISTRICT: RC40-D-S
LAND USE DESIGNATION: RESOURCE CONSERVATION

LOT SIZE:
NET LOT SIZE: 6.8 Acres (296,208 SF)
HOMELAND SIZE: 2.1 ACRES (91,476 SF)
PERMITTED MIN. FLOOR AREA: 2,500 SF

SQUARE FOOTAGE:
MAIN RESIDENCE:
LEVEL 1: 2,120 SF
LEVEL 2: 871 SF
EXERCISE RIM POOL HOUSE: 214 SF
COVERED PORCH: 365 SF
TOTAL: 3,570 SF

CARPORT: 721 SF
STORAGE: 102 SF
TOTAL: 823 SF

ACCESSORY DWELLING UNIT: 1,044 SF

TOTAL SQUARE FOOTAGE: 5,437 SF

BUILDING SITE COVERAGE/ FAR:
ALLOWED: 25% MAX
PROPOSED: 1.83%

IMPERVIOUS AREA:
STRUCTURES TOTAL: 5,437 SF (1.83%)
SURFACES TOTAL: 5,069 SF (1.7%)
SITE TOTAL: 10,506 SF (3.5%)

30% SLOPE CALCULATIONS:

TOTAL BUILDING AREA: 5,437 SF
AREA OF SITE IMPROVEMENTS: 15,445 SF
TOTAL DEVELOPMENT AREA: 20,882 SF

BUILDING AREA WITHIN 30% SLOPE ZONE: 1105F
SITE IMPROVEMENTS WITHIN 30% SLOPE ZONE: 3805F
TOTAL DEVELOPMENT AREA: 4985F (2.3% OF TOTAL DEVELOPMENT AREA)

BUILDING HEIGHT:

PERMITTED: 18' WITH A MAX OF 30' NOT TO EXCEED 50% OF THE TOTAL MAIN FLOOR, ATTACHED, ROOF AREAS
PROPOSED: 15' 10" HEIGHT AT MAIN LEVEL, 24' 0 3/4" AT UPPER LEVEL (LESS THAN 50% OF MAIN LEVEL)

PERMITTED # OF STORIES: 2
PROPOSED # OF STORIES: 2

CUT + FILL CALCULATIONS:

CUT: 1,617 CY
FILL: 117 CY
NET: 1,500 CY

* SEE GRADING & DRAINAGE PLAN

PROPOSED TREE REMOVAL:

NUMBER: 11
 TYPE: 2 VALLEY OAKS, 9 COAST LIVE OAKS
 (SEE LANDSCAPE PLAN & ARBORIST REPORT FOR DETAILS)

REQUIRED PARKING COUNT: 2

PROPOSED PARKING:
 2 COVERED PARKING SPACES IN CARPORT
 2 GUEST PARKING SPACES ALONG DRIVEWAY



PROJECT NAME
CURVEBALL

PROJECT ADDRESS
2 ARROWMAKER TRACE, CARMEL CA, 93923

APN #
 239-051-008-000

CLIENT
 KIMBERLY VENTRE & MARTY NEESE

FA JOB NO.
 21-020

ISSUE
PLANNING APPLICATION SET

DATE
06.24.2022

HISTORY
 Δ DESC. DATE

TITLE
PROJECT INFO



VIEW SOUTH FROM BUILDING PAD TOWARDS MEADOW & MOUNTAINS



VIEW SOUTH OF HALLS RIDGE OVER LANDMARK OAKS



VIEW NORTH FROM EXISTING DIRT ROAD



VIEW SOUTH-EAST FROM BUILDING PAD, TOWARDS ADU



VIEW NORTH THROUGH MEADOW



AERIAL VIEW

PROJECT NAME
CURVEBALL

PROJECT ADDRESS
2 ARROWMAKER
TRACE, CARMEL
CA, 93923

APN #
239-051-008-000

CLIENT
KIMBERLY VENTRE & MARTY NEESE

FA JOB NO.
21-020

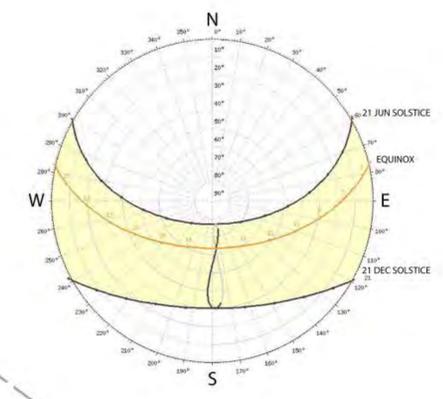
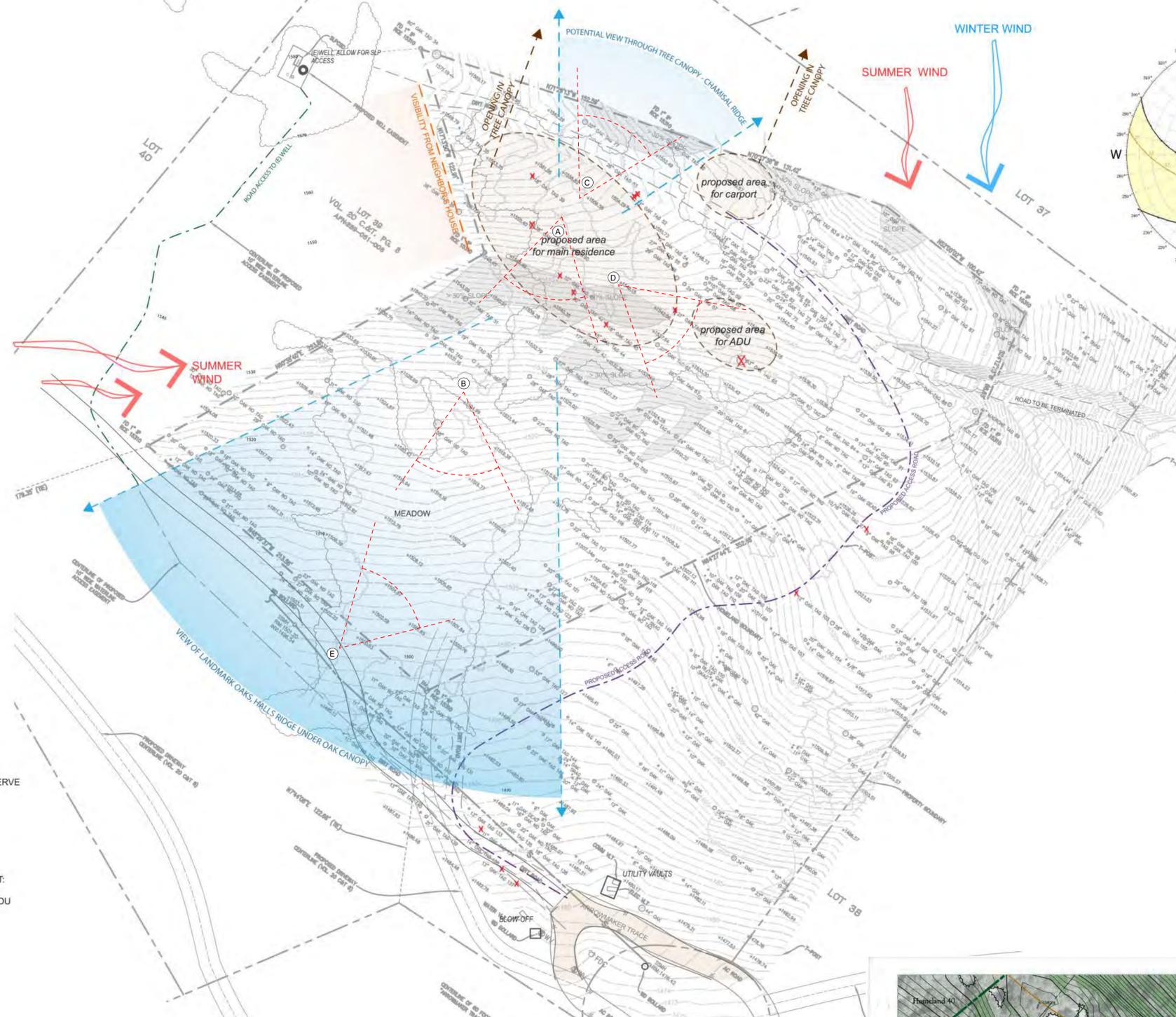
ISSUE
PLANNING
APPLICATION SET

DATE
06.24.2022

HISTORY
DESC. DATE

TITLE
SITE
PHOTOGRAPHS

A0.02
SHEET



SUN PATH DIAGRAM
LATITUDE: 36.46 N
LONGITUDE: 121.8 W



RAINFALL DAYS: 31
WET MONTHS: OCTOBER - MAY
WETTEST MONTH: FEBRUARY
DRIEST MONTH: AUGUST
AVERAGE RAINFALL (INCHES/YEAR): 21
MAX. MONTHLY RAINFALL (INCHES): 3.9
MIN. MONTHLY RAINFALL (INCHES): 0.5

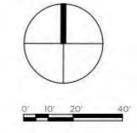


WARM MONTHS: AUGUST - OCTOBER
COLD MONTHS: DECEMBER - MARCH
HIGH TEMPERATURE RANGE: 57- 65°F
LOW TEMPERATURE RANGE: 42 - 51°F



WINDY PERIOD: JANUARY - JUNE
WINDIEST MONTH: APRIL
CALMEST MONTH: SEPTEMBER
HIGHEST WIND SPEED (MPH): 8.3
LOWEST WIND SPEED (MPH): 6.4
WIND DIRECTION ORIGIN:
WEST (APRIL - OCTOBER)
NORTH (OCTOBER - APRIL)

*DATA FOR CARMEL VALLEY,
LOCATED 5 MILES FROM
3 VISTA CIELO



2 ARROWMAKER TRACE
LOT 9, SANTA LUCIA PRESERVE
APN: 239-051-008-000

WOODLAND
PARCEL AREA: 6.8 ACRES
HOMELAND: 2.1 ACRES
TWO STORY
GUEST COTTAGE

PROPOSED DEVELOPMENT:
3,500 SF MAIN RESIDENCE
800 SF GUEST COTTAGE/ADU
700 SF GARAGE

PROJECT NAME
CURVEBALL

PROJECT ADDRESS
**2 ARROWMAKER
TRACE, CARMEL
CA, 93923**

APN #
239-051-008-000

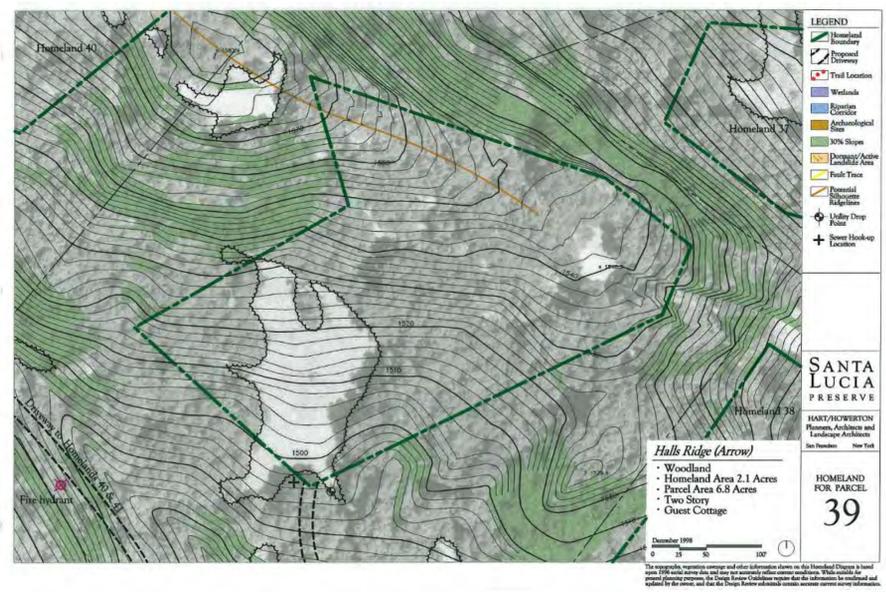
CLIENT
KIMBERLY VENTRE & MARTY NEESE

FA JOB NO.
21-020

ISSUE
**PLANNING
APPLICATION SET**

DATE
06.24.2022

HISTORY
△ DESC. DATE



LEGEND

- Homeland Boundary
- Property Boundary
- Trail Location
- Wetlands
- Powerline
- Archaeological Site
- 30% Slopes
- Designated Active Landmark Area
- Fault Trace
- Homeland Shrubland
- Milky Drop Point
- Sewer Hookup Location

SANTA LUCIA PRESERVE

HARTWIG/BERTON
Planner, Architect and
Landscape Architect

San Francisco New York

HOMELAND FOR PARCEL
39

Halls Ridge (Arrow)

- Woodland
- Homeland Area 2.1 Acres
- Parcel Area 6.8 Acres
- Two Story
- Guest Cottage

December 1998

0 25 50 100'

TITLE
SITE ANALYSIS

A0.03
SHEET



PROJECT NAME
CURVEBALL

PROJECT ADDRESS
2 ARROWMAKER
TRACE, CARMEL
CA, 93923

APN #
239-051-008-000

CLIENT
KIMBERLY VENTRE & MARTY NEESE

FA JOB NO.
21-020

ISSUE
PLANNING
APPLICATION SET

DATE
06.24.2022

HISTORY
△ DESC. DATE

TITLE
SITE STAKING
IMAGERY

A0.06
SHEET



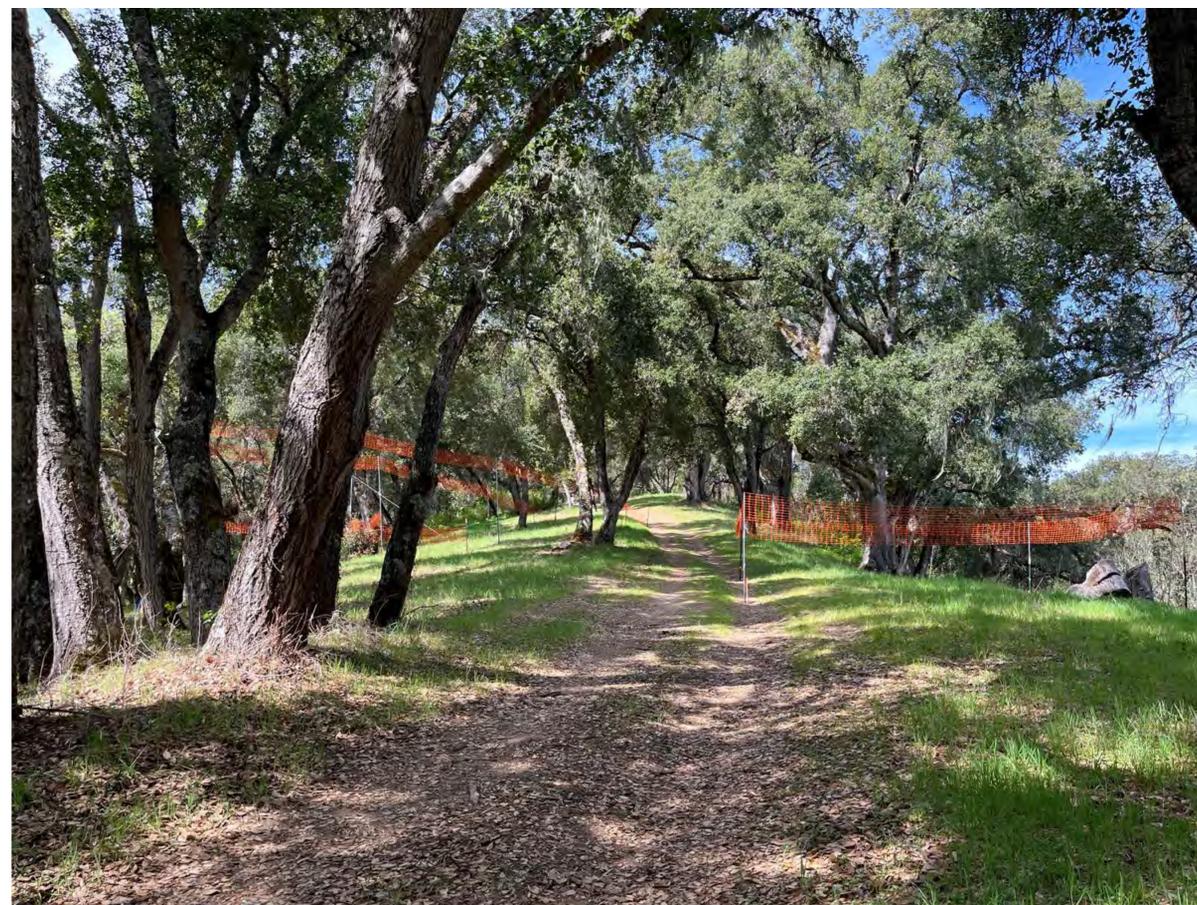
SITE STAKING - VIEW FROM WEST



SITE STAKING - VIEW FROM SOUTH WEST



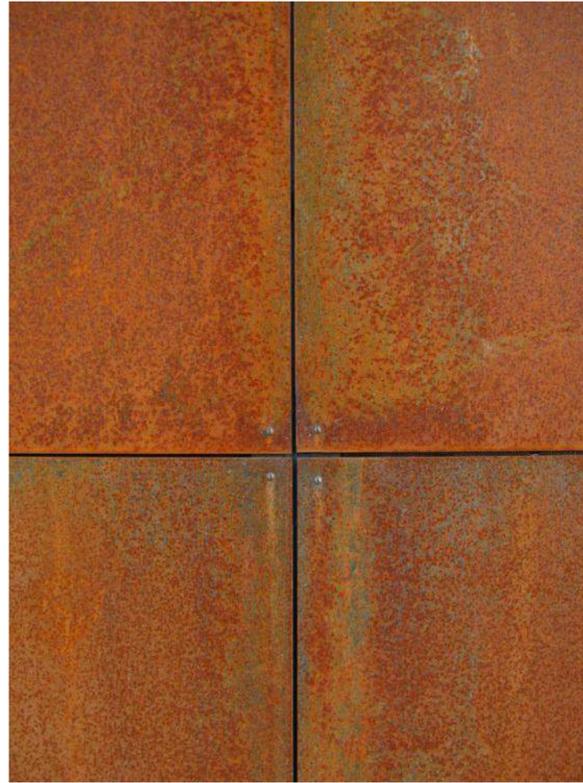
SITE STAKING - VIEW SOUTH TO ADU



SITE STAKING - VIEW TO WES AT APPROACH



BALLAST ROOF - GARAGE



CORTEN SIDING - SIDING AND LANDSCAPE WALLS



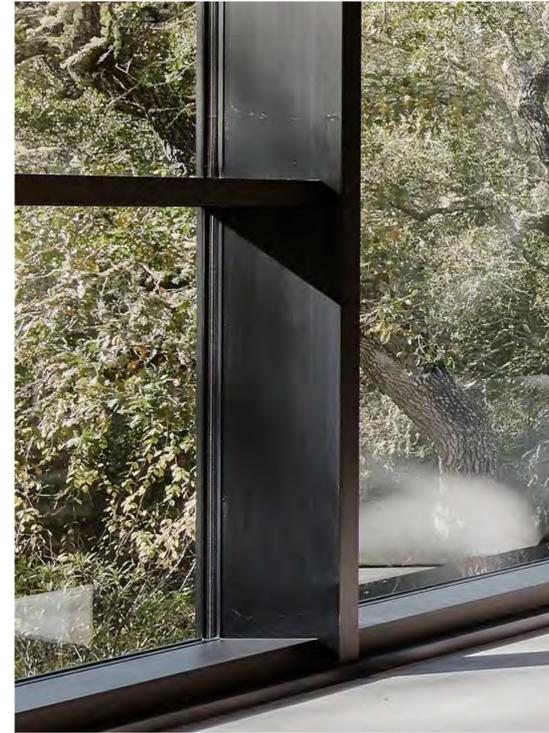
POWDERCOATED METAL - ROOF FASCIA AND INFILL PANELS



GREEN ROOF WITH CORTEN EDGING



VERTICAL BOARD FORMED CONCRETE - RETAINING WALLS



ALUMINUM WINDOW SYSTEM



PROJECT NAME
CURVEBALL

PROJECT ADDRESS
2 ARROWMAKER
TRACE, CARMEL
CA, 93923

APN #
239-051-008-000

CLIENT
KIMBERLY VENTRE & MARTY NEESE

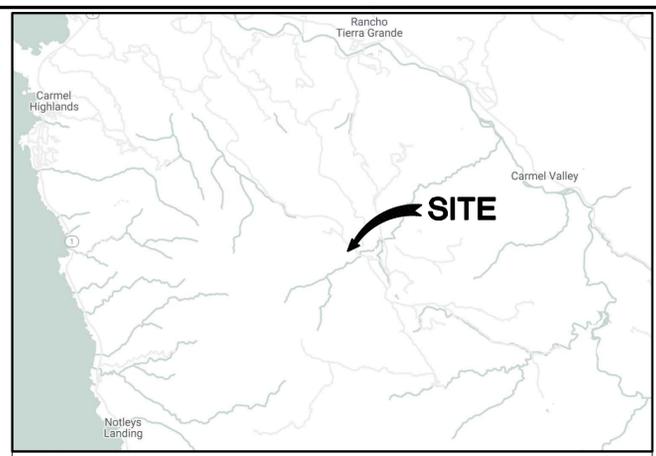
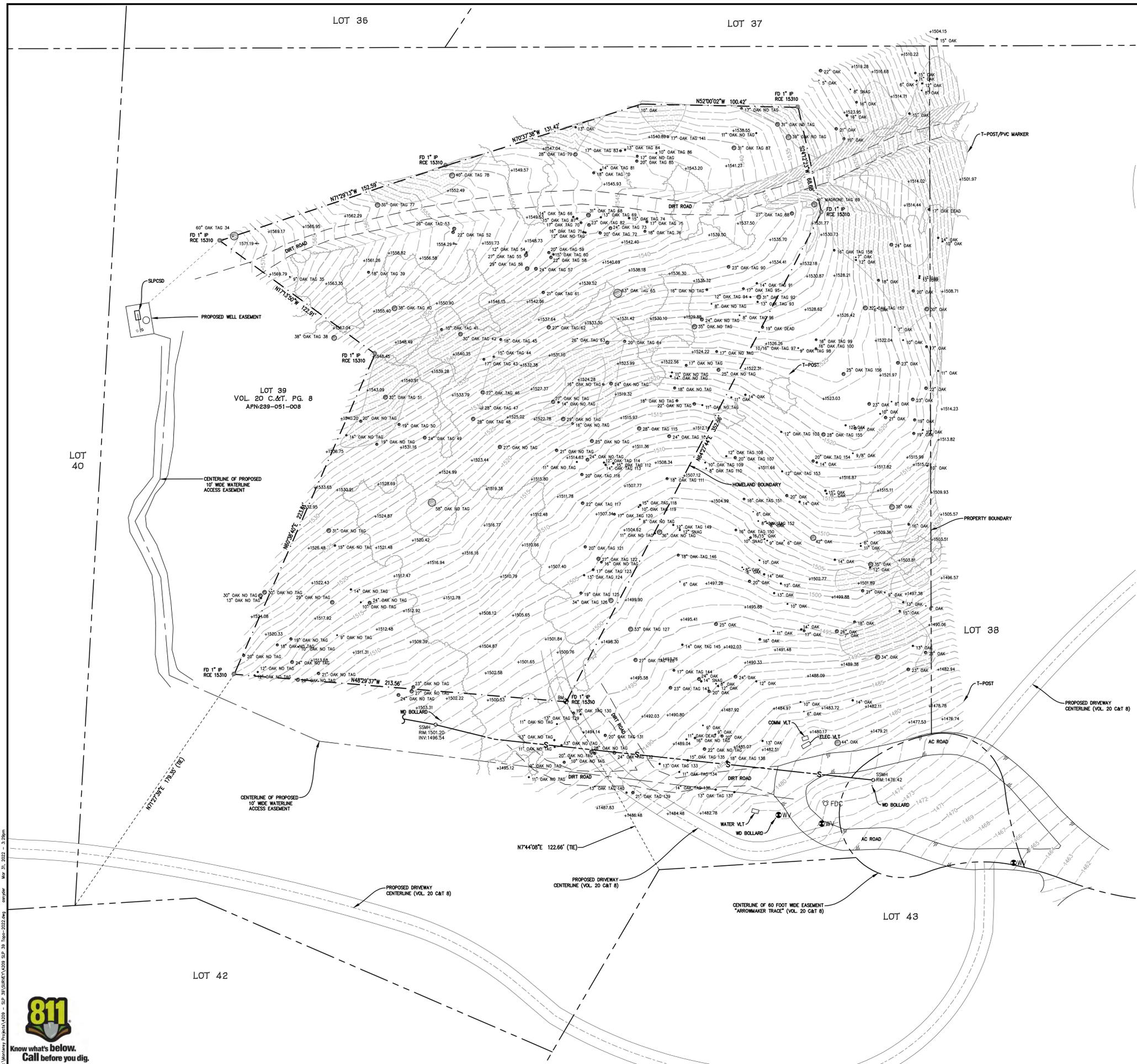
FA JOB NO.
21-020

ISSUE
PLANNING
APPLICATION SET

DATE
06.24.2022

HISTORY
DESC. DATE

TITLE
EXTERIOR FACADE
MATERIALS



VICINITY MAP
SCALE: N.T.S.

TOPOGRAPHIC MAP NOTES:

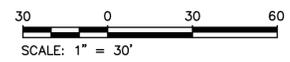
1. THIS MAP REPRESENTS A TOPOGRAPHIC SURVEY PERFORMED BY WHITSON ENGINEERS ON JULY 26 AND JULY 28, 2021, SUPPLEMENTED ON MARCH 16 & 31 OF 2022. BACKGROUND ORTHORECTIFIED AERIAL IMAGERY DISPLAYED HEREON IS BASED ON AERIAL PHOTOGRAPHY ACQUIRED WITH A SMALL UNMANNED AIRCRAFT ON JULY 26, 2021.
2. THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGIC INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE CLIENT.
3. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY SHOWN IS FROM RECORD DATA. THIS TOPOGRAPHIC MAP DOES NOT CONSTITUTE A BOUNDARY SURVEY. AS A TITLE REPORT WAS NOT PROVIDED, THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY, WHICH ARE NOT SHOWN HEREON.
4. DISTANCES AND DIMENSIONS SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.
5. BENCHMARK: FOUND 1" IRON PIPE & CAP AT MOST SOUTHERLY HOMELAND CORNER, RCE 15310. ELEVATION: 1497.12' (ASSUMED DATUM)
6. LOCATION OF UNDERGROUND UTILITIES WAS NOT WITHIN THE SCOPE OF THIS SURVEY. WITH THE EXCEPTION OF OBSERVED FACILITIES, UNDERGROUND UTILITIES ARE NOT SHOWN.
7. DIAMETERS OF TREES ARE SHOWN IN INCHES MEASURED AT BREAST HEIGHT. TREES SMALLER THAN 6" WERE NOT NECESSARILY LOCATED AS PART OF THIS SURVEY.

LEGEND

- 100 GROUND CONTOUR
- SUBJECT BOUNDARY LINE
- HOMELAND BOUNDARY LINE
- BOUNDARY 'TIE'
- ASPHALT CONCRETE EDGE
- TOP/TOE
- DIRT ROAD
- TREE DRIP LINE
- SANITARY SEWER LINE
- 12" OAK TREE
- UTILITY VAULT
- WV WATER VALVE
- FIRE DEPARTMENT CONNECTION
- 928.30 SPOT GRADE
- BM BENCHMARK
- SLOPE 30% OR GREATER
- FOUND 1" IRON PIPE TAGGED AS NOTED
- MH TYPE SANITARY SEWER MANHOLE
- RIM: INV:

ABBREVIATIONS

- AC ASPHALT CONCRETE
- AD AREA DRAIN
- APPROX APPROXIMATE
- C CENTERLINE
- CONC CONCRETE
- COMM COMMUNICATION
- DIA DIAMETER
- ELEC ELECTRIC
- FD FOUND
- FDC FIRE DEPARTMENT CONNECTION
- RCE REGISTERED CIVIL ENGINEER
- SS SANITARY SEWER
- BM BENCH MARK
- UNKN UNKNOWN
- VLT VAULT
- W WATER
- WV WATER VALVE
- WD WOOD



Civil Engineering
Land Surveying
4 Hecker Court
Monterey, California
831.649.5225
whitsonengineers.com

Whitson ENGINEERS

REGISTERED PROFESSIONAL SURVEYOR
RICHARD P. WEEVER
No. 8002
STATE OF CALIFORNIA

03/31/2022
Additional Field Survey
AWS

Monterey County, California

Santa Lucia Preseve - Lot 39

Topographic Survey

APN 239-051-008-000

SCALE: 1" = 30'
DRAWN: C.J./TH
JOB No.: 4209.01

SHEET 1 OF 1



0 1 2 3 INCHES

EARTHWORK
CUT=1617 CY
FILL=117 CY
NET=1500 CY CUT

EARTHWORK QUANTITIES AS CALCULATED BY THE ENGINEER ARE TO FINISHED GRADE AND ARE ESTIMATES ONLY. A 15% COMPACTION RATIO WAS ASSUMED FOR FILL LOCATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE QUANTITIES BY PERFORMING HIS OWN CALCULATIONS.

DRIVEWAY (CUT=257 CY, FILL=67 CY)
 SITE (CUT=1360 CY, FILL=50 CY)

LEGEND

-  PROPOSED BUILDING
-  SLOPE EQUAL TO OR GREATER THAN 30%

NOTE:
 ALL TREES TO BE PROTECTED IN PLACE UNLESS SHOWN OTHERWISE
 X TREE TO BE REMOVED

I&S ENGINEERING AND SURVEYING, INC.
 2460 Garden Road, Suite G, Monterey, California 93940
 P: 831.655.2723 F: 831.655.3425
 LandEngineers.com

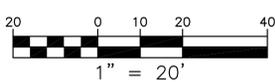
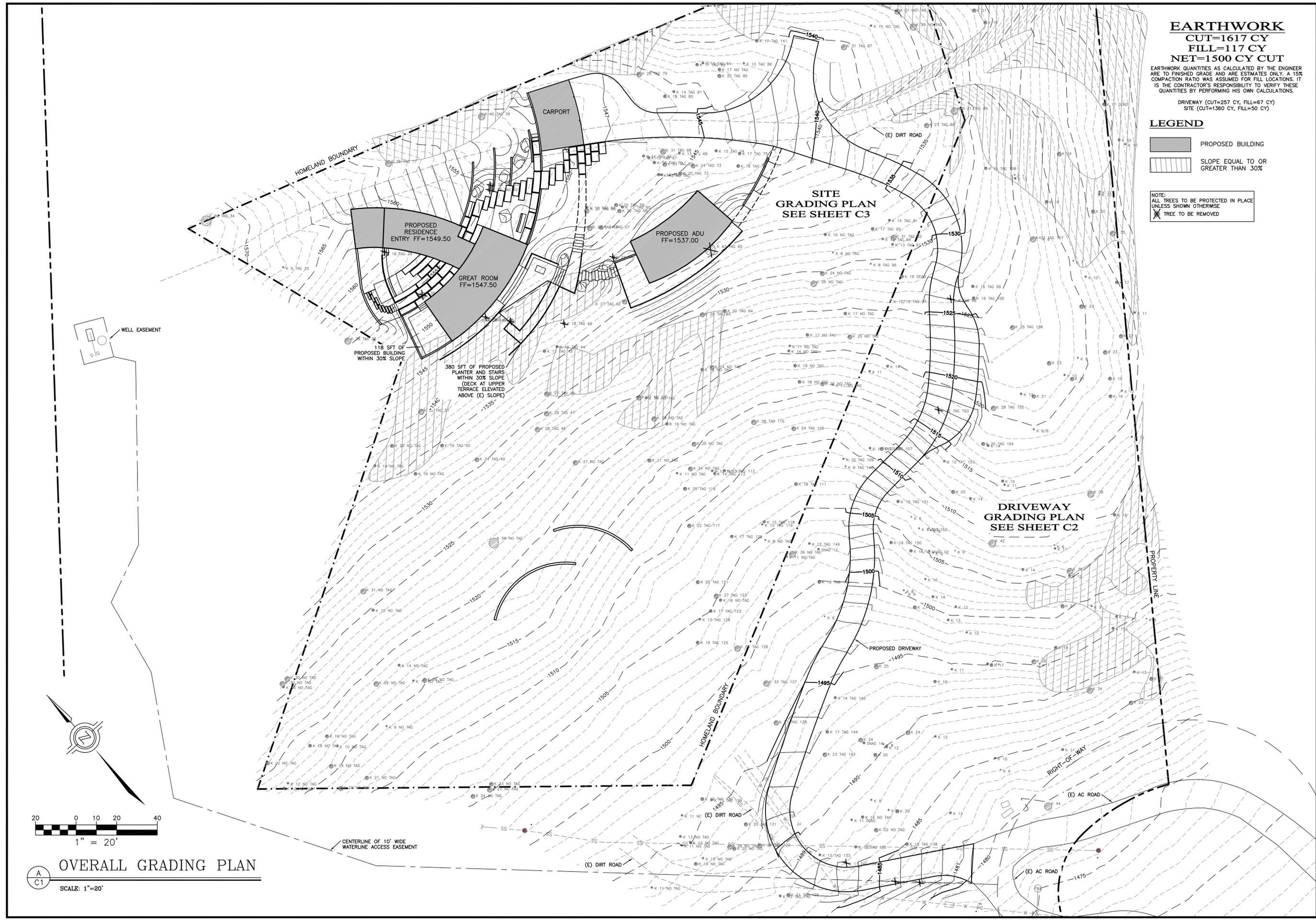
REGISTERED PROFESSIONAL ENGINEER
 M.A. MARK R. STEINER
 No. 69930
 EXP. 9-30-22
 CIVIL
 STATE OF CALIFORNIA

DRAWN BY: MRS
 DESIGNED BY: MRS
 DATE: 5-10-2022
 SCALE: AS SHOWN
 JOB NUMBER: 21-120
 LAST REVISED: N/A
 REVISED BY: N/A

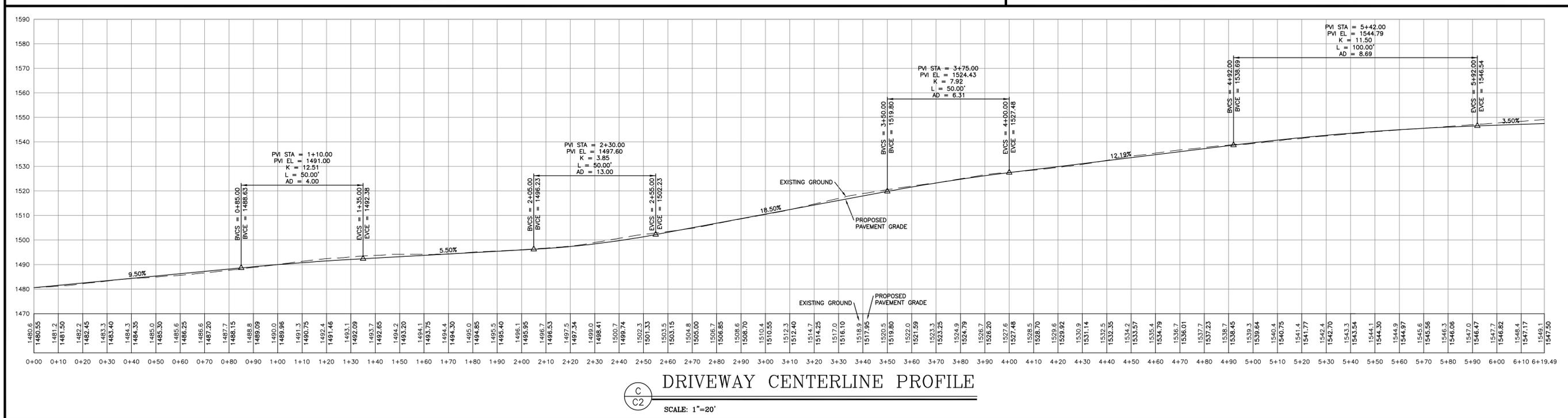
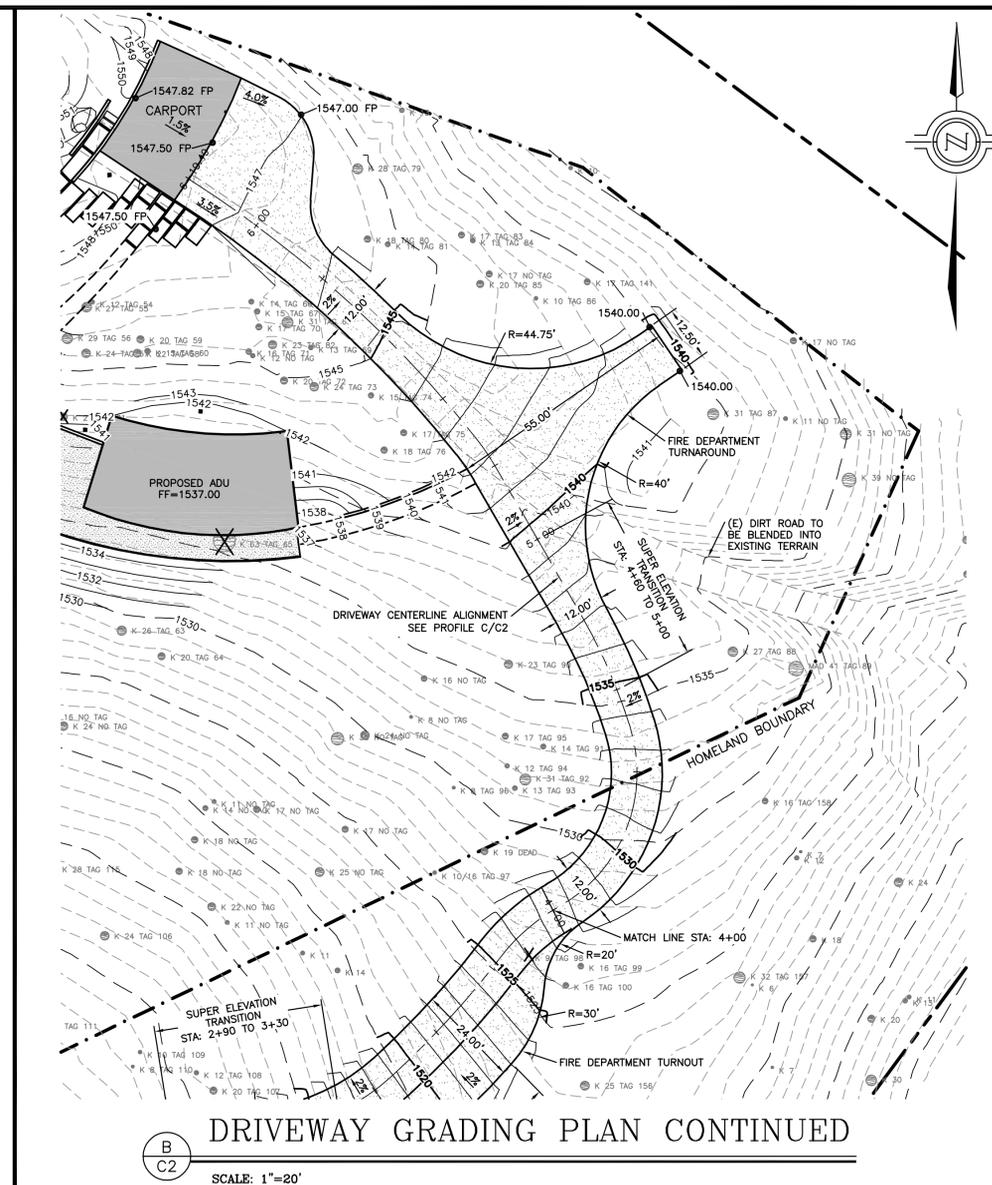
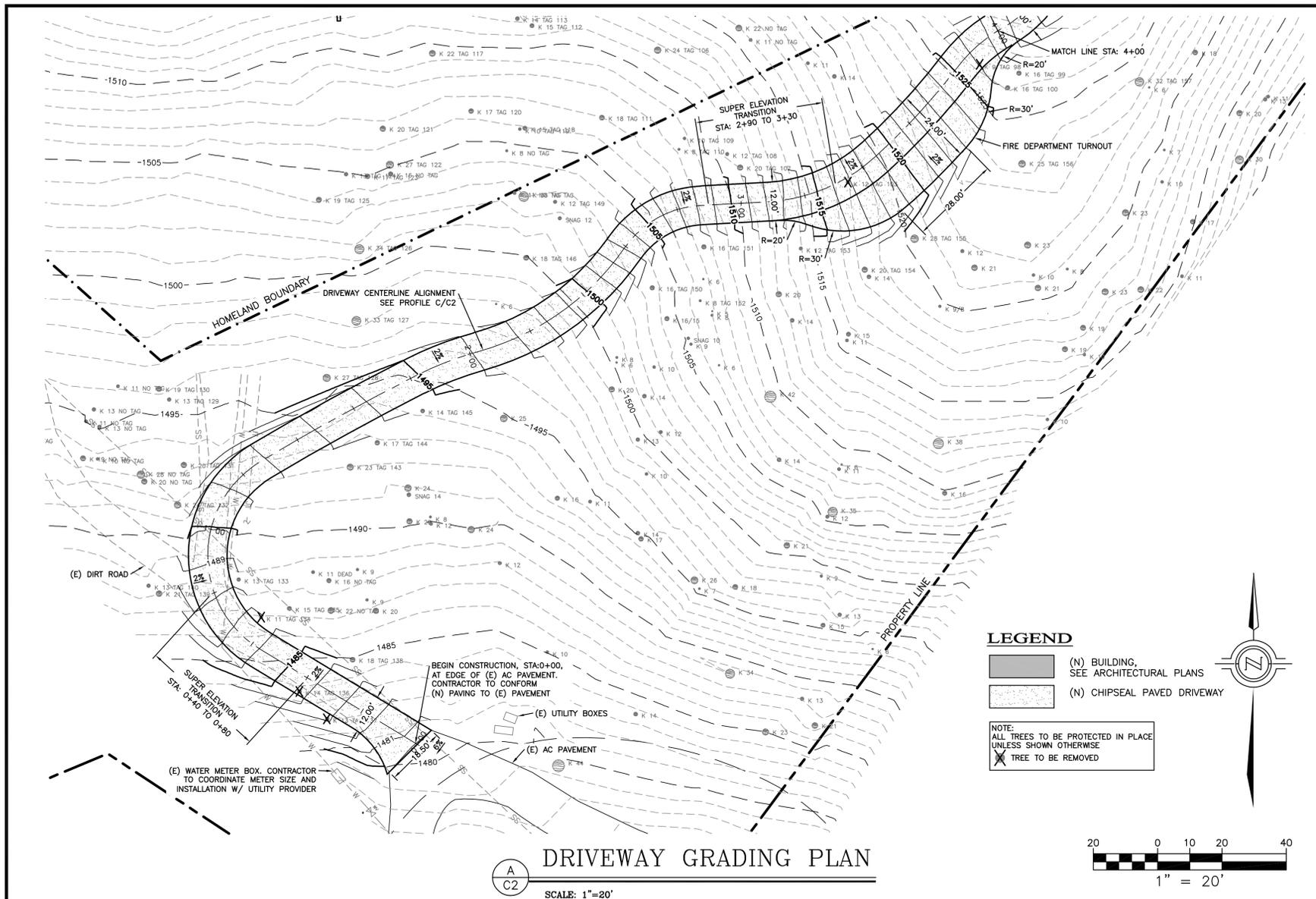
OVERALL GRADING PLAN

VENTRE-NEESE RESIDENCE
 SANTA LUCIA PRESERVE LOT 39
 2 ARROWMAKER TRACE
 CARMEL, CA 93923
 APN 239-051-008

SHEET C1
 OF
 5 SHEETS



OVERALL GRADING PLAN
 SCALE: 1"=20'



I&S ENGINEERING AND SURVEYING, INC.
2460 Garden Road, Suite G, Monterey, California 93940
P: 831.655.2723 F: 831.655.3425
LandEngineers.com

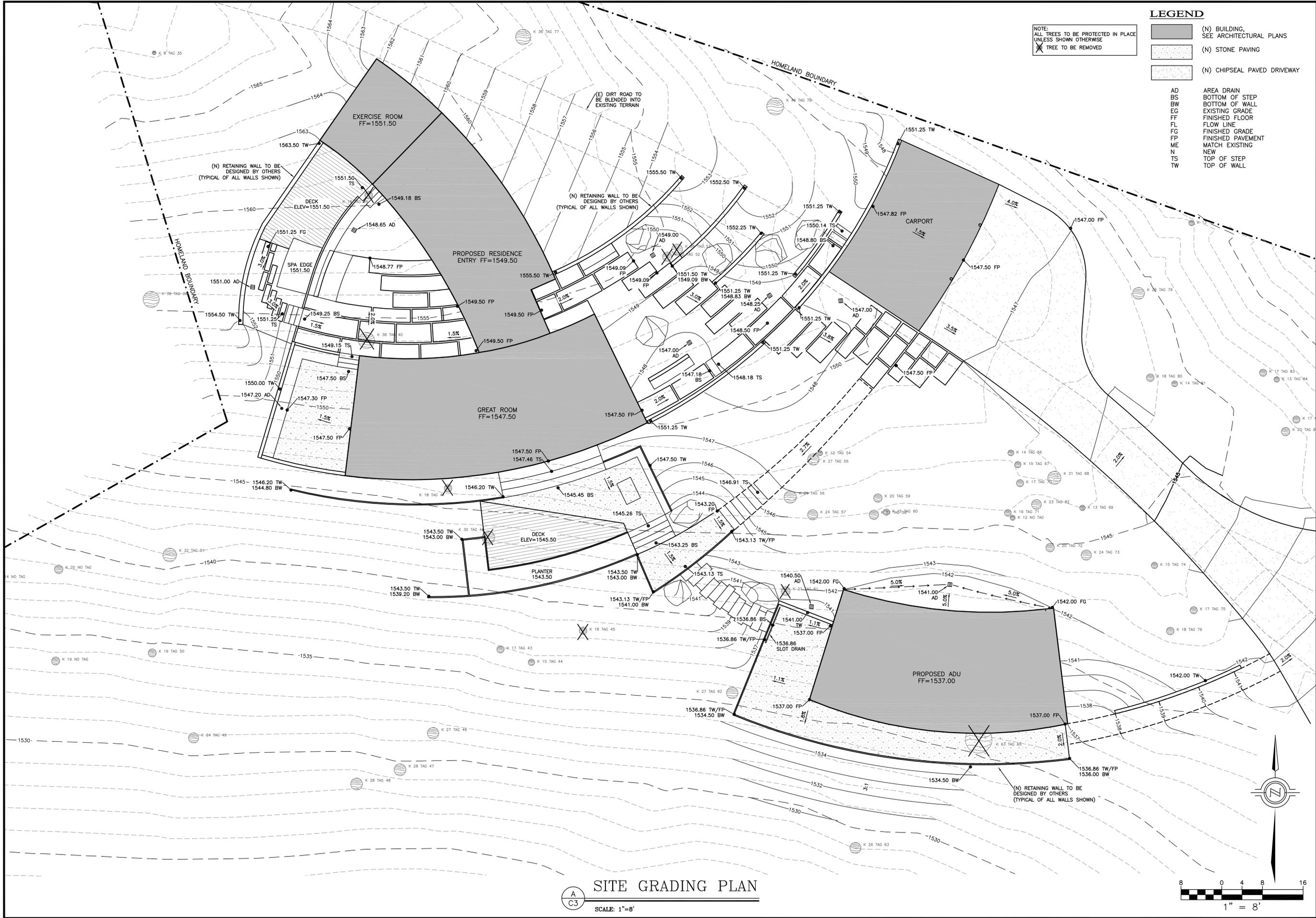
REGISTERED PROFESSIONAL ENGINEER
M.A. MARK R. STEIN, P.E.
No. 69930
EXP. 9-30-22
CIVIL
STATE OF CALIFORNIA

DRIVEWAY GRADING PLAN

DRAWN BY: MRS
DESIGNED BY: MRS
DATE: 5-10-2022
SCALE: AS SHOWN
JOB NUMBER: 21-120
LAST REVISED: N/A
REVISED BY: N/A

VENTRE-NEESE RESIDENCE
SANTA LUCIA PRESERVE LOT 39
2 ARROWMAKER TRACE
CARMEL, CA 93923
APN 239-051-008

SHEET C2
OF
5 SHEETS



NOTE:
 ALL TREES TO BE PROTECTED IN PLACE
 UNLESS SHOWN OTHERWISE
 X TREE TO BE REMOVED

LEGEND	
[Symbol]	(N) BUILDING, SEE ARCHITECTURAL PLANS
[Symbol]	(N) STONE PAVING
[Symbol]	(N) CHIPSEAL PAVED DRIVEWAY
AD	AREA DRAIN
BS	BOTTOM OF STEP
BW	BOTTOM OF WALL
EG	EXISTING GRADE
FF	FINISHED FLOOR
FL	FLOW LINE
FG	FINISHED GRADE
FP	FINISHED PAVEMENT
ME	MATCH EXISTING
N	NEW
TS	TOP OF STEP
TW	TOP OF WALL

I&S ENGINEERING AND SURVEYING, INC.
 2460 Garden Road, Suite G, Monterey, California 93940
 P: 831.655.2723 F: 831.655.3425
 LandSengineers.com

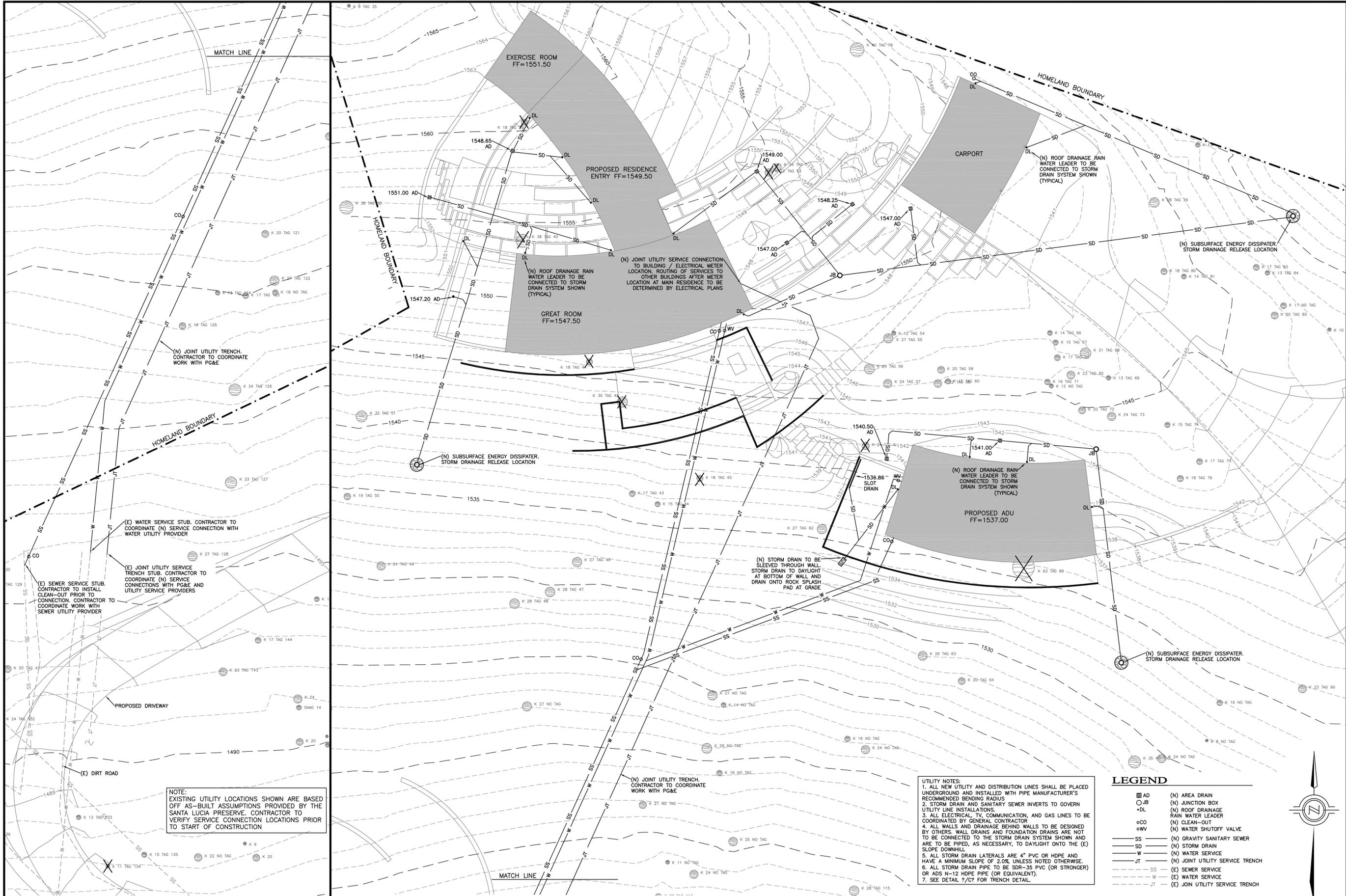


DRAWN BY: MRS
 DESIGNED BY: MRS
 DATE: 5-10-2022
 SCALE: AS SHOWN
 JOB NUMBER: 21-120
 LAST REVISED: N/A
 REVISED BY: N/A

SITE GRADING PLAN

VENTRE-NEESE RESIDENCE
 SANTA LUCIA PRESERVE LOT 39
 2 ARROWMAKER TRACE
 CARMEL, CA 93923
 APN 239-051-008

SITE GRADING PLAN
 SCALE: 1"=8'

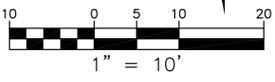


NOTE:
EXISTING UTILITY LOCATIONS SHOWN ARE BASED OFF AS-BUILT ASSUMPTIONS PROVIDED BY THE SANTA LUCIA PRESERVE. CONTRACTOR TO VERIFY SERVICE CONNECTION LOCATIONS PRIOR TO START OF CONSTRUCTION

- UTILITY NOTES:**
1. ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND AND INSTALLED WITH PIPE MANUFACTURER'S RECOMMENDED BENDING RADIUS
 2. STORM DRAIN AND SANITARY SEWER INVERTS TO GOVERN UTILITY LINE INSTALLATIONS
 3. ALL ELECTRICAL, TV, COMMUNICATION, AND GAS LINES TO BE COORDINATED BY GENERAL CONTRACTOR
 4. ALL WALLS AND DRAINAGE BEHIND WALLS TO BE DESIGNED BY OTHERS. WALL DRAINS AND FOUNDATION DRAINS ARE NOT TO BE CONNECTED TO THE STORM DRAIN SYSTEM SHOWN AND ARE TO BE PIPED, AS NECESSARY, TO DAYLIGHT ONTO THE (E) SLOPE DOWNHILL
 5. ALL STORM DRAIN LATERALS ARE 4" PVC OR HDPE AND HAVE A MINIMUM SLOPE OF 2.0% UNLESS NOTED OTHERWISE
 6. ALL STORM DRAIN PIPE TO BE SDR-35 PVC (OR STRONGER) OR ADS N-12 HDPE PIPE (OR EQUIVALENT)
 7. SEE DETAIL P/C? FOR TRENCH DETAIL

LEGEND

■ AD	(N) AREA DRAIN
○ JB	(N) JUNCTION BOX
• DL	(N) ROOF DRAINAGE RAIN WATER LEADER
○ CO	(N) CLEAN-OUT
○ OW	(N) WATER SHUTOFF VALVE
— SS	(N) GRAVITY SANITARY SEWER
— SD	(N) STORM DRAIN
— W	(N) WATER SERVICE
— JT	(N) JOINT UTILITY SERVICE TRENCH
— SS	(E) SEWER SERVICE
— W	(E) WATER SERVICE
— JT	(E) JOIN UTILITY SERVICE TRENCH



UTILITY CONNECTIONS AT ROAD
SCALE: 1"=10'

STORM DRAIN & UTILITY PLAN
SCALE: 1"=10'



DRAWN BY: MRS
DESIGNED BY: MRS
DATE: 5-10-2022
SCALE: AS SHOWN
JOB NUMBER: 21-120
LAST REVISED: N/A
REVISED BY: N/A

STORM DRAIN & UTILITY PLAN

**VENTRE-NEESE RESIDENCE
SANTA LUCIA PRESERVE LOT 39
2 ARROWMAKER TRACE
CARMEL, CA 93923
APN 239-051-008**

EROSION/DUST CONTROL NOTES

- VEGETATION REMOVAL BETWEEN OCTOBER 15th AND APRIL 15th SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE.
- DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
 - DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
 - DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT. (MONTEREY COUNTY GRADING/EROSION ORD. 2806-16.12.090)
- RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
- ALL CUT AND FILL SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEED, OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING SUBJECT TO THE APPROVAL OF THE DIRECTOR OF RMA-PLANNING AND RMA-BUILDING SERVICES. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
- THE DIRECTOR OF THE BUILDING INSPECTION DEPARTMENT MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.
 - COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.

- CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL, IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE. THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE EROSION AND PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM. ACCEPTABLE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: INSTALLATION OF SILT FENCES, FIBER ROLLS, INSTALLATION OF STORM DRAIN INLET PROTECTION, AND INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCES. AT THE CONTRACTOR'S DISCRETION, ANY ONE OR A COMBINATION OF THESE MEASURES MAY BE USED ABOVE AND BEYOND WHAT IS SHOWN ON THE PLANS.

- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.

- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

- STORM DRAIN INLET PROTECTION**
- FIBER ROLLS WILL BE INSTALLED AT LOCATIONS SHOWN ON THIS PLAN AND PER DETAIL D/C5. CONTRACTOR MAY USE SILT FENCE AS AN ALTERNATE/SUPPLEMENTAL EROSION CONTROL/SEDIMENT BARRIER.
 - CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER DETAIL C/C5 AT THE LOCATION SHOWN ON THE PLANS.
 - CONSTRUCTION ENTRANCE SHALL BE DIVERTED SO AS TO PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING DIRECTLY INTO THE STORM DRAINAGE SYSTEM.
 - ALL VEHICLES LEAVING THE PROJECT SITE SHOULD PASS OVER THE CONSTRUCTION ENTRANCE AND BE CLEARED OF DIRT, MUD, OR ANY DEBRIS BEFORE ENTERING THE MAIN ROAD.
 - ANY DIRT, MUD, OR DEBRIS DEPOSITED IN THE MAIN ROAD ADJACENT TO THE CONSTRUCTION SITE SHOULD BE CLEANED IMMEDIATELY.
 - THE CONSTRUCTION ENTRANCE SHOULD BE INSPECTED AND MAINTAINED PERIODICALLY TO ENSURE PROPER FUNCTION.
 - THE CONSTRUCTION ENTRANCE MAY BE FIELD MODIFIED TO MEET SITE CONDITIONS.

- FIBER ROLL**
- FIBER ROLLS WILL BE INSTALLED AT LOCATIONS SHOWN ON THIS PLAN AND PER DETAIL D/C5. CONTRACTOR MAY USE SILT FENCE AS AN ALTERNATE/SUPPLEMENTAL EROSION CONTROL/SEDIMENT BARRIER.

- TYPICAL CONSTRUCTION ENTRANCE**
- CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER DETAIL C/C5 AT THE LOCATION SHOWN ON THE PLANS.
 - RUN-OFF FROM CONSTRUCTION ENTRANCE SHALL BE DIVERTED SO AS TO PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING DIRECTLY INTO THE STORM DRAINAGE SYSTEM.
 - ALL VEHICLES LEAVING THE PROJECT SITE SHOULD PASS OVER THE CONSTRUCTION ENTRANCE AND BE CLEARED OF DIRT, MUD, OR ANY DEBRIS BEFORE ENTERING THE MAIN ROAD.
 - ANY DIRT, MUD, OR DEBRIS DEPOSITED IN THE MAIN ROAD ADJACENT TO THE CONSTRUCTION SITE SHOULD BE CLEANED IMMEDIATELY.
 - THE CONSTRUCTION ENTRANCE SHOULD BE INSPECTED AND MAINTAINED PERIODICALLY TO ENSURE PROPER FUNCTION.
 - THE CONSTRUCTION ENTRANCE MAY BE FIELD MODIFIED TO MEET SITE CONDITIONS.

- CONCRETE WASHOUT**
- TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
 - A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
 - TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
 - TEMPORARY WASHOUT FACILITIES SHOULD HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
 - WASHOUT OF CONCRETE TRUCKS SHOULD BE PERFORMED IN DESIGNATED AREAS ONLY.
 - ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT.
 - CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFFSITE.
 - ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF PER PROPER WASTE MANAGEMENT PROCEDURES. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.

- MATERIAL DELIVERY AND STORAGE**
- LIQUIDS, PETROLEUM PRODUCTS, AND SUBSTANCES LISTED IN 40 CFR PARTS 110, 117, OR 302 SHOULD BE STORED IN APPROVED CONTAINERS AND DRUMS AND SHOULD NOT BE OVERFILLED. CONTAINERS AND DRUMS SHOULD BE PLACED IN TEMPORARY CONTAINMENT FACILITIES FOR STORAGE.
 - TEMPORARY CONTAINMENT FACILITY SHOULD PROVIDE FOR A SPILL CONTAINMENT VOLUME ABLE TO CONTAIN PRECIPITATION FROM A 25 YEAR STORM EVENT, PLUS THE AGGREGATE VOLUME OF ALL CONTAINERS OR 100% OF THE CAPACITY OF THE LARGEST CONTAINER WITHIN ITS BOUNDARY, WHICHEVER IS GREATER.
 - A TEMPORARY CONTAINMENT FACILITY SHOULD BE IMPERVIOUS TO THE MATERIALS STORED THEREIN FOR A MINIMUM CONTACT TIME OF 72 HOURS.
 - A TEMPORARY CONTAINMENT FACILITY SHOULD BE MAINTAINED FREE OF ACCUMULATED RAINWATER AND SPILLS. IN THE EVENT OF SPILLS OR LEAKS, ACCUMULATED RAINWATER SHOULD BE COLLECTED AND PLACED INTO DRUMS. THESE LIQUIDS SHOULD BE HANDLED AS A HAZARDOUS WASTE UNLESS TESTING DETERMINES THEM TO BE NON-HAZARDOUS. ALL COLLECTED LIQUIDS OR NON-HAZARDOUS LIQUIDS SHOULD BE SENT TO AN APPROVED DISPOSAL SITE.
 - SUFFICIENT SEPARATION SHOULD BE PROVIDED BETWEEN STORED CONTAINERS TO ALLOW FOR SPILL CLEANUP AND EMERGENCY RESPONSE ACCESS.
 - INCOMPATIBLE MATERIALS, SUCH AS CHLORINE AND AMMONIA, SHOULD NOT BE STORED IN THE SAME TEMPORARY CONTAINMENT FACILITY.
 - THROUGHOUT THE RAINY SEASON, EACH TEMPORARY CONTAINMENT FACILITY SHOULD BE COVERED DURING NON-WORKING DAYS, PRIOR TO, AND DURING RAIN EVENTS.
 - MATERIALS SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS AND THE ORIGINAL PRODUCT LABELS SHOULD BE MAINTAINED IN PLACE IN A LEGIBLE CONDITION. DAMAGED OR OTHERWISE ILLEGIBLE LABELS SHOULD BE REPLACED IMMEDIATELY.
 - BAGGED AND BOXED MATERIALS SHOULD BE STORED ON PALLETS AND SHOULD NOT BE ALLOWED TO ACCUMULATE ON THE GROUND. TO PROVIDE PROTECTION FROM WIND AND RAIN THROUGHOUT THE RAINY SEASON, BAGGED AND BOXED MATERIALS SHOULD BE COVERED DURING NON-WORKING DAYS AND PRIOR TO AND DURING RAIN EVENTS.
 - STOCKPILES SHOULD BE PROTECTED IN ACCORDANCE WITH CALIFORNIA STORM WATER QUALITY HANDBOOK CONSTRUCTION PRACTICES WM-3, STOCKPILE MANAGEMENT.
 - MATERIALS SHOULD BE STORED INDOORS WITHIN EXISTING STRUCTURES OR SHEDS WHEN AVAILABLE.
 - PROPER STORAGE INSTRUCTIONS SHOULD BE POSTED AT ALL TIMES IN AN OPEN AND CONSPICUOUS LOCATIONS.
 - AN AMPLIFIED SUPPLY OF APPROPRIATE SPILL CLEAN MATERIAL SHOULD BE KEPT NEAR STORAGE AREAS.
 - KEEP AN ACCURATE, UP-TO-DATE INVENTORY OF MATERIAL DELIVERED AND STORED ONSITE.
 - ARRANGE FOR EMPLOYEES TRAINED IN EMERGENCY SPILL CLEANUP PROCEDURES TO BE PRESENT WHEN DANGEROUS MATERIALS OR LIQUID CHEMICALS ARE UNLOADED.

WASTE COLLECTION AREA

- WATER TIGHT DUMPSTERS OF SUFFICIENT SIZE AND NUMBER SHALL BE PROVIDED TO CONTAIN THE SOLID WASTE GENERATED BY THE PROJECT AND SHALL BE PROPERLY SERVICED.
- LITTERING ON THE PROJECT SITE SHALL BE PROHIBITED.
- TRASH RECEPTACLES SHALL BE PROVIDED IN FIELD TRAILER AREAS AND IN LOCATIONS WHERE WORKERS CONGREGATE FOR LUNCH AND BREAK PERIODS.
- CONSTRUCTION DEBRIS AND LITTER FROM WORK AREAS WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT SITE SHALL BE COLLECTED AND PLACED IN WATER TIGHT DUMPSTERS AT LEAST WEEKLY. COLLECTED LITTER OR DEBRIS SHALL NOT BE PLACED IN OR NEXT TO DRAIN INLETS, STORM WATER DRAINAGE SYSTEMS OR WATERCOURSES.
- FULL DUMPSTERS SHALL BE REMOVED FROM THE PROJECT SITE AND THE CONTENTS SHALL BE DISPOSED OF AT A LEGALLY APPROVED LAND FILL LOCATION.
- ALL DUMPSTERS SHALL BE HANDLED AND DISPOSED OF BY TRASH HAULING CONTRACTOR.
- CONSTRUCTION DEBRIS AND WASTE SHALL BE REMOVED FROM THE SITE EVERY TWO WEEKS OR SOONER IF NEEDED.
- STORM WATER RUN ON SHALL BE PREVENTED FROM CONTACTING STOCKPILED SOLID WASTE THROUGH THE USE OF BERMS OR OTHER TEMPORARY DIVERSION STRUCTURES OR THROUGH THE USE OF MEASURES TO ELEVATE WASTE FROM SURFACE.
- WASTE STORED IN STOCKPILES SHALL BE SECURELY COVERED FROM WIND AND RAIN BY COVERING WASTE WITH TARPS OR PLASTIC SHEETING WHILE WAITING FOR OFF-HAUL OR TRANSFER TO DUMPSTER.
- SEGREGATE HAZARDOUS WASTE FROM NON-HAZARDOUS WASTE. FOR DISPOSAL OF HAZARDOUS WASTE SEE BMP WM-6. HAVE HAZARDOUS WASTE HAULLED TO AN APPROPRIATE DISPOSAL FACILITY IMMEDIATELY AFTER DEMOLITION OR USE.
- MAKE SURE THAT TOXIC LIQUID WASTES AND CHEMICALS ARE NOT DISPOSED OF IN DUMPSTERS BUT ARE REMOVED OFF SITE APPROPRIATELY.

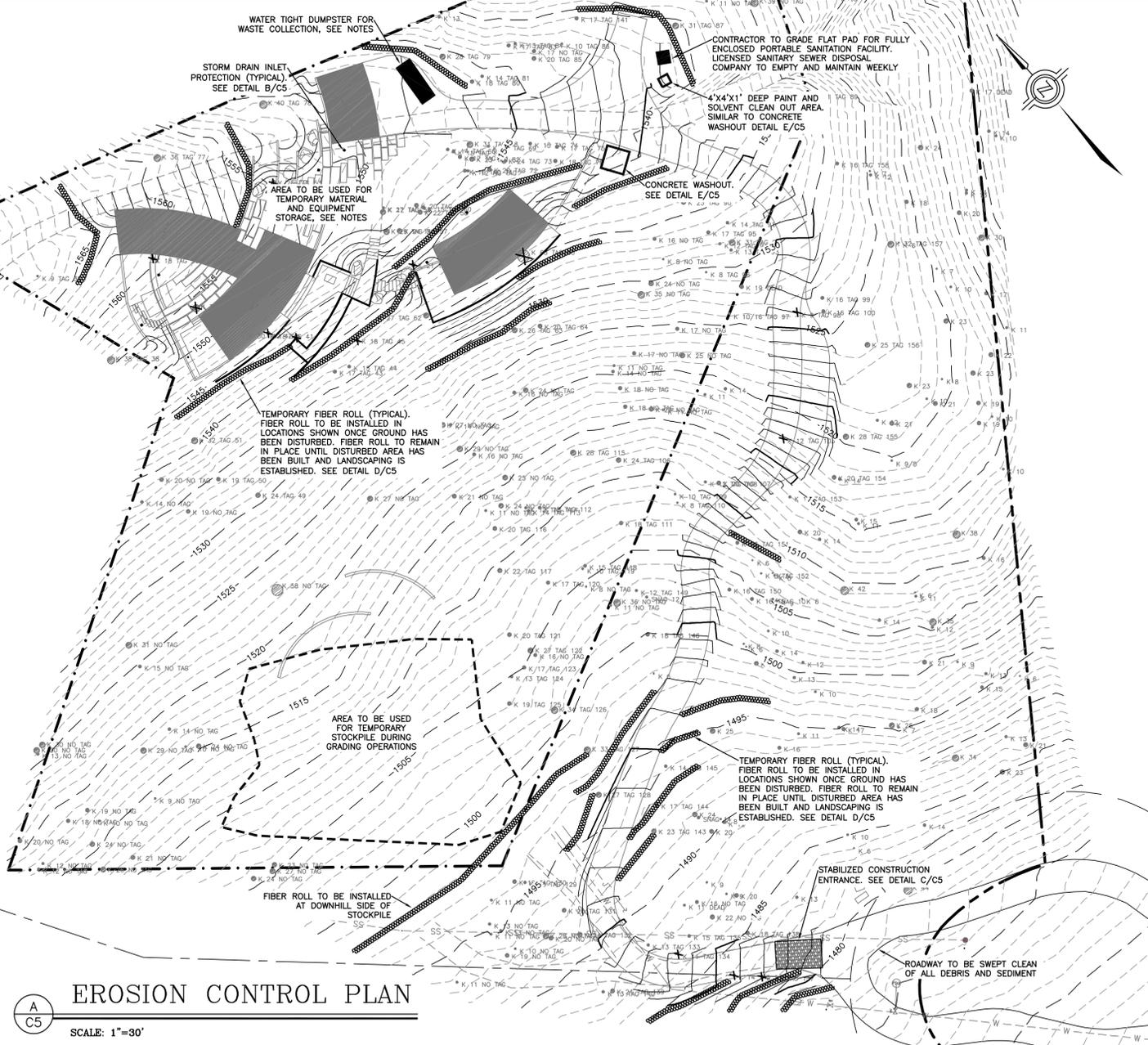
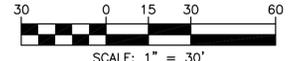
TREE PROTECTION

- AROUND EACH TREE OR GROUP OF TREES TO BE PRESERVED ADJACENT TO CONSTRUCTION SITES, A BOUNDARY OF ORANGE FENCING SUPPORTED BY WOOD OR METAL STAKES OR FUNCTIONAL EQUIVALENT WILL BE ERECTED ALONG THE APPROXIMATE DRIP LINES OF SUCH PROTECTED TREES OR CLOSER WHERE SPECIFICALLY APPROVED BY A QUALIFIED FORESTER, ARBORIST, OR THE COUNTY OF MONTEREY, WHERE GUIDANCE OF A TREE PROFESSIONAL IS USED, ENCROACHMENT INTO THE DRIP LINE OF RETAINED TREES MAY OCCUR IN ORDER TO MINIMIZE TREE REMOVALS.
- NO EXCAVATION, STORAGE OF EXCAVATED FILL, EQUIPMENT, OR CONSTRUCTION MATERIALS, NOR PARKING OF VEHICLES WILL BE PERMITTED WITHIN THE DRIP LINES OF THESE FENCE PROTECTED TREES.
- NO SOIL MAY BE REMOVED FROM WITHIN THE DRIP LINE OF ANY TREE AND NO FILL OF ADDITIONAL SOIL WILL EXCEED TWO INCHES WITHIN THE DRIP LINES OF TREES, UNLESS IT IS PART OF APPROVED CONSTRUCTION AND IS REVIEWED BY A QUALIFIED FORESTER.
- BARK INJURY TO ANY TREE FROM EQUIPMENT OR MATERIALS WILL BE PREVENTED BY FAITHFULLY RESPECTING THE TREE PROTECTION FENCING REQUIRED ABOVE.
- ROOTS EXPOSED BY EXCAVATION WILL BE PRUNED TO PROMOTE CALLUSING, CLOSURE, AND REGROWTH, AND WILL BE RECOVERED AS SOON AS POSSIBLE IF TREE HEALTH IS TO BE REASONABLY MAINTAINED.

NOTE: ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15 THROUGH APRIL 15).

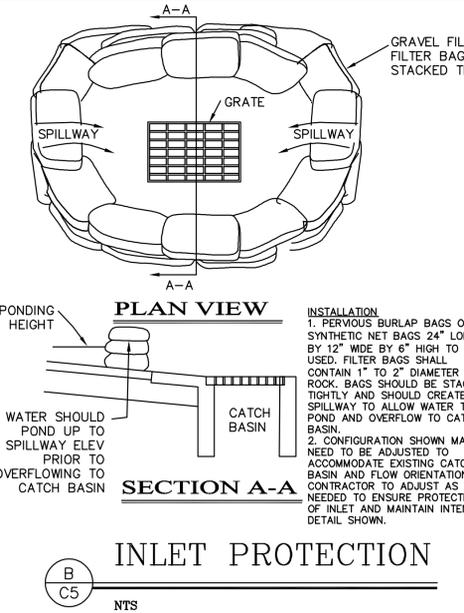
TOTAL AREA OF DISTURBANCE=0.75 AC

MAINTAIN ALL EROSION CONTROL MEASURES UNTIL LANDSCAPING IS ESTABLISHED



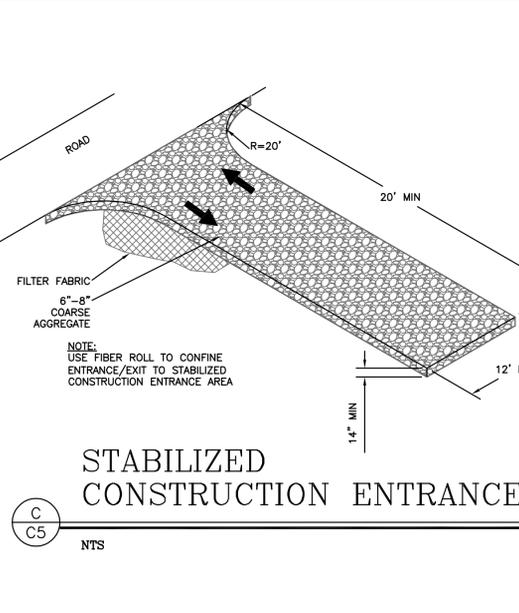
EROSION CONTROL PLAN

SCALE: 1"=30'



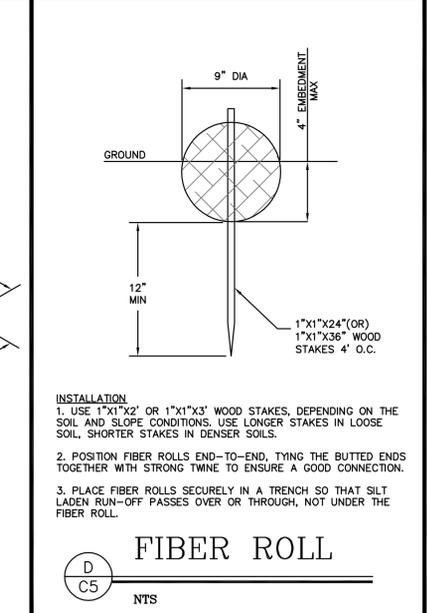
INLET PROTECTION

NTS



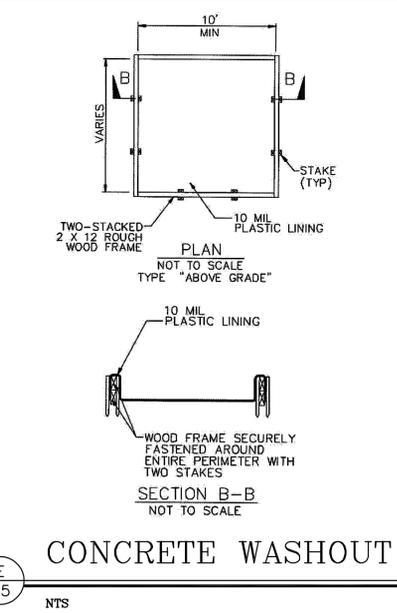
STABILIZED CONSTRUCTION ENTRANCE

NTS



FIBER ROLL

NTS



CONCRETE WASHOUT

NTS

I&S ENGINEERING AND SURVEYING, INC.
 2460 Garden Road, Suite G, Monterey, California 93940
 P: 831.655.2723 F: 831.655.3425
 LandEngineers.com

REGISTERED PROFESSIONAL ENGINEER
 M. MARK R. STEINER
 No. 69930
 EXP. 9-30-22
 CIVIL
 STATE OF CALIFORNIA

DRAWN BY: MRS
 DESIGNED BY: MRS
 DATE: 5-10-2022
 SCALE: AS SHOWN
 JOB NUMBER: 21-120
 LAST REVISED: N/A
 REVISED BY: N/A

EROSION CONTROL PLAN

VENTRE-NEESE RESIDENCE
 SANTA LUCIA PRESERVE LOT 39
 2 ARROWMAKER TRACE
 CARMEL, CA 93923
 APN 239-051-008

SHEET C5
 OF
 5 SHEETS

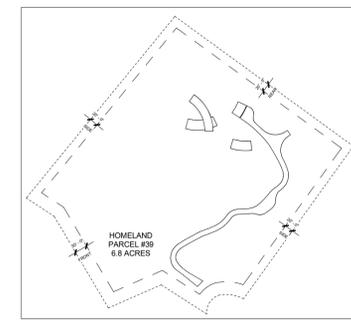


LEGEND

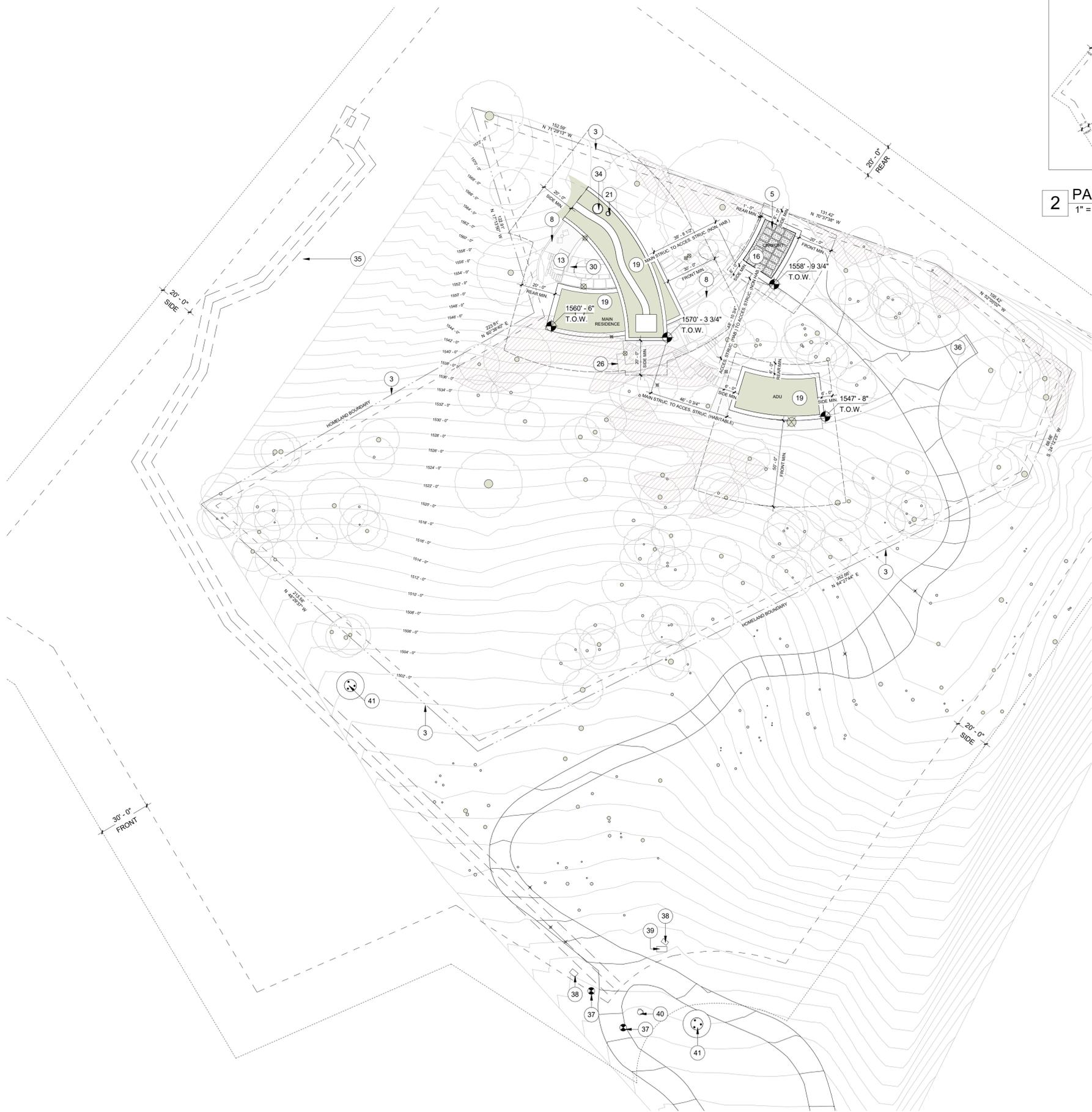
- PROPERTY LINE
- SETBACK LINE
- (E) TREE TO REMAIN
- (E) TREE TO BE REMOVED
- 30% SLOPE

KEYNOTE LEGEND

- 3 HOMELAND BOUNDARY
- 5 SOLAR PANEL ARRAY
- (P) DRIVEWAY LOCATION
- 8 BOARD FORMED CONCRETE RETAINING WALL, SLD
- 13 SPA, SEE LANDSCAPE PLANS
- 16 BALLAST ROOF
- 19 GREEN ROOF
- 21 SKYLIGHT
- 26 CORTEN LANDSCAPE RETAINING WALL, SLP
- 30 WATER FEATURE
- 34 ROOF COUTOUT
- 35 (P) ACCESS ROAD TO (E) WELL
- 36 (P) FIRE TRUCK TURN AROUND
- 37 WATER VALVE
- 38 UTILITY VAULT
- 39 ELECTRIC VAULT
- 40 FIRE HYDRANT
- 41 SANITARY SEWER MANHOLE



2 PARCEL MAP
1" = 200'-0"



1 SITE PLAN
1" = 30'-0"

PROJECT NAME
CURVEBALL

PROJECT ADDRESS
**2 ARROWMAKER
TRACE, CARMEL
CA, 93923**

APN #
239-051-008-000

CLIENT
KIMBERLY VENTRE & MARTY NEESE

FA JOB NO.
21-020

ISSUE
**PLANNING
APPLICATION SET**

DATE
06.24.2022

HISTORY
△ DESC. DATE



TITLE
SITE PLAN

A1.20
SHEET

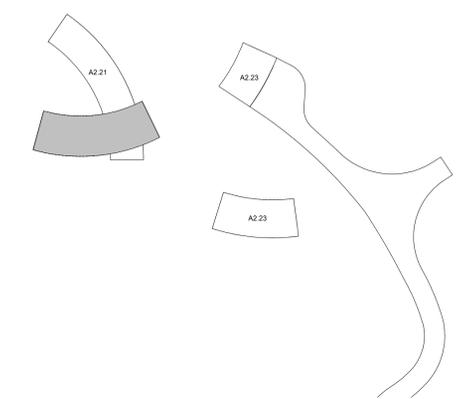


FLOOR PLAN GENERAL NOTES

1. PROVIDE MIN 36" x 36" LEVEL LANDINGS OUTSIDE AT EXTERIOR DOORS PER CBC SECTION 1008.1.5, WITH LANDINGS NOT MORE THAN 7.75" BELOW INSIDE FINISHED FLOORS AT INWARD SWINGING (OR SLIDING) DOORS AND .75" AT OUTWARD SWINGING PER CBC SECTION 1008.1.6. LANDINGS SHALL SLOPE 1/4"FT MIN. AWAY FROM DOORS.
2. PROVIDE SOUND ATTENUATION INSULATION AT INTERIOR WALLS AND FLOORS.
3. GLASS DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES & ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE OR DRAIN INLET SHALL BE TEMPERED SAFETY GLASS, AS PER CBC SECTION 2406.3 #5.
4. PROVIDE SKID-RESISTANT SURFACE ON BATHROOM FLOORS.
5. BASE MATERIAL BENEATH SHOWER PAN SLOPED TO DRAIN AS PER CPC SECTION 411.4.
6. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH.
7. SEPARATION BETWEEN GARAGE AND MAIN RESIDENCE AS PER CBC SECTION 406.3.4.1 SHALL BE SEPARATED BY 1/2" MIN. GYP. BD. ON WALLS & 5/8" TYPE "X" GYP. BD. OR EQUIVALENT ON CEILINGS WHEN A GARAGE IS BELOW A HABITABLE ROOM.
8. PER CRC R307.2 AND R702.4.2, BATHTUB/SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
9. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
10. PROVIDE MIN 30" CLR WIDTH @ W.C. AND 24" CLR. FLOOR AREA AT FRONT OF BOWL.
11. ANNULAR SPACE AROUND PIPES, ELECTRIC OUTLETS, CONDUITS OR OTHER OPENINGS IN THE BUILDING'S ENVELOPE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS (CALGREEN 4.406.1)
12. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 75 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 4.408.1 TIER 2.
13. ALL DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.

KEYNOTE LEGEND

- 3 — HOMELAND BOUNDARY
- 13 — SPA, SEE LANDSCAPE PLANS
- 14 — DIRECT VENT GAS FIREPLACE
- 23 — OVERHANG ABOVE SHOWN DASHED
- 24 — (N) TREE, SEE LANDSCAPE PLANS
- 25 — WOOD DECK
- 26 — CORTEN LANDSCAPE RETAINING WALL, SLP
- 30 — WATER FEATURE



2 KEY DIAGRAM

PROJECT NAME
CURVEBALL

PROJECT ADDRESS
**2 ARROWMAKER
TRACE, CARMEL
CA, 93923**

APN #
239-051-008-000

CLIENT
KIMBERLY VENTRE & MARTY NEESE

FA JOB NO.
21-020

ISSUE
**PLANNING
APPLICATION SET**

DATE
06.24.2022

HISTORY
△ DESC. DATE



TITLE
**MAIN RESIDENCE
FLOOR PLAN -
LEVEL 1**

A2.20
SHEET



1 FLOOR PLAN - LEVEL 1
1/4" = 1'-0"

6/24/2022 3:23:51 PM



PROJECT NAME
CURVEBALL

PROJECT ADDRESS
**2 ARROWMAKER
TRACE, CARMEL
CA, 93923**

APN #
239-051-008-000

CLIENT
KIMBERLY VENTRE & MARTY NEESE

FA JOB NO.
21-020

ISSUE
**PLANNING
APPLICATION SET**

DATE
06.24.2022

HISTORY
△ DESC. DATE

TITLE
**MAIN RESIDENCE
FLOOR PLAN -
LEVEL 2**

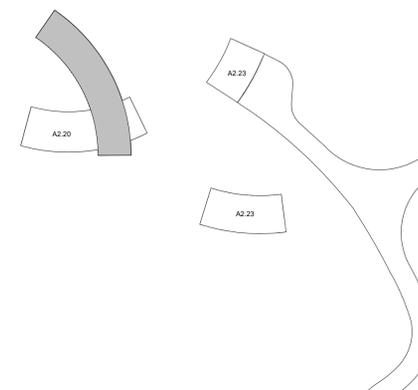
A2.21
SHEET

FLOOR PLAN GENERAL NOTES

1. PROVIDE MIN 36" x 36" LEVEL LANDINGS OUTSIDE AT EXTERIOR DOORS PER CBC SECTION 1008.1.5. WITH LANDINGS NOT MORE THAN 7.75' BELOW INSIDE FINISHED FLOORS AT INWARD SWINGING (OR SLIDING) DOORS AND .75' AT OUTWARD SWINGING PER CBC SECTION 1008.1.6. LANDINGS SHALL SLOPE 1/4" FT MIN. AWAY FROM DOORS.
2. PROVIDE SOUND ATTENUATION INSULATION AT INTERIOR WALLS AND FLOORS.
3. GLASS DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES & ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE OR DRAIN INLET SHALL BE TEMPERED SAFETY GLASS, AS PER CBC SECTION 2406.3 #5.
4. PROVIDE SKID-RESISTANT SURFACE ON BATHROOM FLOORS.
5. BASE MATERIAL BENEATH SHOWER PAN SLOPED TO DRAIN AS PER CPC SECTION 411.4.
6. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH.
7. SEPARATION BETWEEN GARAGE AND MAIN RESIDENCE AS PER CBC SECTION 406.3.4.1 SHALL BE SEPARATED BY 1/2" MIN. GYP BD. ON WALLS & 5/8" TYPE "X" GYP BD. OR EQUIVALENT ON CEILINGS WHEN A GARAGE IS BELOW A HABITABLE ROOM.
8. PER CRC R307.2 AND R702.4.2, BATHTUB/SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
9. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
10. PROVIDE MIN 30" CLR WIDTH @ W.C. AND 24" CLR. FLOOR AREA AT FRONT OF BOWL.
11. ANNULAR SPACE AROUND PIPES, ELECTRIC OUTLETS, CONDUITS OR OTHER OPENINGS IN THE BUILDING'S ENVELOPE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS (CALGREEN 4.406.1)
12. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 75 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 4.408.1 TIER 2.
13. ALL DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.

KEYNOTE LEGEND

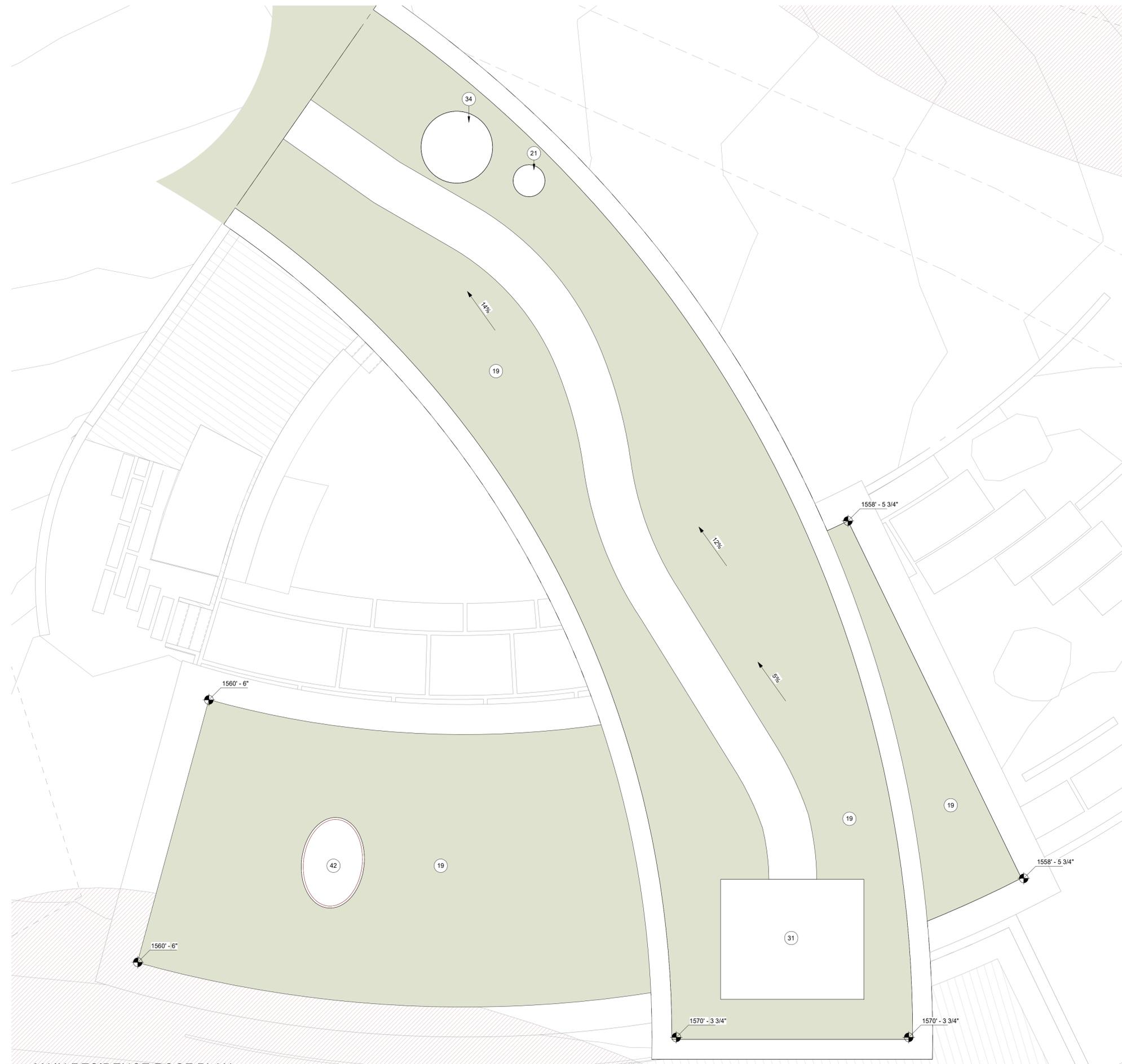
- 19 GREEN ROOF
- 23 OVERHANG ABOVE SHOWN DASHED
- 42 DECORATIVE SHROUD AT FIREPLACE CHIMNEY



2 KEY DIAGRAM



1 FLOOR PLAN - LEVEL 2
1/4" = 1'-0"



LEGEND

— DIRECTION OF SLOPE

ROOF PLAN GENERAL NOTES

1. REFER TO FLOOR PLANS FOR ROOF DRAINAGE AT LOWER LEVEL ROOFS
2. ROOFING SHALL MAINTAIN A CLASS 'A' FIRE RATING AND COMPLY WITH THE PROVISIONS OF CRC SECTION R902.1.3.
3. ROOF AND DECK SURFACES SHALL SLOPE AT 1/4" PER FOOT MINIMUM, U.O.N. VERIFY ALL SLOPES IN FIELD WITH ARCHITECT.
4. PROVIDE CRICKETS AT SKYLIGHTS, CHIMNEYS, MECHANICAL EQUIPMENT, AND OTHER LOCATIONS AS REQUIRED FOR POSITIVE DRAINAGE TOWARD DRAINS.
5. THE CONTRACTORS SHALL HAVE A COPY OF THE ROOFING SYSTEM I.C.B.O.REPORT PRESENT AT INSPECTIONS.
6. PROVIDE INDEPENDENTLY PIPED OVERFLOW DRAINS AT ROOF DRAIN LOCATIONS OR OVERFLOW SCUPPERS AS NOTED/REQUIRED.
7. PROVIDE CLEANOUTS AS REQUIRED.
8. PROVIDE BASKET DEBRIS SCREENS AT ROOF DRAINS.
9. FLASH AND SEAL ROOF PENETRATIONS SUCH AS VENTS, FANS, HOODS, ETC. AS REQUIRED FOR A WATER-TIGHT INSTALLATION.
10. SHEET METAL FLASHING AND TRIM SHALL BE G.S.M. TO THE MINIMUM GAUGES SPECIFIED IN THE PROJECT MANUAL, U.O.N.
11. STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.
12. ROOF CAVITIES ARE FILLED WITH INSULATION IN LIEU OF VENTILATION. SPRAY-IN-PLACE FOAM INSULATION IS USED AS A VAPOR BARRIER (2" MIN. APPLICATION) AS PRESCRIBED BY INDUSTRY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
 - A. ROOF OVER CONDITIONED SPACES: (3" THK (R-19) SPRAY APPLIED FOAM-IN-PLACE INSULATION APPLIED TO ROOF DECK W/ R-19 BATT INSULATION, TYP.
 - B. ROOF OVER UNCONDITIONED SPACES: NO INSULATION, TYP.
 - C. PARAPETS: FILL CAVITIES W/ SPRAY APPLIED FOAM-IN-PLACE INSULATION, TYP.
 - D. FREE-STANDING WALLS: FILL CAVITIES W/ SPRAY APPLIED FOAM-IN-PLACE INSULATION, TYP.

KEYNOTE LEGEND

- 19 GREEN ROOF
- 21 SKYLIGHT
- 31 ROOFTOP DECK
- 34 ROOF COUTOUT
- 42 DECORATIVE SHROUD AT FIREPLACE CHIMNEY

ISSUE
PLANNING APPLICATION SET
 DATE
06.24.2022
 HISTORY
 Δ DESC. DATE



TITLE
MAIN RESIDENCE ROOF PLAN



PROJECT NAME
CURVEBALL
 PROJECT ADDRESS
2 ARROWMAKER TRACE, CARMEL CA, 93923
 APN #
 239-051-008-000
 CLIENT
 KIMBERLY VENTRE & MARTY NEESE

6/24/2022 3:24:07 PM

1 MAIN RESIDENCE ROOF PLAN
 1/4" = 1'-0"

A2.22
 SHEET



PROJECT NAME
CURVEBALL

PROJECT ADDRESS
**2 ARROWMAKER
TRACE, CARMEL
CA, 93923**

APN #
239-051-008-000

CLIENT
KIMBERLY VENTRE & MARTY NEESE

FA JOB NO.
21-020

ISSUE
**PLANNING
APPLICATION SET**

DATE
06.24.2022

HISTORY
DESC. REVISION 1 DATE 04.13.22

TITLE
**ADU & CARPORT
FLOOR PLAN**

A2.23
SHEET

LEGEND

- NEW WALL
- 1-HOUR RATED WALL

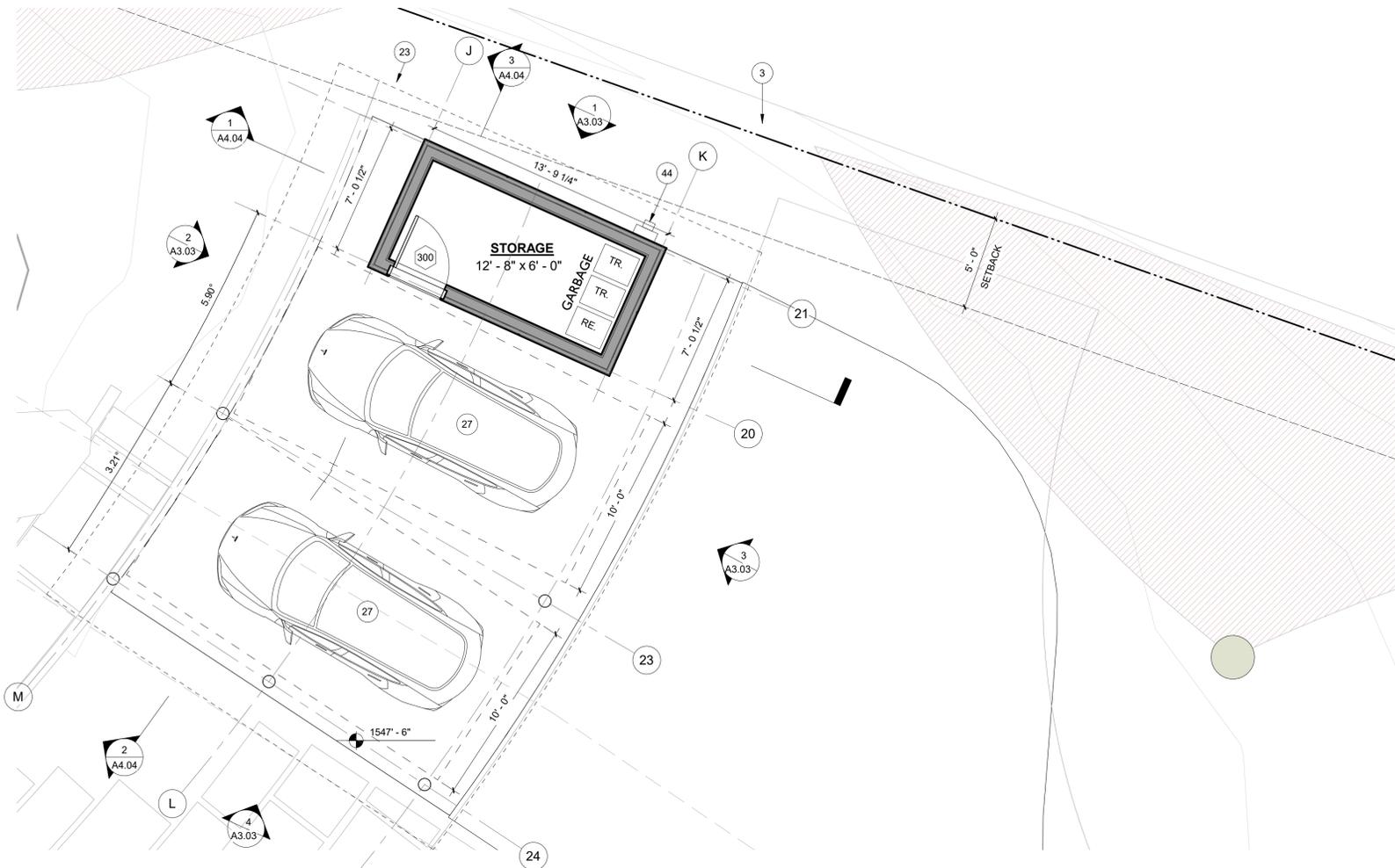
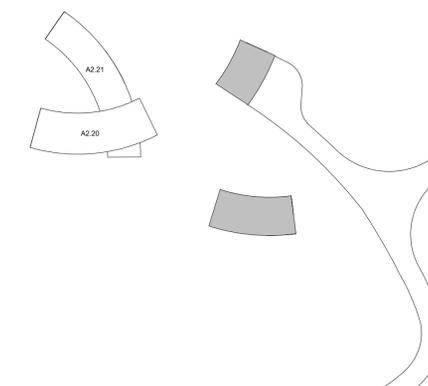
FLOOR PLAN GENERAL NOTES

1. PROVIDE MIN 36" x 36" LEVEL LANDINGS OUTSIDE AT EXTERIOR DOORS PER CBC SECTION 1008.1.5. WITH LANDINGS NOT MORE THAN 7.75' BELOW INSIDE FINISHED FLOORS AT INWARD SWINGING (OR SLIDING) DOORS AND .75' AT OUTWARD SWINGING PER CBC SECTION 1008.1.6. LANDINGS SHALL SLOPE 1/4"/FT MIN. AWAY FROM DOORS.
2. PROVIDE SOUND ATTENUATION INSULATION AT INTERIOR WALLS AND FLOORS.
3. GLASS DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES & ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE OR DRAIN INLET SHALL BE TEMPERED SAFETY GLASS, AS PER CBC SECTION 2406.3 #5.
4. PROVIDE SKID-RESISTANT SURFACE ON BATHROOM FLOORS.
5. BASE MATERIAL BENEATH SHOWER PAN SLOPED TO DRAIN AS PER CPC SECTION 411.4.
6. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH.
7. SEPARATION BETWEEN GARAGE AND MAIN RESIDENCE AS PER CBC SECTION 406.3.4.1 SHALL BE SEPARATED BY 1/2" MIN. GYP BD. ON WALLS & 5/8" TYPE "X" GYP BD. OR EQUIVALENT ON CEILINGS WHEN A GARAGE IS BELOW A HABITABLE ROOM.
8. PER CRC R307.2 AND R702.4.2, BATHTUB/SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
9. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
10. PROVIDE MIN 30" CLR WIDTH @ W.C. AND 24" CLR. FLOOR AREA AT FRONT OF BOWL.
11. ANNULAR SPACE AROUND PIPES, ELECTRIC OUTLETS, CONDUITS OR OTHER OPENINGS IN THE BUILDING'S ENVELOPE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS (CALGREEN 4.406.1)
12. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 75 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 4.408.1 TIER 2.
13. ALL DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.

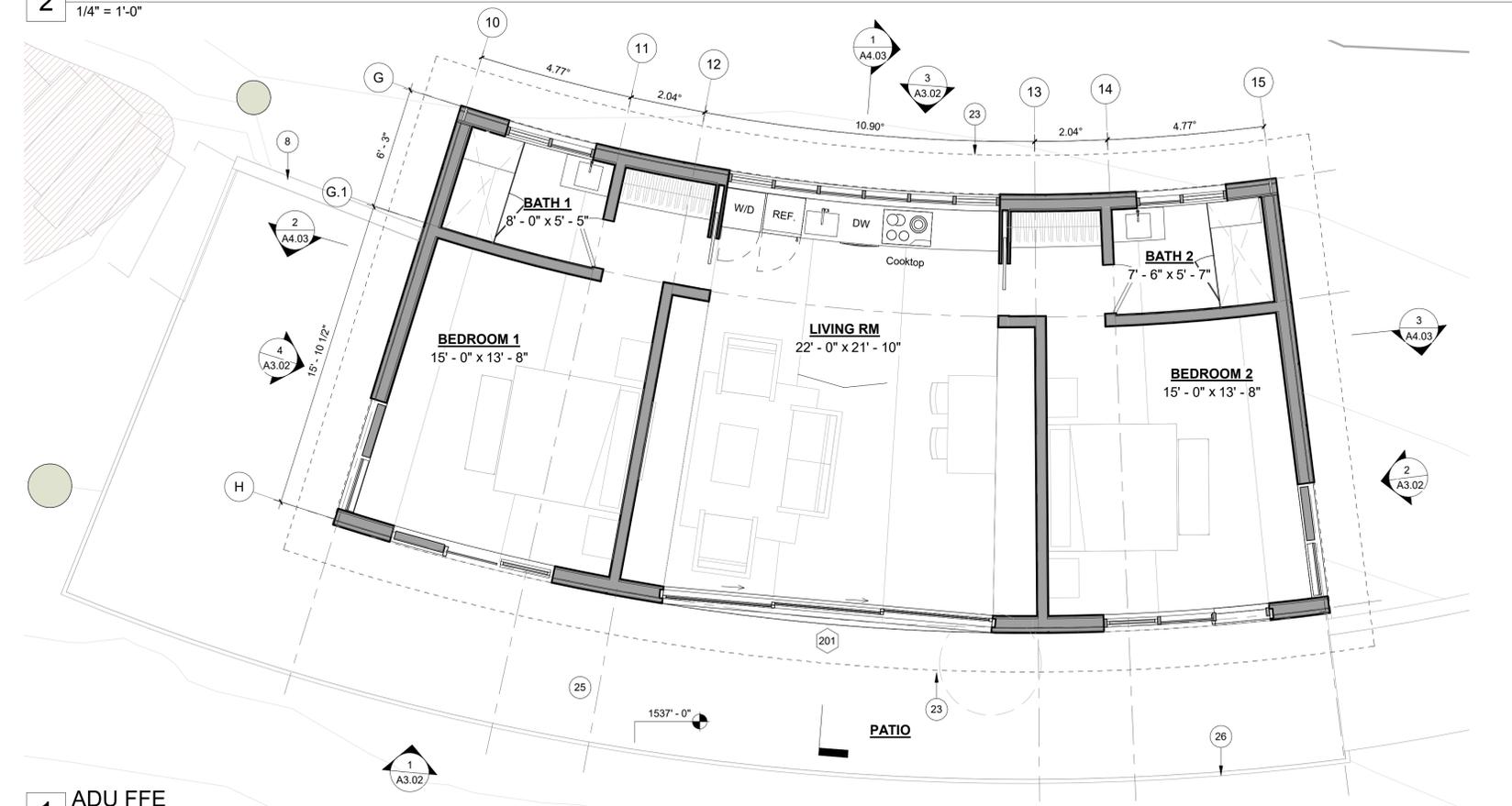
KEYNOTE LEGEND

- 3 HOMELAND BOUNDARY
- 8 BOARD FORMED CONCRETE RETAINING WALL, SLD
- 23 OVERHANG ABOVE SHOWN DASHED
- 25 WOOD DECK
- 26 CORTEN LANDSCAPE RETAINING WALL, SLP
- 27 9FT BY 20 FT UNCOVERED PARKING SPACE
- 44 ELECTRIC METER

3 KEY DIAGRAM



2 CARPORT FFE
1/4" = 1'-0"



1 ADU FFE
1/4" = 1'-0"



PROJECT NAME
CURVEBALL

PROJECT ADDRESS
**2 ARROWMAKER
TRACE, CARMEL
CA, 93923**

APN #
239-051-008-000

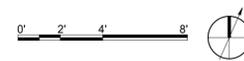
CLIENT
KIMBERLY VENTRE & MARTY NEESE

FA JOB NO.
21-020

ISSUE
**PLANNING
APPLICATION SET**

DATE
06.24.2022

HISTORY
△ DESC. DATE



TITLE
**ADU & CARPORT
ROOF PLAN**

A2.24
SHEET

LEGEND

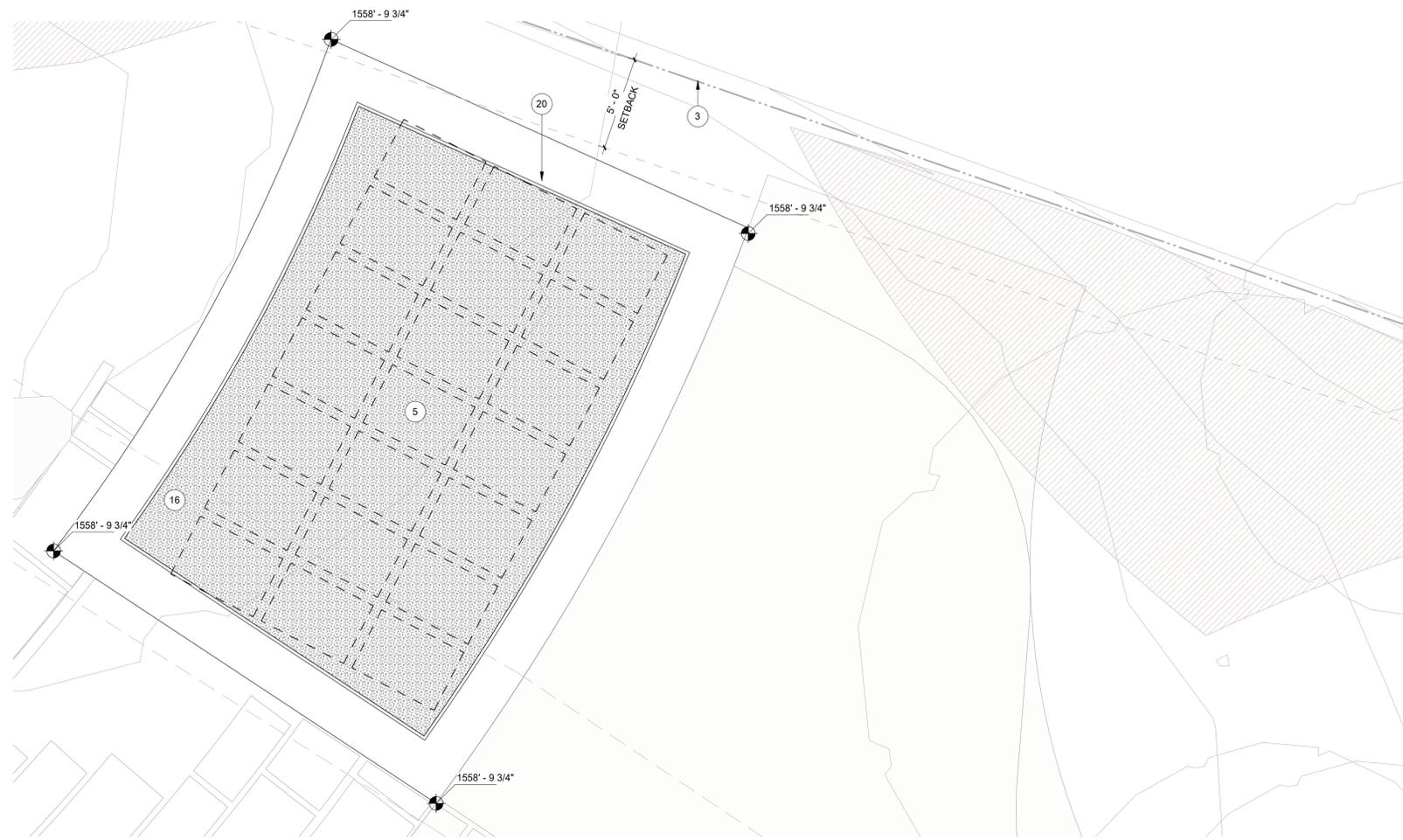
→ DIRECTION OF SLOPE

ROOF PLAN GENERAL NOTES

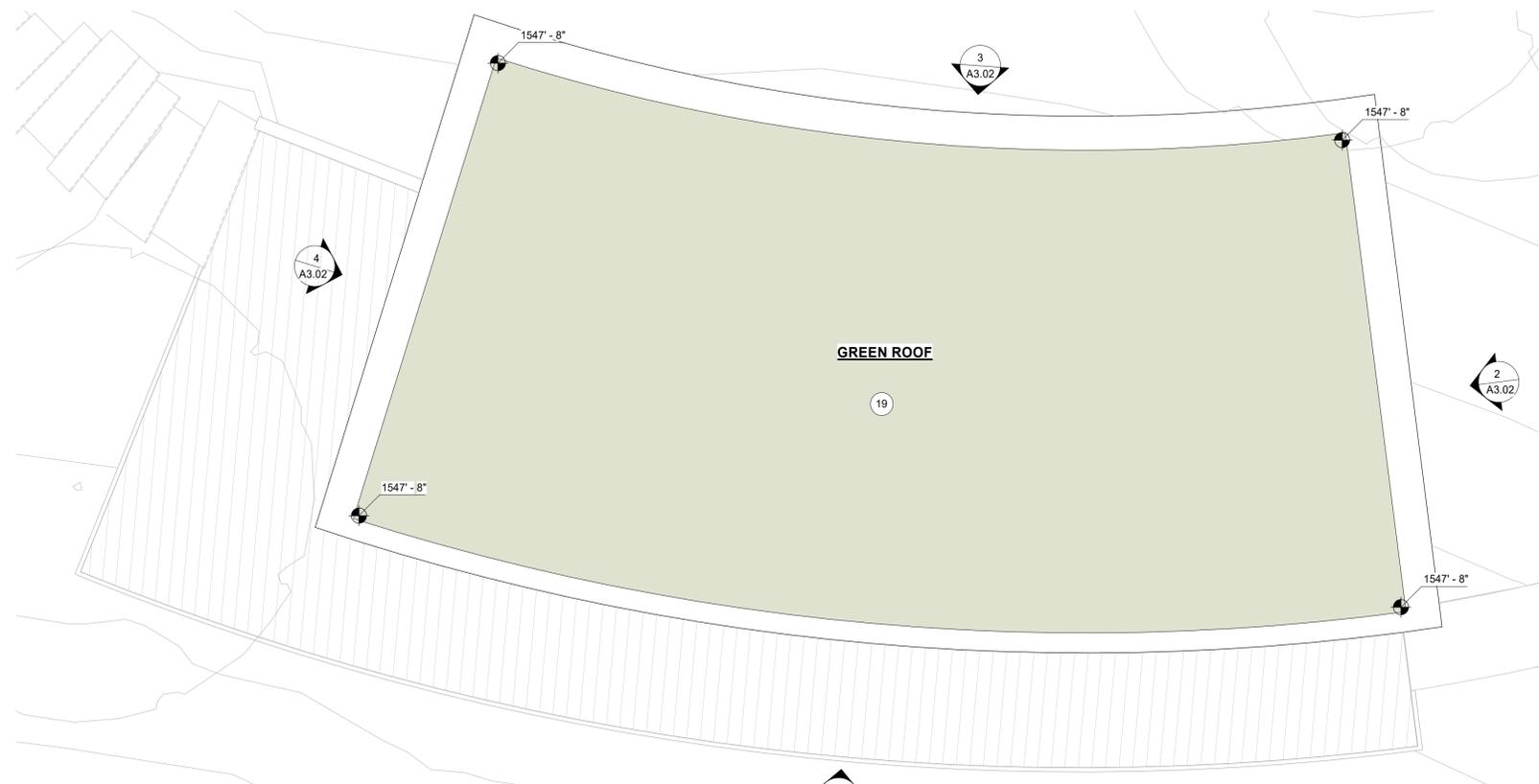
1. REFER TO FLOOR PLANS FOR ROOF DRAINAGE AT LOWER LEVEL ROOFS
2. ROOFING SHALL MAINTAIN A CLASS 'A' FIRE RATING AND COMPLY WITH THE PROVISIONS OF CRC SECTION R902.1.3.
3. ROOF AND DECK SURFACES SHALL SLOPE AT 1/4" PER FOOT MINIMUM, U.O.N. VERIFY ALL SLOPES IN FIELD WITH ARCHITECT.
4. PROVIDE CRICKETS AT SKYLIGHTS, CHIMNEYS, MECHANICAL EQUIPMENT, AND OTHER LOCATIONS AS REQUIRED FOR POSITIVE DRAINAGE TOWARD DRAINS.
5. THE CONTRACTORS SHALL HAVE A COPY OF THE ROOFING SYSTEM I.C.B.O. REPORT PRESENT AT INSPECTIONS.
6. PROVIDE INDEPENDENTLY PIPED OVERFLOW DRAINS AT ROOF DRAIN LOCATIONS OR OVERFLOW SCUPPERS AS NOTED/REQUIRED.
7. PROVIDE CLEANOUTS AS REQUIRED.
8. PROVIDE BASKET DEBRIS SCREENS AT ROOF DRAINS.
9. FLASH AND SEAL ROOF PENETRATIONS SUCH AS VENTS, FANS, HOODS, ETC. AS REQUIRED FOR A WATER-TIGHT INSTALLATION.
10. SHEET METAL FLASHING AND TRIM SHALL BE G.S.M. TO THE MINIMUM GAUGES SPECIFIED IN THE PROJECT MANUAL, U.O.N.
11. STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.
12. ROOF CAVITIES ARE FILLED WITH INSULATION IN LIEU OF VENTILATION. SPRAY-IN-PLACE FOAM INSULATION IS USED AS A VAPOR BARRIER (2" MIN. APPLICATION) AS PRESCRIBED BY INDUSTRY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
 - A. ROOF OVER CONDITIONED SPACES:
3" THK (R-19) SPRAY APPLIED FOAM-IN-PLACE INSULATION APPLIED TO ROOF DECK W/ R-19 BATT INSULATION, TYP.
 - B. ROOF OVER UNCONDITIONED SPACES:
NO INSULATION, TYP.
 - C. PARAPETS:
FILL CAVITIES W/ SPRAY APPLIED FOAM-IN-PLACE INSULATION, TYP.
 - D. FREE-STANDING WALLS:
FILL CAVITIES W/ SPRAY APPLIED FOAM-IN-PLACE INSULATION, TYP.

KEYNOTE LEGEND

- 3 HOMELAND BOUNDARY
- 5 SOLAR PANEL ARRAY
- 16 BALLAST ROOF
- 19 GREEN ROOF
- 20 CORTEN EDGING AT GREEN ROOF



2 CARPORT ROOF
1/4" = 1'-0"



1 ADU ROOF
1/4" = 1'-0"

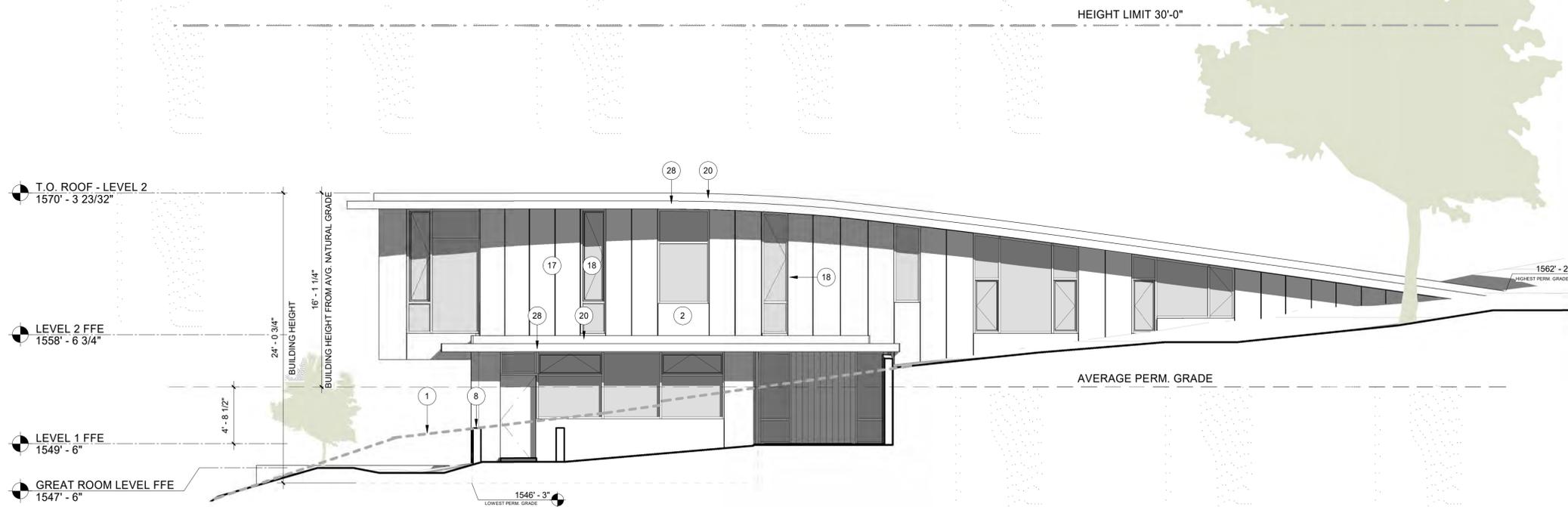


ELEVATION GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
2. GRADE FOR ESTABLISHING DAYLIGHT PLANE SHALL BE AN AVERAGE OF THE GRADE AT THE MIDPOINT OF THE BUILDING AND GRADE AT THE CLOSEST POINT ON THE ADJACENT LOT.

KEYNOTE LEGEND

- | | |
|----|---|
| 1 | LINE OF (E) GRADE, SHOWN DASHED |
| 2 | POWDER COATED METAL INFILL PANEL |
| 8 | BOARD FORMED CONCRETE RETAINING WALL, SLD |
| 17 | CORTEN SIDING |
| 18 | ALUMINUM WINDOW & DOOR SYSTEM |
| 20 | CORTEN EDGING AT GREEN ROOF |
| 28 | POWDER COATED METAL OVERHANG |



1 MAIN RESIDENCE - NORTH ELEVATION

3/16" = 1'-0"



2 MAIN RESIDENCE - EAST ELEVATION

3/16" = 1'-0"

PROJECT NAME
CURVEBALL

PROJECT ADDRESS
**2 ARROWMAKER
TRACE, CARMEL
CA, 93923**

APN #
239-051-008-000

CLIENT
KIMBERLY VENTRE & MARTY NEESE

FA JOB NO.
21-020

ISSUE
**PLANNING
APPLICATION SET**

DATE
06.24.2022

HISTORY
△ DESC. DATE



TITLE
**MAIN RESIDENCE
EXTERIOR
ELEVATIONS**

A3.00
SHEET

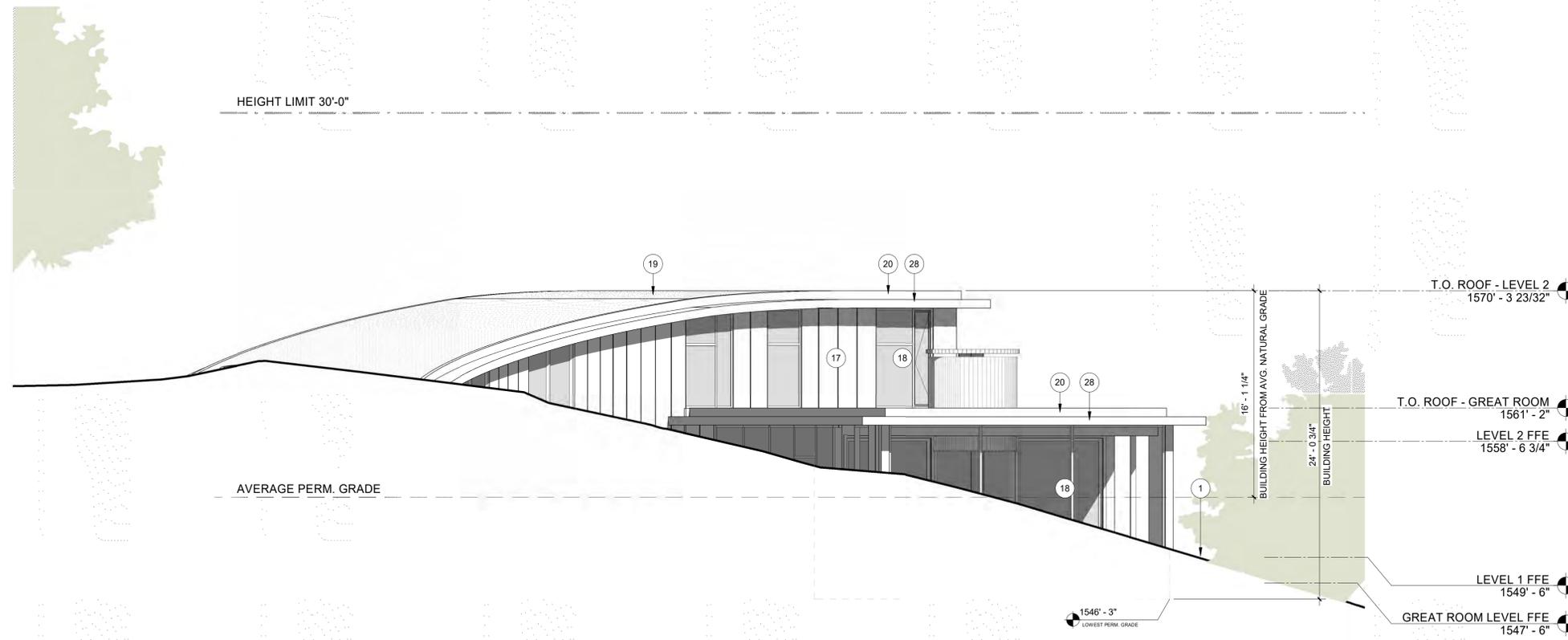


ELEVATION GENERAL NOTES

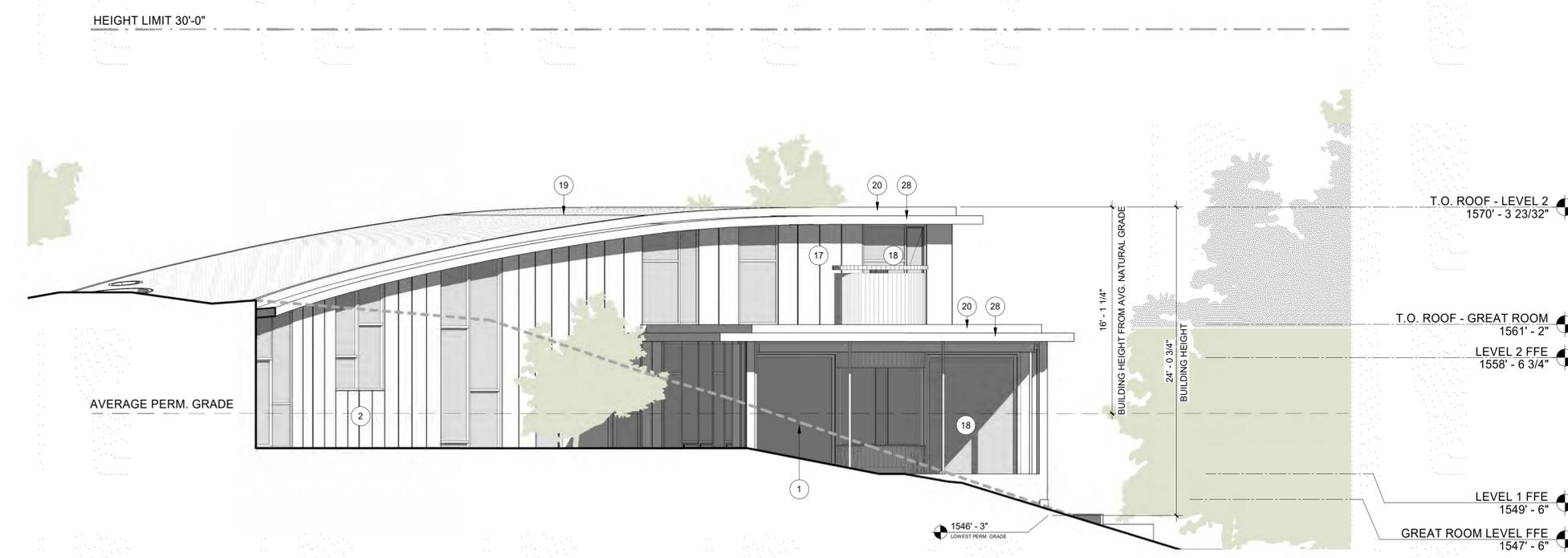
1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
2. GRADE FOR ESTABLISHING DAYLIGHT PLANE SHALL BE AN AVERAGE OF THE GRADE AT THE MIDPOINT OF THE BUILDING AND GRADE AT THE CLOSEST POINT ON THE ADJACENT LOT.

KEYNOTE LEGEND

- | | |
|----|----------------------------------|
| 1 | LINE OF (E) GRADE, SHOWN DASHED |
| 2 | POWDER COATED METAL INFILL PANEL |
| 17 | CORTEN SIDING |
| 18 | ALUMINUM WINDOW & DOOR SYSTEM |
| 19 | GREEN ROOF |
| 20 | CORTEN EDGING AT GREEN ROOF |
| 28 | POWDER COATED METAL OVERHANG |



1 MAIN RESIDENCE - WEST ELEVATION
3/16" = 1'-0"



3 MAIN RESIDENCE - SOUTH ELEVATION
3/16" = 1'-0"

PROJECT NAME
CURVEBALL

PROJECT ADDRESS
**2 ARROWMAKER
TRACE, CARMEL
CA, 93923**

APN #
239-051-008-000

CLIENT
KIMBERLY VENTRE & MARTY NEESE

FA JOB NO.
21-020

ISSUE
**PLANNING
APPLICATION SET**

DATE
06.24.2022

HISTORY
△ DESC. DATE



TITLE
**MAIN RESIDENCE
EXTERIOR
ELEVATIONS**



ELEVATION GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
- GRADE FOR ESTABLISHING DAYLIGHT PLANE SHALL BE AN AVERAGE OF THE GRADE AT THE MIDPOINT OF THE BUILDING AND GRADE AT THE CLOSEST POINT ON THE ADJACENT LOT.

KEYNOTE LEGEND

- | | |
|----|---------------------------------|
| 1 | LINE OF (E) GRADE, SHOWN DASHED |
| 17 | CORTEN SIDING |
| 18 | ALUMINUM WINDOW & DOOR SYSTEM |
| 28 | POWDER COATED METAL OVERHANG |

PROJECT NAME
CURVEBALL

PROJECT ADDRESS
**2 ARROWMAKER
TRACE, CARMEL
CA, 93923**

APN #
239-051-008-000

CLIENT
KIMBERLY VENTRE & MARTY NEESE

FA JOB NO.
21-020

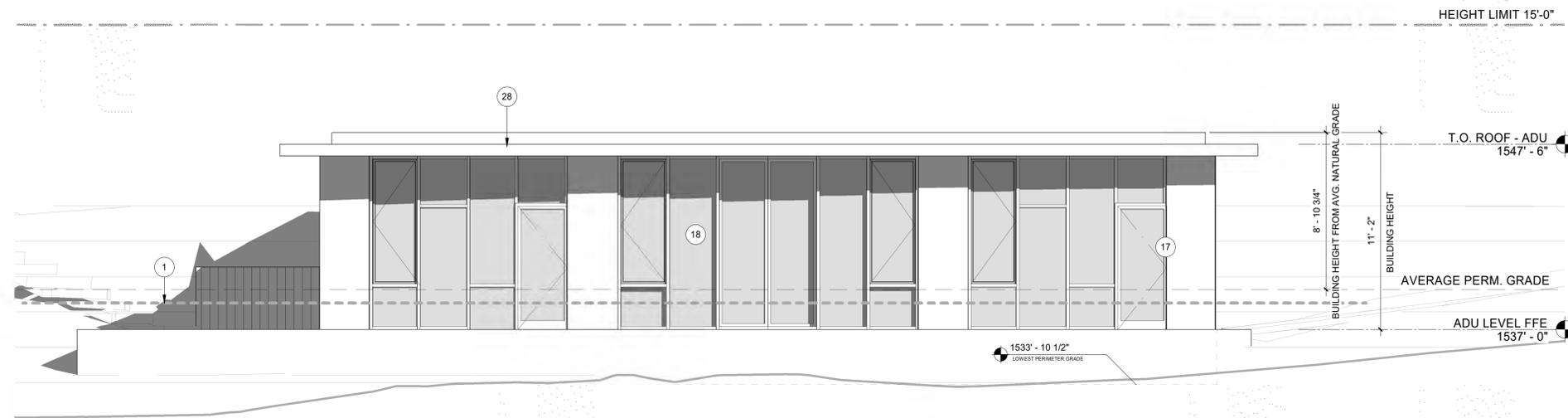
ISSUE
**PLANNING
APPLICATION SET**

DATE
06.24.2022

HISTORY
△ DESC. DATE



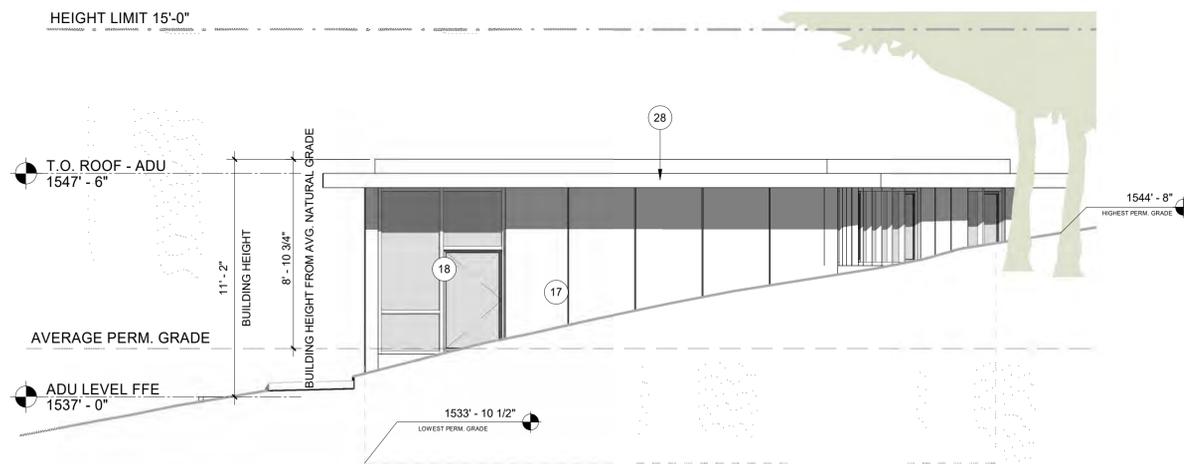
TITLE
**ADU EXTERIOR
ELEVATIONS**



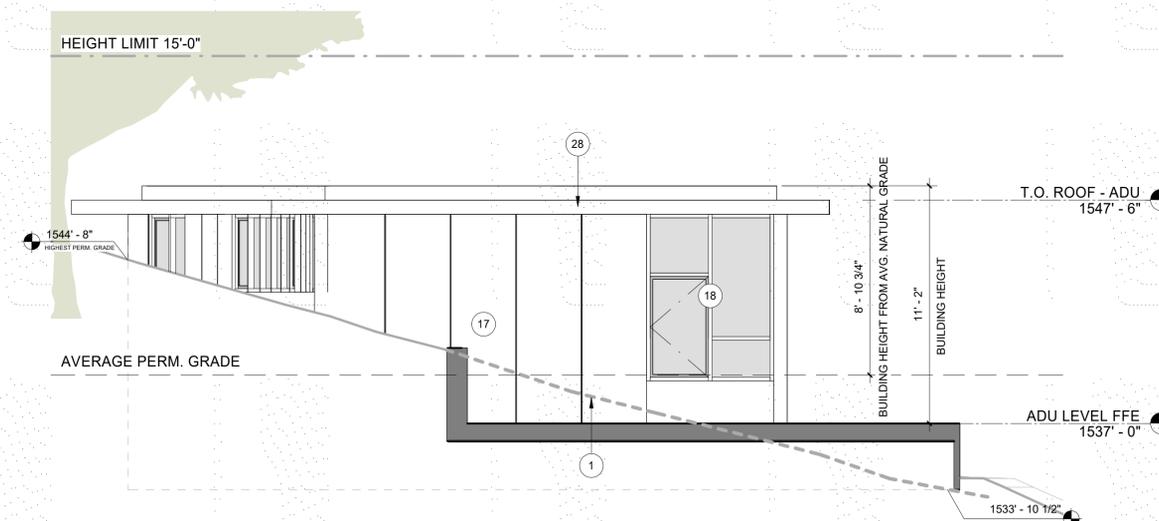
1 ADU - SOUTH ELEVATION
1/4" = 1'-0"



3 ADU - NORTH ELEVATION
1/4" = 1'-0"



2 ADU - EAST ELEVATION
1/4" = 1'-0"



4 ADU - WEST ELEVATION
1/4" = 1'-0"

6/24/2022 3:25:13 PM



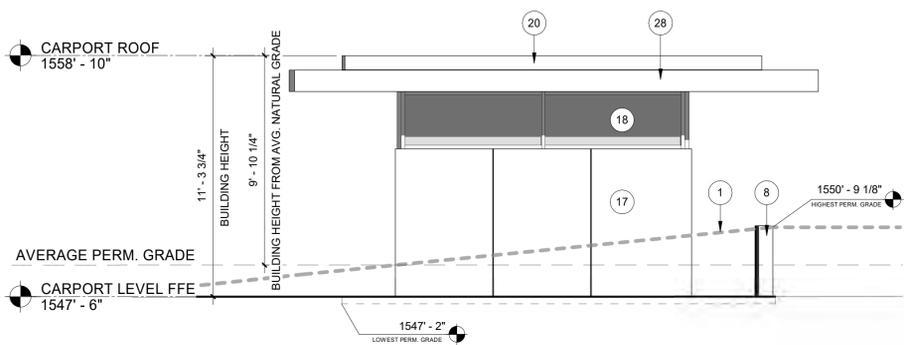
ELEVATION GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
- GRADE FOR ESTABLISHING DAYLIGHT PLANE SHALL BE AN AVERAGE OF THE GRADE AT THE MIDPOINT OF THE BUILDING AND GRADE AT THE CLOSEST POINT ON THE ADJACENT LOT.

KEYNOTE LEGEND

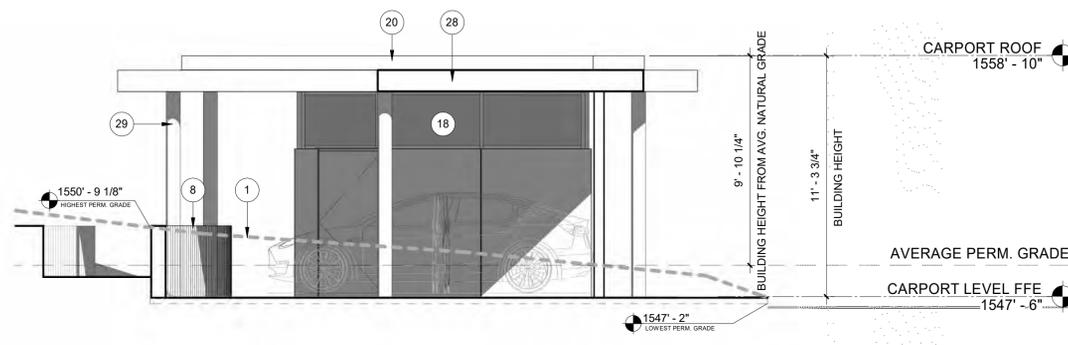
- | | |
|----|---|
| 1 | LINE OF (E) GRADE, SHOWN DASHED |
| 8 | BOARD FORMED CONCRETE RETAINING WALL, SLD |
| 17 | CORTEN SIDING |
| 18 | ALUMINUM WINDOW & DOOR SYSTEM |
| 20 | CORTEN EDGING AT GREEN ROOF |
| 28 | POWDER COATED METAL OVERHANG |
| 29 | POWDER COATED METAL POST |

HEIGHT LIMIT 35'-0"



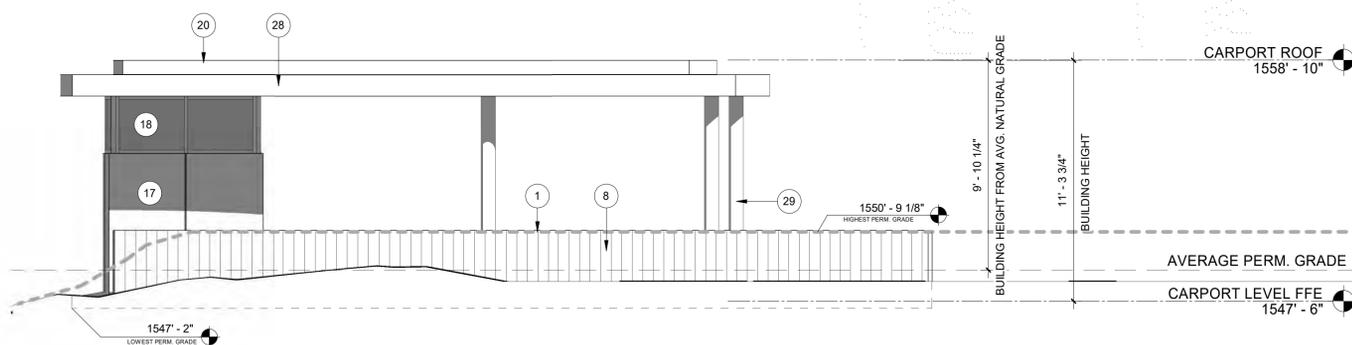
1 CARPORT - NORTH ELEVATION
1/4" = 1'-0"

HEIGHT LIMIT 35'-0"



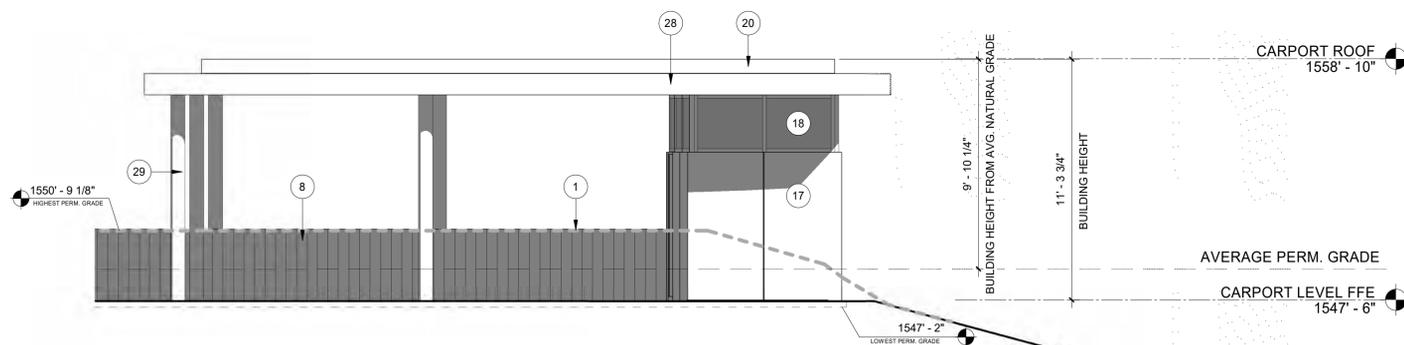
4 CARPORT - SOUTH ELEVATION
1/4" = 1'-0"

HEIGHT LIMIT 35'-0"



2 CARPORT - WEST ELEVATION
1/4" = 1'-0"

HEIGHT LIMIT 35'-0"



3 CARPORT - EAST ELEVATION
1/4" = 1'-0"

PROJECT NAME
CURVEBALL

PROJECT ADDRESS
**2 ARROWMAKER
TRACE, CARMEL
CA, 93923**

APN #
239-051-008-000

CLIENT
KIMBERLY VENTRE & MARTY NEESE

FA JOB NO.
21-020

ISSUE
**PLANNING
APPLICATION SET**

DATE
06.24.2022

HISTORY
△ DESC. DATE



TITLE
**CARPORT
EXTERIOR
ELEVATIONS**

ABBREVIATIONS

ABBR.	DESCRIPTION
&	AND
@	AT
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ALT	ALTERNATE
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
ASPH	ASPHALT
AVC	ARCHITECTURAL VAULT COVER
BLDG	BUILDING
BSW	BACK OF SIDEWALK
BW	BOTTOM OF WALL
CIP	CAST-IN-PLACE
CJ	CONTROL JOINT
CL	CENTERLINE
CONC	CONCRETE
C.U.P.	CONCRETE UNIT PAVER
DET/DETL	DETAIL
D.G.	DECOMPOSED GRANITE
DIA	DIAMETER
DIM	DIMENSION
DWG	DRAWING
(E)	EXISTING
EA	EACH
EL /ELEV	ELEVATION
EQ	EQUAL
FFE	FINISH FLOOR ELEVATION
FG	FINISH GRADE
FS	FINISH SURFACE
FT	FOOT OR FEET
IN	INCH
IRR	IRRIGATION
IVC	INTEGRAL VAULT COVER
JT	JOINT LENGTH
MIN	MINIMUM
MISC	MISCELLANEOUS
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NO/#	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
PA	PLANTING AREA
PERF	PERFORATED
PL	PROPERTY LINE
PROP	PROPERTY
PVMT	PAVEMENT
R	RIGHT
RD	RADIUS
REF	REFER
REINF	REINFORCED
REV	REVISION/REVISED
S.A.D.	SEE ARCHITECTURAL DRAWING
S.C.D.	SEE CIVIL DRAWING
SECT	SECTION
S.E.D.	SEE SITE ELECTRICAL DRAWING
SHT	SHEET
S.I.D.	SEE IRRIGATIONS DRAWING
SIM	SIMILAR
SPEC	SPECIFICATION
S.F.	SQUARE FOOT / FEET
S.S.D.	SEE STRUCTURAL DRAWING
S.S.	STAINLESS STEEL
STD	STANDARD
TBD	TO BE DETERMINED
TC	TOP OF CURB
TEMP	TEMPORARY
TOC	TOP OF CONCRETE
TW / TOW	TOP OF WALL
TYP	TYPICAL
VAR	VARIES
VIF	VERIFY IN FIELD

GENERAL NOTES

- THESE NOTES AND LEGENDS REFER TO THE LANDSCAPE DRAWINGS ONLY.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE PLANS INDICATE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE. ALL NEW WORK NECESSARY FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THE DRAWINGS IS INCLUDED REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR MENTIONED IN THE NOTES AND SPECIFICATIONS
- THE WORK INCLUDED UNDER THIS CONTRACT SHALL CONSIST OF ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT AND TO LEAVE ALL FINISHED WORK BROOM CLEAN AND READY FOR USE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE BUILDING CODE REQUIREMENTS, OTHER LOCAL OR MUNICIPAL REQUIREMENTS AND APPLICABLE REQUIREMENTS OF OTHER REGULATORY AGENCIES.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND PAY FEES FOR PERMITS, LICENSE, INSPECTIONS, FILINGS, AND APPROVALS REQUIRED BY LOCAL LAWS ORDINANCES, AND REGULATIONS NECESSARY FOR COMPLETION OF PROJECT.
- UNLESS OTHERWISE SPECIFIED, SPECIFIC REFERENCES TO CODES, REGULATIONS, STANDARDS, MANUFACTURERS INSTRUCTIONS, OR REQUIREMENTS OF REGULATORY AGENCIES, WHEN USED TO SPECIFY REQUIREMENTS FOR MATERIALS OR DESIGN ELEMENTS SHALL MEAN THE LATEST EDITION OF EACH IN EFFECT AT THE DATE OF SUBMISSION, OR THE DATE OF THE CHANGE ORDER OR FIELD ORDERS, AS APPLICABLE.
- DOCUMENTS PREPARED BY MUNDEN FRY LANDSCAPE ASSOCIATES (MFLA) ARE INSTRUMENTS OF PROFESSIONAL SERVICE INTENDED FOR ONE-TIME USE ON THIS PROJECT ONLY. NEVERTHELESS, THE DOCUMENTS SHALL BECOME THE PROPERTY OF THE OWNER. IN CONSIDERATION THEREOF, THE OWNER AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND MUNDEN FRY LANDSCAPE ASSOCIATES (MFLA) FROM AND AGAINST ANY AND ALL CLAIMS, LIABILITIES, LOSSES, DAMAGES AND COSTS, INCLUDING BUT NOT LIMITED TO COSTS OF DEFENSE, ARISING OUT OF THE MODIFICATION, MISINTERPRETATION OR MISUSE OF THE DOCUMENTS IN THE COMPLETION OF THIS PROJECT BY OTHERS, OR ARISING OUT OF ANY REUSE OF THE DOCUMENTS ON ANY PROJECT, EXCEPTING ONLY THOSE LIABILITIES, LOSSES, DAMAGES AND COSTS CAUSED BY THE SOLE NEGLIGENCE OF MUNDEN FRY LANDSCAPE ASSOCIATES (MFLA).
- ALL ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS IDENTIFIED BY THE CONTRACTORS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. SHOULD THE CONTRACTOR

- PROCEED WITH THE WORK PRIOR TO RECEIVING CLARIFICATIONS, HE DOES SO AT HIS OWN RISK. ANY DEVIATION OR CHANGES FROM THESE DRAWINGS WITHOUT WRITTEN ACCEPTANCE BY THE LANDSCAPE ARCHITECT SHALL ABSOLVE THE LANDSCAPE ARCHITECT OF ANY AND ALL RESPONSIBILITY OF SAID DEVIATION AND CHANGE.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. UPON RECEIPT OF DATED AND ISSUED REVISIONS TO THE CONSTRUCTION DOCUMENT BY THE LANDSCAPE ARCHITECT, THE CONTRACTOR SHALL IMMEDIATELY REVISE THE FIELD SET OF CONSTRUCTION DOCUMENTS AND NOTIFY ALL AFFECTED TRADES OF SUCH REVISION.
 - THE CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED, WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.
 - THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL WORK OR CHANGES FOR WHICH ADDITIONAL COMPENSATION IS EXPECTED WITHOUT A WRITTEN AUTHORIZATION FROM THE OWNER AND THE LANDSCAPE ARCHITECT.
 - THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE WORK AND SCHEDULES OF OTHER TRADES TO PREVENT CONFLICTS BETWEEN TRADES OR DELAYS TO OVERALL CONSTRUCTION SCHEDULE.
 - PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY WITH OWNER AND ARCHITECT ANY AND ALL ITEMS TO BE SAVED FOR REUSE AND SHALL REMOVE AND STORE THEM IN A PROTECTED AREA ON THE JOB SITE OR AS DIRECTED BY OWNER AND ARCHITECT.
 - CONTRACTOR SHALL PERFORM ALL PROTECTION, TRANSPORTATION, DEMOLITION, MATERIAL REMOVAL AND SITE PREPARATION NECESSARY FOR THE PROPER EXECUTION OF ALL WORK SHOWN ON THE DRAWINGS AND DESCRIBED IN THE SPECIFICATIONS.
 - THE CONTRACTOR SHALL REMOVE FROM THE SITE AND DISPOSE OF ACCORDING TO ALL APPLICABLE LOCAL CODES AND ORDINANCES ALL RUBBISH, DEBRIS, UNSUITABLE AND WASTE MATERIALS ON A REGULAR BASIS GENERATED BY CONTRACTOR'S OPERATIONS, INCLUDING SUBCONTRACTORS AND TRADES AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT MATERIALS, DIRT, DEBRIS OR DUST FROM AFFECTING IN ANY WAY FINISHED AREAS OF THE JOB SITE OR AREAS OUTSIDE JOB SITE.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN VEHICULAR AND PEDESTRIAN TRAFFIC ON ALL EXISTING STREETS DURING CONSTRUCTION.

- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES, CONSTRUCTION SCHEDULING AND SEQUENCING OF THE WORK.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL UTILITIES, IMPROVEMENTS, AND STRUCTURES, INCLUDING ARCHITECTURAL WALLS, PAVING AND SURFACES, WHETHER SHOWN ON THE DRAWING OR NOT.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATED LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE LANDSCAPE ARCHITECT AT THE TIME OF PREPARATION OF THESE SHEETS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY AND COMPLETENESS OF THE INFORMATION SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE PRECISE LOCATIONS, DEPTHS AND SIZES OF ALL UNDERGROUND FACILITIES AT LEAST SEVEN (7) DAYS PRIOR TO EXCAVATION. CONTRACT SHALL NOTIFY UNDERGROUND SERVICE ALERT (USA 1-800-227-2600) AT LEAST 48 HOURS PRIOR TO START OF WORK TO DETERMINE THE EXACT LOCATION AND ELEVATION OF UTILITIES.
- IF LIVE UTILITIES ARE ENCOUNTERED PROTECT THE SAME FROM DAMAGE AND IN THE EVENT OF DAMAGE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE AFFECTED UTILITY PROVIDER. DO NOT PROCEED UNTIL FURTHER INSTRUCTIONS ARE RECEIVED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR INITIATING, SUPERVISING AND MAINTAINING SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR SHALL SECURE THE PREMISES AND MATERIALS WITHIN THE CONSTRUCTION AREA FOR THE DURATION OF CONSTRUCTION UNTIL THE OWNER'S FINAL ACCEPTANCE. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS AT THE END OF EACH WORKDAY TO INSURE THAT UNAUTHORIZED PERSONS CANNOT ENTER THE JOB SITE.
- THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO ALL REQUIRED FIELD OBSERVATIONS BY LANDSCAPE ARCHITECT.
- THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE "OR APPROVED EQUAL" IS USED, THE LANDSCAPE ARCHITECT ALONE SHALL DETERMINE THE SUITABILITY AND ACCEPTABILITY OF A SUBSTITUTION REQUESTED BY THE CONTRACTOR. ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL ALL EQUIPMENT AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL SUBMIT LEGIBLE SHOP DRAWINGS FOR ALL ITEMS NOT SPECIFICALLY DETAILED.

APPLICABLE CODES

COUNTY OF SANTA CLARA PLANNING CODE
 COUNTY OF SANTA CLARA BUILDING CODE

2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA RESIDENTIAL CODE
 2019 CALIFORNIA GREEN BUILDING CODE
 2019 CALIFORNIA HISTORICAL BUILDING CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA FIRE CODE
 2019 CALIFORNIA ENERGY STANDARDS MUNICIPAL CODE CHAPTER 16.20

SHEET INDEX

L0.00	GENERAL NOTES
L1.00	TREE PROTECTION & REMOVAL PLAN
L1.01	ARBORIST REPORT
L2.00	SITE PLAN - OVERALL
L2.01	SITE PLAN - MAIN RESIDENCE & ADU
L2.02	RENDERED VIEWS
L2.03	RENDERED VIEWS
L3.00	PROPOSED GRADING AND DRAINAGE PLAN
L4.00	FUEL TREATMENT ZONES
L5.00	PLANTING PLAN
L6.00	IRRIGATION PLAN
L7.00	PRELIMINARY LIGHTING PLAN
L7.01	PRELIMINARY LIGHTING SPECIFICATIONS

PROJECT DIRECTORY

CLIENT
 KIMBERLY VENTRE AND MARTY DICKSON
 2 ARROWMAKER TRACE
 CARMEL, CA 93923

ARCHITECT
 FELDMAN ARCHITECTURE
 1648 PACIFIC AVE., SUITE B
 SAN FRANCISCO, CA 94109
 (415) 252-1441
 info@feldmanarch.com

LANDSCAPE ARCHITECT
 MUNDEN FRY LANDSCAPE ASSOCIATES
 105 W NORTH ST
 HEALDSBURG, CA 95448
 (415) 543-8202
 jamesmunden@mflasf.com

CIVIL ENGINEER
 L&S ENGINEERING AND SURVEYING
 2460 GARDEN ROAD, SUITE G
 MONTEREY, CA 93940
 (831) 655-2723
 mark@landsengineers.com



PROJECT: 2021-10	DATE: 06/24/22
DRAWN: SJ / YN	CHECKED: AL
REVISIONS:	
DATE: 06/24/22	ISSUED FOR: PLANNING APPLICATION SET

SHEET TITLE:
 GENERAL NOTES

SHEET:
L0.00

TREE PROTECTION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT ALL TREES AND PLANTING DESIGNATED TO REMAIN OR PRESERVE IN PLACE SHALL RECEIVE ALL REASONABLE PROTECTION, CARE AND MAINTENANCE REQUIRED FOR THEIR SURVIVAL DURING AND AFTER CONSTRUCTION.
2. THE CONTRACTOR SHALL PROTECT THE ROOT AREAS OF TREES TO REMAIN/PRESERVE IN PLACE WITHIN A MINIMUM 10' RADIUS OF TRUNK OR AS DIRECTED BY LANDSCAPE ARCHITECT STOCKPILING OF MATERIALS, VEHICLE PARKING AND TRAFFIC, DUMPING OF REFUSE AND CONTINUOUS RUNNING OR PONDING OF WATER.
3. IF TREE PROTECTION FENCING IS DISTURBED DURING WORK WITHIN THE ROOT ZONE, THE CONTRACTOR SHALL REPLACE THE FENCING IMMEDIATELY FOLLOWING COMPLETION OF THE WORK.
4. WHERE IT IS NECESSARY TO TRENCH, EXCAVATE OR GRADE WITHIN THE DRIP LINES AND ROOT ZONES OF EXISTING TREES, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO TRESS AND TREE ROOTS. EXCAVATION IN THESE AREAS SHALL BE DONE BY HAND. WHERE TWO (2) INCH AND LARGER ROOTS OCCUR AT EXISTING OAKS, NOTIFY THE LANDSCAPE

ARCHITECT FOR FURTHER INSTRUCTIONS. ROOTS SHALL BE CUT AT THE TIME OF THE EARTHWORK WITH CLEAN VERTICAL CUT. CLOSE ALL TRENCHED WITHIN THE ROOT ZONE WITHIN 24 HOURS. WHERE THIS IS NOT POSSIBLE, ANY ROOTS EXPOSED FOR MORE THAN 24 HOURS SHALL BE COVERED WITH BURLAP AND KEPT MOIST ON THE SIDE OF THE TRENCH ADJACENT TO THE TREE.

5. WHERE EVER POSSIBLE, AND IN KEEPING WITH SAFETY REQUIREMENTS AND CODES, COMBINE ALL UTILITIES, LIGHTING AND IRRIGATION IN COMMON TRENCHES.

TREE REMOVAL IDENTIFICATION SCHEDULE

SYMBOL	DESCRIPTION
39	Coast Live Oak / <i>Quercus agrifolia</i>
40	Coast Live Oak / <i>Quercus agrifolia</i>
41	Coast Live Oak / <i>Quercus agrifolia</i>
42	Valley Oak / <i>Quercus lobata</i>
45	Coast Live Oak / <i>Quercus agrifolia</i>
52	Coast Live Oak / <i>Quercus agrifolia</i>
53	Coast Live Oak / <i>Quercus agrifolia</i>
61	Coast Live Oak / <i>Quercus agrifolia</i>
65	Coast Live Oak / <i>Quercus agrifolia</i>
98	Valley Oak / <i>Quercus lobata</i>
103	Coast Live Oak / <i>Quercus agrifolia</i>

NOTES:
 1. Total number of trees to be removed: 11
 For more information on assessment methods, protection requirements, preservation, and recommendations please refer to the Arborist Report.

TREES WITHIN DRIVEWAY ZONE

SYMBOL	DESCRIPTION
66	Coast Live Oak / <i>Quercus agrifolia</i>
67	Coast Live Oak / <i>Quercus agrifolia</i>
68	Coast Live Oak / <i>Quercus agrifolia</i>
69	Coast Live Oak / <i>Quercus agrifolia</i>
70	Coast Live Oak / <i>Quercus agrifolia</i>
71	Coast Live Oak / <i>Quercus agrifolia</i>
72	Coast Live Oak / <i>Quercus agrifolia</i>
73	Coast Live Oak / <i>Quercus agrifolia</i>
74	Coast Live Oak / <i>Quercus agrifolia</i>
75	Coast Live Oak / <i>Quercus agrifolia</i>
76	Coast Live Oak / <i>Quercus agrifolia</i>
79	Coast Live Oak / <i>Quercus agrifolia</i>
80	Coast Live Oak / <i>Quercus agrifolia</i>
81	Coast Live Oak / <i>Quercus agrifolia</i>
82	Coast Live Oak / <i>Quercus agrifolia</i>
83	Coast Live Oak / <i>Quercus agrifolia</i>
84	Valley Oak / <i>Quercus lobata</i>
85	Coast Live Oak / <i>Quercus agrifolia</i>
86	Coast Live Oak / <i>Quercus agrifolia</i>
87	Coast Live Oak / <i>Quercus agrifolia</i>
88	Coast Live Oak / <i>Quercus agrifolia</i>
89	Madrone / <i>Arbutus menziesii</i>
90	Coast Live Oak / <i>Quercus agrifolia</i>
91	Coast Live Oak / <i>Quercus agrifolia</i>
92	Coast Live Oak / <i>Quercus agrifolia</i>
93	Coast Live Oak / <i>Quercus agrifolia</i>
99	Coast Live Oak / <i>Quercus agrifolia</i>
100	Coast Live Oak / <i>Quercus agrifolia</i>
107	Coast Live Oak / <i>Quercus agrifolia</i>
108	Coast Live Oak / <i>Quercus agrifolia</i>
109	Coast Live Oak / <i>Quercus agrifolia</i>
110	Coast Live Oak / <i>Quercus agrifolia</i>
127	Coast Live Oak / <i>Quercus agrifolia</i>
128	Coast Live Oak / <i>Quercus agrifolia</i>
131	Coast Live Oak / <i>Quercus agrifolia</i>
132	Coast Live Oak / <i>Quercus agrifolia</i>
133	Coast Live Oak / <i>Quercus agrifolia</i>
135	Coast Live Oak / <i>Quercus agrifolia</i>
138	Valley Oak / <i>Quercus lobata</i>
139	Coast Live Oak / <i>Quercus agrifolia</i>
141	Coast Live Oak / <i>Quercus agrifolia</i>
145	Coast Live Oak / <i>Quercus agrifolia</i>
150	Coast Live Oak / <i>Quercus agrifolia</i>
151	Coast Live Oak / <i>Quercus agrifolia</i>

NOTE:
 1. SEE ARBORIST REPORT FOR PRUNING AND MAINTENANCE RECOMMENDATIONS FOR TREES TO REMAIN IN DRIVEWAY ZONE.

TREE PROTECTION LEGEND

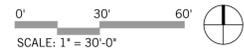
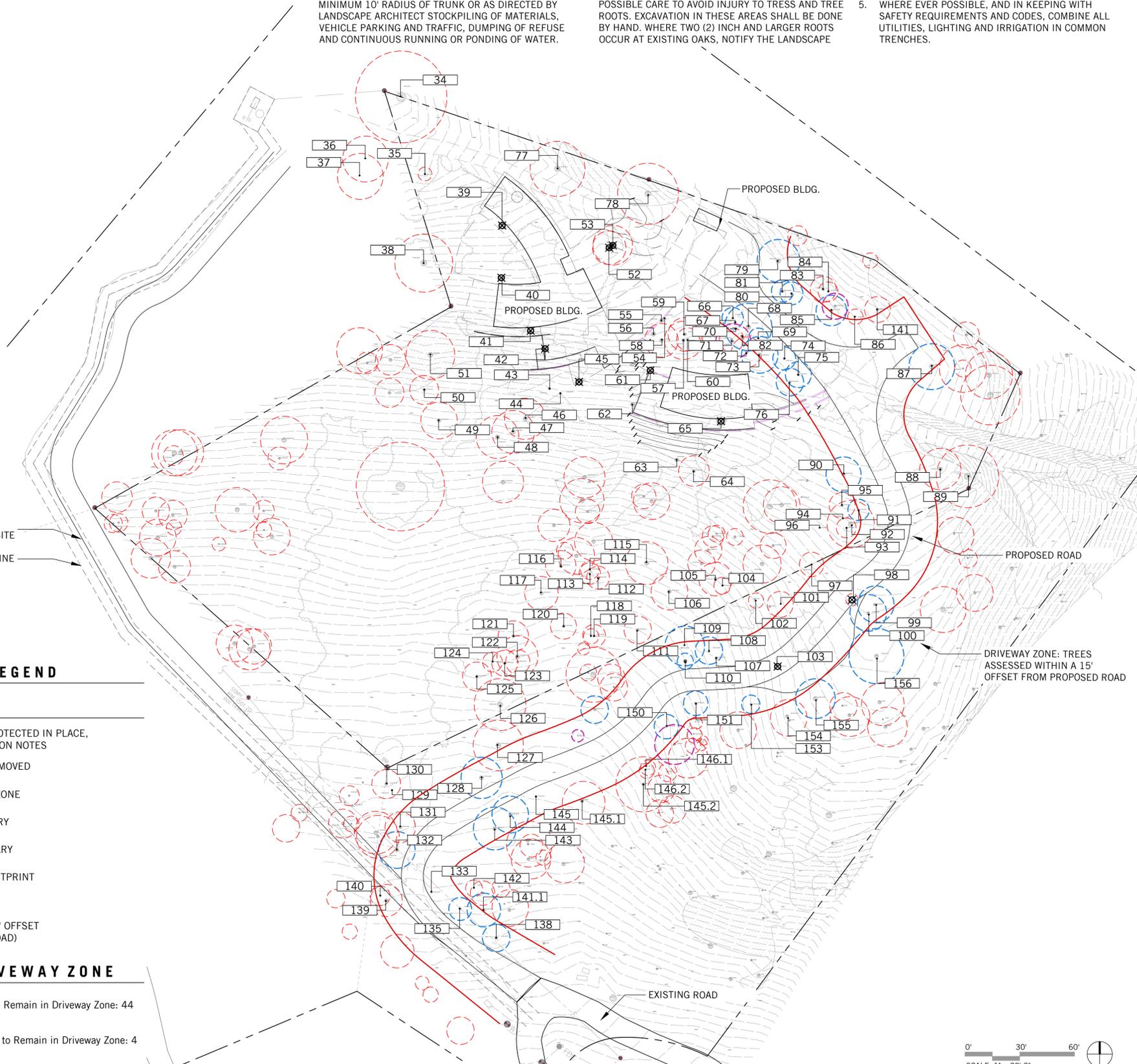
SYMBOL	DESCRIPTION
●	(E) TREES TO BE PROTECTED IN PLACE, SEE TREE PROTECTION NOTES
⊗	(E) TREES TO BE REMOVED
○	TREE PROTECTION ZONE
---	PROPERTY BOUNDARY
---	HOMELAND BOUNDARY
---	PROPOSED SITE FOOTPRINT
---	PROPOSED ROAD
---	DRIVEWAY ZONE (15' OFFSET FROM PROPOSED ROAD)

TREE TOTALS IN DRIVEWAY ZONE

●	Total Tagged Trees to Remain in Driveway Zone: 44
○	Total Untagged Trees to Remain in Driveway Zone: 4

PROPOSED ACCESS ROAD TO (E) WELL SITE
 PROPOSED WATERLINE ACCESS EASEMENT

PROPOSED BLDG.
 PROPOSED BLDG.
 PROPOSED BLDG.
 PROPOSED ROAD
 DRIVEWAY ZONE: TREES ASSESSED WITHIN A 15' OFFSET FROM PROPOSED ROAD



CURVEBALL
 2 ARROWMAKER TRACE
 CARMEL, CA 93923

PROJECT: 2021-10 DATE: 06/24/22
 DRAWN: SJ / YN CHECKED: AL
 REVISIONS:
 DATE: ISSUED FOR:
 06/24/22 PLANNING APPLICATION SET

SHEET TITLE:
TREE PROTECTION & REMOVAL PLAN

SHEET:
L1.00

Tree Chart

Lot 39 Santa Lucia Preserve

Tree #	Species	DBH	Health	Structure	Remove	Impacted	Height	CRZ	Crown	Comments
34	Coast live oak	48	Good	Good			65	30	60	
35	Valley Oak	10	Fair	Poor			35	20	20	Lean
36	Coast live oak	26	Fair	Good			55	15	30	
37	Coast live oak	28	Fair	Good			55	15	30	
38	Coast live oak	32	Fair	Good			65	20	40	
39	Coast live oak	16	Fair	Good	x		35	15	25	In proposed building envelope
40	Coast live oak	30	Fair	Poor	x		55	25	50	In proposed building envelope
41	Coast live oak	15	Fair	Good	x		45	15	30	In proposed building envelope
42	Valley Oak	26	Fair	Fair	x		40	15	35	In proposed building envelope
43	Coast live oak	15	Fair	Good			45	10	20	
44	Coast live oak	15	Fair	Good			45	10	20	
45	Coast live oak	15	Fair	Good	x		45	12	30	Grading
46	Coast live oak	30	Fair	Good			55	15	35	
47	Coast live oak	30	Fair	Good			55	15	35	
48	Coast live oak	30	Fair	Poor			45	15	30	Unbalanced crown
49	Coast live oak	24	Fair	Poor			45	15	30	Unbalanced crown
50	Coast live oak	24	Fair	Good			45	10	20	
51	Coast live oak	30	Fair	Good			45	18	35	
52	Coast live oak	24	Fair	Fair	x		45	20	40	In proposed landscape area
53	Coast live oak	26	Fair	Fair	x		45	30	60	In proposed landscape area, broken branches
54	Coast live oak	12	Fair	Fair			40	6	10	
55	Coast live oak	30	Fair	Fair			40	10	20	
56	Coast live oak	30	Fair	Fair			40	15	30	
57	Coast live oak	30	Fair	Fair		x	40	15	30	
58	Coast live oak	20	Fair	Fair		x	40	10	20	
59	Coast live oak	20	Fair	Fair			40	8	15	
60	Coast live oak	15	Fair	Fair			40	10	20	
61	Coast live oak	20	Fair	Fair	x		40	12	25	Grading for proposed ADU
62	Coast live oak	24	Fair	Poor			40	20	50	
63	Coast live oak	22	Fair	Poor			50	15	30	Excessive lean
64	Coast live oak	18	Fair	Poor			55	10	15	Excessive lean
65	Coast live oak	60	Poor	Poor	x		55	25	20	In proposed ADU envelope, Broken stems, decay
66	Coast live oak	15	Fair	Poor		x	45	20	20	Lean, small dieback, suppressed
67	Coast live oak	15	Fair	Fair		x	45	15	30	lean, overtopping #66
68	Coast live oak	28	Fair	Fair		x	50	20	40	Lean

Lot 39 Santa Lucia Preserve

Tree #	Species	DBH	Health	Structure	Remove	Impacted	Height	CRZ	Crown	Comments
69	Coast live oak	10	Fair	Fair		x	35	6	10	Lean
70	Coast live oak	24	Fair	Fair			40	15	30	Lean
71	Coast live oak	12,12	Fair	Poor			35	15	35	Codominant stems, lean, one stem poor
72	Coast live oak	20	Fair	Fair			45	20	20	Lean
73	Coast live oak	20	Fair	Fair		x	40	20	40	
74	Coast live oak	18	Fair	Fair		x	40	10	20	Large deadwood
75	Coast live oak	18	Poor	Fair		x	35	10	20	Large deadwood, thinning crown
76	Coast live oak	18	Fair	Fair			45	20	30	Lean
77	Coast live oak	36	Fair	Fair			45	20	45	Dieback in upper crown
78	Coast live oak	40	Fair	Fair			50	20	50	Crown dieback
79	Coast live oak	26	Fair	Fair		x	50	15	30	Adjacent driveway turnaround
80	Coast live oak	15	Fair	Fair		x	35	12	25	Adjacent driveway turnaround
81	Coast live oak	15	Fair	Fair		x	35	12	25	
82	Coast live oak	18	Fair	Fair			50	8	20	Lean
83	Coast live oak	24	Fair	Fair			45	10	20	
84	Valley Oak	10	Fair	Fair			40	8	15	Adjacent driveway turnaround
85	Coast live oak	18,18	Fair	Fair		x	40	20	45	Dead branches
86	Coast live oak	6	Fair	Fair			15	8	15	Lean
87	Coast live oak	30	Fair	Fair		x	40	20	45	Adjacent driveway turnaround
88	Coast live oak	24	Fair	Fair			50	20	45	
89	Madrone	20,20,24	Fair	Fair			60	30	50	
90	Coast live oak	24	Fair	Fair		x	45	20	40	Adjacent Driveway
91	Coast live oak	12	Fair	Fair		x	35	15	30	Adjacent Driveway, Significant lean
92	Coast live oak	36	Fair	Fair			55	20	45	
93	Coast live oak	10	Fair	Fair			40	10	20	Lean
94	Coast live oak	12	Fair	Fair			40	8	15	Dead branch
95	Coast live oak	12	Fair	Fair			50	10	20	
96	Coast live oak	10	Fair	Fair			35	8	15	
97	Coast live oak	10,15	Fair	Fair			45	20	45	
98	Valley Oak	10	Poor	Poor	x		20	5	5	dead branch, dead top
99	Coast live oak	24	Fair	Fair		x	40	10	25	Adjacent Driveway
100	Coast live oak	24	Fair	Poor		x	40	20	40	Adjacent driveway, included bark
101	Coast live oak	17	Fair	Fair			50	10	20	
102	Coast live oak	12	Fair	Fair			45	10	15	Fungus
103	Coast live oak	12	Fair	Fair	x		45	8	15	In driveway

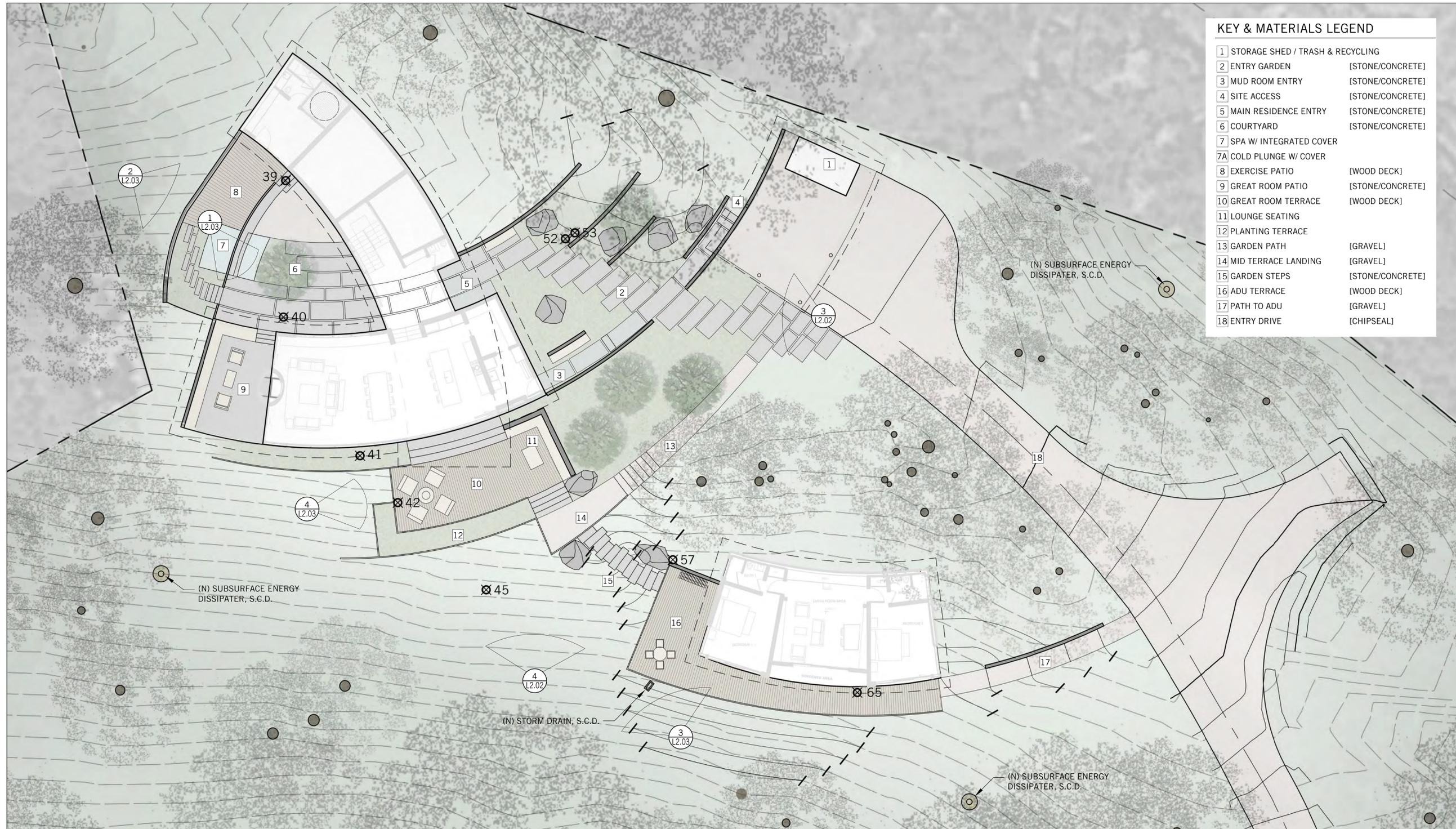
Lot 39 Santa Lucia Preserve

Tree #	Species	DBH	Health	Structure	Remove	Impacted	Height	CRZ	Crown	Comments
104	Coast live oak	12	Fair	Fair			45	8	15	Lean
105	Coast live oak	24	Fair	Fair			55	15	30	Lean
106	Coast live oak	24	Fair	Fair			60	20	40	growing into Tree #118, dead branch
107	Coast live oak	26	Fair	Poor		x	50	20	35	Adjacent driveway, included bark
108	Coast live oak	12	Fair	Fair		x	45	8	15	Adjacent driveway
109	Coast live oak	12	Fair	Fair		x	45	8	15	Adjacent driveway
110	Coast live oak	10	Fair	Fair		x	40	8	15	Adjacent driveway
111	Coast live oak	18	Fair	Fair		x	50	10	25	Adjacent driveway
112	Coast live oak	15	Fair	Fair			45	20	20	Lean
113	Coast live oak	15	Dead	Poor			35	10	25	Dead, broken branch
114	Coast live oak	12	Fair	Fair			45	10	25	Lean
115	Coast live oak	24	Fair	Good			60	20	45	
116	Coast live oak	24	Fair	Fair			50	10	25	Lean
117	Coast live oak	21	Fair	Fair			45	15	30	
118	Coast live oak	16	Fair	Fair			40	10	20	growing into Tree #112
119	Valley Oak	12	Fair	Fair			40	10	15	
120	Coast live oak	18	Fair	Fair			50	15	30	Lean, broken branch
121	Coast live oak	30	Fair	Fair			40	20	40	
122	Coast live oak	36	Fair	Fair			50	20	40	
123	Coast live oak	24	Fair	Poor			35	10	15	Lean, broken top
124	Coast live oak	15	Fair	Poor			25	10	20	
125	Coast live oak	30	Fair	Poor			35	20	30	Lean
126	Coast live oak	32	Fair	Good			55	20	40	
127	Coast live oak	28	Fair	Fair			65	20	50	
128	Coast live oak	26	Fair	Fair		x	60	20	40	Adjacent driveway
129	Coast live oak	16	Fair	Fair			45	20	20	
130	Coast live oak	24	Fair	Fair			40	15	30	Lean
131	Coast live oak	18	Fair	Fair			45	10	20	Lean
132	Coast live oak	24	Fair	Fair		x	55	15	30	Adjacent driveway, dead branch
133	Coast live oak	12	Fair	Fair			40	10	20	Dead branch
135	Coast live oak	16	Fair	Fair		x	40	20	20	Lean
138	Valley Oak	18	Fair	Good		x	45	10	20	Adjacent driveway
139	Coast live oak	18	Fair	Good			45	10	20	
140	Madrone	12	Fair	Good			45	10	20	
141	Coast live oak	18	Fair	Fair			35	10	20	

Lot 39 Santa Lucia Preserve

Tree #	Species	DBH	Health	Structure	Remove	Impacted	Height	CRZ	Crown	Comments
142	Coast live oak	16	Fair	Fair			55	10	25	
143	Coast live oak	28	Fair	Fair			75	20	40	
144	Coast live oak	24	Fair	Fair		x	50	20	45	Pruning for driveway clearance
145	Coast live oak	18	Fair	Poor		x	55	15	25	Adjacent driveway, dead leader, reiterated top
145.1	Coast live oak	28	Fair	Fair			65	20	45	
145.2	Coast live oak	36	Fair	Fair			55	20	45	
146	Coast live oak	26	Fair	Poor		x	45	10	25	Suppressed, decay
146.1	Coast live oak	10	Fair	Fair			50	8	12	
146.2	Coast live oak	10	Fair	Fair			30	8	12	
147	Coast live oak	11	Fair	Fair			25	10	10	Lean
148	Coast live oak	36	Fair	Fair			65	30	60	
149	Coast live oak	18	Fair	Poor			55	15	15	Broken Branches, reiterated top
150	Coast live oak	26	Fair	Fair		x	55	15	20	Lean, adjacent driveway
151	Coast live oak	24	Fair	Fair		x	50	15	35	Adjacent driveway, tree 108 growing into crown
152	Coast live oak	10	Fair	Fair			45	8	15	Suppressed
153	Valley Oak	12	Fair	Fair		x	55	15	20	
154	Coast live oak	18,24	Fair	Fair			45	15	35	
155	Coast live oak	26	Fair	Fair		x	60	20	40	Lean into driveway, pruning
156	Coast live oak	36	Fair	Fair		x	55	20	45	Broken branches
157	Coast live oak	30	Fair	Fair			60	25	50	
158	Coast live oak	24	Fair	Fair			50	15	35	

KEY & MATERIALS LEGEND	
1	STORAGE SHED / TRASH & RECYCLING [STONE/CONCRETE]
2	ENTRY GARDEN [STONE/CONCRETE]
3	MUD ROOM ENTRY [STONE/CONCRETE]
4	SITE ACCESS [STONE/CONCRETE]
5	MAIN RESIDENCE ENTRY [STONE/CONCRETE]
6	COURTYARD [STONE/CONCRETE]
7	SPA W/ INTEGRATED COVER
7A	COLD PLUNGE W/ COVER
8	EXERCISE PATIO [WOOD DECK]
9	GREAT ROOM PATIO [STONE/CONCRETE]
10	GREAT ROOM TERRACE [WOOD DECK]
11	LOUNGE SEATING
12	PLANTING TERRACE
13	GARDEN PATH [GRAVEL]
14	MID TERRACE LANDING [GRAVEL]
15	GARDEN STEPS [STONE/CONCRETE]
16	ADU TERRACE [WOOD DECK]
17	PATH TO ADU [GRAVEL]
18	ENTRY DRIVE [CHIPSEAL]



CURVEBALL
 2 ARROWMAKER TRACE
 CARMEL, CA 93923

PROJECT: 2021-10 DATE: 06/24/22
 DRAWN: SJ / YN CHECKED: AL
 REVISIONS:
 DATE: ISSUED FOR:
 06/24/22 PLANNING APPLICATION SET

SHEET TITLE:
 SITE PLAN -
 MAIN RESIDENCE
 & ADU

SHEET:
L2.01



STONE OR CONCRETE PAVING



CORTEN STEEL WALL



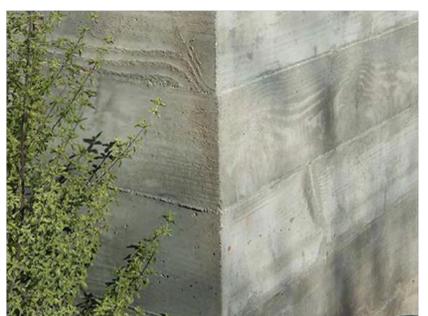
WOOD DECK



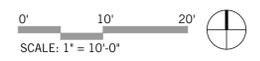
SCULPTURAL BOULDER



STONE OR CONCRETE STEPS



BOARD FORM CONCRETE WALL





1 - BIRD'S EYE LOOKING NORTH



2 - BIRD'S EYE LOOKING EAST



3 - ENTRY / VIEW FROM STORAGE SHED



4 - VIEW FACING THE GREAT ROOM TERRACE

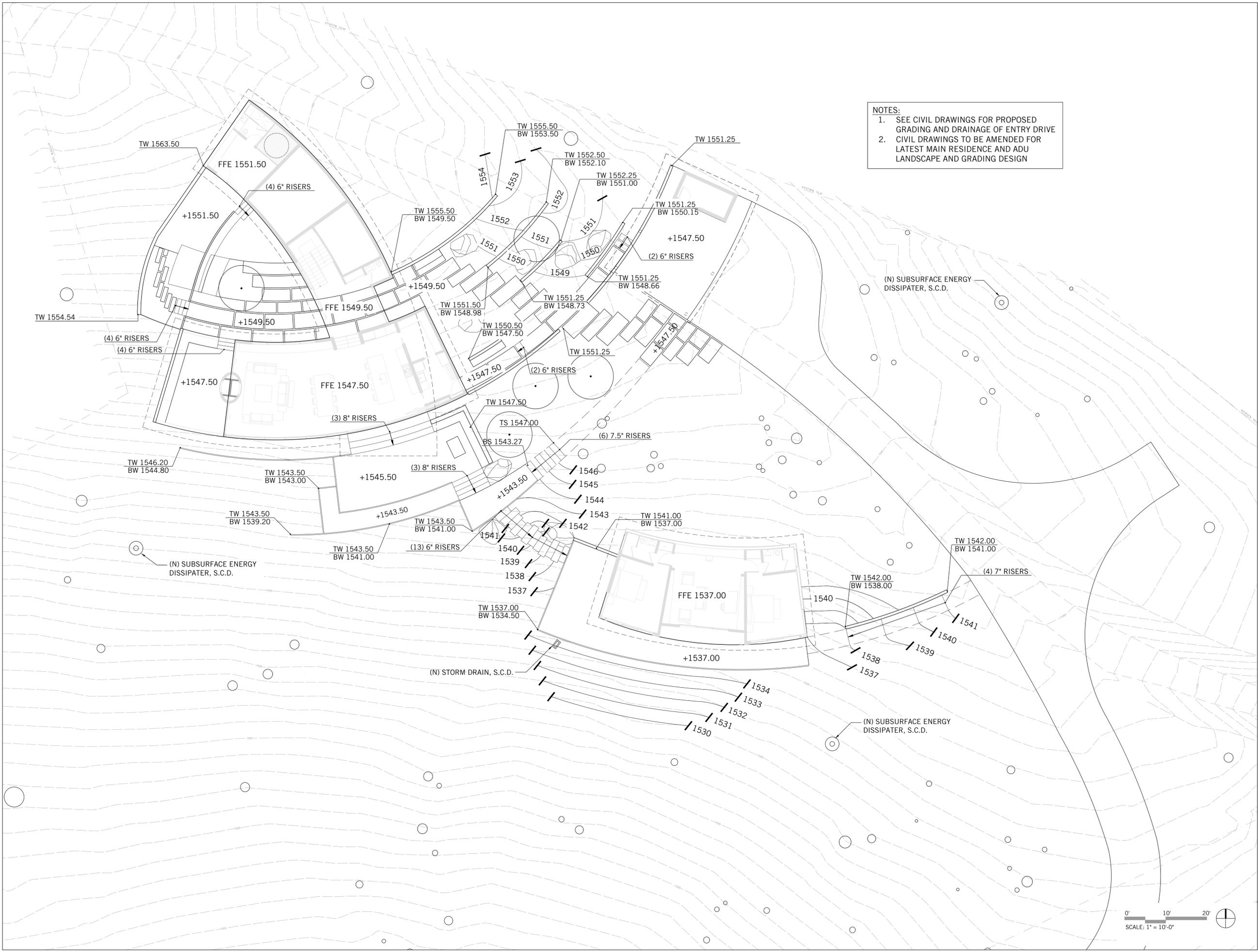
CURVEBALL
 2 ARROWMAKER TRACE
 CARMEL, CA 93923

PROJECT: 2021-10	DATE: 06/24/22
DRAWN: SJ / YN	CHECKED: AL
REVISIONS:	
DATE: 06/24/22	ISSUED FOR: PLANNING APPLICATION SET

SHEET TITLE:
 RENDERED VIEWS

SHEET:
L2.02

NOTES:
 1. SEE CIVIL DRAWINGS FOR PROPOSED GRADING AND DRAINAGE OF ENTRY DRIVE
 2. CIVIL DRAWINGS TO BE AMENDED FOR LATEST MAIN RESIDENCE AND ADU LANDSCAPE AND GRADING DESIGN

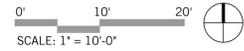


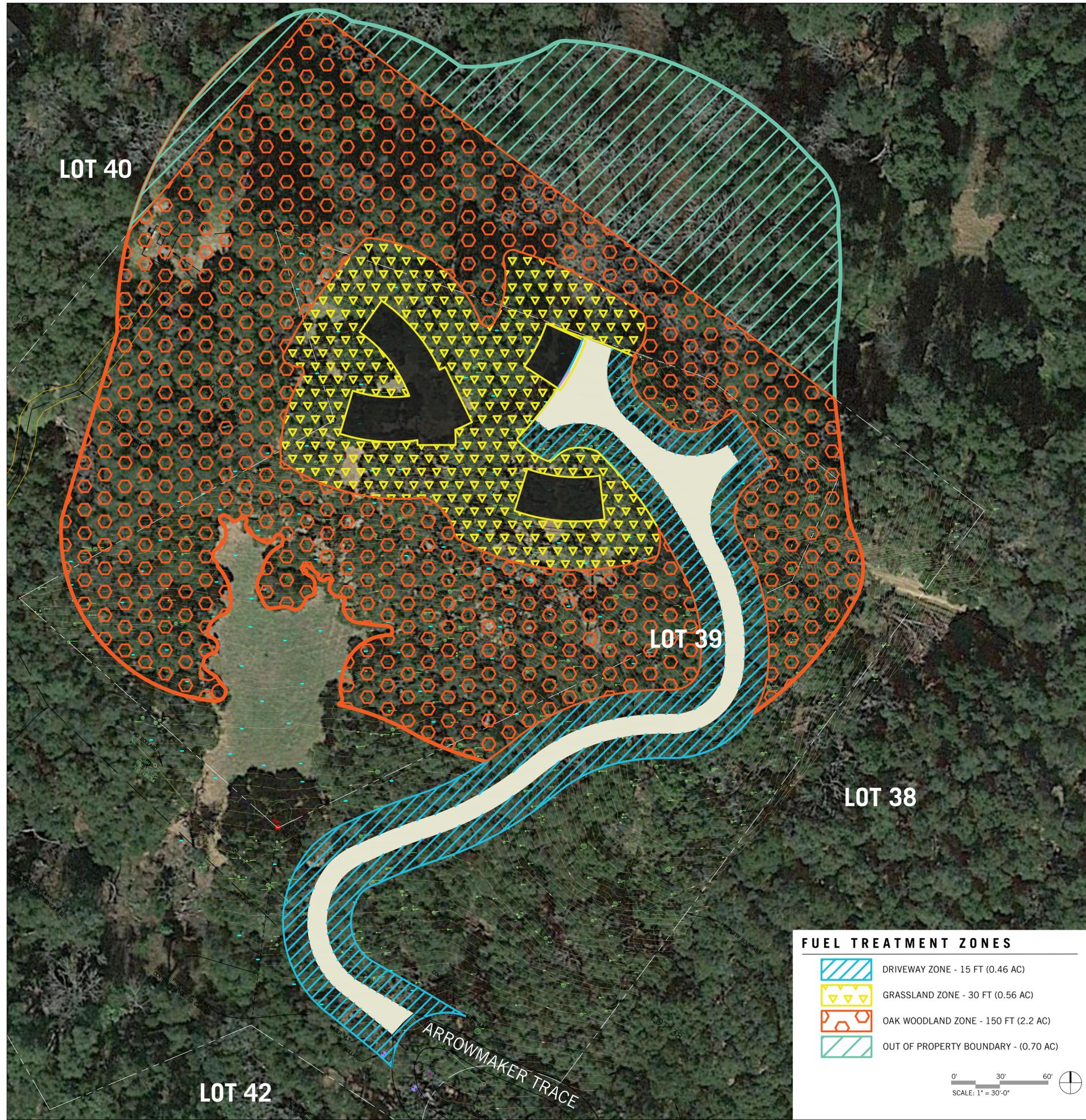
CURVEBALL
 2 ARROWMAKER TRACE
 CARMEL, CA 93923

PROJECT: 2021-10 DATE: 06/24/22
 DRAWN: SJ / YN CHECKED: AL
 REVISIONS:
 DATE: ISSUED FOR:
 06/24/22 PLANNING APPLICATION SET

SHEET TITLE:
 PROPOSED GRADING AND DRAINAGE PLAN

SHEET:
L3.00





**SANTA LUCIA CONSERVANCY
FUEL TREATMENT ZONES NOTES**

DRIVEWAY ZONE: 15-30 FEET FROM EDGE OF DRIVEWAY PAVEMENT. SAFE EGRESS MUST BE MAINTAINED ALONG THE DRIVEWAY. THE DRIVEWAY ZONE IS IMPORTANT TO ALLOW FOR SAFE PASSAGE AND TO PROVIDE A LOCATION WHERE FIREFIGHTER RESOURCES CAN TRAVEL AND ENGAGE IN FIRE RESPONSE. GRASSLAND, AND THE UNDERSTORY OF ALL OAK SAVANNA, AND OAK WOODLAND VEGETATION SHOULD BE MOWED WITHIN 15 FEET FROM THE PAVEMENT EDGES, ACCORDING TO THE RECOMMENDATIONS IN THE GRASSLAND ZONE. ALL CHAPARRAL, COASTAL SCRUB, AND OAK/SHRUB WOODLAND VEGETATION SHOULD BE TREATED TO 30 FEET FROM THE PAVEMENT EDGE, ACCORDING TO THEIR RESPECTIVE RECOMMENDATIONS. EACH LOT HAS ACCESSIBILITY TO A FIRE HYDRANT LOCATED WITHIN 1,000 FEET OF A RESIDENCE, AND A HAMMERHEAD OR OTHER SAFE TURNAROUND FOR FIRE EQUIPMENT ACCESS.

GREEN ZONE: TO A DISTANCE OF 30 FEET FROM STRUCTURES. GREEN ZONE MUST BE MOWED AT LEAST ONCE ANNUALLY IN LATE SPRING OR EARLY SUMMER. BECAUSE GRASSLANDS DRY AND BECOME FLAMMABLE AT THE START OF EVERY SUMMER, GRASSLAND AREAS WILL NEED ANNUAL ATTENTION, TYPICALLY BY MOWING PRIOR TO THE BEGINNING OF EACH SUMMER. BY MOWING IN LATE SPRING, NATIVE GRASSES AND WILDFLOWERS ARE RETAINED AND MAY CONTRIBUTE IN A LOWER-HAZARD CONDITION. WOODY WEED SPECIES SUCH AS FRENCH BROOM, POISON HEMLOCK AND THISTLES MUST BE COMPLETELY REMOVED ANNUALLY.

1. WITHIN 30 FEET FROM STRUCTURES, ALL ANNUAL GRASSLAND AREAS SHOULD BE MOWED IN EARLY SUMMER TO MAINTAIN A MINIMUM HEIGHT OF 4 INCHES DURING THE SUMMER.
2. TO PROMOTE NATIVE PERENNIAL GRASSES AND WILDFLOWER STANDS WHICH ARE LESS FLAMMABLE AND REQUIRE LESS WATER, IT IS BEST TO AVOID MOWING MORE FREQUENTLY THAN 60 DAYS. IDEAL MOWING TIME IS SHORTLY AFTER THEY HAVE SET SEED, AND MAY REQUIRE A DELAYED MOWING SCHEDULE IN WETTER YEARS TO MAINTAIN THEIR DENSITY. CONSULT WITH THE CONSERVANCY STAFF AS NEEDED.
3. TREES GROWING WITHIN THE GRASSLAND ZONE SHOULD BE TREATED ACCORDING TO THE RECOMMENDATIONS MADE IN THE OAK SAVANNA ZONE.
4. COYOTE BUSH, AND A NUMBER OF OTHER SHRUB SPECIES, GROWING WITHIN THE GRASSLAND ZONE, MAY BE REMOVED TO MAINTAIN OPEN HERBACEOUS GRASSLANDS AS PART OF AN APPROVED LOT-SPECIFIC PLAN.

MANAGEMENT ZONE: TO A DISTANCE OF 150 FEET. UNDERSTORY PLANTS MUST BE KEPT SHORT, AND SMALL LOWER TREE BRANCHES MUST BE REMOVED. THE UNDERSTORY OF OAK WOODLAND HABITAT INCLUDES SHADE TOLERANT SHRUBS AND GRASSLANDS. THE GOAL OF THIS STANDARD IS TO MAINTAIN AN EXISTING OAK WOODLAND WITH A SHORT-STATURED UNDERSTORY OF HERBACEOUS PLANTS AND SHRUBS, AND A TREE CANOPY AT LEAST 8 FEET ABOVE THE GROUND. AN INITIAL TREATMENT WILL BE REQUIRED TO PRUNE SMALLER BRANCHES OF TREES UP TO 8 FEET ABOVE THE GROUND AND TO REDUCE DENSITY AND STATURE OF UNDERSTORY SHRUBS. AFTER THE INITIAL TREATMENT, ANNUAL MAINTENANCE WILL BE NEEDED TO CUT BACK SHRUB SPROUTS IN ORDER TO MAINTAIN A MAXIMUM HEIGHT OF 2.5 FEET.

1. PRESCRIPTIONS FOR UNDERSTORY MAINTENANCE IN OAK WOODLAND ZONE: WITHIN 30 FEET FROM STRUCTURES, AT THE BEGINNING OF EACH SUMMER, ENSURE THAT THE HERBACEOUS UNDERSTORY IS MAINTAINED AT A MAXIMUM HEIGHT OF 4 INCHES.
2. UNDERSTORY VEGETATION SHOULD NOT BE COMPLETELY REMOVED. INSTEAD, SELECTIVELY REMOVE FLAMMABLE SPECIES LIKE COYOTE BUSH, AND PRUNE-BACK AND REMOVE DEAD BRANCHES FROM LESS-FLAMMABLE DESIRABLE SPECIES SUCH AS COFFEEBERRY, CURRANT AND WILD ROSE.
3. NATIVE UNDERSTORY SHRUBS ARE TO BE KEPT FREE OF DEAD BRANCHES AND NO MORE THAN 2.5 FEET IN HEIGHT.
4. LEAF LITTER DEPTH SHOULD BE KEPT TO NO GREATER THAN 4 INCHES. PRESCRIPTIONS FOR TREE PRUNING:
 5. ALL BRANCHES, LIVING OR DEAD, LESS THAN 3 INCHES DIAMETER IN WIDTH AND LESS THAN EITHER 8 FEET FROM THE GROUND OR THREE TIMES THE HEIGHT OF ANY UNDERSTORY SHRUBS WHICHEVER IS GREATER, SHALL BE REMOVED.
 6. LIVING BRANCHES THAT ARE GREATER THAN 3 INCHES IN DIAMETER BUT LOWER THAN 8 FEET IN HEIGHT CAN BE RETAINED, PROVIDED THAT THE AREA WITHIN THE DRIP-LINE OF TREES IS MAINTAINED OAKS WITH LIVE LIMBS RESTING ON THE GROUND NEED NOT BE REMOVED, BUT ALL GROUND DEBRIS AROUND AND BENEATH THE LIMBS MUST BE REMOVED TO REDUCE FIRE RISK.
 7. DEAD LIMBS LESS THAN 8 FEET IN HEIGHT SHALL BE REMOVED.
 8. IN LANDSCAPED AREAS, HEALTHY TREE BRANCHES LESS THAN 3 INCHES IN DIAMETER OR 8 INCHES DIAMETER IF SPLIT OR DISEASED, SHOULD BE REMOVED TO PROVIDE VERTICAL CLEARANCE OF 3 TIMES THE HEIGHT OF THE UNDERSTORY PLANTS, OR 8 FEET ABOVE UNDERSTORY PLANTS, WHICHEVER IS GREATER.
 9. FOR TREES SHORTER THAN 24 INCHES IN HEIGHT, REMOVE LOWER 1/3 OF BRANCHES SMALLER THAN 3 INCHES IN DIAMETER, OR ALTERNATIVELY, TREAT AS A SHRUB GROUPING.
 10. ONCE INITIAL PRUNING IS ACCOMPLISHED, TREE PRUNING IS LIKELY TO BE NEEDED INFREQUENTLY, ON AN INTERVAL OF ABOUT ONCE EVERY 3 TO 5 YEARS.
 11. DO NOT THIN OR PRUNE THE TREE CANOPY, AS THIS WILL PROMOTE MORE UNDERSTORY SHRUB GROWTH AS WELL AS LOWER PARTS OF THE TREE, AND WILL RESULT IN INCREASED RISK THAT FIRE WILL SPREAD TO THE TREE SOMETIMES SMALL TREES MAY NEED TO BE CUT TO THE GROUND IN ORDER TO ACHIEVE THE SEPARATION OF THE GROUND LEVEL FROM THE TREE CANOPY, OR BECAUSE MOWING EQUIPMENT CANNOT AVOID THE SMALL IN ALL CIRCUMSTANCES, REMOVAL OF SEEDLINGS AND SAPPLINGS OF BLACK OAK, VALLEY OAK, OR BLUE OAK IN THE OPENLANDS REQUIRES PRIOR APPROVAL FROM THE SANTA LUCIA CONSERVANCY. SEE THE 2018 FUEL MANAGEMENT STANDARDS FOR THE SANTA LUCIA PRESERVE BY CAROL RICE, WILDLAND RESOURCE MANAGEMENT FOR ADDITIONAL REGULATIONS AND GUIDELINES.

ADDITIONAL NOTE: THIS FUEL TREATMENT ZONES PLAN IS A PLACEHOLDER DRAFTED BY MUNDEN FRY LANDSCAPE ASSOCIATES. AN UPDATED PLAN FROM CAROL RICE IS FORTHCOMING.

CURVEBALL
2 ARROWMAKER TRACE
CARMEL, CA 93923

PROJECT:	2021-10	DATE:	06/24/22
DRAWN:	SJ / YN	CHECKED:	AL
REVISIONS:			
DATE:	06/24/22	ISSUED FOR:	PLANNING APPLICATION SET

SHEET TITLE:
FUEL TREATMENT ZONES

SHEET:
L4.00

PLANTING LEGEND

SYMBOL	ABV.	SIZE	QTY.	BOTANICAL NAME	COMMON NAME
--------	------	------	------	----------------	-------------

TREES

	ARB MAR	48" BOX	5	<i>Arbutus 'Marina'</i>	Strawberry Tree (Multi-Stem)
--	---------	---------	---	-------------------------	------------------------------

UNDERSTORY & GROUND COVER

	ACH MIL	1 GAL	19	<i>Achillea millefolium</i>	Yarrow
	CAR PAN	1 GAL	100	<i>Carex pansa</i>	California Meadow Sedge
	CHO TEC	1 GAL	103	<i>Chondropetalum tectorum 'El Campo'</i>	Dwarf Cape Rush
	FES MAI	1 GAL	209	<i>Festuca mairei</i>	Atlas Fescue
	FES IDA	1 GAL	24	<i>Festuca idahoensis</i>	Blue Bunch Grass
	LAV AUG	1 GAL	33	<i>Lavandula augustifolia</i>	Lavender
	ROS OFF	1 GAL	24	<i>Rosmarinus officinalis 'Tuscan Blue'</i>	Rosemary

MEADOW MIX

	ACH MIL	SEED	<i>Achillea millefolium</i>	Yarrow
	ESC CAL	SEED	<i>Eschscholzia californica</i>	California Poppy
	FES IDA	SEED	<i>Festuca idahoensis</i>	Idaho Fescue
	FES RUB	SEED	<i>Festuca rubra</i>	Red Fescue
	KOE MAC	SEED	<i>Koeleria macrantha</i>	Prairie Junegrass
	LUP NAN	SEED	<i>Lupinus nanus</i>	Sky Lupine

7135 SF

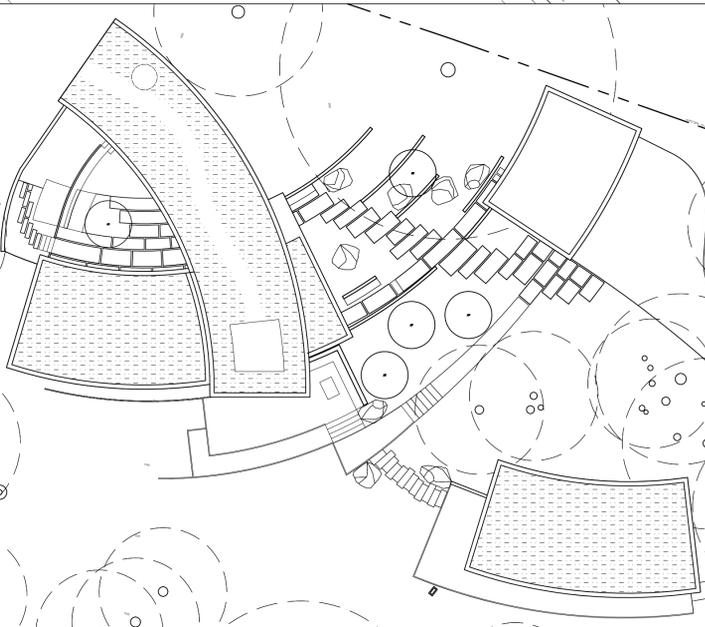
NOTE: HOMELAND AREAS DISTURBED FROM CONSTRUCTION ACTIVITIES THAT ARE NOT WITHIN LANDSCAPE PLANTING ZONES 1-4 SHALL BE RESTORED WITH SANTA LUCIA CONSERVANCY SEED BLEND WITH TEMPORARY IRRIGATION

1 ARB MAR
48" BOX MULTI-STEM

4 ARB MAR
48" BOX MULTI-STEM



ROOF PLAN

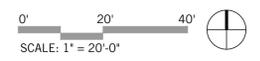


CURVEBALL
 2 ARROWMAKER TRACE
 CARMEL, CA 93923

PROJECT: 2021-10 DATE: 06/24/22
 DRAWN: SJ / YN CHECKED: AL
 REVISIONS:
 DATE: ISSUED FOR:
 06/24/22 PLANNING APPLICATION SET

SHEET TITLE:
 PLANTING PLAN

SHEET:
L5.00



HYDROZONE KEY

Symbol	Zone Description	Irrigation Method	Water Use	Area (sq ft)
	1. Low water use, sub surface dripline or point source emitters @ ground plane	Drip	Low	9,768
	2. Low water use, tree bubblers until established	Bubblers	Low	63
	3. Low water use, sub surface dripline @ green roofs	Drip	Low	3,952
Total				13,783

2 Arrowmaker Trace, Carmel CA 93923 Santa Lucia Preserve Lot 39

Regular Landscape Area	13,783	SF
Special Landscape Area	0	SF
Total Landscape Area	13,783	SF
Eto (CIMIS)	49.7	
Eppt (@ 25% Annual Rainfall)	5.225	

Maximum Applied Water Allowance

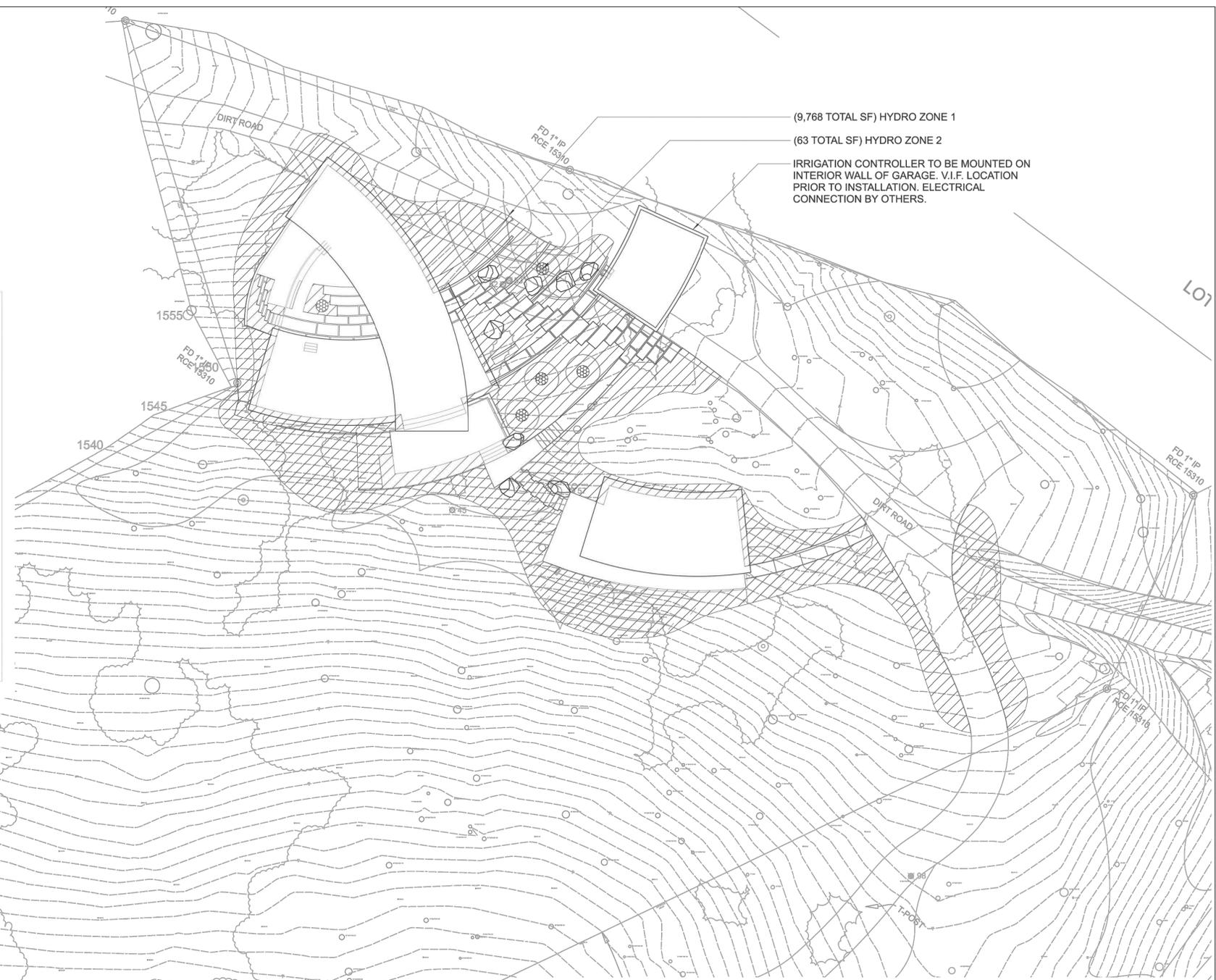
(Eto - Eppt)	X	Gal./SF	X	[(0.55 x LA) + (0.45 x SLA)]	MAWA	ACRE-FT.
44.48		0.62		7,581	0	209,033

Estimated Total Water Use

Plant Water Use	(Eto)(0.62)	X	(PF x HA)	IE	ETWU	ACRE-FT.
Low	30.8		3,403		104,867	
Med.	30.8		0		0	
High	30.8		0		0	
ETWU					104,867	0.32

Proposed Landscape Water Use

Plant Type	Average PF	Planting SF	Gallons	% of Landscape
Low	0.2	13,783	104,867	100%
Med.	0.5	0	0	0%
High	0.85	0	0	0%
				100%

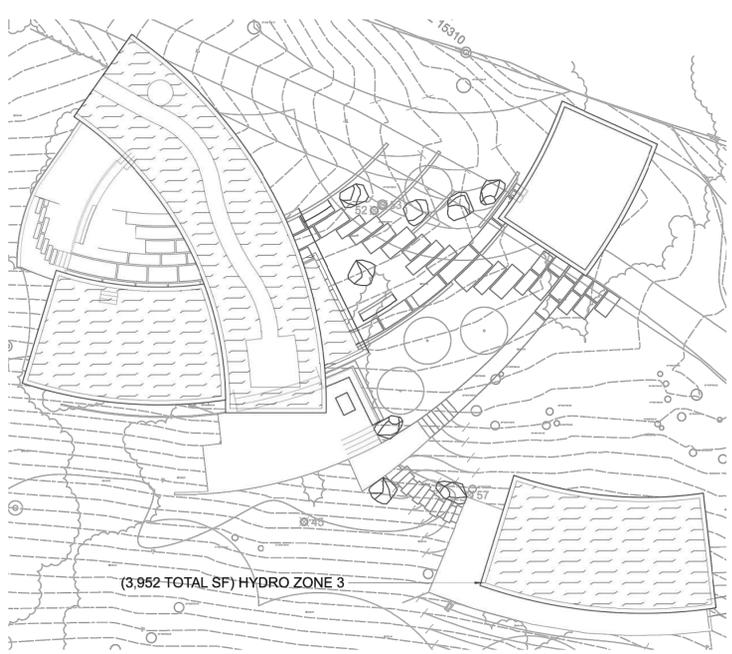


(9,768 TOTAL SF) HYDRO ZONE 1

(63 TOTAL SF) HYDRO ZONE 2

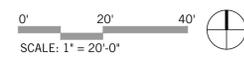
IRRIGATION CONTROLLER TO BE MOUNTED ON INTERIOR WALL OF GARAGE. V.I.F. LOCATION PRIOR TO INSTALLATION. ELECTRICAL CONNECTION BY OTHERS.

ROOF PLAN



PROJECT IRRIGATION NOTES

- IT IS THE INTENT OF THIS PROJECT'S IRRIGATION SYSTEM TO USE RECYCLED WATER. THE RECLAMATION SYSTEM SHALL BE DESIGNED BY OTHERS.
- LANDSCAPE CONTRACTOR WILL FOLLOW INDUSTRY STANDARDS FOR THE INSTALLATION OF THE IRRIGATION SYSTEM. ANY PROPOSED CHANGES TO THE IRRIGATION SYSTEM WILL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO THE CHANGES BEING MADE. CONTRACTOR TO VERIFY IN FIELD THE CONDITIONS OF THE LANDSCAPE AREAS PRIOR TO INSTALLATION OF THE IRRIGATION SYSTEM.
- MAINLINE PIPE SHALL BE NO LESS THAN CLASS 315 FOR PIPE SIZED 3" AND GREATER, AND SCHEDULE 40 FOR PIPE SIZED 2-1/2" AND SMALLER. MAINLINE PIPING SHALL BE INSTALLED AT A MINIMUM DEPTH TO ENSURE 18" OF COVER AND SHALL BE INSTALLED IN SUCH A MANNER AS TO NOT INTERFERE WITH THE STORMWATER AND OTHER UTILITIES' SYSTEMS.
- LATERAL PIPING SHALL BE CLASS 200 PIPE AND INSTALLED TO A MINIMUM DEPTH TO ENSURE 12" OF COVER.
- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING, TREE ROOT ZONES AND ARCHITECTURAL FEATURES.
- SYSTEM SHALL RECEIVE AN INTERIOR MOUNTED IRRIGATION CONTROLLER. CONTRACTOR TO VERIFY IN FIELD LOCATION PRIOR TO INSTALLATION. ELECTRICAL CONNECTION BY OTHERS.
- LANDSCAPE IRRIGATION SYSTEMS SHALL BE INSTALLED TO PREVENT OVER-SPRAY ON STRUCTURES.
- IRRIGATION DEMAND: 20 GPM AT 80 PSI. FIELD VERIFY EXACT PRESSURE PRIOR TO START OF WORK. IF PRESSURE VARIES FROM REQUIRED PRESSURE, NOTIFY LANDSCAPE ARCHITECT FOR FURTHER INSTRUCTION.
- ALL TEMPORARY VALVES AND SPRINKLER OUTLETS SHOWN IN ARE FOR THE ESTABLISHMENT PERIOD AND SHALL BE SHUT-OFF POST ESTABLISHMENT.
- CONNECT THE IRRIGATION MAINLINE TO DOMESTIC WATER LINE. INSTALL A NEW 1-1/2" SUB-METER FOR THE IRRIGATION SYSTEM. RUN 1-1/2" PVC MAINLINE FROM NEW SUB-METER TO BACKFLOW PREVENTOR. PIPE RUNS SHALL AVOID CRITICAL ROOT ZONES OF TREES AND USE 45° ELBOWS WHERE POSSIBLE TO REDUCE THE NUMBER OF 90° ELBOWS.
- SYSTEM SHALL RECEIVE A 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER, FLOW SENSOR, AND MASTER VALVE. CONTRACTOR TO V.I.F. LOCATION OF ALL IRRIGATION SYSTEM COMPONENTS PRIOR TO INSTALLATION AND INSTALL ALL COMPONENTS PER MANUFACTURER'S RECOMMENDATIONS.



EXTERIOR LIGHTING NOTES

1. LIGHTS TO BE CONTROLLED WITH SWITCHES. SWITCH LOCATION AND TYPE T.B.D.
2. LIGHT SOURCE SHALL NOT BE VISIBLE FROM OFF-SITE PREMISES
3. THE LIGHTING PLAN IS DIAGRAMMATIC AND INTENDED TO SHOW GENERAL FIXTURE LOCATION AND TYPE. EXACT LOCATION OF FIXTURES AND TRANSFORMERS SHALL BE VERIFIED ON SITE WITH LANDSCAPE ARCHITECT.
4. CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR AND ELECTRICAL CONTRACTOR FOR INSTALLATION OF CONDUIT, SLEEVING, SWITCHING LOCATIONS AND JUNCTION BOXES DURING PHASES OF WORK.
5. ALL FIXTURES TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS

CURVEBALL
 2 ARROWMAKER TRACE
 CARMEL, CA 93923

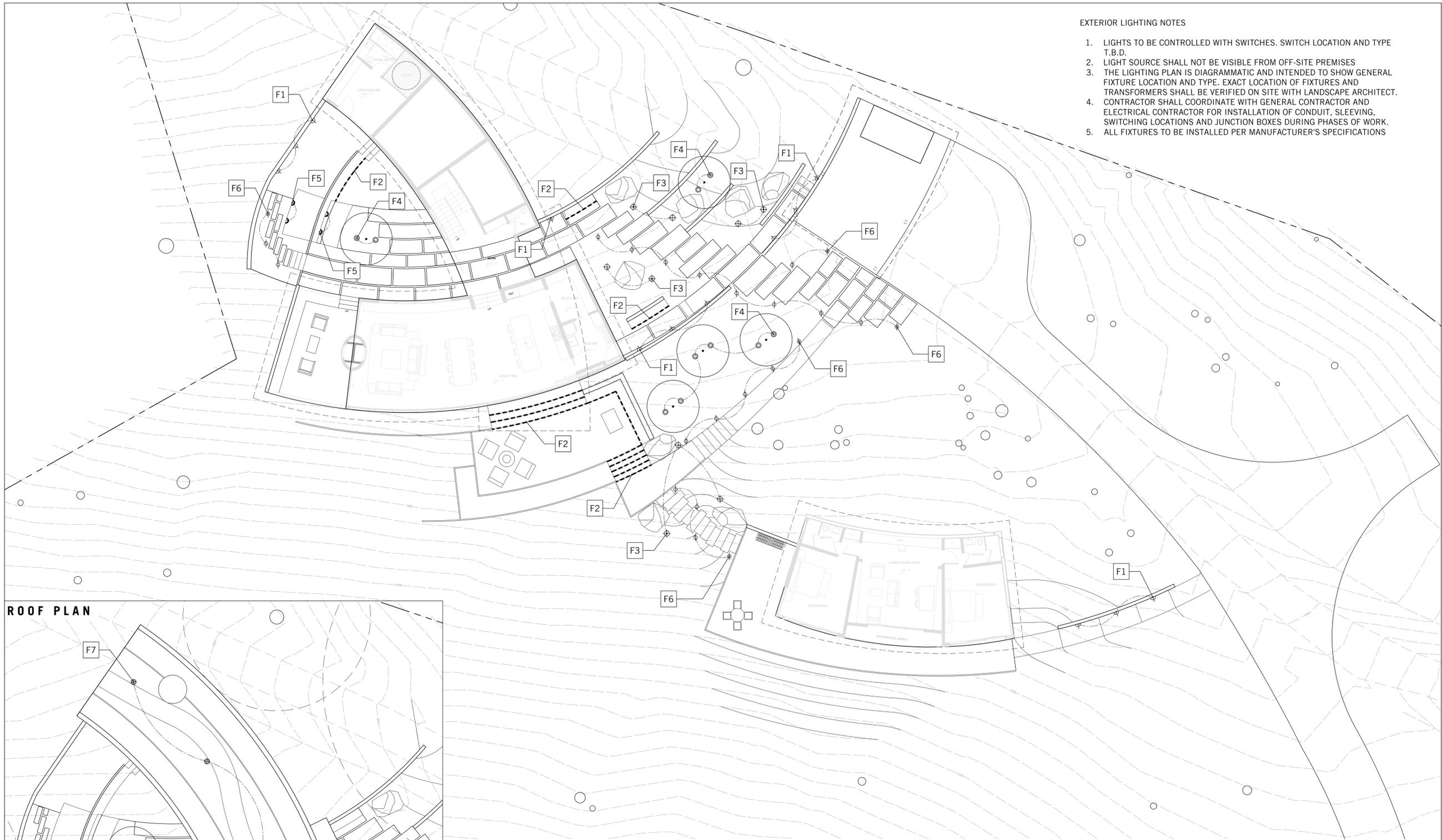
PROJECT: 2021-10 DATE: 06/24/22
 DRAWN: SJ / YN CHECKED: AL
 REVISIONS:
 DATE: ISSUED FOR:
 06/24/22 PLANNING APPLICATION SET

SHEET TITLE:

PRELIMINARY
 LIGHTING PLAN

SHEET:

L7.00



LIGHTING LEGEND

SYMBOL	DESCRIPTION	QTY.
F1	FIXTURE TYPE I: WALL LIGHTS AT CONCRETE RECESSED WALLS	13
F2	FIXTURE TYPE II: FLEXIBLE TAPE LIGHT AT STAIRS & BENCHES SHIELDED EXTRUSION STRIP INTEGRATED BELOW STAIR TREADS AND BENCHES	140 LF
F3	FIXTURE TYPE III: FEATURE LIGHT AT SCULPTURAL STONE AND WATER FEATURE	9

LIGHTING LEGEND

SYMBOL	DESCRIPTION	QTY.
F4	FIXTURE TYPE IV: TREE DOWN LIGHT BRONZE FINISH	10
F5	FIXTURE TYPE V: SPA & COLD PLUNGE POOL LIGHTS	4
F6	FIXTURE TYPE VI: PATH LIGHT	23
F7	FIXTURE TYPE VII: INGROUND DIRECTIONAL LIGHT AT ROOF	4



F7 ✪ FIXTURE TYPE VII: INGROUND DIRECTIONAL LIGHT AT ROOF BRONZE FINISH

LDM250 SONOMA

The LDM250 directional marker is a high flux, low wattage LED luminaire. Coupled to a brass body, our Thermally Integrated LED Module provides superior heat dissipation, longer life and higher performance. With five different illumination patterns you are provided great versatility and although designed as a small scale in-grade, it can also be mounted horizontally as a step light or wall-washer for artistic flair.

See LDM350 and LDM3 for additional size and wattage options.

Features include:

- 3 Watts and Up to 50 lumens
- Cree XLAMP® High Intensity (XP-L) LED
- 2700 or 3000K (CRI 80 typ.)
- Thermally Integrated, Field Serviceable LED Module
- TRIAC Dimming to <10% typ.
- 12 VAC Electronic or Magnetic
- Drive-over Rated up to 6,000 lbs.
- Solid Copper and Brass Construction

ORDERING GUIDE: LDM250 (L) LED (DIRECTIONAL MARKER) 350 (MODEL)

BEAM PATTERN

- [00] Single 90° Opening
- [100] 180° Opening
- [270] 270° Opening
- [360] 360° Opening

LED COLOR

- [07] 2700K, 80 CRI
- [08] 3000K, 80 CRI
- [AMB] Amber (585-595 nm)

LENS

- [F] Frosted
- [C] Clear

MOUNT

- [R] Rear Cordcut Entry
- [S] Side Cordcut Entry
- [M] Micro J-Box
- [M-JB-FM] Micro J-Box w/ Flush Mount*

FINISH

- [NAT] Natural
- [BLP] Bronze Living Patina
- [BLP-XD] BLP Extra Dark
- [NI] Nickel PVD (BR)

BEAM PATTERNS

Single 90° Opening, 180° Opening, 270° Opening, 360° Opening

ORDERING GUIDE:

BEAM PATTERN: [00] Single 90° Opening, [100] 180° Opening, [270] 270° Opening, [360] 360° Opening

LED COLOR: [07] 2700K, 80 CRI, [08] 3000K, 80 CRI, [AMB] Amber (585-595 nm)

LENS: [F] Frosted, [C] Clear

MOUNT: [R] Rear Cordcut Entry, [S] Side Cordcut Entry, [M] Micro J-Box, [M-JB-FM] Micro J-Box w/ Flush Mount*

FINISH: [NAT] Natural, [BLP] Bronze Living Patina, [BLP-XD] BLP Extra Dark, [NI] Nickel PVD (BR)

NOTE: For other CCT and CRI options, contact factory.

CARLSBAD, CA | PHONE 877 942 1179 | FAX 760 931 2916 | E-MAIL SALES@AURORALIGHT.COM | AURORALIGHT.COM

F5 ✪ FIXTURE TYPE V: SPA & COLD PLUNGE POOL LIGHTS

LuxR M2 POOL (USA ONLY)

USA M2 POOL CONFIGURATION

Specifications:

- Power: 2 Watt
- Ingress Protection Rating: IP68
- Cable: SJ100W
- Material: 316 Stainless Steel Electroplated
- Hexcell Louvre: Hexcell Louvre available
- Lens Cover: Clear and Frosted
- Removable Light Engine: Pin Mounted 2W Cree XP-G-3 Chip
- Colour Temperature: Warm White - 2700K and 3000K, Neutral White - 4000K, Cool White - 5200K, Red, Green, Blue, Amber
- Optic Degrees: 8°, 26°, 74°, Oval
- CRI: 90+ CRI
- Efficiency: 85lm/w - Delivered from Luminaire with unobstructed beam
- Input: 12V AC (Integral)
- Warranty: Electronics Warranty 5 Years
- Body Warranty: 10 years Stainless Steel
- LED Shield: LED Bypass Shunt, LED Reverse Polarity Protection

THESE PRODUCTS ARE LOW VOLTAGE, TWO CONDUCTOR WET NICHES LED SWIMMING POOL AND SPA LUMINAIRES FOR USE WITH AN ISOLATED LOW VOLTAGE POWER SUPPLY APPROVED FOR POOL USE.

PLEASE PAY CLOSE ATTENTION TO INSTALLATION INSTRUCTIONS SUPPLIED WITH THIS PRODUCT.

www.luxrled.com

F3 ✪ FIXTURE TYPE III: FEATURE LIGHT AT SCULPTURAL STONE AND WATER FEATURE

MINI-MICRO LED

IP66 RATED

CATALOG NUMBER LOGIC:

Example B-MM-LED-670-670-BLP-8LP-12-11-C-360SL

MATERIAL: (Blank) - Aluminum, B - Brass, S - Stainless Steel

SERIES: MM - Mini-Micro

SOURCE: LED - with Non-Dimming Integral Driver*

LED TYPE: LED - 3W LED/2700K, e72 - 3W LED/4000K, e73 - 3W LED/Amber

OPTICS: 10P - Narrow Spot (17°), MFL - Medium Flood (29°), SP - Spot (27°), ASY - Asymmetrical (1x3/37°)

FINISH (See page 2 for full-color swatches): Standard Finishes (BZP, BZW, BLP, BLW, WHP, WHW, SAP, VER), Premium Finish (ABP, AMG, AQW, BCM, BGE, BPP, CAP, CMG, CRM, CRM, HUG, MDS, NSP, OCP, RMG, SDS, SMG, TXF, WCP, WIR), Also available in RAL Finishes, Brass Finishes (MAC, POL, MIT), Stainless Steel Finishes (MAC, POL)

LENS TYPE: 12 - Soft Focus, 13 - Rectilinear

SHIELDING: 11 - Honeycomb Baffle

CAP STYLE: A - 45°, B - 90°, C - Flush, D - 45° Less Weephole (Interior use only), E - 90° Less Weephole (Interior use only)

OPTIONS: 360SL - Rotational Knuckle Mounting System**

*Designed for use with LED transformer. **The 360SL cost is always included in the price of LPM, LPM dual and Power Canopy.

B-K LIGHTING MADE IN THE USA 558-438-5890 | INFO@BKLIGHTING.COM | BKLIGHTING.COM

F1 ✪ FIXTURE TYPE I: WALL LIGHTS AT CONCRETE RECESSED WALLS

GHOST SQUARE - HORIZONTAL

IP66 RATED

Unique lighting system for wall recessed lighting in exterior applications. The system consists of a series of concrete forming boxes designed to create a cavity in the wall during the concrete forming process. The resulting void in the wall houses the LED light module, which is concealed from view. Designed for low mounting heights with downward asymmetric light distribution. Low luminance with light source recessed inside the luminaire and shielded from all viewing angles.

Luminaire characteristic: Power Input: 4W to 12W, Lumens: up to 55lm (for 3000K, 80CRI), Luminaire efficacy: Up to 60lm/W

Source: White LED module (LM-80) 3000K: 80CRI, 4000K: 80CRI, 70% of initial lumens at 50 000 hours (L70) (LMF79)

Lumen maintenance: Downward Asymmetric

Optic: Downward Asymmetric

Material: Body: Die-cast, Diffuser: Toughened glass, Recessed housing: Polypropylene

Mounting: Wall recessed cast in concrete. Supplied with a two part housing installation kit, anchor screws, bolts, locking system and adhesive template to ensure perfect alignment when installing. Connections to be done inside the back box.

Electrical: See remote power supply options on page 6.

Finish: Concrete

Weight: 1.8 lbs (0.8 kg) to 3.97 lbs (1.8 kg)

Warranty: 5 year limited warranty

Rating: IP65, IK06

Certification: cULus listed for Wet location

SISTEMALUX

F6 ✪ FIXTURE TYPE VI: PATH LIGHT

HUNZA Walkway Lite PURE LED

Specifications:

- LED Chip: Cree XP-G-3 Plug and Play field replaceable LED board
- Luminaire Output: 120 Lumens @ 700mA (2 watts), delivered from luminaire with unobstructed beam.
- Lumens Per Watt: 60 Lumens minimum @ 4 watts, delivered from luminaire with unobstructed beam.
- CRI (3600K): 85+ Standard, 60+ Optional
- Colour Temperatures: 2700K, 3000K, 4000K
- Beam Angles: Asymmetric
- Ingress Protection: IP24
- Warranty: Electronics = 5 years, Body Cop/SS = 10 years
- Standards: AS/NZS 61048, IAS 1938, 2108, CSA C22.2 No.250.7, No.250.0-08 CE

PRODUCT CONFIGURATION

Cat. No. WWL

Luminaire Power Material/Finish Beam Colour Accessories

Series, Remote Driver, Integral Driver, Retro Driver, Solid Copper, Stainless Steel, Asymmetric, 2700K, 3000K, 4000K, 3000K, 90+ CRI, Flange Mount, Cable Joint Kit, Super Spike

Warranty: Electronics = 5 years, Body Cop/SS = 10 years

Standards: AS/NZS 61048, IAS 1938, 2108, CSA C22.2 No.250.7, No.250.0-08 CE

ADDITIONAL COMMENTS:

Please click for Hunza Power Supply selection Chart. Please click for Hunza Voltage Drop Chart.

HUNZA PURE OUTDOOR LIGHTING

HUNZA FACTORY: 130 Fulton Avenue East, Auckland 1072, New Zealand

INTERNATIONAL CONTACTS: 130 Fulton Avenue East, Auckland 1072, New Zealand

F4 ✪ FIXTURE TYPE IV: TREE DOWN LIGHT BRONZE FINISH

auroraLight TS-HD TREE STRAP

The TS-HD Tree Strap Heavy-Duty, part of a robust offering from AuroraLight, is a pastiche fixture mounting system making it ideal for use on valuable specimen trees. The TS-HD is machined from Solid Brass for durability and features a nylon base with multiple wire exit ports. The TS-HD supports luminaires up to 5.5lb in weight and is supplied with two UV stabilized EPDM rubber straps to hold the luminaire firmly; no tools are required. At the same time, the highly elastic material allows for unobstructed tree growth. For easy and safe installation, pre-wire the luminaires on the ground, and use the supplied stainless-steel retention clip to hold connectors inside each brass fitting.

ORDERING GUIDE: TS-HD (T) TREE S (STRAP) H (HEAVY) D (DUTY)

FIXTURE ATTACHMENT: [12] 1/2" (NPS) Universal Threaded Hole, [AMS] Aurora Mount System, Features 360° rotational swivel to the HSL Series, LSLR, LSL10, LQSL, LWW Series & SLX16

STRAP LENGTH: [22] 22", [36] 36"

FINISH: [NAT] Natural, [BLP] Bronze Living Patina, [BLP-XD] BLP Extra Dark, [NI] Nickel PVD

SUITABLE FOR THESE FIXTURES: (WEIGHT LIMIT 5.5LBS)

LSL-12-1b, LSL-1-250b, LSL10-1.50b, HSL11-2.50b, SLX16-2.50b, LQSL-2.50b, LWW-30b, HSL16-5.50b

F2 ----- FIXTURE TYPE II: FLEXIBLE TAPE LIGHT AT STAIRS & BENCHES

Q-TRAN LED IP67

2.6 Watts Per Foot WET RATED

IP67 2.6 Watts Per Foot WET RATED

COMPATIBLE EXTRUSIONS: IQA-WIDE, IQA-SQUR, IQA-45DW, IQA-45CW

IP67 Lead Wire

NOTE: Cutting sections of LED tape allows for changes in the field. 2.6 watts per ft = cut every 6.55". Lead wires comes standard on all LEDs in 18" (18/2 AWG) (longer leads are available upon request).

Q-TRAN LED

© 2015, Q-Tran Inc. 155 Hill St. Milford, CT 06460. All rights reserved - P: 203-367-8777 - F: 203-367-8771 - E: sales@q-tran.com - www.q-tran.com

This page intentionally left blank.