

Exhibit A

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DRAFT RESOLUTION

Before the Housing and Community Development Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of:

BARNES (PLN200224)

RESOLUTION NO. ----

Resolution by the Monterey County HCD Chief of Planning:

- 1) Finding that the project is for construction of a single family dwelling which qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving an Administrative Permit and Design Approval to allow construction of a 2,745 square foot single family dwelling with a 736 square foot attached garage and a 1,200 square foot detached workshop.

[PLN200224 Barnes, 11760 Camino Escondido, Carmel Valley, Greater Monterey Peninsula Area Plan (APN: 416-082-043-000)]

The Barnes application (PLN200224) came on for an administrative decision before the Monterey County HCD Chief of Planning on October 5, 2022. Having considered all the written and documentary evidence, the administrative record, the staff report, written testimony, and other evidence presented, including the attached conditions of approval and project plans, the Monterey County HCD Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE:
 - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Greater Monterey Peninsula Area Plan; and
 - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) The project involves construction of a 2,745 square foot single family dwelling with a 736 square foot attached garage and a 1,200 square foot detached workshop.

Allowed Use. The property is located at 11760 Camino Escondido, Carmel Valley, Greater Monterey Peninsula Area Plan (APN: 416-082-043-0000). The parcel is zoned Resource Conservation, with Visual Sensitivity overlay [RC/10-VS(20')]. The Resource Conservation zoning allows residential development as an allowed use and the Visual Sensitivity overlay district requires granting of an Administrative Permit and Design Approval for this parcel if it is found the development would not have a significant visual impact. Therefore, the proposed development is an allowed use for this site.

- c) Lot Legality. The subject 10-acre property (Assessor's Parcel Number 416-082-043-000) is identified as Parcel B, filed on April 21, 2004 in Volume 21 of Parcel Maps, at Page 108. Therefore, the County recognizes the subject property as a legal lot of record.
- d) Design/Neighborhood and Community Character. The site is subject to the Design Review requirements pursuant to Chapter 21.44 of the Inland Zoning Ordinance (Title 21). Chapter 21.44 requires review of siting, size, configuration, colors, and materials to ensure that the development will blend with the site and the surrounding neighborhood. The proposed exterior materials and colors include charcoal black composition shingles roof, off white stucco walls and wood features. The architectural style includes a mixture of Ranch and Craftsman influence. The proposed exterior finishes blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and are consistent with other dwellings in the neighborhood.
- e) Visual Resources. The site lies within a Visual Sensitivity zoning overlay district and is subject to the requirements of Chapter 21.46 of the Inland Zoning Ordinance (Title 21). Chapter 21.46 requires review of development in those areas of the County of Monterey in which such development could potentially adverse visual impacts when viewed from a common public viewing area. The site is approximately 2.4 miles south of Highway 68 and 0.5 miles west of Laureles Grade. It is not visible from Highway 68. Although the proposed development is visible from a public road (Laureles Grade), as proposed, the project will not result in significantly adverse visual impacts due to location and existing topography. When traveling west from Laureles Grade, at speed limit, it is difficult to spot the proposed site. This can only be achieved when speed is reduced in order to identify the staking and flagging with normal unaided vision for a duration of approximately 3-4 seconds. Therefore, the proposed structures would not have an adverse visual impacts and an Administrative Permit is appropriate pursuant to Title 21 Section 21.46.030.D.2.
- f) Development Standards. The development standards for the Resource Conservation (RC) zoning district are identified in Title 21 Section 21.36.060. Required setbacks in the RC district for main dwelling units are 30 feet (front), 20 feet (rear), and 20 feet (sides). The parcel is 10 acres, the proposed structures fully conform to all setback requirements. Maximum allowed structure height is 20 feet. The proposed height for the single-family dwelling is 18 feet 2 inches and detached workshop is 20 feet high from average natural grade. The allowed site coverage

maximum in the RC district is 25%. The property is approximately 10 acres (435,600 sq. ft), which would allow a maximum site coverage of approximately 108,900 square feet. The proposed single-family dwelling (2,745 square feet), attached garage (736 square feet), and detached workshop (1,200 square feet) would result in total site coverage of 4,681 square feet or approximately 1.07%. The VS regulations 21.46.060.C.4 also require that utilities be placed underground (Condition No. 10). Therefore, as proposed, the project meets all required development standards. Therefore, as proposed, the project meets all required development standards.

- g) The project planner conducted a site inspection on August 26, 2022 to verify that the project on the subject parcel conforms to the plans listed above.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN200224.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

- b) Staff identified potential impacts to geology. The following reports have been prepared:
 - “Geotechnical and Percolation Investigation” (LIB210002) prepared by Soil Surveys Group, Inc., Salinas, CA, November 6, 2020.

County staff independently reviewed the report and concurs with the conclusion. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on August 26, 2022 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN200224.

3. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are available for this project site. Engineered Onsite Wastewater Treatment System had been designed from Rhombus Engineering and site inspection has been performed on July 15, 2022 by Environmental Health Bureau. A Can-and-Will Serve letter dated March 8, 2022 demonstrates that the property is connected and will be supplied by California American Water (Cal-Am) for potable water.
 - c) Staff conducted a site inspection on August 26, 2022 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN200224.

4. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on August 26, 2022 and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN200224.

5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a) categorically exempts the construction of new single-family dwelling on residentially zones areas.
 - b) The subject project consists of the construction of a single-family dwelling with an attached garage and detached workshop. Therefore, the proposed development is consistent with the exemption parameters of CEQA Guidelines Section 15303(a).
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual

circumstance because there is no feature or condition of the project that distinguishes the project from the exempt class. The project does not involve a designated historical resource, a hazardous waste site, or development located near or within view of a scenic highway (see Finding 1, Evidence “f”). There is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.

- d) No adverse environmental effects were identified during staff review of the development application during a site visit on March 25, 2022.
- e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN200224.

6. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.
EVIDENCE: Section 21.80.040.A of the Monterey County Zoning Ordinance (Planning Commission).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find the project is for construction of a single family dwelling which qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approve an Administrative Permit and Design Approval to allow construction of a 2,745 square foot single family dwelling with a 736 square foot attached garage and a 1,200 square foot detached workshop.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 5th day of October, 2022.

Craig Spencer
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT _____

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN200224

1. PD001 - SPECIFIC USES ONLY

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: This Administrative Permit & Design Approval (PLN200224) allows construction of a 2,745 square foot single family dwelling with a 736 square foot attached garage and a 1,200 square foot detached workshop. The property is located at 11760 Camino Escondido, Carmel Valley (Assessor's Parcel Number 416-082-043-000), Greater Monterey Peninsula Area Plan.. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An Administrative Permit and Design Approval Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 416-082-043-000, on October 5, 2022. The permit was granted subject to 10 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

4. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

6. PD041 - HEIGHT VERIFICATION

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD- Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD- Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

7. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: HCD-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

8. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: HCD-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

9. EHSP01 – SECURE INACTIVE WELL (NON-STANDARD)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The inactive well on the subject property shall be maintained for future use by completing the following actions in accordance with California Well Standards Bulletin 74-90, California Department of Water Resources:

- The top of the well or well casing shall be provided with a cover that is secured by a lock or by other means to prevent its removal without the use of equipment or tools, to prevent unauthorized access, to prevent a safety hazard to humans and animals, and to prevent illegal disposal of wastes in the well. The cover shall be watertight where the top of the well casing or other surface openings to the well are below ground level, such as in a vault or below known levels of flooding. The cover shall be watertight if the well is inactive for more than five consecutive years. A pump motor, angle drive, or other surface feature of the well, when in compliance with the above provisions, shall suffice as a cover.
- The well shall be marked so as to be easily visible and located, and labeled so as to be easily identified as well.
- The area surrounding the well shall be kept clear of brush, debris and waste materials.

Alternately, the applicant may activate the well and put it into use for irrigation purposes or have the well destroyed under permit from the Environmental Health Bureau (EHB).

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permit, the applicant shall provide documentation to the satisfaction of the EHB to demonstrate that:

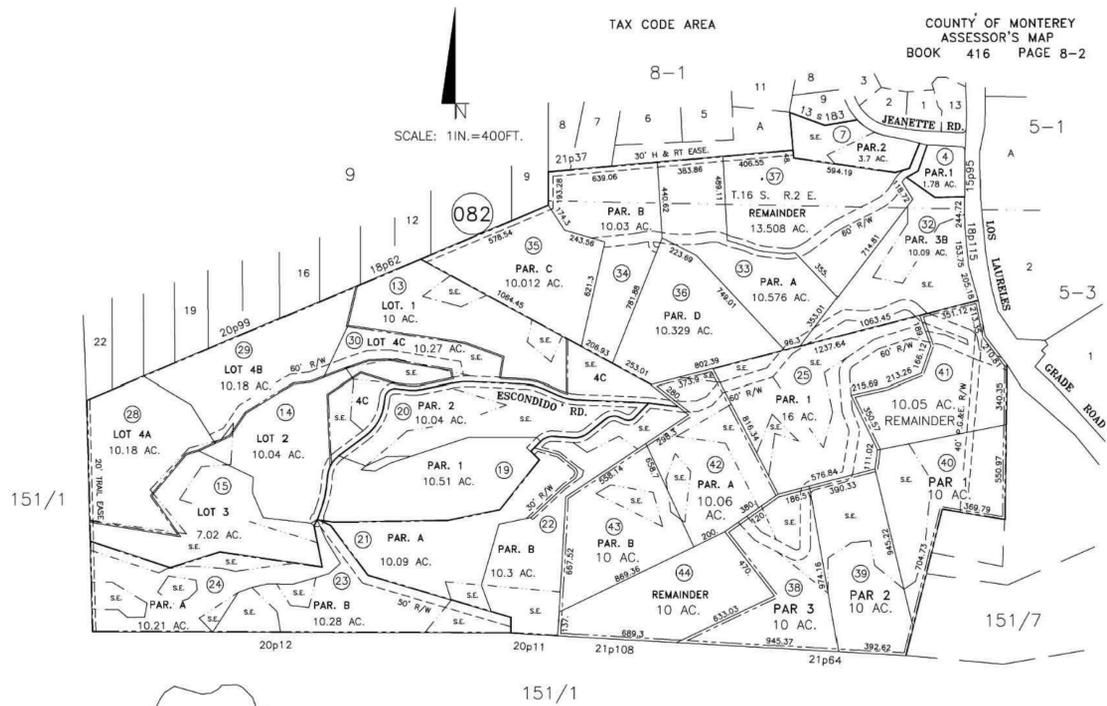
1. the inactive well has been maintained for future use in accordance with California Well Standards Bulletin 74-90, California Department of Water Resources; or
2. that the well has been made active and is in use; or
3. that the well has been destroyed under permit from the EHB.

10. PD035 - UTILITIES UNDERGROUND

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: All new utility and distribution lines shall be placed underground. (HCD - Planning and HCD- Public Works)

Compliance or Monitoring Action to be Performed: On an on-going basis, the Owner/Applicant shall install and maintain utility and distribution lines underground.



POR. T.16 S. R.2 E.
CORRAL DE TIERRA RANCHO

THIS MAP IS INTENDED TO BE USED FOR PROPERTY TAX ASSESSMENT PURPOSES ONLY

PROJECT DATA

PROJECT ADDRESS	11760 CAMINO ESCONDIDO RD CARMEL VALLEY, CA 93924		
A.P.N.	416-082-043		
LEGAL DESCRIPTION	RC/10-VS (20') V-B R-3 SINGLE FAMILY RESIDENCE SINGLE STORY RESIDENCE & DETACHED SHOP		
ADDITIONAL REQUIREMENTS	WILD LAND URBAN INTERFACE YES, HIGH FIRE HAZARD ZONE FIRE SPRINKLERS YES SOLAR PANELS YES TRUSS CALCULATIONS YES GAS LINE SCHEMATIC & PLAN DEFERRED SUBMITTAL SPECIAL INSPECTIONS TBD		
PROJECT VALUATION	\$691,945		
SITE COVERAGE	LOT AREA	10.0 ACRES	435,600 SF
	ALLOWABLE LOT COVERAGE - 25%	2.5 ACRES	109,900 SF
	BUILDING COVERAGE	5,553 SF	
	IMPERVIOUS SURFACES CONC. DRIVE	6,600 SF	
	PERMEABLE SURFACES GRAVEL DRIVE	8,850 SF	
	TOTAL LOT COVERAGE	21,000 SF	-4%
BUILDING COVERAGE	PROPOSED SINGLE STORY RESIDENCE	2,745 SF	
	ATTACHED GARAGE	736 SF	
	COVERED PORCH	192 SF	
	COVERED BACK PATIO	680 SF	
	DETACHED SHOP	1,200 SF	
	PROPOSED BUILDING COVERAGE	5,553 SF	
BUILDING HEIGHT	MAX. ALLOWABLE	20' FROM EXISTING AVERAGE GRADE	
	PROPOSED HEIGHT - RESIDENCE	18'-2-1/2"	
	PROPOSED SHOP	20'	
OFF STREET PARKING (2) MIN.	(3) CAR GARAGE	1200 SF SHOP	
UTILITIES	GAS	ON SITE PROPANE TANK	
	ELECTRICAL	PG&E	
	SEWER	ON SITE SEPTIC TANK	
	WATER DOMESTIC	CAL-AM	
	WATER LANDSCAPING	[E] SITE WELL	

PROJECT DIRECTORY

PROPERTY OWNER	CHERI & DAVID BARNES 606 HARTLEY DRIVE MODESTO, CA 95360 209-765-1448
DESIGNER	JASON MEHRINGER MEHRINGER CONSTRUCTION 481 WATSON ST. #6 CELL: 831-760-0275
BUILDING CONTRACTOR	OWNER BUILDER

MEHRINGER CONSTRUCTION & DESIGN

ADDRESS 481 WATSON ST #6
MONTEREY CA 93940
LICENSE 893553
PHONE 831-760-0275
EMAIL MehringerDesign@gmail.com

BARNES RESIDENCE & SHOP

ADDRESS 11760 CAMINO ESCONDIDO
CARMEL VALLEY CA 93924
APN 416-082-043
OWNER CHERI & DAVID BARNES
PHONE 209-765-1448
EMAIL Barnes6@sbcglobal.net

GENERAL NOTES

- CONTRACTOR LICENSE: THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- CONSTRUCTION MEANS: THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE ON ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS. ANY DEFECT DISCOVERED IN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- DIMENSIONS: ALL DIMENSIONS ON THE CONSTRUCTION DRAWINGS ARE TO FACE OF STUD (F.O.S.), OR FACE OF CONCRETE (F.O.C.) UNLESS OTHERWISE NOTED. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE DESIGNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.
- SCOPE: THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL: IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE OWNER AND THE DESIGNER SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.
- WARRANTY: THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS: UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL / NOTICES / CODE COMPLIANCE: THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE DESIGNER IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (C.B.C 2019)
- JOB SITE SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK. A PRE-CONSTRUCTION MEETING IS REQUIRED TO BE HELD.
- JOB SITE PROTECTION: THE CONTRACTOR SHALL PROTECT THE OWNER'S AREA, NEW AND/OR EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC. AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE PERIOD OF CONSTRUCTION. DAMAGES TO THE NEW AND EXISTING MATERIALS, FINISHES STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH OWNER PRIOR TO COMMENCEMENT OF WORK AS NECESSARY.
- INSURANCE: LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THE INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRE CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- INDEMNIFICATION: THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND DESIGNER FROM AND AGAINST ALL CLAIMS/DAMAGES / LOSSES / AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANING UP: THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- EXISTING CONDITIONS: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES.
- CONSTRUCTION NOTES: ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- BUILDING CODES: PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, FIRE AND ENERGY CODES.

CAL GREEN NOTES

- WATER CONSERVING PLUMBING FIXTURES AND FITTINGS PER CGBC 4.303.
 - FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH
 - SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI
 - MULTIPLE SHOWERHEADS SERVING ONE SHOWER SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI
 - RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI
- HEATING AND AIR-CONDITIONING SYSTEM DESIGN- HVAC SYSTEMS SHALL BE SIZED, DESIGNED AND THEIR EQUIPMENT SIZED PER CGBC 4.507.2. HVAC SYSTEM INSTALLER MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
- BATHROOM EXHAUST FANS- EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN AND THE FAN MUST BE CONTROLLED BY A HUMIDISTAT CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF <50% TO A MAXIMUM OF 80%. CGBC 4.506.1
- RODENT PROOFING- PROTECT ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS AT EXTERIOR WALLS AGAINST PASSAGE OF RODENTS. CGBC 4.406.1
- COVERING OF MECHANICAL EQUIPMENT & DUCTS- COVER DUCT OPENINGS AND OTHER AIR RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING STORAGE, CONSTRUCTION AND UNTIL FINAL START UP WITH TAPE, PLASTIC, OR OTHER ACCEPTABLE METHOD. CGBC 4.504.1
- ADHESIVES, SEALANTS AND CAULKS- ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. CGBC 4.504.2.
- AEROSOL PAINTS AND COATINGS- AEROSOL PAINTS AND COATINGS USED ON THE PROJECT SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. DOCUMENTATION SHALL BE PROVIDED TO VERIFY COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. CGBC 4.504.2.3. VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
- CARPET SYSTEMS- ALL CARPET AND CARPET SYSTEMS INSTALLED SHALL BE COMPLIANT WITH VOC LIMITS. CGBC 4.504.3
- RESILIENT FLOOR SYSTEMS- 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORINGS SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM. CGBC 4.504.4
- PLYWOOD- PARTICLE BOARD, MEDIUM DENSITY FIBER BOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. CGBC 4.504.5
- FOUNDATION- CAPILLARY BREAK- A 4" THICK OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE INSTALLED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE. CGBC 4.505.2.1
- MOISTURE CONTENT OF BUILDING MATERIALS- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. CGBC 4.505.3

WASTE MANAGEMENT

- A MINIMUM OF 65% OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
- CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE BULK MIXED (SINGLE STREAM).
- CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN TO THE MARINA REGIONAL WASTE MANAGEMENT FACILITY.
- WHERE POSSIBLE CONSTRUCTION AND DEMOLITION WASTE GENERATED WILL BE RECYCLE OR REUSED.
- CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT.

SYMBOLS

	ROOM TAG		DETAIL IDENTIFIER SHEET LOCATION
	WINDOW SYMBOL		SECTION IDENTIFIER SHEET LOCATION
	DOOR SYMBOL		REVISION TAG
	KEY TAG		REVISION CLOUDING
	ROOF SLOPE PLAN		
	ROOF SLOPE ELEVATION		
	WORK POINT, DATUM POINT		

SCOPE OF WORK

- NEW 2,745 SF SINGLE STORY RESIDENCE w/ ATTACHED 736 SF (3) CAR GARAGE
 - 2 BEDROOMS
 - 2 BATHROOMS
 - CRAFT ROOM
 - OFFICE
- NEW DETACHED PRE-FABRICATED 1,200 SF SHOP
 - GRADING FOR HOUSE AND SHOP PADS AND FOOTINGS
 - APPROXIMATELY 175 CUBIC YARDS OF CUT
 - APPROXIMATELY 25 YARDS OF FILL
 - NEW 1,000 GALLON SEPTIC SYSTEM

APPLICABLE CODES

ALL CODES REFERENCED ARE TO BE USED AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION.

PROJECT SHALL COMPLY WITH:

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA GREEN BUILDING CODE
- 2019 ACCESS COMPLIANCE

SHEET INDEX

G0.0	TITLE SHEET
G0.1	BEST MANAGEMENT PRACTICES
G0.1	CONSTRUCTION MANAGEMENT
C1.0	SITE PLAN
C1.1	GRADING & DRAINAGE PLAN
A1.0	ROOF PLAN
A1.1	FLOOR PLAN
A1.2	SHOP PLAN & ELEVATIONS
A2.0	FRONT & REAR ELEVATIONS
A2.1	SIDE ELEVATIONS

ABBREVIATIONS

&	AND	CNT.	CENTER	HGR	HANGER	SPEC.	SPECIFICATIONS
∠	ANGLE	CTS.	COUNTERSINK	HDWD	HARDWOOD	STD.	STANDARD
@	AT	DBL.	DOUBLE	INT.	INTERIOR	T&B	TOP AND BOTTOM
○	CENTER LINE	D.F.	DOUGLAS FIR	INSUL	INSULATION	T&G	TONGUE AND GROOVE
∅	DIAMETER	DKG	DECKING	JSTS	JOISTS	T.N.	TOE NAIL
⊘	PROPERTY LINE	DIA.	DIAMETER	K	KIPS (1,000 LBS)	T.O.P.	TOP OF PLATE
#	POUND OR NUMBER	[E]	EXISTING	MAX.	MAXIMUM	T.O.W.	TOP OF WALL
		EA.	EACH	M.B.	MACHINE BOLT	T.S.	TUBE STEEL
A.B.	ANCHOR BOLT	EL.	ELEVATION	MIN.	MINIMUM	TYP.	TYPICAL
ABV.	ABOVE	E.N.	EDGE NAILING	[N]	NEW	T.N.	TOE NAIL
ALT.	ALTERNATE	ETC.	ETCETERA	[N].S.	NOT TO SCALE	U.O.N.	UNLESS OTHERWISE NOTED
ALUM.	ALUMINUM	EQ.	EQUAL	O.C.	ON CENTER	VERT.	VERTICAL
APPROX.	APPROXIMATE	EXT.	EXTERIOR	OPNG	OPENING	W/	WITH
ARCH.	ARCHITECT	F.E.	FIRE EXTINGUISHER	PL	PLATE	W/O	WITHOUT
ASPH.	ASPHALT	F.G.	FINISH GRADE	PLYWD	PLYWOOD	W.I.	WROUGHT IRON
AUTO.	AUTOMATIC	FLR	FLOOR	P.T.D.F.	PRESSURE TREATED DOUG.		
BD.	BOARD	FNDN	FOUNDATION				
BLKG.	BLOCKING	F.N.	FACE NAIL	RDWD	REDWOOD		
BLDG	BUILDING	F.O.	FACE OF	RFR	RAFTER		
BM	BEAM	FRMG	FRAMING	REINF.	REINFORCED		
BOT.	BOTTOM	FT.	FEET	REQ'D	REQUIRED		
BTWN.	BETWEEN	FTG	FOOTING	RET.	RETAINING		
C.J.	CONSTRUCTION JOINT	GA.	GAUGE	REV.	REVISION		
CLR.	CLEAR	GALV.	GALVANIZED	SF	SQUARE FOOT		
COL.	COLUMN	GRD	GRADE	SHTG	SHEATHING		
CONC.	CONCRETE	GYP. BD.	GYPSSUM BOARD	SIM.	SIMILAR		
CONT.	CONTINUOUS	HDR	HEADER	S.O.G.	SLAB ON GRADE		

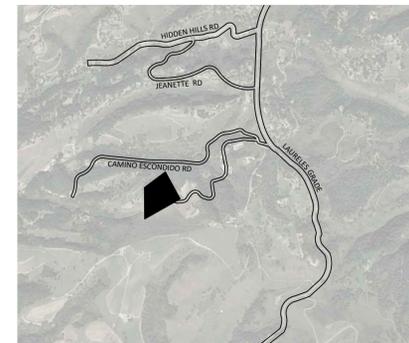
BARNES RESIDENCE & SHOP

11760 CAMINO ESCONDIDO RD
CARMEL VALLEY CA, 93924
APN: 416-082-043

AREA MAP



VICINITY MAP



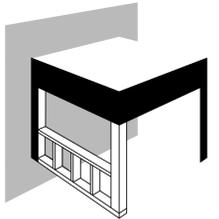
11760 CAMINO ESCONDIDO RD

SHEET TITLE: TITLE SHEET		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPR.	11-22-21
SHEET NUMBER: GO.0		



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.

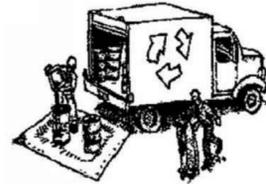


MEHRINGER CONSTRUCTION & DESIGN

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MONTEREY CA 93940
LICENSE 893553
PHONE 831-760-0275
EMAIL MehringDesign@gmail.com

BARNES RESIDENCE & SHOP

ADDRESS 11760 CAMINO ESCONDIDO
CARMEL VALLEY CA 93924
APN 416-082-043
OWNER CHERI & DAVID BARNES
PHONE 209-765-1448
EMAIL Barnes6@sbcglobal.net



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.

- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Waste Management

- The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the project.
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).

Maintenance and Parking

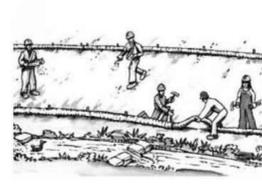
- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- Inlet protection is the last line of spill defense. Drains/inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.



EQUIPMENT MANAGEMENT & SPILL CONTROL

Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.



EARTHWORK & CONTAMINATED SOILS

Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filler, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.
- If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
 - Unusual soil conditions, discoloration, or odor
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.



PAVING/ASPHALT WORK

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt or concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.



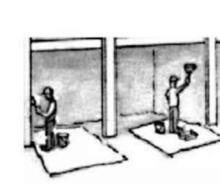
CONCRETE, GROUT & MORTAR APPLICATION

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



LANDSCAPE MATERIALS

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



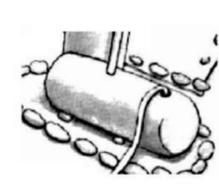
PAINTING & PAINT REMOVAL

Painting cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



DEWATERING

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
- Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

SHEET TITLE: BMP SHEET		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
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SHEET NUMBER:
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EROSION AND SEDIMENT CONTROL

EROSION & SEDIMENT CONTROL GENERAL NOTES

1. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - 1.1. PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES.
 - 1.2. COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - 1.3. KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - 1.4. LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
2. THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE CITY, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
3. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
4. ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEED, OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY THE CITY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
5. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
 - 5.1. VEGETATION REMOVAL SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - 5.2. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR

THE DOWNHILL PROPERTIES.

- 5.3. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
 - 5.4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
 - 5.5. THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
6. IF VEGETATION REMOVAL TAKES PLACE PRIOR TO A GRADING OPERATION AND THE ACTUAL GRADING DOES NOT BEGIN WITHIN 30 DAYS FROM THE DATE OF REMOVAL, THEN THAT AREA SHALL BE PLANTED UNDER THE PROVISION OF SECTION 16.08.340 TO CONTROL EROSION. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.
7. ALL POLLUTANTS AND THEIR SOURCES, INCLUDING SOURCES OF SEDIMENT ASSOCIATED WITH CONSTRUCTION, CONSTRUCTION SITE EROSION AND ALL OTHER ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY SHALL BE CONTROLLED.
8. ALL NON-STORM WATER DISCHARGES ARE IDENTIFIED AND EITHER ELIMINATED, CONTROLLED, OR TREATED.
9. SITE BMP'S ARE TO BE EFFECTIVE AND RESULT IN THE REDUCTION OR ELIMINATION OF POLLUTANTS IN STORM WATER DISCHARGES AND AUTHORIZED NON-STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITY.
10. STABILIZATION BMP'S INSTALLED TO REDUCE OR ELIMINATE POLLUTANTS AFTER CONSTRUCTION IS COMPLETE.
11. BEST MANAGEMENT PRACTICES (BMP'S) TO BE IMPLEMENTED BY THE PROJECT ARE LISTED BY CATEGORY. FACT SHEETS, AND DETAILS FOR THE BMP'S SELECTED FOR THIS PROJECT, CAN BE FOUND IN THE CASQA STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK.
12. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER OR CONTRACTOR SHALL SCHEDULE AN INSPECTION WITH RMA- ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
13. DURING CONSTRUCTION THE OWNER OR CONTRACTOR SHALL SCHEDULE AN

INSPECTION WITH RMA- ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.

14. PRIOR TO FINAL INSPECTION, THE OWNER OR CONTRACTOR SHALL SCHEDULE AN INSPECTION WITH RMA- ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

15. THE OWNER OR CONTRACTOR SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES DURING THE RAINY SEASON, OCTOBER 15 THROUGH APRIL 15, TO ENSURE CONTAMINANTS ARE NOT DISCHARGED INTO THE CARMEL BAY AREA OF BIOLOGICAL SIGNIFICANCE (IF APPLICABLE).

GOOD SITE MANAGEMENT "HOUSEKEEPING"
 1. POLLUTANTS IN STORM WATER DISCHARGES FROM THE PROJECT DURING CONSTRUCTION MAY ORIGINATE FROM THE DAILY OPERATION OF EQUIPMENT, GRADING OPERATIONS, AND STOCKPILING OF MATERIALS. DISCHARGERS SHALL IMPLEMENT GOOD HOUSEKEEPING MEASURES ON THE CONSTRUCTION SITE TO CONTROL THE AIR DEPOSITION OF SITE MATERIALS AND FROM SITE OPERATIONS. SUCH PARTICULATES CAN INCLUDE, BUT ARE NOT LIMITED TO, SEDIMENT, NUTRIENTS, TRASH, METALS, BACTERIA, OIL, GREASE AND ORGANICS

WASTE MANAGEMENT POLLUTION CONTROL
 1. THE DISCHARGER SHALL PREVENT DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PEROUSIVE SITE SURFACES OR INTO THE STORM DRAIN SYSTEM.
 2. THE DISCHARGER SHALL ENSURE THE CONTAINMENT OF SANITATION FACILITIES (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECLAIMING WATER. THE SANITATION FACILITIES SHALL BE CLEANED, REPLACED, AND INSPECTED REGULARLY FOR LEAKS AND SPILLS. SECONDARY CONTAINMENT ON SANITATION FACILITIES MUST BE PROVIDED.
 3. WASTE DISPOSAL CONTAINERS SHALL BE COVERED AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT. NO DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE ALLOWED.
 4. STOCKPILED MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
 5. PROCEDURES SHALL BE DEVELOPED THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE. SPILLS AND LEAKS SHALL BE CLEANED UP

IMMEDIATELY AND DISPOSED OF PROPERLY.
 6. CONCRETE WASHOUT AREAS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS- SEE DETAIL THIS PAGE.
 7. DISCHARGER SHALL MAINTAIN VEHICLES TO PREVENT OIL, GREASE, OR FUEL TO LEAK INTO THE GROUND, STORM DRAINS OR SURFACE WATERS. ALL EQUIPMENT OR VEHICLES SHALL BE FUELED, MAINTAINED AND STORED IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S. LEAKS SHALL BE CLEANED IMMEDIATELY AND DISPOSED OF PROPERLY.
 8. THE CONTRACTOR SHALL REVIEW CONSTRUCTION ACTIVITIES TO IDENTIFY AND QUANTIFY LIKELY CONSTRUCTION MATERIALS AND WASTES. SPECIAL NOTICE SHALL BE MADE OF MATERIALS AND WASTES WITH SPECIAL HANDLING OR DISPOSAL REQUIREMENTS; SUCH AS LEAD CONTAMINATED SOILS, CONCRETE SAW-CUTTING LIQUIDS, WASTE CHEMICALS AND EMPTY CHEMICAL CONTAINERS. THE CONTRACTOR SHALL FOLLOW ALL MANUFACTURERS' STORAGE AND HANDLING RECOMMENDATIONS AND FOLLOW ALL FEDERAL, STATE, AND LOCAL REGULATIONS, WHERE POSSIBLE. CONTRACTOR SHALL USE SAFER AND LESS POLLUTING PRODUCTS.

EROSION CONTROL (SOIL STABILIZATION)
 1. SUFFICIENT EROSION CONTROL MATERIALS WILL BE MAINTAINED ON-SITE TO ALLOW FOR IMMEDIATE DEPLOYMENT BEFORE THE ONSET OF RAIN.
 2. DISCHARGERS SHALL PROVIDE EFFECTIVE SOIL COVERS FOR INACTIVE AREAS (MORE THAN 14 DAYS UN-DISTURBED) AND ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL, AND COMPLETED LOTS.
 3. DISCHARGERS SHALL LIMIT THE USE OF PLASTIC MATERIALS WHEN MORE SUSTAINABLE, ENVIRONMENTALLY FRIENDLY ALTERNATIVES EXIST. WHERE PLASTIC MATERIALS ARE DEEMED NECESSARY, THE DISCHARGER SHALL CONSIDER THE USE OF PLASTIC MATERIALS RESISTANT TO SOLAR DEGRADATION.
 4. SPECIAL CARE SHALL BE TAKEN SO THAT NO FILL MATERIALS SHALL BE PLACED, SPREAD, OR ROLLED DURING UNFAVORABLE WEATHER CONDITIONS.

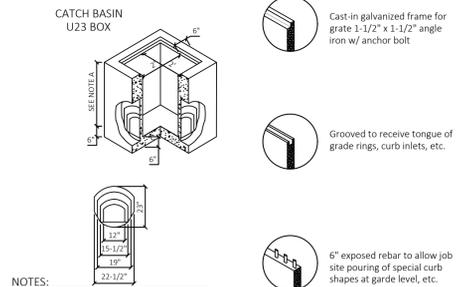
SEDIMENT CONTROL
 1. SUFFICIENT QUANTITIES OF TEMPORARY SEDIMENT CONTROL MATERIALS WILL BE MAINTAINED ON-SITE THROUGHOUT THE DURATION OF THE PROJECT, TO ALLOW IMPLEMENTATION OF TEMPORARY SEDIMENT CONTROLS IN THE EVENT OF PREDICTED RAIN AND FOR RAPID RESPONSE TO FAILURES OR EMERGENCIES.
 2. DISCHARGERS SHALL ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO

SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE.
 3. DISCHARGERS SHALL EFFECTIVELY MANAGE ALL RUN-ON, ALL RUNOFF WITHIN THE SITE AND ALL RUNOFF THAT DISCHARGES OFF THE SITE. RUN-ON FROM OFF-SITE SHALL BE DIRECTED AWAY FROM ALL DISTURBED AREAS OR SHALL COLLECTIVELY BE IN COMPLIANCE WITH THE EFFLUENT LIMITATION OF THIS PERMIT.
 4. DISCHARGERS SHALL APPLY LINEAR SEDIMENT CONTROLS ALONG THE TOE OF THE SLOPE, FACE OF THE SLOPE, AND AT THE GRADE BREAKS OF EXPOSED SLOPES.
 5. DISCHARGERS SHALL ENSURE THAT CONSTRUCTION ACTIVITY TRAFFIC TO AND FROM THE PROJECT IS LIMITED TO ENTRANCES AND EXITS THAT EMPLOY EFFECTIVE CONTROLS TO PREVENT OFFSITE TRACKING OF SEDIMENT.
 6. DISCHARGERS SHALL ENSURE THAT ALL STORM DRAIN INLETS AND PERIMETER CONTROLS, RUNOFF CONTROL BMP'S, AND POLLUTANT CONTROLS AT ENTRANCES AND EXITS (E.G. TIRE WASH OFF LOCATIONS) ARE MAINTAINED AND PROTECTED FROM ACTIVITIES THAT REDUCE THEIR EFFECTIVENESS.
 7. DISCHARGERS SHALL INSPECT ON A DAILY BASIS ALL IMMEDIATE ACCESS ROADS DAILY.
 8. AT A MINIMUM DAILY (WHEN NECESSARY) AND PRIOR TO ANY RAIN EVENT, THE DISCHARGER SHALL REMOVE ANY SEDIMENT OR OTHER CONSTRUCTION ACTIVITY RELATED MATERIALS THAT ARE DEPOSITED ON THE ROADS BY VACUUMING OR SWEEPING (NOT BY HOSED OR WASHED DOWN).

TRACKING CONTROL
 1. TRACKING CONTROLS SHALL BE IMPLEMENTED AND MAINTAINED YEAR-ROUND AND THROUGHOUT THE DURATION OF THE PROJECT, AT ALL ACCESS (INGRESS/EGRESS) POINTS TO THE PROJECT SITE WHERE VEHICLES AND/OR EQUIPMENT MAY TRACK SEDIMENT FROM THE CONSTRUCTION SITE ONTO PUBLIC OR PRIVATE ROADWAYS.

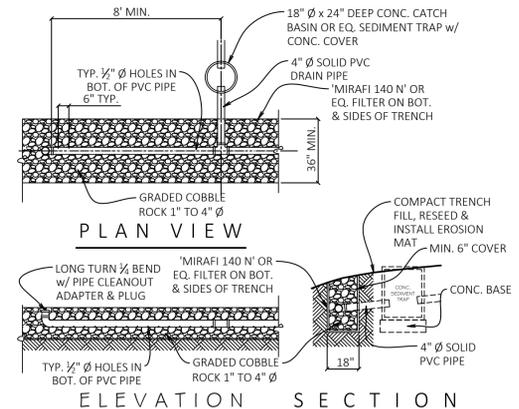
WIND EROSION CONTROL
 1. WIND EROSION CONTROL BMP'S SHALL BE IMPLEMENTED AND MAINTAINED YEAR-ROUND AND THROUGHOUT THE DURATION OF THE PROJECT ON ALL DISTURBED SOILS ON THE PROJECT SITE THAT ARE SUBJECT TO WIND EROSION, AND WHEN SIGNIFICANT WIND AND DRY CONDITIONS ARE ANTICIPATED DURING PROJECT CONSTRUCTION. THE OBJECTIVE OF WIND CONTROLS IS TO PREVENT THE TRANSPORT OF SOIL FROM DISTURBED AREAS OF THE PROJECT SITE BY WIND.

NON-STORMWATER MANAGEMENT POLLUTION CONTROL
 1. NON-STORM WATER DISCHARGES CONSIST OF ALL DISCHARGES TO/FROM A MUNICIPAL STORM WATER CONVEYANCE, WHICH DO NOT ORIGINATE FROM PRECIPITATION EVENTS (I.E., ALL DISCHARGES FROM A CONVEYANCE SYSTEM OTHER THAN STORM WATER).
 2. DISCHARGERS SHALL IMPLEMENT MEASURES TO CONTROL ALL NON-STORM WATER DISCHARGES DURING CONSTRUCTION.
 3. DISCHARGERS SHALL WASH VEHICLES IN SUCH A MANNER AS TO PREVENT NON-STORM WATER DISCHARGES.
 4. DISCHARGERS SHALL CLEAN STREETS IN SUCH A MANNER AS TO PREVENT UNAUTHORIZED NON-STORM WATER DISCHARGES.



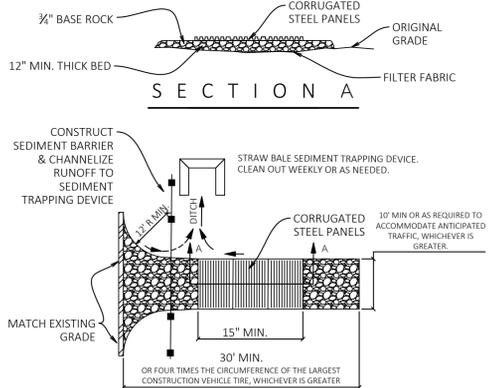
- NOTES:**
- TRUCK OUTS AVAILABLE IN GRAD RINGS & CATCH BASINS.
 - OPENING LOCATIONS, AND SIZES TO JOB SPECIFICATIONS.
 - WITH OR WITHOUT BOTTOM.
 - PROGRESSIVE WELDED RINGS PROVIDE MAXIMUM FLEXIBILITY PERMITTING PIPE OF ANY SIZE TO BE NEATLY AND QUICKLY GROUDED IN AT THE JOBSITE.
 - STANDARD GRADE RINGS AVAILABLE IN 4" INCREMENTS UP TO 4' HIGH.
 - ALL REINFORCING STEEL MEETS ASTM SPECIFICATIONS AS REQUIRED.

CATCH BASIN



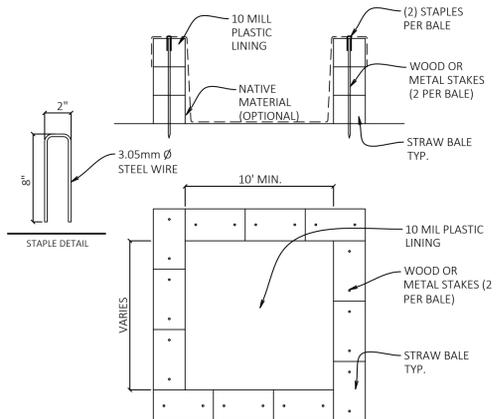
- NOTES:**
1. DISPERSION PIPE SHALL BE LEVEL AND TRENCH SHALL BE PARALLEL TO CONTOURS.
 2. 'MIRAFI 140N' OR EQUAL FILTER FABRIC TO BE INSTALLED ON SIDES, ENDS, AND BOTTOM OF TRENCH.
 3. DISPERSION TRENCH SHALL BE AT LEAST 20 FEET FROM STRUCTURE.
 4. DISPERSION TRENCH SHALL BE ON THE LEAST STEEP AVAILABLE SLOPE.

DISPERSION PIPE

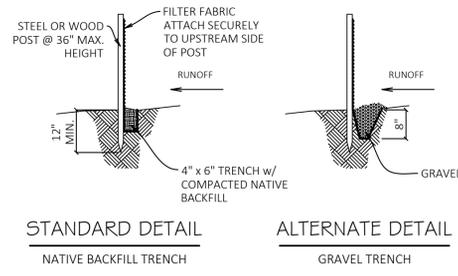


- NOTES:**
1. Fiber rolls and gravel bags may be used interchangeably except when weighing down fabric.
 2. Shall be in place during construction around perimeter.

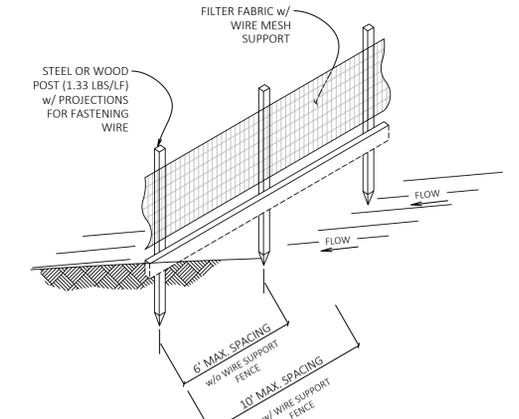
STABILIZING CONSTRUCTION ACCESS



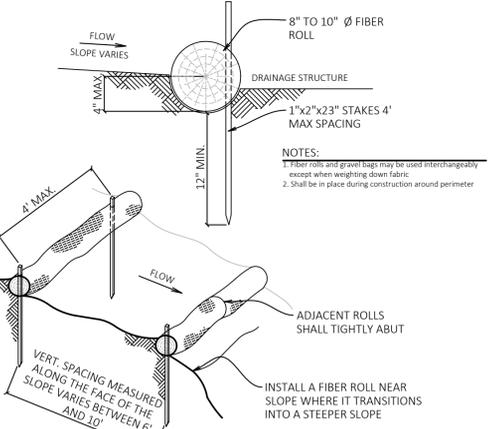
CONCRETE WASHOUT



SILT FENCE DETAIL



SILT FENCE DETAIL



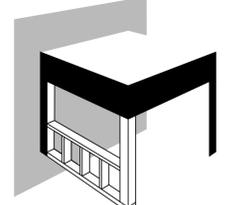
FIBER ROLL INSTALLATION

BEST MANAGEMENT PRACTICES

1. FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
2. DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
3. RETAIN STORM WATER: RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON THE SITE.
4. BARRIER SYSTEM: WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, GUTTER OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER METHOD APPROVED BY THE ENFORCING AGENCY.
5. STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (IF NECESSARY FOR THIS APPLICATION, SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
6. STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED WEEKLY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
7. CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
8. CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRI PLANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLIFIED SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
9. TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
10. SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEPT INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.
11. GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC. MIN. UNIT WEIGHT OF 40Z/SY BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 0.5" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
12. WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERTIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
13. SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
14. SWEEPING: ALL IMPERVIOUS SURFACES SHALL BE SWEEP (NOT WASHED OR HOSED DOWN), AND MAINTAIN FREE OF DEBRIS AND ACCUMULATION OF DIRT.
15. VEHICLES AND EQUIPMENT: RESPONSIBLE PARTIES MUST ENSURE ALL CONSTRUCTION VEHICLES AND EQUIPMENT ARE MAINTAINED IN GOOD WORKING ORDER, AND WILL NOT CAUSE DIRT, MUD, OIL, GREASE, OR FUEL TO BE DISCHARGED OR TRACKED OFF-SITE INTO THE STREET.

BMP LEGEND

- TP — TREE PROTECTION
- FR — FIBER ROLL
- SF — SILT FENCE
- DIP — DRAIN INLET PROTECTION
- SCA — STABILIZED CONSTRUCTION ACCESS
- SMP — STOCKPILE MANAGEMENT
- CW — CONCRETE WASHOUT
- CSA — CONTRACTOR STAGING AREA
- WM — WASTE MANAGEMENT
- PTO — PORTABLE TOILETS / WASH STATION



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CONSTRUCTION MANAGEMENT

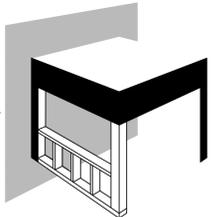
SCALE: 1/8" = 1'-0"

SHEET TITLE CONST. MANAGEMENT		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPR.	11-22-21

SHEET NUMBER:
GO.2

SITE NOTES

1. NO PERSON MAY TAP INTO ANY FIRE HYDRANT OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.
2. ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
3. THE USE OF SOLDER CONTAINING MORE THAN 2/10THS OF 1% LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED (SB 164).
4. PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSEBIBS.
5. SLOPE ALL GRADES AWAY FROM THE STRUCTURE FOR A MIN 5% FOR 10'-0".
6. CONTRACTOR IS TO VERIFY THE LOCATION AND HEIGHT OF THE NEAREST UPSTREAM MANHOLE IF THE FLOOD LEVEL RIMS ARE LESS THEN 2' ABOVE THIS ELEVATION, THE SEWER SYSTEM SHALL BE PROTECTED WITH AN APPROVED SEWER BACK WATER VALVE AND SEWER RELIEF VENT SHALL BE INSTALLED.
7. FUEL MANAGEMENT
 - 7.1. GREEN ZONE (0-30') FROM THE PROPOSED STRUCTURE - MAINTAIN VEGETATION (NATIVE AND PROPOSED) WITHIN THE GREEN ZONE
 - 7.2. MANAGEMENT ZONE (30'-100', OR PROPERTY LINE IF CLOSER) FROM STRUCTURES CHECK WITH LOCAL FIRE AUTHORITY FOR HIGH FIRE HAZARD ZONES
 - 7.3. TREE PRUNING ROUTINELY WITHIN THE DEFENSIBLE ZONES
 - 7.4. PROVIDE EMERGENCY VEHICLE ACCESS NOT TO EXCEED 15% SLOPE
 - 7.4.1. PROVIDE A TURNAROUND FOR 22-TON VEHICLES

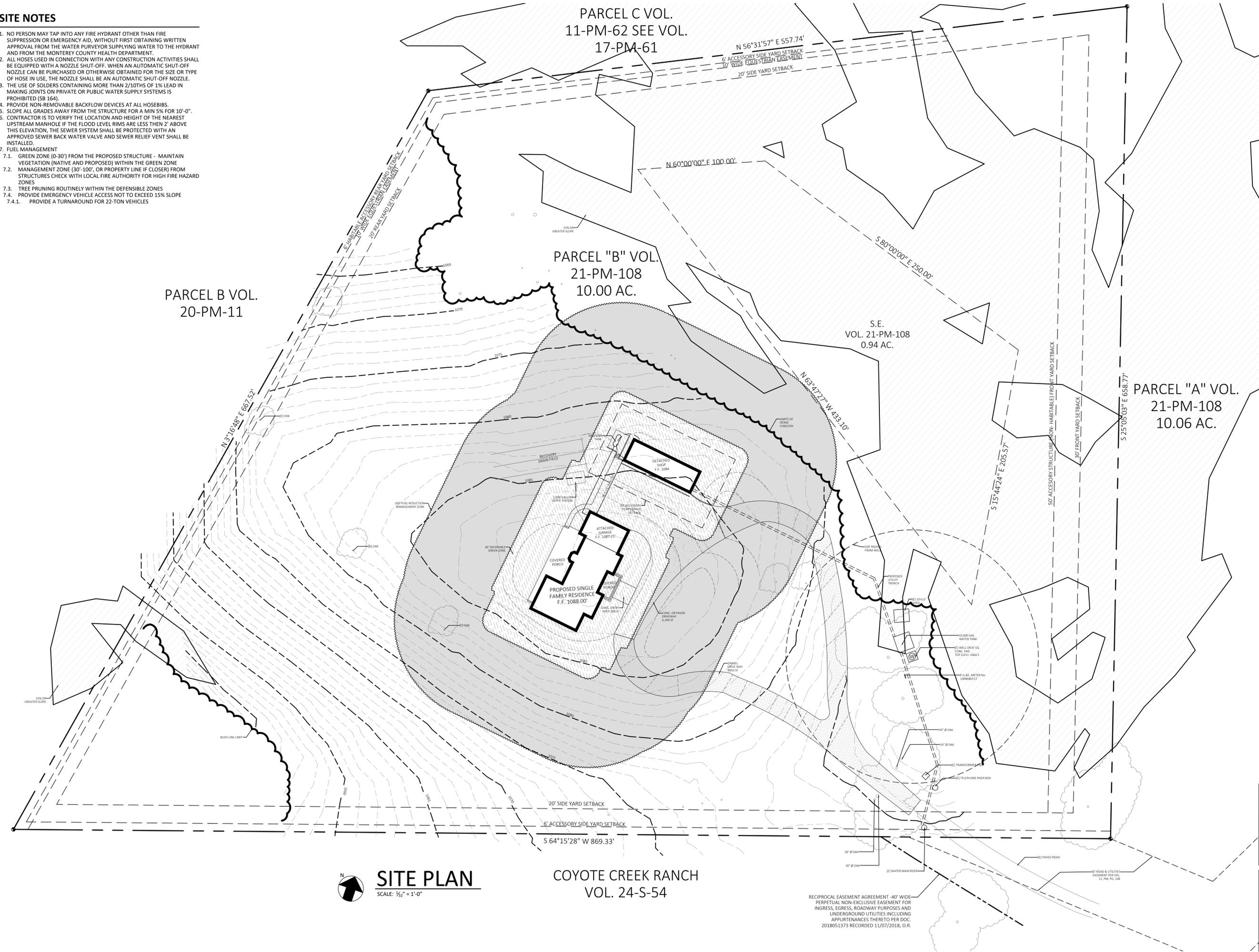


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PARCEL B VOL.
20-PM-11

PARCEL "B" VOL.
21-PM-108
10.00 AC.

PARCEL "A" VOL.
21-PM-108
10.06 AC.

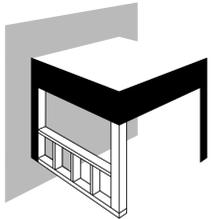
SITE PLAN
SCALE: 1/32" = 1'-0"

COYOTE CREEK RANCH
VOL. 24-S-54

RECIPROCAL EASEMENT AGREEMENT - 40' WIDE PERPETUAL NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS, ROADWAY PURPOSES AND UNDERGROUND UTILITIES INCLUDING APPURTENANCES THERETO PER DOC. 2018051373 RECORDED 11/07/2018, O.R.

SHEET TITLE: SITE PLAN		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPR.	11-22-21

SHEET NUMBER:
C1.0

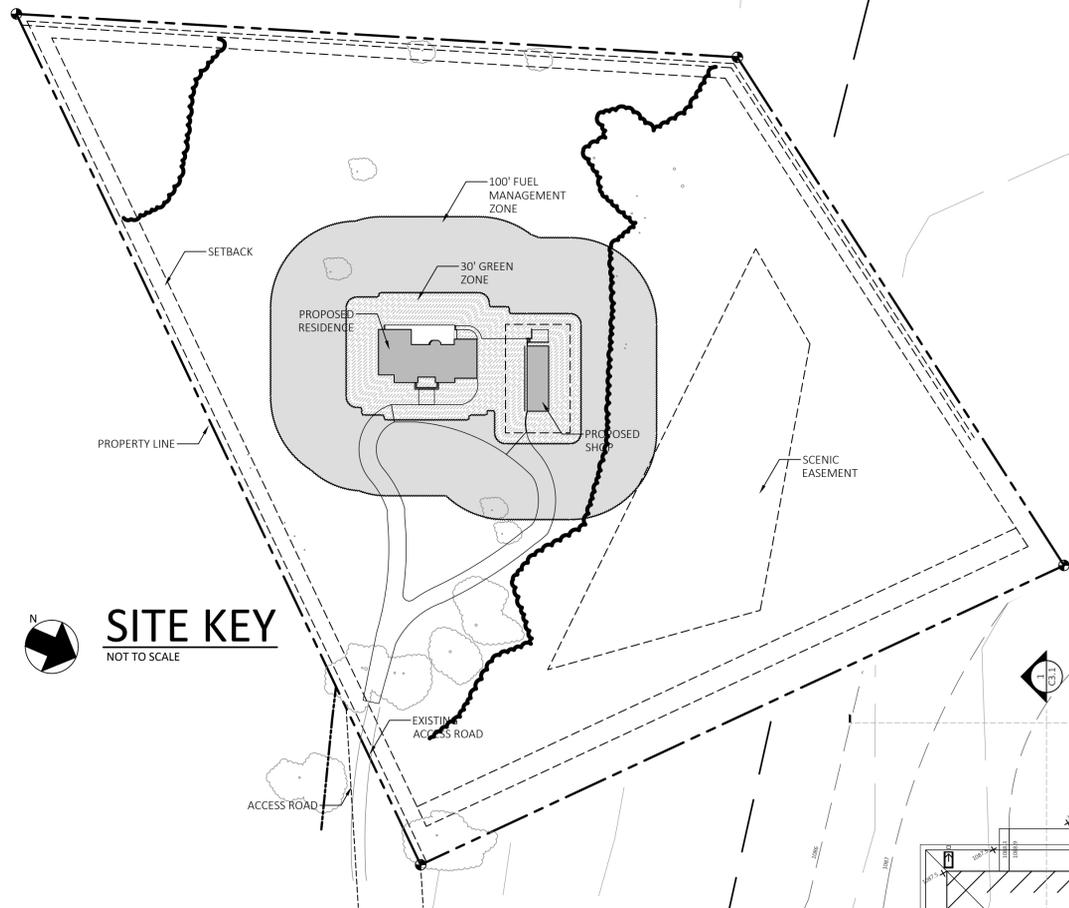


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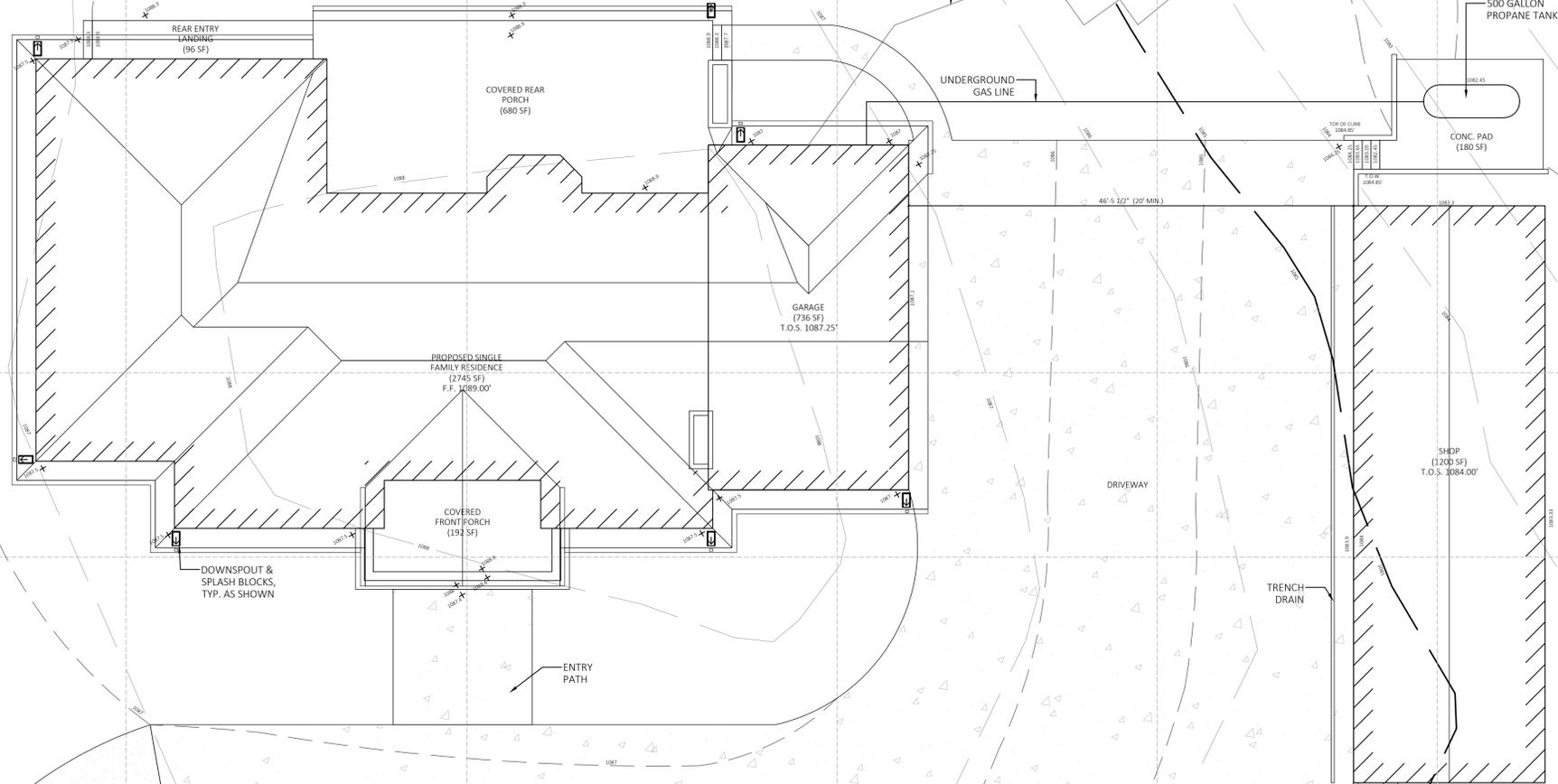
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SITE KEY
NOT TO SCALE

GRADING NOTES

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2. ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
3. NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE.
4. SLOPE ALL GRADES AWAY FROM THE STRUCTURE FOR A MIN 5% FOR 10'-0".
5. CONTRACTOR IS TO VERIFY THE LOCATION AND HEIGHT OF THE NEAREST UPSTREAM MANHOLE IF THE FLOOD LEVEL RIMS ARE LESS THEN 2' ABOVE THIS ELEVATION, THE SEWER SYSTEM SHALL BE PROTECTED WITH AN APPROVED SEWER BACK WATER VALVE AND SEWER RELIEF VENT SHALL BE INSTALLED.
6. CONTRACTOR TO COORDINATE ALL NEW UTILITY INSTALLATIONS WITH UTILITY COMPANIES AND BUILDING DEPARTMENT, VERIFY ADEQUACY OF ALL UTILITIES.
7. REFER TO GEOTECHNICAL REPORT, PREPARED BY SOIL SURVEYS GROUP, INC., NOV. 6, 2020
8. ALL LOOSE/FIRM SOIL WITHIN THE PROPOSED BUILDING PAD AND EXTENDING A MIN. OF FIVE FEET IN ALL DIRECTIONS OUTSIDE OF THE PROPOSED BUILDING FOUNDATIONS SHALL BE RECOMPACTED AS NECESSARY TO 90 PERCENT RELATIVE COMPACTION.
9. ALL NEW CUT AND FILL SLOPES, AS WELL AS DISTURBED SOIL AREAS, MUST BE SEEDDED WITH GRASS OF LANDSCAPING PLANTS FOR EROSION CONTROL.
10. THE BUILDING PAD, EXTENDING A MIN. OF 5' IN EA. DIRECTION PAST THE NEW FOUNDATION FOOTINGS SHALL BE CLEARED AND GRUBBED OF ALL VEGETATION, DEMOLITION DEBRIS, AND ORGANIC TOPSOIL BEFORE RECOMPACTING THE ORIGINAL GROUND, PLACING ENGINEERED FILL OR FINISHING WITH SUBGRADE FOR THE NEW BUILDING PAD.
11. ALL SUBEXCAVATED SOIL SHALL THEN BE BACKFILLED IN EIGHT INCH LOOSE LIFTS AND RECOMPACTED TO 90 PERCENT RELATIVE COMPACTION.
12. ANY NEW CUT AND FILL SLOPES SHALL BE 2:1 OF FLATTER UNLESS RETAINED.



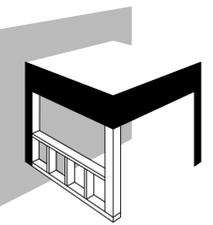
SITE & GRADING PLAN
SCALE: 1/8" = 1'-0"

SITE & GRADING PLAN		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPR.	11-22-21

SHEET NUMBER:
C1.1

GRADING NOTES

1. REFER TO GEOTECHNICAL REPORT, PREPARED BY SOIL SURVEYS GROUP, INC., NOV. 6, 2020
2. ALL LOOSE/FIRM SOIL WITHIN THE PROPOSED BUILDING PAD AND EXTENDING A MIN. OF FIVE FEET IN ALL DIRECTIONS OUTSIDE OF THE PROPOSED BUILDING FOUNDATIONS SHALL BE RECOMPACTED AS NECESSARY TO 90 PERCENT RELATIVE COMPACTION.
3. ALL NEW CUT AND FILL SLOPES, AS WELL AS DISTURBED SOIL AREAS, MUST BE SEEDED WITH GRASS OF LANDSCAPING PLANTS FOR EROSION CONTROL.
4. THE BUILDING PAD, EXTENDING A MIN. OF 5' IN EA. DIRECTION PAST THE NEW FOUNDATION FOOTINGS SHALL BE CLEARED AND GRUBBED OF ALL VEGETATION, DEMOLITION DEBRIS, AND ORGANIC TOPSOIL BEFORE RECOMPACTING THE ORIGINAL GROUND, PLACING ENGINEERED FILL OR FINISHING WITH SUBGRADE FOR THE NEW BUILDING PAD.
5. ALL SUBEXCAVATED SOIL SHALL THEN BE BACKFILLED IN EIGHT INCH LOOSE LIFTS AND RECOMPACTED TO 90 PERCENT RELATIVE COMPACTION.
6. ANY NEW CUT AND FILL SLOPES SHALL BE 2:1 OF FLATTER UNLESS RETAINED.

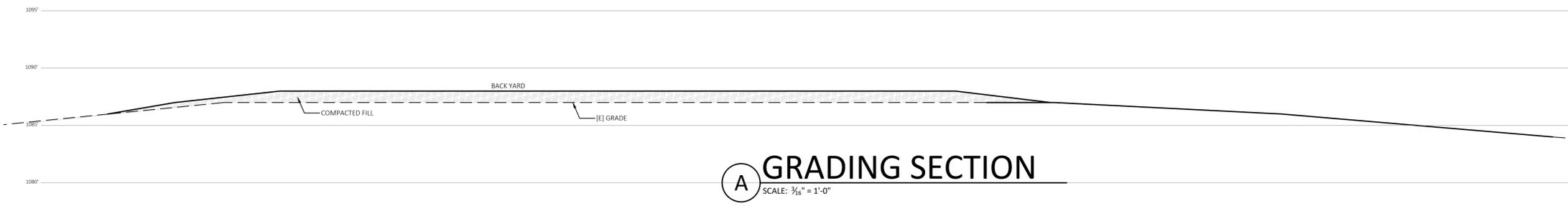


**MEHRINGER
CONSTRUCTION
& DESIGN**

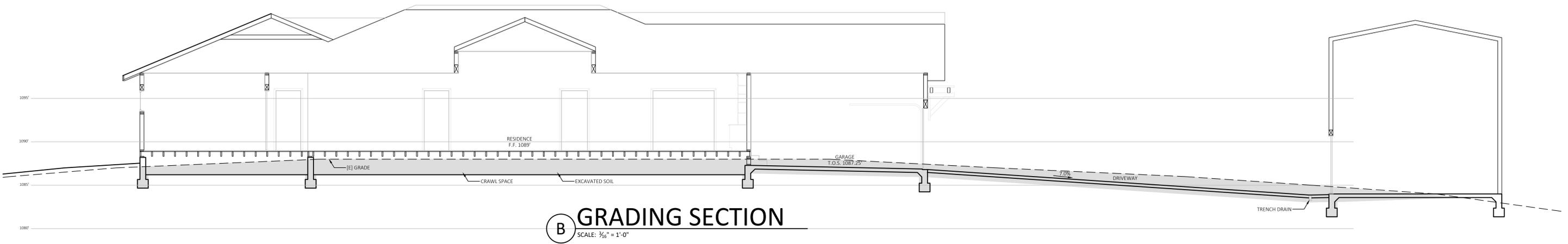
ADDRESS 481 WATSON ST #6
MONTEREY CA 93940
LICENSE 893553
PHONE 831-760-0275
EMAIL MehningerDesign@gmail.com

**BARNES RESIDENCE
& SHOP**

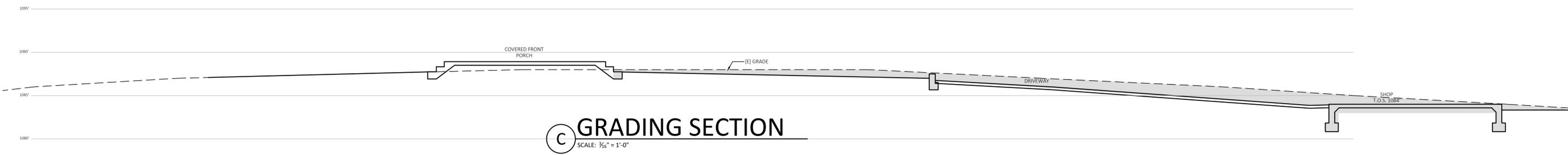
ADDRESS 11760 CAMINO ESCONDIDO
CARMEL VALLEY CA 93924
APN 416-082-043
OWNER CHERI & DAVID BARNES
PHONE 209-765-1448
EMAIL Barnes6@sbcglobal.net



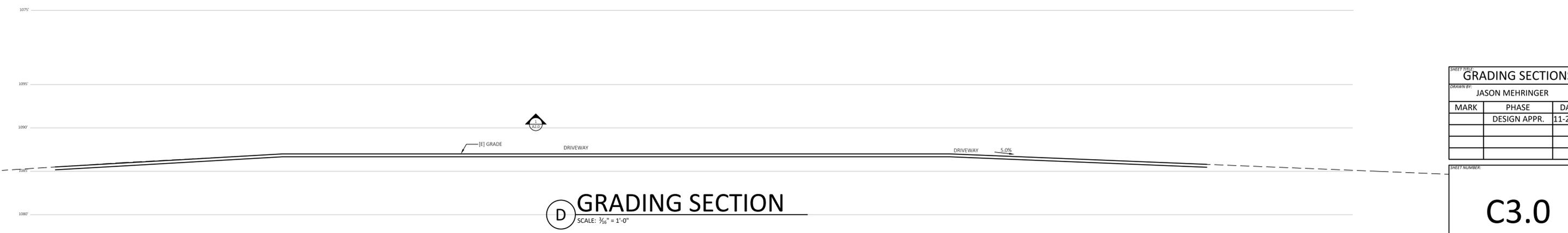
A GRADING SECTION
SCALE: 3/16" = 1'-0"



B GRADING SECTION
SCALE: 3/16" = 1'-0"



C GRADING SECTION
SCALE: 3/16" = 1'-0"



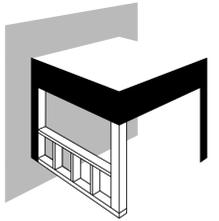
D GRADING SECTION
SCALE: 3/16" = 1'-0"

SHEET TITLE		
GRADING SECTIONS		
DRAWN BY:		
JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPR.	11-22-21

SHEET NUMBER:
C3.0

GRADING NOTES

1. REFER TO GEOTECHNICAL REPORT, PREPARED BY SOIL SURVEYS GROUP, INC., NOV. 6, 2020
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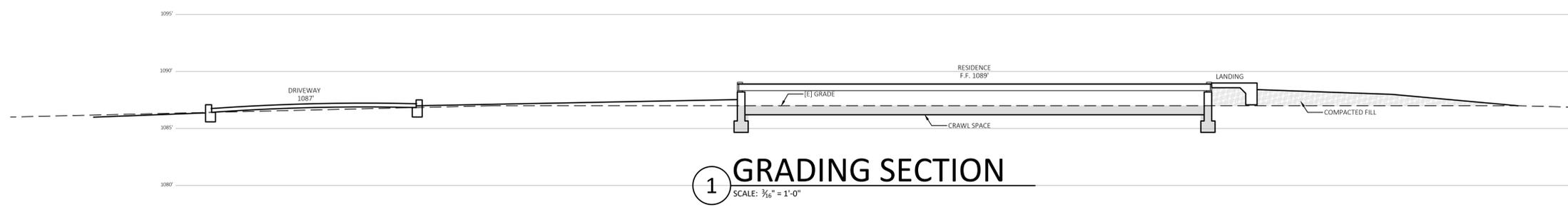


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& DESIGN**

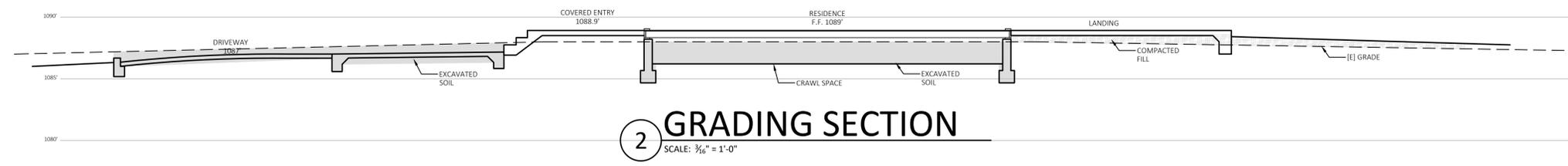
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& SHOP**

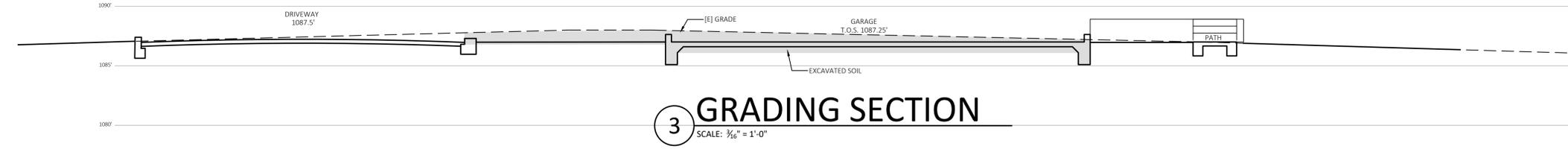
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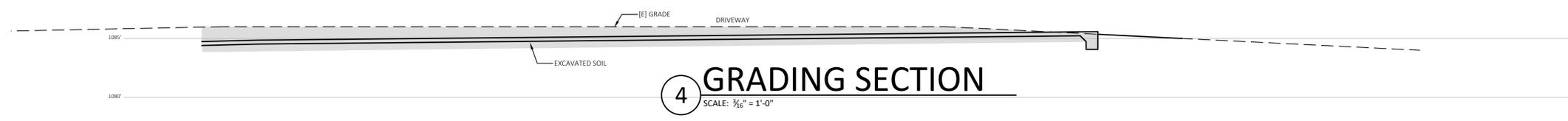
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SCALE: 3/16" = 1'-0"



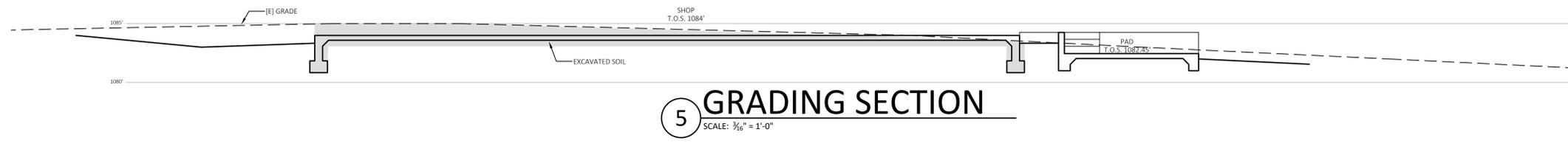
2 GRADING SECTION
SCALE: 3/16" = 1'-0"



3 GRADING SECTION
SCALE: 3/16" = 1'-0"



4 GRADING SECTION
SCALE: 3/16" = 1'-0"



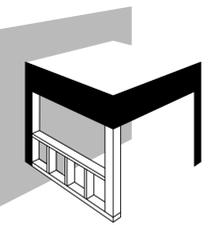
5 GRADING SECTION
SCALE: 3/16" = 1'-0"

SHEET TITLE GRADING SECTIONS		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPR.	11-22-21

SHEET NUMBER:
C3.1

ROOF NOTES

1. ROOF MATERIAL - CLASS 'A' COMPOSITION SHINGLES
2. ROOF SLOPE: 5 IN 12 UNLESS OTHERWISE NOTED
3. OVERHANGS: 24" TYPICAL
4. GUTTERS: ALUMINUM GUTTERS AND DOWNSPOUTS
5. VENTING: GANG ALL VENT STACKS TO MINIMIZE QUANTITY OF ROOF JACKS AND LOCATE ROOF JACKS IN THE LEAST VISIBLE LOCATIONS WHERE POSSIBLE
6. SOLAR ARRAY: SOLAR PANELS TBD, DESIGN PROVIDED BY OTHERS
7. ROOF VENTING: REQUIRED VENTING

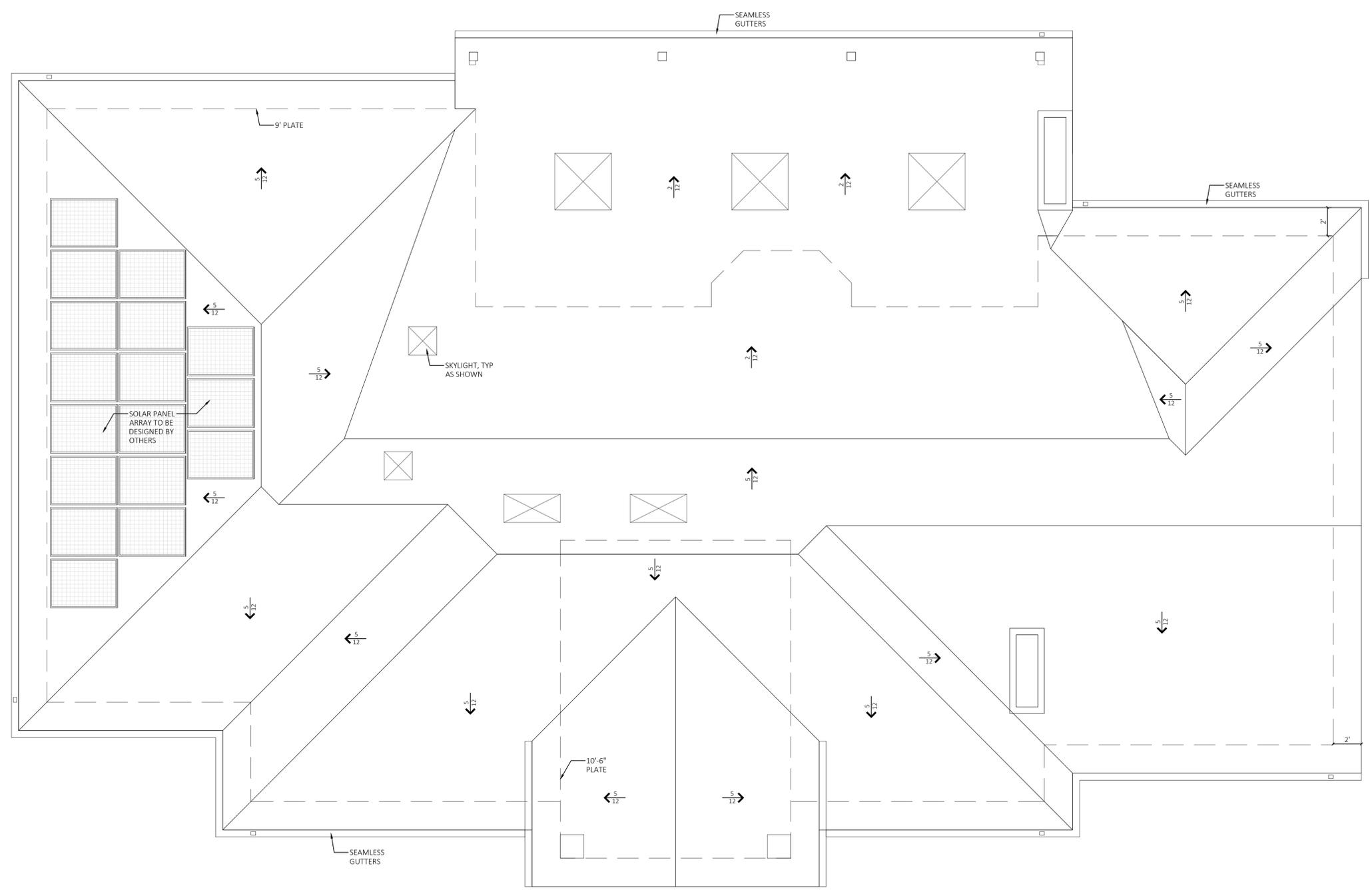


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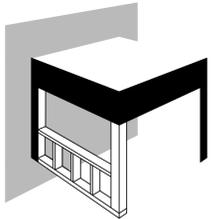
ROOF PLAN
SCALE: 3/4" = 1'-0"

SHEET TITLE: ROOF PLAN		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPR.	11-22-21

SHEET NUMBER:
A1.0

CONSTRUCTION NOTES

1. TOILETS MUST HAVE A MINIMUM CLEAR WIDTH OF 30" (15" EA. SIDE FROM CENTER) AND 24" CLEAR FROM THE FRONT PER CPC 402.5
2. THE WALLS OF THE TUB OR SHOWER HAVE NON-ABSORBENT MATERIAL TO A MINIMUM HEIGHT OF 72" ABOVE THE DRAIN INLET.
3. SHOWER ENCLOSURE IS MADE TEMPERED GLASS AND THE DOORS PROVIDE A MINIMUM 22" CLEAR SPACE WITH THE DOOR IN THE OPEN POSITION.
4. THE SHOWER MUST HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQ. IN. AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30" CIRCLE.
5. CEILINGS AND ADJOINING WALLS IN GARAGE MUST HAVE A MIN. 5/8" TYPE 'X' DRYWALL.
6. WALLS IN GARAGE MUST HAVE A MIN. 1/2" DRYWALL FOR ALL WALLS ADJACENT TO DWELLING.
7. DRYER EXHAUST VENT TO BE A MAXIMUM OF 14' EQUIPPED WITH A BACK DRAFT DAMPER INCLUDING (2) 90-DEGREE ELBOWS AND A MINIMUM DIAMETER OF 4". THE VENT DISCHARGE LOCATION SHALL BE A MINIMUM OF 3 FEET AWAY FROM ANY OPENING INTO THE BUILDING PER CMC 504.3.1

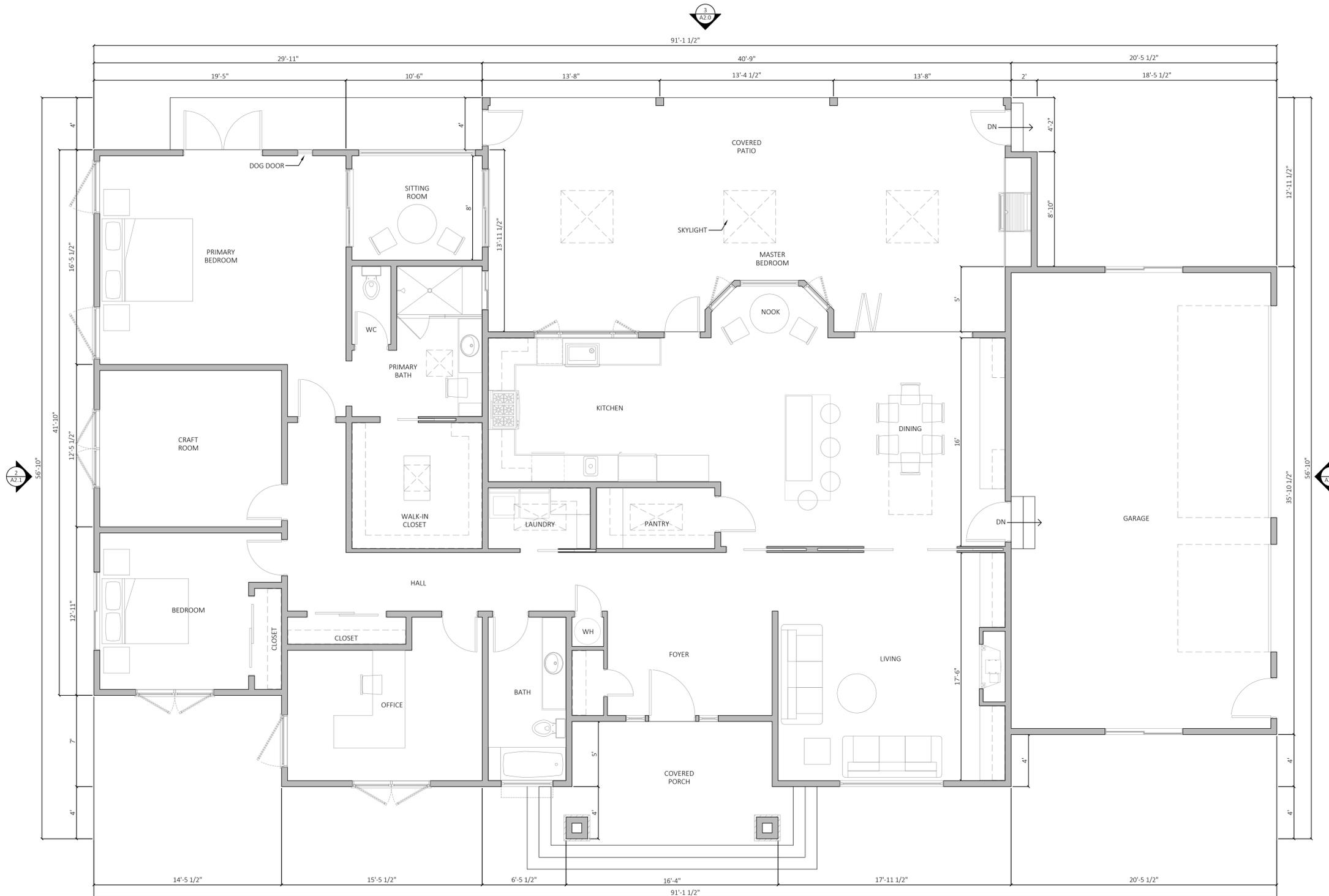


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FLOOR PLAN

SCALE: 1/4" = 1'-0"

WALL KEY

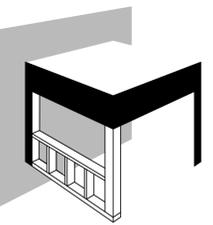
NEW 2x6 WALLS 
NEW 2x4 WALLS 

SHEET TITLE: FLOOR PLAN		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPR.	11-22-21

SHEET NUMBER:
A1.1

SHOP NOTES

1. THE DETACHED SHOP IS DESIGNED AND FABRICATED BY OUTBACK STEEL BUILDINGS.
2. PLEASE REFER TO CONSTRUCTION PACKAGE, INSTALLATION MANUALS, CONSTRUCTION VIDEOS, AND PROVIDED STRUCTURAL SHEETS

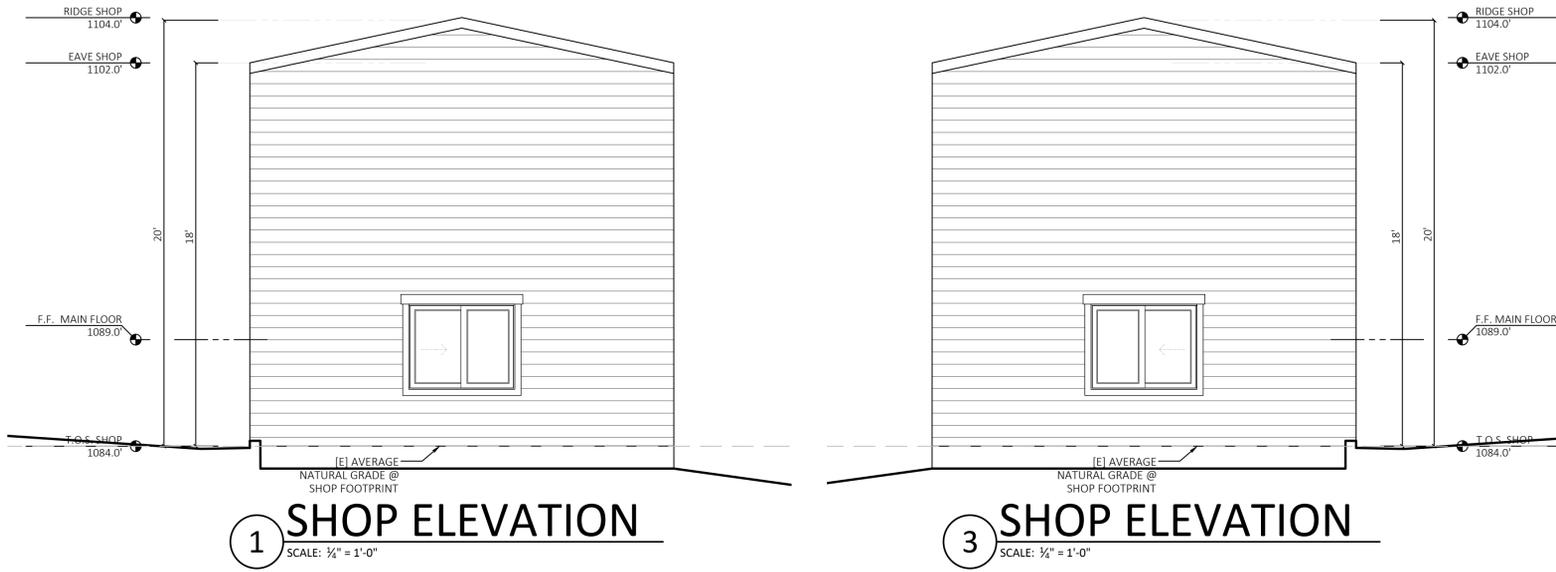


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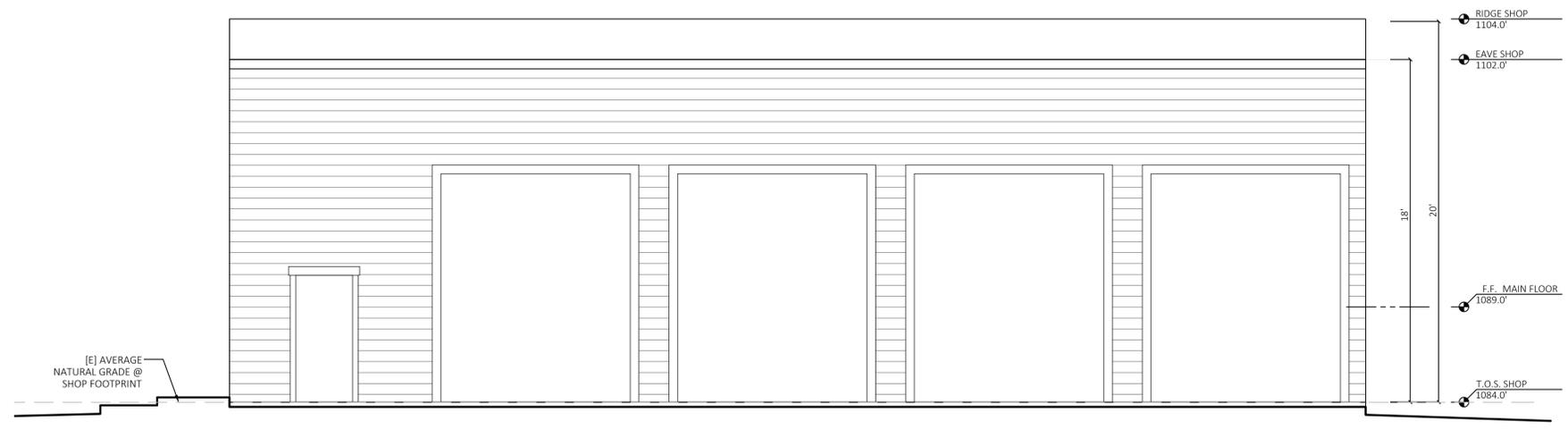
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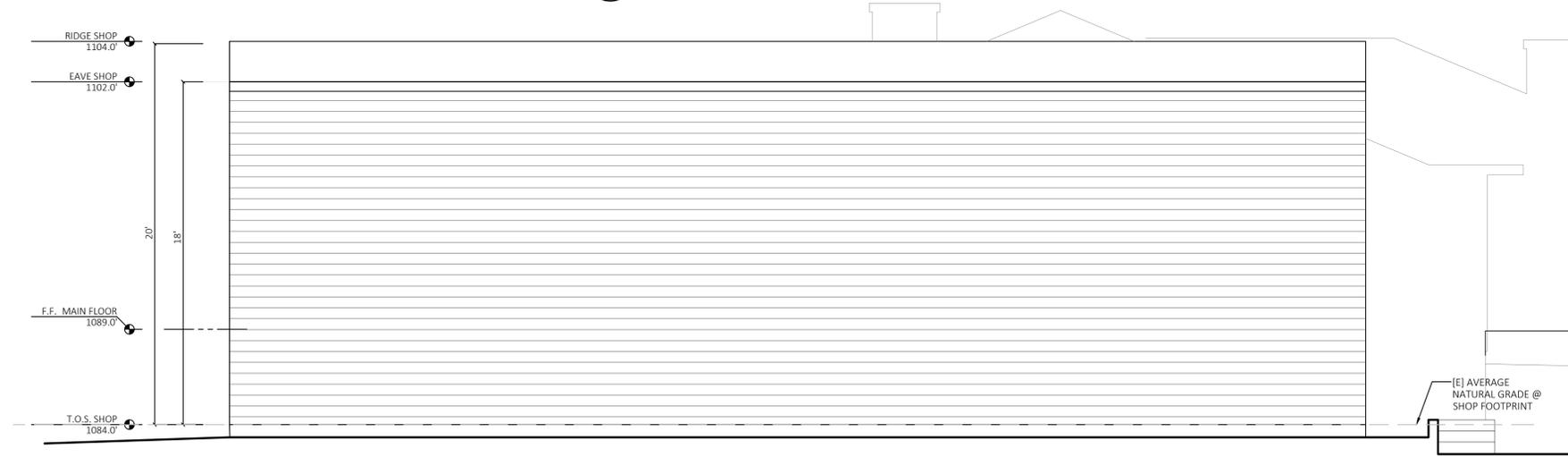


1 SHOP ELEVATION
SCALE: 1/4" = 1'-0"

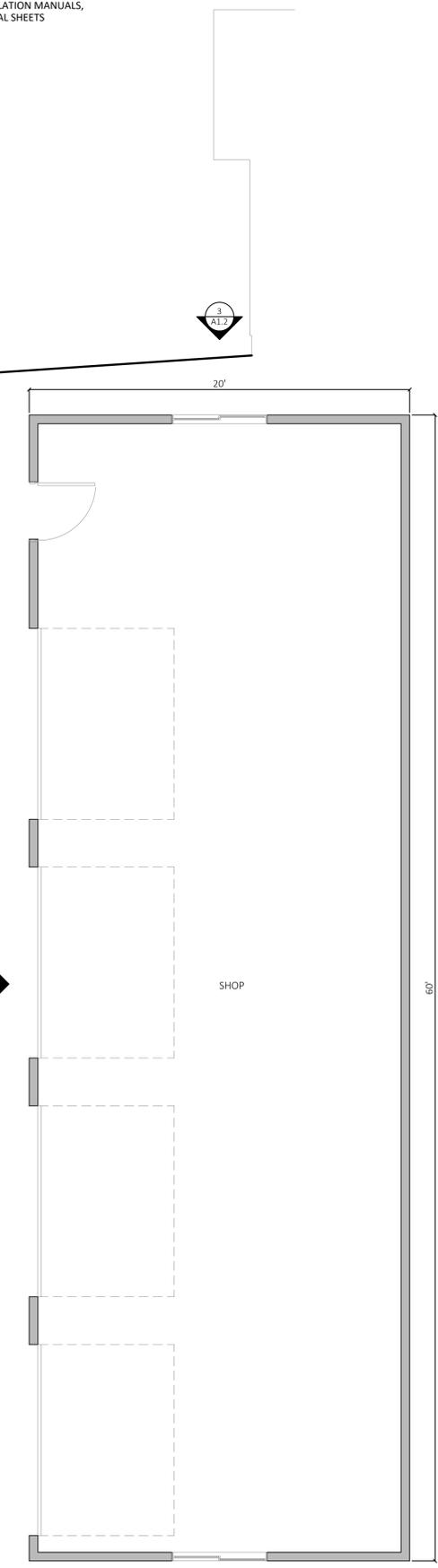
3 SHOP ELEVATION
SCALE: 1/4" = 1'-0"



2 SHOP ELEVATION
SCALE: 1/4" = 1'-0"



4 SHOP ELEVATION
SCALE: 1/4" = 1'-0"



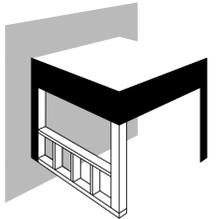
SHOP FLOOR PLAN
SCALE: 1/4" = 1'-0"

SHOP FLOOR PLAN		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPR.	11-22-21

SHEET NUMBER:
A1.2

ELEVATION NOTES

1. ROOF MATERIAL - CLASS-A COMPOSITION SHINGLES - COLOR CHARCOAL BLACK
2. GUTTERS - SEAMLESS ALUMINUM GUTTERS
3. DOWNSPOUTS - SQUARE ALUMINUM
4. WINDOWS - SOLID WOOD FRAME, LOW E, DUAL PANE GLASS
 - 4.1. WUI - A MIN. OF ONE PANE MUST BE TEMPERED PER WINDOW
5. EXTERIOR DOORS - SOLID WOOD CONSTRUCTION, PAINTED
 - A. STANDARD DOORS - COLOR KELLY MOORE KM5780 STONELAKE
 - B. FRONT DOOR - COLOR KELLY MOORE KM 4985-2 OLD FAITHFUL
6. PATIO BI-FOLD DOOR - SOLID WOOD CONSTRUCTION
7. GARAGE DOOR - STEEL, INSULATED ROLL UP DOOR - COLOR STONELAKE SIDING
 - A. V-GROOVE HORIZONTAL SIDING - COLOR KELLY MOORE KM W23 BECHAMEL
 - B. BOARD AND BATON SIDING - COLOR KM W23
9. TRIM - REDWOOD/CEDAR TRIM PAINTED - COLOR KELLY MOORE KMW57 CLOUD WHITE
10. LIGHTING - WALL MOUNT, LED LIGHTS
11. VENEER STONE - RANDOM SQUARE PATTERN BEIGE AND BROWN TONES
12. SOLAR PANELS

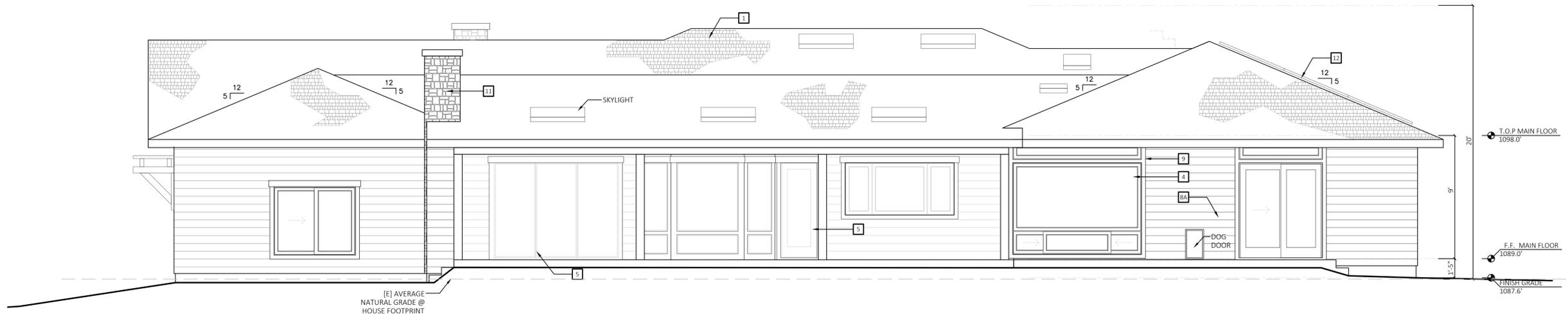


MEHRINGER CONSTRUCTION & DESIGN

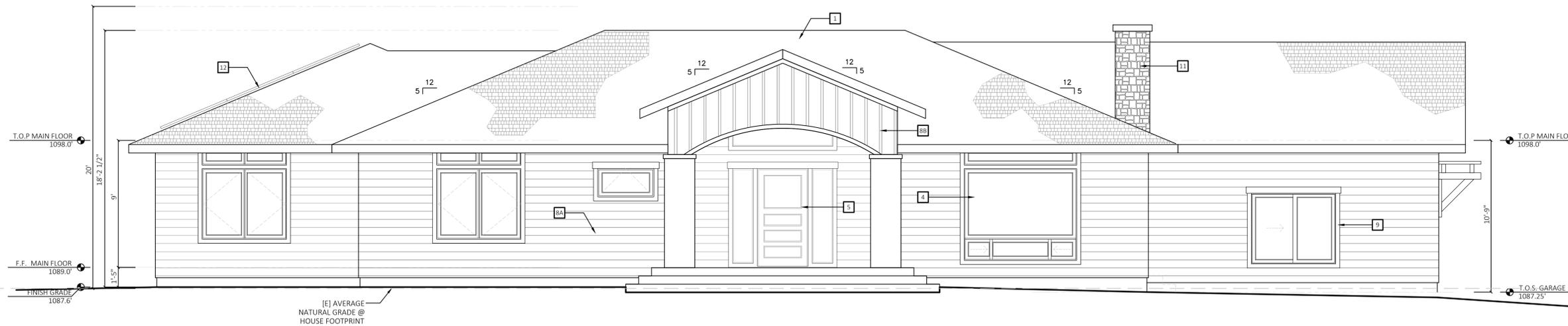
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3 PROPOSED REAR ELEVATION
SCALE: 3/4" = 1'-0"



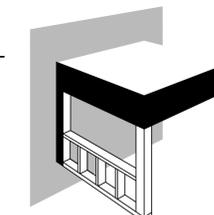
1 PROPOSED FRONT ELEVATION
SCALE: 3/4" = 1'-0"

FRONT ELEVATIONS		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPR.	11-22-21

SHEET NUMBER:
A2.0

ELEVATION NOTES

1. ROOF MATERIAL - CLASS-A COMPOSITION SHINGLES - COLOR CHARCOAL BLACK
2. GUTTERS - SEAMLESS ALUMINUM GUTTERS
3. DOWNSPOUTS - SQUARE ALUMINUM
4. WINDOWS - SOLID WOOD FRAME, LOW E, DUAL PANE GLASS
 - 4.1. WUI - A MIN. OF ONE PANE MUST BE TEMPERED PER WINDOW
5. EXTERIOR DOORS - SOLID WOOD CONSTRUCTION, PAINTED
 - A. STANDARD DOORS - COLOR KELLY MOORE KM5780 STONELAKE
 - B. FRONT DOOR - COLOR KELLY MOORE KM 4985-2 OLD FAITHFUL
6. PATIO BI-FOLD DOOR - SOLID WOOD CONSTRUCTION
7. GARAGE DOOR - STEEL, INSULATED ROLL UP DOOR - COLOR STONELAKE SIDING
 - A. V-GROOVE HORIZONTAL SIDING - COLOR KELLY MOORE KM W23 BECHAMEL
 - B. BOARD AND BATON SIDING - COLOR KM W23
9. TRIM - REDWOOD/CEDAR TRIM PAINTED - COLOR KELLY MOORE KMW57 CLOUD WHITE
10. LIGHTING - WALL MOUNT, LED LIGHTS
11. VENEER STONE - RANDOM SQUARE PATTERN BEIGE AND BROWN TONES
12. SOLAR PANELS

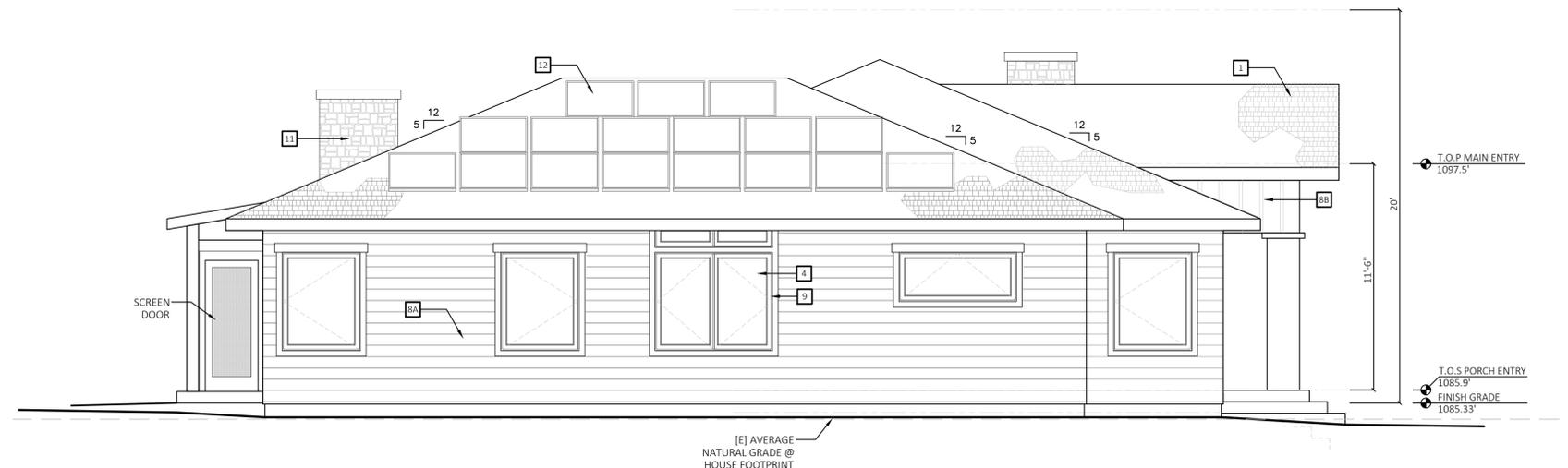


MEHRINGER CONSTRUCTION & DESIGN

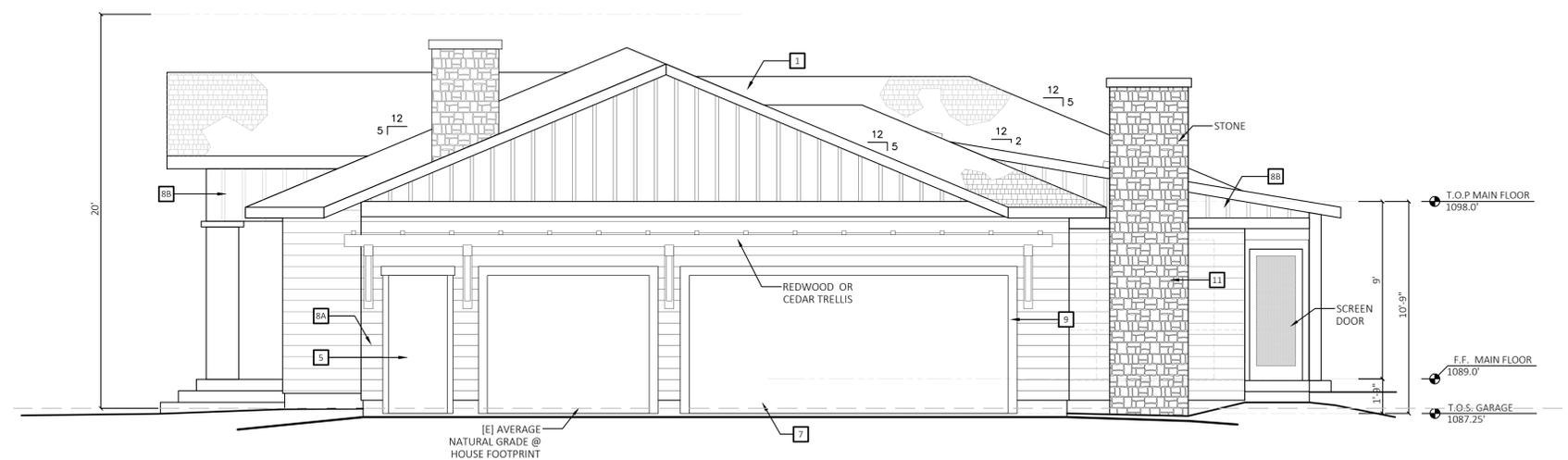
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2 PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"



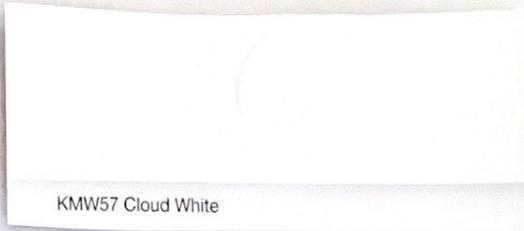
4 PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

SIDE ELEVATIONS		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPR.	11-22-21

SHEET NUMBER:
A2.1

Paint colors

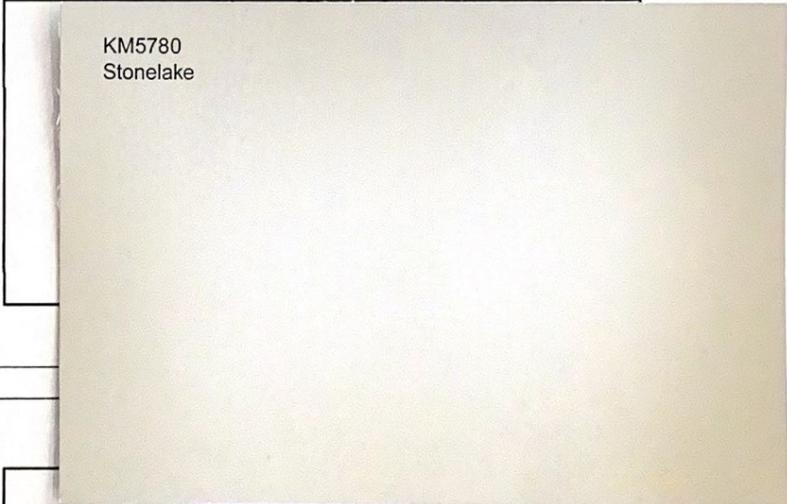
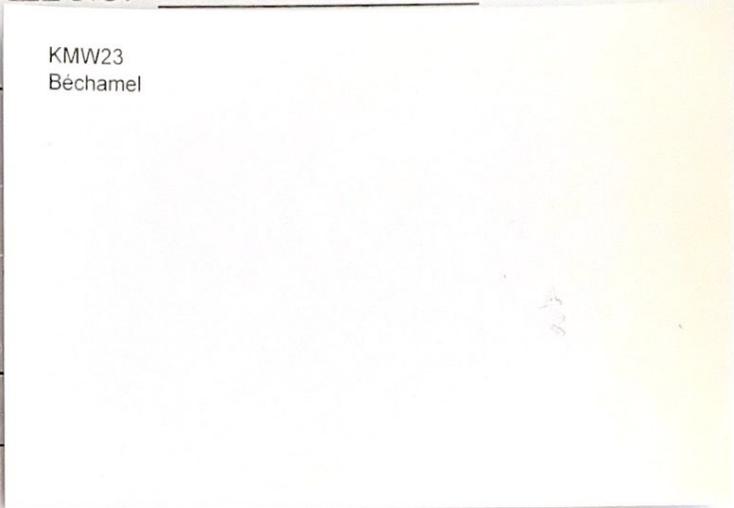
COLOR SAMPLES FOR PROJECT FILE NO. _____



Window trim

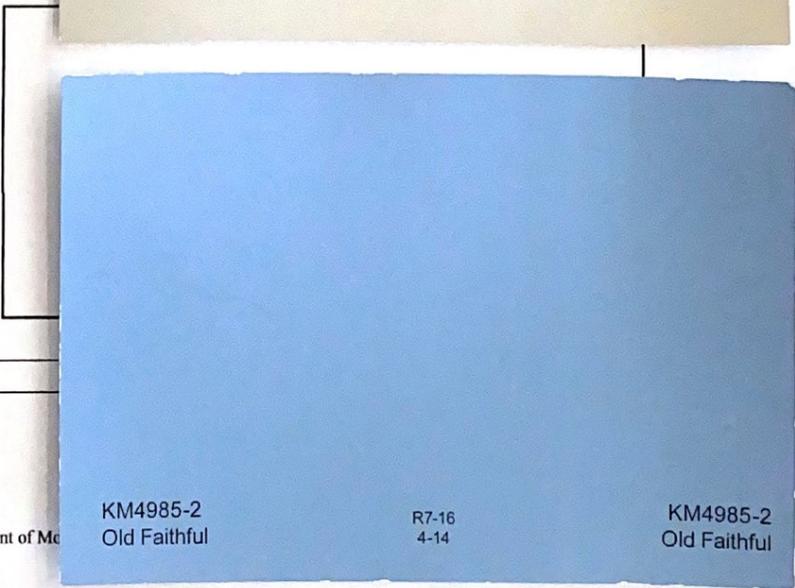
House
Color →

Materials: Woodship lap siding
Description: Paint colors



Possible
third color &
door colors
Back, side,
garage man
door

Materials: _____
Description: _____

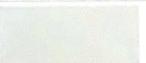


Materials: Wood Doors
Description: front door paint

Workshop

PROJECT FILE NO. _____ PHOTOGRAPHS

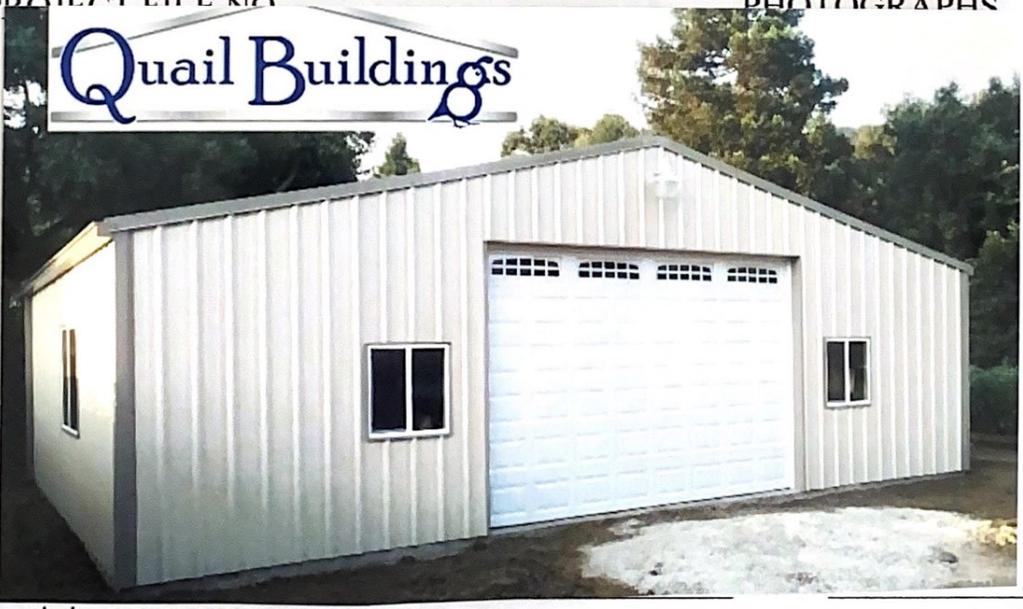
MS Colorfast45® Paint System

 Polar White (N0) SR = 0.54 TE = 0.87 SRI = 68	 Light Stone (83) X SR = 0.50 TE = 0.88 SRI = 58	 Mocha Tan (22) SR = 0.52 TE = 0.87 SRI = 60	 Antique Bronze (D4) SR = 0.36 TE = 0.88 SRI = 38
 Taupe (74) ✓ SR = 0.44 TE = 0.87 SRI = 48	 Ash Grey (25) SR = 0.37 TE = 0.88 SRI = 40	 Charcoal (17) SR = 0.36 TE = 0.87 SRI = 31	 Brown (12) SR = 0.31 TE = 0.87 SRI = 32

Shop will be light stone or taupe with white door - no windows in door

Date: _____ Site Address: _____ Planner: _____
 Description: _____

PROJECT FILE NO. _____ PHOTOGRAPHS



Description: Above Light stone with taupe trim, white door

PROJECT FILE NO. _____

PHOTOGRAPHS



Roofing
Comp shingles
Color :
Charcoal black
or
Title 24 solaris
Charcoal
black

Charcoal Black
Description: _____

te

Solaris Charcoal Black
CRRP Product ID 0668-0132

Planner: _____

PROJECT FILE NO. _____

PHOTOGRAPHS

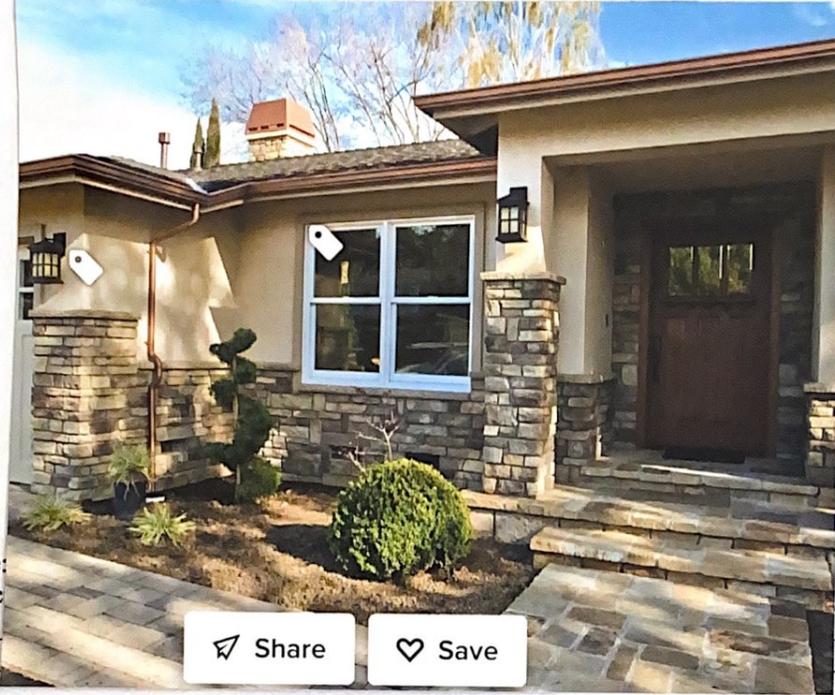


Wood color for
Arbor + other
wood features

Planner: _____

PROJECT FILE NO. _____

PHOTOGRAPHS



stone-
chimneys,
porch
+ pathways
fireplace

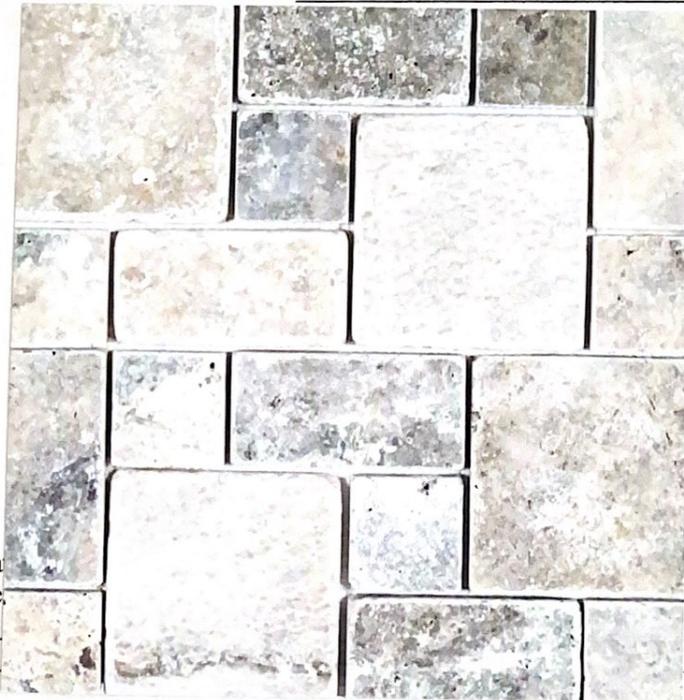
Date: _____
Desc: _____

Share

Save

PROJECT FILE NO. _____

PHOTOGRAPHS



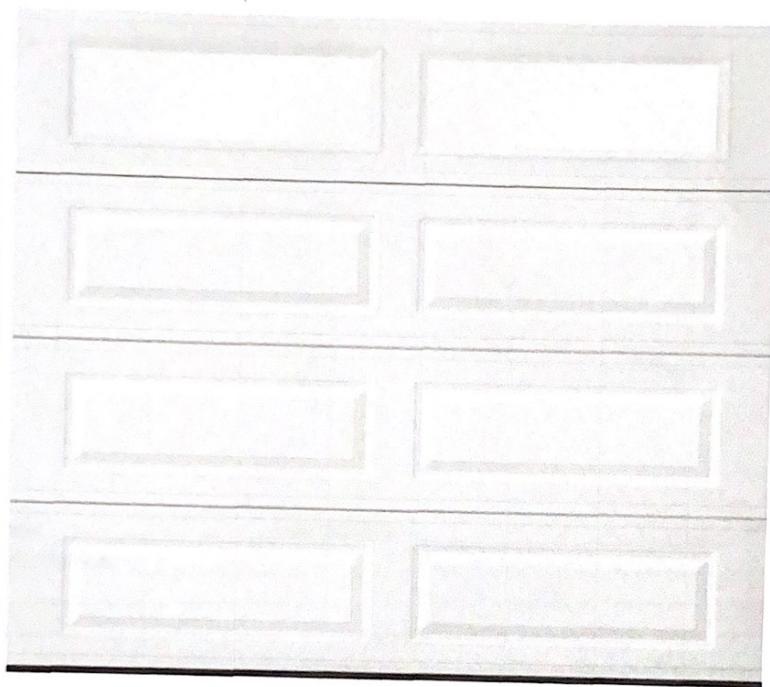
Stone design

Date: _____
Desc: _____

Planner: _____

PROJECT FILE NO. _____

PHOTOGRAPHS



Garage doors
Steel,
white,
frost or
clear window

or: _____

DOOR SUMMARY

Door Design: Long Panel

Windows: Frost LP

Color: True White

Construction*: Heritage HR1000

Decorative Hardware: Amarr

 Find A Dealer

Save to Favorites

Single layer steel
material

PHOTOGRAPHS

Date: _____ Site Address: _____ Planner: _____
Description: _____

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