

Exhibit B

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

LO & APPELIN (PLN220066)

RESOLUTION NO. 22 -

Resolution by the Monterey County Zoning Administrator:

- 1) Finding the project qualifies as a Categorical Exemption pursuant to Section 15302 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Combined Development Permit consisting of:
 - a) Coastal Administrative Permit and Design Approval to allow demolition of an existing 2,855 square foot single family dwelling with an attached garage and construction of 7,425 square foot multi-story single family dwelling with a basement, 1,566 square foot garage, a 512 square foot pool house and a 836 square foot pool; and
 - b) Coastal Development Permit to allow development on slopes exceeding 30 percent. 1508 Viscaino Road, Pebble Beach, Carmel (Assessor's Parcel Number 008-222-014-000), Del Monte Forest, Coastal Zone

The Lo & Appelin application (PLN220066) came on for a public hearing before the Monterey County Zoning Administrator on September 29, 2022. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, including the attached plans and subject to the attached conditions, the Monterey County Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** - The project, as conditioned and mitigated, is consistent with the policies of the Monterey County 1982 General Plan, Del Monte Forest Land Use Plan, Del Monte Forest Coastal Implementation Plan (Part 5), Monterey County Zoning Ordinance - Coastal (Title 20), and other County health, safety, and welfare ordinances related to land use development.
EVIDENCE: a) The project has been reviewed for consistency with the text, policies, and regulations in the:
 - 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan (LUP);
 - Del Monte Forest Coastal Implementation Plan, (Part 5); and
 - Monterey County Zoning Ordinance - Coastal (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Uses. The project involves a demolition of an existing 2,855 square foot single family dwelling with an attached garage & construction of 7,425 square foot multi-story single family dwelling, inclusive of 1,566 square feet garage area, a 512 square foot pool house and a 836 square foot pool on slopes exceeding 30 percent. The property is located at 1508 Viscaino Road, Pebble Beach (Assessor's Parcel Number 008-222-014-000), Del Monte Forest, Coastal Zone. The parcel is zoned Low Density Residential, 1.5 acres per unit, with a Design Control overlay (Coastal Zone) [LDR/1.5-D(CZ)]. The project involves demolition and rebuild of a single family dwelling and this resolution grants the required Coastal Administrative Permit for that use. Therefore, as proposed, the project involves allowed land uses for this site. In addition, development, on slopes exceeding 30 percent is subject to the granting of a Coastal Development Permit. The Design Control zoning overlay requires the granting of a Design Approval for the proposed development (see subsequent Evidence "f").
- c) Lot Legality. The 1.278 acre (Approx. 55,653 square feet) property (Assessor's Parcel Number 008-222-014-000) is identified in its current configuration as shown on the "Licensed Surveyors Map of El Pescadero and Point Pinos Ranchos", Filed on January 12, 1922 in Volume 3 of "Surveys", at Page 3. Therefore, the County recognizes the subject property as a legal lot of record.
- d) Public Access. As proposed and conditioned, the development is consistent with applicable public access policies of the Del Monte Forest Land Use Area LUP. See Finding No. 4 and supporting evidence.
- e) Development Standards. The applicable development standards include special regulations for the Low Density Residential (LDR) zoning district in the Del Monte Forest area as identified in Monterey County Code (MCC), Section 20.14.060. These standards require setbacks for the main dwelling of: 30 feet (front), 20 feet (rear) and 20 feet. The proposed single-family dwelling would have a front setback of 58 feet 3 inch, a rear setback of 117 feet 7 inches, and side setbacks of 20 feet 1 inch and 25 feet 9 inches. The maximum allowed height is 30 feet and the height of the proposed residence will be approximately 30 feet from average natural grade. The allowed building site coverage maximum is 15 percent, respectively. The building site is 55,653 square feet, which allows a site coverage of 8,348 square feet. As proposed, the project would result in coverage of 8,280 square feet (14.8 percent). The floor area ratio (FAR) maximum is 17.5% which equates to 9,739 sq. ft, the proposed FAR is 9,503 sq. ft. (17%).
- f) Design. Pursuant to Title 20 Chapter 20.44, the proposed project parcels and surrounding area is designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to

assure the protection of the public viewshed and neighborhood character. The project has been designed to blend with the natural environment consistent with other homes in Del Monte. The proposed residence is compatible with the surrounding neighborhood character in terms of size, color, and location. The multi-level traditional bungalow/craftsman architectural style incorporates natural mixed materials with a twist of a modern accents. Colors and materials comprised of blueish gray railings and Tesla solar tile roofing, off-white siding and trim and natural exterior stone accents. The proposed structure is consistent with the surrounding residential development. The architecture design is consistent with the design guidelines of the Del Monte Forest.

- g) Visual Resources and Public Viewshed. The project, as proposed, is consistent with the Del Monte LUP policies regarding Visual Resources and will have no impact on the public viewshed. The project planner conducted a site inspection on September 8, 2022, to verify that the project minimizes development within the public viewshed. The project site is also located in a residential neighborhood, and the adjacent parcels have been developed with single-family dwellings. The proposed dwelling is 1.4 miles west of Highway 1 and will not be visible from the Highway 1 viewshed, nor any public viewing areas. Furthermore, the residence is screened by existing topography and heavily covered by mature vegetation and trees surrounding the development. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity. Therefore, the project is consistent with the Design Approval criteria contained in Chapter 20.44.
- h) The project planner reviewed the project via the County's GIS records, and conducted a site visit on September 8, 2022 to verify that the proposed project conforms to the applicable plans and Monterey County Code.
- i) Historical. The existing structure was constructed in 1957. When a project has the potential to adversely affect a building, site, object or structure over 50 years old, the Planning department requires the applicant to hire a qualified historic consultant to prepare a phase one assessment. A Phase-1 historical report (Finding 2, Evidence "b", LIB220180) was prepared and submitted by Seth Bergstein at PAST Consultants, LLC, dated May 15, 2022, indicating that the structure lacks historic significance and physical integrity. The subject property does not meet the necessary criterion for listing in the National or California Register of Historical Resources. Nor does it meet the criterion established by the County of Monterey to qualify for inclusion in the Monterey County Register of Historic Places, and therefore would not be considered as a historic resource as defined by CEQA.
- j) Land Use Advisory Committee. The proposed project was reviewed by the Del Monte Forest Land Use Advisory Committee (LUAC) on September 15, 2022. The LUAC voted unanimously (7 yes, 0 no, and 1 absent) to support the project as proposed. No members of the

public commented on the project, and the LUAC raised no concerns regarding the project.

- k) The application plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN220066.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and the Pebble Beach Community Service District. County staff reviewed the application materials and plans, as well as the County’s GIS database, to verify that the project conforms to the applicable plans, and that the subject property is suitable for the proposed development.
 - b) The following technical reports have been prepared:
 - *Phase I Historic Review (Monterey County Document No. LIB220180) prepared by Kent L. Seavey, May 15, 2022.*
 - *Soil Engineering Investigation (Monterey County Document No. LIB220181), prepared by Landset Engineers, Inc., June, 2022.*
 - c) County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the property is not suitable for the use proposed.
 - d) The project planner reviewed submitted plans and conducted a site visit on September 8, 2022 to verify that the project conforms to the plans listed above and that the project area is suitable for this use.
 - e) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN220066.

3. FINDING: HEALTH AND SAFETY - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and the Pebble Beach Community Service District. Conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) All necessary public facilities are available to the project site. Necessary public facilities are available. The sewer for the site will be served by Pebble Beach Community Services District and water will be served by Cal-Am. Water Entitlement was purchased through the Pebble Beach Company. The Environmental Health Bureau reviewed the project application and did not require any conditions.

- c) The project planner reviewed submitted plans and conducted a site visit on September 8, 2022, to verify that the project, as proposed and conditioned/mitigated, would not impact public health and safety.
- d) In addition to any pruning for construction or aesthetics, California’s Department of Forestry and Fire Protection (CalFire) has instituted a set of rules and guidelines for vegetation management and fire safety for homes in the wildland-urban interface (WUI). These rules have been adopted to reduce the fuels around homes and allow firefighters a better chance to combat the increasing wildfires that have been occurring in California. Monterey County Regional Fire Protection Department has reviewed the project without imposing any additional conditions of approval on top of these state requirements. A Fuel Management Plan was submitted as part of the application demonstrating the required 30’ fuel defensible space for all sides of the structures or property lines, whichever is closer. Additionally, fire resistant construction materials, such as Class A solar tile roofing with exterior stone finish were chosen due to the high fire hazard risk of this parcel. Lastly, a fire hydrant connection is approximately 200 feet from the driveway and the fire station is 1.2 miles away from the subject property.
- e) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN220066.

4. FINDING:

PUBLIC ACCESS – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and the Local Coastal Program (LCP), and does not interfere with any form of historic public use or trust rights.

EVIDENCE:

- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in CIP Section 20.145.150 can be demonstrated.
- b) The subject property is not described as an area where the Local Coastal Program requires public access (LUP Figure 2, Public Access).
- c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
- d) As proposed, the project would not obstruct public views of the shoreline from surrounding roadways, nor obstruct public visual access to the shoreline from major public viewing corridors (LUP Policy 3.2.4.G).
- e) The project planner conducted a site visit on September 8, 2022, to verify that the project, as proposed and conditioned/mitigated, would not impact public access. Based on this site inspection, the proposed project would not be visible from Highway 1 or any common public viewing area. The project will not result in adverse impacts to the public viewshed or scenic character in the project vicinity and is consistent with the applicable visual resource and public access policies of the LUP. See also Finding No. 1, Evidence “d” and “e” above.

- f) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN220066.

5. FINDING: **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) County staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on the subject property.
 - b) Staff conducted a site inspection on September 8, 2022, to assess and confirm that no violations exist on the subject property.
 - c) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN220066.

6. FINDING: **SLOPES:** There is no feasible alternative which would allow development to occur on slopes of less than 30 percent.

EVIDENCE: Pursuant to the policies of the LUP and applicable CIP regulations (Section 20.145.140.A.4), development on slopes that exceed 30 percent is prohibited unless there is no feasible alternative that would allow development to occur on slopes of less than 30 percent, or the proposed development better achieves the goals, policies and objectives of the Monterey County General Plan and applicable land use plan. In this case, there are no feasible alternatives that would avoid development on slopes that exceed 30 percent. The property contains previous permitted residential development and the proposed project will expand the living space. No other development on slopes exceeding 30-percent will be undertaken other than 207 square feet.

7. FINDING: **CEQA (Categorically Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15302 categorically exempts replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.
 - b) The subject project consists of the demolition of an existing single family dwelling and replacement with a new single-family dwelling. Therefore, the proposed development is consistent with the parameters of CEQA Guidelines Section 15302.
 - c) None of the exceptions found in Section 15300.2 apply to the project site, in so much as the project is not located in an area of critical concern, would not pose a cumulative impact, would not result in damage to scenic resources (trees, historic buildings, rock outcroppings, or similar resources) along a scenic highway, and would not be located on or near a hazardous materials site.
 - d) No adverse environmental effects were identified during staff review of the development application.

- e) The technical reports prepared for the project do not identify any potential significant or cumulative impacts (see Finding 2, Evidence “b”). There is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.
- f) The existing structure was constructed in 1957 but has been altered in 1962 and 1966. When a project has the potential to adversely affect a building, site, object or structure over 50 years old, the Planning department requires the applicant to hire a qualified historic consultant to prepare a phase one assessment. A Phase-1 historical report (LIB220180) was prepared and submitted by Seth Bergstein at PAST Consultants, LLC, dated May 15, 2022, indicating that the structure lacks historic significance and physical integrity. The subject property does not meet the necessary criterion for listing in the National or California Register of Historical Resources. Nor does it meet the criterion established by the County of Monterey to qualify for inclusion in the Monterey County Register of Historic Places, and therefore would not be considered as a historic resource as defined by CEQA.
- g) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN220066.

8. FINDING: **APPEALABILITY** - The decision on this project may be appealed to the Monterey County Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20, Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) California Coastal Commission. Pursuant to Title 20, Section 20.86.080.A, the project is subject to appeal by/to the California Coastal Commission because it involves development permitted in the underlying zone as a conditional use (i.e.; development within 750 feet of known archaeological resources).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find the project Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15302 of the CEQA Guidelines. and there are no exceptions pursuant to Section 15300.2; and
- B. Approve a Combined Development Permit consisting of:
 - a. Coastal Administrative Permit and Design Approval to allow demolition of an existing 2,855 square foot single family dwelling with an attached garage & construction of 7,425 square foot multi-story single family dwelling with a

basement, 1,566 square foot garage, a 512 square foot pool house and a 836 square foot pool; and

- b. Coastal Development Permit to allow development on slopes exceeding 30 percent.

All work must be in general conformance with the attached plans and subject to the attached conditions of approval, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 29th day of September, 2022.

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO THE APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES:

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220066

1. PD001 - SPECIFIC USES ONLY

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: This Combined Development permit (PLN220066) allows demolition of an existing 2,855 square foot single family dwelling with an attached garage & construction of a 7,425 square foot multi-story single family dwelling with a basement, 1,566 square foot garage, a 512 square foot pool house and a 836 square foot pool with development on slopes in excess of 30% . The property is located at 1508 Viscaino Road, Pebble Beach (Assessor's Parcel Number 008-222-014-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 008-222-014-000 on September 29, 2022. The permit was granted subject to 7 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

4. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

5. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: HCD-Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

6. PW0031 – BOUNDARY SURVEY

Responsible Department: HCD-Public Works

Condition/Mitigation Monitoring Measure: Owner/Applicant shall have a professional land surveyor perform a boundary survey of the northwesterly boundary line(s) of the subject parcel and have said lines monumented.

Compliance or Monitoring Action to be Performed: Prior to foundation inspection, Owner/Applicant shall have a professional land surveyor survey and monument the northwesterly boundary line of the subject parcel and provide evidence to the County Surveyor of conformance to the setbacks shown on the approved Site Plan. The surveyor shall be responsible for compliance with the requirements of Section 8762 of the California Business and Professions Code (PLS Act).

7. PD006(A) - CONDITION COMPLIANCE FEE

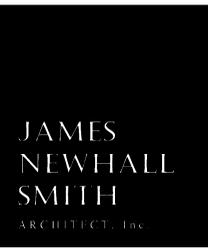
Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

LO / APPELIN RESIDENCE

1508 VISCAINO RD, PEBBLE BEACH, CA.



716 LIGHTHOUSE AVE.
SUITE C
PACIFIC GROVE, CA.
93950

TEL: 831.372-7251
FAX: 831.372-7252
CEL: 831.915-9518



PROJECT/CLIENT

LO / APPELIN RESIDENCE

LO/APPELIN
1508 VISCAINO RD.
PEBBLE BEACH, CA.

SHEET TITLE

COVER SHEET

- ISSUE △ REVISIONS
- ① 11-12-20 PRELIM. REVIEW
- ② 01-22-21 UPDATE SET
- ③ 11-19-21 PEBBLE BEACH SUBMITTAL SET
- ④ 01-31-22 REVISIONS FOR ARB
- ① 02-14-22 INITIAL PLANNING SUBMITAL

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DATE

PROJECT NUMBER

SHEET NUMBER

A0.0

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH. THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

GENERAL NOTES

- EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS WORK.
- CONTRACTOR SHALL PROVIDE THE ARCHITECT, JAMES N. SMITH, AND OWNERS, ERIC APPELIN AND JENNIFER LO, WITH A COMPLETE COST BREAKDOWN AND SCHEDULE OF CONSTRUCTION FOR THIS PROJECT PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS, INSPECTIONS, CERTIFICATES, AND FEES. HE SHALL ALSO BE RESPONSIBLE FOR FILING OF APPLICATION FOR PERMIT AND PLAN CHECK APPROVAL AS NECESSARY. (THIS SECTION SUBJECT TO OWNER'S REVIEW AND APPROVAL.)
- CONTRACTOR SHALL PROTECT OWNER'S AREA, NEW AND/OR EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH OWNER PRIOR TO COMMENCEMENT OF WORK AS NECESSARY.
- MATERIALS THAT ARE SPECIFIED BY THEIR BRAND NAMES ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ANY REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER FOR REVIEW FOR EQUAL QUALITY AND PERFORMANCE AND SHALL NOT BE PURCHASED OR INSTALLED WITHOUT THEIR WRITTEN APPROVAL. ALL NON-SPECIFIED PRODUCTS SHALL CONFORM TO REQUIREMENTS SET FORTH BY CODE COMPLIANCE OR INDUSTRY STANDARDS AND CONTRACTOR SHALL SUBMIT A LIST OF PRODUCTS AND MANUFACTURERS BEING USED FOR REVIEW BY THE ARCHITECT PRIOR TO PURCHASE OR INSTALLATION.
- ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC., AS MAY BE REQUIRED, SHALL CONFORM TO THE LATEST EDITION OF THE UNIFORM BUILDING CODE AND THE LATEST EDITION OF ALL GOVERNING CODES AND REGULATIONS AS ADOPTED BY MONTEREY COUNTY. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF THE PRACTICE.
- ALL DIMENSIONS ON CONSTRUCTIONS DRAWINGS ARE TO FACE OF FINISH (F.O.F.), FACE OF STUD (F.O.S.), OR FACE OF COLUMN (F.O.C.), UNLESS OTHERWISE NOTED TO BE THE CENTER LINE OF MULLION, PARTITION, OR COLUMN, ETC.
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR AND/OR SUBCONTRACTORS SHALL NOT SCALE DRAWINGS. QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ARCHITECT OR OWNER PRIOR TO ANY START OF WORK.
- ALL CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY CONSTRUCTION DOCUMENTS SHALL BE PROVIDED AS THOUGH ON ALL RELATED DOCUMENTS. DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. WORK THAT IS CONTINUED, COVERED UP OR COMPLETED WITHOUT SAID CLARIFICATION SHALL BE AT GENERAL CONTRACTOR'S RISK OF REPAIR, REPLACEMENT OR REWORKING AT HIS OWN EXPENSE.
- ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR EXCEPT WHERE NOTED. THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE WITH MANUFACTURER'S REQUIREMENTS. WORK REQUIRED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, ETC. NECESSARY TO COMPLETE THIS PROJECT. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS SPECIFICALLY NOTED AND BE A QUALITY ACCEPTABLE BY INDUSTRY STANDARDS.
- THE USE OF THE WORD "PROVIDE" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED, AND CONNECTED WHERE SO REQUIRED, EXCEPT AS NOTED.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FABRICATED ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR BY THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION AND/OR INSTALLATION.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, SHALL COMPLY WITH THE SPIRIT AS WELL AS WITH THE LETTER IN WHICH THEY WERE DRAWN.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.
- THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
- ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE STATE FIRE MARSHALL, THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, AND ANY APPLICABLE STATE OR LOCAL LAWS AND ORDINANCES. NOTHING ON THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
- WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED IN ORDER TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE LIMITS AND SCOPE OF WORK, BUT WHICH MAY NOT BE SPECIFICALLY INCLUDED IN THE PLANS, SHALL BE PERFORMED BY CONTRACTOR AND INCLUDED IN HIS BID.
- ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION.
- CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP A COMPETENT EMPLOYEE, AUTHORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUOUSLY ON SITE DURING WORKING HOURS.
- TREES ADJACENT TO STRUCTURES AND OVER DRIVEWAYS SHALL BE TRIMMED TO CLEAR STRUCTURES AND PROVIDE 15' CLEARANCE OVER DRIVES. PROTECT OTHER TREES DURING CONSTRUCTION (SEE FOREST MGT. PLAN). TREES TO BE REMOVED SHALL INCLUDE REMOVAL OF ALL ROOT STRUCTURES AND CONTRACTOR SHALL COORDINATE WITH OWNER FOR POSSIBLE STACKING OF CUT WOOD FOR FUTURE FIREPLACE WOOD.

BUILDING DEPT. NOTES

- NO PERSON MAY TAP INTO ANY FIRE HYDRANT OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF, WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
- NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE.
- THE USE OF SOLDER CONTAINING MORE THAN 2/10ths OF 1% LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED (SB 164).
- PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSEBIBS.
- THE BUILDER/CONTRACTOR SHALL PROVIDE THE OWNER AND THE COUNTY BUILDING DIVISION WITH A COPY OF THE CF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.
- GRADING PERMIT, IF REQUIRED, IS BY SEPARATE PERMIT.
- SPRINKLER SYSTEM, IF REQUIRED, TO BE PER SEPARATE PERMIT.
- RETAINING WALLS UNCONNECTED TO THE STRUCTURE(S), IF REQUIRED, ARE PER SEPARATE PERMIT.

ABBREVIATIONS

&	AND	NOM.	NOMINAL
L	ANGLE	N.T.S.	NOT TO SCALE
○	AT	O.C.	ON CENTER
⊕	CENTERLINE	O.D.	OUTSIDE DIAMETER
⊖	CENTERLINE	O.F.	OVERFLOW
EXIST'G OR (E)	EXISTING	OPNG.	OPENING
A.B.	ANCHOR BOLT	PL	PLASTIC
ACOUS.	ACOUSTICAL	P.LAM	PLASTIC LAMINATE
A.D.	AREA DRAIN	PLAS.	PLASTER
ALUM.	ALUMINUM	P.WD.	PLYWOOD
APPROX.	APPROXIMATE	PR.	PAIR
ARCH.	ARCHITECTURAL	PTN.	PARTITION
BD.	BOARD	R.	RISER OR RADIUS
BITUM.	BITUMINOUS	REFR.	REFRIGERATOR
BLK.	BLOCK	REINF.	REINFORCED
BM.	BEAM	REQ'D.	REQUIRED
BTM.	BOTTOM	RESIL.	RESILIENT
CAB.	CABINET	RM.	ROOM
CEM.	CEMENT	R.O.	ROUGH OPENING
CER.	CERAMIC	RF	ROOF
CLG.	CEILING	S.C.	SOLID CORE
CLKG.	CAULKING	SOHED.	SCHEDULE
CLR.	CLEAR	SECT.	SECTION
COL.	COLUMN	SH.	SHELF
CONC.	CONCRETE	SHT.	SHEET
CONT.	CONTINUOUS	SIM.	SIMILAR
DBL.	DOUBLE	SPEC.	SPECIFICATION
D.F.	DRINKING FOUNTAIN	SG.	SQUARE
DET.	DETAIL	STD.	STANDARD
DIA.	DIAMETER	STL.	STEEL
DIM.	DIMENSION	SYM.	SYMMETRICAL
DN.	DOWN	T.	TREAD
DR.	DOOR	T.O.S.	TOP OF CONCRETE SLAB
DWR.	DRAWER	T&G.	TONGUE AND GROOVE
D.S.	DOWNSPOUT	THK.	THICK
DWG.	DRAWING	T.G.	TEMPERED GLAZING
EA.	EACH	T.O.P.	TOP OF PLATE
EL.	ELEVATION	T.V.	TELEVISION
ELEC.	ELECTRICAL	T.O.W.	TOP OF WALL
ELEV.	ELEVATOR	TP.	TYPICAL
FLASH	FLASHING	TR.	TRAY
F.O.C.	FACE OF CONCRETE	U.G.N.	UNLESS OTHERWISE NOTED
F.O.S.	FACE OF STUDS	V.C.T.	VINYL COMPOSITION TILE
FTG.	FOOTING	VERT.	VERTICAL
FURR.	FURRING	W/	WITH
GA.	GAUGE	W.C.	WATER CLOSET
GALV.	GALVANIZED	W/O	WITHOUT
GI.	GALVANIZED IRON	WP	WATERPROOF
GR.	GRADE		
GYP.	GYPSPUM		
GYP. BD.	GYPSPUM WALLBOARD		
H.C.	HOLLOW CORE		
HORIZ.	HORIZONTAL		
HR.	HOOR		
I.D.	INSIDE DIAMETER		
INSUL.	INSULATION		
INT.	INTERIOR		
JT.	JOINT		
KIT.	KITCHEN		
LAM.	LAMINATE		
L.T.	LIGHT		
MAX.	MAXIMUM		
M.C.	MEDICINE CABINET		
MEMB.	MEMBRANE		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
M.O.	MASONRY OPENING		
MTL.	MATERIAL		
N.	NORTH		
N.I.C.	NOT IN CONTRACT		
NO. OR #	NUMBER		

MATERIALS

	EARTH		WOOD, FINISH
	SAND, MORTAR, PLASTER		WOOD, FRAMING (THRU MEMBER)
	ROCK FILL		WOOD, FRAMING (INTERRUPTED MEMBER)
	CONCRETE		PLYWOOD*
	BRICK		GLASS
	CONCRETE BLOCK (C.M.U.)		ACOUSTIC TILE
	STONE		GYPSPUM BOARD
	METAL		INSULATION, BATT
	METAL LATH		INSULATION, RIGID

* PLYWOOD IS SHOWN DIAGRAMMATICALLY. THE NUMBER OF DIVIDING LINES AND SLASHES DO NOT INDICATE THICKNESS OR NUMBER OF PLYS. S.S.D. FOR THIS INFORMATION

SYMBOLS

- GRID LINE
NUMBERS VERTICAL
LETTERS HORIZONTAL
- DOOR SYMBOL—NUMBERS
- WINDOW SYMBOL—NUMBERS
- DETAIL
DETAIL IDENTIFICATION
SHEET WHERE DETAIL IS DRAWN
- SECTION
SECTION IDENTIFICATION
SHEET WHERE SECTION IS DRAWN
- ELEVATION
ELEVATION IDENTIFICATION
SHEET WHERE ELEVATION IS DRAWN
- ROOM IDENTIFICATION
ROOM NAME
NUMBER
- REVISIONS—NUMBERS
CLOUD AROUND REVISION OPTIONAL
- MATCH LINE
SHADED PORTION IS THE SIDE CONSIDERED
- WORK POINT/CONTROL/DATUM
- GRADE
NEW OR FINISHED GRADE AT EXTERIOR
FINISH FLOOR ELEVATION AT INTERIOR
(EXISTING GRADE)
- PROPERTY LINE
- CENTER LINE
- FINISH FLOOR ELEVATION

PROJECT DIRECTORY

- PROPERTY OWNERS:
JENNIFER LO AND ERIC APPELIN
1508 VISCAINO RD
PEBBLE BEACH, CA. 93953
CONTACT
(831)
- ARCHITECT:
JAMES N. SMITH, ARCHITECT, INC.
716 LIGHTHOUSE AVE., SUITE C
PACIFIC GROVE, CA. 93950
CONTACT PERSON : JAMES SMITH
TEL (831) 372-7251
FAX (831) 372-7252
EMAIL: JAMES@NSAIA.COM
- STRUCTURAL ENGINEER:
JERRY TAYLOR
JRTEC, INC.
P.O. BOX 51697
PACIFIC GROVE, CA. 93950
CONTACT PERSON : JERRY TAYLOR
TEL. (831) 372-5890
FAX (831) 372-5890
EMAIL: JRTEC@ATT.NET
- CIVIL / SOILS ENGINEER
LANDSET ENGINEERING, INC.
520-B CRAZY HORSE CANYON RD.
SALINAS, CA. 93907
CONTACT PERSON: GUY / BRIAN
TEL. (831) 443-6970
GGRAUDO@LANDSETENG.COM
- TITLE 24 / MECHANICAL ENGINEER
MONTEREY ENERGY GROUP
227 FOREST AVENUE, SUITE #5
PACIFIC GROVE, CA. 93950
CONTACT PERSON: DAVID KNIGHT
TEL (831) 372-8328
FAX (831) 372-4813
EMAIL: DAVE@ME4.COM
- SURVEYOR:
RASMUSSEN LAND SURVEYORS
2400 GARDEN ROAD, SUITE A
P.O. BOX 3135
MONTEREY, CA. 93942
CONTACT PERSON: ROGER RASMUSSEN
TEL (831) 375-7240
FAX (831) 375-2545
ROGER@RASMUSSENLAND.COM
- LANDSCAPING:
FLORA VISTA
DINAH IRINO
982 PHEONIX AVE.
VENTURA, CA. 93004
CELL (831) 261-4840
EMAIL: FLORA.VISTA@SBCGLOBAL.NET

SPECIAL INSPECTIONS

- THE GEOTECHNICAL ENGINEER SHALL INSPECT THE BUILDING PADS AND FOUNDATION EXCAVATIONS PRIOR TO THE PLACEMENT OF REINFORCING BARS, AND SHALL SUBMIT WRITTEN APPROVAL TO THE BUILDING INSPECTOR BEFORE REQUESTING FOUNDATION INSPECTION AND POURING OF FOOTING.
- THE STRUCTURAL ENGINEER OF RECORD SHALL INSPECT THE BUILDINGS FOUNDATIONS WITH ALL REINFORCING PER PLAN PRIOR TO POURING. THE ENGINEER SHALL SUBMIT WRITTEN APPROVAL OF THE FOUNDATION SYSTEM INSTALLATION TO THE BUILDING INSPECTOR.
- THE STRUCTURAL ENGINEER OF RECORD SHALL PROVIDE PERIODIC INSPECTIONS OF THE FRAMING AND PROVIDE WRITTEN REPORTS TO THE BUILDING DEPARTMENT.
- ALL WELDING SHALL BE CONTINUOUSLY INSPECTED BY AN INDEPENDANT INSPECTOR APPROVED BY THE BUILDING DEPARTMENT.

DEFERRED SUBMITTALS

- CONTRACTOR TO SUBMIT GAS LINE SIZING FOR COUNTY & UTILITY APPROVAL BEFORE INSPECTION.
- TRUSS CALCS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ANY TRUSS INSPECTIONS. CALCS BY MANUFACTURER SHALL INCLUDE TRUSS PROFILES AND LAYOUT PLANS.
- THE MANUFACTURED TRUSS SUBMITTALS SHALL BE REVIEWED (INDICATED BY LETTER OR STAMP, SIGNATURE AND DATE) BY THE ENGINEER OF RECORD FOR DESIGN COMPATIBILITY. A CERTIFICATION LETTER FROM THE ENGINEER SHALL BE SENT TO THE BUILDING DEPARTMENT STATING THIS APPROVAL.
- THE TRUSSES SHALL NOT BE INSTALLED UNTIL AN APPROVED JOB COPY OF THE TRUSS SUBMITTALS IS ISSUED BY THE BUILDING DEPARTMENT.
- GLU-LAM CERTIFICATES SHALL BE COPIED TO THE BUILDING DEPARTMENT.
- ANY NEW SITE RETAINING WALLS HAVE NOT BEEN REVIEWED UNDER THIS PERMIT. A SEPERATE PERMIT APPLICATION IS REQUIRED FOR ALL NEW RETAINING WALLS.

DRAWING INDEX

SHEET NO.	DESCRIPTION
A0.0	COVER SHEET
A1.0	SITE PLAN
A1.0D	SITE PLAN - DEMO
A2.0	FLOOR PLAN - MAIN LEVEL
A2.1	FLOOR PLAN - MAIN LEVEL + POOLHOUSE
A2.2	FLOOR PLAN - UPPER LEVEL
A2.3	FLOOR PLAN - BASEMENT LEVEL
A5.0	ROOF PLAN
A6.0	EXTERIOR ELEVATIONS
A6.1	EXTERIOR ELEVATIONS
A6.2	EXTERIOR ELEVATIONS
A6.3	EXTERIOR ELEVATIONS
A7.0	BUILDING SECTIONS

PROJECT INFORMATION

PROJECT DESCRIPTION:
CONSTRUCT NEW TWO STORY SINGLE FAMILY RESIDENCE WITH ATTACHED LOGGIA AND 5 CAR GARAGE, DETACHED POOLHOUSE, POOL, STAIRS AND TERRACES

PROJECT ADDRESS:
1508 VISCAINO RD
PEBBLE BEACH, CA. 93953

PLANNING INFORMATION

- A.P.N. 008-222-014
- LEGAL DESCRIPTION
LOT BLOCK
- COUNTY OF MONTEREY ZONING: LDR 1.5/D (CZ)
- TITLE 20 (COASTAL ZONE)
FOR MONTEREY COUNTY
- MAX. ALLOWABLE BUILDING HEIGHT: 30'
- TREE REMOVAL: NONE
- APPROX. GRADING: 250 CY CUT, 150 CY FILL
- PARKING REQUIRED | PARKING PROVIDED
COVERED: 2 | COVERED: 5
UNCOVERED: 4 | UNCOVERED: 4

BUILDING INFORMATION

- PROJECT CODE COMPLIANCE—CODE EDITIONS USED:
2019 CAL. BUILDING CODE-CBC 2019 CAL. RESIDENTIAL CODE-CRC
2019 CAL. ELEC. CODE-CEC 2019 CAL. MECH. CODE-CMC
2019 CAL. PLUMB. CODE-CPC 2019 CAL. GREEN BLDG. STANDS-CGBCS
2019 CAL. FIRE CODE-CFC 2019 CAL. ENERGY CODE-CEC
- CONSTRUCTION TYPE: VB
- BUILDING OCCUPANCY: R-3 / U
- FIRE DEPARTMENT INFORMATION:
FIRE DISTRICT: PEBBLE BEACH COMMUNITY SERVICES DISTRICT
3101 FOREST LAKE RD., P.B., CA. 93953 647-5641
AUTOMATIC SPRINKLERS REQUIRED: YES (NFPA 13R)
WILDLAND URBAN INTERFACE CODES REQUIRED: YES
W.U.I. ZONE: S.R.A.
- UTILITY PROVIDERS:
SEWER: P.B.C.S.D
WATER: CAL AM
ELEC / GAS: PG&E

PROJECT SQUARE FOOTAGE INFORMATION

- TOTAL SITE AREA: = 55,653 S.F. (1.27 Ac.)
- LOT / SITE COVERAGE
- PROPOSED LOT / SITE COVERAGE
- RESIDENCE FOOTPRINT = 4,628 S.F.
- 2 CAR GARAGE = 635 S.F.
- 3 CAR GARAGE = 931 S.F.
- FRONT PORCH-ENTRY = 144 S.F.
- FRONT PORCH-KITCHEN = 242 S.F.
- POOLHOUSE = 512 S.F.
- MEW TERRACE = 541 S.F.
- DINING TERRACE = 285 S.F.
- LIVING TERRACE = 172 S.F.
- STAIR TO POOL = 210 S.F.
- ROOF EAVES OVER 30" = 0 S.F.
- PROPOSED COVERAGE = 8,280 S.F. (14.8%)
- MAX. ALLOWABLE COVERAGE = 8,348 S.F. (15%)
- MAX. ALLOWABLE COVERAGE = 9,000 S.F. (PESCADERO WATERSHED)
- EXISTING BLDG. COVERAGE = 2,855 S.F.
- EXISTING DRIVEWAY = 6,008 S.F.
- EXISTING TERRACE = 1,420 S.F.
- TOTAL EXIST'G COVERAGE = 10,283 S.F.

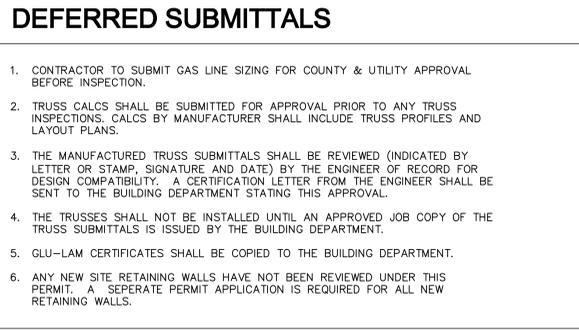
FLOOR AREA RATIO

- MAIN LEVEL = 4,628 S.F.
- UPPER LEVEL = 2,502 S.F.
- MEZZANINE = 130 S.F. (AREA OF MIN. 7' HIGH CEIL'G)
- LOWER LEVEL = 165 S.F. (PORTION OPEN TO GRADE)
- POOLHOUSE = 512 S.F. (474 S.F. NOT COUNTED)
- PROPOSED LIVABLE TOTAL = 7,937 S.F.
- 2 CAR GARAGE = 635 S.F.
- 3 CAR GARAGE = 931 S.F.
- PROPOSED FLOOR AREA TOTAL = 9,503 S.F. (17%)
- MAX. ALLOWABLE FLOOR AREA RATIO = 9,739 S.F. (17.5%)

PERMEABLE/PERVIOUS SITE COVERAGE

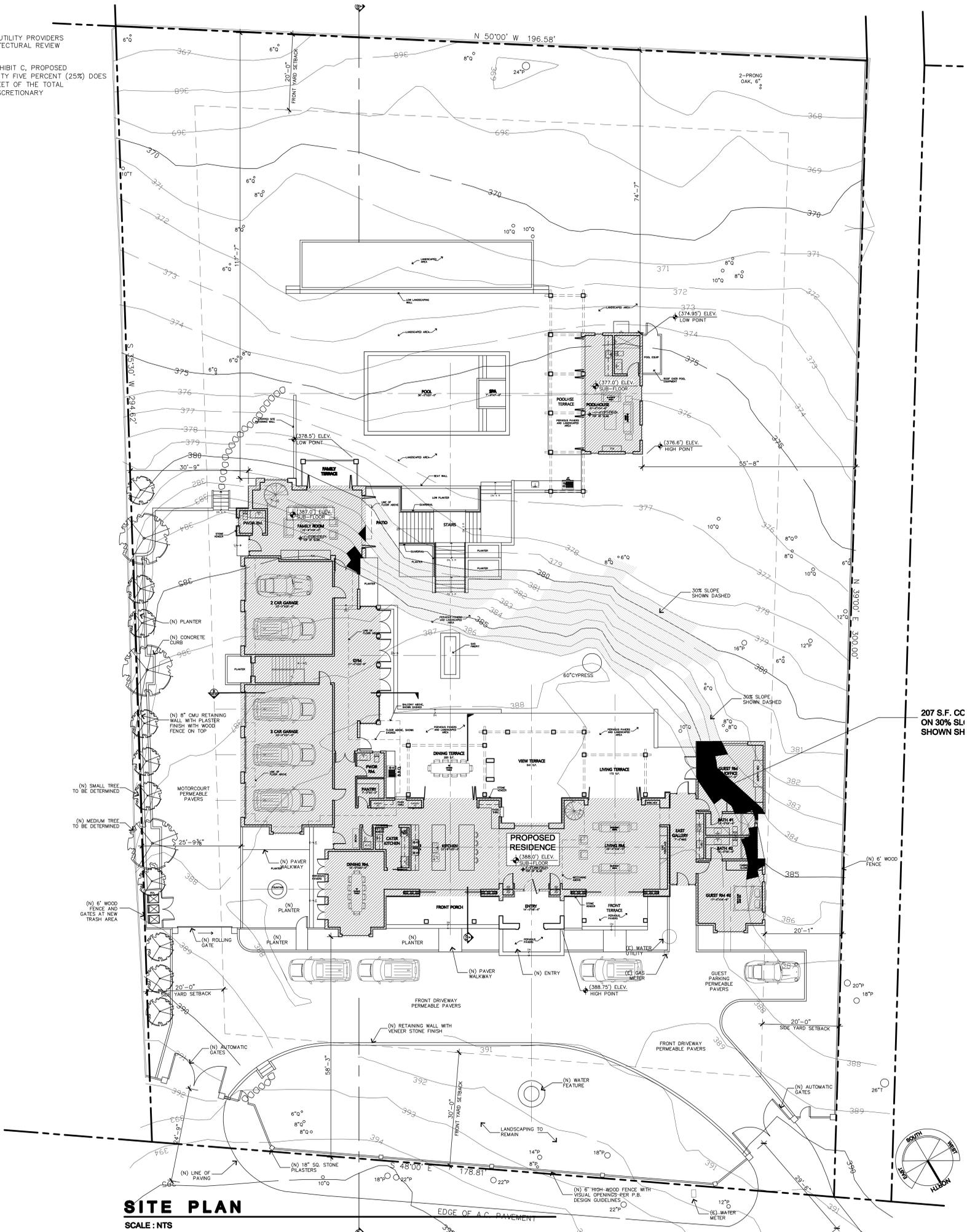
- DRIVEWAY = 5,660 S.F.
- MOTORCOURT = 2,577 S.F.
- WOOD FRAMED DECKS = 0 S.F. (LESS THAN 24" ABOVE GRADE)

RETAINING WALLS - 1' TO 7' HIGH = - LIN. FT.



ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH. THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

1. REVIEW AND APPROVAL MUST BE OBTAINED FROM UTILITY PROVIDERS AND NOTICE OF APPROVAL SUBMITTED TO THE ARCHITECTURAL REVIEW COMMITTEE REPRESENTATIVE
 2. PER COUNTY GENERAL PLAN POLICY 05-3.5 C, EXHIBIT C, PROPOSED DEVELOPMENT IMPACTING SLOPES IN EXCESS OF TWENTY FIVE PERCENT (25%) DOES NOT EXCEED TEN PERCENT (10%), OR 500 SQUARE FEET OF THE TOTAL DEVELOPMENT FOOTPRINT (WHICHEVER IS LESS), A DISCRETIONARY PERMIT SHALL NOT BE REQUIRED.
- BUILDING ENCROACHMENT: 189 S.F.
 TERRACE ENCROACHMENT: 78 S.F.
 TOTAL : 267 S.F.



SITE PLAN
 SCALE: NTS

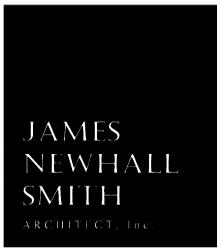
SITE PLAN NOTES

- GENERAL SITE NOTES**
1. CONTRACTOR TO COORDINATE ALL NEW UTILITY INSTALLATIONS WITH UTILITY COMPANIES AND BUILDING DEPARTMENT(S).
 2. CONTRACTOR TO VERIFY ADEQUACY OF ALL (E) UTILITIES. ALL SUBSTANDARD SERVICES SHALL BE REPLACED/UPGRADED AS NECESSARY TO COMPLY WITH CURRENT CODES AND ORDINANCES.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING PROPERTY CORNERS AND HOUSE LAYOUT RELATIVE TO SETBACKS BY LICENSED SURVEYOR PRIOR TO BUILDING FORMWORK OR POURING CONCRETE. CONTRACTOR SHALL COORDINATE WITH COUNTY/PEBBLE BEACH
 4. RETAINING WALLS REQUIRING A BUILDING PERMIT ARE BY SEPARATE PERMIT, UNLESS NOTED OTHERWISE.
 5. THE LOCATION, TYPE AND SIZE OF ALL ANTENNAS, SATELLITE DISHES OR TOWERS, AND SIMILAR APPURTENANCES SHALL BE APPROVED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
 6. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR/OWNER SHALL PROVIDE THE LOCATION OF A STATE OF CALIFORNIA LICENSED SURVEYOR'S OR CIVIL ENGINEER'S REFERENCE DATUM (INSTALLED PRIOR TO ANY GRADING) THAT SHALL BE USED TO ESTABLISH INDICATED ELEVATIONS ON SUBMITTED PLANS AND SHALL REMAIN IN PLACE UNDISTURBED THROUGHOUT THE ENTIRETY OF CONSTRUCTION WORK ON THIS PERMIT.
 7. TOPOGRAPHICAL AND OTHER SURVEY INFORMATION BASED ON SURVEY BY (CENTRAL COAST SURVEYORS, JUNE, 2019, JOB 19-42).
 8. REFER TO GEOTECHNICAL REPORT, IF APPLICABLE, FOR ALL GRADING AND FOUNDATION RECOMMENDATIONS. IF NO REPORT IS AVAILABLE OR REQUIRED, GEOTECHNICAL ENGINEER SHALL INSPECT GRADING AND TRENCHING FOR FOOTINGS PRIOR TO PLACEMENT OF FORMWORK OR CONCRETE.
 9. FOREST MANAGEMENT PLAN BY FRANK ONO.
 10. ARCHAEOLOGICAL REPORT FOR THIS PROJECT WAS PREPARED BY (---, DATE, JOB #).

- SITE DRAINAGE NOTES**
1. REFER TO GRADING, DRAINAGE AND EROSION CONTROL PLAN PREPARED BY (CIVIL ENGINEER, DATE) FOR SITE DRAINAGE RECOMMENDATIONS.
 2. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FT. CRC R401.3
 EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 IN. OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
 3. SLOPE ALL HARDSCAPE SURFACES ADJACENT TO STRUCTURE(S), INCLUDING LANDINGS, TO DRAIN AWAY FROM STRUCTURES MIN. 2%. NO EXCEPTIONS.
 4. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES PLUS 2% ALTERNATE ELEVATIONS ARE PERMITTED SUBJECT TO THE APPROVAL OF THE BUILDING OFFICIAL, PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE.
 5. SEE ROOF PLAN SHEET A5.0 FOR DOWNSPOUT LOCATIONS. ROOF RUN-OFF SHALL BE COLLECTED BY GUTTERS AND DOWNSPOUTS. DOWNSPOUTS SHALL BE CONVEYED TO AN UNDERGROUND PIPING SYSTEM PER CITY/COUNTY STANDARDS.
 6. ALL UNDERGROUND ROOF WATER PIPING SHALL BE SMOOTH WALLED, SOLID P.V.C. MIN. PIPING DIAMETER SHALL BE 4". SEE DRAINAGE PLAN
 7. CLEAN-OUT CONNECTIONS SHALL BE CONSTRUCTED AT ALL PIPING ANGLES AND CHANGES IN DIRECTION.

EROSION CONTROL NOTES

- GRADING AND DRAINAGE PLAN NOTES**
1. ALL GRADING SHALL CONFORM TO MONTEREY COUNTY EROSION CONTROL ORDINANCE #2806.
 2. LIMITS OF GRADING SHOULD BE CONFINED TO THOSE AREAS NECESSARY FOR THE SUBJECT PROJECT, I.E., AS MUCH AS THE VEGETATED LANDSCAPE NOT ASSOCIATED WITH THE PROPOSED CONSTRUCTION SHOULD BE LEFT AS UNDISTURBED AS POSSIBLE.
 3. IF RAIN IS IN THE FORECAST, ALL EXPOSED SOIL SHOULD BE IMMEDIATELY PROTECTED WITH STRAW MULCH, EROSION NETTING, AND STOCKPILES COVERED WITH PLASTIC SHEETING. THESE ITEMS SHOULD BE KEPT ON HAND AT ALL TIMES DURING CONSTRUCTION.
 4. CUT AND FILL MATERIALS SHOULD NOT BE STOCKPILED WHERE THEY MAY WASH ONTO ADJOINING PROPERTIES, ROADWAYS, DRAINAGE FACILITIES OR WATERWAYS. ALL IMPORTED OR NATIVE MATERIALS REMAINING AFTER COMPLETION OF THE JOB SHOULD BE HAULED OFFSITE.
 5. RE-VEGETATE AND PROTECT ALL DISTURBED SOIL PRIOR TO OCTOBER 15. THE APPROPRIATE GRASS/LEGUME SEED MIXES, JUTE AND/OR EROSION NETTING, AND STRAW MULCH SHOULD BE USED FOR TEMPORARY COVER. PERMANENT VEGETATION SHOULD INCLUDE NATIVE AND DROUGHT RESISTANT PLANTS.
 6. IRRIGATION ACTIVITIES AT THE SITE SHOULD ALWAYS BE DONE IN A CONTROLLED AND REASONABLE MANNER. PLANTER AREAS SHOULD NOT BE SITED ADJACENT TO BUILDING WALLS; OTHERWISE, MEASURES SHOULD BE IMPLEMENTED TO CONTAIN IRRIGATION WATER AND PREVENT IT FROM SEEPING INTO WALLS AND UNDER FOUNDATIONS.
 7. RAIN GUTTERS SHALL BE INSTALLED ON ALL ROOF DOWNSPOUTS WHICH CONNECT TO PERIMETER STORM DRAIN LINES PER COUNTY STANDARDS.
 8. NO LAND CLEARING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15TH AND APRIL 15TH UNLESS AUTHORIZED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
 9. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
 - 9.1 DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - 9.2 ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
 - 9.3 RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
 - 9.4 DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS. (MONTEREY COUNTY GRADING/EROSION ORD. 2806-16.12.090)



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 93950**

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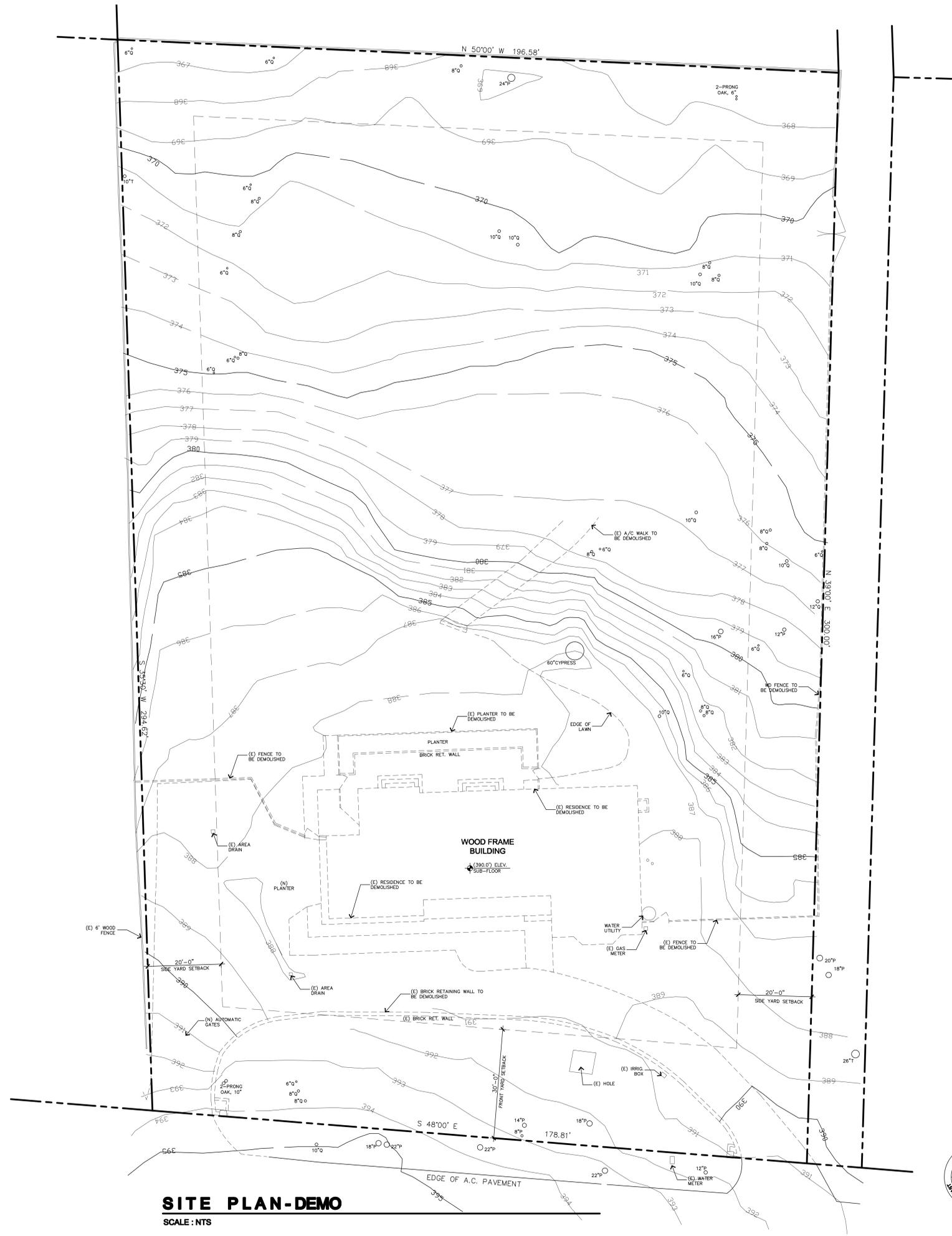
PROJECT/CLIENT
**LO / APPELIN
 RESIDENCE**

**LO/APPELIN
 1508 VISCAINO RD.
 PEBBLE BEACH, CA.**

SITE PLAN

ISSUE	REVISIONS
1	11-12-20 PRELIM. REVIEW
2	01-22-21 UPDATE SET
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4	01-31-22 REVISIONS FOR ARB
1	02-14-22 INITIAL PLANNING SUBMITAL
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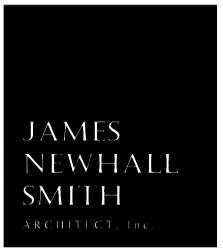
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SITE PLAN-DEMO
SCALE: NTS

DEMO PLAN NOTES

1. SUFFICIENTLY WET THE STRUCTURE PRIOR TO DECONSTRUCTION OR DEMOLITION. CONTINUE WETTING AS NECESSARY DURING ACTIVE DECONSTRUCTION OR DEMOLITION AND THE DEBRIS REDUCTION PROCESS.
2. DEMOLISH THE STRUCTURE INWARD TOWARD THE BUILDING PAD. LAY DOWN ROOF AND WALLS SO THAT THEY FALL INWARD AND NOT AWAY FROM THE BUILDING.
3. COMMENCEMENT OF DECONSTRUCTION OR DEMOLITION ACTIVITIES SHALL BE PROHIBITED WHEN THE PEAK WIND SPEED EXCEEDS 15 MILES PER HOUR.
4. CONTRACTOR SHALL OBTAIN ALL REQUIRED AIR DISTRICT PERMITS AND CONDUCT ALL DECONSTRUCTION OR DEMOLITION ACTIVITIES AS REQUIRED BY THE AIR DISTRICT.
5. FOLLOW ALL AIR DISTRICT STANDARDS.
6. PRIOR TO DEMOLITION, CONTRACTOR SHALL HAVE PERFORMED ALL NECESSARY HAZARDOUS MATERIALS SURVEYS AND SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY/COUNTY.



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SHEET TITLE

**DEMO
SITE PLAN**

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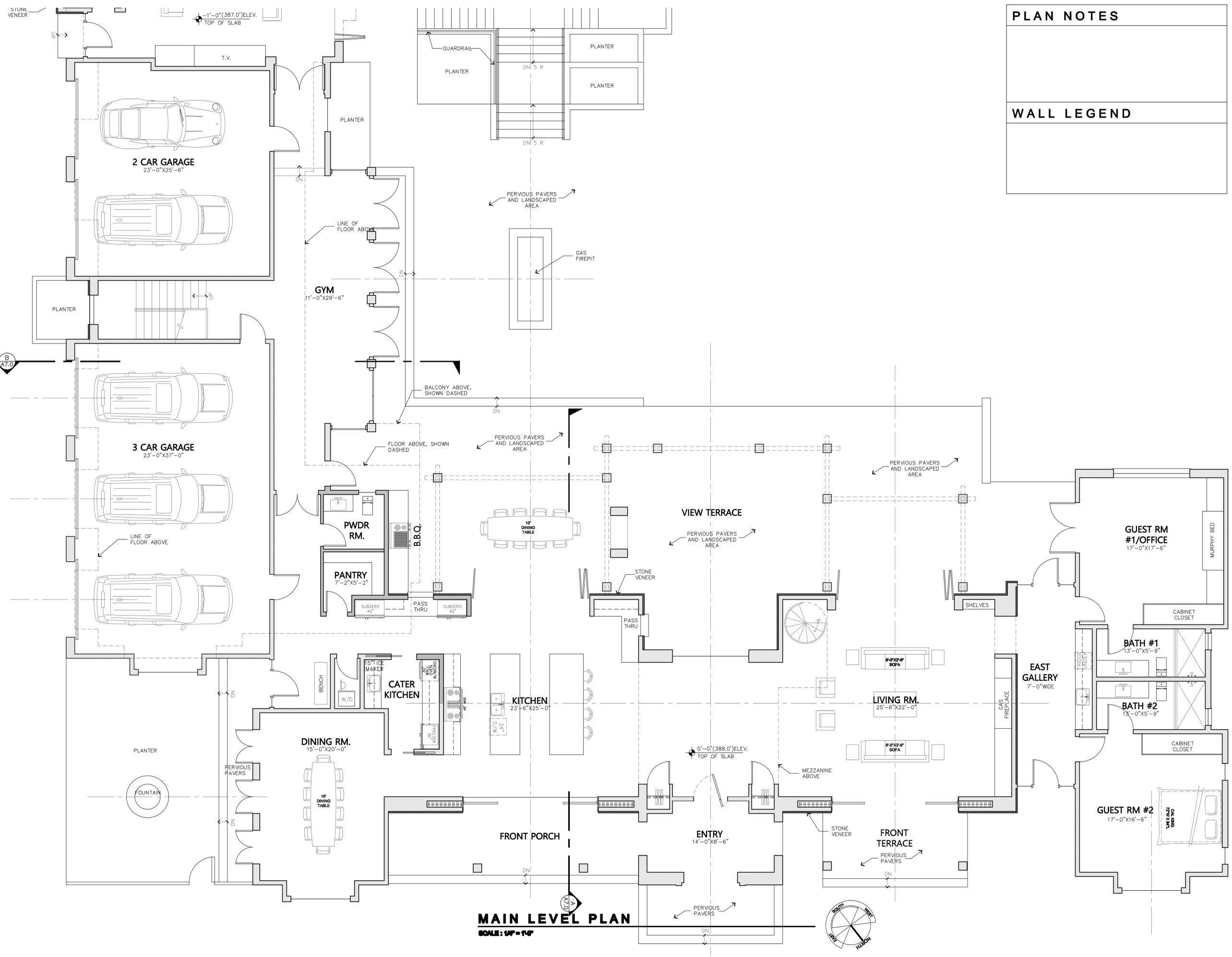
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MAIN LEVEL PLAN
SCALE: 1/4" = 1'-0"

PLAN NOTES
WALL LEGEND

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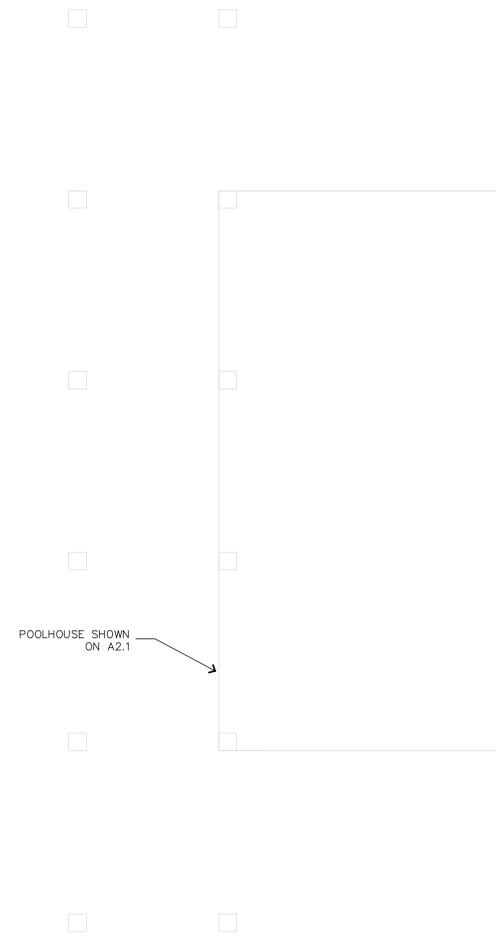
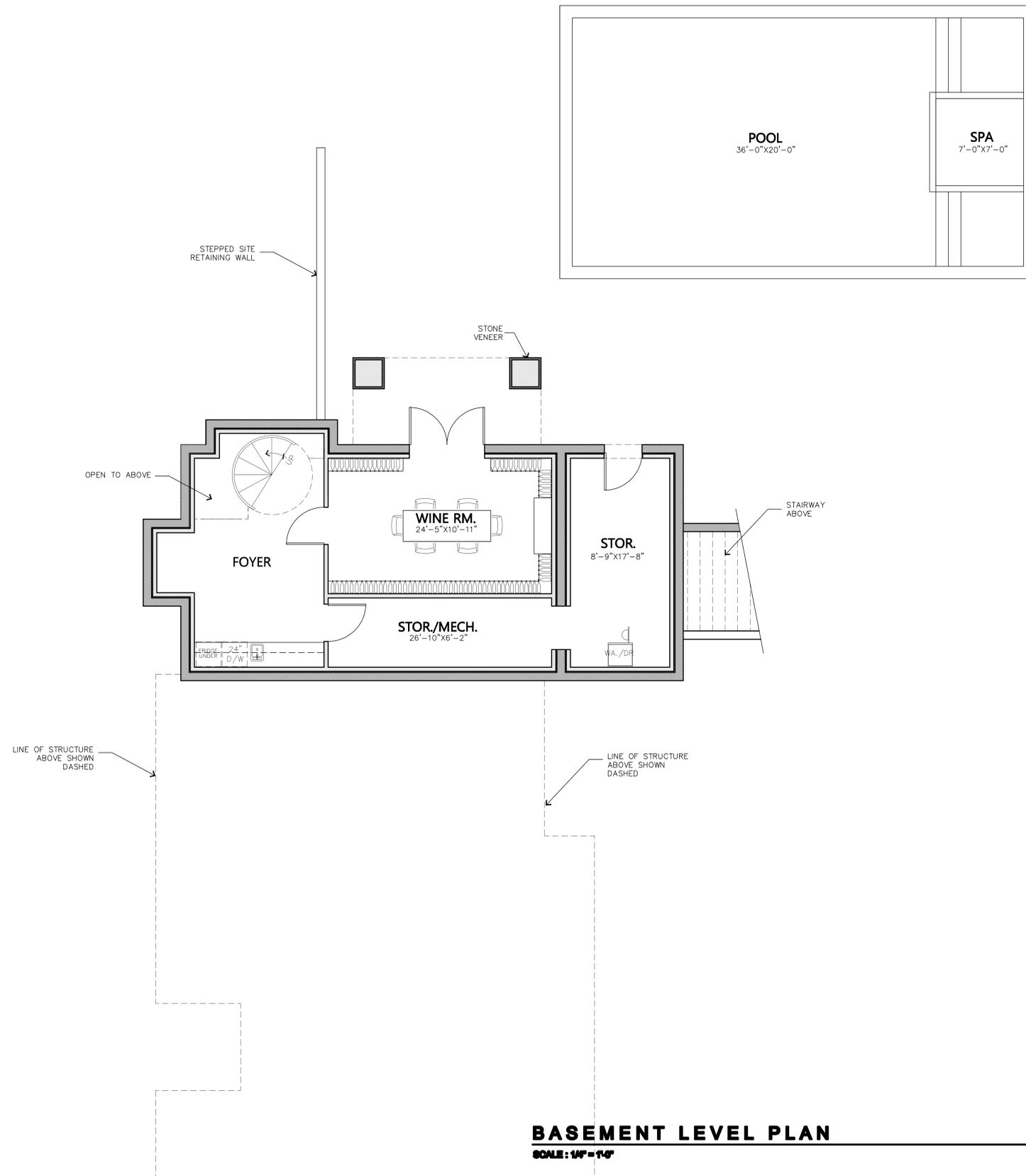
SHEET TITLE
MAIN LEVEL PLAN

○	ISSUE	△	REVISIONS
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②	01-22-21	UPDATE SET	
③	11-19-21	PEBBLE BEACH SUBMITTAL SET	
④	01-31-22	REVISIONS FOR ARB	
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PROJECT NUMBER
SHEET NUMBER

A2.0

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BASEMENT LEVEL PLAN
SCALE: 1/4" = 1'-0"

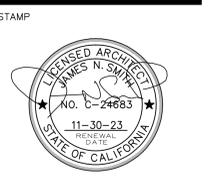


PLAN NOTES
WALL LEGEND

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SHEET TITLE
BASEMENT LEVEL PLAN

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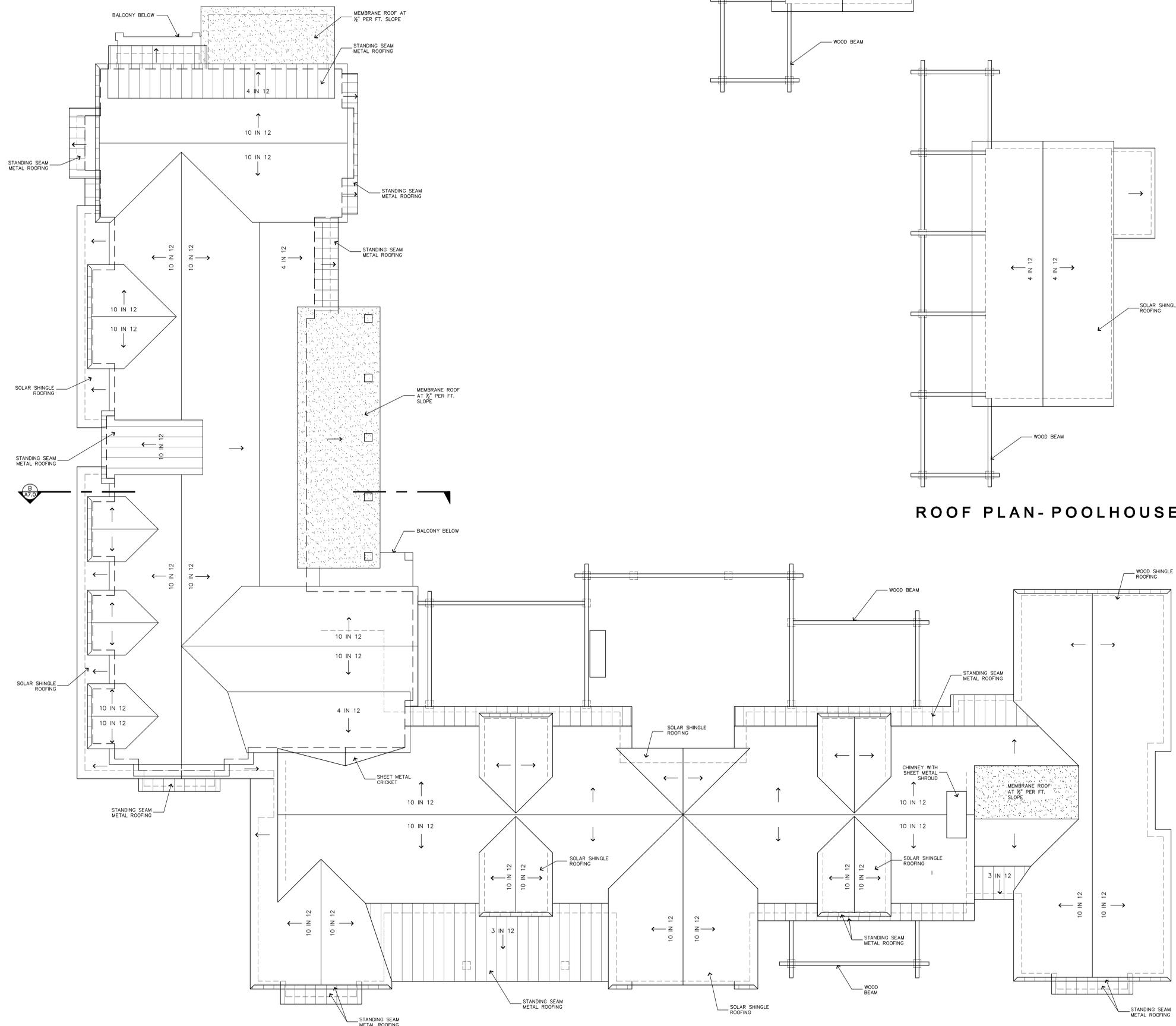
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ROOF PLAN - POOLHOUSE

ROOF NOTES

1. ROOF MATERIAL TO BE CLASS "A" TESLA SOLAR SHINGLES AND CLASS "A" STANDING SEAM METAL ROOFING
2. FIELD VERIFY WITH OWNER AND ARCHITECT COLOR AND/OR BLEND OF ROOFING UNITS PRIOR TO INSTALLATION
3. ROOF SLOPE = 10 IN 12 UNLESS OTHERWISE NOTED
4. OVERHANG = 12" UNLESS OTHERWISE NOTED
5. COPPER GUTTERS WITH ROUND DOWNSPOUTS
6. GANG ALL VENT STACKS TO MINIMIZE QUANTITY OF ROOF JACKS AND LOCATE ROOF JACKS IN LEAST VISIBLE LOCATION
7. SPARK ARRESTOR TO BE 3 TIMES THE NET FREE OPENING OF THE CHIMNEY OUTLET
8. CHIMNEY SHALL BE 2' ABOVE THE HIGHEST POINT OF THE ROOF WITHIN 10' MEASURED HORIZONTALLY
9. METAL CHIMNEYS SHALL BE ANCHORED AT EACH FLOOR AND AT THE ROOF WITH (2) 1-1/2"x8" S.S. METAL STRAPS LOOPED AROUND THE CHIMNEY AND NAILED WITH NOT LESS THAN (6) 8d NAILS PER STRAP AT EACH JOIST OR RAFTER PER UBC 3102.6 TO PREVENT LATERAL DISPLACEMENT.
10. EACH BUNDLE OF ROOFING SHALL BEAR LABELS FROM AN ICCB ACCREDITED QUALITY CONTROL AGENCY IDENTIFYING THEIR ROOF COVERING CLASSIFICATION AND INDICATING THEIR COMPLIANCE WITH ICC-ES-EQ107 AND WITH THE WEATHERING REQUIREMENTS CONTAINED IN HEALTH AND SAFETY CODE SECTION 13132.70 (R902.2 CRC)
11. ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2.
12. PER C.B.C. CHAPTER 7A (ROOF EDGE) AND CHAPTER 15 (ROOF FIELD), LARGE GAPS BETWEEN THE ROOF COVERING AND THE ROOF DECK (SHEATHING) MUST BE PLUGGED TO PREVENT EMBER OR FLAME INTRUSION. EXAMPLE: BIRD-STOPS OR MORTAR FOR BARREL TILE ROOFS AT EAVES.
13. ROOF DOWN SPOUTS TO BE COLLECTED IN A TIGHT-LINE AND DISPERSED PER CITY/COUNTY STANDARDS

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SHEET TITLE

ROOF PLAN

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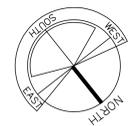
PROJECT NUMBER

SHEET NUMBER

A5.0

ROOF PLAN

SCALE : 3/16" = 1'-0"

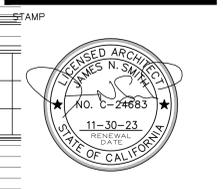


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SHEET TITLE
EXTERIOR ELEVATIONS

- ISSUE △ REVISIONS
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PROJECT NUMBER
SHEET NUMBER

A6.1



WEST ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

THIS PROJECT IS LOCATED WITHIN MIDLAND URBAN INTERFACE. REFER TO WALL SECTION DETAIL 1 / A0.1 FIRE NOTES SHEET FOR COMPLIANCE REQUIREMENTS

ROOF COVERINGS AND FLASHINGS AND WALL COVERINGS SHALL COMPLY WITH ALL REQUIRED U.I. SPECIFICATIONS

ROOF GUTTERS, IF ANY, SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAKS AND DEBRIS

ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC.) SHALL BE PROTECTED BY LOUVERS AND 3" NON-COMBUSTIBLE CORROSION-RESISTANT MESH UNLESS VENTS ARE APPROVED FOR RESISTING FLAME AND EMBER INTRUSION.

PAINTS, COATINGS, STAINS OR OTHER SURFACE TREATMENTS ARE NOT ACCEPTABLE MEANS OF COMPLIANCE WITH ANY WULFIRE-RESISTIVE CONSTRUCTION REQUIREMENT, UNLESS APPROVED FOR SUCH USE.

WALL SIDING SHALL COMPLY WITH CRC R703, AND ATTACHMENT REQUIREMENTS PER TABLE R703.3(1)

FLASHING INSTALLATIONS AND LOCATIONS FOR WALLS AND ROOFS SHALL COMPLY WITH CRC R703.4

WOOD SIDING INSTALLATION SHALL COMPLY WITH CRC R703.5

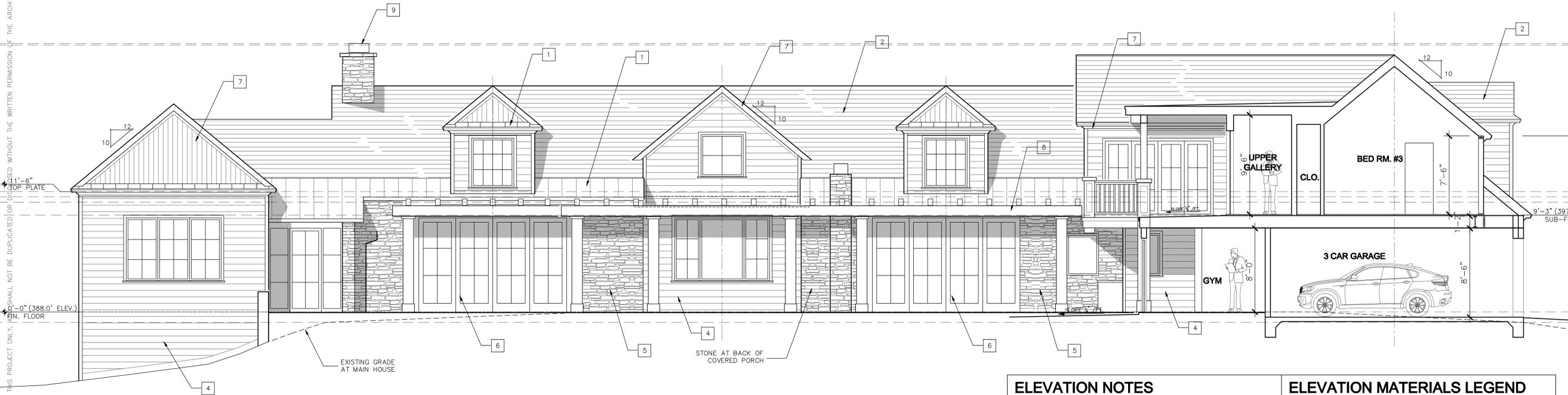
EXTERIOR PLASTER INSTALLATION SHALL COMPLY WITH CRC R703.7 AND WEEP SCREDS SHALL BE INSTALLED IN ACCORDANCE WITH R703.7.2.1

ANCHORED STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH CRC R703.8 AND R703.12

ELEVATION MATERIALS LEGEND

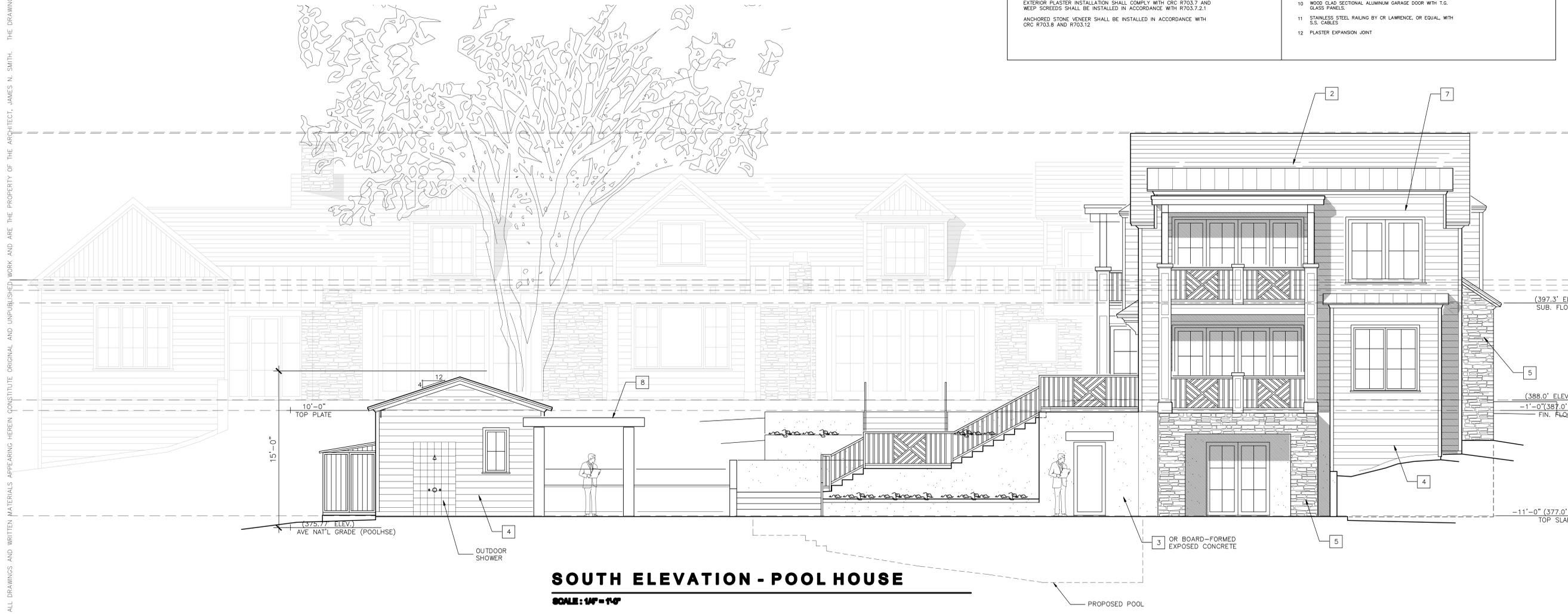
- ① STANDING SEAM METAL ROOFING BY MBDL MODEL CRAFTSMAN SB-12 SMOOTH FINISH, COLOR: BURNISHED SLATE
- ② TESLA SOLAR SHINGLES, COLOR: DARK CHARCOAL CLASS 'A' RATED
- ③ 3 COAT EXTERIOR PLASTER WITH SMOOTH FINISH, COLOR: SEE ELEVATIONS
- ④ JAMES HARRIS CEMENTITIOUS SIDING, STYLE: ARTISAN SHIP LAP, 9" EXPOSURE, COLOR: SEE ELEVATIONS
- ⑤ EXTERIOR VERTICAL STONE-"GOLD STONE" 2" THIN VENEER FLATS, GROUT JOINTS AT 8" TO 2" WITH OVER-SPREAD MORTAR, COLOR OF GROUT IS "WHITE CEMENT" WITH HALF CUP DAVIS COLOR #6447 (LT. BROWN) PER 94 LB. BAG AND MIRACLE LIME
- ⑥ ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY ARCADIA, COLOR: DARK BRONZE ANODIZED
- ⑦ FASCIA BOARD PRE-PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ, COLOR: WHITE
- ⑧ EXTERIOR CEDAR WOOD TRELLIS, TAILS AND CORBELS, GATES, STAINED CABOT GROUND BEAN KMA 465-5
- ⑨ NATURAL UNSEALED COPPER GLITTERS, DOWNSPOUTS, CHIMNEY SHROUDS, EXTERIOR LIGHT HOUSINGS AND FLASHING
- ⑩ WOOD CLAD SECTIONAL ALUMINUM GARAGE DOOR WITH T.G. GLASS PANELS
- ⑪ STAINLESS STEEL RAILING BY CR LAWRENCE, OR EQUAL, WITH S.S. CABLES
- ⑫ PLASTER EXPANSION JOINT

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SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES	ELEVATION MATERIALS LEGEND
THIS PROJECT IS LOCATED WITHIN WILDLAND URBAN INTERFACE, REFER TO WALL SECTION DETAIL 1 / AD.1 FIRE NOTES SHEET FOR COMPLIANCE REQUIREMENTS	1 STANDING SEAM METAL ROOFING BY MBL MODEL CRAFTSMAN SB-12, SMOOTH FINISH, COLOR: BURNISHED SLATE
ROOF COVERINGS AND FLASHINGS AND WALL COVERINGS SHALL COMPLY WITH ALL REQUIRED W.U.I. SPECIFICATIONS	2 TESLA SOLAR SHINGLES, COLOR: DARK CHARCOAL, CLASS 'A' RATED.
ROOF GUTTERS, IF ANY, SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS	3 COAT EXTERIOR PLASTER WITH SMOOTH FINISH, COLOR: SEE ELEVATIONS
ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC.) SHALL BE PROTECTED BY LOUVERS AND 1/8" NON-COMBUSTIBLE, CORROSION-RESISTANT MESH UNLESS VENTS ARE APPROVED FOR RESISTING FLAME AND EMBER INTRUSION.	4 JAMES HARDIE CEMENTITIOUS SIDING, STYLE: ARTISAN SHIP LAP, 9" EXPOSURE, COLOR: SEE ELEVATIONS
PAINTS, COATINGS, STAINS OR OTHER SURFACE TREATMENTS ARE NOT ACCEPTABLE MEANS OF COMPLIANCE WITH ANY WILDFIRE-RESISTIVE CONSTRUCTION REQUIREMENT, UNLESS APPROVED FOR SUCH USE.	5 EXTERIOR VERTICAL STONE-"GOLD STONE" 2" THIN VENEER FLATS, GROUT JOINTS AT 8" TO 12" WITH OVER-SPREAD MORTAR, COLOR OF GROUT IS "WHITE CEMENT" WITH HALF CUP DAVIS COLOR #6447 (LT. BROWN) PER 94 LB. BAG AND MIRACLE LIME
WALL SIDING SHALL COMPLY WITH CRC R703, AND ATTACHMENT REQUIREMENTS PER TABLE R703.3(1)	6 ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY ARCADIA, COLOR: DARK BRONZE ANODIZED
FLASHING INSTALLATIONS AND LOCATIONS FOR WALLS AND ROOFS SHALL COMPLY WITH CRC R703.4	7 FASCIA BOARD PRE-PRIMED RADATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ, COLOR: WHITE
WOOD SIDING INSTALLATION SHALL COMPLY WITH CRC R703.5	8 EXTERIOR CEDAR WOOD TRELLIS, TAILS AND CORBELS, GATES, STAINED CABOT GROUND BEAN #AA-465-5
EXTERIOR PLASTER INSTALLATION SHALL COMPLY WITH CRC R703.7 AND WEEP SCREEDS SHALL BE INSTALLED IN ACCORDANCE WITH R703.7.2.1	9 NATURAL UNSEALED COPPER GUTTERS, DOWNSPOUTS, CHIMNEY SHROUDS, EXTERIOR LIGHT HOUSINGS AND FLASHING
ANCHORED STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH CRC R703.8 AND R703.12	10 WOOD CLAD SECTIONAL ALUMINUM GARAGE DOOR WITH T.G. GLASS PANELS.
	11 STAINLESS STEEL RAILING BY CR LAWRENCE, OR EQUAL WITH 3/8" CABLES
	12 PLASTER EXPANSION JOINT



SOUTH ELEVATION - POOL HOUSE
SCALE: 1/4" = 1'-0"

PROJECT/CLIENT
LO / APPELIN RESIDENCE

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SHEET TITLE
EXTERIOR ELEVATIONS

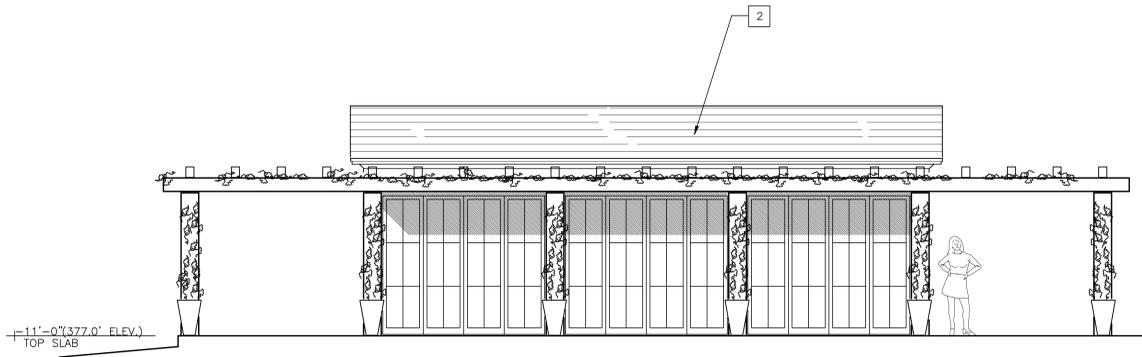
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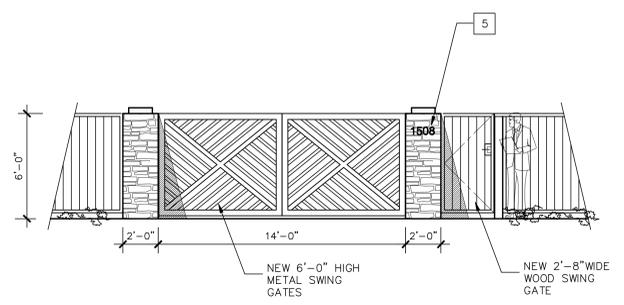
TOP SLAB PROJECT NUMBER

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POOLHOUSE
SCALE: 1/4" = 1'-0"



FRONT ENTRY GATE
SCALE: 1/4" = 1'-0"

ELEVATION MATERIALS LEGEND

- 1 STANDING SEAM METAL ROOFING BY MBCI, MODEL CRAFTSMAN SB-12, SMOOTH FINISH, COLOR: BURNISHED SLATE
- 2 TESLA SOLAR SHINGLES, COLOR: DARK CHARCOAL, CLASS 'A' RATED.
- 3 COAT EXTERIOR PLASTER WITH SMOOTH FINISH. COLOR: SEE ELEVATIONS
- 4 JAMES HARDIE CEMENTITIOUS SIDING, STYLE: ARTISAN SHIP LAP, 9" EXPOSURE, COLOR: SEE ELEVATIONS
- 5 EXTERIOR VERTICAL STONE-"GOLD STONE" 2" THIN VENEER FLATS, GROUT JOINTS AT 1" TO 2" WITH OVER-SPREAD MORTAR, COLOR OF GROUT IS "WHITE CEMENT" WITH HALF CUP DAVIS COLOR #5447 (1/2 BROWN) PER 94 LB. BAG AND MIRACLE LIME
- 6 ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY ARCADIA, COLOR: DARK BRONZE ANODIZED
- 7 FASCIA BOARD PRE-PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLIEHER, OR EQ, COLOR: WHITE
- 8 EXTERIOR CEDAR WOOD TRELLIS, TAILS AND CORBELS, GATES. STAINED CABOT GROUND BEAN KMA 465-5
- 9 NATURAL UNSEALED COPPER GUTTERS, DOWNSPOUTS, CHIMNEY SHROUDS, EXTERIOR LIGHT HOUSINGS AND FLASHING
- 10 WOOD GLAZ SECTIONAL ALUMINUM GARAGE DOOR WITH T.G. GLASS PANELS.
- 11 STAINLESS STEEL RAILING BY DR LAWRENCE, OR EQUAL, WITH S.S. CABLES
- 12 PLASTER EXPANSION JOINT

ELEVATION NOTES

THIS PROJECT IS LOCATED WITHIN WILDLAND URBAN INTERFACE, REFER TO WALL SECTION DETAIL 1 / A0.1 FIRE NOTES SHEET FOR COMPLIANCE REQUIREMENTS.

ROOF COVERINGS AND FLASHINGS AND WALL COVERINGS SHALL COMPLY WITH ALL REQUIRED W.U.I. SPECIFICATIONS

ROOF GUTTERS, IF ANY, SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS

ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC.) SHALL BE PROTECTED BY LOUVERS AND 1/8" NON-COMBUSTIBLE, CORROSION-RESISTANT MESH UNLESS VENTS ARE APPROVED FOR RESISTING FLAME AND EMBER INTRUSION.

PAINTS, COATINGS, STAINS OR OTHER SURFACE TREATMENTS ARE NOT ACCEPTABLE MEANS OF COMPLIANCE WITH ANY WILDFIRE-RESISTIVE CONSTRUCTION REQUIREMENT, UNLESS APPROVED FOR SUCH USE.

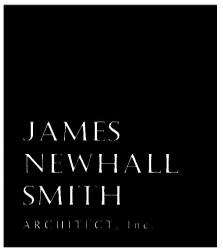
WALL SIDING SHALL COMPLY WITH CRC R703, AND ATTACHMENT REQUIREMENTS PER TABLE R703.3(1)

FLASHING INSTALLATIONS AND LOCATIONS FOR WALLS AND ROOFS SHALL COMPLY WITH CRC R703.4

WOOD SIDING INSTALLATION SHALL COMPLY WITH CRC R703.5

EXTERIOR PLASTER INSTALLATION SHALL COMPLY WITH CRC R703.7 AND WEEP SCREEDS SHALL BE INSTALLED IN ACCORDANCE WITH R703.7.2.1

ANCHORED STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH CRC R703.8 AND R703.12



**716 LIGHTHOUSE AVE.
SUITE C
PACIFIC GROVE, CA.
93950**

**TEL: 831.372-7251
FAX: 831.372-7252
CEL: 831.915-9518**

STAMP



PROJECT/CLIENT

**LO / APPELIN
RESIDENCE**

**LO/APPELIN
1508 VISCAINO RD.
PEBBLE BEACH, CA.**

SHEET TITLE

**EXTERIOR
ELEVATIONS**

- ISSUE △ REVISIONS
- ① 11-12-20 PRELIM. REVIEW
- ② 01-22-21 UPDATE SET
- ③ 11-19-21 PEBBLE BEACH SUBMITTAL SET
- ④ 01-31-22 REVISIONS FOR ARB
- ① 02-14-22 INTIAL PLANNING SUBMITAL
-
- △
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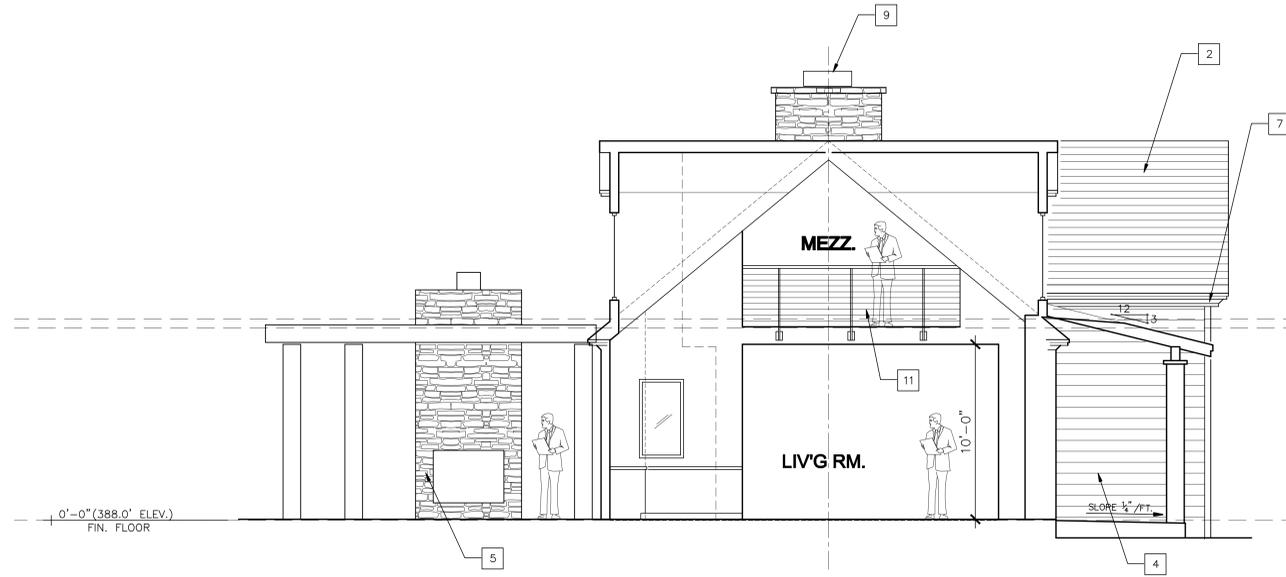
DATE

PROJECT NUMBER

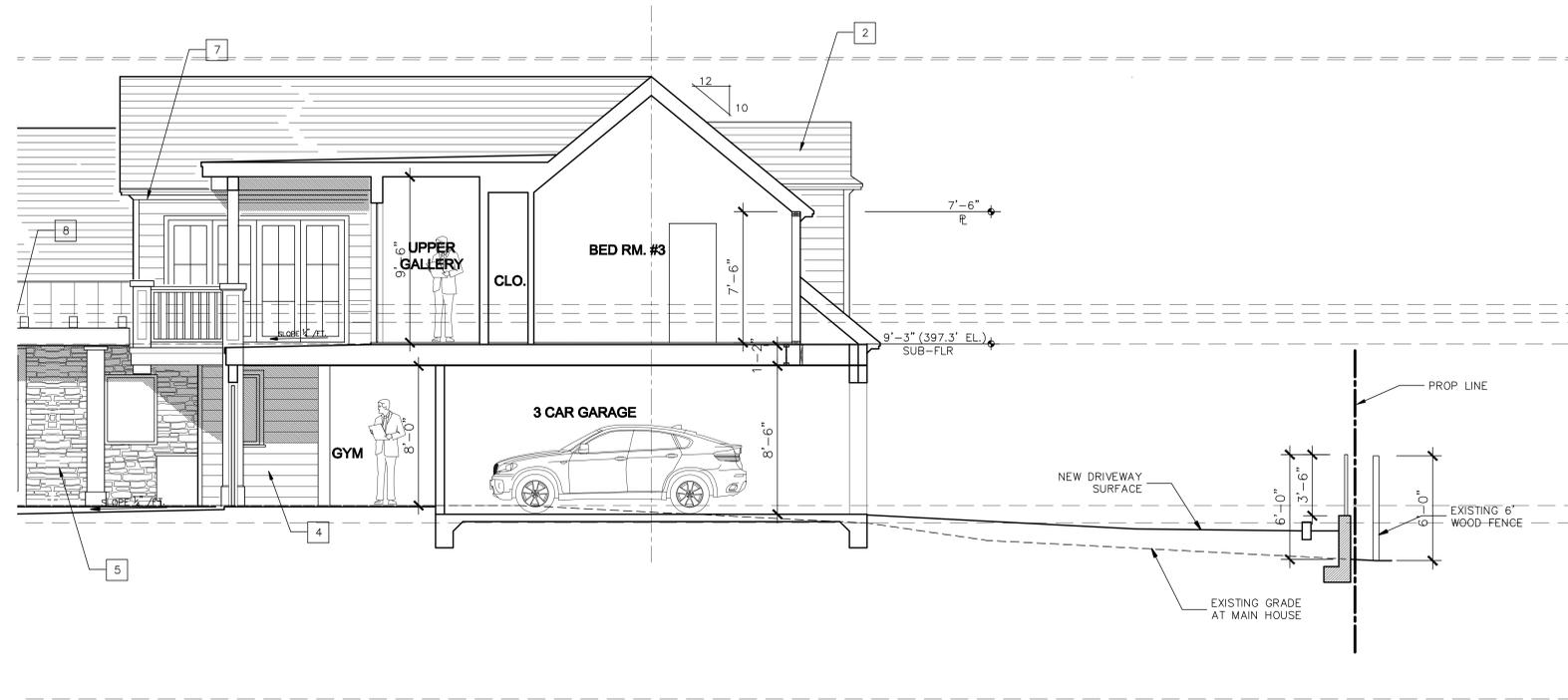
SHEET NUMBER

A6.3

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH. THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



SECTION 'A'
SCALE: 1/4" = 1'-0"



SECTION 'B' AT GARAGE
SCALE: 1/4" = 1'-0"

ELEVATION MATERIALS LEGEND

- 1 STANDING SEAM METAL ROOFING BY MBO, MODEL CRAFTSMAN SB-12, SMOOTH FINISH, COLOR: BURNISHED SLATE
- 2 TESLA SOLAR SHINGLES, COLOR: DARK CHARCOAL, CLASS 'A' RATED.
- 3 COAT EXTERIOR PLASTER WITH SMOOTH FINISH. COLOR: SEE ELEVATIONS
- 4 JAMES HARDIE CEMENTITIOUS SIDING, STYLE: ARTISAN SHIP LAP, 9" EXPOSURE. COLOR: SEE ELEVATIONS
- 5 EXTERIOR VERTICAL STONE-"GOLD STONE" 2" THIN VENEER PLATS, GROUT JOINTS AT 1" TO 2" WITH OVER-SPREAD MORTAR. COLOR OF GROUT IS "WHITE CEMENT" WITH HALF CUP DAVIS COLOR #5447 (1:1 BROWN) PER 94 LB. BAG AND MIRACLE LIME
- 6 ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY ARCADIA. COLOR: DARK BRONZE ANODIZED
- 7 FASCIA BOARD PRE-PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLERER, OR EQ. COLOR: WHITE
- 8 EXTERIOR CEDAR WOOD TRELLIS, TAILS AND CORBELS, GATES. STAINED CABOT GROUND BEAN KMA 465-5
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ELEVATION NOTES

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SECTION NOTES

1. CONDITIONED BUILDING ENVELOPE IS CREATED AT UNDERSIDE OF ROOF PLY SHEATHING BY CLOSED CELL FOAM. ATTIC VENTS ARE THEREFORE NOT REQUIRED. CLOSED CELL FOAM OF 3" MINIMUM BUILD-UP FOR R-14 VALUE WITH R-19 FIBERGLASS BATT INSUL APPLIED TO UNDERSIDE OF FOAM FOR MIN. R-30 VALUE
2. EXTERIOR WALLS WITH R-21 VALUE BY FIBERGLASS BATTS OR SPIDER (SPRAY APPLIED FIBERGLASS INSULATION) MUST FILL ALL NON-VENTED FRAMING CAVITIES
3. INTERIOR WALLS TO HAVE UNFACED SOUND BATT INSULATION
4. SEE SHEET A0.1 FIRE PROTECTION NOTES FOR FIREBLOCKING AT FRAMING CAVITIES
5. SEE STRUCTURAL DWGS FOR SIZES, LOCATIONS AND CONNECTIONS OF STRUCTURAL MEMBERS. STRUCTURAL DWGS SHALL PREVAIL
6. WOOD BOARD SIDING APPLIED HORIZONTALLY, DIAGONALLY, OR VERTICALLY SHALL BE FASTENED TO STUDS, NAILING STRIPS OR BLOCKING SET AT MAX. 24" ON CENTER. (SEC 302.4 EXCEPTION 3). A. FASTENERS SHALL BE NAILS OR SCREWS WITH A PENETRATION OF NOT LESS THAN 1 1/2" INTO STUDS, STUDS AND SHEATHING COMBINED, OR BLOCKING. DISTANCE BETWEEN SUCH FASTENERS SHALL NOT EXCEED 24" FOR HORIZONTALLY OR VERTICALLY APPLIED SIDINGS AND 32" FOR DIAGONALLY APPLIED SIDINGS. (SEC 2310.2). PROVIDE WEATHER-RESISTIVE BARRIER ON EXTERIOR WALL TO PROTECT THE INTERIOR WALL COVERING (WATERPROOF BUILDING PAPER OR ASPHALT SATURATED RAG FELT).



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1508 VISCAINO RD.
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SHEET TITLE

SECTIONS

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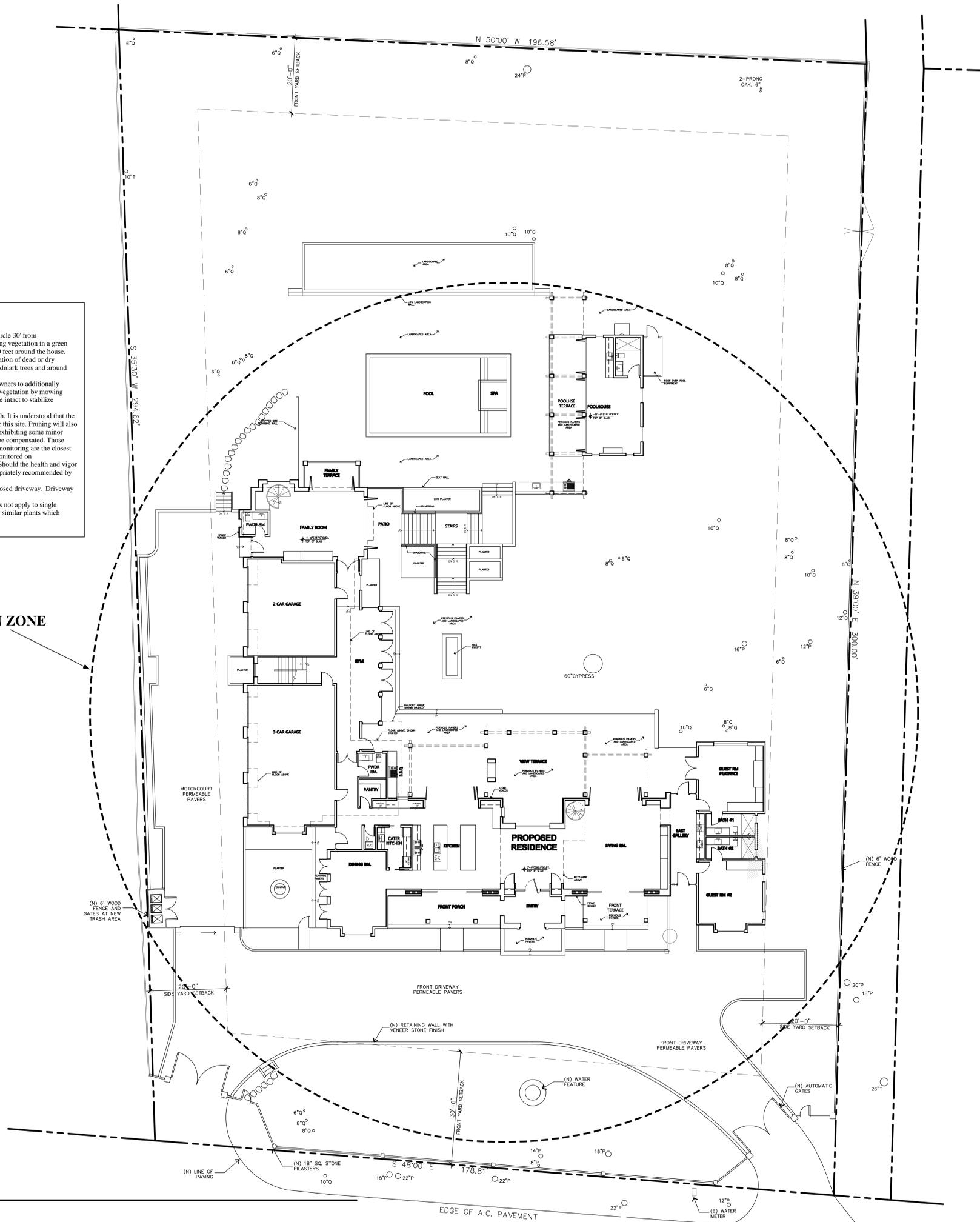
SHEET NUMBER

A7.0

Fuel Management Plan

1. Natural vegetation to be retained.
2. "Green Zone" (0-30'): shown by dashed circle 30' from residence. Establish a "green zone" by keeping vegetation in a green growing condition to a distance of at least 30 feet around the house. Break up and clear away any dense accumulation of dead or dry underbrush or plant litter, especially near landmark trees and around the green zone.
3. "Management Zone" (30-100') Property owners to additionally maintain a fire break by clearing flammable vegetation by mowing or trimming that leave the plant root structure intact to stabilize the soil. Area between 30' and property line.
4. Trees to be pruned to maintain good health. It is understood that the pruning of retained trees will be expected for this site. Pruning will also include the trees that have deadwood or are exhibiting some minor structural defect or minor disease that must be compensated. Those trees that may require pruning and possible monitoring are the closest to the proposed structure. Trees should be monitored on occasion for health and vigor after pruning. Should the health and vigor of any tree decline it will be treated as appropriately recommended by a certified arborist or qualified forester.
5. Emergency access is provided by the proposed driveway. Driveway to be maintained by owner.
6. The removal of flammable vegetation does not apply to single specimens of trees, ornamental shrubbery, or similar plants which are used as ground cover.

GREEN ZONE



Project: Jennifer Lo & Eric Appelin Residence
 1508 Viscaio Road
 Pebble Beach, CA
 APN: 008-222-014
 Contact: James N. Smith, architect
 831-372-7251

Fuel Management Plan

Scale: 1" = 11'0" Date: 3/2/2022

Floraista
 Dinah Irimo
 Landscape Designer
 962 Phoenix Avenue
 Ventura, CA 93004
 831.261.4840
 flora.vista@sbcglobal.net

JAMES N. SMITH ARCHITECT, Inc.
RESIDENTIAL AND COMMERCIAL ARCHITECTURE

02-01-22

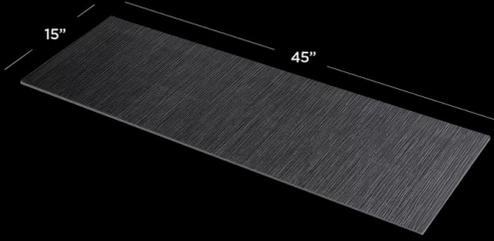
Appelin-Lo Colors
1508 Viscaino Rd
Pebble beach, CA.

Exterior Stone:
Mix of Osage Yellow and Willow Creek



JAMES N. SMITH ARCHITECT, Inc.
RESIDENTIAL AND COMMERCIAL ARCHITECTURE

Exterior Roofing:
Tesla Solar roof Tiles



Solar Roof Specs

Tile and Power Warranty 25 years	Fire Rating Class A (highest rating)
Solar Glass Tiles 72 W	Hail Rating Class 3
Steel Tiles Corrosion and weather resistant	Roof Pitch ≥ 2:12
Wind Rating Class F (highest rating)	



JAMES N. SMITH ARCHITECT, Inc.
RESIDENTIAL AND COMMERCIAL ARCHITECTURE

Exterior Colors:

Siding and Trim:

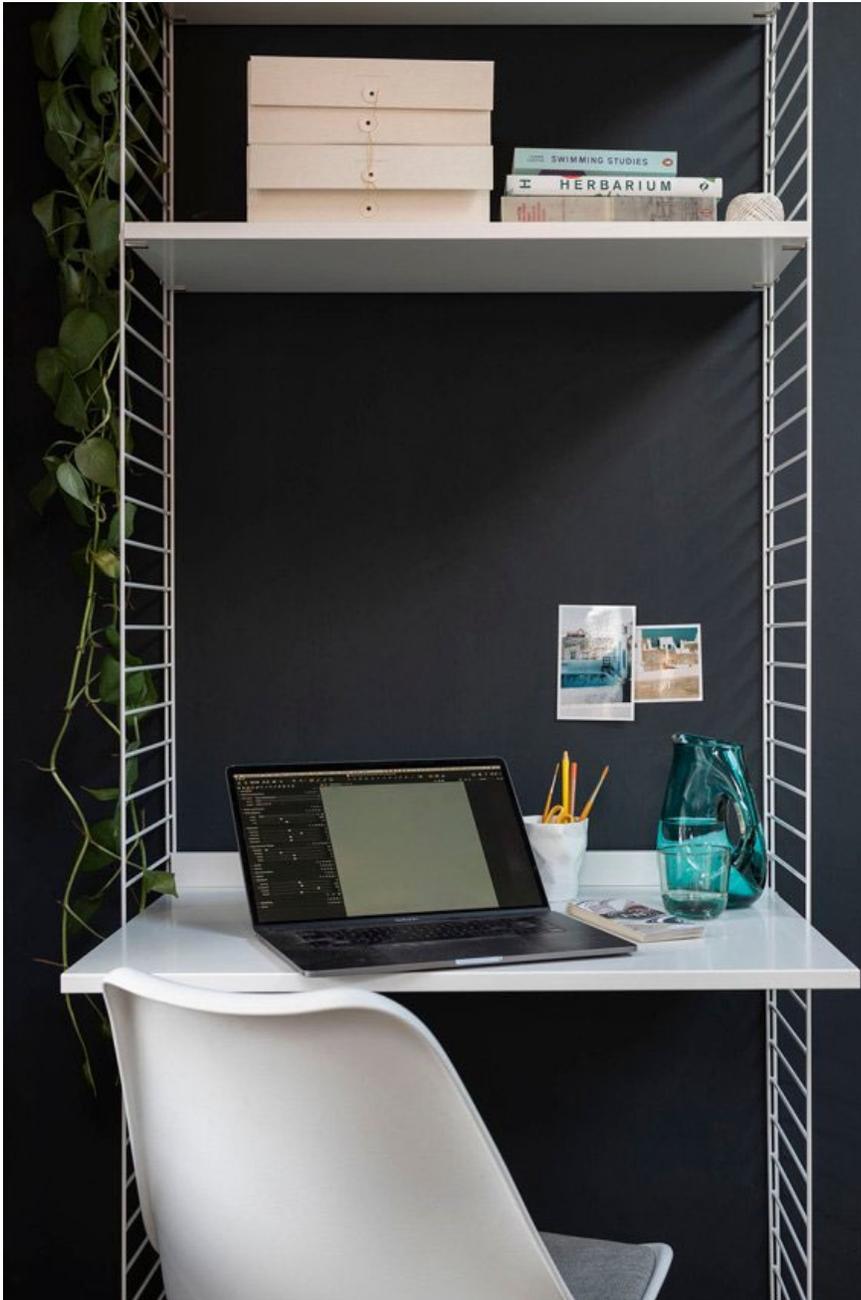
Farrow & Ball "All White" #2005 (color of cabinet)



JAMES N. SMITH ARCHITECT, Inc.
RESIDENTIAL AND COMMERCIAL ARCHITECTURE

Roof, Gutters, Leader Heads, Railings, Shutters, accents, window panes and sash:

Farrow & Ball "Railings" #31 (Blue-ish Grey)



JAMES N. SMITH ARCHITECT, Inc.
RESIDENTIAL AND COMMERCIAL ARCHITECTURE

Pavers:

Calstone, permeable quarry stone, color: sierra granite



Landscape screenings at front of property will consist of the existing pines and:

Callistemon - Bottlebrush
Choisya ternata - Mexican Orange
Dodonaea - Purple Hopseed Bush
Myrica californica - Pacific Wax Myrtle
Nerium - Oleander

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