

Exhibit A

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DRAFT RESOLUTION

Before the Housing and Community Development Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of:

LOWELL (PLN180180-AMD1)

RESOLUTION NO.

Resolution by the Monterey County HCD Chief of Planning:

- 1) Finding that this Minor and Trivial Amendment is consistent with the previously considered Multi-Site Cannabis Initial Study/Mitigated Negative Declaration (IS/MND) and Addendum (HCD-Planning File No. REF150048), per California Environmental Quality (CEQA) Guidelines Section 15164; and
- 2) Approving a Minor and Trivial Amendment to a previously approved Administrative Permit (PLN180180) to allow distribution and third-party processing of cannabis.

[PLN180180-AMD1, Lowell SR LLC, 20800 Spence Rd., Salinas, Greater Salinas Area Plan (APN: 137-021-033-000)]

The LOWELL application (PLN180180-AMD1) came on for an administrative decision hearing before the Monterey County HCD Chief of Planning on September 21, 2022. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County HCD Chief of Planning finds and decides as follows:

FINDINGS

- 1. FINDING: PROCESS REQUIREMENTS** – The County has received and processed an amendment to PLN180180.
EVIDENCE:
 - a) On April 22, 2021 the Monterey County Chief of Planning approved Resolution No. 21-015 approving an Administrative Permit to allow commercial cannabis cultivation, manufacturing, and distribution operations within existing greenhouse and warehouse buildings.
 - b) On February 15, 2022, an application for an Amendment (PLN180180-AMD-1) to the previously approved Administrative Permit (Resolution No. 21-015) was submitted. This Amendment will allow for the 3rd party processing and distribution to occur.
- 2. FINDING: CONSISTENCY** – The project and/or use, as conditioned and mitigated, is consistent with the 2010 Monterey County General Plan, Greater Salinas Area Plan, and the requirements of the Title 21 Zoning Ordinance, including Chapter 21.67 (Commercial Cannabis Activities),

Chapter 21.70 (Administrative Permits) and other County health, safety and welfare ordinances related to land use development.

- EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the 2010 Monterey County General Plan;
 - Greater Salinas Area Plan; and
 - Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) This project involves an amendment to a previously approved Administrative Permit (PLN180180, Resolution No. 21-015) for establishment of a commercial cannabis operation. The prior application did not contemplate 3rd party distribution or 3rd party processing.
- c) Allowed Use. The property is located at 20800 Spence Road in Salinas, within the Greater Salinas Area Plan. The parcel is zoned Heavy Industrial, with a Building Site overlay, and a minimum building site of 5 acres or “HI/B-5 5 AC Min”, which allows indoor, mixed-light cultivation, volatile manufacturing, subject to the issuance of an Administrative Permit. Therefore, the project is an allowed land use for this site.
- d) Operating Permit and Existing Conditions of Approval. This amendment allows 3rd party cannabis distribution to be incorporated within the allowed indoor cultivation, volatile manufacturing and associated uses as approved by the original permit. The original permit shall be the operating permit and this amendment shall be incorporated by reference. Compliance with conditions approved under Resolution No. 21-015 shall apply to this amendment. As such, ongoing cannabis related conditions (Condition 5 – Operational Compliance Inspections; Condition 6 – Inspection of Records; Condition 8 – Grounds for Revocation; Condition 9 – Compliance with Operations Plans; and Condition 10 – Odor Control) shall apply to this amendment. In compliance with Condition 7 – Commercial Cannabis Permit, the Commercial Cannabis Business Permit (CNB210001) shall either be amended to include 3rd party cannabis distribution or an additional business permit shall be obtained.
- e) Conditions of Approval. Standard conditions of approval have been incorporated in this amendment (Condition 1 – Specific Uses; Condition 2 – Permit Approval Notice; and Condition 3 – Indemnification Agreement). Due to the increased ingress and egress on the subject property resulting from a 3rd party cannabis distribution use, Condition 4 – Drainage and Condition 5 – Driveway Improvements have been incorporated in this amendment. See Finding 4, Evidence “c”.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN180180 and PLN180180-AMD1.

- 3. FINDING: SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) County staff reviewed all submitted materials and concluded that there are no physical or environmental constraints that would indicate the project property is not suitable for the proposed use and development.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN180180 and PLN180180-AMD1.

- 4. FINDING: HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) The Monterey County Health Department reviewed the amended application and found that the existing drinking, sewer, and operational capacities are sufficient to satisfy County standards.
 - c) HCD-Engineering Services had identified that the amendment would increase vehicle trips in and out of the property. Based on the existing conditions of the driveway approach onto Spence Road, Condition 4 – Drainage and Condition 5 – Driveway Improvements have been incorporated in this amendment. Compliance with these conditions require the property owner to restore roadside drainage ditches and culverts along Spence Road so that they are fully functioning and to improve the existing driveway and roadway connection to Spence Road.
 - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN180180 and PLN180180-AMD1.

- 5. FINDING: NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on July 12, 2022 and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN180180 and PLN180180-AMD1.

6. FINDING: CANNABIS DISTRIBUTION – The distribution facility meets the required findings for approval of a cannabis distribution facility set forth in Title 21 section 21.67.080.C.

- EVIDENCE:**
- a) The project complies with all state and county requirements. Operational plans including security measures, track and trace programs, monitoring and reporting requirements, packaging and labeling standards, sustainability measures, and other relevant information are proposed to address regulatory requirements.
 - b) The project is not located within a 600 foot radius of a school providing instruction in kindergarten or any grades 1 through 12, a child care center, a youth center, a playground, or a drug recovery facility that is in existence at the time of approval of this permit. The closest school is Alondra Baptist School, located over 4.3 miles southwest of the subject property. The closest public park is Spreckels Memorial Park, located approximately 4.6 miles northwest of the subject property. The closest drug recover facility is Windsor Gardens Rehabilitation Center of Salinas, located over 5.3 miles northwest of the subject property.
 - c) The project will not result in unavoidable impacts on the environment. See Finding 7.
 - d) Plans for the distribution facility demonstrate proper protocols and procedures that address the federal enforcement priorities for cannabis activities including providing restrictions on access to minors, prohibiting use or possession of firearms for security purposes at the premises, and ensuring that cannabis and cannabis products are obtained from and supplied only to other permitted licensed sources within the state.
 - e) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN180180 and PLN180180-AMD1.

7. FINDING: CEQA – In accordance with CEQA Guidelines Section 15164(d), the Chief of Planning considered the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration and Addendum prior to approving the project. The Chief of Planning finds that an Amendment to a the previously approved Administrative Permit (PLN180180, Resolution No. 21-015) does not cause substantial changes to the project and that there are no substantial changes in circumstance or new information of substantial importance that would require major revisions to the adopted Multi-Site Cannabis Initial Study/Mitigated Negative Declaration (IS/MND).

- EVIDENCE:**
- a) The IS/MND for the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration (HCD-Planning File No. REF150048), adopted by the Board of Supervisors on November 17, 2020 (Board of Supervisor Resolution No. 20-381), evaluated potential cumulative effects of 45 sites that proposed to cultivate cannabis within existing greenhouses or industrial buildings.
 - b) An Addendum to the IS/MND was prepared pursuant to CEQA Guidelines, Article 11, Section 15164. Monterey County HCD-Planning, as the lead agency prepared the Addendum to the previously approved IS/MND to make minor changes to Mitigation Measure TRA-1. The amended language specifies that construction of the intersection improvement is the responsibility of the owner, applicant, and/or cannabis operator(s) instead of the County and that the compliance action would be specified in a binding agreement between the County and the owner, applicant, and/or cannabis operator(s). As amended, the mitigation remains consistent with the requirement to improve the Old State Road/Spence Road intersection, but allows flexibility in who is responsible to construct the improvement and when completion of the improvement will occur. Therefore, the amendment to mitigation measure TRA-1 does not present a substantial change to identified environmental impacts previously discussed and addressed in the ISM/MND. Mitigation Measures TRA-1 (as amended), TRA-2 and TRA-3 have been incorporated as conditions of approval with Resolution No. 21-015. TRA-1 (Condition 11) and TRA-3 (Condition 13) have been deemed to be not applicable based on Appendix H of the Traffic Impact Study prepared for the Multiple Cannabis Cultivation Facilities Initial Study. TRA-2 (Condition 12) was met as of January 27, 2022.
 - c) Pursuant to Section 15168(c)(4) of the CEQA Guidelines, there is no new information of substantial importance that was not acknowledged when the IS/MND adopted. According to CEQA Consistency Checklist for Cannabis Cultivation Facilities (attached to this resolution and incorporated herein by reference), no substantial changes occur with respect to the circumstances under the IS/MND. The proposed project was analyzed and mitigated, as required in the previously identified in the adopted IS/MND and Addendum.
 - d) As demonstrated in preceding Evidence “b”, an Addendum has been prepared to make minor changes to Mitigation Measure TRA-1. This change does not constitute a substantial modification that would require major revision to the previously adopted IS/MND. Pursuant to Section 15162 of the CEQA Guidelines, a subsequent or supplemental IS/MND for the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration is not required.
 - e) The Chief of Planning considered the Addendum, along with the IS/MND prepared and adopted for the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration (SCH No. 2020060325). The HCD-Planning, 1441 Schilling Place, 2nd Floor, Salinas, CA.
 - f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN180180 and PLN180180-AMD1.

- 8. FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.
- EVIDENCE:** Section 21.80.040 of the Monterey County Zoning Ordinance (Title 21) states that an appeal may be heard by the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Consider the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration (IS/MND) and Addendum (HCD-Planning File No. REF150048), per California Environmental Quality Act (CEQA) Guidelines Section 15164; and
2. Approve a Minor and Trivial Amendment to a previously approved Administrative Permit (PLN180180) to allow distribution and third-party processing of cannabis.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 21st day of September, 2022.

Craig Spencer
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON _____

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN180180-AMD1

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Amendment (PLN180180-AMD1) allows the use of the existing cannabis facility for 3rd party processing and distribution in addition to the uses granted by the original Administrative Permit (PLN180180). The property is located at 20800 Spence Road, Salinas (Assessor's Parcel Number 137-021-033-000), Greater Salinas Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A [Type of Permit] (Resolution Number _____) was approved by the HCD-Chief of Planning for Assessor's Parcel Number 137-021-033-000 on September 21, 2022. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management

4. PWSP0001 - DRAINAGE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Restore existing road-side drainage ditches and culverts to full functionality along Spence Road. Fill material must be removed from the bottom of the ditch and kept out of the road right-of-way, subject to the approval of HCD-Engineering Services. The property area alongside the ditch shall be maintained in a manner such that no material from the property will negatively affect the drainage functionality of drainage ditches and culverts.

Compliance or Monitoring Action to be Performed: Prior to Building Issuance Owner/Applicant shall obtain an encroachment permit from HCD-Engineering Services. Improvements are to be completed prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

5. PWSP0002 - DRIVEWAY IMPROVEMENTS

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Applicant/Owner improve the existing roadway connection/pavement to Spence Road.

Compliance or Monitoring Action to be Performed: Prior to Building Issuance Owner/Applicant shall obtain an encroachment permit from HCD-Engineering Services. Improvements are to be completed prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances

Lowell SR LLC

Land Use Permit

20800 Spence Road

Salinas, CA 93908

GENERAL NOTES:

- Drainage to be a minimum of 5% away from house for a minimum of 10 feet.
- All cut/fill slopes shall be 2:1 or flatter. Compaction shall be a minimum of 90.
- All grading shall conform with Monterey County Grading Ord. #2535 and Erosion Control Ord. #2806.
- Erosion control measures shall be in place at the end of each working day between Oct. 15 and April 15. Disturbed surfaces not involved in the immediate operations must be protected by mulching and/or other effective means of soil protection. All roads and driveways shall have drainage facilities sufficient to prevent erosion on or adjacent to the roadway or on the downhill properties. Runoff from the site shall be detained or filtered by berms, vegetated filter erosion on or adjacent to the strips, and/or catch basins to prevent the escape of sediment from the site. Drainage control measures shall be maintained and in place at the end of each day and continuously throughout the life of the project during winter operations.
- No person may tap into any fire hydrant for any purpose other than fire suppression or emergency aid, without first obtaining written approval from the water purveyor supplying water to the hydrant and from the Monterey County Health Department. (Section 6(f)), Ord. 3522).
- All hoses used in connection with any construction activities shall be equipped with a shutoff nozzle. When an automatic shutoff nozzle can be purchased or otherwise obtained for the size or type of hose in use, the nozzle shall be an automatic shutoff nozzle. (Section 6(k), Ord. 3522).
- No potable water may be used for compaction or dust control purposes in construction activities where there is a reasonably available source of reclaimed or other sub-potable water approved by the Monterey County Health Department and appropriate for such use. (Section 6(k), Ord. 3522).
- The use of solders containing more than two-tenths of 1 percent lead in making joints on private or public water supply systems is prohibited. (SB 164).
- In all new construction (including additions and remodels) Water Closets, either flush tank, flushometer tank, or flushometer valve operated, shall have an average consumption of not more than 1.28 gpt. Shower heads to have a max flow of 2.0 gpm. Laboratory faucets to have a max flow of 1.5 gpm. kitchen faucets to have a max flow of 1.8 gpm. All hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system. (Section 6(q), Ord. 3522).
- The use of plumbing pipelines as an electrical ground is prohibited. SB 164 is prohibited. (sb 164)
- Provide an access panel (min. 12"x12") or utility space for all plumbing fixtures having slip joint connections.
- Gas line sizing plans to be provided by the contractor prior to inspection.
- Construction Waste Management: Recycle and/or salvage for re-use a minimum of 65% of the non-hazardous construction and demolition waste in accordance with the California Green Building Standards, Section 4.408.1

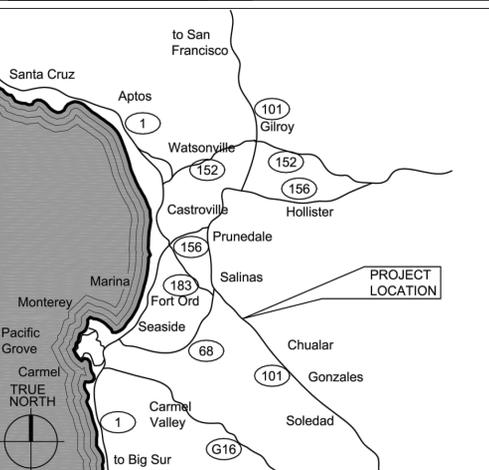
CONDITIONS OF APPROVAL:

PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (RMA - Planning)

ABBREVIATIONS:

Ø AT	FIN. FINISH	PT. POINT
Ø DIAMETER	FLR. FLOOR	PTDF PRESSURE TREATED DOUGLAS FIR
# POUND OR NUMBER	FLASH. FLASHING	RAD RADIUS
A.B. ANCHOR BOLT	FLUOR. FLUORESCENT	REF REFERENCE OR REFRIGERATOR
A.C. ASPHALT CONCRETE	F.O.C. FACE OF CONCRETE	REINF. REINFORCED
ACOUS. ACOUSTICAL	F.O.F. FACE OF FINISH	REQ. REQUIRED
ADJ. ADJUSTABLE	F.O.S. FACE OF STUD	RESIL. RESILIENT
AGG. AGGREGATE	F.T. FOOT OR FEET	RET. RETAINING
APPROX. APPROXIMATE	FTG. FOOTING	RM. ROOM
ARCH. ARCHITECTURAL	FURR. FURRING	R.O. ROUGH OPENING
A.S. ASPHALT SURFACE	GA. GAUGE	RWD REDWOOD
BD BOARD	GALV. GALVANIZED	S SOUTH
BLDG. BUILDING	G.B. GRAB BAR	S.B. SOLID BLOCKING
BLK BLOCK	GFI GROUND FAULT INTERRUPTER	SC SOLID CORE
BLCKG BLOCKING	GL GLASS	SCHED. SCHEDULE
BM BEAM	GLB GLUE LAMINATED BEAM	SECT SECTION
CEM CEMENT	GND GROUND	SHT. SHEET
CLS. CEILING	GR. GRADE	SPEC SPECIFICATION
CL CLOSET	GYP GYPSUM	SQ. SQUARE
CLR. CLEAR	H.B. HOSE BIB	STD. STANDARD
C.O. CLEAN OUT	HC HOLLOW CORE	STL. STEEL
COL. COLUMN	H.C. HANDICAPPED	STR. STRUCTURAL
CONC. CONCRETE	HDR. HEADER	SUSP. SUSPENDED
CTR. CENTER	H.M. HOLLOW METAL	T & G TONGUE AND GROOVE
d PENNY	HORIZ. HORIZONTAL	T.O.C. TOP OF CONCRETE
DBL DOUBLE	HTR. HEATER	T.O.F. TOP OF FOOTING
DET DETAIL	HT. HEIGHT	T.O.P. TOP OF PAVEMENT
D.F. DOUGLAS FIR	INSUL. INSULATION	T.O.W. TOP OF WALL
DIA. DIAMETER	J.H. JOIST HANGER	TYP. TYPICAL
DN. DOWN	MAX. MAXIMUM	U.O.N. UNLESS OTHERWISE NOTED
DM. DIMENSION	MIN. MINIMUM	VERT. VERTICAL
DR. DOOR	MISC. MISCELLANEOUS	W WEST
DWG. DRAWING	MTD. MOUNTED	W/ WITH
(E) EXISTING	(N) NEW	W/IN WITHIN
E EAST	N NORTH	W.C. WATER CLOSET
EA. EACH	N.I.C. NOT IN CONTRACT	WD. WOOD
ELEC. ELECTRICAL	N.T.S. NOT TO SCALE	W/O WITHOUT
E.N. EDGE NAILING	O.V. OVER	WP. WATERPROOF
EQ. EQUAL	O.C. ON CENTER	WT. WEIGHT
EQPT. EQUIPMENT	OPP. OPPOSITE	W.W.M. WELDED WIRE MESH
EXT. EXTERIOR	PLAS. PLASTER	
FN. FOUNDATION	PLYWD. PLYWOOD	
F.G. FINISH GRADE		

LOCATION MAP:



VICINITY MAP:



FIRE DEPT. NOTES:

ROAD ACCESS
Access roads shall be required for every building when any portion of the exterior wall of the first story is located more than 150 feet from fire department access. All roads shall be constructed to provide a minimum of two nine-foot traffic lanes with an unobstructed vertical clearance of not less than 15 feet. The roadway surface shall provide unobstructed access to conventional drive vehicles including sedans and fire apparatus and shall be an all-weather surface designed to support the imposed load of fire apparatus (22 tons). Each road shall have an approved name.

FIRE PROTECTION EQUIPMENT & SYSTEMS
Existing fire sprinkler systems in buildings undergoing remodeling and/or additions shall be extended or modified to provide protection to the remodeled/added areas. Installation, approval, and maintenance shall be in compliance with the applicable National Fire Protection Association and/or California Building Standards, the edition(s) of which shall be determined by the enforcing jurisdiction. Plans for fire sprinkler system changes must be submitted and approved prior to installation. In the event the remodel/addition does not require extension or modifications of the existing fire sprinkler system, a letter to that effect from the Fire Sprinkler Contractor shall be provided to the Fire Code Official prior to requesting a framing inspection. Rough-in inspections must be completed prior to requesting a framing inspection.

FIRE ALARM SYSTEM
The existing building is fully protected with an approved central station, proprietary station or remote station automatic fire alarm system as defined by National Fire Protection Association Standard 72. The existing fire alarm system shall be extended/modified to accommodate the remodeled/added areas. Plans and specifications for the fire alarm system must be submitted and approved by the enforcing agency prior to requesting a framing inspection. In the event the remodel/addition does not require extension or modifications of the existing fire sprinkler system, a letter to that effect from the Fire Sprinkler Contractor shall be provided to the Fire Code Official prior to requesting a framing inspection. All fire alarm inspections and acceptance testing shall be done in accordance with NFPA 72.

FIRE ALARM SYSTEM
Manage combustible vegetation from within 100 feet of a structure, or to the property line, whichever is closer. Trim tree limbs to a minimum height of 6 feet from above the ground. Remove tree limbs from within 10 feet of chimneys. Additional and/or alternate fire protection or fire breaks approved by the Fire Code Official may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection to be determined by the Fire Code Official and the Director of the Resource Management Agency.

ADDRESSES FOR BUILDINGS
All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be visible and legible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance.

PORTABLE FIRE EXTINGUISHERS
Portable fire extinguishers shall be installed and maintained per California Fire Code Section 906. Extinguisher locations shall be shown on the construction plans.

EMERGENCY ACCESS KEY BOX
The existing emergency access key box ("Knox Box") shall be installed and maintained with current keys. The type and location shall be approved by the fire department. The Fire Department shall be notified when locks are changed so that the emergency access key box can be updated with current keys.

Emergency Access Products from the Knox Company are required as follows:
Knox key switch at all electric emergency access gates.
Knox key box on the location to be approved by the Fire District for storing keys to the buildings. One such location could be the security guards kiosk at the main entrance to the property.

All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to travel on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one way road with a single traffic lane provides access to a gated entrance, a 40 foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required.

FIRE SUPPRESSION SYSTEMS WATER REQUIREMENTS:
Metal Building (Offices, Warehouse, Break Room) approx. 25'-0" at ridge and 22'-9" at eaves.
Maximum storage with racks shall be 20'-0" high
Maximum spacing per sprinkler is 100 sq. ft.
Density at 20'-0" rack storage with overhead sprinklers only, and 4'-0" aisles will be .32/200 sq. ft.

PROJECT INFORMATION:

PROJECT: 20800 SPENCE LLC
ADDRESS: 20800 SPENCE RD, SALINAS, CA 93908
APN: 137-021-033-000
GENERAL LAND PLAN DESIGNATION: COUNTY OF MONTEREY GENERAL PLAN
PARCEL SIZE: 5.0 ACRES (217,800 S.F.)
TREE REMOVAL: NONE
DESCRIPTION OF USE: CANNABIS PROCESSOR, DISTRIBUTOR, CULTIVATION, OFFICES, STORAGE
CODE GROUPS: CBC, CEC, CMC, CPC, CEiC, CBSC & CFC
OCCUPANCY: B, S-1, F-1
TYPE OF CONST: II-B
FIRE SPRINKLERS: NFPA13R AUTO SPRINKLER SYSTEM
BUILDING HEIGHT: SINGLE STORY
ZONING: HI
ALLOWABLE HEIGHT: SEE SHEET A02

CONSTRUCTION NOTES:

- General Contractor shall verify all conditions and dimensions at job site.
- All construction work must conform to current local codes, building & health authorities. General Contractor agrees by accepting contract and starting work that he shall assume sole and complete responsibility for job site conditions during the course of construction, including but not limited to safety of all persons and property. This requirement shall apply continuously and not be limited to normal business hours. Contractor shall defend, indemnify, and hold the Owners, Designers, Engineers, and Landlords harmless from any and all liabilities, real or alleged, in connection with the performance of work on this project. Contractor shall show proof of Worker's Compensation Insurance as required prior to issuing a building permit.
- Additional on site fire protection during construction to be provided as required by Fire Inspector or Department. Maintain existing fire sprinkler system if applicable to this project. All materials stored on site shall be properly stacked and protected to prevent damage and deterioration until use. Failure to protect materials may result in the rejection of work. General Contractor and Sub-Contractors shall be responsible for locating, maintaining, relocating, and/or removing existing utilities.
- General Contractor to provide larger stud walls as required for installation of plumbing, electrical, and/or structural items, etc. Verify with Designer in writing prior to making changes.
- Existing materials on demising or partition walls shall be removed by General Contractor to allow installation of new work; such as electrical outlets, plumbing lines, etc. After work has been tested completed, inspected and approved, walls shall be covered with 1/2" type "X" gypsum board fire taped and prepared for new finishes. All workmanship and materials are subject to the approval of the Designer and/or Owner.
- Each trade shall be responsible for wall or roof penetrations pertaining to the installation of their own equipment, vents, conduit, etc. to include flashing and caulking for a water tight installation. All openings to be approved by Designer and/or Structural Engineer.
- Contractor shall protect all existing site conditions not scheduled for removal or modification during construction. Any damage to existing conditions shall be covered at Contractor's expense.
- Verify all site conditions, dimensions, and grades prior to start of work. If any discrepancies exist between actual and drawings, notify Designer in writing immediately.
- The drawings, details, schematics and notes contained in the plans are intended to describe the project sufficiently, by reference or implication, and do not represent to show or include every specific item which may be necessary to complete this project.

PARKING:

EXISTING PARKING SPACES: 110
VAN ACCESSIBLE SPACES: 8

CODE COMPLIANCE:

THIS PROJECT TO COMPLY WITH THE FOLLOWING CODES:
2019 California Administrative Code (CAC), Part 1, Title 24, California Code of Regulations (C.C.R.)
2019 California Building Code (CBC), Part 2, Title 24 C.C.R.
2019 California Energy Code (CEC), Part 25, Title 24 C.C.R.
2019 California Electrical Code (CEC), Part 3, Title 24 C.C.R.
2019 California Existing Building Code (CEBC), Part 4, Title 24 C.C.R.
2019 California Fire Code (CFC), Part 5, Title 24 C.C.R.
2019 California Green Building Code (CALGreen), Part 11, Title 24 C.C.R.
2019 California Mechanical Code (CMC), Part 4, Title 24 C.C.R.
2019 California Plumbing Code (CPC), Part 5, Title 24 C.C.R.
2019 California Energy Code (CEC), Part 6, Title 24 C.C.R.
2019 California Historical Code (CHC), Part 8, Title 24 C.C.R.
2019 California Fire Code (CFC), Part 9, Title 24 C.C.R.
2019 California Existing Building Code (CEBC), Part 10, Title 24 C.C.R.
2019 California Green Building Code (CALGreen), Part 11, Title 24 C.C.R.
2019 California Referenced Standards Code, Part 12, Title 24 C.C.R.
Title 19 C.C.R., Public Safety, State Fire Marshal Regulations
2019 NFPA 13 Automatic Sprinkler Systems (Ca Amended)
2019 NFPA 72 National Fire Alarm & Signaling Code (Ca Amended)

SHEET INDEX:

TITLE	COVER SHEET
A-0.0	TOPOGRAPHICAL MAP
A-0.1	SITE PLAN
A-1.0	BUILDING 'A' FLOOR PLAN
A-1.1	BUILDING 'B' & 'C' MAIN FLOOR PLAN
A-1.2	BUILDING 'B' & 'C' UPPER FLOOR PLAN
A-1.3	BUILDING 'D' MAIN FLOOR PLAN
A-1.4	BUILDING 'D' UPPER FLOOR PLAN
A-1.5	BUILDING 'E' FLOOR PLAN
A-1.6	BUILDING 'F' FLOOR PLAN
A-2.0	BUILDING 'A' ELEVATIONS (PICTURE)
A-2.1	BUILDING 'B' 'C' & 'D' ELEVATIONS (PICTURE)
A-2.2	BUILDING 'E' ELEVATIONS (PICTURE)
A-4.00	BUILDING 'B' & 'C' ELEVATIONS

ENGINEERING

ELECTRICAL

MECHANICAL

PLUMBING

FIRE PROTECTION

TITLE 24

CAL-GREEN

BEST MANAGEMENT PRACTICES

PROJECT SCOPE:

	PLN 180180	PHASE I	PHASE II	PHASE III
BLDG A	Security 1,420 sq.ft.	Security/Office 1,420 sq.ft.	Security/Office 1,420 sq.ft.	Security/Office 1,420 sq.ft.
BLDG B	0 sq.ft. Upper 2,060 sq.ft.	Not built	Not built	0 sq.ft. Upper 2,060 sq.ft.
	0 sq.ft. Lower 2,060 sq.ft.	Employee Break Room 2,060 sq.ft.	Employee Break Room 2,060 sq.ft.	Employee Break Room 2,060 sq.ft.
BLDG C	Processing 19,570 sq.ft.	Processing 27,711 sq.ft.	Processing 20,811 sq.ft.	Processing 20,811 sq.ft.
	Distribution 6,547 sq.ft.	Distribution 0 sq.ft.	Distribution 3,450 sq.ft.	Distribution 3,450 sq.ft.
	Manufacturing 1,594 sq.ft.	Manufacturing 0 sq.ft.	Manufacturing 3,450 sq.ft.	Manufacturing 3,450 sq.ft.
BLDG D	Manufacturing 2,026 sq.ft.	Non-Cannabis Storage 2,026 sq.ft.	Non-Cannabis Storage 2,361 sq.ft.	Manufacturing 2,026 sq.ft.
	Maintenance & Storage 2,361 sq.ft.			
BLDG E	Cultivation 3,457 sq.ft.	Non-Cannabis Storage 3,457 sq.ft.	Non-Cannabis Storage 3,457 sq.ft.	Cultivation 3,457 sq.ft.

	MARK	DESCRIPTION	CONST.	USE	STORIES	BLDG.	(E) AREA	ALT. AREA
A	BUILDING 'A'	SEE ABOVE	IIB	B	1	<-35'-0"	1,420 sf.	
B	BUILDING 'B'	SEE ABOVE	IIB	S1	1	<-35'-0"	2,060 sf.	
C	BUILDING 'C'	SEE ABOVE	IIB	F1	1	<-35'-0"	29,135 sf.	
D	BUILDING 'D'	SEE ABOVE	IIB	F1	2	<-35'-0"	4,387 sf.	
E	BUILDING 'E'	SEE ABOVE	IIB	S1	1	<-35'-0"	3,457 sf.	
F	MODULAR RESTROOM	SEE ABOVE	IIB	B	1	<-35'-0"	<500 sf.	
TOTAL CURRENT BUILDING AREA:							42,519 sf.	

LOT SIZE: 217,800sq (5.0 ACRES)
SITE COVERAGE: 42,519 sf BLDG / 217,800 sf LOT = 19.5%

PROJECT TEAM:

OWNER:
Lowell SR LLC
20800 Spence Rd
Salinas, CA 93908
Phone: 831-236-9283
Email: anand@lowellllc.com
Contact: Anand Menon

DESIGN:
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Del Rey Oaks, Ca 93940
Phone: 831-241-1381
Email: michael@roegnerbuilding.com
Contact: Michael Roegner

ENGINEER:
Keller Engineering PLLC
PO Box 25624
Fresno, Ca 93729
Phone: 805-704-4199
Email: kellerengineeringpllc@gmail.com
Contact: Jeffrey Keller

CIVIL CONSULTANT:
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561A Brunken Avenue
Salinas, Ca 93901
Phone: 831-422-9619
Email: samge@sbcglobal.net
Contact: Sam Grice

ELECTRICAL ENGINEER:
Miracles Unlimited
P.O. Box 1808
Aptos, Ca 95001
Phone: 831-688-8013
Email: Mills@miraclesunlimited.com
Contact: J Mills Miracle

MECHANICAL & PLUMBING ENGINEER:
Zai Engineering
99 Pacific Street Suite 375G
Monterey, Ca 93940
Phone: 831-646-3330
Email: jaim@zaiengineering.com
Contact: Jaime Zaldivar

TITLE 24:
Zai Engineering
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Monterey, Ca 93940
Phone: 805-704-4199
Email: jaim@zaiengineering.com
Contact: Jaime Zaldivar

SURVEYOR:
Monterey Bay Engineers
607 Charles Ave #B
Seaside, Ca 93955
Phone: 831-899-7899
Email: mbayengr@mbay.net
Contact: Arnie Lopez

REVISION

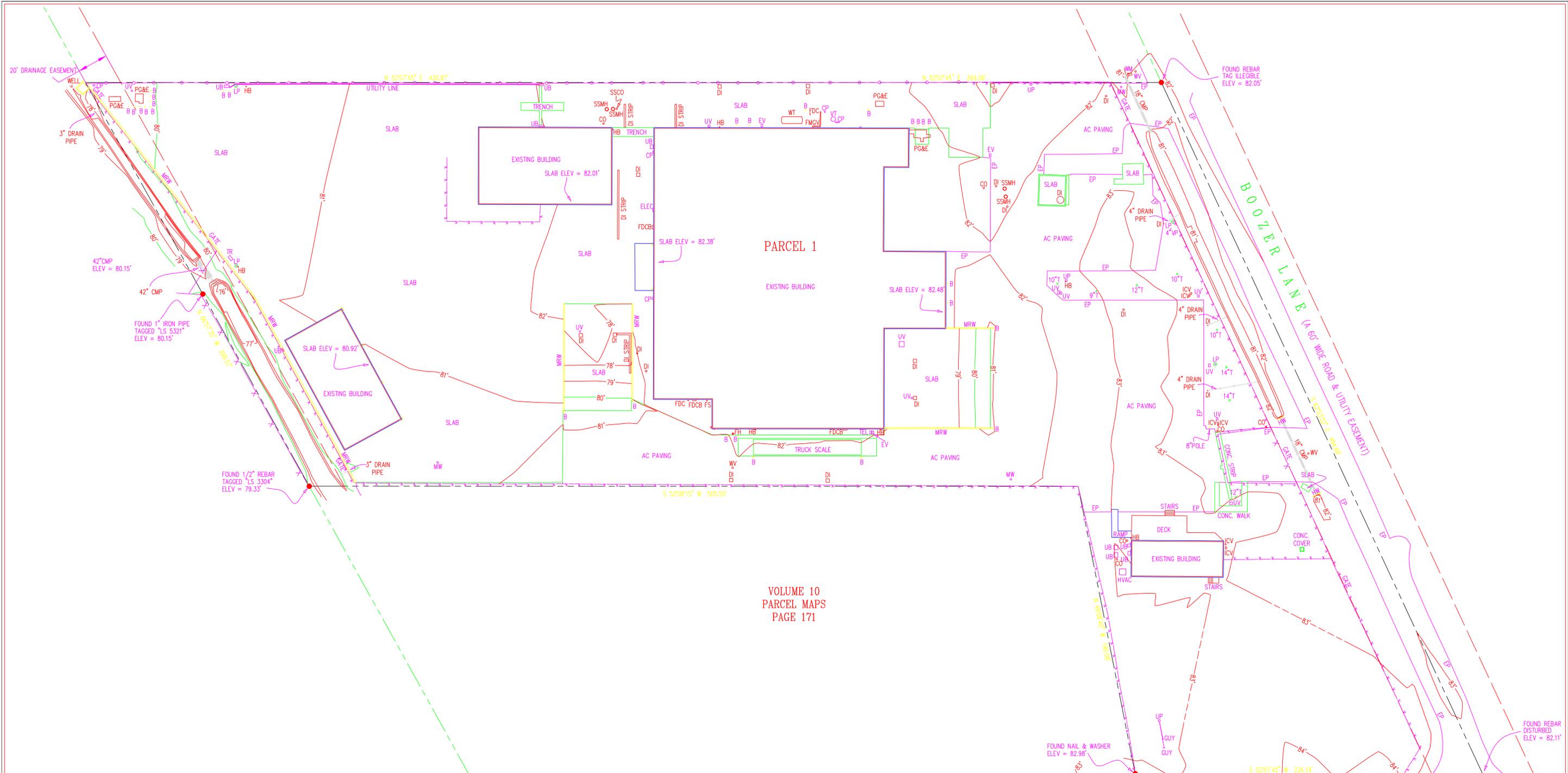
BY

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Land Use Permit for:
Lowell SR LLC
20800 Spence Rd
Salinas, Ca.

DATE: 01/28/22
SCALE: 1/4" per 1'
DRAWN:
JOB:
SHEET:
A-0.1
OF SHEETS

ROEGNER BUILDING & DESIGN
MICHAEL F. ROEGNER
831-241-1381



VOLUME 10
PARCEL MAPS
PAGE 171

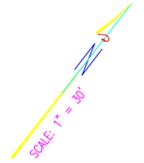
TOPOGRAPHIC SURVEY

OF
PARCEL 1
RANCHO ENCINAL Y BUENA ESPERANZA
VOLUME 11, PARCEL MAPS, PAGE 85

COUNTY OF MONTEREY STATE OF CALIFORNIA
PREPARED FOR
C QUADRANT, LLC

BY
MONTEREY BAY ENGINEERS, INC.
CIVIL ENGINEERING • SUBDIVISIONS • LAND SURVEYING • CONSTRUCTION STAKING
607 Charles Ave Suite B Seaside, California 93955
Phone: (831) 899-7899

SCALE: 1" = 30' JOB No. 18-098 NOVEMBER 2018
FIELD: END & CMW DRAWN BY: END



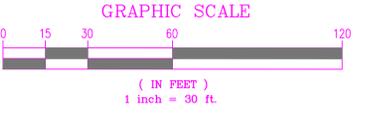
LEGEND:

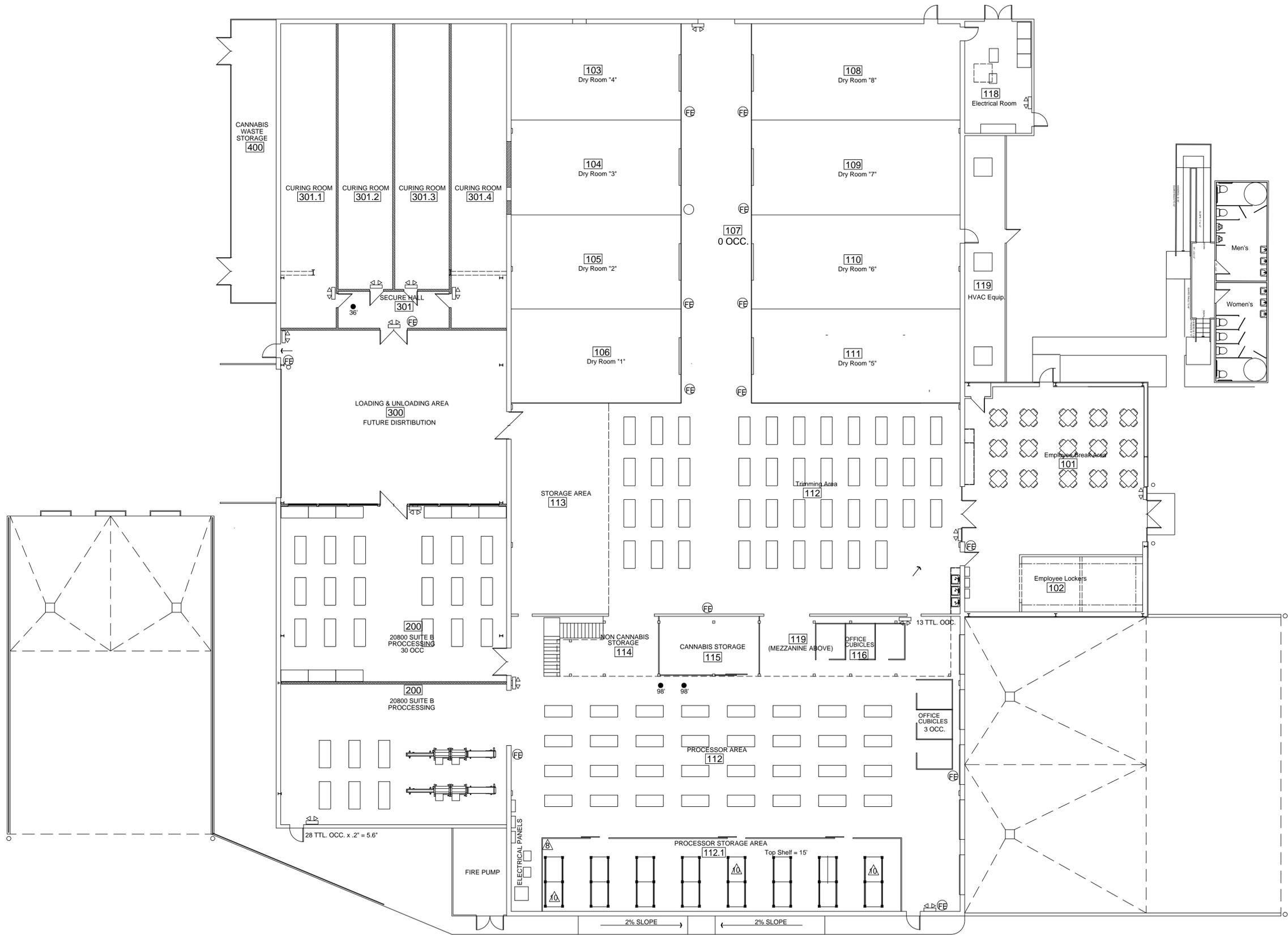
—x—x—	METAL SHEET FENCE
AC	ASPHALTIC CONCRETE
B	BOLLARD
BFP	BACK FLOW PREVENTER
CATV	CABLE TV VAULT
CO	CLEAN OUT
CONC.	CONCRETE
CP	CONTROL PANEL
DI	DROP INLET
ELEC.	ELECTRIC PANEL
ELEV.	ELEVATION
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
EV	ELECTRIC VAULT
FS	FIRE SPRINKLER
FDC	FIRE DEPARTMENT CONNECTION
FDCB	FIRE DEPARTMENT CONNECTION BOX
FFE	FINISHED FLOOR ELEVATION
FH	FIRE HYDRANT
HB	HOSE BIB
HVAC	HEATING, VENTILATION & AIR CONDITIONING
HW	HEADWALL
ICV	IRRIGATION CONTROL VALVE
LP	LIGHT POST
MRW	MASONRY RETAINING WALL
MW	MONITORING WELL
PG&E	PG&E VAULT
SSMH	STORM DRAIN MANHOLE
SSCO	SANITARY SEWER CLEAN OUT
T	TREE, SPECIES NOT SPECIFIED
TR	TRANSFORMER
TEL	TELEPHONE VAULT
UB	UTILITY BOX
UP	UTILITY POLE
UV	UTILITY VAULT
VP	VERTICAL PIPE
VT	VERTICAL TANK
WM	WATER METER
WT	WATER TANK
WV	WATER VALVE

SPENCE ROAD
(A 60' WIDE COUNTY ROAD)

NOTES:

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS.
- DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
- THIS PROPERTY MAY BE AFFECTED BY EASEMENTS THAT ARE NOT SHOWN ON THIS MAP.
- CONTOUR INTERVAL = 1 FOOT.
- ELEVATIONS SHOWN ARE BASED ON NAVD-88 DATUM. THE BENCHMARK IS A US&GS DISC STAMPED "F 1192", NGS ID# GU2208. ELEVATION = 87.29'.

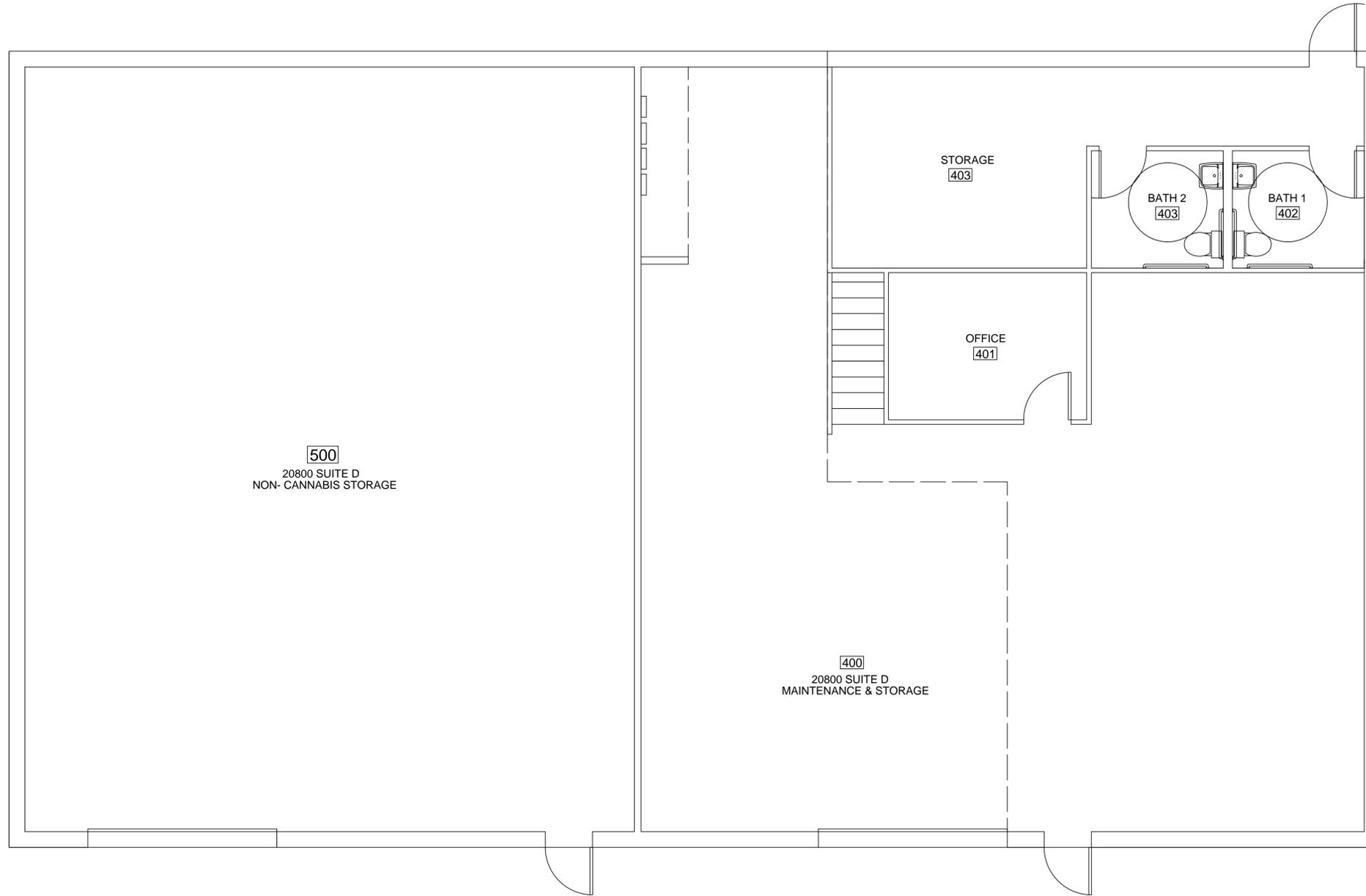




BUILDING "B" & "C" FLOOR PLAN
 SCALE: 3/32" = 1'-0" THIS DRAWING IS REFLECTIVE OF PHASE 1 USE ONLY

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Land Use Permit for:
Lowell SR LLC
 20800 Spence Rd
 Salinas, Ca.



BUILDING "D" LOWER FLOOR PLAN
 SCALE: 1/4" to 1'-0" MAINTENANCE AND STORAGE

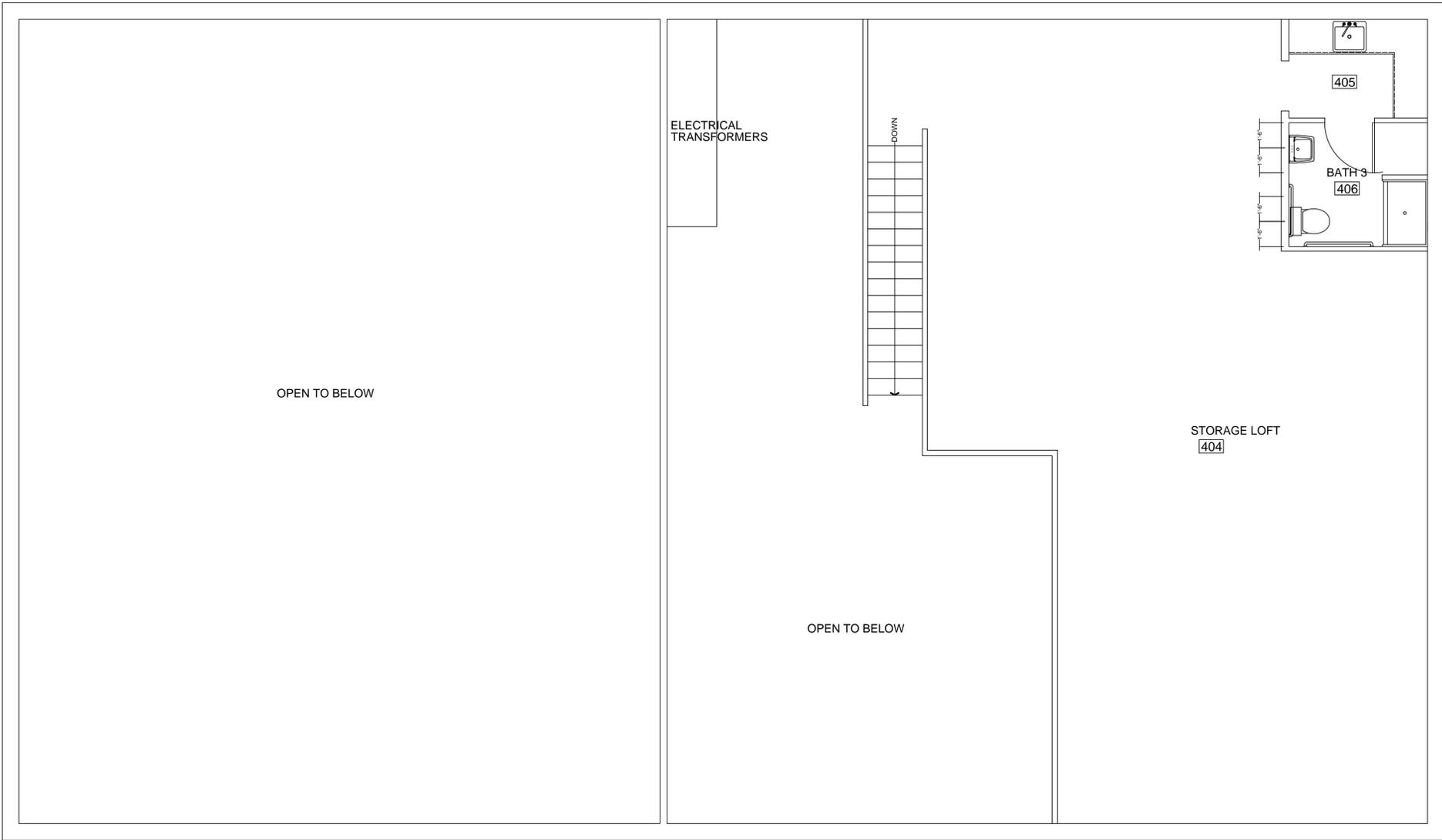
REVISION	BY

ROEYNER BUILDING & DESIGN
 MICHAEL F. ROEYNER
 891 241 1981
 70229

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Land Use Permit for:
Lowell SR LLC
 20800 Spence Rd
 Salinas, Ca.

DATE	01/28/22
SCALE	As Noted
DRAWN	
JOB	
SHEET	A-1.3
OF	SHEETS



BUILDING "D" UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0" MAINTENANCE AND STORAGE

REVISION BY

ROEYNER BUILDING & DESIGN
 MICHAEL F. ROEYNER
 891 241 1981
 10229

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Land Use Permit for:
Lowell SR LLC
 20800 Spence Rd
 Salinas, Ca.

DATE 01/28/22

SCALE As Noted

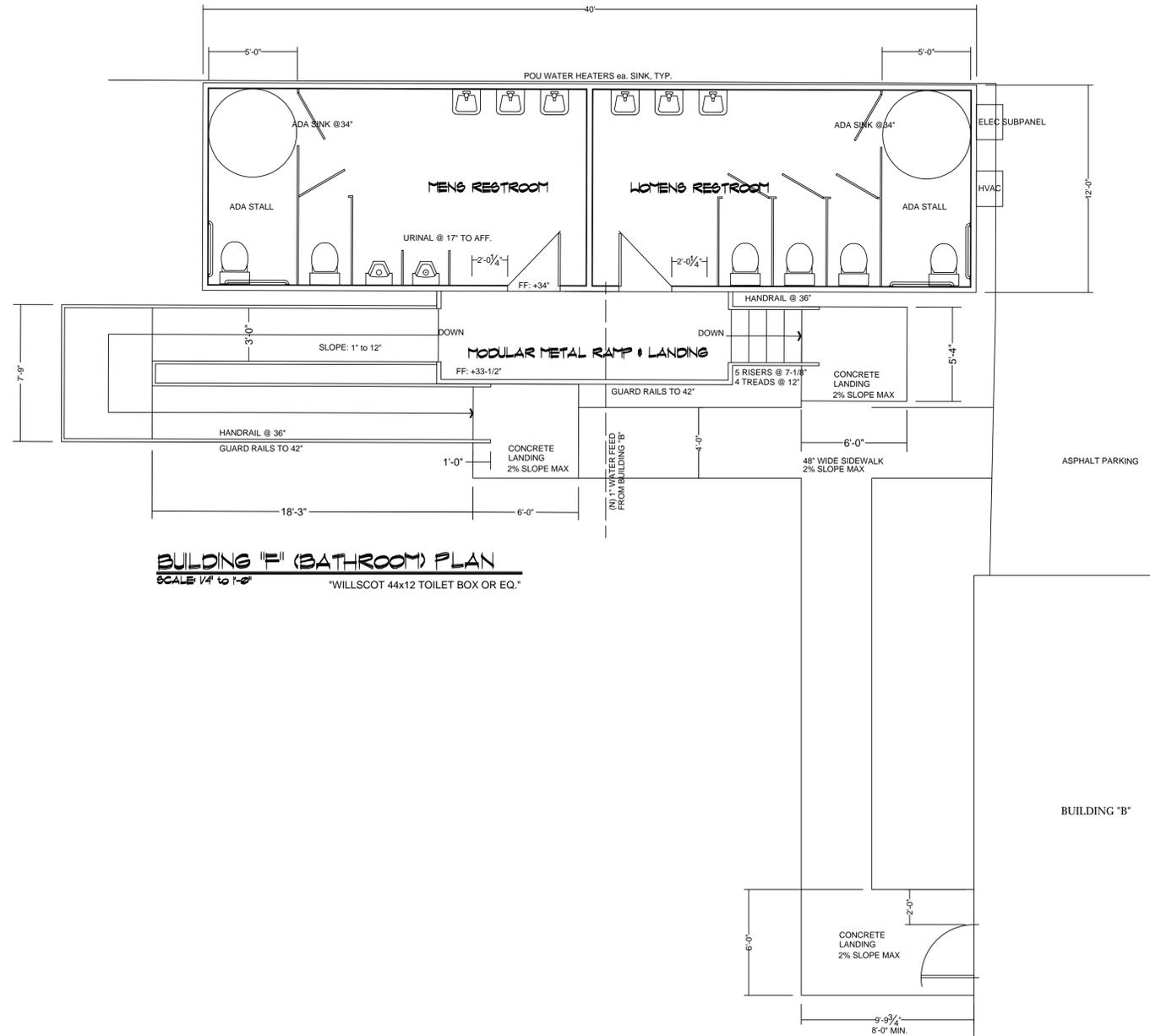
DRAWN

JOB

SHEET

A-1.4

OF SHEETS



BUILDING 'F' (BATHROOM) PLAN
 SCALE: 1/4" = 1'-0"
 WILLSCOT 44x12 TOILET BOX OR EQ.

REVISION	BY

ROEYNER BUILDING & DESIGN
 MICHAEL F. ROEYNER
 831 24 99
 76225

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Land Use Permit for:
Lowell SR LLC
 20800 Spence Rd
 Salinas, Ca.

DATE	01/28/22
SCALE	
DRAWN	
JOB	
SHEET	A1.6
OF SHEETS	



13'-0" +/- BUILDING HEIGHT

BUILDING "A" NORTH ELEV.
SCALE: 1/4" = 1'-0" OFFICES



13'-0" +/- BUILDING HEIGHT

BUILDING "A" EAST ELEV.
SCALE: 1/4" = 1'-0" OFFICES



13'-0" +/- BUILDING HEIGHT

BUILDING "A" SOUTH ELEV.
SCALE: 1/4" = 1'-0" OFFICES

REVISION BY

ROEYNER BUILDING DESIGN
MICHAEL F. ROEYNER 891 241 1981 76229

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Land Use Permit for:
Lowell SR LLC
20800 Spence Rd
Salinas, Ca.

DATE 01/28/22

SCALE As Noted

DRAWN

JOB

SHEET

A-2.0

OF SHEETS



BUILDING "B" & "C" SOUTH EAST ELEV. 26'-0" +/- BUILDING HEIGHT
SCALE: 1/4" to 1'-0"



BUILDING "B" & "C" EAST ELEV. 26'-0" +/- BUILDING HEIGHT
SCALE: 1/4" to 1'-0"



BUILDING "D" SOUTH ELEV. 23'-0" +/- BUILDING HEIGHT
SCALE: 1/4" to 1'-0"



BUILDING "D" EAST ELEV. 23'-0" +/- BUILDING HEIGHT
SCALE: 1/4" to 1'-0"

REVISION BY
ROEYNER BUILDING DESIGN
MICHAEL F. ROEYNER 891 241 989
100229

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Land Use Permit for:
Lowell SR LLC
20800 Spence Rd
Saltinas, Ca.

DATE 01/28/22
SCALE As Noted
DRAWN
JOB
SHEET
A-2.1
OF SHEETS



BUILDING "E" SOUTH ELEV.
SCALE: 1/4" = 1'-0"

18'-6" +/- BUILDING HEIGHT



BUILDING "E" EAST ELEV.
SCALE: 1/4" = 1'-0"

18'-6" +/- BUILDING HEIGHT

REVISION	BY

ROEYNER BUILDING DESIGN
MICHAEL F. ROEYNER 891 241 1981
10229

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Land Use Permit for:
Lowell SR LLC
20800 Spence Rd
Salinas, Ca.

DATE	01/28/22
SCALE	As Noted
DRAWN	
JOB	
SHEET	A-2.2
OF	SHEETS

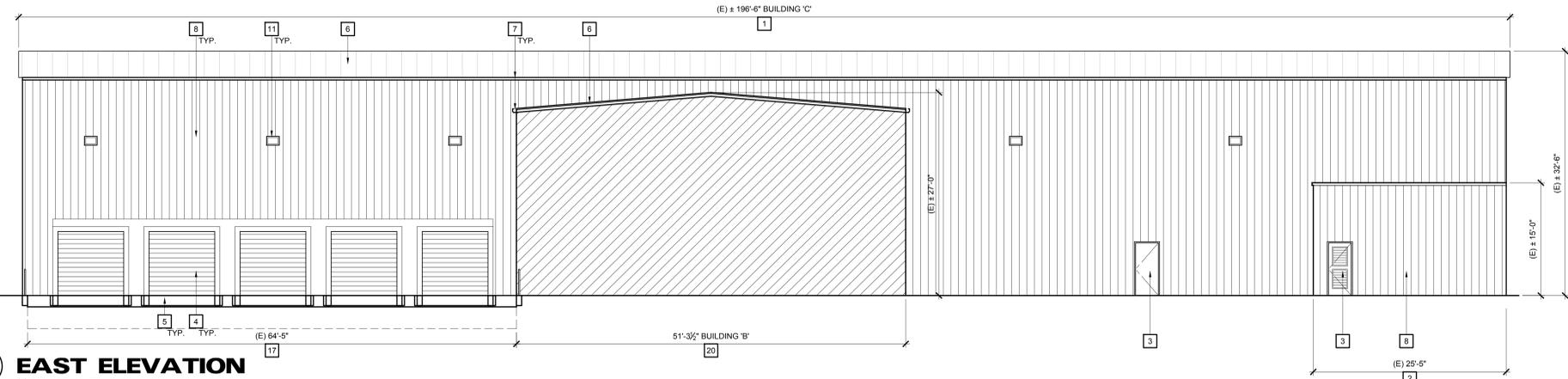
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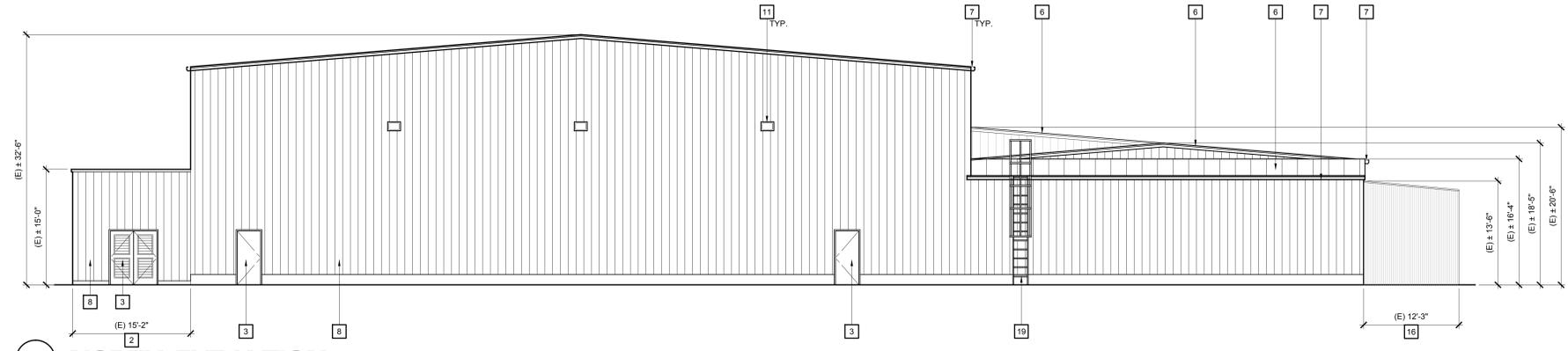
KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

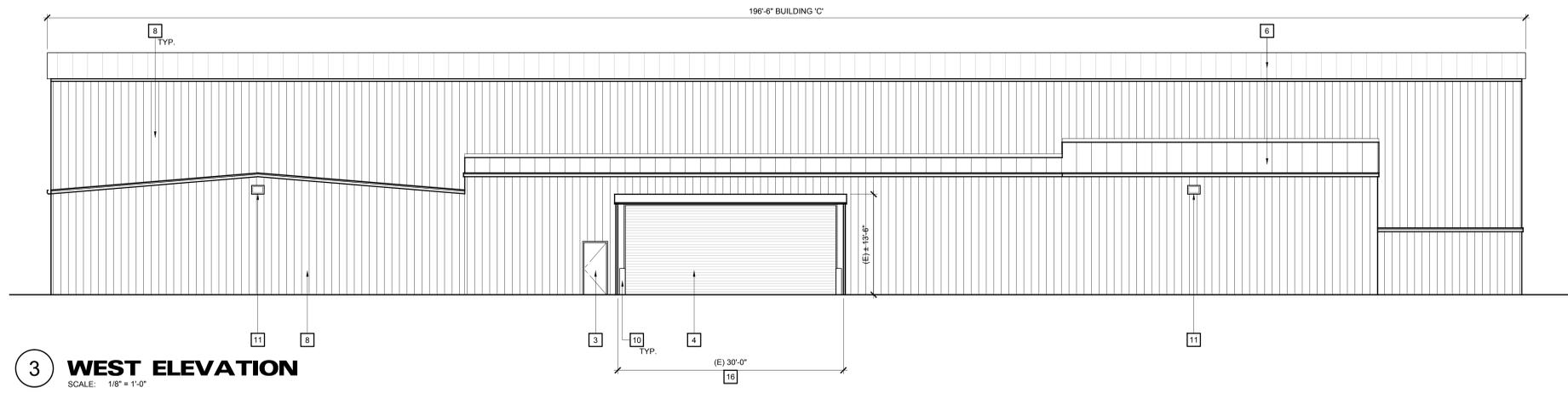
- 1 EXISTING METAL BUILDING(S).
- 2 EXISTING ELECTRICAL ROOM TO REMAIN.
- 3 EXISTING DOOR TO REMAIN.
- 4 EXISTING ROLL-UP DOOR TO REMAIN.
- 5 EXISTING DOCK BUMPER TO REMAIN.
- 6 EXISTING STANDING SEAM METAL ROOF TO REMAIN.
- 7 EXISTING GUTTER TO REMAIN.
- 8 EXISTING METAL SIDING TO REMAIN.
- 9 EXISTING METAL SIDED AWNING.
- 10 EXISTING PIPE BOLLARD TO REMAIN.
- 11 EXISTING LIGHTING - SEE ELECTRICAL DRAWINGS FOR ANY WORK TO OCCUR.
- 12 EXISTING FIRE RISER TO REMAIN.
- 13 EXISTING FIRE SYSTEM CONNECTION TO REMAIN.
- 14 EXISTING FIRE SYSTEM PUMP HOUSE TO REMAIN.
- 15 EXISTING FIRE HOSE BOX.
- 16 EXISTING METAL AWNING AND METAL SIDING.
- 17 EXISTING LOADING DOCK RAMP.
- 18 EXISTING LOADING DOCK GUARDRAILS TO REMAIN.
- 19 EXISTING ROOF ACCESS LADDER TO REMAIN.
- 20 DIAGONALLY HATCHED AREA INDICATES ZONE OF NEW OFFICE BUILDING - UNDER SEPARATE PERMIT.



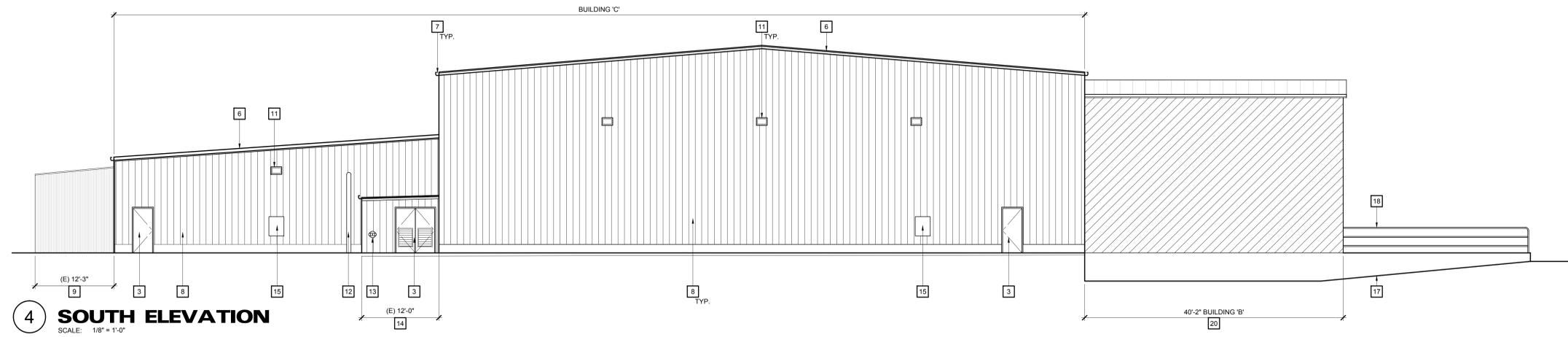
1 **EAST ELEVATION**
SCALE: 1/8" = 1'-0"



2 **NORTH ELEVATION**
SCALE: 1/8" = 1'-0"



3 **WEST ELEVATION**
SCALE: 1/8" = 1'-0"



4 **SOUTH ELEVATION**
SCALE: 1/8" = 1'-0"

C QUADRANT, LLC - CANNABIS
MANUFACTURING & EXTRACTION FACILITY

AP.N. 137-021-033-000

C QUADRANT
20800 SPENCE ROAD
SALINAS, CA 93908

JOB NO.
18171
PRINT DATE:
PLOT DATE: 4.16.2019
DRAWN BY: JTI
CHECKED BY: KT
SET ISSUED:

SHEET NAME:
**BUILDING 'C'
EXTERIOR
ELEVATIONS**

SHEET NO.:

A400

FILE NAME: 18171-A400