

# Exhibit A

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# DRAFT RESOLUTION

## Before the HCD Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of:

**PLN220031 - LAZARES DAVID & CYNTHIA TRS  
RESOLUTION NO. 22 -**

Resolution by the Monterey County HCD Chief of Planning:

1. Considering the previously-certified Final Environmental Impact Report (FEIR) for the Del Monte Forest Local Coastal Program Amendment and the Pebble Beach Company (PBC) Concept Plan and finding the project consistent with the FEIR which does not warrant an addendum pursuant to Section 15162 of the CEQA Guidelines; and
2. Approving a Coastal Administrative Permit and Design Approval to allow construction of a 6,312 square foot two-story single-family dwelling, inclusive of an 816 square foot garage, and associated site improvements including an entry gate and the removal of 30 Monterey pines and Coast live oaks.

[3150 Stevenson Drive, Pebble Beach (Assessor's Parcel Number 008-023-034-000), Del Monte Forest Land Use Plan, Coastal Zone.]

**The LAZARES DAVID & CYNTHIA TRS application (PLN220031) came on for an administrative decision hearing before the Monterey County HCD Chief of Planning on October 5, 2022. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County HCD Chief of Planning finds and decides as follows:**

### FINDINGS

- 1. FINDING:**           **CONSISTENCY** – The project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:**   a) The project has been reviewed for consistency with the text, policies, and regulations in the:
- 1982 Monterey County General Plan (General Plan);
  - Del Monte Forest Land Use Plan (DMF LUP);
  - Monterey County Coastal Implementation Plan, Part 5 (DMF CIP); and
  - Monterey County Coastal Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and/or regulations of the

applicable Monterey County Code (MCC). The subject property is located within the Coastal Zone; therefore, the 2010 Monterey County General Plan does not apply.

- b) Allowed Use. The subject property is located at 3150 Stevenson Drive, Pebble Beach (Assessor's Parcel Number [APN]: 008-023-034-000), Del Monte Forest Land Use Plan, and is within Coastal Zone. The parcel is zoned Medium Density Residential, 2 units per acre, with Building Site 6 and Design Control overlays in the Coastal Zone or "MDR/2-B-6-D (CZ)". MDR zoning allows for the establishment of the first single-family dwelling as a principal use, subject to the granting of a Coastal Administrative Permit in each case. The project involves the construction of an approximately 5,496 square foot two-story single-family dwelling and an attached 816 square foot three-car garage. The project also includes 808 square feet of covered loggias and an 2,108 square foot permeable auto court. The project results in approximately 1,080 cubic yards of cut, 50 cubic yards of fill, and the removal of 30 native trees (19 Monterey pines and 11 Coast live oaks); however, approval for tree removal has been obtained through the creation of the residential lot (see Finding 5). Therefore, the development is an allowed use for this site.
- c) Lot Legality. The subject property (28,314 square feet in size), APN 008-023-034-000, is identified as Lot 13 of Tract 1536 on a Recorded Map entitled "Del Monte Forest Plan – Spyglass 1 (Area L), recorded in January 2018 (Volume 24, Cities & Towns, Page 58). Therefore, the County recognizes the subject property as a legal lot of record.
- d) Design. Pursuant to Title 20, Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The single-family dwelling and attached garage will have exterior colors and materials that consist of beige smooth stucco and cream colored stone exteriors, black metal clad wood doors and windows, dark gray standing seam metal roof and glass guardrails. The proposed fence and entry gate along the front property line (abutting Stevenson Drive) will consist of stone columns and vertical cedar planks. The homes within the Pebble Beach area are eclectic in architecture, ranging from modern to California-ranch and Spanish styles homes. The exterior finishes blend with the surrounding environment and are consistent with the surrounding residential neighborhood character. Retained Pine and Oak trees will also continue to surround the property and shield the development from any public views. The project, as designed and sited, assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.
- e) Visual Resources. The project is consistent with DMF LUP policies for the protection of scenic and visual resources. As depicted on DMF LUP Figure 3, Visual Resources, the subject property is not located within the public view shed. A site visit on September 21, 2022 confirmed that the proposed residence is not visible from 17-

Mile Drive due to location and existing topography. Also see Evidence “d” above.

- f) Review of Development Standards. The project meets all required development standards. The development standards for the Building Site or “B” District are identified in Title 20, Section 20.42.030. Development within this district shall meet the required setbacks unless otherwise indicated on a recorded final map. For the subject property, the recorded final map identifies a building envelope which consists of a front setback of 20 feet, and 10 feet for the sides and rear setbacks. As proposed, the single-family dwelling is located entirely within the building envelope with setbacks of approximately 30 feet (front), 11 feet (rear), and 10 feet and 40 feet (sides, north and south, respectively). The proposed main structure will have a height of 25.75 feet, which is below the maximum allowed height for main structures within MDR zoning district (27 feet).

The allowed maximum site coverage and floor area ratio (FAR) is 25%. The subject property is 28,314 square feet, which allows site coverage and FAR of 7,078.5. The project results in structural site coverage of 5,045 square feet (19%) and floor area of 6,312 square feet (22%).

- g) Combined Structural and Impervious Surface Coverage. The subject property is located within the Seal Rock Watershed, a designated watershed as shown on the DMF LUP, Figure 2b. Therefore, site structural and impervious surface coverage are limited to 9,000 square feet per DMF LUP Policy 77. The project results in an impervious surface coverage of 5,753 square feet and is therefore consistent with Policy 77.
- h) Driveway. DMF LUP Policy 1 and CIP Section 20.147.090.A.2 (Land Use and Development) require new residential driveways to minimize surface length and width and provide simple and direct access. The new driveway will provide direct access from Stevenson Drive. The auto court has been appropriately sized to minimize tree removal, provide emergency vehicle turnaround and spacing for vehicles backing out of the proposed garage, and include one guest parking spot. In this case, the driveway and auto court provide access in the most simple and direct location that minimizes surface length and width, while also minimizing impacts to existing trees. As proposed, the development achieves the policy goal of providing simple and direct access to the property, as well as providing adequate fire and emergency response access. Therefore, the driveway meets the requirements of Policy 1.
- i) Cultural Resources. DMF CIP Section 20.147.080.B.1 states that an archaeological survey report shall be required for all development within a known or potential archaeological resource area. According to the Monterey County Geographic Informational System (GIS), the subject property has a high archaeological sensitivity and is not within 750 of a known archeological resource. Previous archaeological reports prepared for Area L (LIB100404 and LIB100268), most recently for the PBC Concept Plan, concluded that there is no surface evidence of potentially significant archaeological

resources. The potential for inadvertent impacts to cultural resources is limited and will be controlled by use of the County's standard condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.

- j) Public Access. As demonstrated in Finding 7, the development is consistent with public access policies of the DMF LUP.
- k) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in HCD-Planning File No. PLN220031.

**2. FINDING: SITE SUITABILITY** - The site is physically suitable for the proposed use.

- EVIDENCE:**
- a) The project includes construction of a single-family dwelling and accessory dwelling unit in a residential neighborhood.
  - b) The project was reviewed by Housing and Community Development (HCD)-Planning, Pebble Beach Community Services District (CSD Fire Protection District), HCD-Development Services, HCD-Environmental Services and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
  - c) The following technical report has been prepared:
    - Tree Assessment/Forest Management Plan (LIB220147) prepared by Frank Ono, Monterey, CA on April 21, 2021, and amended on August 10, 2022.
    - Soil Engineering Investigation (LIB220146) prepared by Belinda Taluban, Salinas, CA, on February 8, 2022.

Upon independent review, staff concurs with conclusions of the report. There are no physical or environmental constraints that render the site unsuitable for the use proposed.

- d) Staff conducted a site inspection on September 21, 2022 and confirmed the site is suitable for implementation of the proposed development.
- e) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220031.

**3. FINDING: HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, Pebble Beach CSD Fire Protection District, HCD-Development Services, HCD-Environmental Services, and Environmental Health Bureau, and conditions have been recommended, where appropriate, to ensure that

the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

- b) All necessary public facilities are available to the subject property. Sewer service will be provided by the Pebble Beach Community Services District (PBCSD). The PBCSD wastewater collection and treatment system has adequate remaining capacity for sewage disposal, which then transfers wastewater to the Carmel Area Wastewater District treatment facility. Potable water will be provided by the California American Water Company using water credits purchased from Pebble Beach Company (PBC), and which were allocated for development of properties approved under the PBC Concept Plan (HCD-Planning File No. PLN100138). The Pebble Beach Company has granted the subject property a Water Entitlement of 0.50-acre feet per year (Document No. 2021074900), which is adequate to serve the project.
- c) The project results in grading of approximately 1,080 cubic yards of cut and 50 cubic yards of fill. Approximately 1,030 cubic yards of cut will be exported off-site to the Monterey Regional Waste Management. The attached plans include a Construction Management Plan which minimizes traffic on public roads to and from the project site and identifies the hours of operation, duration of construction and location of on-site/off-site parking for construction personnel.
- d) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in HCD-Planning File No. PLN220031.

**4. FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
  - b) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220031.

**5. FINDING:** **TREE REMOVAL** – The siting, location, size and design has been established to minimize tree removal and has been limited to that required for the overall health and long-term maintenance of the property.

- a) The previously approved PBC Concept Plan (HCD-Planning File No. PLN100138; Board Resolution Nos. 12-148 and 12-149) allows the build-out development and preservation of remaining undeveloped PBC properties located within the DMF Coastal Zone. The Spyglass 1 Subdivision (Area L), a standard subdivision of 15 residential lots, three preservation areas and natural drainage easements, and two roadway and public utilities easements, was one of the approved sub-projects under PLN100138. The approval of the Concept Plan included a Coastal Development Permit to allow tree removal; therefore, subsequent Coastal Development Permits to allow tree

removal are not required provided the proposed development is consistent with the parameters of the Concept Plan.

- b) The tree removal proposed as part of the Concept Plan was also analyzed in the Final EIR (SCH#2011041028) and mitigated for off-site tree preservation. The Final EIR analysis presumed a development impact area on each residential lot of up to 15,000 square feet of structural, hardscape, and landscape development. Additionally, DMF CIP, Section 20.147.050.C.4 (Forest Resources), requires proposed development projects to be sited and designed to minimize the removal of trees.
- c) The project results in the removal of 30 native trees (19 Monterey pines and 11 Coast live oaks), which are due to construction related impacts and poor conditions. No build alternative was considered because of the limited buildable area. The buildable area of this lot is constrained to the 0.24 acre building envelope, whereas all other building envelopes of Area L range between 0.35 and 0.70 acres. Therefore, the development has been sited in the most feasible location to avoid any slopes, meet setbacks, and minimize tree removal. The resulting removal of 30 native trees thereby minimizes tree removal to the greatest extent possible and is in conformance with the previously-certified Final EIR and the previously-approved PBC Concept Plan. Therefore, in this case, the development is consistent with the parameters of the PBC Concept Plan and a subsequent Coastal Development Permit to allow tree removal is not required. All tree removal has been mitigated for through the Final EIR associated with PLN100138 and therefore replanting is not a requirement.
- d) In accordance with the prepared Arborist report (LIB220147), staff has applied the standard migratory bird nesting condition (applied as Condition No. 9) to ensure that no active raptor or migratory bird nests occur within the project site or immediate vicinity prior construction. Additionally, the standard tree and root protection condition has been applied to the project as Condition No. 5 to ensure that trees not proposed for removal are not impacted during construction or during removal of approved trees.
- e) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220031.

**6. FINDING:**

**CEQA (Consider the Previously-Certified Final Environmental Impact Report)** – The project is consistent with the previously-certified Final Environmental Impact Report (FEIR) for the Del Monte Forest Local Coastal Program Amendment and the Pebble Beach Company Concept Plan. Pursuant to Section 15162 of the CEQA Guidelines, the HCD Chief of Planning has reviewed the project, considered the FEIR, and finds that the project does not require a subsequent EIR based on the following findings:

- 1) No substantial changes are proposed in the project which will require major revisions to the previous EIR due to involvement of new significant environmental effects or a substantial increase in the severity of previously identified impacts;

- 2) No substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions to the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified effects; and
- 3) No new information of substantial importance has been provided which was not known at the time of the previous EIR.

- EVIDENCE:**
- a) Pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162, when an EIR has been certified, no subsequent EIR shall be prepared for the project unless the agency determines that substantial changes are proposed, or substantial changes occur with respect to the circumstances under which the project is undertaken. In this case, no new information has been presented to warrant further environmental review. None of the conditions described in Section 15162 calling for preparation of a subsequent EIR or negative declaration have occurred.
  - b) The Del Monte Forest (DMF) Agreement between the California Coastal Commission (CCC) and Pebble Beach Company (PBC) formed the basis for a Local Coastal Program (LCP) Amendment and development proposal, known as the PBC Concept Plan. The LCP Amendment was required to establish the regulatory framework for the development proposal, consisting of the build-out development and preservation of the remaining undeveloped PBC properties located within the Coastal Zone of the DMF. The subject parcel was part of the PBC Concept Plan development proposal.
  - c) On May 9, 2012, the CCC unanimously certified the amendment as submitted.
  - d) On May 22, 2012, the Monterey County Board of Supervisors acknowledged receipt of the CCC resolution certifying the LCP Amendment and adopted the LCP Amendment by adopting a resolution to amend the DMF Land Use Plan and adopting an ordinance to amend the Monterey County Coastal Implementation Plan.
  - e) On June 19, 2012, the Board of Supervisors certified the Final EIR (SCH# 2011041028) prepared for DMF LCP Amendment and PBC Concept Plan development proposal, pursuant to Board Resolution Nos. 12-148 and 12-149. The LCP Amendment became effective on June 22, 2012.
  - f) The project proposes residential development on an 0.65-acre lot identified in the Spyglass 1 Subdivision (Area L) as Lot 13, which was contemplated and analyzed in the certified FEIR for the LCP Amendment and the PBC Concept Plan development proposal.
  - g) The EIR contemplated residential development of the lot including removal of trees and up to 15,000 square feet of structural, hardscape, and landscape improvements. The project includes structural and impervious surfaces less than 9,000 square feet (see Finding 1, Evidence “g”). In accordance with the PBC Concept plan, the LCP Amendment and the FEIR, a non-standard condition of approval has been applied to ensure landscaping on the parcel does not exceed 6,000 square feet (Condition No. 10). Tree removal proposed as part

of this project was analyzed in the Final EIR and mitigated for off-site replacement (see Finding 5). No mitigation measures from the Final EIR are required to be applied to this project. There has been no change in the project and no indication during review of the project, or in testimony from the public, that circumstances have changed since the EIR was certified.

- h) The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a new significant effect, or development that would result in a new cumulative significant impact.
- i) No adverse environmental effects were identified during staff review of the development application, and there are not any significant adverse impacts associated with this project that have not been adequately mitigated in the conditions of the PBC Concept Plan.
- j) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220031.

**7. FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in DMF CIP, Section 20.147.130 can be demonstrated.
  - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
  - c) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 8, Major Public Access and Recreational Facilities, in the DMF LUP).
  - d) The subject project site is not identified as an area where the Local Coastal Program requires visual public access (Figure 3, Visual Resources, in the DMF LUP).
  - e) Based on the project location, and its topographical relationship to visual public access points in the area, the development proposal will not interfere with visual access along 17-Mile Drive or from Point Lobos. Consistent with DMF LUP Policies 123 and 137, the proposed development will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity.
  - f) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220031.

**8. FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20, Section 20.86.030, an appeal may be made to the Board of Supervisors by any public

agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

- b) Coastal Commission. Pursuant to Title 20, Section 20.86.080.A, the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea (i.e., State Route/Highway 1).

## DECISION

**NOW, THEREFORE**, based on the above findings and evidence, the Chief of Planning for the Housing and Community Development does hereby:

1. Consider the previously-certified Final Environmental Impact Report (FEIR) for the Del Monte Forest Local Coastal Program Amendment and the Pebble Beach Company (PBC) Concept Plan and finding the project consistent with the FEIR which does not warrant an addendum pursuant to Section 15162 of the CEQA Guidelines; and
2. Approve a Coastal Administrative Permit and Design Approval to allow construction of a 6,312 square foot two-story single-family dwelling, inclusive of an 816 square foot garage, and associated site improvements including an entry gate and the removal of 30 Monterey pines and Coast live oaks.

All of which are in general conformance with the attached plans and subject to 11 conditions, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 5<sup>th</sup> day of October, 2022.

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Craig Spencer  
Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON \_\_\_\_\_.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE \_\_\_\_\_.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

### NOTES

1. You will need a construction permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no construction permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

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# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220031

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Coastal Administrative Permit and Design Approval to allow construction of a 6,312 square foot two-story single family dwelling inclusive of an 816 square foot three-car garage and associated site improvements including an entry gate and the removal of 30 Monterey Pine & Coast Live Oak trees. The property is located at 3150 Stevenson Drive, Pebble Beach (Assessor's Parcel Number 008-023-034-000), Del Monte Forest Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"An Administrative Permit (Resolution Number \_\_\_\_\_) was approved by the HCD-Chief of Planning for Assessor's Parcel Number 008-023-034-000 on October 5, 2022. The permit was granted subject to 11 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

### 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(RMA - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

### 4. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

## 5. PD011 - TREE AND ROOT PROTECTION

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

## 6. PW0045 – COUNTYWIDE TRAFFIC FEE

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

## 7. PD011(A) - TREE REMOVAL

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

**Compliance or Monitoring Action to be Performed:** Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

## 8. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

## 9. PD050 - RAPTOR/MIGRATORY BIRD NESTING

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

## 10. LANDSCAPE LIMITATION (NON-STANDARD)

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to the EIR certified for the Pebble Beach Company Concept Plan and the Del Monte Forest Local Coastal Plan Amendment (Planning File No. PLN100138), the environmental analysis is based on a total development footprint of 15,000 square feet per lot - comprised of 9,000 square feet of structural and hardscape coverage, and 6,000 square feet of landscaping. Therefore, landscaping on the subject lot shall be limited to no more than 6,000 square feet. Aside from the 15,000 square feet of allowed development footprint, all areas of the lot shall remain as native Monterey pine forest habitat. (HCD-Planning)

**Compliance or Monitoring Action to be Performed:** On an on-going basis, landscaping on the subject lot shall be limited to no more than 6,000 square feet.

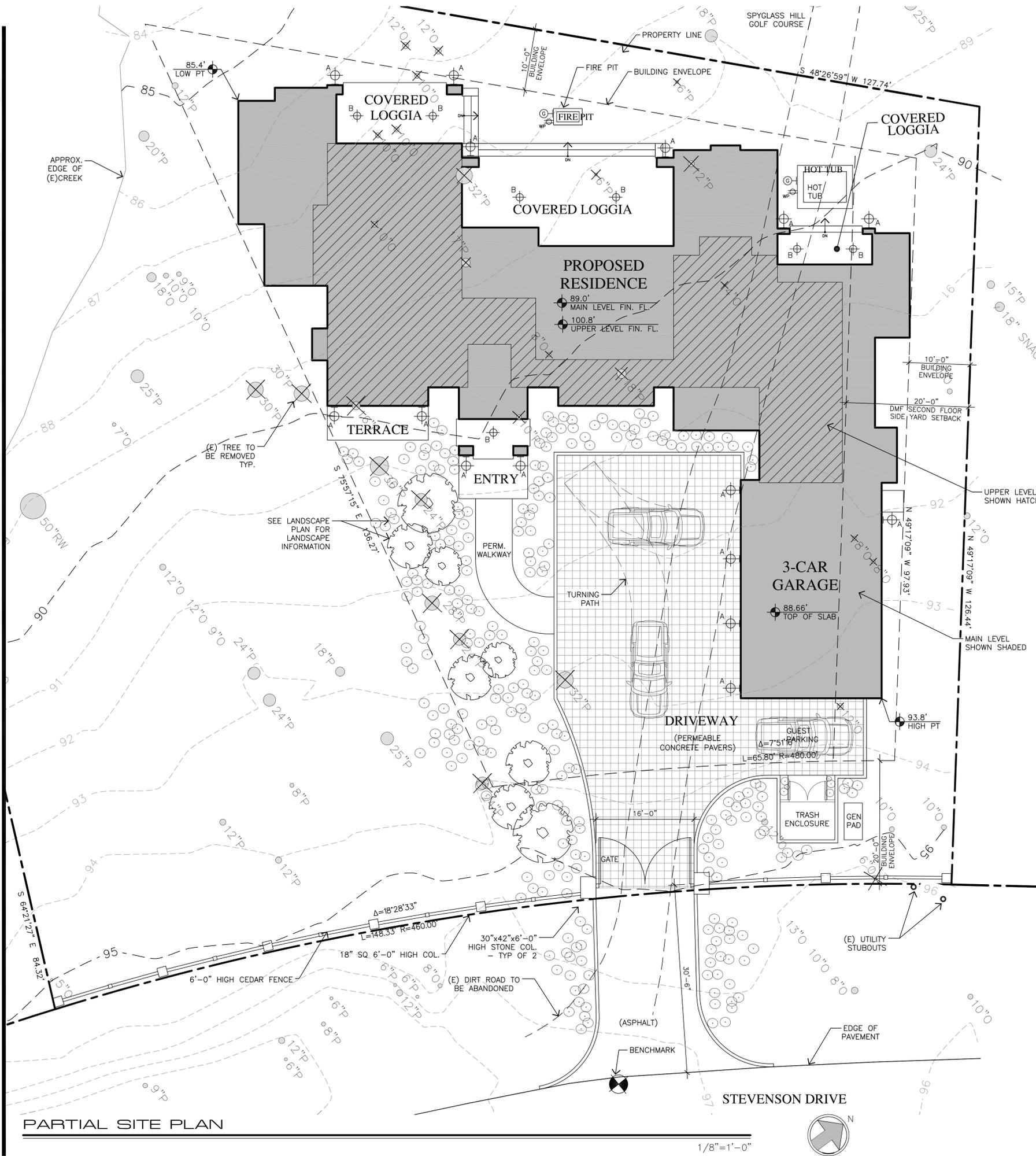
## 11. STORMWATER CONTROL PLAN – AREA L

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a stormwater control plan with supporting calculations, prepared by a registered civil engineer, that includes stormwater detention facilities designed to limit the 100-year post-development runoff rate to the 10-year pre-development runoff rate. The stormwater control plan shall include metered release and overflow with erosion control at the outlet. Improvements shall be constructed in accordance with plans approved by HCD-Environmental Services. (HCD-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any grading or construction permits, the applicant shall submit a stormwater control plan and supporting calculations, prepared by a registered civil engineer, to HCD-Environmental Services for review and approval.

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PARTIAL SITE PLAN

1/8"=1'-0"

PLANNING INFO.

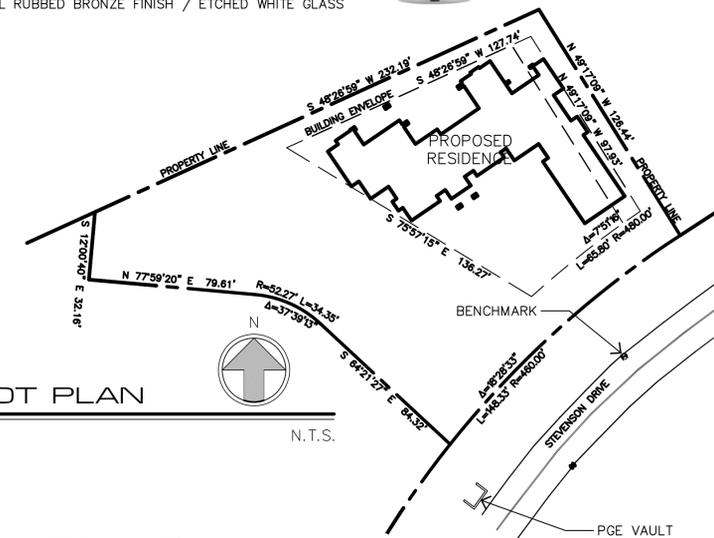
- PROPERTY OWNER: DAVE AND CYNTHIA LAZARES  
16995 LARK AVE  
LOS GATOS, CA 95032
- PROJECT ADDRESS: 3150 STEVENSON DRIVE  
PEBBLE BEACH, CA. 93953
- PROJECT SCOPE: NEW 2 STORY 5,496 SQ. FT. RESIDENCE WITH 816 SQUARE FOOT 3 CAR GARAGE AND 808 SQ. FT. COVERED LOGGIAS; PERMEABLE CONCRETE PAVER DRIVEWAY AND MOTOR COURT; NEW HOT TUB; NEW FIRE PIT; NEW GATE AND FENCE.
- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N.: 008-023-034
- LEGAL DESC.: LOT: 13 BLOCK:
- ZONE: MDR/2-B-6-D(CZ)
- STORIES: 2
- MAX BLDG. HT: 27 FT
- GRADING: SEE CIVIL DRAWINGS
- TREE REMOVAL: SEE ARBORIST REPORT
- TOPOGRAPHY: SLOPING
- PROJECT CODE COMPLIANCE: 2019 CBC, CMC, CPC, CFC, CEC, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA GREEN BUILDING CODE & 2016 CALIFORNIA ENERGY CODE
- LOT AREA: 28,314 S.F. (0.65 AC)
- LOT COVERAGE CALCULATIONS:
 

PROPOSED BUILDING	4,597
COVERED LOGGIAS	808
TOTAL BUILDING	5,405
- LOT BUILDING COVERAGE ALLOWED: 7,078.5 SF (25%)
- LOT BUILDING COVERAGE PROPOSED: 5,405 SF (19%)
- IMPERVIOUS LOT COVERAGE: 373 SF
- TOTAL LOT COVERAGE: 5,753 SF (20.3%)
- TOTAL LOT COVERAGE ALLOWED: 9,000 SF (31.8%) (PESCADERO WATERSHED)
- F.A.R. CALCULATIONS:
 

PROPOSED MAIN BUILDING	
MAIN FLOOR	3,764
UPPER FLOOR	1,732
GARAGE	816
TOTAL	6,312
- F.A.R. ALLOWED: 7,078.5 SF (25%)
- F.A.R. PROPOSED: 6,312 SF (22%)
- PARKING REQUIRED: 4
- PARKING PROVIDED: 4

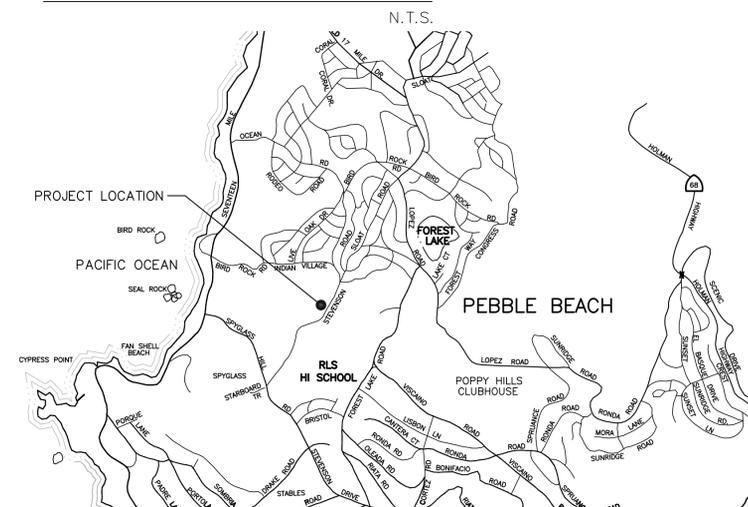
LIGHTING LEGEND

- ⊕ FIXTURE 'A': MINKA GEORGE KOVACS LIGHTING 'HEDGE' SURFACE MOUNT WALL LIGHT LED 15W W/ PHOTO CONTROL SENSOR TEXTURED DORIAN BRONZE FINISH / ETCHED WHITE GLASS
- ⊕ FIXTURE 'B': GENERATION LIGHTING 'SUNSET DRIVE' SURFACE MOUNT CEILING LIGHT LED 9.3W W/ PHOTO CONTROL SENSOR OIL RUBBED BRONZE FINISH / ETCHED WHITE GLASS



PLOT PLAN

VICINITY MAP



JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE  
PACIFIC GROVE CA.  
93950

PH: (831) 646-1261  
FAX: (831) 646-1290  
EMAIL: idgidg-inc.net  
WEB: idgidg-inc.net

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STAMPS:

PROJECT/CLIENT:

LAZARES  
RESIDENCE

PROJECT ADDRESS:

3150 STEVENSON DR  
PEBBLE BEACH, CA  
93953

APN: 008-023-034

DATE: MAY 14, 2022

PLANNING SUBMITTAL

REVISIONS:

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SITE  
PLAN

SHEET NO.

A1.0

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93953**

APN: 008-023-034

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PLANNING SUBMITTAL

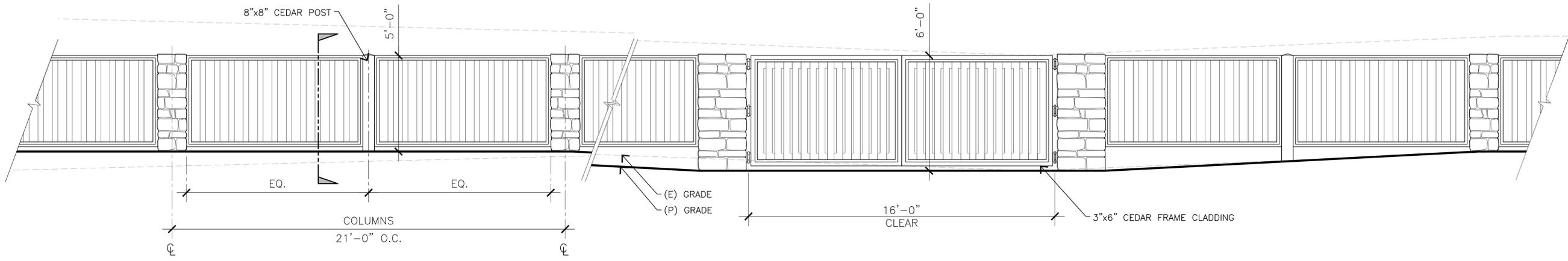
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**GATE/FENCE ELEVS  
& DETAILS**

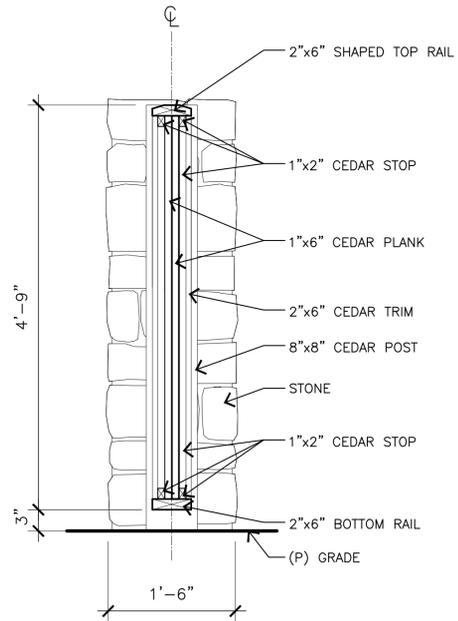
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**A1.2**



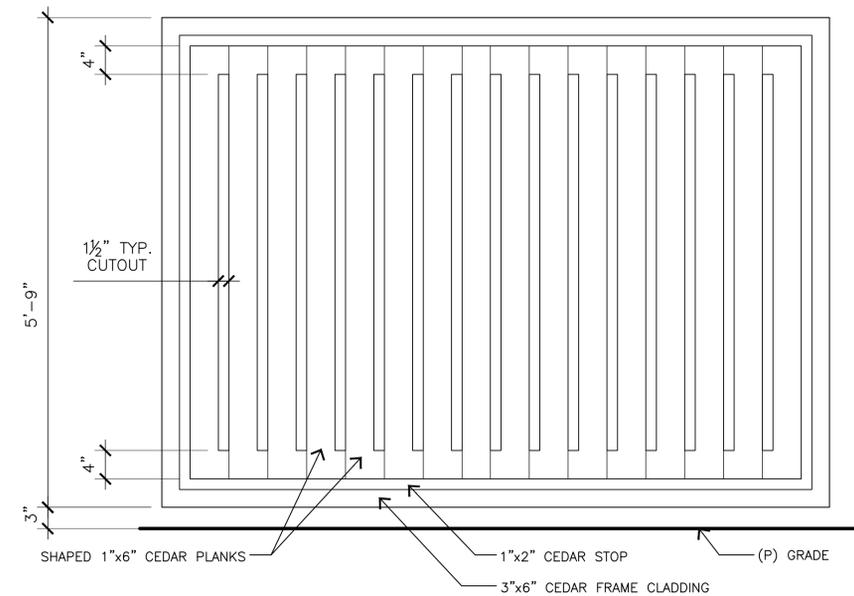
**ENTRY GATE/FENCE ELEVATION**

3/8"=1'-0"



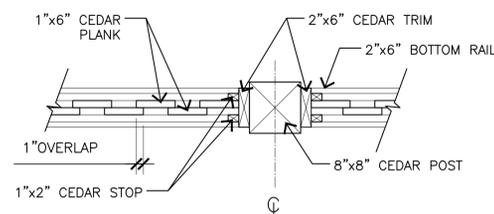
**TYPICAL SECTION - FENCE AT WALL**

1"=1'-0"



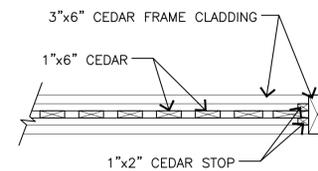
**GATE PANEL**

1"=1'-0"



**TYPICAL FENCE POST DETAIL**

1"=1'-0"



**TYPICAL GATE PANEL DETAIL**

1"=1'-0"



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STAMPS:

PROJECT/CLIENT:

**LAZARES  
RESIDENCE**

PROJECT ADDRESS:

**3150 STEVENSON DR  
PEBBLE BEACH, CA  
93953**

APN: 008-023-034

DATE: MAY 14, 2022

PLANNING SUBMITTAL

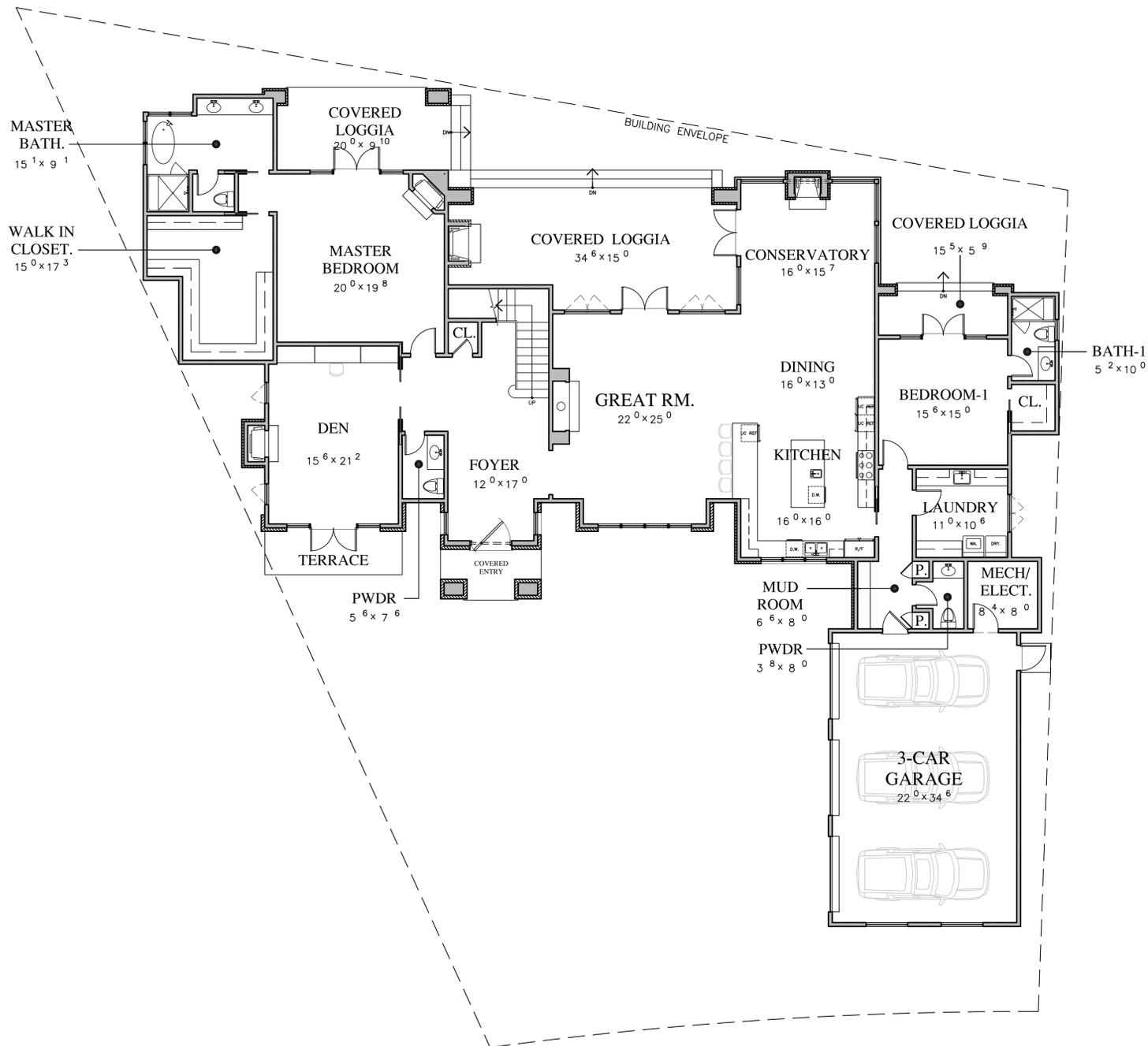
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**MAIN LEVEL  
PLAN**

SHEET NO.

**A2.0**



**MAIN LEVEL PLAN**

1/8"=1'-0"



**WALL LEGEND**

	3" STONE VENEER
	2X6 EXTERIOR STUD FRAMED WALL
	2X4 INTERIOR STUD FRAMED WALL, U.O.N.

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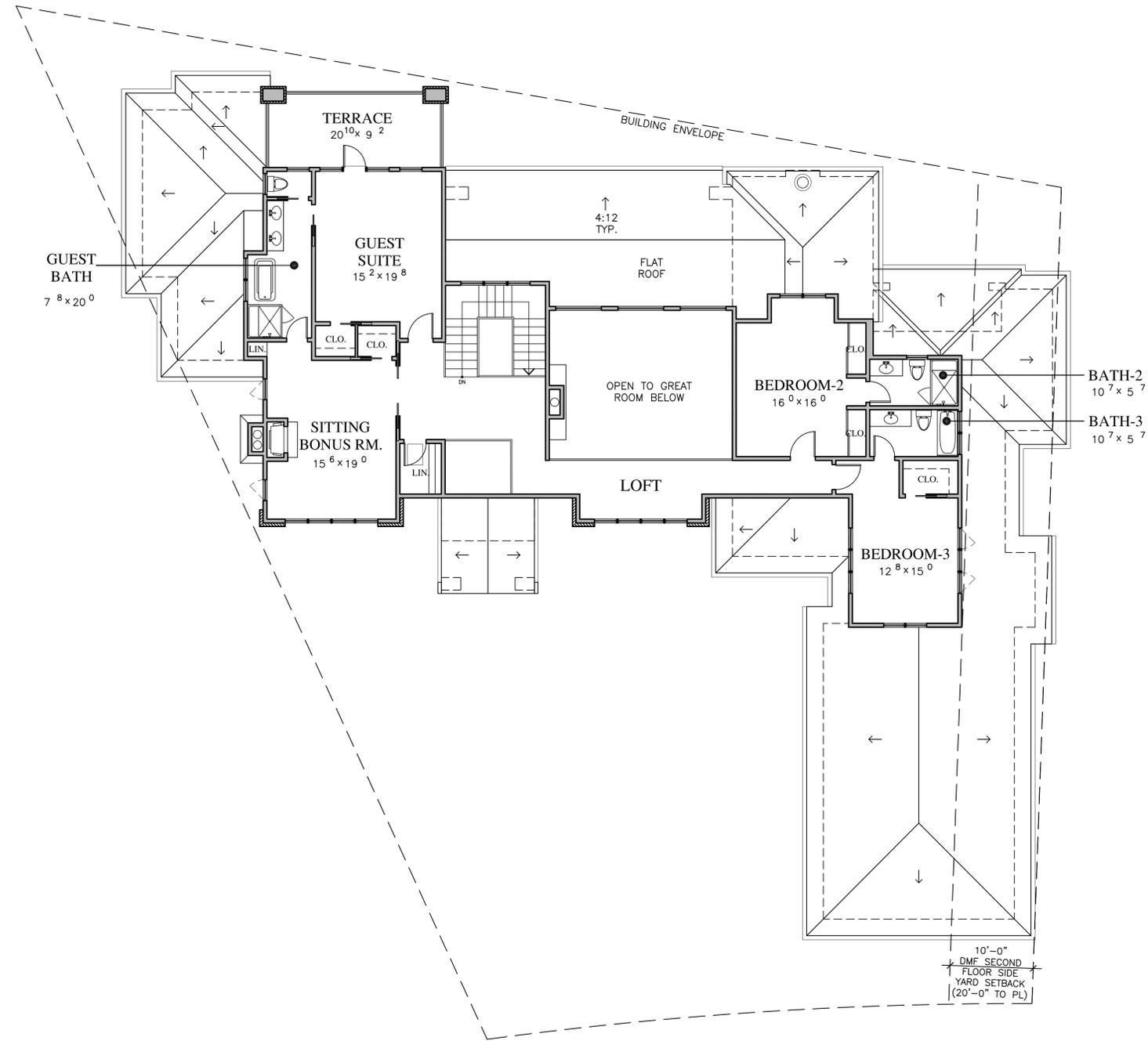
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**UPPER LEVEL  
PLAN**

SHEET NO.

**A3.0**



UPPER LEVEL PLAN

1/8"=1'-0"



**WALL LEGEND**

- 3" STONE VENEER
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

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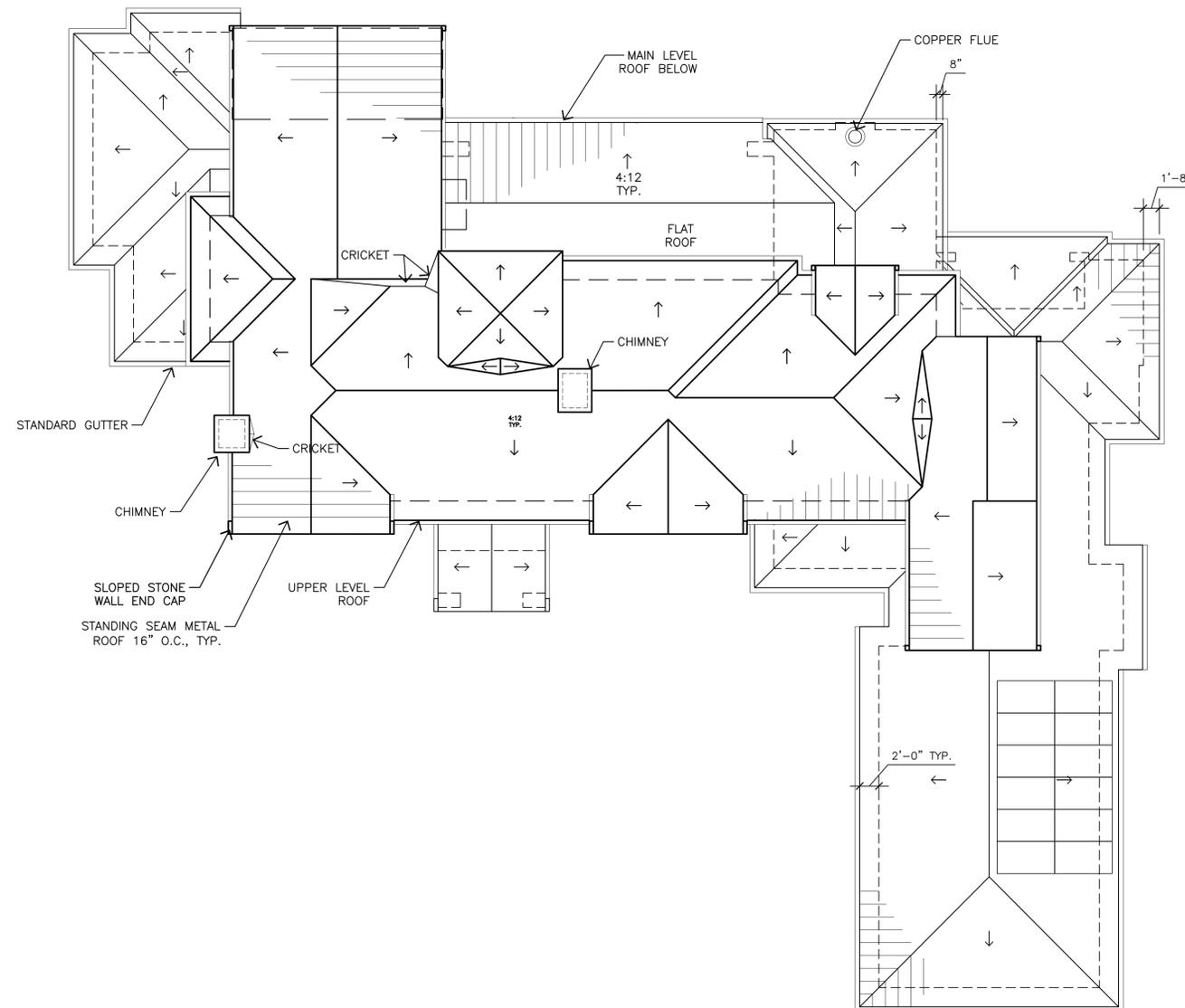
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**ROOF  
PLAN**

SHEET NO.

**A5.0**



**ROOF PLAN**

1/8" = 1'-0"



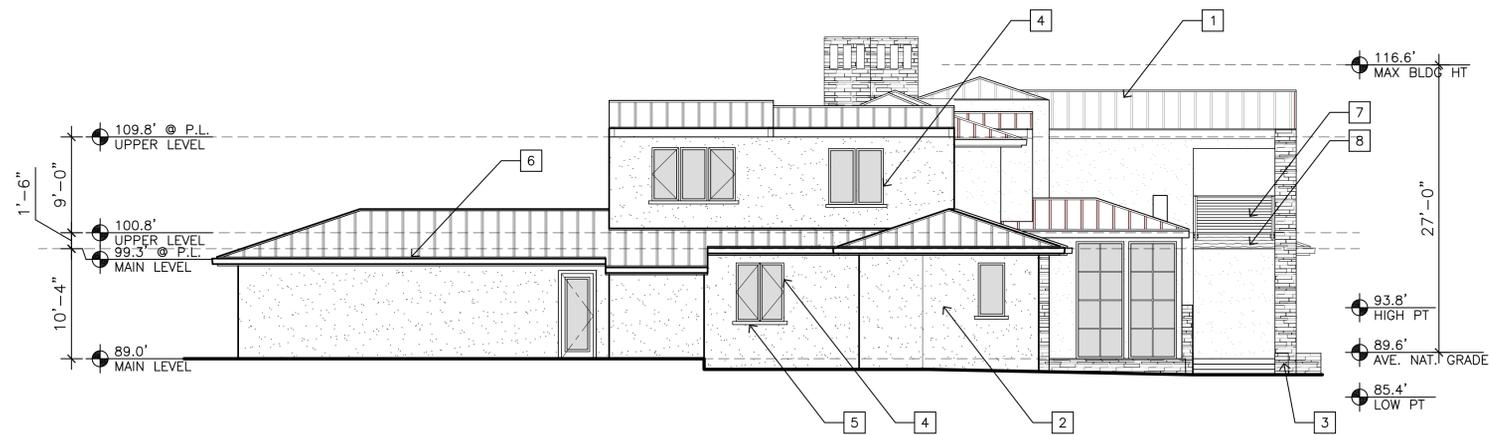
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STAMPS:



**SOUTH ELEVATION**

1/8"=1'-0"



**EAST ELEVATION**

1/8"=1'-0"

**EXTERIOR FINISH LEGEND**

- 1 CLASS A - STANDING SEAM METAL ROOF
- 2 3/8" SMOOTH STUCCO
- 3 RANDOM EXTERIOR STONE - LINEAR PATTERN
- 4 ALUMINUM FRAME EXTERIOR DOORS AND WINDOWS KOLBE AL OR EQUAL
- 5 4x4" PAINTED CEDAR SILL
- 6 METAL FASCIA GUTTER AND 2"x4" DOWNSPOUT - MATCH ROOF MATERIAL
- 7 STAINLESS STEEL CABLE RAILING
- 8 CEDAR WRAPPED BEAM

PROJECT/CLIENT:

**LAZARES  
RESIDENCE**

PROJECT ADDRESS:

**3150 STEVENSON DR  
PEBBLE BEACH, CA  
93953**

APN: 008-023-034

DATE: MAY 14, 2022

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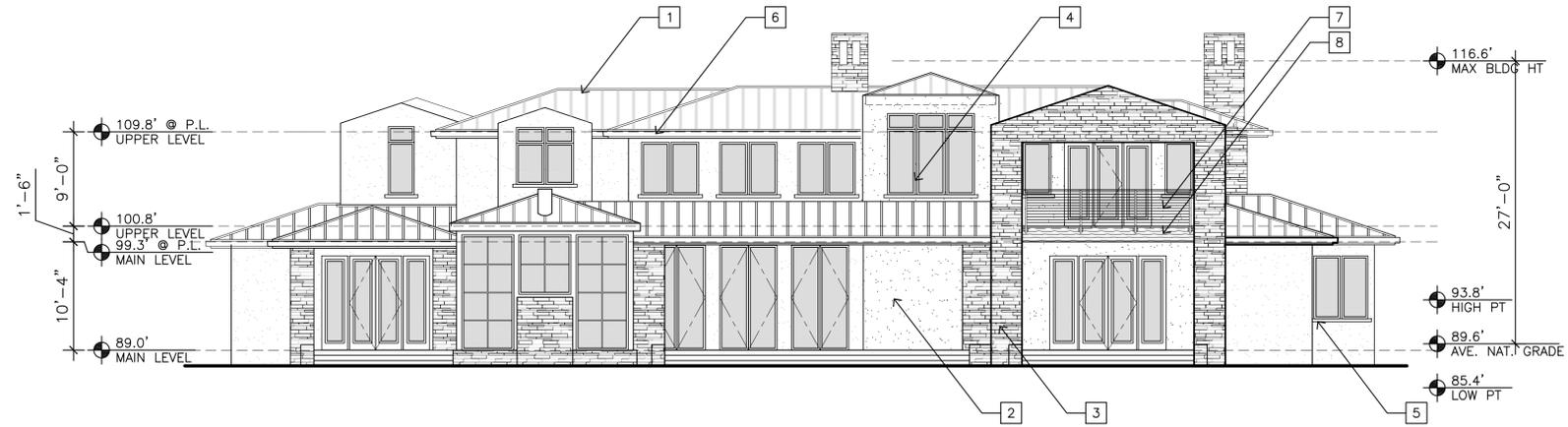
**ELEVATIONS**

SHEET NO.

**A6.0**

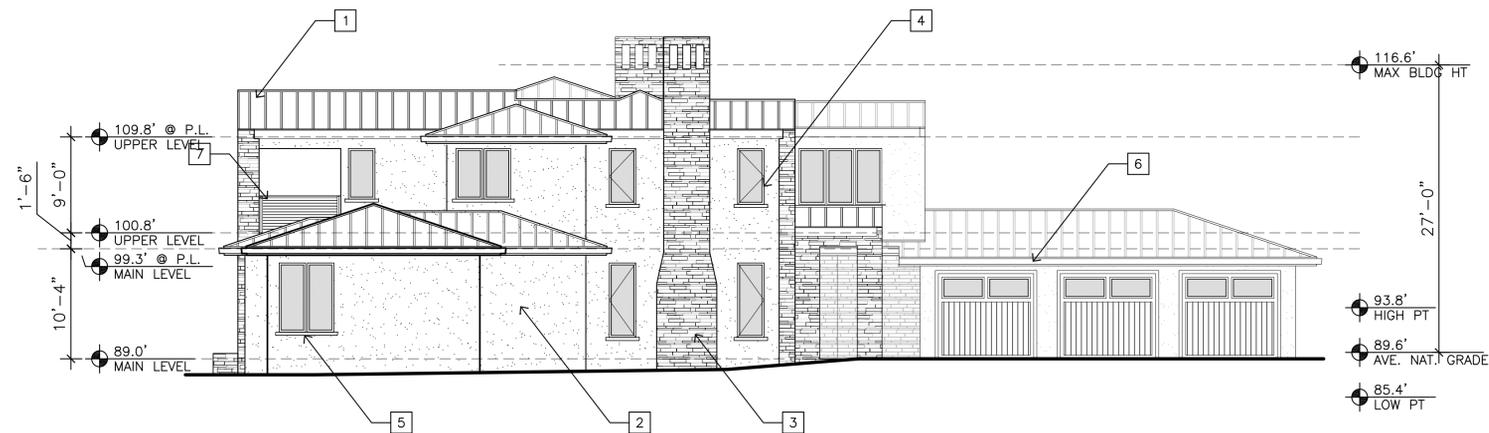
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STAMPS:



**NORTH ELEVATION**

1/8"=1'-0"



**WEST ELEVATION**

1/8"=1'-0"

**EXTERIOR FINISH LEGEND**

- 1 CLASS A - STANDING SEAM METAL ROOF
- 2 3/8" SMOOTH STUCCO
- 3 RANDOM EXTERIOR STONE - LINEAR PATTERN
- 4 ALUMINUM FRAME EXTERIOR DOORS AND WINDOWS KOLBE AL OR EQUAL
- 5 4x4" PAINTED CEDAR SILL
- 6 METAL FASCIA GUTTER AND 2"x4" DOWNSPOUT - MATCH ROOF MATERIAL
- 7 STAINLESS STEEL CABLE RAILING
- 8 CEDAR WRAPPED BEAM

PROJECT/CLIENT:

**LAZARES  
RESIDENCE**

PROJECT ADDRESS:

**3150 STEVENSON DR  
PEBBLE BEACH, CA  
93953**

APN: 008-023-034

DATE: MAY 14, 2022

PLANNING SUBMITTAL

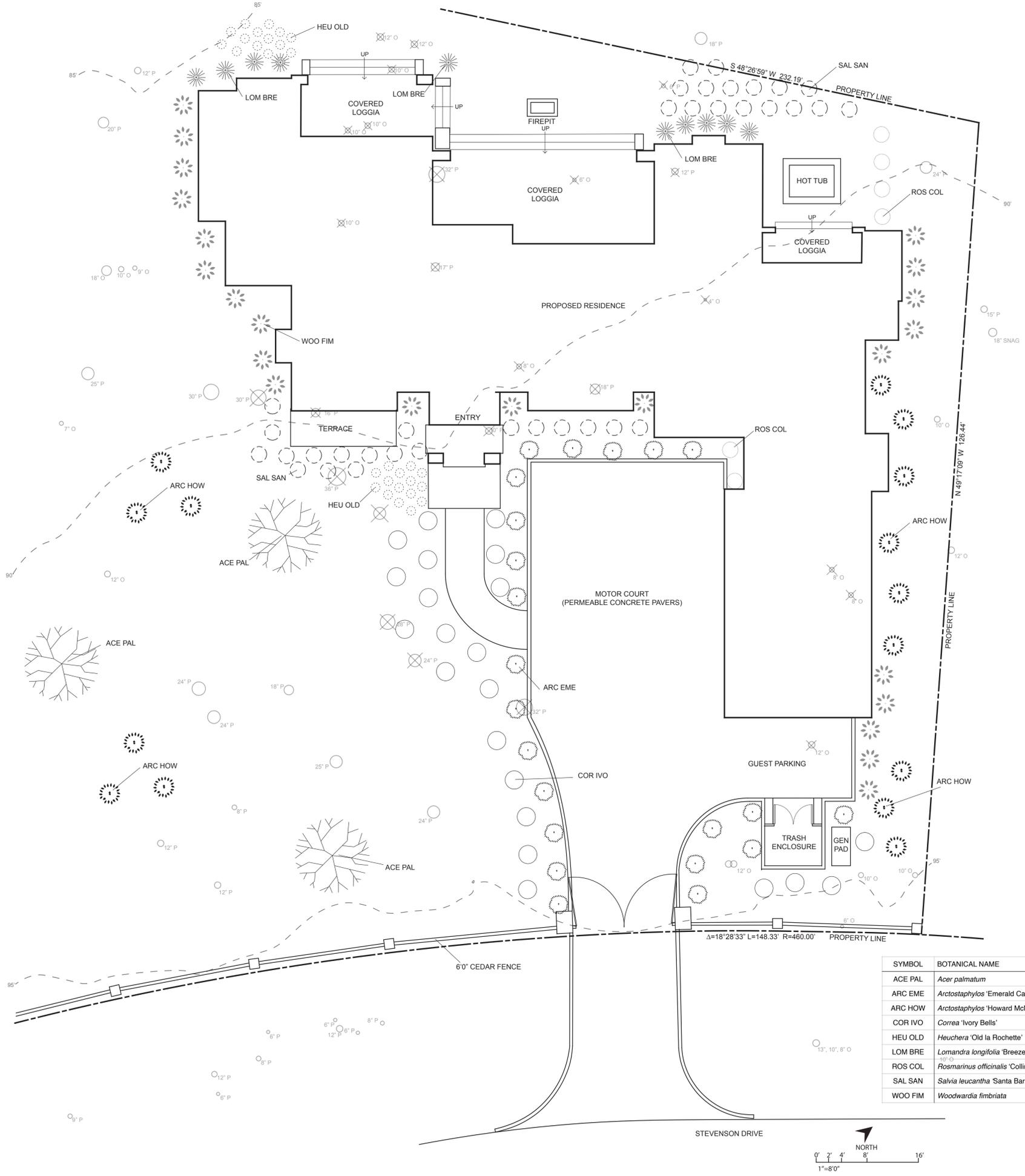
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**ELEVATIONS**

SHEET NO.

**A6.1**



**LANDSCAPE AREA:**  
 EACH PLANT HAS ITS OWN, APPROPRIATELY SIZED, DRIP EMITTER AND THEREFORE LANDSCAPE AREA IS CALCULATED PER PLANT.  
 THIS IS CALCULATED BY THE FOLLOWING GUIDELINES

4" PLANT =	4 SQUARE FOOT
1 GALLON PLANT =	4 SQUARE FEET
5 GALLON PLANT =	6 SQUARE FEET
24" BOX TREE=	12 SQUARE FEET
36" BOX TREE=	14 SQUARE FEET

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	WUCOLS
ACE PAL	<i>Acer palmatum</i>	Japanese Maple	3	24" box	Med
ARC EME	<i>Arctostaphylos 'Emerald Carpet'</i>	Emerald Carpet Manzanita	22	5 gal	Low
ARC HOW	<i>Arctostaphylos 'Howard McMinn'</i>	Howard McMinn Manzanita	15	5 gal	Low
COR IVO	<i>Correa 'Ivory Bells'</i>	Ivory Bells Fuschia	22	5 gal	Low
HEU OLD	<i>Heuchera 'Old la Rochette'</i>	Old La Rochette Coral Bells	29	1 gal	Med
LOM BRE	<i>Lomandra longifolia 'Breeze'</i>	Dwarf Mat Rush	10	5 gal	Low
ROS COL	<i>Rosmarinus officinalis 'Collingwood Ingram'</i>	Collingwood Ingram Rosemary	6	5 gal	Low
SAL SAN	<i>Salvia leucantha 'Santa Barbara'</i>	Santa Barbara Sage	34	5 gal	Low
WOO FIM	<i>Woodwardia fimbriata</i>	Giant Chain Fern	23	5 gal	Low

**SCOPE OF WORK:**

THIS IS NEW LANDSCAPE WITH A DRIP IRRIGATION SYSTEM RUN BY A SMART CONTROLLER.

**PROJECT INFORMATION:**

OWNER: DAVE AND CINDY LAZARES  
 SITE: 3150 STEVENSON DRIVE, PEBBLE BEACH, CA 93953.  
 APN: 008-023-034  
 TOPOGRAPHY: SLOPING  
 TREE REMOVAL: SEE SITE PLAN  
 GRADING: SEE GRADING PLAN

**XERISCAPE PRACTICES:**

1. LOW WATER USE, DROUGHT TOLERANT PLANTS
2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS
3. DRIP IRRIGATE ALL PLANT MATERIAL
4. INSTALLATION OF RAIN SENSOR

**LANDSCAPING STATEMENT:**

I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

**BUILDING DEPARTMENT NOTES:**

PERMITS & INSPECTIONS:  
 THE CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS FOR THE WORK AND GIVE THE OWNER TIMELY NOTICE OF INTENT TO EACH INSPECTION.

**CODES:**

ALL MATERIAL, WORKMANSHIP AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE 2016 EDITION OF THE CBC AND LOCAL BUILDING CODES.

NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED WATER.

CONTRACTOR TO USE AUTO SHUT-OFF NOZZLES ON ANY WATER HOSES USED ON THE PROJECT.

**LAYOUT NOTES:**

ANNOTATED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS.

**FIRE SAFETY NOTES:**

ALL NON IRRIGATED BRUSH TO BE KEPT AT GROUND LEVEL FOR AN AREA OF 50' SURROUNDING THE PROPOSED RESIDENCE.

TREES TO BE CLEARED OF DEAD LIMBS WITHIN A 50' RADIUS OF THE PROPOSED RESIDENCE. ANY TREE LIMBS WITHIN 10' OF A CHIMNEY WILL BE REMOVED.

ANY TREE WORK INCLUDING PRUNING OR REMOVAL TO REQUIRE APPROVAL OF THE CITY FORESTER.

**FUEL MANAGEMENT PLAN NOTES:**

ALL NEW PLANT MATERIAL ON PROPERTY WILL BE IRRIGATED WITH DRIP IRRIGATION. ONLY EXISTING VEGETATION ON SITE ARE MATURE TREES. ALL TREES ONSITE TO BE KEPT FREE OF DEAD WOOD.

**GREEN ZONE:** 0'-30' AWAY FROM HOUSE.

- GUIDELINES AS FOLLOWS:
- ALL DRY AND DEAD GRASS KEPT TO A HEIGHT OF 4"
  - MAINTAIN THE ROOF AND GUTTERS OF STRUCTURE FREE OF LEAVES, NEEDLES, OR OTHER DEAD VEGETATIVE GROWTH
  - MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD WOOD
  - TRIM TREE LIMBS THAT EXTEND WITHIN 10' OF THE OUTLET OF A CHIMNEY
  - TRIM DEAD PORTIONS OF TREE LIMBS WITHIN 10' FROM THE GROUND
  - REMOVE ALL DEAD FALLEN MATERIAL UNLESS IT IS EMBEDDED IN THE SOIL
  - REMOVE ALL CUT MATERIAL FROM THE AREA
  - MAINTAIN SCREEN OVER CHIMNEY OUTLET

**MANAGEMENT ZONE:** 30' - 100' AWAY FROM HOUSE.

GUIDELINES AS FOLLOWS:  
 KEEP ANY NON IRRIGATED VEGETATION LOW TO THE GROUND

**EMERGENCY VEHICLE ACCESS:**

VEHICLE ACCESS FROM CORAL DR.

**PLANTING NOTES:**

ALL LANDSCAPE AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A LITTER FREE, WEED FREE CONDITION AND ALL PLANT MATERIAL SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY GROWING CONDITION.

STAKING:  
 STAKING SHALL BE PROVIDED FOR TREES AND SHRUBS AS NEEDED. TIES TO BE LOCATED AND SIZED TO ALLOW FOR EXPANSION AND GROWTH.

MULCHING:  
 SPREAD 3" OF WOOD CHIPS OVER ALL EXPOSED PLANTING AREAS

STAGING:  
 WHEN STAGING PLANT MATERIAL ON SITE INSTALL A TEMPORARY DRIP LINE AS NEEDED.

SOIL AMENDMENT:  
 SOIL TO BE AMENDED WITH NITRIFIED REDWOOD SAWDUST COMPOST AND BE INCORPORATED AT A RATE OF AT LEAST 4 CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF 6" INTO THE LANDSCAPE AREA.



**MISSION LANDSCAPING**

P.O. BOX 875  
 PACIFIC GROVE  
 CALIFORNIA 93950

P 831 373 8293  
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 www.missionlandscaping.com  
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Landscape & General  
 Contractors C27 & B 392291  
 Landscape Architecture  
 CA Lic #5806

Project:

David and Cindy Lazares  
 3150 Stevenson Dr.  
 Pebble Beach, CA 93953.

APN: 008-023-034

Revisions:



Drawing Title:

Landscape Plan

Date: 07/17/22

Scale: 1/8" = 1'0"

Drawn By: pw

Page Number:

L1.0



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**XERISCAPE PRACTICES:**

1. LOW WATER USE, DROUGHT TOLERANT PLANTS
2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS
3. DRIP IRRIGATE ALL NON-TURF PLANT MATERIAL
4. INSTALLATION OF WEATHER SENSOR AND SMART CONTROLLER TO REGULATE EFFICIENT WATERING.
5. IRRIGATION ZONES TO BE BASED ON LIKE WATER NEEDS.

**AUTOMATIC CONTROLLER DEVICE:**

SHALL BE WALL MOUNTED AS DIRECTED BY LANDSCAPE CONTRACTOR. SERVICE TO BE 120 VOLT AC HARDWIRED PER ELECTRICAL CONTRACTOR.

**LOW VOLTAGE LIGHTING:**

TO BE INSTALLED IN ELECTRICAL CONDUIT. RUN ADDITIONAL 2" CHASES AND EXTRA WIRES AS NEEDED. LOCATE BELOW MAIN IRRIGATION LINES. SEE ELECTRICAL PLAN.

**HOSE BIBS:**

TO BE BRASS AND INSTALLED ON A 4"X4" PRESSURE TREATED POST.

**VALVE BOXES, PIPE, AND HOSE BIBS:**

ALL EXPOSED COMPONENTS OF IRRIGATION SYSTEM TO BE PURPLE IN COLOR TO SHOW IT IS RECLAIMED WATER.

**IRRIGATION NOTES:**

ALL IRRIGATION MAIN LINE TRENCHING SHALL BE A MINIMUM OF 18" MIN. BELOW FINISH AT PLANTER BEDS AND 24" MIN. BELOW PAVED SURFACES. LATERAL LINES TO BE 12" BELOW FINISH AND DRIP LINES TO BE 5" BELOW FINISH.

CONNECT IRRIGATION WATER LINE TO DOMESTIC MAIN SUPPLY VIA BACKFLOW PREVENTION DEVICE. (SEE DETAIL.)

ALL BANKS OF IRRIGATION VALVES TO BE CONNECTED TO IRRIGATION MAINLINE AFTER A GATE VALVE FOR SERVICING OF INDIVIDUAL BANKS.

**IRRIGATION DEMAND:**

14GPM AT 55 PSI STATIC UPSTREAM OF BACKFLOW PREVENTOR. VERIFY EXACT PRESSURE PRIOR TO COMMENCEMENT OF WORK.

ALL TRENCHES FOR IRRIGATION WORK TO BE LAID OUT ONSITE TO AVOID DAMAGE TO ANY EXISTING TREE ROOTS

**IRRIGATION NOTES:**

SYSTEM DESIGNED TO PREVENT LOW HEAD DRAINAGE AND NO OVERSPRAY OR RUNOFF

IRRIGATION LAID OUT TO CONFORM TO HYDROZONES INDICATED ON LANDSCAPE PLAN

SYSTEM DESIGNED TO ACHIEVE MINIMUM IRRIGATION EFFICIENCY OF .75 FOR OVERHEAD SPRAY AND .81 FOR DRIP ZONES

SYSTEM USES LOW VOLUME IRRIGATION IN MULCHED PLANTING AREAS

SYSTEM HAS MATCHED PRECIPITATION RATES FOR HEAD AND EMISSION DEVICES

THE IRRIGATION HEADS ARE LAID OUT FOR OPTIMAL SPACING

SWING JOINTS ARE USED ON ALL SPRINKLER HEADS

SYSTEM USES CHECK OR ANTI-DRAIN VALVES

SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY FOR TURF OR OTHER AREAS LESS THAN 10 FEET IN WIDTH

WHERE SPRINKLER HEADS ARE CLOSER THAN 24" TO HARDSCAPE, HARDSCAPE IS DESIGNED TO DRAIN ENTIRELY INTO LANDSCAPE

EACH VALVE IRRIGATES HYDROZONE WITH SIMILAR CONDITIONS WITH SPRINKLER HEADS AND EMISSION DEVICES THAT ARE APPROPRIATE FOR THE PLANT TYPE WITHIN THE HYDROZONE

TREES WILL BE PLACED ON SEPARATE VALVES FROM SHRUBS, GROUNDCOVERS, AND TURF WHERE FEASIBLE

DRIP EMITTERS TO BE 1 GPH UNLESS OTHERWISE NOTED

**LANDSCAPING STATEMENT:**

I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

*Patrick Wilson*

**IRRIGATION LEGEND:**

- ===== 1.5" DIA SCH. 40 PVC MAIN SUPPLY LINE
- ⊗ FEBCO BACKFLOW PREVENTION DEVICE
- ⊠ MAINLINE MASTER VALVE
- ⊞ IRRIGATION WATER METER + FLOW SENSOR
- VALVE BOX
- ⊙ RAINBIRD ESP-SMT SMART IRRIGATION CONTROLLER
- HOSE BIB
- ▼ RAINBIRD ESP RAIN SENSOR
- ⊗ GATE VALVE
- 4" SCH 40 PVC CHASE PIPE

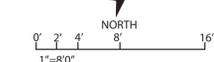
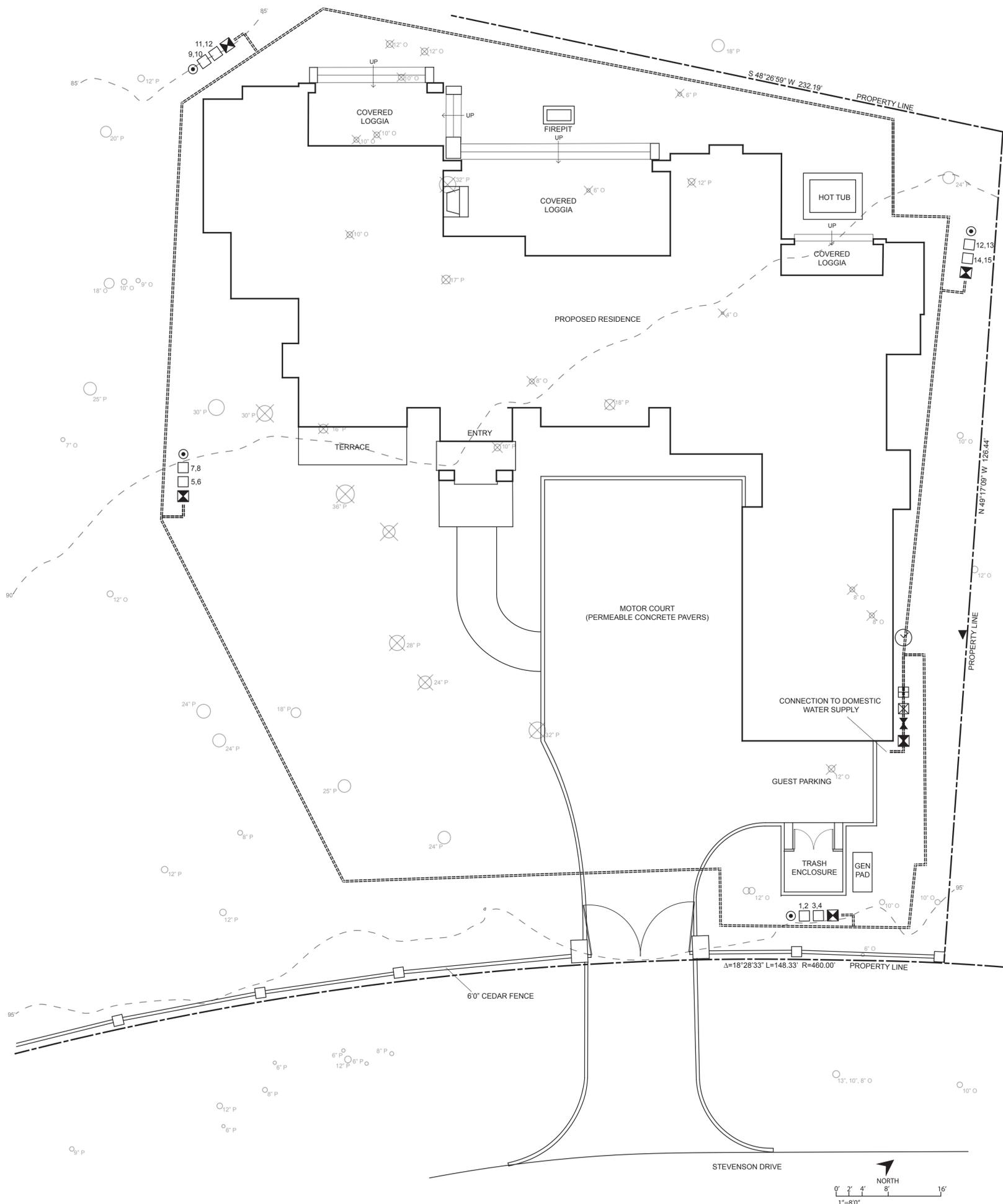
**IRRIGATION SCHEDULE:**

FOR ESTABLISHMENT PERIOD - ONE YEAR  
 1 AND 2 GALLON PLANTS 15 MINS X 2 TIMES PER WEEK  
 5 AND 15 GALLON PLANTS 20 MINS X 2 TIMES PER WEEK  
 24" BOX TREES 30 MINS X 2 TIMES PER WEEK

FOR MATURE PERIOD - AFTER ONE YEAR OR DETERMINE ON PLANT TO PLANT BASIS

1 AND 2 GALLON PLANTS 15 MINS X 1 TIMES PER WEEK  
 5 AND 15 GALLON PLANTS 20 MINS X 1 TIMES PER WEEK  
 24" BOX TREES 30 MINS X 1 TIMES PER WEEK

AS PLANTS MATURE AND BECOME MORE ESTABLISHED, THE IRRIGATION CAN BEGIN TO TAPER OFF AS MUCH AS THE PLANTS WILL ALLOW.





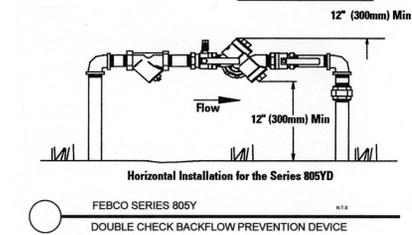
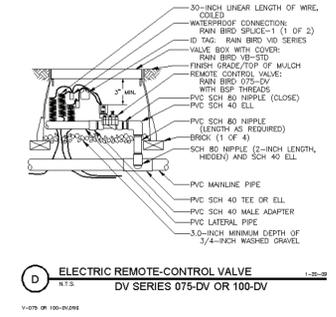
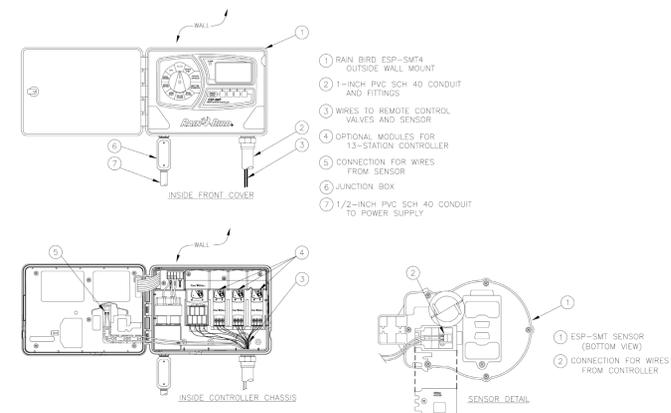
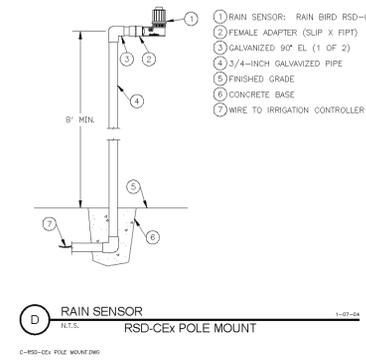
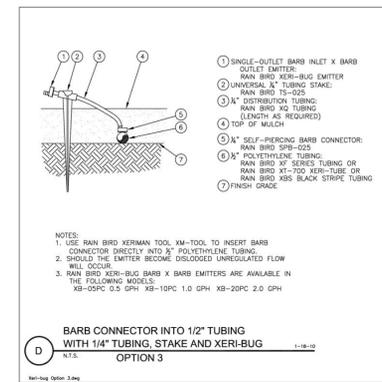
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Water Efficient Landscape Worksheet							
<b>Instructions:</b>							
Fill in all items in this color							
Answer is shown in this color							
<b>Reference Evapotranspiration (Eto)</b>		<b>36 Pebble Beach</b>					
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement	
<b>Hydrozone#/Planting Description</b>	<b>Plant Factor (PF)</b>	<b>Irrigation Method</b>	<b>Irrigation Efficiency (IE)</b>	<b>ETAF (PF/IE)</b>	<b>Landscape Area (LA) (sq. ft.)</b>	<b>ETAF x Area</b>	<b>Estimated Total Water Use (ETWU)</b>
<b>Regular Landscape Areas</b>							
1) low water use plants	0.2	Drip	0.81	0.247	822	202.96	4,530
2) medium water use plants	0.4	Drip	0.81	0.494	82	40.49	904
3) high water use (pool & spa)	0.7	Drip	1	0.700	0	0.00	0
				<b>Totals</b>	<b>904</b>	<b>243.46</b>	<b>5,434</b>
<b>Special Landscape Areas (SLA): Recycled Water</b>							
1) low water use plants				1	0	0	0
2) medium water use plants				1	0	0	0
3) medium water use plants				1	0	0	0
				<b>Totals</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>Estimated Total Water Use (ETWU)</b>							<b>5,434</b>
<b>Maximum Allowed Water Allowance (MAWA)</b>							<b>9,080</b>
<b>Plant Water Use Type</b>	<b>Plant Factor</b>	<b>Irrigation method</b>	<b>Irrigation Efficiency</b>				
very low	0-0.1	overhead spray	0.75				
low	0.1-0.3	drip	0.81				
medium	0.4-0.6						
high	0.7-1.0						
<b>MAWA (annual gallons allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]</b>							
where 0.62 is a conversion factor that converts acre-inches per acre/year to gallons per sq. ft. / year. LA is the total landscape area in sq. ft., SLA is the total special landscape area in sq. ft., and ETAF is .55 for residential areas and 0.45 for non residential areas.							
<b>ETAF Calculations</b>							
<b>Regular Landscape Areas</b>							
<b>Total ETAF x Area</b>	243						
<b>Total Area</b>	904						
<b>Average ETAF</b>	0.27						
Average ETAF for regular landscape areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.							
<b>All Landscape Areas</b>							
<b>Total ETAF x Area</b>	243						
<b>Total Area</b>	904						
<b>Sitewide ETAF</b>	0.27						

ESTIMATED TOTAL WATER USE (ETWU) = 5,434 GALLONS PER YEAR  
MAXIMUM ALLOWED WATER ALLOWANCE (MAWA) = 9,080 GALLONS PER YEAR  
ETWU IS LESS THAN MAWA



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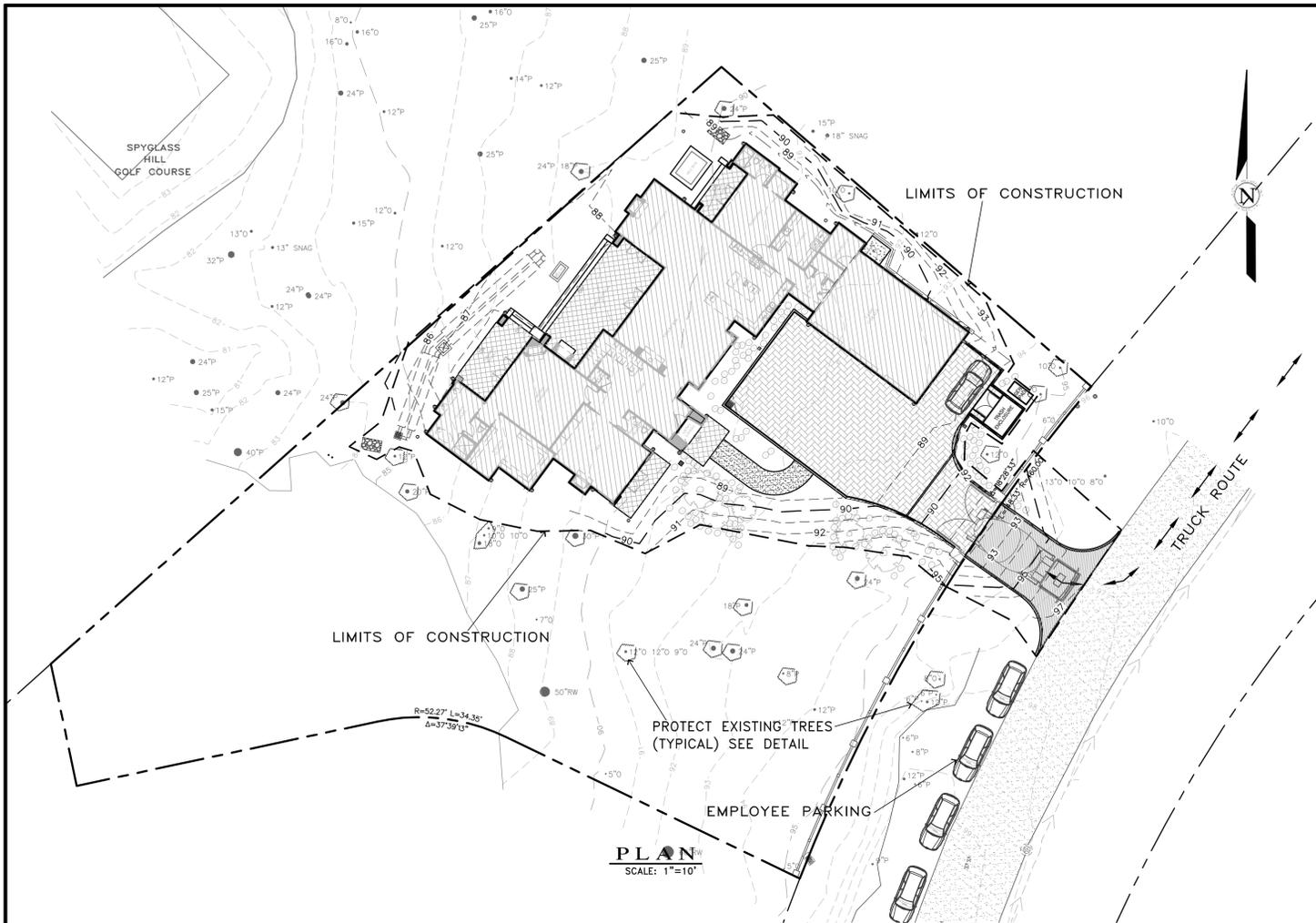
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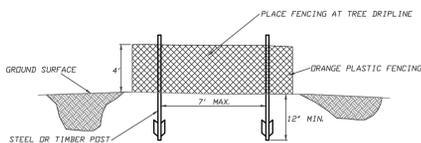
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**PLAN**  
SCALE: 1"=10'



**FENCING (ESA) DETAIL**  
Scale: NTS

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:  
1,080 CY CUT  
50 CY FILL

**CONSTRUCTION STAGING:**

- A. MOBILIZE, CLEAR & GRAB.
  - B. SITE GRADING.
  - C. UTILITY INSTALLATION.
  - D. CONSTRUCT STRUCTURE.
  - E. INSTALL PAVERS AND LANDSCAPING.
  - F. SITE CLEANING, PUNCH LIST.
- SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON THE STEVENSON DRIVE AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

**HAUL ROUTES:**  
HAUL TRUCKS ENTER THE SITE FROM THE 17 MILE DR. TO SUNRIDGE RD. TO RONDA RD. TO LOPEZ RD. TO WILDCAT CANYON RD. TO SPYGLASS WOODS DRIVE TO STEVENSON DRIVE. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON THE STEVENSON DRIVE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

**MATERIAL DELIVERIES:**  
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREET ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION, THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

**EMPLOYEE PARKING:**  
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE. ON-SITE PARKING SHALL BE IN LEGAL SPACES ALONG THE SPYGLASS WOODS DRIVE, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

**LIMITS OF CONSTRUCTION:** ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS AND PINE TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

**A CONSTRUCTION STAGING PLAN**  
SCALE: 1"=30'

**TRUCK TRIP GENERATION CHART:**

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
CLEARING	3	3
GRADING & SOIL REMOVAL (EXPORT)	51	10
ENGINEERING MATERIALS (IMPORT)	3	2
<b>TOTALS</b>	<b>57</b>	<b>15</b>

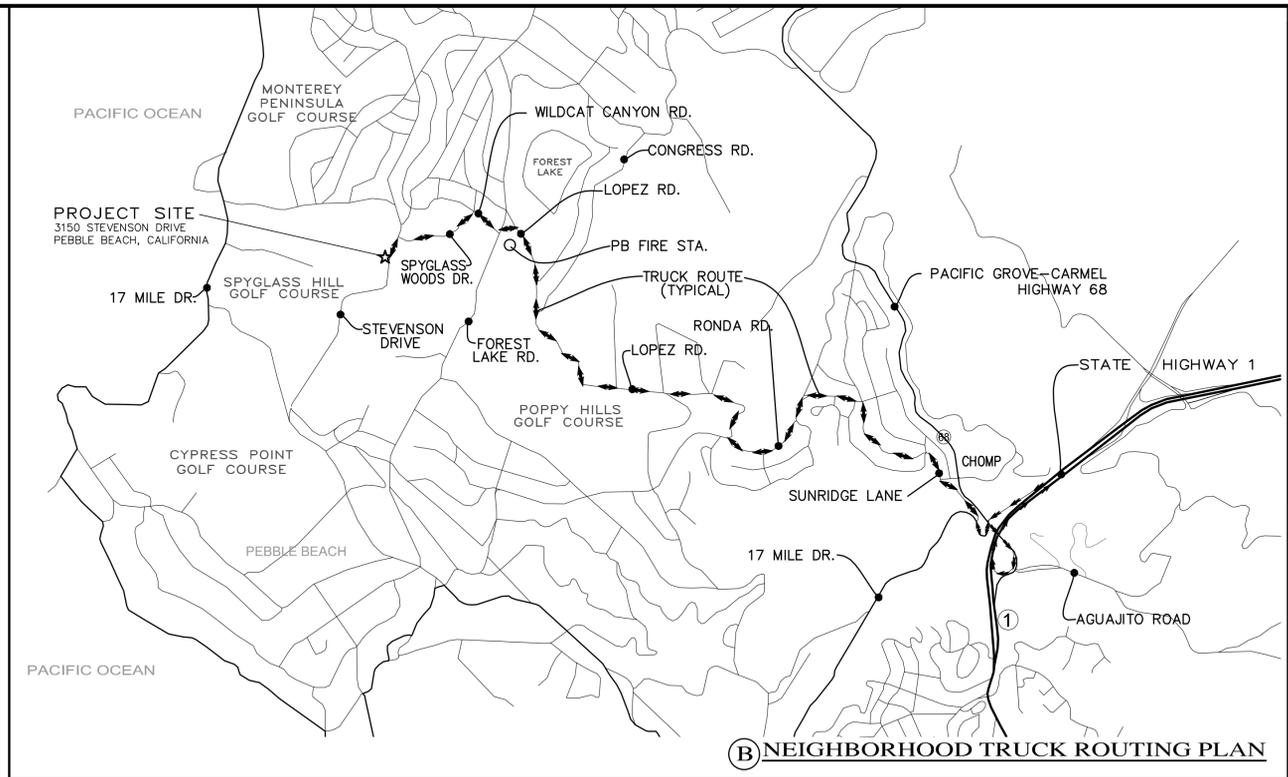
**TRUCK TRIP GENERATION NOTES:**

1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
2. THERE ARE 1,030 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 15 WORKING DAYS TO COMPLETE.
4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

NUMBER OF EMPLOYEES/DAY: 6-10

HOURS OF OPERATION/DAY: 8

**PROJECT SCHEDULING:** PROJECTED START DATE 22 AUGUST 2022, 15 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.



**B NEIGHBORHOOD TRUCK ROUTING PLAN**



**OVERALL TRUCK ROUTING PLAN**  
NOT TO SCALE

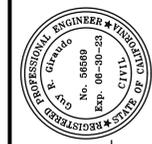
**CONTACT INFORMATION:**

**PRIMARY: OWNER**  
MR. & MRS. DAVE & CINDY LAZARES  
15995 LARK AVE.  
LOS GATOS, CA 95032

**SECONDARY: ARCHITECT**  
INTERNATIONAL DESIGN GROUP  
ATTN: MS. JULIE PAULSON  
721 LIGHT HOUSE AVE.  
PEBBLE BEACH, CA 93950  
PH (831)646-1261

**SITE LOCATION:**  
3150 STEVENSON DRIVE  
PEBBLE BEACH, CA 93953

No.	DATE	BY	REVISION
07/19/22	AMS	RELEASED TO CLIENT	



APPROVED BY:  
**GUY R. GIRARDO**



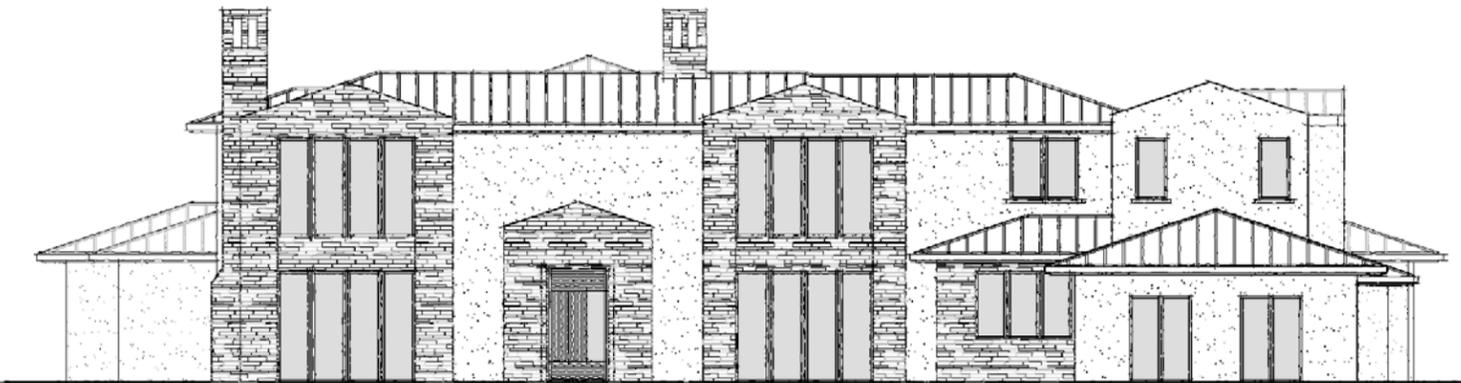
**CONSTRUCTION MANAGEMENT PLAN**  
OF  
**LAZARES RESIDENCE**  
A.P.N.: 008-023-034  
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA  
MR. & MRS. DAVE & CYNTHIA LAZARES

SCALE: AS SHOWN  
DATE: MARCH 2022  
JOB NO. 2471-01

SHEET **CMP1**  
OF 1 SHEETS

L:\PROJ\2471-LAZARES\2471-01\CIVIL\DWG\2471-01R\CMP1.DWG/2471-01R\CMP1

**COLOR AND MATERIAL SAMPLES FOR  
LAZARES RESIDENCE  
3150 STEVENSON DRIVE, PEBBLE BEACH, CA  
APN: 008-023-034**



**STANDING SEAM  
METAL ROOF**

**METAL FASCIA GUTTER  
AND DOWNSPOUTS**

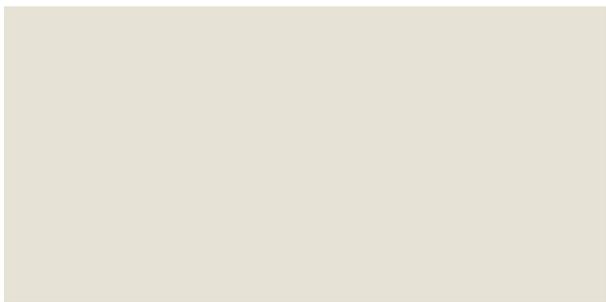


RDCA  
CHARCOAL

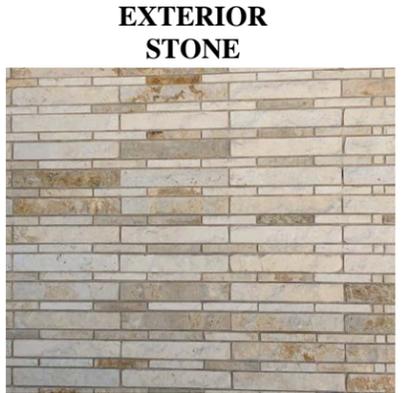
PAC CLAD – FLAT PANEL  
SLATE GRAY

**GLASS  
GUARDRAILS**

**PAINTED EXTERIOR  
STUCCO WALLS**



DUNN EDWARDS  
CRYSTAL HAZE



NATURAL CREAM COLORS

**METAL CLAD WOOD  
DOORS AND WINDOWS**



KOLBE  
BRONZE

