

Exhibit B

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EXHIBIT B

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

RIO VISTA GROUP LLC (PLN210152)

RESOLUTION NO. 22--

Resolution by the Monterey County Planning
Commission:

- 1) Adopting a Mitigated Negative Declaration pursuant to Section 15074 of the CEQA Guidelines;
- 2) Approving a Combined Development Permit consisting of:
 - a. Use Permit to allow the construction of four 16,286 square foot two-story apartment buildings totaling 60 units for agricultural workforce housing and 1 manager unit, and associated site improvements including 17,500 cubic yards of grading; and
 - b. Variance to increase the required building site coverage from 5% to 27%; and
- 3) Adopting a Condition Compliance and Mitigation Monitoring and Reporting Plan.

[PLN210152, RIO VISTA GROUP LLC, 51, 53, 55 & 57 Susan Street, Royal Oaks, North County Area Plan (APN: 117-361-016-000)]

The RIO VISTA GROUP LLC application (PLN210152) came on for public hearing before the Monterey County Planning Commission on February 9, 2022, March 16, 2022 and September 28, 2022. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review, this project has been reviewed for consistency with the text, policies, and regulations contained in:
 - the 2010 Monterey County General Plan;
 - North County Area Plan; and
 - Monterey County Zoning Ordinance (Title 21).Communications were received during the course of review of the project suggesting that the project may be inconsistent with some of the

applicable policies. Concerns raised during review can be summarized as: inconsistency with neighborhood character, potential impacts of added traffic on a narrow residential road, potential fire hazards, flooding impacts, traffic impacts on San Juan Road, lack of proper notice, lack of notice in Spanish, and concerns regarding existing water use assumptions. Comments have been considered in review of this application, however, as documented in this resolution, the evidence demonstrates consistency of the project with the applicable text policies and regulations.

- b) Project. This project includes the construction of four 16,286 square foot two-story apartment buildings containing a total of 60 units for agricultural workforce housing plus 1 manager unit. Each unit contains two bedrooms capable of supporting four beds per room (eight beds per unit), a shared kitchen and dining room. The manager unit, located on the first floor of Building A, contains an office with a restroom, living area, kitchen, bedroom and bathroom. Laundry rooms are located on the first floors for Buildings B & D and a recreation room is located on the first floor of Building C. The project will have 121 parking spaces; 6,266 square feet of turf for outdoor sports and recreation; a 3,220 square foot multi-use play court striped for basketball and volleyball; a 4,900 square foot looped fitness pathway; 3,032 square feet of outdoor seating; and 1,966 square feet of open space gardens. The project also includes construction of sidewalk improvements along the west side of Susan Street and intersection of San Juan Road, and 17,500 cubic yards of grading (8,000 cubic yards of excavated material from the adjacent County stormwater detention pond [APN: 117-381-031-000], and 9,500 cubic yards of imported fill). Excavation of the County stormwater detention pond will enlarge and improve the existing facility. See Finding 3, Evidence “e.”
- c) Allowed Use. The property is located at 51, 53, 55 & 57 Susan Street, Royal Oaks (Assessor’s Parcel Number 117-361-016-000), North County Area Plan. This property is within the Pajaro Community Area as shown in Figure CA5 of the 2010 General Plan. Community Areas have been identified as appropriate areas for growth and are the top priority for development in the inland area of Monterey County (see Policy LU-1.19). The parcel has three separate zoning districts: Farmlands with 40 acres per unit (F/40), Resource Conservation 40 acres per unit (RC/40), and High Density Residential, 20 units per acre (HDR/20). The “HDR/20” zoning occupies a narrow strip along the front of the property where it connects with Susan Street. The “RC/40” zoning occupies a small portion of the rear of property where it meets the Pajaro Levee. The “F/40” zoning covers the majority of the parcel. All buildings are proposed within the Farmland zoning district. No development is proposed in the RC/40 zone and roads, parking, and infrastructure will be located in the HDR/20 zone. The Farmlands zoning district allows agricultural employee housing consisting of more than 12 units or 37 beds in group quarters with a Use Permit in each case [Monterey County Code (“MCC”) Section 21.30.050.AA]. The criteria to grant a Use Permit has been met in this case as described herein. A Variance is also required to exceed the project site’s maximum allowable lot coverage, as

established in the Farmland zone, of 5% to 27%. See Findings 5, 6, and 7, and supporting evidence.

- d) Lot Legality. This 3.41 acre lot was created by deed prior to 1972, when subdivision map requirements became effective for lots over 2 acres. The subject parcel is a portion of the 5.95 acre parcel of land shown on the certain map entitled “The Purpose of this Map is Reversion to Acreage,” filed for record on March 25, 1949, in Volume 5 of Cities and Towns, Page 31. The 5.95 acre parcel of land is modified by the portion conveyed by Robert Kall et. al., to J.W. King, et. al. by deed dated November 14, 1950, and recorded December 4, 1950, in Volume 1264, Official Records of Monterey County at page 147. The 5.95 acre parcel of land is further modified by that portion conveyed by Robert Kall to Jacob King, et. ux., by deed dated August 7, 1953, and recorded December 4, 1950, in Volume 1472, Official Records of Monterey County at page 223. Additionally, the 5.95 acre parcel is modified by that portion conveyed by Robert Kall to Julian Perez, et. ux., by deed dated November 20, 1965, and recorded December 13, 1965, in Reel 438, Official Records, at page 46. The deeds were created prior to 1972, and the county recognizes the parcel as modified above as a legal lot of record.
- e) Development Standards. The project is subject to the development standards of the “F/40” or “Farmlands” zoning district (MCC Section 21.30.060). The project maintains setbacks of 57 feet from the front, 30 feet and 65 feet 6 inches from the sides (west and east, respectively), and 36 feet and 11 inches from the rear. The proposed project height is 34 feet and 6 inches from average natural grade, which is within the 35-foot maximum. The project exceeds the building site coverage regulations for the Farmland zoning district, which restricts building site coverage to 5%. The site is 3.41 acres in size (148,536 square feet) and at 5%, the maximum building site coverage would be 7,426 square feet. The project proposes 39,771 square feet or approximately 27% of the lot size. A Variance is requested to allow the additional lot coverage. See subsequent Evidence “k” and Findings 5, 6, and 7 and supporting evidence.
- f) Employee Housing Facility Plan. MCC Section 21.66.060 establishes criteria for consideration of Use Permits for agricultural employee housing projects. These regulations require that a facility plan be submitted with the application. The applicants included an employee housing facility plan that states that the Rio Vista Group LLC will be responsible for housing maintenance and up-keep. The facility plan states that the housing project would be occupied primarily during the Salinas Valley harvest season from April through November. Additionally, the facility plan states that the housing is designed to accommodate 480 agricultural employees without dependents with each unit serving up to eight (8) people. The letter also includes a project description of the site, listing the four (4) two-story permanent apartment style buildings on a 3.41 acre parcel consisting of 60 apartment units, two (2) laundry facilities, one (1) manager unit, and one (1) recreation room for agricultural employees. The facility plan also states that the agricultural employees will be dispersed throughout the agricultural fields in Monterey County as the listed location of work. The facility plan proposes connection to the Pajaro/Sunny Mesa Community Services

District (PSMCD) for water and sewer. The project will be made available to Domestic agricultural employees and to employees working in the United States with an H-2A visa. The H-2A temporary agricultural program allows agricultural employers to bring nonimmigrant foreign workers to the U.S. to perform agricultural labor or services of a temporary or seasonal nature. Under the Department of Labor requirements for employee housing, employers must provide housing at no cost to H-2A workers and my charge a “reasonable cost,” as determined by the Secretary of Labor, to an employer of furnishing any employee with board, lodging, or other facilities, if such board, lodging, or other facilities are customarily furnished by the employer to his employees (Code of Federal Regulations, Title 29 Part 531). Therefore, the applicants have included information required to satisfy the findings of the facility plan pursuant to Title 21, Section 21.66.060.

- g) Agriculture. The project site is located in the Pajaro Community Area as designated in Policy LU-2.21 and Figure CA5 of the 2010 General Plan. The project is designated as Farmlands and the proposed project will be used for agricultural purposes (agricultural employee housing). Pursuant to Policies AG-1.4 and AG-2.1, farmworker housing is an agricultural support use and considered a viable agricultural land use. The proposed project is an allowed use by Policy AG-1.6, which allows for farmworker housing consistent with the surrounding land uses, minimizing impacts to prime farmland to the extent possible. Based on Monterey County Geographic Information System mapping, the project site is considered prime or important farmland. The project results in the conversion of vegetable row crop production to employee housing. However, the 3.41-acre site is not large enough to sustain vegetable production and employee housing, and there is no feasible alternative location on this property that would avoid or minimize development on areas suitable for row crop production. The agricultural workforce housing for the project will support Monterey County’s agricultural industry and will be located in a Community Area on a small parcel. Row crop and farmlands exist on the eastern boundary of the property (not down-wind from the prevailing winds from the west and north). To minimize impacts on on-going agricultural uses, the project has been designed with a 100 foot buffer from agricultural operations to the east. Parking will be located within the buffer and the applicant proposes to plant trees within the landscaped area and parking area to aid with protections from on-going operations. Farming on the property to the east is currently “organic.” Further, the project is supported by Policy H-2.11 of the 2010 General Plan Housing Element, which supports private sector partnerships to increase the supply of farmworker housing. On January 27, 2022, the Agricultural Advisory Committee voted 6-0 with 5 members absent to recommend “support” of this project as proposed (see subsequent Evidence “s”).
- h) Flooding. The project is located within the 100-year FEMA floodplain of the Pajaro river and is offered some protection from floods by the existing levee on the southern side of the river (north end of project site). In the past, the Pajaro Levee has failed and flood waters from the river have impacted this site and the surroundings. The County owns stormwater detention pond, adjacent east of the subject property, which

was designed and installed after, and in response to, the 1995 floods to provide additional runoff storage and protections for the area. The project has been reviewed by HCD-Environmental Services, HCD-Engineering Services and the County Floodplain Manager to ensure that the project will not substantially alter the flood plain flows or elevations. The project engineer prepared a Potential Flood Hazard Impact report and concluded that that the proposed project will not have a significant impact on the floodplain. The proposed development will not adversely block overland flow paths due to existing flow orientation. Additionally, in accordance with Chapter 16.16, Potential Flood Hazard Impact report confirms the proposed development will not increase the base flood elevation by more than 1 foot due to the size of the floodplain and the minimal loss of floodplain storage.

- i) Drainage. Following Policies S-2.5 and S-2.6 of the 2010 General Plan, the proposed project implements mitigation measures to reduce impacts from flooding. A preliminary stormwater control plan and supporting preliminary stormwater control report, dated July 7, 2022, was prepared for the project by Whitson engineers (LIB220216). This report summarizes the project's proposed stormwater management strategy pursuant to the Post Construction Stormwater Management Central coast Region, Central Coast Regional Water Quality Control Board Resolution No. R3-2013-0032, and the guidance documents promulgated by the Monterey Regional Stormwater Management Program (MRSWMP). The drainage system would be designed and constructed to meet current regulations and requirements, including the Monterey County flood control requirements pursuant to MCC Section 16.16.050. The project site is adjacent to the Pajaro levee and within Zones AE, AO, and the 100-year floodplain of the Pajaro River. The Federal Emergency Management Agency (FEMA) and Flood Insurance Rate Maps (FIRM) identify land areas that are subject to flooding. The subject property's current elevations range from 29.5 feet to 32.6 feet. MCC Section 16.16.050.C.2 requires finished floors to be at least 1 foot above the specified FIRM flood depth, in this case the property is located within FEMA Zone AO with depth of 1-foot. Therefore, finished floors of Buildings A, B, C, and D must be constructed at least 2 feet above the highest existing grade or at a minimum elevation of 33', 33.2', 32.7' and 32.6', respectively. As designed, the proposed finished floor elevation for all buildings is 35.5'. Although not required by Chapter 16.16 of the County Code, the applicant has designed the finished floor elevations to exceed the estimated 100-year composite flood elevations (35.3 to 35.4 feet) provided by the Pajaro Regional Flood Management Agency (PRFMA), which accounts for a 100-year flood and multiple levee overtopping scenarios. Modeling provided by PRFMA is not reflected in the FIRM and is not required for compliance with Chapter 16.16 of the MCC.

Stormwater runoff would be collected via a series of gutters, drain inlets, and storm drain piping discharging to on-site treatment and retention basins. These systems would be collectively sized to provide on-site retention and management of runoff rates. General Plan Policy S-3.1

requires post-development, off-site peak flows to be no greater than the pre-development levels. Accordingly, the project proposes treatment of the 85th-percentile 24-hour storm event through implementation of Stormwater Control Measures (SCMs), retention of the 95th-percentile 24-hour storm event in the underground storage of the proposed high-flow tree box biofilters and on-site bioretention pond, and reduction of peak site discharge for the 2, 5, 10, 25, 50, and 100-year 24-hour storms to less than current (pre-development) condition levels.

A storm drain system analysis dated July 6, 2022 (LIB220217) and prepared pursuant to Mitigation Measure No. 2 concluded that the Project does not negatively impact the existing County-owned pump station. The storm drain analysis recommended three storm drain improvements: 1) construction of a 18 inch diameter storm drain along the property's southern boundary to allow future development along Gonda street to utilize the County stormwater facility (pond and lift station) in the event that the Pajaro River levels prevent drainage through the existing flap gate; 2) improving the County storm water detention pond to increase capacity and reduce pump cycle times of the lift station; and 3) installation of a low-flow weir in the manhole at the intersection of San Juan Road and Susan Street to limit the volume of annual drainage routed to the County detention pond and pump station. The proposed project incorporates by design recommendations 1 and 2. The County's Community Services District that maintains the San Juan Road drainage system is aware of Recommendation #3. Improvements to the County detention pond include lowering the adjacent stormwater outlet to an elevation of 24 feet and excavating approximately 8,000 cubic yards of cut which will be used as fill to raise the proposed buildings above the highest estimated flood depth elevation (100-year composite flood event). Expansion of the detention pond will increase the pond's capacity by 4-acre feet (174,240 cubic feet) which would allow for a greater volume of stormwater runoff from the surrounding watershed (includes but not limited to Susan Street development, adjacent agriculture operations, and San Juan Road in the event of a major storm event) to be detained and subsequently pumped across the Pajaro Levee via a County owned and operated stormwater drainage lift system. In accordance with MCC Section 16.16.050, the proposed development is setback approximately 215 feet from the top of the bank of the Pajaro River.

- j) Future Pajaro River levee improvements. The project incorporates a 15-foot setback from the toe of the Pajaro Levee to allow for potential future improvements to the levee that are currently being studied and designed by the U.S. Army Corps of Engineers. The potential improvements include increasing the height of the levee to provide additional flood protection. Planning staff reached out to Monterey County Water Resources Agency (MCWRA) staff to gather information on the current Pajaro Levee Improvement Plan. This improvement plan, known as the Pajaro River Flood Risk Management Project consists of a \$400 million effort to reduce flood risk from the lower Pajaro River and Corralitos and Salsipuedes Creeks. The Pajaro River Flood Risk Management Project will provide 100-year flood protection to the City of Watsonville and the

town of Pajaro, and a mix of 100-year and 25-year flood protection to the surrounding agricultural areas. The project site is located between “Reach 3” and “Reach 4,” which are efforts within the Pajaro River Flood Risk Management Project that aim to provide the surrounding areas with 100-year flood protection (1%). The Pajaro Levee improvement project efforts are planned under the Pajaro Regional Flood Management Agency (PMFRA) and includes cooperation of 5 different agencies: Monterey County, Santa Cruz County, the City of Watsonville, Santa Cruz County Zone, and the MCWRA. The PMFRA’s website states that construction is expected to begin in 2025 and that a draft Environmental Impact Report is being prepared. MCWRA staff stated that there is a current 5-to-6-year construction effort for construction of levee improvements including the levee along the Pajaro River.

- k) Emergency Action Plan. In response to public comment, the applicant has prepared an Emergency Action Plan (EAP). The EAP will be briefed in the employee training and included in the employee/tenant manual, which will also include other rules and regulations for those living at the premises. The EAP includes emergency contact information, before -, during-, and after-evacuation procedures, specific duties of tenants, transportation arrangements, the draft North County Evacuation Guide (prepared by the Monterey County Office of Emergency Services), and a site plan illustrating emergency exit routes and areas of refuge. See Finding 3, Evidence “e.”
- l) Long-term Water Supply. Policy PS-3.1 of the 2010 General Plan requires proof, based on specific findings and supported by the evidence of a “long-term sustainable water supply.” This project is located within the critically over drafted Pajaro Valley Groundwater Basin according to the State Water Board. Water used for agricultural purposes at the site is currently supplied by a shared well on an adjacent property. The project proposes to disconnect from that shared well and connect to the Pajaro/Sunny Mesa Community Services District for potable water. This project will be required to balance the existing water use from the shared well with the proposed water demand from Pajaro/Sunny Mesa in order to avoid increasing demand for groundwater within the basin. Both the shared well and the water sources from Pajaro/Sunny Mesa for this service area draw from the Pajaro Groundwater Basin. The Pajaro Valley Water Management Agency (PVWMA) is tasked with managing the basin and has developed a Basin Management Plan pursuant to the State Groundwater Management Act (SGMA) in 2014 and has adopted a 2022 update to that Plan. The plan contains a number of projects and policies that are intended to stop seawater intrusion and balance the groundwater basin providing for a long-term sustainable water supply within their territory. Some of those projects have already been approved and are operational and others are still being considered and studied. PVWMA has been consulted and has verified that the project will not impact PVWMA Basin Management Plan projects and objectives. See Finding 3 for more details.
- m) Variance. A Variance is required in order to allow for an increased building site coverage of 27% for the subject property. MCC Section 21.72.040 outlines the required findings for Variances. There are unique

circumstances applicable to this property that warrant a variance to the building site coverage limitations in this case. See Findings 5, 6, and 7 and supporting evidence.

- n) Environmentally Sensitive Habitat Areas (ESHA). Based on Monterey County GIS resources, the project is located in an area that supports sensitive biological resources. A biological assessment of the project site was prepared to determine potential impacts to biological resources. The project biologist, Liz Camilo, conducted a survey of the project site on September 14, 2021 to identify and describe habitats and special status species. The report acknowledges that the site is highly disturbed with active agricultural operations. No special-status plant or wildlife species are known to occur within the project site; however, based on the presence of suitable habitat and known occurrences in the vicinity, Monterey spineflower (*Chorizanthe pungens* var. *pungens*) and California red-legged frog (*Rana draytonii*, CRLF) have the potential to occur within the site. A spring survey to look for spineflower during the blooming season was suggested. A supplemental spring survey conducted on June 13, 2022, concluded that Monterey spineflower was not present on the project site. Separately, raptors and other nesting birds were determined to have the potential to nest within large trees near the site. To mitigate potential impacts to these species, staff recommended mitigation measures proposed by the biologist which include an employee education program, a pre-construction survey for raptors, a pre-construction biologist survey for the California red-legged frog (CRLF), a ground disturbance and vegetation removal survey for the CRLF, a construction monitor for the CRLF, a daily log, hole covering, erosion control materials, restricted construction hours, and biological monitor during construction. As mitigated, impacts to environmentally sensitive habitat will be avoided.
- o) Traffic. Traffic is one of the key concerns for the existing residents along Susan Street. Comments submitted on the project express concern with parking, increased traffic on a narrow road, and hazards for kids that play in the street. The project would add 60 two-bedroom apartments supporting up to 480 employees and 1 manager at the end of Susan Street. Accesses to the site for current farming operations is through neighboring properties to the east. This project proposes access using Susan Street which is a public County road.

A traffic impact analysis and supplemental reports/letter were prepared for the project by Keith Higgins on December 8, 2021, January 28, 2022, July 1, 2022 and July 8, 2022. The December 8, 2021 traffic report provided an analysis of the project impacts on Levels of Service (LOS) at nearby intersections and impacts on vehicle miles traveled (VMT). Supplemental reports and letters addressed County comments, public concern, and Planning Commission questions. The traffic report provides information about traditional multi-family housing traffic generation and agricultural employee housing traffic generation.

HCD-Engineering Services reviewed the report and agree with its conclusions. The report concludes that Susan Street, a County Road, is 35

feet in width which is sufficient to meet tertiary street standards and is adequate to carry traffic for the number of existing and proposed residential units. Based on the traffic analysis, it is estimated that Susan Street currently carries about 400 daily trips, with 220 being residential related trips and 180 being trip generated from the autobody shop located on the corner of Susan Street and San Juan Road. Although the proposed project would qualify as H2A housing, it is possible that these housing units could be converted to traditional apartments with no restrictions on vehicle ownership resulting in more traffic than a H2A project. Therefore, impacts to transportation analyze the project as standard apartments to represent a conservative, worse-case scenario. As standard apartments, the proposed project would generate approximately 450 additional trips (for a total of 850 trips along Susan Street), with 29 trips during the AM peak hour and 35 trips in the PM peak hour. Therefore, as a standard apartment, the project will be below the capacity limit established by the County for a tertiary street (1,000 trips). However, the proposed project will not be standard apartments and will be instead be used as agriculture employee housing. Agriculture employee housing tends to generate much less traffic than traditional apartment housing because many of the employees travel by employer sponsored bus or vanpool (an approximately 25% to 33% reduction). Therefore, the proposed project is anticipated to generate 145 daily trips as an agricultural employee sponsored housing project. H2A projects are only occupied during the growing season in the Pajaro and Salinas Valleys which extends from March through the middle of November, about 8 ½ months. The Project would be unoccupied for the winter season, which lasts about 3 ½ months except for the managers unit. Therefore, on an annualized basis, the proposed project would generate about 105 daily trips. Trips generated by this project would not result in a lowering of the LOS ratings at studied roadways and intersections consistent with Policy C-1.1 of the 2010 General Plan.

The proposed project would exceed the threshold of 110 daily trips set by the Technical Advisory on Evaluating Transportation Impacts in CEQA (December 2018) for the purposes of VMT analysis. However, the project site is located within a ½ mile of an existing, high-quality transit corridor, as MST Routes 28 and 29 operate along Pajaro Street and Main Street within 0.30 miles of the site. According to the technical advisory, a project consisting of a high percentage of affordable housing, such as the proposed project, may be a basis for the lead agency to find a less-than-significant impact on VMT. Additionally, the project places housing in a community area that has access to goods and services which is aligns with intended outcomes of VMT analysis. As such, the project was found to have a less than significant impact on VMT. This project would be required to pay regional development impact fees (TAMC fees) and County traffic impact fees.

- p) Traffic Improvements. There is a need to improve sidewalks along Susan Street in areas where the sidewalk does not exist for pedestrian access. To improve pedestrian connections, the project has been conditioned to require the owner/applicant to: 1) construct accessible pedestrian offsite

improvements along Susan Street (including but not limited to curb, gutter, sidewalk, and ADA ramps at the intersection of Susan Street and San Juan Road); and 2) construct 85 feet of sidewalk on northside of San Juan Road. The preliminary plans for the proposed project have been reviewed by Public Works and the North County Fire Protection District.

- q) Archaeological Resources. The site is located within a high archaeological sensitivity area. Pursuant to MCC Section 21.66.050, staff required a preliminary archaeological assessment to determine whether or not archaeological resources were present. A Phase 1 Archaeological Resource Assessment and addendum (LIB220024) was submitted for the project that acknowledged that surface soils have been substantially impacted due to past and current agricultural practices and it is unlikely that the resources would be uncovered during construction. However, because the project requires excavation of the top five feet of soil for foundation preparation, and 8,000 cubic yards of excavation of the adjacent County detention pond, there is a potential that resources could be located under the disced and disturbed topsoil. The project has been conditioned to include a note on the plans that state that if resources are discovered, work must immediately halt within 50 meters of resource until a qualified archaeologist or other qualified professional can evaluate.
- r) Public Comment. Nineteen property owners along Susan Street signed a petition opposing the proposed project. Comments have requested that this project not be approved as it would negatively impact neighborhood character, traffic, fire, and flooding. Additional concerns have been raised by neighbors about the lack of notice to all neighbors on Susan Street and lack of notice in Spanish.

Comments provided on this project have been reviewed and are responded to as follows:

Neighborhood Character: The proposed project would result in an increase in population and traffic on Susan Street and would introduce new multi-family housing in the area. There is a need for housing of all types and the increase in housing in this area was contemplated in the 2010 General Plan which designates this area as a priority for development. The site has access to adequate public services and facilities and is capable of supporting the proposed housing.

Fire: A fuel management plan was prepared in accordance with local and state wildlife urban interface guidelines that focuses on irrigating and landscaping within 30 feet of structures and managing vegetation within 100 feet from structures or to the edge of the parcel, whichever comes first.

Public Notice: A notice of public hearing was distributed in English to all properties within 300 feet of the project site prior to the February 9, 2022 Planning Commission. In response to comments, a notice of public hearing for the March 16, 2022 and September 28, 2022 Planning Commission hearing were provided in both English and Spanish and notices were distributed to everyone who requested notice of the hearing,

in addition to all property owners within 300 feet of the project. Separate notices have also been provided for advisory committee meetings including the North County Land Use Advisory Committee and the Agricultural Advisory Committee. Additionally, both the March 16, 2022 and September 28, 2022 Planning Commission hearings were conducted in the evening with Spanish interpretation services available during the hearing.

Baseline Water Use: Comments were received during the CEQA comment period concerning the establishment of the existing average annual water demand for agricultural use (baseline water use). The Initial Study prepared for the project assumes an annual water use on the 3.41 acre property of 5.25 Acre Feet per Year (AFY) per acre for irrigation of celery, spinach, and brussels sprouts grown on-site in a one year period. This figure was based on information provided by Lakeside Organics who have been farming on this property and other nearby properties for the last 4 years. Comments from Anthony Nicola (neighbor) and LandWatch Monterey County suggest that this number is high and request reconciliation of this water amount with average water use numbers published in the Monterey County Water Resources Agency (MCWRA) annual Groundwater Extraction Summary (GEMS) Report. Figures published in the MCWRA GEMS report do not cover the Pajaro groundwater basin since this basin falls under the jurisdiction of the Pajaro Valley Water Management Agency (PVMA) and not MCWRA. The 2020 GEMS report covers four groundwater basins in the Salinas Valley; Pressure, East Side, Forebay, and Upper Valley. Well data is used to average and summarize water use within the Basins for the GEMS report. In Figure 22 of the 2020 GEMS report, average water use by basin for “vegetable crop” irrigation is provided. Average water use ranges from between 2.3 (in the Pressure basin) and 3.2 AFY per acre (in the Upper Valley Basin). The of the average of the amounts in all four basins is approximately 2.675 AFY per acre. This is significantly less (about half) than the stated 5.25 AFY per acre water demand. HCD-Planning staff reached out to MCWRA staff and learned that the data used in Figure 22 is an average of data which includes wells serving agricultural operations with a range of vegetable crops and irrigation systems and including multiple operations with 1 crop rotation per year, 2 crop rotations per year, and 3 crop rotations per year. Three crop rotation operations use more water than 1 crop and 2 crop rotation agricultural harvesting operations. MCWRA staff confirmed that in their professional opinion that 5.25 AFY per acre use on a three-crop rotation farm is within range of other three crop rotation farming operations collected in the GEMS program. Site specific information is available in this case rather than averages applicable in other areas and the site specific information is within the range of similar agricultural operations with similar crop types, rotations, and irrigation systems. On February 22, 2022, Mr. Nicola commented on his original comment stating, “Since making the initial comment it has been discovered that 51% of all effluent that goes out the sewer line of these proposed buildings is recycled into ag water that otherwise would have been pumped from the aquifer. Meaning,

regardless of if the previous water calculations are correct or not, the proposed project is either going to show zero increase in water demand with the demise of the farming, or it will actually be showing a decrease in overall water usage, positively affecting the aquifer.”

Long-Term Sustainable Water Supply (LTSWS): The California Coastal Commission issued a letter addressed to Erik Lundquist, HCD-Director, which stated that the California Coastal Commission respectfully asked that the County not further find there is a LTSWS for future CDP [Coastal Development Permit] decisions. The LUAC committee drew an arrow on the previously written letter to the line that stated, “Seawater intrusion remains a threat.” Additionally, she underlined “Our position is that North Monterey County remains without a LTSWS. And thus, the LCP policies regarding development... respectfully ask the County not to further find there is a LTSWS for future CDP decisions”.

This project is not located in the Coastal zone and is not within the purview or jurisdiction of the California Coastal Commission. Further, this letter does not come from the California Coastal Commission itself, this is an annotation to a previously sent letter from the California Coastal Commission staff. In this case, the project has been found to have no impact on the groundwater basin because the proposed water use will not exceed the current water use within the basin. In this way, the project will not impact, or make more difficult, plans of PSMCSD to provide a long-term sustainability of the water supply within their jurisdiction.

Safety: Many Susan Street residents expressed safety concerns about the project’s population. The project is serviced by the Monterey County Sherriff’s Department and the closest police station is located approximately 0.8 miles away. The Monterey County Sheriff’s HQ is located approximately 23.9 miles away. Monterey County has reciprocal agreements for service with neighboring jurisdictions including Santa Cruz County and Watsonville. Emergencies are responded to by the nearest available emergency responders. Additionally, an Emergency Action Plan has been prepared for the proposed project that provides for on-site emergency response protocols to protect the safety of residence in the event of an emergency (see Finding 1, “j”).

Traffic. In response to concerns raised over the traffic and parking conditions on Susan Street, staff requested that the applicant explore options for alternative ingress and egress to the site (e.g. not using Susan Street). The applicant stated that they explored other exit and entrance opportunities and found the Susan Street traffic connection to be the most feasible for the project. The applicant states that they do not own or control any of the adjacent parcel, that the project complies with current standards, and that the anticipated traffic volumes will be within traffic volumes allowed on Susan Street. The applicant states that Susan Street is the current and only legal access point to the project site.

Susan Street is designated as a Tertiary Street under Monterey County

Road standards because it is a dead-end street serving a small number of residential lots. According to Monterey County road standards, Tertiary Streets can accommodate up to 100 lots or units or up to 1,000 vehicles per day. 19 residential lots and 1 commercial lot currently abut Susan Street. The proposed project would add 61 units at the end of the street with a maximum occupancy of up to 480 employees. A traffic report prepared for the project by Keith Higgins (traffic engineer), dated December 8, 2021, describes that traffic counts were conducted at the intersection of San Juan Grade Road and Susan Street on August 28, 2021. 400 trips were counted at that time including 180 trips associated with the commercial automotive use on the corner of Susan Street and San Juan Grade Road.

Assuming that the project is not restricted to agricultural employee housing, a typical 61-unit multi-family apartment building would be expected to generate about 450 daily traffic trips. This scenario would result in 850 total daily trips on Susan Street which is less than the 1,000 trips that maximum range expected for a tertiary street. Secondly, and as proposed, the project will be limited to occupancy by agricultural employees. Based on actual traffic counts conducted at the Casa Boronda agricultural employee housing project, agricultural employee traffic trips are anticipated to be considerably less than a standard apartment because many employees will not have individual vehicles and are much more likely to rely on buses and vans for transport to/from work. As an agricultural employee housing project, it is anticipated that the project will generate 145 daily trips from about April through November of each year. With 145 daily trips, there would be approximately 545 trips on Susan Street per day.

The traffic engineer states that although Susan Street allows parking on both sides of the street, there is a clear width of 19 feet between the cars which would allow two vehicles with a maximum width of 7 feet (i.e. typical passenger vehicles or trucks) to pass at once. School buses, which will be used for the H2A worker transport, have an exterior width of 8 feet or 9.5 feet when including the exterior side mirrors. When gaps in parked cars provide a width of 19 feet, two buses may pass each other. Otherwise, the buses must pull over to allow the oncoming bus to pass. This will effectively decrease traffic speeds along Susan Street and is a common traffic calming practice called "Yield Streets." National Association of City Transportation Officials confirms that 2-way yield streets are appropriate in residential environments where drivers are expected to travel at low speeds, such as Susan Street. Left turning buses will be able to exit and enter Susan Street to and from San Juan Road with no interference from other vehicles stopped on the Susan Street approach. Right turns from buses exiting Susan Street to proceed westbound on San Juan Road will also be able to complete the turn without encroaching into oncoming traffic. Westbound right turns from buses entering Susan Street will encroach about 6 feet into the southbound Susan Street approach lane. Based on the proposed peak hour trips, this scenario may only occur up to 3 times between 3 to 4 AM and

up to 2 times between 2 to 3 PM and 4 to 5 PM. Based on all the information in the record, the project, as proposed and conditioned, would not conflict with a plan, ordinance or policy addressing the circulation system, including transit, roadways, bicycle lanes and pedestrian facilities. The increased traffic along Susan Street can be accommodated in this case. See Finding 1, Evidence “m” and “n.”

Liquefaction. A Geotechnical Report (LIB210241), amended on July 1, 2022, addresses the project site’s high liquefaction potential. The project engineer states that the risk for damaging liquefaction and/or differential compaction and settlement during a major seismic event is low, provided their recommendations are implemented. These recommendations, including engineered foundations and subexcavation and recompaction of the upper 5 feet of soil. These recommendations have been applied as Mitigation Measures GEO-1 and GEO-2.

Water and Wastewater Infrastructure. The County of Monterey’s Public Works, Facilities and Park’s Special Districts Division has confirmed that although there is always the possibility for the wastewater system to experience a failure for a variety of reasons, the proposed project will not increase the likelihood of such a failure. All past wastewater failures have been resolved and infrastructure improvements are in the works. Additionally, the Pajaro Sunny Mesa Community Services Districts has stated that no water infrastructure failures have recently occurred and that the proposed project will not create a water infrastructure failure.

- s) Agricultural Advisory Committee (AAC). The proposed project was heard at the January 27, 2022 Agricultural Advisory Committee meeting. Comments from the public at that meeting indicated that the project had not been properly noticed and that the project should not be approved because of its negative impacts on the community. The AAC reviewed the project and adopted a recommendation of support by a 6-0 vote. The AAC suggested that the 100 feet agricultural buffer and proposed vegetation screening would be adequate but suggested that the proposed Sycamore trees be replaced with Cosrena trees or something similar in order to provide a dense tree canopy from the ground up. The applicant has agreed to plant Cosrena trees rather than Sycamore trees to provide additional screening from nearby row crop uses (Condition No. 4).
- t) Land Use Advisory Committee. The project was referred to the North County Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application warranted referral to the LUAC because the project requires CEQA review and the project includes a Variance. The project was first heard at the December 1, 2021, North County LUAC hearing. After hearing public comments and concerns, the North County LUAC members requested that the project be continued until staff prepared an environmental analysis for the project. An Initial Study/Mitigated Negative Declaration has been prepared for the project. The project returned to the LUAC on February 2, 2022. At that hearing, the LUAC recommend denial for the project as presented because the committee did not support current traffic access and found the project

incompatible with the surrounding neighborhood. The LUAC raised concerns regarding water use and cumulative impacts of this and other projects in the Pajaro community. A reduced density for the project was suggested. The LUAC committee unanimously recommended denial of the project with a vote of 4-0. The LUAC recommendations have been considered and concerns raised by the LUAC have been addressed.

- u) Community Meetings. The Planning Commission suggested that the applicant hold a community meeting to discuss the project proposal and allow for a more informed discussion. In response, the applicant hosted two meetings on the project site with several tables, stands, and lights. The applicant provided large sheets of paper, markers, and project information in English and Spanish to source ideas and suggestions for the project. The applicant additionally paid for translation services at the first meeting and utilized translation with the facilitation of the Monterey Bay Economic Partnership for the second meeting. The project was noticed to the residents of Susan Street Sunday February 13, 2022 via flyers on each doorstep along Susan Street with information written in English and Spanish.

February 16, 2022 5:30 pm-6:30pm Meeting: The first community meeting resulted in a relatively low community turnout. A few Gonda Street residents attended the meeting to discuss drainage concerns. One farmer came in who supported the project and stated that he would need the housing and supports the project. No Susan Street residents attended this meeting, and no comments, ideas, or suggestions were written down at this meeting.

February 23, 2022 5:30 pm-7:30pm Meeting: The second community meeting resulted in a better turnout. Approximately 30 people attended the meeting. The meeting was facilitated by Matt Huerta of the Monterey Bay Economic Partnership. The residents of Susan Street requested that the applicant, represented by Mike Avila, not present the project. Mr. Avila complied with this request and there were no Susan Street residents who objected to this request. The Susan Street residents did not feel as though the community meetings were genuine, as they believed these meetings should have occurred much earlier in the project, prior to the Planning Commission suggestion. The Susan Street residents discussed many concerns they had with the project including the potential traffic impacts, the way the project would change neighborhood character, a disagreement with the Mitigated Negative Declaration determination, disagreement with the Long-Term Sustainable Water Finding, flooding, safety, and a lack of translation for the previous LUAC and AAC meetings. See Finding 1, Evidence “q.”

- v) The project planner conducted a site inspection on October 27, 2021, to verify that the project on the subject parcel conforms to the plans listed above.
- w) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN210152.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, North County Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, the Environmental Health Bureau and Public Works Facilities & Parks. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to biological resources, archaeological resources, soil/slope stability, drainage, hazards, noise, and traffic. The following reports have been prepared:
 - “Biological Resources Memorandum for the Susan Street Agricultural Housing Project” (LIB210240) prepared by Denise Duffy & Associates, Monterey, CA, October 4, 2021 and a supplemental spring survey dated July 1, 2022
 - “Air Quality & Greenhouse Gas Impact Assessment for the Susan Street Agricultural Housing Project” (LIB220260), prepared by Kurt Legleiter of AMBIET Air Quality & Noise Consulting, San Luis Obispo, California, November 2021, and supplemental “Air Quality Modeling Assumptions for the Susan Street Project”, dated July 6, 2022
 - “Archaeological Resources Assessment Report” (LIB220024) prepared by Basin Research Associates, San Leandro, CA, October 3, 2021, as amended on July 7, 2022;
 - “Geotechnical and Infiltration Investigation” (LIB210241) prepared by Belinda A. Taluban, Salinas, CA, October 2021, as amended on July 1, 2022;
 - “Phase I & II Environmental Site Assessment” (LIB210242) prepared by Caprock Geology Inc, Spreckels, California, September 7, 2021 and October 15, 2021;
 - “Preliminary Stormwater Control Plan for Susan Street Agricultural Employee Housing” (LIB220216) prepared by Whitson Engineers, Monterey, CA, December 8, 2021, as revised on February 7, 2022 and July 7, 2022;
 - “45 dB Acoustics Acoustical Analysis: Susan St. Agricultural Housing” (LIB220025) prepared by 45 dB Acoustics, August 17, 2021;
 - “Susan Street Apartments Transportation Impact Analysis” (LIB210281) prepared by Keith Higgins, Gilroy, CA, November 23, 2021 and supplemental reports and letters dated December 8, 2021, , July 1, 2022 and July 8, 2022;
 - “Assessment of Potential Flood Hazard Impacts Related to the Susan Street Agriculture Housing Project” (LIB220194) prepared by Nathaniel Milam of Whitson Engineers, May 27, 2022;
 - “Export Fill Soil Sampling of APN: 117-381-031” (LIB220195) prepared by CapRock Geology Inc, Spreckels, California, June 30, 2022; and
 - “Supplemental Drainage Study” (LIB220217) prepared by Nathaniel Milam of Whitson Engineers, July 6, 2022.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed with mitigation proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) Staff conducted a site inspection on October 27, 2021, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD-Planning for the proposed development found in Project File PLN210152.

3. FINDING: HEALTH AND SAFETY - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, North County Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, the Environmental Health Bureau and Public Works Facilities & Parks. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Adequate public water and sewer are available for the project. The Health Department confirmed in a memo addressed December 20, 2021, that a can and will serve letter from Pajaro County Sanitation District (PCSD) was received on November 17, 2021, verifying sewer service connection is available. PCSD has sufficient allocation available for connection to the Watsonville treatment plant and the Watsonville treatment plan has adequate capacity to serve the project. The Pajaro/Sunny Mesa Community Services District issued a Can-And-Will-Serve Letter that confirms drinking water service for the proposed 61 units. Health Department also reviewed the applicant submitted Initial Water Use/Nitrate Impact questionnaire for consistency with site suitability standards. A Waste Management Can-And-Will-Serve was submitted that guarantees Waste Management will serve with Pajaro Apartments to provide weekly collection services of trash, recyclables, and organic waste.
 - c) Water. The project would connect to the Pajaro/Sunny Mesa Community Services District (PSMCS D). PSMCS D is a regulated public water district that has water treatment systems in place to provide potable water meeting state drinking water standards. PSMCS D is the only public water system serving the Pajaro area. PSMCS D has provided a can and will serve letter for this project and has indicated that they have the capacity and ability to serve the project from their existing facilities. PSMCS D operates a public water system regulated by the State Water Board and Monterey County Environmental Health. The project has been reviewed by Monterey County Environmental Health and it has been determined

that PSMCSD has existing infrastructure, rates, and governing boards that provide adequate technical, managerial and financial capabilities to maintain their water system. The Pajaro service area operated by PSMCSD draws water from wells located in the Pajaro Valley groundwater basin. PSMCSD has adequate court-ordered and approved groundwater supplies and water rights to serve existing development and the proposed development. Water supply will come from existing wells owned and operated by PSMCSD. No new wells or substantial increase in demand on existing wells will result from this project.

- d) Due to the previous agricultural use of the project site and surrounding parcels, an Export Soil Sampling Report (LIB220195) was prepared to determine the levels of potentially hazardous materials residing in the soil proposed for re-use as fill. Additionally, a Phase I and II Environmental Site Assessment was prepared to determine if the project site soils contained chemicals or other pesticides such as lead arsenate and DDT, which may have been applied during the normal course of farming operations prior to establishing the current organic agriculture practice. The Export Soils Sampling Report and Phase I and II ESA concluded that metals and pesticides detected at the excavation pond site and project site are within normal background levels for the Monterey Bay area, and no further investigation is required prior to construction. However, construction workers at the site could be exposed to dust particles disturbed as a result of construction activities. In accordance with MCC Section 16.080.340 – Erosion Control, an erosion control plan shall be prepared and maintained for all disturbed surfaces resulting from grading operations, including dust control. As such, the project will be required to implement standard dust control measures as part of grading and building.
- e) The North County Fire Protection District has reviewed the proposed project and all applicable materials and found the project to provide adequate emergency access.
- f) Staff conducted a site inspection on October 27, 2021, to verify that the site is suitable for this use.
- g) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD – Planning for the proposed development found in Project File PLN210152.

4. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD Planning and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on October 27, 2021 and researched County records to assess if any violation exists on the subject property.
 - c) There are no known violations on the subject parcel.
 - d) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN210152.

5. FINDING: VARIANCE (SPECIAL CIRCUMSTANCES) – Special circumstances apply to the subject property, including the size, shape, topography, location or surroundings. Therefore, the strict application of development standards in the Monterey County Codes is found to deprive the subject property of privileges enjoyed by other properties in the vicinity under and under identical zoning classification.

- EVIDENCE:**
- a) The project structures and use are located within the Farmland (“F”) zoning district which requires a building site coverage maximum of 5% of the total lot size. This project proposes a building site coverage of 27% and therefore the granting of a Variance is required.
 - b) There are unique circumstances applicable to this site. The site is located within the boundaries of the Pajaro Community Area (2010 General Plan Figure CA5) which is an area that is a priority for development in the unincorporated areas of Monterey County. The property is much smaller in size, 3.41 acres, than typical Farmland properties which typically have a minimum lot size of 40 acres. This property was created prior to the current zoning regulations and is non-conforming to the minimum parcel size for the zoning district. Additionally, the project is located adjacent to properties zoned for High Density Residential use.
 - c) This project includes an application for an agricultural support use (agricultural employee housing). While it is an agriculturally related development, it is also for housing. Typical residential (housing) building site coverage is between 25% in Low Density Residential zones and 60% in High Density Residential Zones. Properties to the west and south are zoned for High Density Residential use and those properties enjoy a much higher building site coverage limitation. The site is 3.41 acres in size (148,536 square feet). At 5% of the lot size, the maximum building site coverage would be 7,426 square feet which would severely limit the ability to construct an agricultural employee housing project.
 - d) Staff conducted a site inspection on October 27, 2021, to verify circumstances related to this property.
 - e) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN210152.

6. FINDING: VARIANCE (SPECIAL PRIVILEGES) – Granting of this Variance does not constitute a grant of privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.

- EVIDENCE:**
- a) The property has a Farmland (“F”) zoning designation.
 - b) Other properties in the Farmland zone have received approval of a Variance to the lot coverage when non-conforming lot sizes limit the ability to construct residential buildings or agricultural support facilities. A similar Variance in the vicinity includes PLN190077 (Duran) which allowed a 13% lot coverage for an addition to an agricultural support facility. There are many other examples of Variances granted to Lot Coverage in the Farmland zones throughout the County for improvements on properties that have a non-conforming parcel size (for example PLN140684 and PLN120312).

- c) As demonstrated in Finding 1, the proposed use supports the viable agricultural uses in Monterey County which are located in proximity of the subject property. Establishment of supportive housing for agricultural employees would not constitute a special circumstance in this case.
- d) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN210152.

7. FINDING: VARIANCE (AUTHORIZED USE) – The Variance does not grant a use or activity which is not otherwise expressly authorized by the zone regulation governing the parcel of property.

- EVIDENCE:**
- a) The property is zoned Farmland which allows agricultural employee housing consisting of more than 12 units or 37 beds in group quarters with a Use Permit in each case (MCC Section 21.30.050.AA). As proposed, the project includes 60 agriculture employee housing units and 1 manager unit, and is therefore an allowed use under the subject zoning district.
 - b) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN210152.

8. FINDING: CEQA (Mitigated Negative Declaration) - On the basis of the whole record before the Monterey County Planning Commission, there is no substantial evidence that the proposed project as designed, conditioned and mitigated, will have a significant effect on the environment. The Mitigated Negative Declaration reflects the independent judgment and analysis of the County.

- EVIDENCE:**
- a) Public Resources Code Section 21080.d and California Environmental Quality Act (CEQA) Guidelines Section 15064.a.1 requires environmental review if there is substantial evidence that the project may have a significant effect on the environment.
 - b) Monterey County HCD-Planning prepared an Initial Study pursuant to CEQA. The Initial Study is on file in the offices of HCD-Planning and is hereby incorporated by reference (PLN210152).
 - c) The Initial Study identified several potentially significant effects, but the applicant has agreed to proposed mitigation measures that avoid the effects or mitigate the effects to a point where no significant effects would occur.
 - d) All project changes required to avoid significant effects on the environment have been incorporated into the project and/or are made conditions of approval. A Condition Compliance and Mitigation Monitoring and/or Reporting Plan has been prepared in accordance with Monterey County regulations. The applicant must enter into an “Agreement to Implement a Mitigation Monitoring and/or Reporting Program” as a condition of project approval.
 - e) The Draft Mitigated Negative Declaration (“MND”) for PLN210152 was prepared in accordance with CEQA and circulated for public review from December 23, 2021 through January 24, 2022 (SCH#: 2021120560).
 - f) Potential Impacts that were analyzed in the Mitigated Negative Declaration include: aesthetics, agriculture and forest resources, air

quality, biological resources, cumulative effects, cultural resources, geology/soils, growth inducement, greenhouse gas emissions, hazards/hazardous materials, hydrology/water quality, land use/planning, mineral resources, noise, population/housing, public services, recreation, forest land/fire hazard, solid waste, sewer capacity, noise, transportation/traffic, and utility/service systems.

- g) Impacts and Mitigation Measures. Potential impacts to biological resources, energy, geology, hazards and hazardous materials, hydrology and water quality, noise, tribal cultural resources, utilities and service systems, and mandatory findings of significance were identified in the IS. As demonstrated below, implementation of County regulations and/or incorporation of identified mitigations would reduce project impacts to a less than significant level.

Biological Resources: Potential impacts to California Red-legged Frog and nesting birds were identified. Mitigation Measures BIO-1, BIO-3, BIO-4, BIO-5, BIO-6, BIO-7, BIO-8, BIO-9, BIO-10, and BIO-11 have been incorporated to reduce potential biological impacts to a less than significant level (See Finding 1).

Energy: Potential impacts to energy resources to the project come from transportation related energy, which is mitigated by transporting the agricultural workforce to and from the work site via vanpools and buses. Use of the shared transportation would reduce impacts to energy resources to a less than significant level.

Soils: Potential liquefaction and lateral spreading impacts were identified. Risks from liquefaction would be reduced by implementing geotechnical recommendations and Mitigation Measures GEO-1 and GEO-2.

Hazards: A Phase 1 Environmental Site Assessment did not identify hazards on the site, and the Phase II Environmental Site Assessment and Export Soil Sampling Report concluded that the metals and pesticides detected on site are within the normal range and that no further investigation is required prior to construction. However, construction workers at the site could be exposed to dust particles disturbed as a result of construction activities, so an erosion control plan (Condition No. 19) shall be prepared and implemented to reduce these hazards and bring these impacts to a less than significant level.

Hydrology: Potential impacts to groundwater were identified however mitigation measure MM HYD-1 has been applied to reduce impacts on the groundwater to a less than significant level. Also see Finding 8, evidence “h.”

Noise: Construction of the project will produce noise. Mitigation Measure MM NOISE-1 reduces these impacts to a less than significant level by reducing construction operations to Monday through Saturday, 9:00 am to thirty minutes prior to sunset or 5:00 pm, whichever comes

first and incorporating best management practices for muffling of equipment.

Tribal Cultural Resources: Tribal consultation has occurred with the Ohlone Costanoan Esselen Nation and Esselen Tribe of Monterey County. Mitigation measures MM TCR-1 and MM TCR-2 would reduce impacts to a less than significant level by requiring contractor training prior to construction and tribal monitoring during excavation.

Utilities: Mitigation measures were required to bring impacts to utilities and service systems to a less than significant level, which include a Final Stormwater Control Plan, MM-USS-1, and a Drainage Study, MM USS-2.

- h) Cumulative Water Impacts: This project proposes to maintain existing water use within the Pajaro Valley Groundwater Basin. This project is located within the critically over drafted Pajaro Valley Groundwater Basin according to the State Water Board. Water used for agricultural purposes at the site is currently supplied by a shared well that is on an adjacent property. Current water use on the property is approximately 17.9 Acre Feet Per Year (AFY) (5.25 AFY per acre times 3.4 acres). The project proposes to disconnect from that shared well and connect to the Pajaro/Sunny Mesa Community Services District for potable water. This project will be required to balance the existing water use from the shared well with the proposed water demand from Pajaro/Sunny Mesa in order to avoid increasing demand for groundwater within the basin. Both the shared well and the water sources from Pajaro/Sunny Mesa for this service area draw from the Pajaro Groundwater Basin. The Pajaro Valley Water Management Agency (PVWMA) is tasked with managing the basin and has developed a Basin Management Plan pursuant to the State Groundwater Management Act (SGMA) in 2014 and has adopted a 2022 update to that Plan. The plan contains a number of projects and policies that are intended to stop seawater intrusion and balance the groundwater basin. Some of those projects have already been approved and are operational and others are still being considered and studied. The 2022 update shows that projects and objectives are helping to increase groundwater storage in the basin. PVWMA has been consulted and has verified that the project will not impact PVWMA Basin Management Plan projects and objectives. To ensure that the project water use does not exceed historic water use, mitigation measure “MM HYD 1” has been applied to this project that requires that the applicants supply the Monterey County Environmental Health Bureau with water use data every 4 months for the first two years following approval of a certificate of occupancy or final building permit inspection. After the first two years of reporting, the applicant/owner shall submit evidence of actual water use annually. In the event that water usage exceeds 17.9 AFY, the applicant will be required to submit a plan to Housing and Community Development and the Environmental Health Bureau for review and approval that contains measures that will reduce the actual water use in the following year to no more than 17.9 AFY minus any amount of water used in excess of 17.9 AFY in the prior year. Failure to reduce water

usage to in any year following a year that exceeds the limits will result in a mandatory occupancy limit reductions as determined by HCD and the Environmental Health Bureau. With the implementation of this mitigation measure the project will not increase demands on water within the critically over drafted groundwater basin and will not impede plans adopted to attain sustainable yields within the basin.

- i) All other categories were found to have no impacts or less than significant impacts from the project as proposed. Potential impacts from the project, as detailed in the proceeding evidence, will be less than significant with mitigation incorporated.
- j) Evidence that has been received and considered includes: the application, technical studies/reports (see Finding 3), staff reports that reflect the County's independent judgment, and information and testimony presented during public hearings. These documents are on file in HCD-Planning (PLN210152) and are hereby incorporated herein by reference.
- k) Staff analysis contained in the Initial Study and the record as a whole indicate the project could result in changes to the resources listed in Section 753.5(d) of the California Department of Fish and Game (CDFG) regulations. All land development projects that are subject to environmental review are subject to a State filing fee plus the County recording fee, unless the Department of Fish and Game determines that the project will have no effect on fish and wildlife resources. For purposes of the Fish and Game Code, the project may have an impact on the fish and wildlife resources upon which the wildlife depends. The Initial Study was sent to the California Department of Fish and Game for review, comment, and to recommend necessary conditions to protect biological resources in this area. Therefore, the project will be required to pay the State fee plus a fee payable to the Monterey County Clerk/Recorder for processing said fee and posting the Notice of Determination (NOD).
- l) During the public comment period, comments were received on the Initial Study/Mitigated Negative Declaration. The County has considered the comments and has made minor revisions to the project in response to comments.
- m) Revisions to the IS/MND have been made following the March 16, 2016 Planning Commission hearing. Revisions are required to clarify and amplify the analysis and to reflect the change in project addressing flooding elevations. The proposed project was slightly changed to include raising the buildings to a finish floor elevation by 2.5 feet from the original proposal in response to comments provided by the Pajaro Valley Flood Management Agency. Additionally, the applicant is now proposing to deepen the County detention pond and use soils excavated from the pond as fill materials (8,000 cubic yard) on the site. Other minor revisions include installation of 4 high-flow tree box biofilters and 1 bioretention pond rather than 5 bioretention ponds. These changes triggered minor changes such as the need for additional retaining walls, ramps and stairs to accommodate the transition between the ground level and the building finish floor elevation. In response to traffic related concerns, the project traffic engineer conducted a second 24-hour traffic count at the 525 Third Street Apartments Agricultural Worker Housing project (Greenfield Project) in Greenfield, California to provide

additional data to determine daily trip generation totals and hourly variations. Mitigation Measure BIO-2 required submittal of a spring survey to determine whether Monterey spineflower was present at the project site. After circulation of the IS/MND, Denise Duffy & Associates conducted the required spring survey and confirmed that the species does not exist on the property. Therefore, BIO-2 has been removed from consideration. The Supplemental Drainage Study (LIB220217) was prepared in response to Mitigation Measure USS 2 but has yet to be approved by HCD-Engineering Services and therefore is still applicable. All other mitigation measures remain the same as drafted in the circulated Initial Study (December 23, 2021 and January 24, 2022). No additional mitigation measures were proposed as a result of the IS/MND revisions. Changes have been made to the IS/MND that reflect the change in the project to address flood elevations and to clarify and amplify the analysis. The changes do not result in any new significant impacts or substantially increase the severity of impacts previously identified in the IS/MND. Pursuant to CEQA Guidelines Section 15073.5(c), recirculation of the IS/MND is not required because the project revisions have been added in response to comments on the projects effects which are not new avoidable significant effects and other information clarifies and amplifies the previous analysis

- n) Monterey County HCD-Planning, located at 1441 Shilling Place, 2nd Floor, Salinas, California, 93901, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the Mitigated Negative Declaration is based.

- 9. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors
- EVIDENCE:** Section 21.80.040 of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Board of Supervisors.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Adopt a mitigated negative declaration pursuant to Section 15074 of the CEQA Guidelines;
2. Approve a Combined Development Permit consisting of: 1) a Use Permit to allow the construction of four 16,286 square foot two-story apartment buildings totaling 60 units for agricultural workforce housing and 1 manager unit, and associated site improvements including 17,500 cubic yards of grading; and 2) a Variance to increase the required building site coverage from 5% to 27%; and
3. Adopt the attached Mitigation Monitoring and Reporting Program.

All of which is in general conformance with the attached plan set and subject to the attached conditions and mitigation measures, attached hereto.

PASSED AND ADOPTED this 28th day of September 2022, upon motion of Commissioner _____, seconded by Commissioner _____, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Craig Spencer, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN210152

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit consisting of a Use Permit and a Variance (PLN210152) allows the construction of four (4) 16,286 square foot two-story apartment buildings totaling 60 units for agricultural workforce housing and 1 manager unit and approximately 26% building site coverage in Farmlands zoning. The property is located at 51, 53, 55 & 57 Susan Street, Royal Oaks (Assessor's Parcel Number 117-361-016-000), North County Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number _____) was approved by the Planning Commission for Assessor's Parcel Number 117-361-016-000 on March 16, 2022. The permit was granted subject to 20 conditions of approval and 20 mitigation measures which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. AGRICULTURAL VEGETATIVE SCREENING & AGRICULTURAL BUFFER LINE ON CONSTRUCTION PLANS (NON-STAND/

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Owner/Applicant shall incorporate the agricultural buffer line(s) onto the construction plans in the landscaping plan sheet(s) or elsewhere. Also, incorporate the information of the appropriate vegetation buffer to be planted as vegetative screening for purposes of a vegetative agricultural buffer along the proposed apartment complex as shown in the planning set of plans. Set of construction plans, specifically the landscaping plan, shall be reviewed and approved by the Monterey County Agricultural Commissioner's Office. (Agricultural Commissioner's Office)

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permits, the Owner/Applicant shall incorporate required information onto the construction plans landscaping sheet(s) for the review and approval of the Monterey County Agricultural Commissioner's Office.

Prior to final inspection, the applicant shall install landscaping per approved plans and contact the Monterey County Agricultural Commissioner's Office for inspection of agricultural vegetative screening as shown on landscaping plans.

5. PW0005 – DRIVEWAY IMPROVEMENTS

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Construct driveway connection(s) to Susan Street. The design and construction is subject to the approval of the HCD. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the HCD-Engineering, obtain an encroachment permit from the HCD prior to issuance of building or grading permits, and construct and complete improvements prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

6. PW0007 - PARKING STANDARD

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The parking stalls and circulation shall meet County standards, and shall be subject to the approval of the RMA.

Compliance or Monitoring Action to be Performed: Prior to Building/Grading Permits Issuance, the Owner's/Applicant's engineer/architect shall prepare a parking plan and submit plans for review and approval.

7. PW0010 - SEWER CONNECTION

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Submit utility improvement plans and construct sewer connection(s). The design and construction is subject to the approval of the PWFP/HCD-Encroachment Inspection. Owner/Applicant shall pay all applicable connection fees. Sewer connection permits are required, and Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the PWFP/HCD-Encroachment Inspection; obtain a connection permit and encroachment permit, if applicable, from the HCD prior to issuance of building or grading permits; and construct and complete improvements prior to occupancy or commencement of use. Sewer improvements to be constructed in compliance with approved plans. Applicant is responsible to obtain all permits and environmental clearances, any to pay all applicable fees.

8. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule. (Public Works)

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

9. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

10. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

11. PDSP001-Can and Will Serve Letter (PCSD)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The project applicant, owner, or future owner shall submit a non-conditional sewer service letter from the Pajaro County Sanitation District to HCD-Planning.

Compliance or Monitoring Action to be Performed: Prior to final occupancy, the applicant shall submit a non-conditional can and will serve letter issued by the Pajaro County Sanitation District to HCD-Planning.

12. PWSP001 – SUSAN STREET OFFSITE IMPROVEMENTS

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall construct required accessible pedestrian offsite improvements along Susan Street, such as but not limited to curb, gutter, sidewalk, and including ADA ramps at the intersection of Susan Street and San Juan Road. The design and construction is subject to the approval of the HCD-Engineering Service. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the HCD-Engineering Services, obtain an encroachment permit from the HCD prior to issuance of building or grading permits. All construction and improvements shall be complete prior to occupying or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

13. PWSP002 – SAN JUAN ROAD OFFSITE IMPROVEMENTS

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall construct required sidewalk on northside of San Juan Road for approximately 85 feet, 50 feet west of Susan Street. The design and construction is subject to the approval of the HCD-Engineering Service. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the HCD-Engineering Services, obtain an encroachment permit from the HCD prior to issuance of building or grading permits. All construction and improvements shall be complete prior to occupying or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

14. PWSP003 – SUSAN STREET

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall refresh the stop stencil and stop bar at the intersection of Susan Street and San Juan Road, and refresh the red zones on west and east side of San Juan Road at Susan Street. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the HCD-Engineering Services, obtain an encroachment permit from the HCD prior to issuance of building or grading permits. All improvements shall be completed prior to occupying or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

15. MM USS-2 DRAINAGE STUDY

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The Owner/Applicant may be able to connect to the storm drain system provided the following conditions are met. A stormwater downstream conveyance and lift station capacity analysis is required. The downstream capacity study shall include, but not be limited to an evaluation of the impact of this development on the existing lift station and storm drain system and identification of any system improvements necessary to accommodate this project.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit a downstream storm drain conveyance and lift station capacity analysis for review. All costs associated with the preparation of the study, including staff time, shall be paid for by the applicant. The capacity analysis shall be completed prior to issuance of building or grading permit. Any improvements required to the system shall be the responsibility of the applicant and shall be completed prior to occupancy of the housing units. Applicant is responsible to obtain all permits and environmental clearances.

16. PWSP005 - ACCEESS EASEMENT (MAINTENANCE)

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of grading permit the applicant shall dedicate a widened access easement along the southern boundary to maintain the existing maintenance access to the lift station. The access surface shall provide unobstructed access to conventional maintenance vehicles including fire apparatus and shall be an all-weather surface designed to support the designed imposed loads. Improvements required within the easement shall be the responsibility of the applicant. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by county maintenance staff is required.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the documents for review and approval of the HCD-Engineering Services, prior to issuance of building occupancy permit. All improvements shall be completed prior to occupancy or commencement of use.

17. PWSP006 - ENCROACHMENT PERMIT (STORM DRAIN CONNECTION)

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Provided the drainage study demonstrates, to the satisfaction of the Public Works Department, the project's ability to connect by either availability of existing capacity within the system or with improvements to the system as identified by the drainage study, the Owner/ Applicant shall obtain an encroachment permit from the HCD-Engineering Services prior to connecting to the storm drain system along the adjacent County owned parcel.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the HCD-Engineering Services, obtain an encroachment permit from the HCD prior to issuance of building permit. All improvements shall be completed prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

18. PD006 - CONDITION OF APPROVAL / MITIGATION MONITORING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring and/or Reporting Plan (Agreement) in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed Agreement. The agreement shall be recorded. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Within sixty (60) days after project approval or prior to the issuance of building and grading permits, whichever occurs first, the Owner/Applicant shall:

- 1) Enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring Plan.
- 2) Fees shall be submitted at the time the property owner submits the signed Agreement.
- 3) Proof of recordation of the Agreement shall be submitted to HCD-Planning.

19. PDSP002 - DUST CONTROL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: An erosion control plan shall be prepared and maintained for all disturbed surfaces resulting from grading operations, including dust control. As such, the project will be required to implement standard dust control measures as part of grading and building.

Compliance or Monitoring Action to be Performed: Prior to issuance of building or grading permit, the applicant shall provide HCD-Planning staff with an erosion control plan, including dust control measures.

20. MM BIO-1 EMPLOYEE EDUCATION PROGRAM

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: A qualified biologist shall conduct an Employee Education Program for the construction crew prior to any construction activities. The qualified biologist shall meet with the construction crew at the onset of construction at the project site to educate the construction crew on the following:

1. the appropriate access route(s) in and out of the construction area and review project boundaries;
2. how a biological monitor will examine the area and agree upon a method which will ensure the safety of the monitor during such activities,
3. the identification of special-status species that may be present;
4. the specific mitigation measures that will be incorporated into the construction effort

Compliance or Monitoring Action to be Performed: Prior to issuance of grading or building permit, the construction plans must contain a note stating, "Construction activities will not occur until an Employee Education Program is conducted by a qualified biologist for the construction crew."

21. MM BIO-2 BOTANICAL SURVEY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to construction, a focused botanical survey shall be conducted within the project site during the appropriate blooming period (approximately May or June) to determine the presence or absence of Monterey spineflower within the site. If this species is not identified within the project site, no additional mitigation is required.

If Monterey spineflower is identified within the project site, individuals that are not in the construction footprint shall be fenced or flagged for avoidance. A biological monitor shall supervise the installation of protective fencing and shall monitor the site at least once per week until construction is complete to ensure that protective fencing remains intact. If avoidance of all Monterey spineflower is not possible, a Revegetation Plan shall be prepared by a qualified biologist prior to construction. The plan shall include a detailed description of revegetation areas, plant source material, planting specifications, and a monitoring program that describes annual monitoring efforts which incorporate success criteria and contingency plans if success criteria are not met.

Compliance or Monitoring Action to be Performed: Prior to issuance of grading or building permit, the applicant/owner shall submit a botanical survey to HCD-Planning staff indicating presence of Monterey spineflower.

If Monterey spineflower is identified within the project site, individuals that are not in the construction footprint shall be fenced or flagged for avoidance. A biological monitor shall supervise the installation of protective fencing and shall monitor the site at least once per week until construction is complete to ensure that protective fencing remains intact. If avoidance of all Monterey spineflower is not possible, a Revegetation Plan shall be prepared by a qualified biologist prior to construction.

22. MM BIO-3 RAPTOR/MIGRATORY NESTING BIRD

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: To avoid impacts to nesting birds, construction shall commence prior to the nesting season (February 1 through September 15). If this is not possible, a pre-construction survey for nesting birds shall be conducted by a qualified biologist within 15 days prior to the commencement of construction activities in all areas that may provide suitable nesting habitat within 300 feet of the project boundary. If nesting birds are identified during the pre-construction survey, an appropriate buffer shall be imposed within which no construction activities or disturbance will take place (generally 300 feet in all directions). A qualified biologist shall be on-site during work re-initiation in the vicinity of the nest offset to ensure that the buffer is adequate and that the nest is not stressed and/or abandoned. No work shall proceed in the vicinity of an active nest until such time as all young are fledged, or until after September 15 (when young are assumed fledged).

Compliance or Monitoring Action to be Performed: Construction shall commence prior to the nesting season (February 1 through September 15). If this is not possible, a pre-construction survey for nesting birds shall be conducted by a qualified biologist within 15 days prior to the commencement of construction activities in all areas that may provide suitable nesting habitat within 300 feet of the project boundary. If nesting birds are identified during the pre-construction survey, an appropriate buffer shall be imposed within which no construction activities or disturbance will take place (generally 300 feet in all directions). A qualified biologist shall be on-site during work re-initiation in the vicinity of the nest offset to ensure that the buffer is adequate and that the nest is not stressed and/or abandoned. No work shall proceed in the vicinity of an active nest until such time as all young are fledged, or until after September 15 (when young are assumed fledged).

23. MM BIO-4 CRLF BIOLOGIST SURVEY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: A qualified biologist shall survey the project site and immediately adjacent areas 48 hours before and the morning of the onset of work activities for the presence of CRLF. If any life stage of CRLF is observed, construction activities shall not commence until the Service is consulted and appropriate actions are taken to allow project activities to begin

Compliance or Monitoring Action to be Performed: Prior to issuance of a construction or grading permit, a note shall be written on the construction plans indicating that:
"A qualified biologist shall survey the project site and immediately adjacent areas 48 hours before and the morning of the onset of work activities for the presence of CRLF. If any life stage of CRLF is observed, construction activities shall not commence until the Service is consulted and appropriate actions are taken to allow project activities to begin."

24. MM BIO-5 CRLF - GROUND DISTURBANCE & VEGETATION REMOVAL SURVEY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: During ground disturbing activities and vegetation removal, a qualified biologist shall survey appropriate areas of the construction site daily before the onset of work activities for the presence of the CRLF. The qualified biologist shall remain on site until all ground disturbing activities are completed. If any life stage of CRLF is found and these individuals are likely to be killed or injured by work activities, work shall stop and the Service shall be contacted. Construction activities will not resume until the Service is consulted and appropriate actions are taken to allow project activities to continue.

Compliance or Monitoring Action to be Performed: Prior to issuance of a grading permit, the applicant/owner shall submit HCD-Planning staff with the contact information of the qualified biologist enlisted to survey the site for vegetation removal. Additionally, the applicant/owner shall include a note in the construction plans stating:

"During ground disturbing activities and vegetation removal, a qualified biologist shall survey appropriate areas of the construction site daily before the onset of work activities for the presence of the CRLF. The qualified biologist shall remain on site until all ground disturbing activities are completed. If any life stage of CRLF is found and these individuals are likely to be killed or injured by work activities, work shall stop and the Service shall be contacted. Construction activities will not resume until the Service is consulted and appropriate actions are taken to allow project activities to continue."

25. MM BIO-6 CRLF CONSTRUCTION MONITOR

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: After ground disturbing and vegetation removal activities are complete, or earlier if determined appropriate by the qualified biologist, the qualified biologist will designate a construction monitor to oversee on-site compliance with all avoidance and minimization measures. The qualified biologist shall ensure that this construction monitor receives the sufficient training in the identification of CRLF. The construction monitor or the qualified biologist shall be authorized to stop work if the avoidance and/or minimization measures are not being followed. If work is stopped due to the presence of CRLF, the Service shall be notified and construction activities will not resume until the Service is consulted and appropriate actions are taken to allow project activities to continue.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permit, the applicant/owner shall submit the contact information of the designated construction monitor to HCD-Planning. Evidence of sufficient construction monitor training shall be submitted before construction activities can begin.

26. MM BIO-7 DAILY LOG

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The qualified biologist and the construction monitor shall complete a daily log summarizing activities and environmental compliance throughout the duration of the proposed project. A complete daily log shall be submitted to HCD-Planning to review prior to final occupancy.

Compliance or Monitoring Action to be Performed: Prior to final occupancy, A complete daily log shall be submitted to HCD-Planning.

27. MM BIO-8 COVERED HOLES

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: To prevent inadvertent entrapment of CRLF during project construction, all excavated, steepwalled holes or trenches more than two feet deep will be covered at the close of each working day with plywood or similar materials. Before such holes or trenches are filled, they will be thoroughly inspected for trapped animals.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permit or grading permit the following note shall be added to construction plans:

"All excavated, steepwalled holes or trenches more than two feet deep will be covered at the close of each working day with plywood or similar materials. Before such holes or trenches are filled, they will be thoroughly inspected for trapped animals."

28. MM BIO-9 CRLF EROSION CONTROL MATERIALS

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Only tightly woven fiber netting or similar material may be used for erosion control at the project site. Coconut coir matting is an acceptable erosion control material. No plastic mono-filament matting will be used for erosion control, as this material may ensnare wildlife, including CRLF

Compliance or Monitoring Action to be Performed: Prior to issuance of a construction permit, the following note shall be included and adhered to in the construction plans:

"Only tightly woven fiber netting or similar material may be used for erosion control at the project site. Coconut coir matting is an acceptable erosion control material. No plastic mono-filament matting will be used for erosion control."

29. MM BIO-10 CRLF CONSTRUCTION HOURS

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Because dusk and dawn are often the times when CRLF are most actively foraging and dispersing, all construction activities shall cease one half hour before sunset and shall not begin prior to one half hour after sunrise.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction or grading permit, the following note shall be included and followed in the construction plans:

"All construction activities shall cease one half hour before sunset and shall not begin prior to one half hour after sunrise."

30. MM BIO-11

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All trash that may attract predators shall be properly contained, removed from the construction site, and disposed of regularly. Following construction, all trash and construction debris shall be removed from work areas.

Compliance or Monitoring Action to be Performed: Prior to final occupancy, applicant/owner shall submit evidence of the project site clear of trash and construction debris.

31. MM CR-2

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: In order to reduce potential impacts to cultural resources during construction activities, a subsurface investigation shall be conducted by a County approved cultural monitor prior to initiation of construction. Should the assessment conclude that there are no potential impacts or evidence of cultural resources in the development area, the applicant shall proceed with the proposed project. If the find is determined to be significant, work shall remain halted

Compliance or Monitoring Action to be Performed: Prior to issuance of building permit or grading permit, the applicant/owner shall submit a subsurface investigation from a County approved cultural monitor.

32. MM GEO-1

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The building pads for the proposed buildings must be cleared and grubbed of all surface vegetation prior to grading work or construction of the building foundation systems. Recommendations for grading and foundation specified in the Soils Surveys Geotechnical Report shall be followed.

Compliance or Monitoring Action to be Performed: Prior to issuance of grading or construction permits, the applicant shall provide certification from a licensed practitioner that recommendations in the geotechnical report have been incorporated in the grading and construction plans.

33. MM GEO-4

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The site grading, soil compaction, and foundation systems will incorporate the recommendations found in the project-specific geotechnical report as provided by Soil Surveys, Inc. in October 2021. All buildings will meet the requirements of the latest edition of the Uniform Building Code and the County of Monterey Building Department. All construction will be designed to meet the requirements for Seismic Zone 4 Building Codes. Recommended inspections by the geotechnical engineer shall be performed during construction.

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall provide HCD with a letter from a licensed practitioner certifying that the project has been constructed in accordance with the geotechnical report.

34. MM HYD-1

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Actual water use for the project shall not exceed 17.9-acre feet per year (AFY). In order to ensure that water use remains under 17.9 Acre feet per year, the applicant/owner must provide the Monterey County Environmental Health Bureau with actual water use data every 4 months for the first two years following approval of a certificate of occupancy or final building permit inspection. After the first two years of reporting, the applicant/owner shall submit evidence of actual water use annually. Annual reports shall be submitted no later than January 31 of the following year. Data submitted shall provide the amount of water used in Acre Feet per year (AFY) and in gallons per day.

In the event that water usage exceeds 17.9 AFY, the applicant will be required to submit a plan to Housing and Community Development and the Environmental Health Bureau for review and approval that contains measures that will reduce the actual water use in the following year to no more than 17.9 AFY minus any amount of water used in excess of 17.9 AFY in the prior year. (E.g. 2 AFY over the baseline water use demand in a given year would result in a 2 AFY decrease in available water use for the following year or 15.9 AFY). The plan may include water conservation measures or reductions in occupancy to ensure that the actual water use will be reduced to specified levels.

Failure to reduce water usage to in any year following a year that exceeds the limits will result in a mandatory occupancy limit reductions as determined by HCD and the Environmental Health Bureau. This condition and monitoring requirement shall be effective until or unless substantial evidence is provided that the Corralitos-Pajaro Valley Groundwater Basin is no longer in an overdraft condition.

Compliance or Monitoring Action to be Performed: Concurrent with use, the applicant/owner shall provide HCD-Planning and Environmental Health Bureau staff with water use data every 4 months for the first 2 years. After two years, the applicant/owner shall provide HCD-Planning and Environmental Health Bureau staff with water use data annually. Water use data shall be in gallons per day and in Acre/feet per year.

In the event that water usage exceeds 17.9 AFY, the applicant will be required to submit a plan to Housing and Community Development and the Environmental Health Bureau for review and approval that contains measures that will reduce the actual water use in the following year to no more than 17.9 AFY minus any amount of water used in excess of 17.9 AFY in the prior year. (E.g. 2 AFY over the baseline water use demand in a given year would result in a 2 AFY decrease in available water use for the following year or 15.9 AFY). The plan may include water conservation measures or reductions in occupancy to ensure that the actual water use will be reduced to specified levels.

Failure to reduce water usage to in any year following a year that exceeds the limits will result in a mandatory occupancy limit reductions as determined by HCD and the Environmental Health Bureau. This condition and monitoring requirement shall be effective until or unless substantial evidence is provided that the Corralitos-Pajaro Valley Groundwater Basin is no longer in an overdraft condition.

35. MM NOISE-1 CONSTRUCTION NOISE REDUCTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Noise-generating construction operations must occur between the least noise-sensitive periods of the daytime hours Monday through Saturday (thirty minutes after sunrise or 7:00am, whichever comes latest to thirty minutes prior to sunset or 8:00 pm, whichever comes first); no construction operations on Sundays or holidays. Additionally, construction equipment must be properly maintained and all internal combustion engine-driven equipment must contain intake and exhaust mufflers that are in good condition and appropriate for the equipment. Stationary noise generating equipment and equipment staging areas must be located as far as possible from adjacent residential receivers. The applicant shall designate a "disturbance coordinator" responsible for responding to complaints about construction noise. The disturbance coordinator shall be responsible for determining cause of noise complaint and will require reasonable measures be implemented to correct the problem. If deemed necessary by HCD staff, the disturbance coordinator shall provide evidence of measures taken to resolve the complaint. The applicant shall provide HCD staff with the name and the contact information of the designated disturbance coordinator, and display such information prominently at the construction site.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction or grading permit, the applicant shall create a Construction Management Plan that includes the following:

- A note that includes the approved noise generating construction hours.
- Locations for stationary noise generating construction equipment and staging areas
- A note that all construction equipment shall be properly maintained and equip all internal combustion engine-driven equipment with intake and exhaust mufflers that are in good condition and appropriate for the equipment

36. MM TCR-1 CONTRACTOR SENSITIVITY TRAINING

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to any digging or excavation at the site, the owner/applicant shall have all grading contractors attend a sensitivity training provided by a qualified archaeologist and a tribal representative.

Compliance or Monitoring Action to be Performed: Prior to any digging or excavation at the site, the owner/applicant shall have all grading contractors attend a sensitivity training provided by a qualified archaeologist and a tribal representative.

No more than 10 days after the sensitivity training is conducted, the owner/applicant shall submit evidence to Housing & Community Development that demonstrates that contractors and employees performing grading activities at the site have attended a training on archaeological and tribal cultural resource sensitivity prior to digging or excavation. The evidence shall be acknowledged by the trainers, shall include the trainers names and names of trainees, and the date the training was conducted.

37. MM TCR-2 ON-SITE TRIBAL MONITOR

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: To ensure that Tribal Cultural Resources incur less than significant impacts, a Tribal Monitor approved by the appropriate tribe traditionally and culturally affiliated with the vicinity of the subject parcel and that has consulted with the County and designated one lead contact person in accordance with AB 52 requirements, or other appropriately NAHC-recognized representative, shall be on-site during project-related grading and excavation to identify findings with tribal cultural significance. This Tribal Monitor shall have the authority to temporarily halt work in order to examine any potentially significant cultural materials or features. If resources are discovered, the owner/applicant/contractor shall stop work and contact the County and an professional archaeologist to evaluate the resources and develop a plan for the testing, treatment, and disposition of resources. This mitigation is not intended to alleviate responsibility of the owner or its agents from contacting the County Coroner and complying with State law if human remains are discovered.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permits for grading or building, the owner/applicant shall include a note on the construction plans encompassing the language contained in Mitigation Measures 1 and 2, including all compliance actions. The owner/applicant shall submit said plans to HCD-Planning for review and approval.

Prior to issuance of a construction permit for grading and/or building, the Applicant/Owner shall submit evidence to the satisfaction of the Chief of Planning that a monitor approved by the appropriate tribe traditionally and culturally affiliated with the vicinity of the subject parcel and that has consulted with the County and designated one lead contact person in accordance with AB 52 requirements, or other appropriately NAHC-recognized representative, has been retained to monitor the appropriate construction activities. This Tribal Monitor shall be retained for the duration of project-related grading and excavation.

Any artifacts found that are not associated with a finding of human remains shall be cataloged by both the Tribal Monitor and the qualified archaeological monitor. Once cataloged, the qualified archaeological monitor will take temporary possession of the artifacts for testing and reporting purposes. Upon completion of these testing and reporting activities, all artifacts, at the discretion of the property owner, shall be returned within one (1) year to a representative of the appropriate local tribe as recognized by the Native American Heritage Commission, or the Monterey County Historical Society. A final technical report containing the results of all analyses shall be completed within one year following completion of the field work. This report shall be submitted to RMA-Planning and the Northwest Regional Information Center at Sonoma State University. Artifacts associated with a finding of human remains shall be reburied in accordance with State Law and penalty for violation pursuant to PRC section 5097.994.

Prior to final building inspection, the Tribal Monitor or other appropriately NAHC-recognized representative shall submit a letter to HCD-Planning confirming participation in the monitoring and provide a summary of archaeological and/or cultural finds or no finds, as applicable.

38. MM USS-1 FINAL STORMWATER CONTROL PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: A final stormwater control plan shall be submitted to HCD-Planning, Environmental Services, and Developmental Services staff for review.

Compliance or Monitoring Action to be Performed: Prior to issuance of building or grading permit, the owner/applicant shall receive approval for a final stormwater control plan that shall include but not be limited to analysis and discussion on how the project will mitigate against excess stormwater runoff and higher runoff rates to a standard that has less than significant impacts on the existing area and stormwater drainage system. The final stormwater control plan shall be submitted to HCD- Environmental Services for review and approval.

39. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management

40. PDSP004 - AGRICULTURAL EMPLOYEE HOUSING RECREATION AND LANDSCAPE PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan consistent with condition 4, "PDSP004 - AGRICULTURAL VEGETATIVE SCREENING & AGRICULTURAL BUFFER LINE ON CONSTRUCTION PLANS (NON-STANDARD CONDITION" shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping and shall include an irrigation plan and information of proposed vegetative agricultural screening. The landscaping shall be installed and inspected prior to final occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. All outdoor recreation facilities as proposed shall be implemented prior to final occupancy. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Agricultural Advisory Committee, Agricultural Commissioner's Office, or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures.

Prior to final occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be installed and inspected.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. Materials necessary for recreation shall be provided and maintained by the Owner/Applicant.

Prior to final occupancy, the Owner/Applicant shall install all outdoor recreation facilities and submit evidence to HCD-Planning Staff."

41. H01 - Housing, Inclusionary Housing

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The Property owner shall provide a copy of the Employer Sponsored Housing Permit issued by the Monterey County Health Department's Environmental Health Bureau within 30-days of the Permit being issued.

The Project is subject to the County's Inclusionary Housing Ordinance, #04185 and General Plan Land Use Policy LU-2.13, which requires that the project contribute 11.8 Inclusionary Housing Units and 2.95 Affordable Housing Units if the Property Owner fails to maintain an Employer Sponsored Housing Permit.

Compliance or Monitoring Action to be Performed: Prior to the issuance of the first building permit the project applicant shall execute and record on title an Inclusionary Housing Agreement with the County, in a form acceptable to the County, that specifies that the following units shall be provided on site, three units at workforce 1-income level; four units at a moderate-income level; four units at a low-income level; three units at a very low-income level; and, the Property Owner shall have the option of either: providing a fifth workforce 1-income level unit; or, paying a fractional in-lieu fee of \$50,860 for the remaining 0.75 workforce 1-income level unit. The Agreement shall address, but not limited to, the type and size of the unit, the location of the unit, pricing, and selection of tenants.

42. MM CR-1

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: In order to prevent impacts to Cultural Resources and Tribal Cultural Resources, Owner/Applicant shall include requirements of this condition as a note on all grading and construction plans. The note shall state "If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning, Native American Heritage Commission (NAHC) designated tribal representative and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner, NAHC designated tribal representative and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the recovery.

Prior to resuming any further project-related ground disturbance, Owner/Applicant shall coordinate with the project planner, NAHC designated tribal representative and a qualified archaeologist to determine a strategy for either return to the Tribe or reburial. Any artifacts found that are not associated with a skeletal finding shall be returned to the aboriginal tribe.

If human remains are accidentally discovered during construction, the following steps will be taken:

- There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent resources until:
- The coroner of the county in which the remains are discovered must be contacted to determine that no investigation of the cause of death is required, and
- If the coroner determines the remains to be Native American:
 - o The coroner shall contact the Native American Heritage Commission and HCD-Planning within 24 hours.
 - o The Native American Heritage Commission shall identify the person or persons from a recognized local tribe of the Esselen, Salinan, Costonoan/Ohlone and Chumash tribal groups, as appropriate, to be the most likely descendent.
 - o The most likely descendent may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in Public Resources Code Section 5097.9 and 5097.993, or
 - o Where the following conditions occur, the landowner or his authorized representatives shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further subsurface disturbance:

? The Native American Heritage Commission is unable to identify a most likely descendent or the most likely descendent failed to make a recommendation within 48 hours after being notified by the commission.

? The descendent identified fails to make a recommendation; or

? The landowner or his authorized representative rejects the recommendation of the descendent, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner.

**Compliance or
Monitoring
Action to be
Performed:**

Prior to issuance of grading or construction permits, the following note shall be included on the plans:

“Throughout grading and construction activities, the procedures outlined in Mitigation Measure

CR-1 shall be adhered to.”.

Susan Street Agricultural Employee Housing

PAJARO,

CALIFORNIA

Project / Owner:

Susan Street Agricultural Employee Housing

51, 53, 55, & 57 SUSAN ST
PAJARO, CA 95076

APN: 117-361-016-000

PROJECT DIRECTORY	GENERAL DEVELOPMENT PLAN	SHEET INDEX	PROJECT INFORMATION																																																																																
<p>PROJECT OWNER RIO VISTA GROUP LLC PO BOX 4500 SALINAS, CA 93912 (831) 240-1002 PHONE tresguapos3@gmail.com</p> <p>CONTRACTOR / REPRESENTATIVE AVLA CONSTRUCTION COMPANY 12 THOMAS OWENS WAY, SUITE 200 MONTEREY, CA 93940 (831) 372-5580 PHONE (831) 372-5584 FAX JEFF NOHR</p> <p>PROJECT ARCHITECT THE PAUL DAVIS PARTNERSHIP 286 ELDORADO STREET MONTEREY, CA 93940 (831) 373-7459 FAX paulw@pauldavispartnership.com CONTACT: PAUL W. DAVIS, A.I.A.</p> <p>CIVIL ENGINEER WHITSON ENGINEERS 6 HARRIS COURT MONTEREY, CA 93940 (831) 649-5225 PHONE (831) 373-5065 FAX gkaprielian@whitsoneengineers.com CONTACT: GARRETT KAPRIELIAN, P.E.</p> <p>SOILS ENGINEER SOIL SURVEYS GROUP INC. 103 CHURCH ST SALINAS, CA 93901 (831) 757-2171 BELINDA TALUBAN, P.E.</p> <p>LANDSCAPE ARCHITECT BELLINGER, FOSTER, STEINMETZ 425 PACIFIC STREET, SUITE 201 MONTEREY, CA 93940 (831) 646-1383 PHONE (831) 373-8653 FAX MIKE BELLINGER</p> <p>ELECTRICAL ENGINEER AURUM CONSULTING ENGINEERS 80 GARDEN COURT, SUITE 210 MONTEREY, CA 93940 (831) 646-3330 PHONE (831) 646-3336 FAX ELDRIDGE O. BELL, P.E.</p>	<p>Overview: The Susan St. Agricultural Employee Housing Project (proposed project) would be located within Monterey County (County), California on a single parcel within the Pajaro Community in unincorporated North Monterey County. The development would take place on Assessor's Parcel Number (APN) 117-361-016-000, a 3.41 acre parcel. The project site is currently used for agricultural row-crop production and has historically been used for agricultural land uses. In 1947, the proposed project site was part of the approved Kall Subdivision Tract Map; however, the site was not developed and instead reverted to agricultural uses in 1949. The site is owned by Robert E Kall and Janet Rose Kall and is currently in Escrow with Rio Vista Group LLC.</p> <p>The proposed project consists of the construction of four (4) two-story apartment style buildings on the 3.41-acre property, consisting of 60 apartment units, two (2) laundry facilities, one (1) manager unit, one (1) recreation room, open space and informal recreation fields. The housing project would be occupied primarily during the Salinas Valley harvest season from April through November. Rio Vista Group LLC would make the housing available for agricultural employees, and the housing would be designed to accommodate a maximum of 480 agricultural employees without dependents. Each apartment unit would be suitable to house up to eight individuals.</p> <p>The proposed project is located within the High Density Residential (HDR), Farmlands (F), and Resource Conservation (RC) Zoning Districts. Monterey County Code (MCC) Section 21.30.030(AA) allows Agricultural employee housing consisting of thirty-seven (37) or more beds in group quarters or thirteen (13) or more units or spaces designed for use by a single family or household subject to an administrative permit in F Districts. In addition, MCC Section 21.30.030 (F) allows for Agricultural Support Facilities. The project proposes an Agricultural Employee Housing development which is considered an Agricultural Support Facility. As a result, the proposed project includes an application to the County for a use permit and is subject to an existing General Development Plan (GDP), which allows a variety of uses permitted under the existing zoning of the proposed project site.</p> <p>Traffic. The seasonal employees typically do not have their own vehicles. Instead, the employees would be bussed or carpooled to agricultural fields throughout Monterey County. All outbound bus/vanpool trips would occur between 2:00 - 5:00 A.M. and all inbound bus/vanpool trips would occur between 12:00 - 4:00 P.M. Both buses and vans would be used for employee bussing and vanpools. The buses would be stored offsite and driven to and from the site each day, while the vans would be stored onsite. During weekday evenings and weekends, bus service into Pajaro and Watsonville would be provided to the employees, as necessary, to transport employees to shopping, recreation and religious services. Most of the bus trips would be in the early morning and early afternoon, before peak hour traffic times.</p> <p>Fencing and Lighting. The proposed project would install a perimeter fence and vehicle gates around the development. Exterior lighting at the project would be downward facing and shielded to direct light downwards to ensure that lighting does not spill over onto nearby residential properties. All exterior lighting would be consistent with local lighting ordinances, including in the County's Design Guidelines for Exterior Lighting.</p> <p>Recreation. The proposed project incorporates indoor and outdoor recreational facilities as depicted on the site plan. Facilities include one (1) recreation room, open space, informal recreation fields, and walkways around the complex. Bus service to and from Pajaro and Watsonville would be provided on weekends and weekday evenings, as needed, to allow the occupants the opportunity for shopping, recreation and religious services.</p> <p>Water. Pajaro/Sunny Mesa Community Services District (PSMCS) was formed in 1986 as a result of the consolidation of the Pajaro Community Services District, the Sunny Mesa Water District, and Monterey County Service Area No. 73. PSMCS provides potable water services, fire flows, parks, and street light services to thousands of residents in North Monterey County. PSMCS operates a total of nine water systems located in North Monterey County. PSMCS, a public utility, serves the Pajaro Community and has ample capacity to serve the proposed project. A "can and will serve" letter has been issued by (PSMCS). The proposed project would be connected to the existing water system via the existing water pipelines located on Susan Street, immediately south of the proposed project site.</p> <p>Wastewater. The Pajaro County Sanitation District (PCSD) was formed in 1946 to provide a community sewer system that replaced the individual septic tank systems that served homes and businesses in Pajaro until that date. Today PCSD serves the two non-contiguous communities of Pajaro and Las Lomas and some residential enclaves along Salinas Road. The services of the district are limited to the collection of domestic sewage only. Area wastewater is transported to the</p>	<p>City of Watsonville wastewater treatment plant in Santa Cruz County. The district does not have its own staff. Staffing and management of the district is provided by the Monterey County Public Works Department. The City of Watsonville has an agreement with PCSD to provide sewer service to the Pajaro Community. The City of Watsonville has stated PCSD has excess capacity for future developments. PCSD's infrastructure consists of underground sewer lines traversing a total of 20.2 miles, as well as six (6) lift stations. The lift stations pump contained wastewater from Las Lomas to Pajaro and then to the Watsonville Wastewater Plant on Riverside Drive, located directly south of the Watsonville city limits, where it is treated. Staff states that sewers and lift stations are now in good condition. The proposed project would be connected to the existing wastewater system. PCSD has stated they will provide sanitary sewer service, provided certain conditions are met by the development. The PCSD sanitary sewer capacity and service is conditioned upon a professionally prepared sanitary sewer capacity study as outlined in the letter dated July 30, 2021 by Lynette Redman. Upon review and confirmation of the Sewer Capacity study PCSD will provide a formal "can and will serve" letter.</p> <p>Drainage. Whitsone Engineers prepared a report entitled <i>Storm Water Control Plan and Provided Recommendations for the Susan St. Agricultural Housing Project</i>, dated 10/14/2021. The report summarizes the proposed project's stormwater management strategy pursuant to the Post Construction Stormwater Management Requirements for Development Projects in the Central Coast Region. Central Coast Regional Water Quality Control Board Resolution No. R3-2013-0032, and the guidance documents promulgated by the Monterey Regional Stormwater Management Program (MRSWMP), including the Stormwater Technical Guide for Low Impact Development, dated March 25, 2015. The drainage system would be designed and constructed to meet current regulations and requirements, including the Monterey County flood control requirements pursuant to MCC Section 19.10.050.</p> <p>Grading. A Geotechnical Investigation Report was prepared by Soil Surveys, Inc. dated 10/08/2021. The project site is located southeast of Highway 129 in Pajaro, Monterey County, California. According to the Monterey County Geographic Information System, the project site is located in Seismic Zone VI. The site is geologically mapped as being underlain by alluvium. The native soil generally encountered at the site is consistent with the geologic mapping. The project site consists of several soil types, silty sand, sandy silt, clayey sand, sandy lean clay and fat clay within the depths explored. Development of the site would be required to be built in conformance with the latest version of the California Building Code, as well as County of Monterey building ordinances for width, thickness, embedment, and reinforcement steel, thereby ensuring that adequate provisions are in place to reduce geological impacts to a less-than-significant level.</p> <p>Construction Activities. The duration of construction is expected to be approximately 10 months from the issuance of permits. Construction hours are 7:00 A.M. to 5:00 P.M. The number of workers would vary throughout construction and would range from 10 to 100 workers at any given time.</p> <p>Police and Fire Protection. The Pajaro Community is served by the North County Fire Protection District of Monterey County and the Monterey County Sheriff's Office. All buildings would include a fire sprinkler system as well as onsite fire hydrants as required by code.</p>	<p>LOCATION: 51, 53, 55, & 57 SUSAN ST. PAJARO, CA 95076</p> <p>A.P.N. 117-361-016-000</p> <p>ZONING: HDRD20 / F40, & RC40</p> <p>PROJECT SITE AREA: 3.41 AC (148,539.6 SF)</p> <p>PROJECT DESCRIPTION: CONSTRUCTION OF A 60 2-BEDROOM UNIT HOUSING PROJECT FOR 480 SEASONAL AGRICULTURAL EMPLOYEES w/ 1 1-BEDROOM UNIT FOR RESIDENT MANAGER.</p> <p>NO. OF STORIES: 2-STORIES</p> <p>BLDG. HEIGHT: 34'-5" ± - Highest ridge height to ave. nat. grade (35'-0" Max. allowed)</p> <table border="1"> <thead> <tr> <th colspan="6">BUILDING TYPES AND UNIT BREAKDOWN</th> </tr> <tr> <th>BLDG</th> <th>STORIES</th> <th>1 BR UNITS</th> <th>2 BR UNITS</th> <th>1ST FLR. AREA (SF)</th> <th>2ND FLR. 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REQUIRED TOTAL PROVIDED 121 INC. 5 ACCESSIBLE SPACES (121 TOTAL REQUIRED) 1 BIKE RACK / 10 PARKING SPACES = 121 / 10 = 12 REQUIRED</p> <p>RESIDENTIAL BUILDINGS (CBC 11A)</p> <p>BUILDINGS COMBINED A & B AND COMBINED C & D</p> <p>OCCUPANCY: R-2 TYPE OF CONSTRUCTION: V-B, SPRINKLERED (CBC 903.3.1.1) ALLOWABLE STORIES: 3 ALLOWABLE FLOOR AREA: 21,000 SF PER FLOOR; 42,000 SF TOTAL FIRE SPRINKLERS: ACTUAL FLOOR AREA: 1ST, 16,286 SF 2ND, 16,286 SF TOTAL 32,572 SF.</p> <p>APPLICABLE CODES:</p> <p>2019 Building Standards Administrative Code, Part 1, CBCS 2019 California Building Code (CBC) Part 2, CBCS (2006 IBC & California Amendments) 2019 California Electrical Code (CEC) Part 3, CBCS (2005 NEC & California Amendments) 2019 California Mechanical Code (CMC) Part 4, CBCS (2006 UMC & California Amendments) 2019 California Plumbing Code (CPC), Part 5 CBCS (2006 UPC & California Amendments) 2019 California Energy Code, Part 6 CBCS 2019 California Fire Code, Part 9 CBCS (2006 IFC & California Amendments) 2019 California Referenced Standards, Part 12, CBCS Title 19 C.C.R., Public Safety, SFM Regulations NFPA 13, Automatic Sprinkler System, 2010 edition NFPA 72, Natl Fire Alarm Code, (Ca Amended) 2010 Edition (See UL Standard 1971 for "Visual Devices") County of Monterey Municipal Code (Current Edition)</p>	BUILDING TYPES AND UNIT BREAKDOWN						BLDG	STORIES	1 BR UNITS	2 BR UNITS	1ST FLR. 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LAUNDRY / UTILITY @ 975 sf x 2	1,950																																																																																		
COMMUNITY ROOM @ 975 sf	975																																																																																		
RESIDENT MANAGER / OFFICE @ 975 sf	975																																																																																		
MECHANICAL / ELECTRICAL 168 SF @ 8	1,344																																																																																		
PORCH @ 1,414 SF EA BLDG @ 4	5,656																																																																																		
DECK @ 1,414 SF EA. BLDG @ 4	5,656																																																																																		
STAIRS 90 SF EA. @ 16	1,440																																																																																		
TRELLIS 238 SF EA @ 4	952																																																																																		
TRASH ENCLOSURE	591																																																																																		
TOTAL	77,911 SF																																																																																		
STRUCTURES	39,771																																																																																		
IMPERVIOUS SURFACE	63,659																																																																																		
TOTAL	103,430 ± (69.6% OF PARCEL)																																																																																		



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Drawing Date: 10.14.2021

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Revisions:
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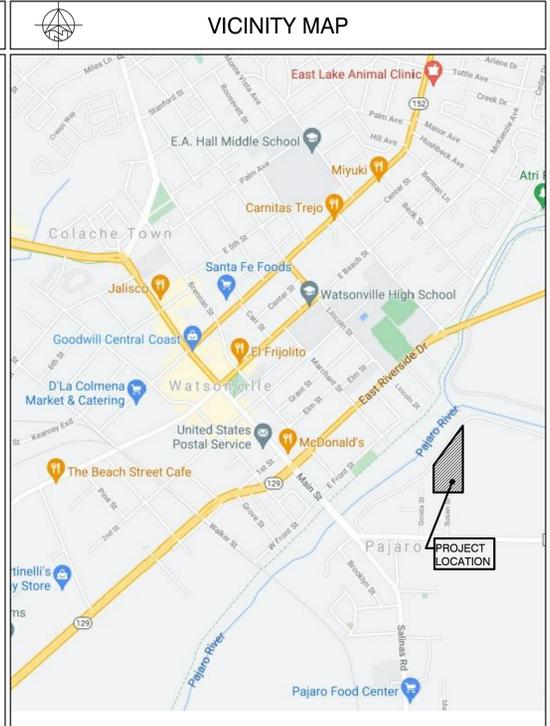
Sheet Title:
COVER SHEET

Sheet Number:

A0.1

ABBREVIATIONS			
A	AND	CTR	COUNTER
L	ANGLE	HBD	HARDBOARD
C	AT	H.C.	HOLLOW CORE
E	CENTERLINE	HDR	HEADER
PL	PLATE	HW	HARDWOOD
Ø	DIAMETER OR ROUND	DBL	DOUBLE
∩	PERPENDICULAR	DEPT.	DEPTH
∥	PARALLEL	DET	DETAIL
(#)	FOUND OR NUMBER	D.H.	DOUBLE HUNG
(E)	EXISTING	DIAG.	DIAGONAL
A.B.	ANCHOR BOLT	DN	DOWN
A.B.S.	ACRYLONITRILE BUTADIENE STYRENE	DN	DOWN
A.C.	ASPHALTIC CONCRETE	DRWG.	DRAWING
A.C.T.	ACOUSTICAL CEILING TILE	D.S.	DOWNSPOUT
A.C.	AIR CONDITIONING	DWR.	DRAWER
ACOUS.	ACOUSTICAL	DRW.	DRAWER
ADJ.	ADJUSTABLE, ADJACENT	E	EAST
AGGR.	AGGREGATE	E.A.	ELEVATION ELEVATOR
ALUM.	ALUMINUM	ELEC.	ELECTRIC (AL)
ANOD.	ANODIZED	EMER.	EMERGENCY
A.P.A.	AMERICAN PLYWOOD ASSOCIATION	ENCL.	ENCLOSURE
APPROX.	APPROXIMATE	EQUIP.	EQUIPMENT
ARCH.	ARCHITECT (URAL)	EXIST. (E)	EXISTING
BD.	BOARD	EXT.	EXHAUST
BIT	BITUMINOUS	EXP.	EXPOSED EXPANSION
BLDG.	BUILDING	EXTER.	EXTERIOR
BLK.	BLOCK	F.A.	FIRE ALARM
BLDG.	BLOCKING	FAST.	FASTEN, FASTENER
B.M.	BENCH MARK	F.B.	FLAT BAR
BM.	BEAM	F.D.	FLOOR DRAIN
BOT.	BOTTOM	FDN.	FOUNDATION
BRG.	BEARING	F.E.C.	FIRE EXTINGUISHER CABINET
BTWN.	BETWEEN	FIBERGL.	FIBERGLASS
B.W.	BOTH WAYS	FIN.	FINISH (ED)
CAB.	CABINET	F.H.M.S.	FLAT HEAD MACHINE SCREW
C.B.	CATCH BASIN	F.H.W.S.	FLAT HEAD WOOD SCREW
C.C.B.R.	CLOSED CELL BACKER ROD	FLASH.	FLASHING
CEM.	CEMENT	FLR.	FLOOR (ING)
CEM.	CERAMIC	FLUOR.	FLUORESCENT
C.F.	CUBIC FOOT	F.O.	FACE OF
CLG.	CAST IRON	F.O.C.	FACE OF CONCRETE
CLG.	CEILING	F.O.F.	FACE OF FINISH
CLG.	CEILING	F.O.M.	FACE OF MASONRY
CL.	CLOSET	F.O.S.	FACE OF STUDS
CL.R.	CLEAR (ANCE)	FR.	FREPLACE
COL.	COLUMN	F.S.	FULL SIZE
COMP.	COMPOSITION	FT.	FOOT OR FEET
CONT.	CONTINUOUS	FRG.	FOOTING
CONN.	CONNECT (ION)	FURR.	FURRED (ING)
CONSTR.	CONSTRUCT (ION)	GA.	GALVE
CORR.	CORRUGATED	GALV.	GALVANIZED
CSMT.	CASEMENT	G.B.	GRAB BAR
CSWK.	CASWORK	G.I.	GALVANIZED IRON
C.T.	CERAMIC TILE	G.L.	GLASS, GLAZING
		GR.	GRADE, GRADING
		G.W.B.	GYPSSUM WALLBOARD
H.B.	HOSE BIB	H.S.	HOLLOW CORE
H.C.	HOLLOW CORE	HDR.	HEADER
HDR.	HEADER	HW.	HARDWARE
HW.	HARDWARE	H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL	OFF.	OFFICE
HGT.	HEIGHT	O.H.M.S.	OVAL HEAD MACHINE SCREW
HGT.	HEIGHT	O.H.W.S.	OVAL HEAD WOOD SCREW
HTC.	HEATING	OPW.	OPENING
H.W.	HOT WATER	OPP.	OPPOSITE
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	O.S.B.	ORIENTED STRAND BOARD
INSUL.	INSULATION	P.A.F.	POWDER ACTUATED FASTENER
INT.	INTERIOR	PART. BD.	PARTICLE BOARD
INV.	INVERT	P.G.	PAINT GRADE
JAN.	JANITOR	PERF.	PERFORATED
J.H.	JOIST HANGER	P.L.F.	POUNDS PER LINEAL FOOT
JT.	JOINT	P.L.M.	PLASTIC LAMINATE
KIT.	KITCHEN	PLAS.	PLASTER
L.	LONG LENGTH	PLY.	PLYWOOD
LAM.	LAMINATE, LAMINATED	PR.	PAIR
LAV.	LAVATORY	P.P.S.	POUNDS PER SQUARE FOOT
L.B.	LAG BOLT	P.S.I.	POUNDS PER SQUARE INCH
LOC.	LOCATE, LOCATION	P.T.	PRESSURE TREATED
L.W.	LIGHT WEIGHT	PART.	PARTITION
M.	MAXIMUM	P.T.D.	PAPER TOWEL DISPENSER
M.B.	MACHINE BOLT	P.V.C.	POLYVINYL CHLORIDE
M.C.	MEDICINE CABINET	R.	RISER (S)
M.ECH.	MECHANICAL	R.A.	RETURN AIR
M.E.M.B.	MEMBRANE	RAD.	RADIUS
M.E.Z.Z.	MEZZANINE	R.D.	ROOF DRAIN
M.F.R.	MANUFACTURE (ER)	REG.	REGISTER
M.I.V.	MALLEABLE IRON WASHER	REF.	REFRIGERATOR
M.O.	MASONRY OPENING	REIN.	REINFORCED, REINFORCING
M.TD.	MOUNTED	RECD.	REQUIRED
M.T.	METAL	RECMT.	REQUIREMENT
MULL.	MULLION	RESIL.	RESILIENT
N.	NORTH	R.H.M.S.	ROUND HEAD METAL SCREW
N.	NORTH	R.H.W.S.	ROUND HEAD WOOD SCREW
N.	NEW	RIB.	RIB
N.	NATURAL	R.O.	ROUGH OPENING
N.I.C.	NOT IN CONTRACT	R.O.W.	RIGHT OF WAY
N.I.C.	NOT IN CONTRACT	RUB.	RUBBER
N.M.	NOMINAL	RWD.	REDWOOD
N.T.S.	NOT TO SCALE	R.W.L.	RAIN WATER LEADER
		S.	SOUTH
		S.B.	SOLID BLOCKING
		S.C.	SOLID CORE
		SCHED.	SCHEDULE
		S.D.	STORM DRAIN
		SECT.	SECTION
		SERV.	SERVICE
		S.F.	SQUARE FEET (FOOT)
		S.G.	STAIN GRADE
		SH.	SHELF, SHELVING
		SHWR.	SHOWER
		SHT.	SHEET
		SHTG.	SHEATHING
		SM.	SIMILAR
		S.O.H.	SIMILAR OPPOSITE HAND
		S.S.	STAINLESS STEEL
		S.M.	SHEET METAL
		S.M.S.	SHEET METAL SCREW
		SPCS.	SPECIFICATIONS
		SQ.	SQUARE
		STL.	STEEL
		STD.	STANDARD
		STAG.	STAGGERED
		SYM.	SYMMETRICAL
		STRUC.	STRUCTURAL
		SUSP.	SUSPENDED
		SVS.	SYSTEM
		T.	TREAD (S)
		T.B.	TOWEL BAR
		T.C.	TOP OF CURB
		T.F.	TOILET PAPER HOLDER
		TEMP.	TEMPERED
		T.E.N.	TYPICAL EDGE NAILING
		T & G.	TONGUE AND GROOVE
		T.G.R.	TOP OF GRATE
		THK.	THICK (NESS)
		THRESH.	THRESHOLD
		T.P.	TOP OF PAVEMENT
		T.P.H.	TOILET PAPER HOLDER
		T.V.	TELEVISION
		T.W.	TOP OF WALL
		TYP.	TYPICAL
		U.B.C.	UNIFORM BUILDING CODE
		U.L.	UNDERWRITERS LABORATORIES
		U.O.N.	UNLESS OTHERWISE NOTED
		UR.	URNAL
		V.B.	VAPOR BARRIER
		VAR.	VARIABLE
		V.C.	VERTICAL CURB
		V.G.	VERTICAL GRAIN
		V.T.	VINYL TILE
		W.	WIDE WIDTH
		W.	WITH
		W.C.	WATER CLOSET
		WD.	WOOD
		WDW.	WINDOW
		WH.	WATER HEATER
		W.I.C.	WOODWORK INSTITUTE OF CALIFORNIA
		W/O	WITHOUT
		W.P.	WATERPROOF
		W.R.	WATER RESISTANT
		W.S.	WOOD SCREW
		W.SCT.	WAINSCOT
		W.W.	WEIGHT
		W.W.	WELDED WIRE MESH

MATERIALS & SYMBOLS	
	CONCRETE
	CERAMIC TILE OR TILE PAVERS IN PLAN VIEW (SEE FINISH SCHEDULE)
	MASONRY
	BATT INSULATION IN SECTION
	RIGID INSULATION IN SECTION
	FINISH WOOD MEMBER IN SECTION
	CONTINUITY WOOD MEMBER IN SECTION
	WOOD BLOCKING BETWEEN FRAMING MEMBERS IN SECTION
	PLYWOOD IN SECTION
	STEEL IN SECTION
	ACOUSTIC TILE CEILING MATERIAL IN SECTION
	EARTH IN SECTION
	SAND
	ROCKFILL



VICINITY MAP	

Susan Street Agricultural Employee Housing

51, 53, 55, & 57 SUSAN ST
PAJARO, CA 95076

APN.: 117-361-016-000

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GENERAL NOTES

- SEE SHEET A1.1 SITE PLAN FOR BUILDING ORIENTATION AND EXACT LOCATION OF MECHANICAL AND ELECTRICAL ROOMS.
- ATTIC ACCESS A MIN. OF 22"x30" OR AT LEAST AS LARGE AS EQUIPMENT SERVED AND NOT OVER 20' FROM THE EQUIPMENT IF LESS THAN 6'-0" FOR THE HEIGHT OF THE PASSAGE WAY.
 - UNOBSTRUCTED PASSAGEWAY 24" WIDE X 30" HIGH W/ SOLID CONTINUOUS FLOORING FROM THE ACCESS TO THE EQUIPMENT / CONTROL PANEL. THE PASSAGEWAY SHALL BE AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE.
 - A LEVEL WORKING PLATFORM NOT LESS THAN 30" SQUARE AND 30" HIGH IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE.
- FIRE BLOCKING SHALL BE INSTALLED IN COMBUSTIBLE CONCEALED LOCATIONS IN ACCORDANCE WITH CBC 2016, SECT. 718 IN THE FOLLOWING LOCATIONS: ALSO SEE SHEET A9.1 FOR DETAILS.
 - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS. CBC 2016, SECT 718.2.2
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET. CBC 2016, SECT 718.2.2
 - AT INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS. CBC 2016, SECT. 718.2.3
 - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS. CBC 2016, SECT. 718.2.5.

LEGEND

- 1 HR RATED PARTY WALL
- NON-RATED WALL
- BUILDING LETTER
- UNIT NUMBER

SHEET NOTES

- 22"x30" INSULATED ATTIC ACCESS w/ LOCK- PROVIDE OUTLET, SWITCH AND GENERAL FLUORESCENT LIGHT IN ATTIC SPACE, TYP FOR EACH SECOND FLOOR UNIT.
- 2A10BC FIRE EXTINGUISHER & HEAVY DUTY BRACKET w/ TOP AT 48" AFF, TYP FOR EACH UNIT
- FIRE EXTINGUISHER CABINET AND 2A10BC FIRE EXTINGUISHER w/ TOP AT 48" A.F.F. (NEAR BARBEQUE AREA)- SEE A1.1 FOR LOCATION.
- WINDOWS WHERE BUILDING SIDE IS FACING 3RD STREET, EL PASEO WAY, & OPEN SPACE - SEE 1/A2.5. REFER TO SITE PLAN
- WALL LOUVER -SEE MECH. DWGS.
- GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT MIN. 5% SLOPE FOR A MIN. DISTANCE OF 10' MEASURED PERPENDICULAR TO THE FACE OF THE WALL.

Drawn By: AC
Drawing Date: 10.14.2021
Project Number: 2114

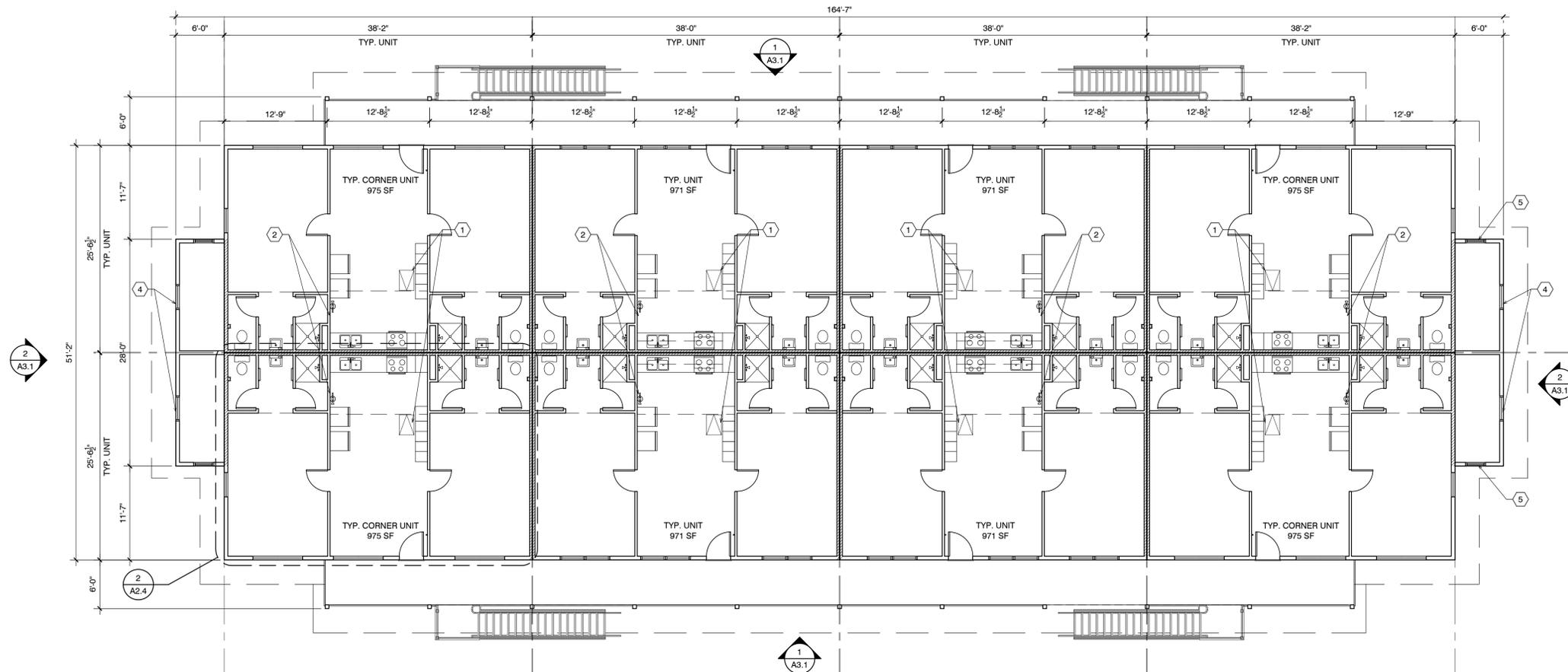
Revisions:
Planning Submittal 10-14-2021
Planning Resubmittal 11-23-2021
Planning Resubmittal 07-01-2022

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Sheet Title:
OVERALL FLOOR PLANS

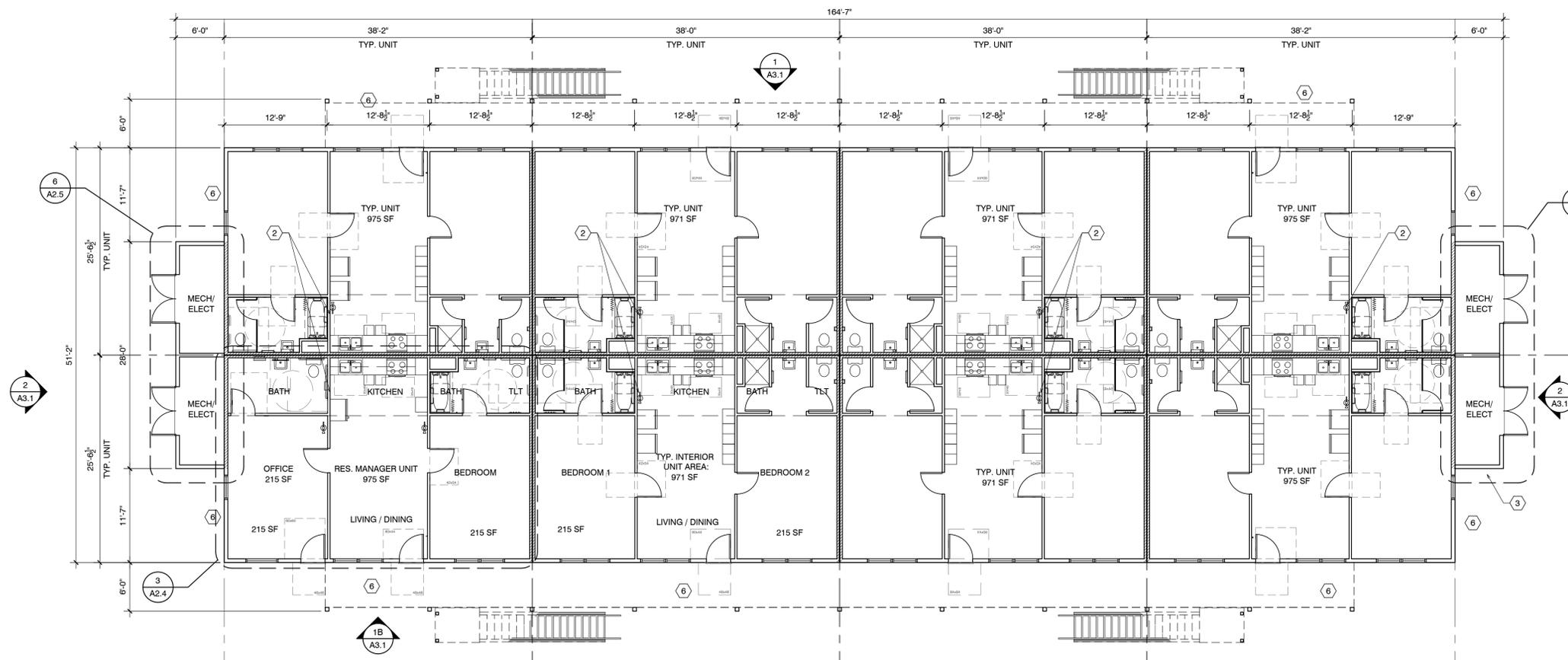
Sheet Number:

A2.1



2 OVERALL SECOND FLOOR PLAN - TYPICAL ALL BLDGS

SCALE: 1/8" = 1'-0"



1A OVERALL FIRST FLOOR PLAN w/ RES. MNGR & OFFICE - BLDGS. A

SCALE: 1/8" = 1'-0"

Susan Street Agricultural Employee Housing

51, 53, 55, & 57 SUSAN ST
PAJARO, CA 95076

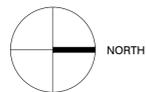
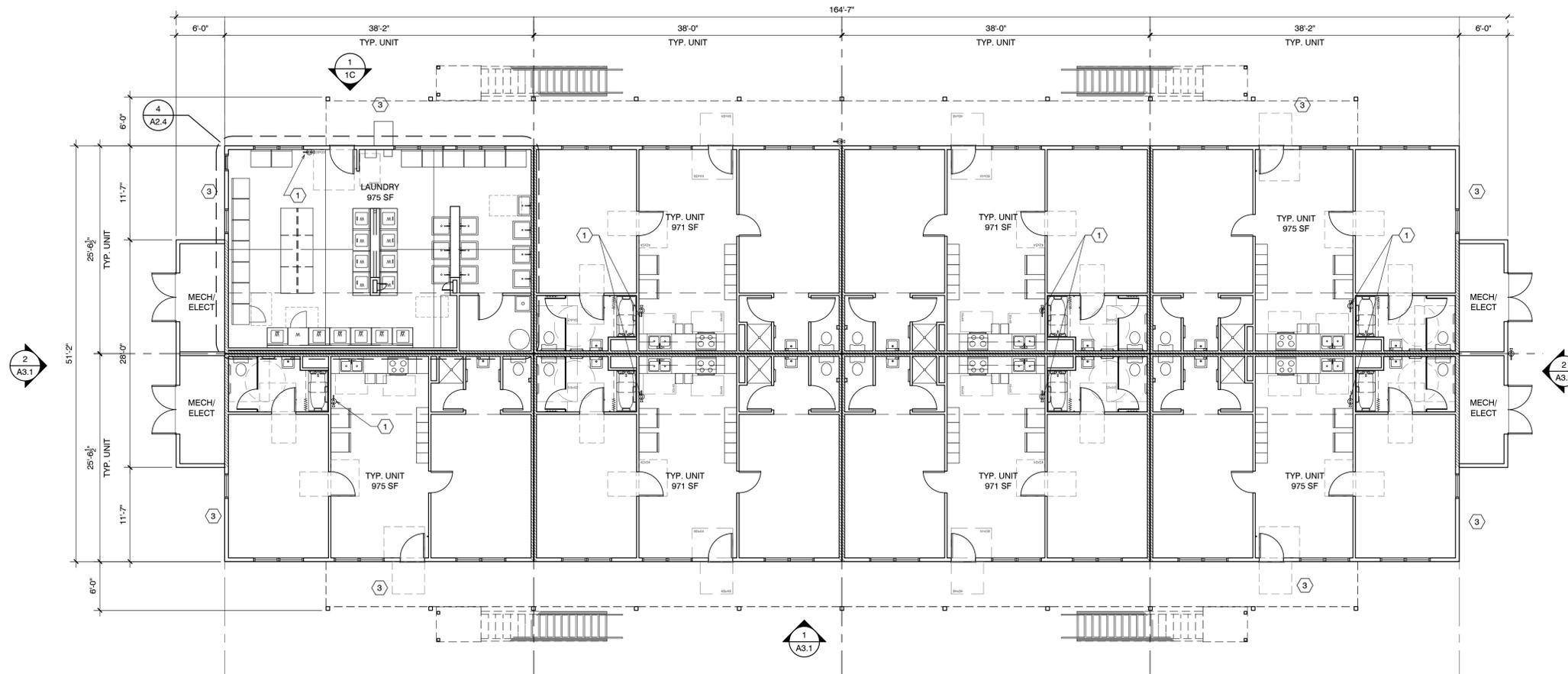
APN.: 117-361-016-000

GENERAL NOTES

1. SEE SHEET A1.1 SITE PLAN FOR BUILDING ORIENTATION AND EXACT LOCATION OF MECHANICAL AND ELECTRICAL ROOMS.
2. FOR TYPICAL SECOND FLOOR PLAN - SEE SHEET A2.1.
3. FIRE BLOCKING SHALL BE INSTALLED IN COMBUSTIBLE CONCEALED LOCATIONS IN ACCORDANCE WITH CBC 2016, SECT. 718 IN THE FOLLOWING LOCATIONS: ALSO SEE SHEET A9.1 FOR DETAILS
 - a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - a.1 VERTICALLY AT THE CEILING AND FLOOR LEVELS. CBC 2016, SECT 718.2.2
 - a.2 HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET. CBC 2016, SECT 718.2.2
 - b. AT INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING. CBC 2016, SECT. 718.2.3
 - c. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS. CBC 2016, SECT. 718.2.5.

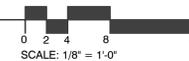
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1D OVERALL FIRST FLOOR PLAN - BLDG. D w/ LAUNDRY

SCALE: 1/8" = 1'-0"



LEGEND

- 1 HR RATED PARTY WALL
- NON-RATED WALL
- BUILDING LETTER
- UNIT NUMBER

SHEET NOTES

1. 2A-10BC FIRE EXTINGUISHER & HEAVY DUTY BRACKET w/ TOP AT 48" AFF, TYP FOR EACH UNIT
2. FIRE EXTINGUISHER CABINET AND 2A-10BC FIRE EXTINGUISHER w/ TOP AT 48" A.F.F. (NEAR BARBEQUE AREA)- SEE A1.1 FOR LOCATION.
3. GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT MIN. 5% SLOPE FOR A MIN. DISTANCE OF 10' MEASURED PERPENDICULAR TO THE FACE OF THE WALL.

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Drawing Date: 10.14.2021
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Sheet Title:
OVERALL FIRST FLOOR PLAN

Sheet Number:

A2.3

GENERAL NOTES

- REFER TO EACH OVERALL BLDG FLOOR PLAN FOR UNIT DESIGNATION AND CORNER UNIT WINDOW LOCATION

Project / Owner:

**Susan Street
Agricultural
Employee Housing**

51, 53, 55, & 57 SUSAN ST
PAJARO, CA 95076

APN.: 117-361-016-000

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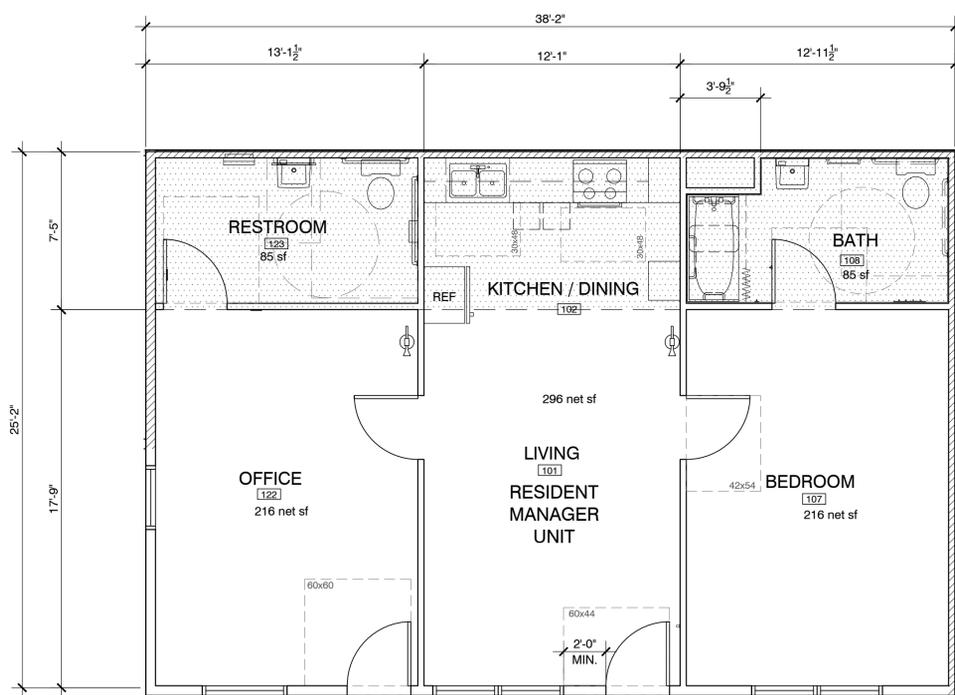
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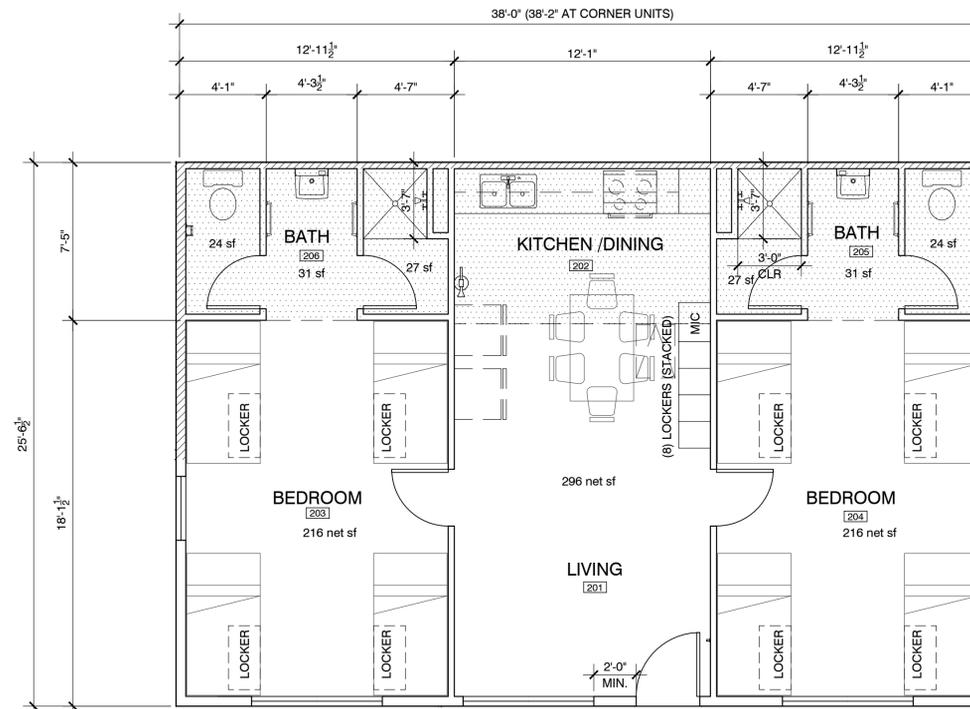
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ENLARGED PLANS

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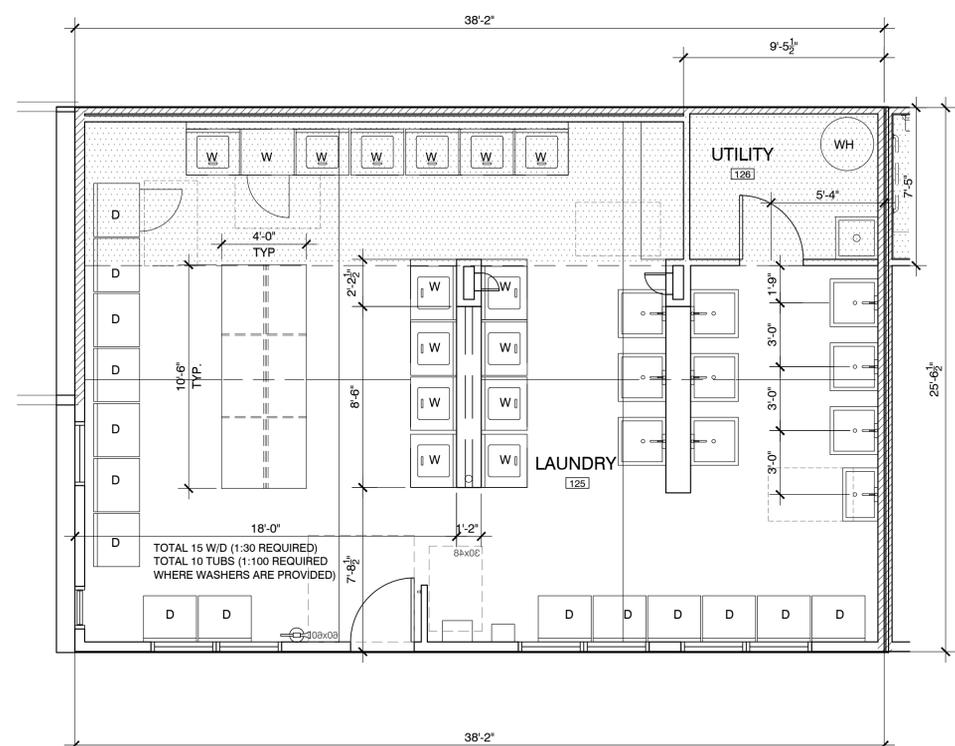
A2.4



3 **A100**
OFFICE/RES. MANAGER UNIT (975 SF CORNER UNIT)
SCALE: 1/4" = 1'-0"

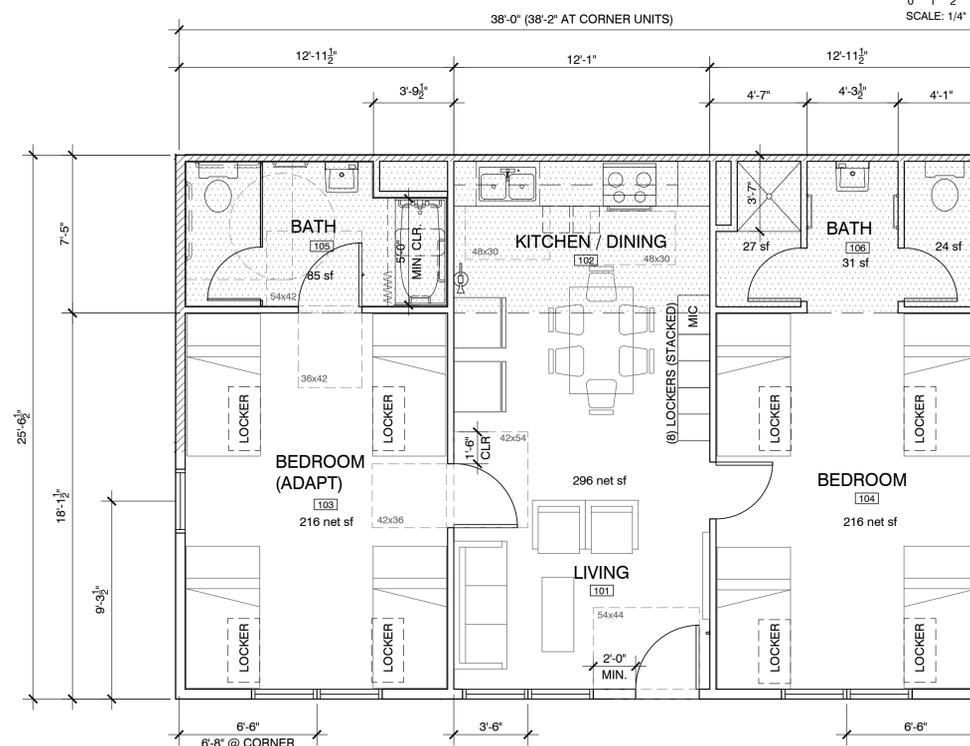


2 **TYPICAL SECOND FLOOR UNIT PLAN** (975 SF CORNER UNIT, 971 SF INTERIOR UNIT)
SCALE: 1/4" = 1'-0"



4 **B103 D100**
TYP. LAUNDRY ROOM (975 SF CORNER UNIT)
SCALE: 1/4" = 1'-0"

2 LAUNDRY ROOMS PROVIDED FOR 480 OCC.:
20 TUBS - 1 PER 24 OCCUPANTS (1/100 REQUIRED)
30 WASHING MACHINES - 1 PER 16 OCC. (1/30 REQUIRED)



1 **TYPICAL FIRST FLOOR UNIT PLAN** (975 SF CORNER UNIT, 971 SF INTERIOR UNIT)
SCALE: 1/4" = 1'-0"

LEGEND

- 1 HR. RATED PARTY WALL
- PENETRATIONS OF FIRE-RESISTANCE RATED WALL OR CEILING ASSEMBLIES SHALL BE IN ACCORDANCE WITH CBC 2016, SECT 714
- NON-RATED WALL

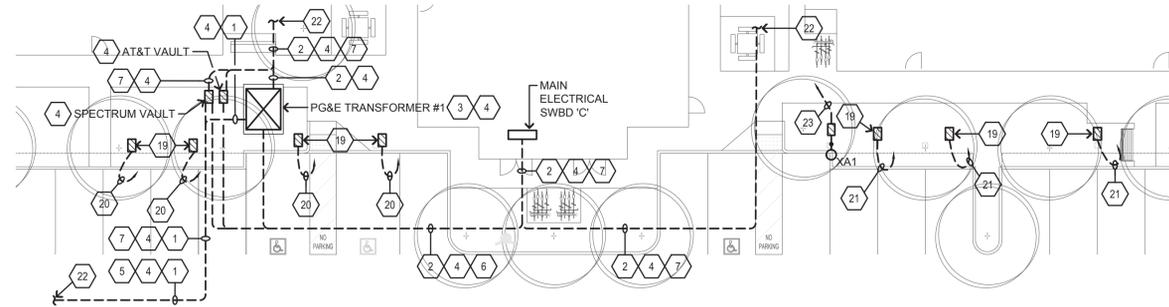
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SHEET NOTES

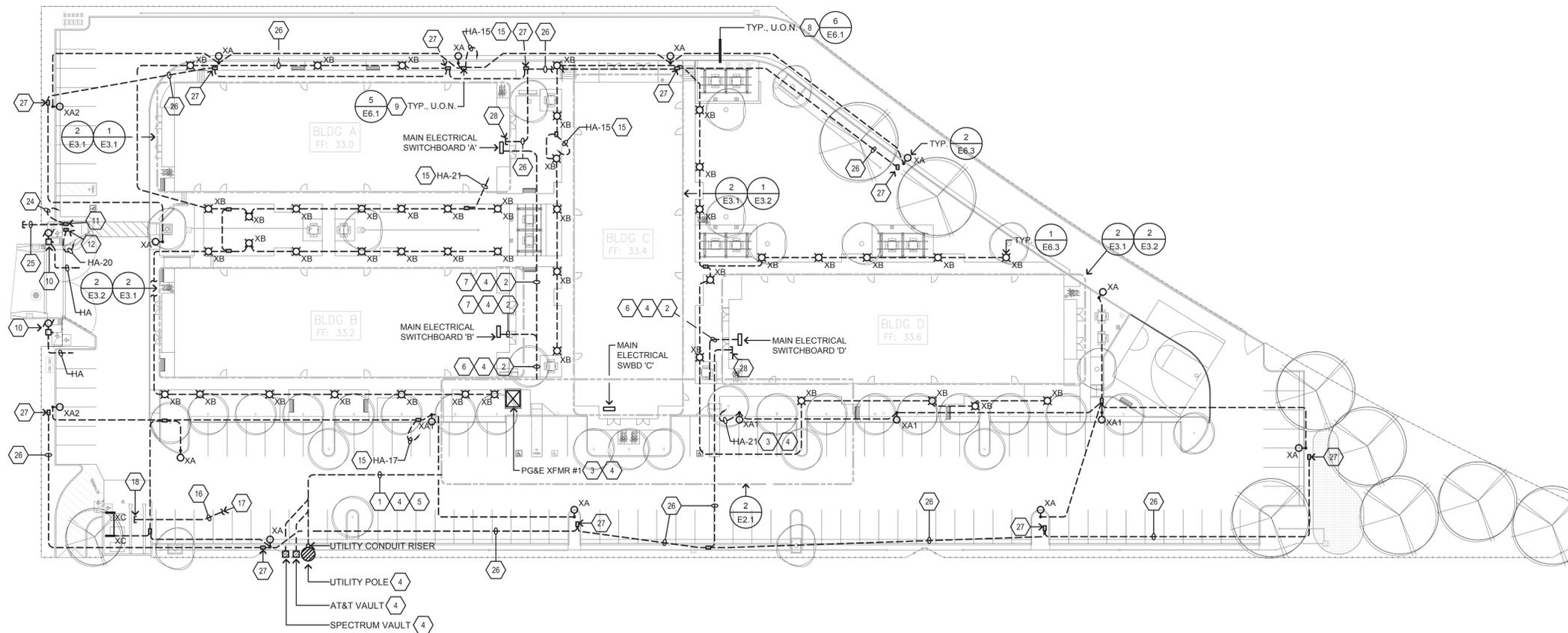
1. PG&E PRIMARY; SEE SHEET E1.1 FOR SIZE & REQUIREMENTS.
2. PG&E SECONDARY; SEE SHEET E1.1 FOR SIZE & REQUIREMENTS.
3. PG&E TRANSFORMER; SEE SHEET E1.1 FOR REQUIREMENTS.
4. INSTALL PER UTILITY STANDARDS, RULES & REGULATIONS.
5. - (1) 4" C.O. FOR AT&T.
- (1) 4" C.O. FOR SPECTRUM CATV.
6. - (2) 2" C.O. FOR AT&T.
- (2) 3" C.O. FOR SPECTRUM CATV.
7. - (1) 2" C.O. FOR AT&T.
- (1) 3" C.O. FOR SPECTRUM CATV.
8. 1" C., 2 #10 & 1 #10 GND.
9. PROVIDE AND INSTALL #N16 CHRISTY CONCRETE PULLBOX WITH LID LABELED "LIGHTING".
10. GATE MOTOR, 120V. FIELD VERIFY MOTOR SIZE; INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
11. CONTRACTOR SHALL PROVIDE & INSTALL #N16 CHRISTY CONCRETE PULLBOX LABELED "SYSTEMS". STUB 1" C.O. INTO GATE COMMUNICATIONS PEDESTAL.
12. CONTRACTOR SHALL PROVIDE & INSTALL #N16 CHRISTY CONCRETE PULLBOX LABELED "ELECTRICAL". STUB 1/2" C., 2 #12 & 1 #12 GND. INTO GATE COMMUNICATION PEDESTAL. CONNECT 120V PER MANUFACTURER'S RECOMMENDATIONS.
13. PROVIDE AND INSTALL #N16 CHRISTY CONCRETE PULLBOX WITH LID LABELED "COMMUNICATIONS".
14. 2" C.O. FOR FUTURE SECURITY CAMERAS.
15. CONTROL VIA LIGHTING CONTROL PANEL IN BUILDING "A". SEE 2/E4.2 FOR LOCATION AND 7/E6.2 FOR WIRING INFORMATION.
16. 2" C. FOR FUTURE TRASH COMPACTOR.
17. HOMERUN TO DISTRIBUTION PANEL "B1" IN ELECTRICAL ROOM. SEE 2/E3.2 & 3/E4.2 FOR LOCATIONS.
18. STUB, CAP, TAG & WEATHER SEAL CONDUIT FOR FUTURE CONNECTION TO TRASH COMPACTOR.
19. CONTRACTOR SHALL PROVIDE & INSTALL #N30 CHRISTY CONCRETE PULLBOX LABEL "EVCS".
20. HOMERUN 1" C.O. TO DISTRIBUTION PANEL "B1".
21. HOMERUN 1" C.O. TO DISTRIBUTION PANEL "D1".
22. SEE DETAIL 1/E2.1 FOR CONTINUATION.
23. SEE DETAIL 1/E2.1 FOR CIRCUIT HOMERUN INFORMATION.
24. HOMERUN 1" C., FOR MAN GATE COMMUNICATION TO MECHANICAL ROOM IN BUILDING "A".
25. 1" C.O. FOR MAN GATE COMMUNICATION.
26. 1" C.O. FOR SECURITY CAMERA.
27. PROVIDE AND INSTALL #N16 CHRISTY CONCRETE PULLBOX WITH LID LABELED "SECURITY CAMERA".
28. STUB INTO ELECTRICAL ROOM.

NOTES:

- A. CONTRACTOR SHALL LOCATE ALL (E) UNDERGROUND UTILITIES PRIOR TO TRENCHING AND TAKE CAUTION TO AVOID DAMAGE DURING TRENCHING. HAND TRENCH IF NECESSARY. CONTRACTOR SHALL MAKE ALL REPAIRS TO DAMAGED UTILITIES AT NO CHARGE TO OWNER.
- B. ALL WIRING FOR SITE LIGHTING SHALL BE #10 AWG MINIMUM, U.O.N.
- C. ALL UTILITIES (PG&E, AT&T AND CATV) ARE SHOWN IN SCHEMATIC FORM ONLY; CONTRACTOR SHALL VERIFY EXACT REQUIREMENTS WITH UTILITY COMPANY ENGINEERED DRAWINGS PRIOR TO START OF CONSTRUCTION AND PROVIDE FACILITIES ACCORDINGLY.



2 PARTIAL ELECTRICAL SITE PLAN
SCALE: 1/16"=1'-0"
32' 0' 16' 32'
NORTH



1 ELECTRICAL SITE PLAN
SCALE: 1"=30'-0"
30' 0' 15' 30'
NORTH

Drawn By: AC
Drawing Date: 10.14.2021
Project Number: 2114

Revisions:
Planning Submittal 10-14-2021
Planning Resubmittal 11-23-2021
Planning Submittal 07-01-2022

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Sheet Title:
**ELECTRICAL
SITE PLAN**

Sheet Number:



**AURUM CONSULTING
ENGINEERS
MONTEREY BAY, INC.**
Project No. 21-354.00
404 W. Franklin St. • Suite 100 • Monterey, CA 93940
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E2.1

Susan Street Agricultural Employee Housing

51, 53, 55, & 57 SUSAN ST
PAJARO, CA 95076

APN.: 117-361-016-000

THE PAUL DAVIS PARTNERSHIP

ARCHITECTS & PLANNERS

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Drawn By: AC

Drawing Date: 10.14.2021

Project Number: 2114

Revisions:
Planning Submittal 10-14-2021
Planning Resubmittal 11-23-2021
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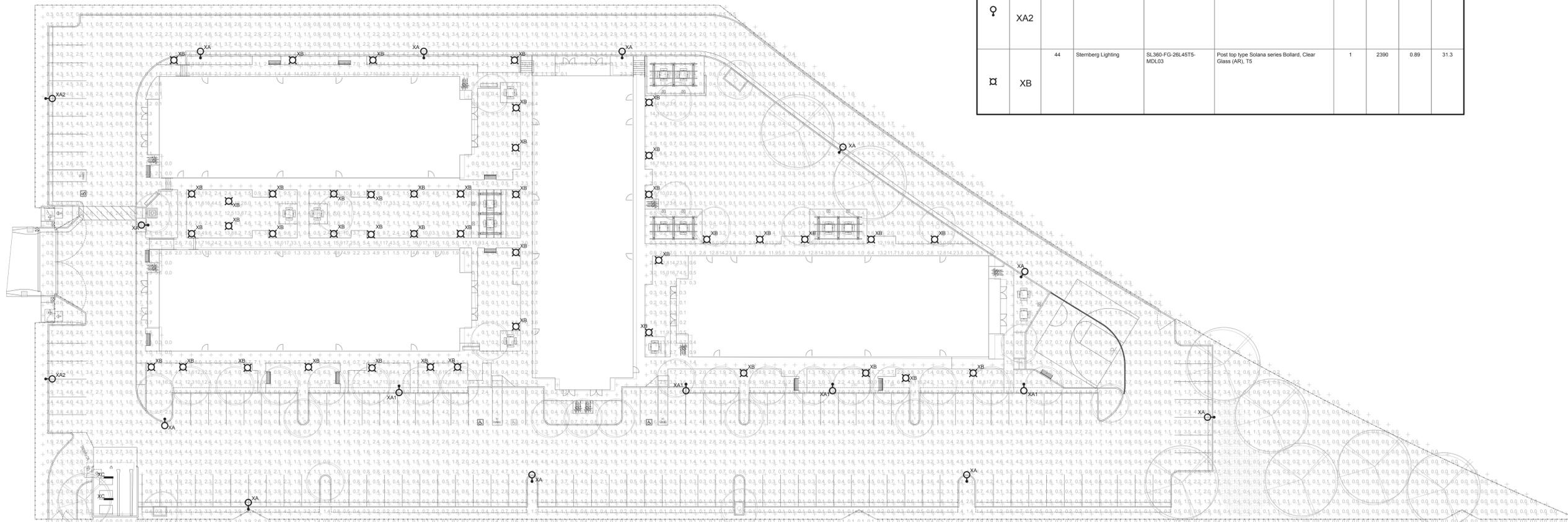
Sheet Title:
ELECTRICAL SITE PLAN - PHOTOMETRIC

Sheet Number:

E2.1P

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.3 fc	20.0 fc	0.0 fc	N/A	N/A

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
♀	XA	11	Visionaire Lighting LLC		31.5 in L x 15 in W x 11.75 in H	1	11521	0.89	102
♀	XA1	4	Visionaire Lighting LLC		31.5 in L x 15 in W x 11.75 in H	1	14305	0.89	104
♀	XA2	2	Visionaire Lighting LLC		31.5 in L x 15 in W x 11.75 in H	1	11521	0.89	102
♂	XB	44	Sternberg Lighting	SL360-FG-26L45T5-MDL03	Post top type Solana series Bollard, Clear Glass (AR), T5	1	2350	0.89	31.3



VMX-II LED Specifications

Project Name: _____
Catalog Number: _____
Type: **XA, XA1 & XA2**

The VMX-II LED Series offers clean, functional styling that is defined by its sleek, low profile design and rugged construction. It combines the latest LED technology with advanced LED thermal management and provides outstanding lighting performance and durability.

The LED performance and the driver's life are maximized by enclosing them in two separate cast aluminum housings. Easy tool-less access for mounting and maintenance.

The LED light assemblies come with 40 to 90 LEDs. Eight optical distribution patterns are available. Choose between 3000, 4000 or 5000 Kelvin temperature of the LEDs.

A durable polyester powder coat finish is guaranteed for five years; and is available in standard or custom colors.

The VMX-II LED series is an exceptional choice for commercial parking lots, office complexes, industrial projects, and other general lighting projects.

MODEL	OPTICS	LEDS	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS	OPTIONS
VMX-II	T1 Type 1	48LC	3 3000K	5K	120/277V	AM Arm Mount	BZ Bronze	PCR-120	W5C-8	UPMA-S
	T2 Type 2	64LC	5 3000K	8 4000K	120/277V	AM Arm Mount	BRK Black	PCR-240	W5C-16	UPMA-R
	T3 Type 3	80LC	7 3000K	5 4000K	120/277V	AM Arm Mount	BRK Black	PCR-480	W5C-32	UPMA-R
	T4 Type 4	96LC	10 3000K	5 4000K	120/277V	AM Arm Mount	BRK Black	PCR-720	W5C-48	UPMA-R
	T5 Type 5	144LC	15 3000K	5 4000K	120/277V	AM Arm Mount	BRK Black	PCR-1440	W5C-96	UPMA-R

SOLANA SL360

PROJECT: _____
TYPE: XB

ORDERING EXAMPLE: PT8-SL360-FG-26L45T5-F-MDL03-PEC-FHDUBKT

HOUSING	HEIGHT	LENS	IC OF	COLOR	DISTRIBUTION	DRIVER	BUTTON	SENSOR	SOLE FUSE	POLE	FINISH	COLOR
SL	2	PG	26L	2700K	T2	F	MCLKS	PEC	GFLP/PLC	RHP4P	UBT	UB
PPP	3	PPG	3000K	T3	R	MCLKS	PEC	GFLP/PLC	RHP4P	UBT	UB	UB
PMI	4	PMI	3600K	T3R		MCLKS	PEC	GFLP/PLC	RHP4P	UBT	UB	UB
WMP	6	WMP	4000K	T5		MCLKS	PEC	GFLP/PLC	RHP4P	UBT	UB	UB
	7					MCLKS	PEC	GFLP/PLC	RHP4P	UBT	UB	UB

Product Specs

Optical

- Full-cutoff, IP65 rated optic module.
- Available in E5 Type 2, 3, 3K, 4 and 5 distributions.
- Ultra-high output, high brightness LEDs.
- Typical CRI of 75, CCT 2700, 3000, 3500 and 4000K.
- Call factory for custom CCT.
- LM-79 and LM-80 tests in accordance with IESNA standards.
- Lumen depreciation rating L70-100,000 hours, projected per TM-21 guideline using 7000mah drive current at 0°C ambient.
- RoHS Compliant.

Electrical

- 120-277 volt and 347-480 volt available.
- Minimum driver power factor > 0.95.
- Electrical surge protection in accordance with IEEE/ANSI C62.41.2.
- UL listed in U.S. and Canada.

Mechanical

- Cast aluminum heat sink, arm, lens cover, heat sink cover, housing top cover and housing filter.
- 400" "Rugged Air Flow Dynamics" maximizes heat sink operation.

Warranty & Standards

- 7-year warranty on LED systems and drivers - 7 years.
- All fixtures that be free from all defects in materials and workmanship for a period of 7 years from the date of manufacture. The luminaire manufacturer shall warrant the LED luminaire system, during the stated warranty period, against failure defined as more than 10% percent non-operating LEDs.

Drivers (0-10V dimming):

- M002: 300mA, 120-277V
- M003: 300mA, 120-277V
- M004: 300mA, 120-277V
- M005: 300mA, 347-480V
- M006: 300mA, 347-480V
- M007: 300mA, 347-480V

RoHS Pole Adapter:

- RoPA-4: 4" Pole Diameter
- RoPA-5: 5" Pole Diameter

RoPA-4: 4" Pole Diameter

- UL-1: Urban Gun Metal
- UL-2: Urban Gun Metal
- UL-3: Urban Light Bronze
- UL-4: Urban Light Bronze
- UL-5: Urban Light Bronze
- UL-6: Urban Light Bronze
- UL-7: Urban Light Bronze
- UL-8: Urban Light Bronze
- UL-9: Urban Light Bronze
- UL-10: Urban Light Bronze
- UL-11: Urban Light Bronze
- UL-12: Urban Light Bronze
- UL-13: Urban Light Bronze
- UL-14: Urban Light Bronze
- UL-15: Urban Light Bronze
- UL-16: Urban Light Bronze
- UL-17: Urban Light Bronze
- UL-18: Urban Light Bronze
- UL-19: Urban Light Bronze
- UL-20: Urban Light Bronze
- UL-21: Urban Light Bronze
- UL-22: Urban Light Bronze
- UL-23: Urban Light Bronze
- UL-24: Urban Light Bronze
- UL-25: Urban Light Bronze
- UL-26: Urban Light Bronze
- UL-27: Urban Light Bronze
- UL-28: Urban Light Bronze
- UL-29: Urban Light Bronze
- UL-30: Urban Light Bronze
- UL-31: Urban Light Bronze
- UL-32: Urban Light Bronze
- UL-33: Urban Light Bronze
- UL-34: Urban Light Bronze
- UL-35: Urban Light Bronze
- UL-36: Urban Light Bronze
- UL-37: Urban Light Bronze
- UL-38: Urban Light Bronze
- UL-39: Urban Light Bronze
- UL-40: Urban Light Bronze
- UL-41: Urban Light Bronze
- UL-42: Urban Light Bronze
- UL-43: Urban Light Bronze
- UL-44: Urban Light Bronze
- UL-45: Urban Light Bronze
- UL-46: Urban Light Bronze
- UL-47: Urban Light Bronze
- UL-48: Urban Light Bronze
- UL-49: Urban Light Bronze
- UL-50: Urban Light Bronze
- UL-51: Urban Light Bronze
- UL-52: Urban Light Bronze
- UL-53: Urban Light Bronze
- UL-54: Urban Light Bronze
- UL-55: Urban Light Bronze
- UL-56: Urban Light Bronze
- UL-57: Urban Light Bronze
- UL-58: Urban Light Bronze
- UL-59: Urban Light Bronze
- UL-60: Urban Light Bronze
- UL-61: Urban Light Bronze
- UL-62: Urban Light Bronze
- UL-63: Urban Light Bronze
- UL-64: Urban Light Bronze
- UL-65: Urban Light Bronze
- UL-66: Urban Light Bronze
- UL-67: Urban Light Bronze
- UL-68: Urban Light Bronze
- UL-69: Urban Light Bronze
- UL-70: Urban Light Bronze
- UL-71: Urban Light Bronze
- UL-72: Urban Light Bronze
- UL-73: Urban Light Bronze
- UL-74: Urban Light Bronze
- UL-75: Urban Light Bronze
- UL-76: Urban Light Bronze
- UL-77: Urban Light Bronze
- UL-78: Urban Light Bronze
- UL-79: Urban Light Bronze
- UL-80: Urban Light Bronze
- UL-81: Urban Light Bronze
- UL-82: Urban Light Bronze
- UL-83: Urban Light Bronze
- UL-84: Urban Light Bronze
- UL-85: Urban Light Bronze
- UL-86: Urban Light Bronze
- UL-87: Urban Light Bronze
- UL-88: Urban Light Bronze
- UL-89: Urban Light Bronze
- UL-90: Urban Light Bronze
- UL-91: Urban Light Bronze
- UL-92: Urban Light Bronze
- UL-93: Urban Light Bronze
- UL-94: Urban Light Bronze
- UL-95: Urban Light Bronze
- UL-96: Urban Light Bronze
- UL-97: Urban Light Bronze
- UL-98: Urban Light Bronze
- UL-99: Urban Light Bronze
- UL-100: Urban Light Bronze

RoPA-5: 5" Pole Diameter

- UL-101: Urban Gun Metal
- UL-102: Urban Gun Metal
- UL-103: Urban Light Bronze
- UL-104: Urban Light Bronze
- UL-105: Urban Light Bronze
- UL-106: Urban Light Bronze
- UL-107: Urban Light Bronze
- UL-108: Urban Light Bronze
- UL-109: Urban Light Bronze
- UL-110: Urban Light Bronze
- UL-111: Urban Light Bronze
- UL-112: Urban Light Bronze
- UL-113: Urban Light Bronze
- UL-114: Urban Light Bronze
- UL-115: Urban Light Bronze
- UL-116: Urban Light Bronze
- UL-117: Urban Light Bronze
- UL-118: Urban Light Bronze
- UL-119: Urban Light Bronze
- UL-120: Urban Light Bronze
- UL-121: Urban Light Bronze
- UL-122: Urban Light Bronze
- UL-123: Urban Light Bronze
- UL-124: Urban Light Bronze
- UL-125: Urban Light Bronze
- UL-126: Urban Light Bronze
- UL-127: Urban Light Bronze
- UL-128: Urban Light Bronze
- UL-129: Urban Light Bronze
- UL-130: Urban Light Bronze
- UL-131: Urban Light Bronze
- UL-132: Urban Light Bronze
- UL-133: Urban Light Bronze
- UL-134: Urban Light Bronze
- UL-135: Urban Light Bronze
- UL-136: Urban Light Bronze
- UL-137: Urban Light Bronze
- UL-138: Urban Light Bronze
- UL-139: Urban Light Bronze
- UL-140: Urban Light Bronze
- UL-141: Urban Light Bronze
- UL-142: Urban Light Bronze
- UL-143: Urban Light Bronze
- UL-144: Urban Light Bronze
- UL-145: Urban Light Bronze
- UL-146: Urban Light Bronze
- UL-147: Urban Light Bronze
- UL-148: Urban Light Bronze
- UL-149: Urban Light Bronze
- UL-150: Urban Light Bronze
- UL-151: Urban Light Bronze
- UL-152: Urban Light Bronze
- UL-153: Urban Light Bronze
- UL-154: Urban Light Bronze
- UL-155: Urban Light Bronze
- UL-156: Urban Light Bronze
- UL-157: Urban Light Bronze
- UL-158: Urban Light Bronze
- UL-159: Urban Light Bronze
- UL-160: Urban Light Bronze
- UL-161: Urban Light Bronze
- UL-162: Urban Light Bronze
- UL-163: Urban Light Bronze
- UL-164: Urban Light Bronze
- UL-165: Urban Light Bronze
- UL-166: Urban Light Bronze
- UL-167: Urban Light Bronze
- UL-168: Urban Light Bronze
- UL-169: Urban Light Bronze
- UL-170: Urban Light Bronze
- UL-171: Urban Light Bronze
- UL-172: Urban Light Bronze
- UL-173: Urban Light Bronze
- UL-174: Urban Light Bronze
- UL-175: Urban Light Bronze
- UL-176: Urban Light Bronze
- UL-177: Urban Light Bronze
- UL-178: Urban Light Bronze
- UL-179: Urban Light Bronze
- UL-180: Urban Light Bronze
- UL-181: Urban Light Bronze
- UL-182: Urban Light Bronze
- UL-183: Urban Light Bronze
- UL-184: Urban Light Bronze
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- UL-186: Urban Light Bronze
- UL-187: Urban Light Bronze
- UL-188: Urban Light Bronze
- UL-189: Urban Light Bronze
- UL-190: Urban Light Bronze
- UL-191: Urban Light Bronze
- UL-192: Urban Light Bronze
- UL-193: Urban Light Bronze
- UL-194: Urban Light Bronze
- UL-195: Urban Light Bronze
- UL-196: Urban Light Bronze
- UL-197: Urban Light Bronze
- UL-198: Urban Light Bronze
- UL-199: Urban Light Bronze
- UL-200: Urban Light Bronze

RoPA-6: 6" Pole Diameter

- UL-201: Urban Gun Metal
- UL-202: Urban Gun Metal
- UL-203: Urban Light Bronze
- UL-204: Urban Light Bronze
- UL-205: Urban Light Bronze
- UL-206: Urban Light Bronze
- UL-207: Urban Light Bronze
- UL-208: Urban Light Bronze
- UL-209: Urban Light Bronze
- UL-210: Urban Light Bronze
- UL-211: Urban Light Bronze
- UL-212: Urban Light Bronze
- UL-213: Urban Light Bronze
- UL-214: Urban Light Bronze
- UL-215: Urban Light Bronze
- UL-216: Urban Light Bronze
- UL-217: Urban Light Bronze
- UL-218: Urban Light Bronze
- UL-219: Urban Light Bronze
- UL-220: Urban Light Bronze
- UL-221: Urban Light Bronze
- UL-222: Urban Light Bronze
- UL-223: Urban Light Bronze
- UL-224: Urban Light Bronze
- UL-225: Urban Light Bronze
- UL-226: Urban Light Bronze
- UL-227: Urban Light Bronze
- UL-228: Urban Light Bronze
- UL-229: Urban Light Bronze
- UL-230: Urban Light Bronze
- UL-231: Urban Light Bronze
- UL-232: Urban Light Bronze
- UL-233: Urban Light Bronze
- UL-234: Urban Light Bronze
- UL-235: Urban Light Bronze
- UL-236: Urban Light Bronze
- UL-237: Urban Light Bronze
- UL-238: Urban Light Bronze
- UL-239: Urban Light Bronze
- UL-240: Urban Light Bronze
- UL-241: Urban Light Bronze
- UL-242: Urban Light Bronze
- UL-243: Urban Light Bronze
- UL-244: Urban Light Bronze
- UL-245: Urban Light Bronze
- UL-246: Urban Light Bronze
- UL-247: Urban Light Bronze
- UL-248: Urban Light Bronze
- UL-249: Urban Light Bronze
- UL-250: Urban Light Bronze
- UL-251: Urban Light Bronze
- UL-252: Urban Light Bronze
- UL-253: Urban Light Bronze
- UL-254: Urban Light Bronze
- UL-255: Urban Light Bronze
- UL-256: Urban Light Bronze
- UL-257: Urban Light Bronze
- UL-258: Urban Light Bronze
- UL-259: Urban Light Bronze
- UL-260: Urban Light Bronze
- UL-261: Urban Light Bronze
- UL-262: Urban Light Bronze
- UL-263: Urban Light Bronze
- UL-264: Urban Light Bronze
- UL-265: Urban Light Bronze
- UL-266: Urban Light Bronze
- UL-267: Urban Light Bronze
- UL-268: Urban Light Bronze
- UL-269: Urban Light Bronze
- UL-270: Urban Light Bronze
- UL-271: Urban Light Bronze
- UL-272: Urban Light Bronze
- UL-273: Urban Light Bronze
- UL-274: Urban Light Bronze
- UL-275: Urban Light Bronze
- UL-276: Urban Light Bronze
- UL-277: Urban Light Bronze
- UL-278: Urban Light Bronze
- UL-279: Urban Light Bronze
- UL-280: Urban Light Bronze
- UL-281: Urban Light Bronze
- UL-282: Urban Light Bronze
- UL-283: Urban Light Bronze
- UL-284: Urban Light Bronze
- UL-285: Urban Light Bronze
- UL-286: Urban Light Bronze
- UL-287: Urban Light Bronze
- UL-288: Urban Light Bronze
- UL-289: Urban Light Bronze
- UL-290: Urban Light Bronze
- UL-291: Urban Light Bronze
- UL-292: Urban Light Bronze
- UL-293: Urban Light Bronze
- UL-294: Urban Light Bronze
- UL-295: Urban Light Bronze
- UL-296: Urban Light Bronze
- UL-297: Urban Light Bronze
- UL-298: Urban Light Bronze
- UL-299: Urban Light Bronze
- UL-300: Urban Light Bronze

RoPA-7: 7" Pole Diameter

- UL-301: Urban Gun Metal
- UL-302: Urban Gun Metal
- UL-303: Urban Light Bronze
- UL-304: Urban Light Bronze
- UL-305: Urban Light Bronze
- UL-306: Urban Light Bronze
- UL-307: Urban Light Bronze
- UL-308: Urban Light Bronze
- UL-309: Urban Light Bronze
- UL-310: Urban Light Bronze
- UL-311: Urban Light Bronze
- UL-312: Urban Light Bronze
- UL-313: Urban Light Bronze
- UL-314: Urban Light Bronze
- UL-315: Urban Light Bronze
- UL-316: Urban Light Bronze
- UL-317: Urban Light Bronze
- UL-318: Urban Light Bronze
- UL-319: Urban Light Bronze
- UL-320: Urban Light Bronze
- UL-321: Urban Light Bronze
- UL-322: Urban Light Bronze
- UL-323: Urban Light Bronze
- UL-324: Urban Light Bronze
- UL-325: Urban Light Bronze
- UL-326: Urban Light Bronze
- UL-327: Urban Light Bronze
- UL-328: Urban Light Bronze
- UL-329: Urban Light Bronze
- UL-330: Urban Light Bronze
- UL-331: Urban Light Bronze
- UL-332: Urban Light Bronze
- UL-333: Urban Light Bronze
- UL-334: Urban Light Bronze
- UL-335: Urban Light Bronze
- UL-336: Urban Light Bronze
- UL-337: Urban Light Bronze
- UL-338: Urban Light Bronze
- UL-339: Urban Light Bronze
- UL-340: Urban Light Bronze
- UL-341: Urban Light Bronze
- UL-342: Urban Light Bronze
- UL-343: Urban Light Bronze
- UL-344: Urban Light Bronze
- UL-345: Urban Light Bronze
- UL-346: Urban Light Bronze
- UL-347: Urban Light Bronze
- UL-348: Urban Light Bronze
- UL-349: Urban Light Bronze
- UL-350: Urban Light Bronze
- UL-351: Urban Light Bronze
- UL-352: Urban Light Bronze
- UL-353: Urban Light Bronze
- UL-354: Urban Light Bronze
- UL-355: Urban Light Bronze
- UL-356: Urban Light Bronze
- UL-357: Urban Light Bronze
- UL-358: Urban Light Bronze
- UL-359: Urban Light Bronze
- UL-360: Urban Light Bronze
- UL-361: Urban Light Bronze
- UL-362: Urban Light Bronze
- UL-363: Urban Light Bronze
- UL-364: Urban Light Bronze
- UL-365: Urban Light Bronze
- UL-366: Urban Light Bronze
- UL-367: Urban Light Bronze
- UL-368: Urban Light Bronze
- UL-369: Urban Light Bronze
- UL-370: Urban Light Bronze
- UL-371: Urban Light Bronze
- UL-372: Urban Light Bronze
- UL-373: Urban Light Bronze
- UL-374: Urban Light Bronze
- UL-375: Urban Light Bronze
- UL-376: Urban Light Bronze
- UL-377: Urban Light Bronze
- UL-378: Urban Light Bronze
- UL-379: Urban Light Bronze
- UL-380: Urban Light Bronze
- UL-381: Urban Light Bronze
- UL-382: Urban Light Bronze
- UL-383: Urban Light Bronze
- UL-384: Urban Light Bronze
- UL-385: Urban Light Bronze
- UL-386: Urban Light Bronze
- UL-387: Urban Light Bronze
- UL-388: Urban Light Bronze
- UL-389: Urban Light Bronze
- UL-390: Urban Light Bronze
- UL-391: Urban Light Bronze
- UL-392: Urban Light Bronze
- UL-393: Urban Light Bronze
- UL-394: Urban Light Bronze
- UL-395: Urban Light Bronze
- UL-396: Urban Light Bronze
- UL-397: Urban Light Bronze
- UL-398: Urban Light Bronze
- UL-399: Urban Light Bronze
- UL-400: Urban Light Bronze

RoPA-8: 8" Pole Diameter

- UL-401: Urban Gun Metal
- UL-402: Urban Gun Metal
- UL-403: Urban Light Bronze
- UL-404: Urban Light Bronze
- UL-405: Urban Light Bronze
- UL-406: Urban Light Bronze
- UL-407: Urban Light Bronze
- UL-408: Urban Light Bronze
- UL-409: Urban Light Bronze
- UL-410: Urban Light Bronze
- UL-411: Urban Light Bronze
- UL-412: Urban Light Bronze
- UL-413: Urban Light Bronze
- UL-414: Urban Light Bronze
- UL-415: Urban Light Bronze
- UL-416: Urban Light Bronze
- UL-417: Urban Light Bronze
- UL-418: Urban Light Bronze
- UL-419: Urban Light Bronze
- UL-420: Urban Light Bronze
- UL-421: Urban Light Bronze
- UL-422: Urban Light Bronze
- UL-423: Urban Light Bronze
- UL-424: Urban Light Bronze
- UL-425: Urban Light Bronze
- UL-426: Urban Light Bronze
- UL-427: Urban Light Bronze
- UL-428: Urban Light Bronze
- UL-429: Urban Light Bronze
- UL-430: Urban Light Bronze
- UL-431: Urban Light Bronze
- UL-432: Urban Light Bronze
- UL-433: Urban Light Bronze
- UL-434: Urban Light Bronze
- UL-435: Urban Light Bronze
- UL-436: Urban Light Bronze
- UL-437: Urban Light Bronze
- UL-438: Urban Light Bronze
- UL-439: Urban Light Bronze
- UL-440: Urban Light Bronze
- UL-441: Urban Light Bronze
- UL-442: Urban Light Bronze
- UL-443: Urban Light Bronze
- UL-444: Urban Light Bronze
- UL-445: Urban Light Bronze
- UL-446: Urban Light Bronze
- UL-447: Urban Light Bronze
- UL-448: Urban Light Bronze
- UL-449: Urban Light Bronze
- UL-450: Urban Light Bronze
- UL-451: Urban Light Bronze
- UL-452: Urban Light Bronze
- UL-453: Urban Light Bronze
- UL-454: Urban Light Bronze
- UL-455: Urban Light Bronze
- UL-456: Urban Light Bronze
- UL-457: Urban Light Bronze
- UL-458: Urban Light Bronze
- UL-459: Urban Light Bronze
- UL-460: Urban Light Bronze
- UL-461: Urban Light Bronze
- UL-462: Urban Light Bronze
- UL-463: Urban Light Bronze
- UL-464: Urban Light Bronze
- UL-465: Urban Light Bronze
- UL-466: Urban Light Bronze
- UL-467: Urban Light Bronze
- UL-468: Urban Light Bronze
- UL-469: Urban Light Bronze
- UL-470: Urban Light Bronze
- UL-471: Urban Light Bronze
- UL-472: Urban Light Bronze
- UL-473: Urban Light Bronze
- UL-474: Urban Light Bronze
- UL-475: Urban Light Bronze
- UL-476: Urban Light Bronze
- UL-477: Urban Light Bronze
- UL-478: Urban Light Bronze
- UL-479: Urban Light Bronze
- UL-480: Urban Light Bronze
- UL-481: Urban Light Bronze
- UL-482: Urban Light Bronze
- UL-483: Urban Light Bronze
- UL-484: Urban Light Bronze
- UL-485: Urban Light Bronze
- UL-486: Urban Light Bronze
- UL-487: Urban Light Bronze
- UL-488: Urban Light Bronze
- UL-489: Urban Light Bronze
- UL-490: Urban Light Bronze
- UL-491: Urban Light Bronze
- UL-492: Urban Light Bronze
- UL-493: Urban Light Bronze
- UL-494: Urban Light Bronze
- UL-495: Urban Light Bronze
- UL-496: Urban Light Bronze
- UL-497: Urban Light Bronze
- UL-498: Urban Light Bronze
- UL-499: Urban Light Bronze
- UL-500: Urban Light Bronze

RoPA-9: 9" Pole Diameter

- UL-501: Urban Gun Metal
- UL-502: Urban Gun Metal
- UL-503: Urban Light Bronze
- UL-504: Urban Light Bronze
- UL-505: Urban Light Bronze
- UL-506: Urban Light Bronze
- UL-507: Urban Light Bronze
- UL-508: Urban Light Bronze
- UL-509: Urban Light Bronze
- UL-510: Urban Light Bronze
- UL-511: Urban Light Bronze
- UL-512: Urban Light Bronze
- UL-513: Urban Light Bronze
- UL-514: Urban Light Bronze
- UL-515: Urban Light Bronze
- UL-516: Urban Light Bronze
- UL-517: Urban Light Bronze
- UL-518: Urban Light Bronze
- UL-519: Urban Light Bronze
- UL-520: Urban Light Bronze
- UL-521: Urban Light Bronze
- UL-522: Urban Light Bronze
- UL-523: Urban Light Bronze
- UL-524: Urban Light Bronze
- UL-525: Urban Light Bronze
- UL-526: Urban Light Bronze
- UL-527: Urban Light Bronze

RECREATION SUMMARY

Total Open Space Provided: 19,384 sf (0.4 acres)

- Recreational turf area for active, informal outdoor sports and recreation. 6,266 sf
- (1) Multi-use play court striped for 3-point play basketball as well as volleyball. 3,220 sf
- Outdoor seating and shaded picnic areas with benches, picnic tables and BBQ. 3,032 sf
- Looped 1/4 mile fitness pathway. 4,900 sf
- Open space gardens. 1,966 sf

SEE L-1.3 for RECREATION PLAN

CONCEPT IMAGES



FENCE TYPE 1



FENCE TYPE 2



BENCH



PICNIC AREA



SPORT COURT



OPEN SPACE MULTI-USE TURF PLAY AREA



RESIDENT RECREATION ROOMS



RESIDENT RECREATION ROOMS

IRRIGATION SYSTEM SUMMARY

1. All planting areas to be irrigated.
2. Irrigation controller includes evapotranspiration data and rain sensor.
3. The system will be designed to the recorded static pressure available on site.
4. The system will be designed to prevent runoff and overspray.
5. The system will be designed by per hydrozones established from the planting plan.
6. All sprinkler heads will be matched precipitation.
7. No overhead spray will be used in areas less than 8' in width.
8. Overhead irrigation will be set back 24" from non-permeable surfaces.
9. Irrigation distribution will be through a mix of:
 - Low flow, high efficiency spray nozzles - Hunter MP rotators or Rainbird rotary sprays
 - Point-source drip - Rainbird or Salco drip emitters
 - Bubblers - Rainbird or Toro
- A Soil analysis report will be required with site specific recommendations.

WATER EFFICIENT LANDSCAPE WORKSHEET - RESIDENTIAL

Project Name Susan Street Emp. Housing Status Plan Check Calc By JB
 Project Number 21.039 Date 7/1/22

Reference Evapotranspiration (Eto)								
46.10								
Hydrozone # / Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b s or d	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Use (ETWU) ^d	
Regular Landscape Areas								
1 Trees	0.4	d	0.81	0.49	430	212.35	6069.28	
2 Shrub, Grndcvr & Ornamental Grass	0.3	d	0.81	0.37	25,320	9377.78	268035.64	
3 Bioswale	0.3	s	0.81	0.37	1,005	372.22	10638.88	
					Totals (A)	26755	(B) 9962.35	284743.76
Special Landscape Areas								
4 Enduro Sod				1.00	6,266	6266.00	179094.81	
					Totals (C)	6266	(D) 179094.81	
						ETWU Total (Gallons)	463838.58	
						Maximum Allowed Water Allowance (MAWA) (Gallons)	501183.94	
						ETWU (Acre Feet)	1.42	
						MAWA (Acre Feet)	1.54	

^aHydrozone #/Planting Description
 1) front lawn
 2) low water use plantings
 3) medium water use planting

^bIrrigation Method
 overhead spray
 or drip

^cIrrigation Efficiency
 0.75 for spray head
 0.81 for drip

^dETWU (Annual Gallons Required) =
 Eto x 0.62 x ETAF x Area
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Areas			
Total ETAF x Area	(B)	9962.35	
Total Area	(A)	26755.00	
Average ETAF	B ÷ A	0.37	

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas			
Total ETAF x Area	(B+D)	16228.35	
Total Area	(A+C)	33021.00	
Sitewide ETAF	(B+D) ÷ (A+C)	0.49	

MWELO COMPLIANCE STATEMENT

I have complied with the criteria of the ordinance and applied them accordingly for the efficient use of water in the irrigation design plan.

Signed Name Larry Foster CLA# 2683 Date 07-01-2022

MONTEREY COUNTY COMPLIANCE STATEMENT

I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including the use of native drought tolerant, non-invasive species, limited turf and low flow, water conserving irrigation fixtures.

Signed Name Larry Foster CLA# 2683 Date 07-01-2022

LANDSCAPE AREA SUMMARY

Total Landscape Planting Area: 33,145 sf (0.8acres)

1. Irrigated turf area: 6,266 sf
2. Irrigated trees, shrubs, and groundcover: 25,750 sf
3. Irrigated bioretention planting area: 1,005 sf
4. Trees planted: 47 *

* (4) Trees planted in Bioretention Tree Boxes are only to be temporarily irrigated for establishment. 124 sf

PLANT LEGEND

*WUC CODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER (HxW)
Trees				
L	Arbutus 'Marina'	Marina Strawberry Tree	15 Gal.	30"x20'
M	Platanus racemosa	California Sycamore	15 Gal.	30"x30'
M	Pyrus calleryana 'Aristocrat'	Aristocrat Pear	15 Gal.	35"x20'
Shrubs / Groundcovers				
L	Aloe 'Leo'	Scarlet Rockets Aloe	5 Gal. 36" o.c.	3'x3'
L	Arctostaphylos 'Emerald Carpet'	Manzanita	1 Gal. 60" o.c.	2'x8'
L	Agave attenuata 'Boutin Blue'	Foxtail Agave	1 Gal. 36" o.c.	3'x3'
L	Lomandra confertifolia 'Pom Pom'	Dwarf Mat Rush	1 Gal. 36" o.c.	3'x3'
L	Phormium 'Dark Delight'	Purple New Zealand Flax	5 Gal. 36" o.c.	3'x3'
L	Pittosporum tobira 'Variegatum'	Mock Orange	5 Gal. 60" o.c.	5'x5'
L	Leucadendron 'Safari Sunset'	Safari Conebush	5 Gal. 6" o.c.	6'x6'
L	Muhlenbergia rigens	Deer Grass	5 Gal. 4' o.c.	3'x4'
L	Rhannus californica 'Mound San Bruno'	Dwarf Coffeeberry	5 Gal. 36" o.c.	3'x4'
Turf				
H	Enduro Sod: 90% Fescue, 10% bluegrass			
Bioretention Planting				
L	Achillea millefolium	Yarrow	1 Gal. 24" o.c.	2'x2'
L	Carex divulsa	Gray Sedge	1 Gal. 18" o.c.	1'x2'
L	Juncus patens	California Gray Rush	1 Gal. 3' o.c.	3'x2'
L	Muhlenbergia rigens	Deer Grass	5 Gal. 4' o.c.	3'x4'

*** WATER USE CATEGORY (WUC) KEY**

WUCOLS Region Applicable to this Project: REGION 1
 H = High; M = Moderate; L = Low; VL = Very Low; NL = Species Not Listed
 * from: Water Use Classification of Landscape Species,
 A Guide to the Water Needs of Landscape Plants (WUCOLS)
 Revised 2014, University of California Cooperative Extension, L.R. Costello, K.S. Jones

SEE L-1.2 for LANDSCAPE PLAN

Project / Owner:

**Susan Street
 Agricultural
 Employee Housing**

51, 53, 55, & 57 SUSAN ST
 PAJARO, CA 95076

APN: 117-361-016-000



**THE
 PAUL DAVIS
 PARTNERSHIP**
 ARCHITECTS & PLANNERS



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 EMAIL: info@pauldavispartnership.com



Drawn By: JB

Drawing Date: 07.01.2022

Project Number: 21.039

Revisions:

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Sheet Title:
**LANDSCAPE LEGEND
 AND NOTES**

Sheet Number:

Susan Street Agricultural Employee Housing

51, 53, 55, & 57 SUSAN ST
PAJARO, CA 95076

APN: 117-361-016-000



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Drawn By: **JB**
Drawing Date: **07.01.2022**
Project Number: **21.039**

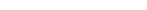
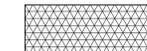
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Sheet Title: FUEL MANAGEMENT PLAN

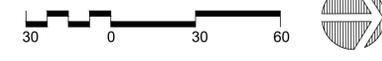
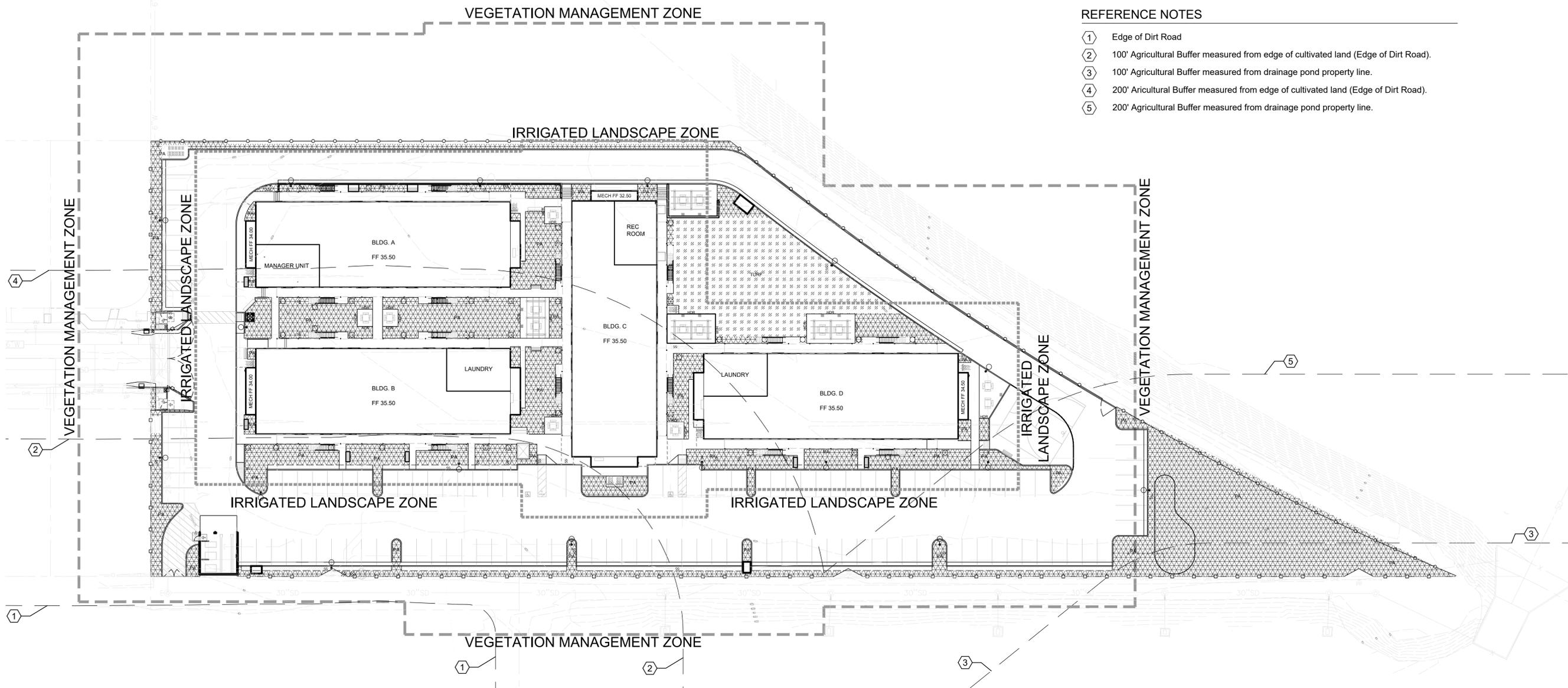
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FUEL MANAGEMENT LEGEND

-  Vegetation Management Zone: Vegetation shall be managed up to a minimum of 100' from structures. Zone shall be maintained around the proposed buildings. Plant material shall be trimmed regularly for fuel modification and reduction.
-  Irrigated Landscape Zone: Irrigated landscape shall be maintained up to a minimum of 30' from structures. Within this zone, remove and keep away all flammable vegetation.
-  Project Irrigated Planting Areas

REFERENCE NOTES

- ① Edge of Dirt Road
- ② 100' Agricultural Buffer measured from edge of cultivated land (Edge of Dirt Road).
- ③ 100' Agricultural Buffer measured from drainage pond property line.
- ④ 200' Agricultural Buffer measured from edge of cultivated land (Edge of Dirt Road).
- ⑤ 200' Agricultural Buffer measured from drainage pond property line.



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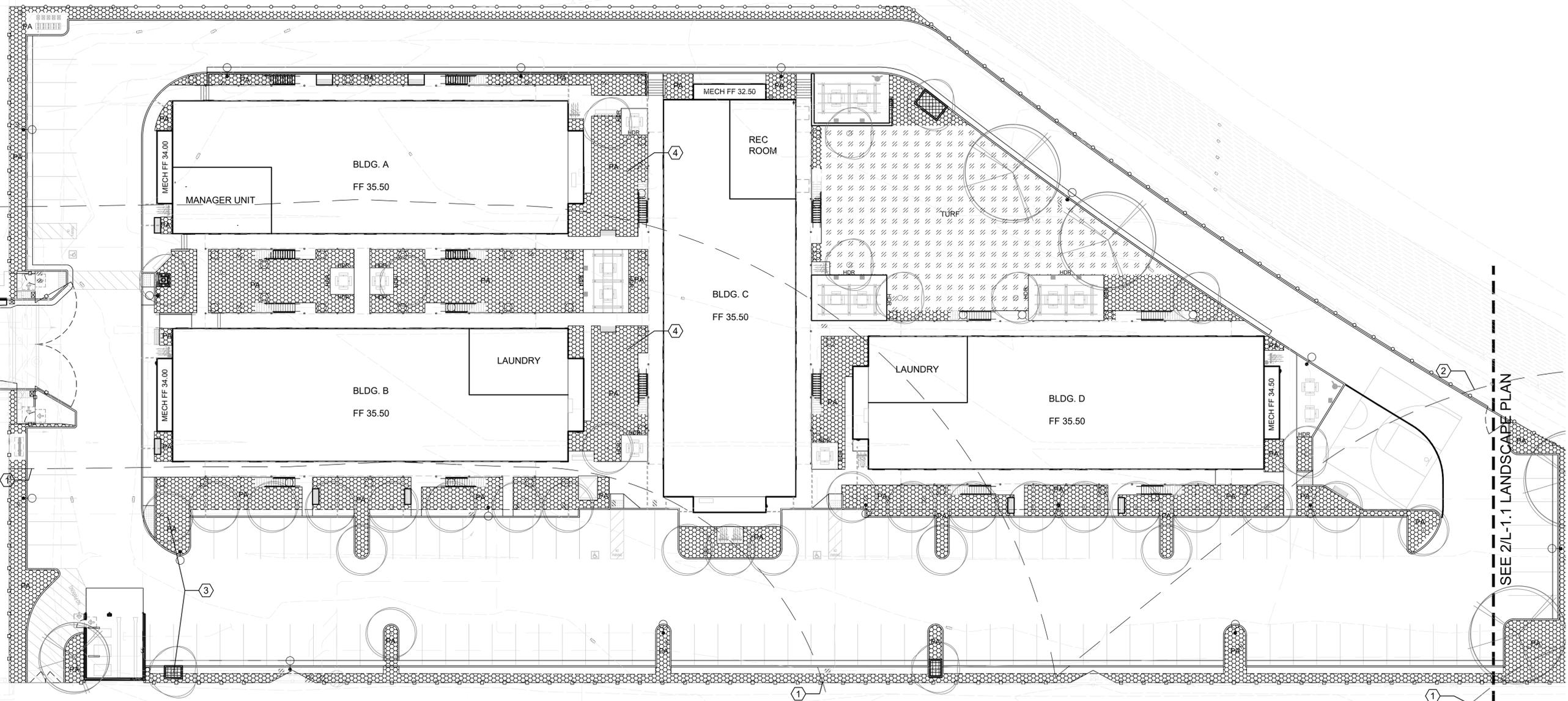
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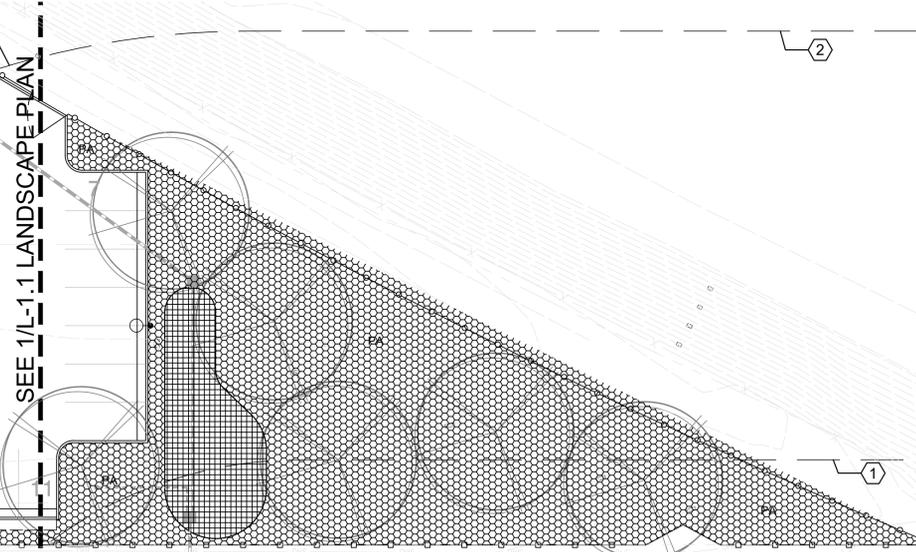
Sheet Title:
LANDSCAPE PLAN

Sheet Number:



SEE 2/L-1.1 LANDSCAPE PLAN

1 Landscape Plan
1" = 20'-0"



2 Landscape Plan
1" = 20'-0"

Shrubs / Groundcovers

L	Aloe 'Leo'	Scarlet Rockets Aloe	5 Gal. 36" o.c.	3'x3'
L	Arctostaphylos 'Emerald Carpet'	Manzanita	1 Gal. 60" o.c.	2'x8'
L	Agave attenuata 'Boutin Blue'	Foxtail Agave	1 Gal. 36" o.c.	3'x3'
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L	Phormium 'Dark Delight'	Purple New Zealand Flax	5 Gal. 36" o.c.	3'x3'
L	Pittosporum tobira 'Variegatum'	Mock Orange	5 Gal. 60" o.c.	5'x5'
L	Leucadendron 'Safari Sunset'	Safari Conebush	5 Gal. 6' o.c.	6'x6'
L	Muhlenbergia rigens	Deer Grass	5 Gal. 4' o.c.	3'x4'
L	Rhamnus californica 'Mound San Bruno'	Dwarf Coffeeberry	5 Gal. 36" o.c.	3'x4'

Turf

H	Enduro Sod: 90% Fescue, 10% bluegrass
---	--

Bioretention Planting

L	Achillea millefolium	Yarrow	1 Gal. 24" o.c.	2'x2'
L	Carex divulsa	Gray Sedge	1 Gal. 18" o.c.	1'x2'
L	Juncus patens	California Gray Rush	1 Gal. 3' o.c.	3'x2'
L	Muhlenbergia rigens	Deer Grass	5 Gal. 4' o.c.	3'x4'

REFERENCE NOTES

- ① 100' Agricultural Buffer
- ② 200' Agricultural Buffer
- ③ Closely spaced trees along east side of buildings and in parking area to create vegetated agricultural buffer.
- ④ Open Space Gardens

LANDSCAPE AREA SUMMARY

- Total Landscape Planting Area: 33,145 sf (0.8acres)
- 1. Irrigated turf area: 6,266 sf
- 2. Irrigated trees, shrubs, and groundcover: 25,750 sf
- 3. Irrigated bioretention planting area: 1,005 sf
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* (4) Trees planted in Bioretention Tree Boxes are only to be temporarily irrigated for establishment. 124 sf

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M	Pyrus calleryana 'Aristocrat'	Aristocrat Pear	15 Gal.	35'x20'

SEE L-1.0 for LEGEND & GENERAL NOTES



L-1.2

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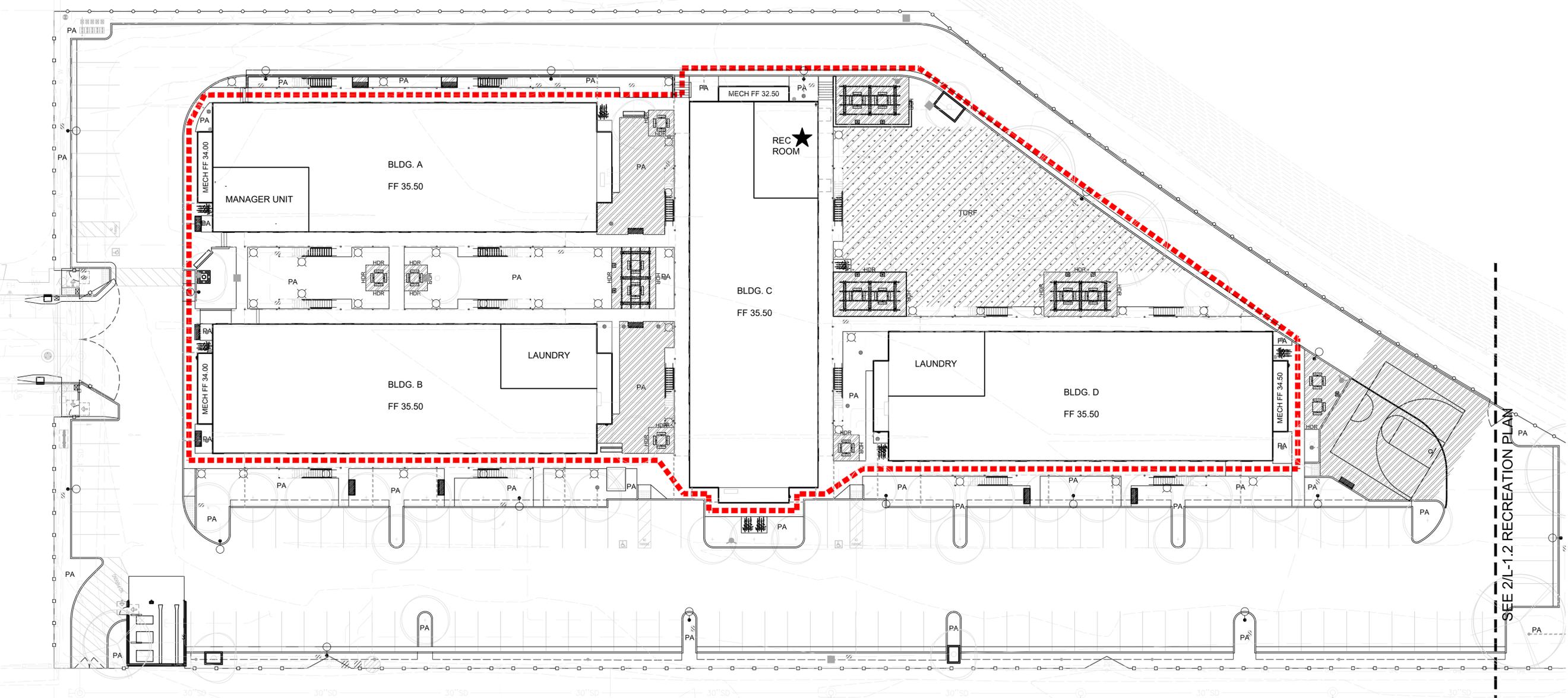
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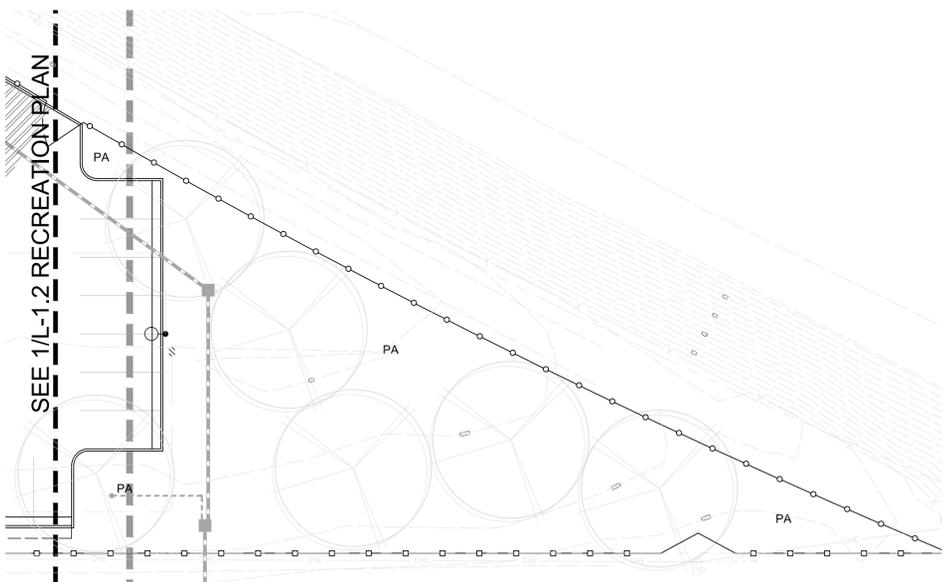
RECREATION PLAN

Sheet Number:



SEE 2/L-1.2 RECREATION PLAN

1 Recreation Plan
1" = 20'-0"



2 Recreation Plan
1" = 20'-0"

LEGEND

- Open Space Area
- Informal sports and recreation turf area.
- 1/4 Mile Fitness Pathway: Pavement markings identify pathway.
- Indoor Recreation Area: Tables and chairs for table games and small events. 975 sf. Not included in Open Space Area total.
- Table and Bench seating areas.
- Picnic Area: Tables, BBQ and Trellis.
- Multi-use Sport Court
- Fence Type 1: Metal
- Fence Type 2: Wood

RECREATION SUMMARY

- Total Open Space Provided: 19,384 sf (0.4 acres)
- Recreational turf area for active, informal outdoor sports and recreation. 6,266 sf
 - (1) Multi-use play court striped for 3-point play basketball as well as volleyball. 3,220 sf
 - Outdoor seating and shaded picnic areas with benches, picnic tables and BBQ. 3,032 sf
 - Looped 1/4 mile fitness pathway. 4,900 sf
 - Open space gardens. 1,966 sf

SEE L-1.0 for LEGEND & GENERAL NOTES

