

Exhibit B

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**PLANNING COMMISSION
COUNTY OF MONTEREY, STATE OF CALIFORNIA**

RESOLUTION NO. 07058

A. P. #s 173-011-003-000, 017, 018, 019, and 020

FINDINGS AND DECISION

In the matter of the application of
MONTEREY COUNTY SPCA (PLN060658)

WHEREAS: The Planning Commission, pursuant to regulations established by local ordinance and state law, has considered, at public hearing, a Combined Development Permit consisting of: (1) a Use Permit to expand the existing kennel and office facilities by 10,000 square feet; (2) a Use Permit for the removal of 30 protected oak trees; (3) a Use Permit for development on slopes in excess of 30%; (4) an Administrative Permit for development in a Visual Sensitivity District; and (5) a Lot Line Adjustment to combine four substandard lots, on a 5.5 acre area of a total 219.43 acre property. The project is a renovation and expansion of the SPCA existing facilities and includes a total 2,000 square foot single family dwelling and storage facility. Grading is approximately 3,600 cubic yards cut and 5,040 cubic yards of fill. The properties are located at 1002 Highway 68, Monterey (Assessor's Parcel Numbers 173-011-003-000, 017, 018, 019, and 020), Greater Monterey Peninsula area, came on regularly for hearing before the Planning Commission on December 12, 2007.

WHEREAS: Said Planning Commission, having considered the application and the evidence presented relating thereto,

FINDINGS OF FACT

1. FINDING: CONSISTENCY – The project, as described in Condition No. 1 and as conditioned, conforms to the policies, requirements, and standards of the Monterey County General Plan, the Greater Monterey Peninsula Area Plan, the Monterey County Zoning Ordinance (Title 21) which designates this area as appropriate for kennel, office facilities and residential development.

EVIDENCE: (a) The text, policies, and regulations in the above referenced documents have been evaluated during the course of review of applications. No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

(b) The property is located at 1002 Monterey-Salinas State Highway 68 (Assessor's Parcel Number 173-011-003-000, 173-011-017, 173-011-018-000, 173-011-019-000, 173-011-020), Greater Monterey Peninsula Area Plan. The parcel is zoned "RDR/5.1-VS(20)" [Rural Density Residential, 5.1 acres per unit, Visual Sensitivity (20 foot maximum height limit) zoning overlay district. The subject property complies with all rules and regulations pertaining to zoning uses and any other applicable provisions of Title 21, and is therefore suitable for the proposed development.

(c) The project for the 1) expansion of the existing kennel and office facilities by 10,000 square feet; 2) the removal of 30 protected oak trees; 3) development on slopes in excess of 30%; 4) development in a Visual Sensitivity District; and 5) a Lot Line adjustment to combine four substandard lots, and a 2,000 square foot single family dwelling and storage building, on a 5.5 acre area of a total 219.43

acre property, are uses allowed in accordance with Sections 21.16.050(E), 21.64.260(D)(3), 21.64.230(C) and (E), 21.46.030(D) and 21.46.060(B), and is consistent with the development standards of Section 21.16.060, of the Monterey County Zoning Ordinance (Title 21) and Section 19.09 of Monterey County Code Subdivision Ordinance (Title 19).

- (d) A Use Permit is required for the expansion of the existing kennel and office facilities, Section 21.16.050(E) of the Monterey County Zoning Ordinance (Title 21).
- (e) A Use Permit is required for the removal of three or more protected oak trees pursuant to the regulations for the Preservation of Oak and Other Protected Trees, Section 21.64.260 of the Monterey County Zoning Ordinance (Title 21). See Finding No. 3.
- (f) A Use Permit is required for development on slopes exceeding 30% pursuant to Section 21.64.230 of the Monterey County Zoning Ordinance (Title 21). See Finding No. 4.
- (g) An Administrative Permit is required for development in Visual Sensitivity or VS(20') zoning district pursuant to Section (21.46.030 and Section 21.46.060 of the Monterey County Zoning Ordinance (Title 21). After inspecting flagging and staking staff determined that the development as approved and conditioned will not create a substantially adverse visual impact when viewed from a common public viewing area. The project design, materials and colors blend with the natural landscape. See Finding No. 5.
- (h) A Lot Line Adjustment to combine four substandard lots, is required by Section 19.09.005, Minor Subdivisions Section 19.04.025(I)(1) of the Monterey County Subdivision Ordinance, and the Section 15.20.070 of the Monterey County Code . See Finding No 6.
- (i) The project planner conducted on-site inspections on November 21, 2006, June 6, 2006, and October 23, 2007 to verify that the project on the subject parcel conforms to the plans listed above.
- (j) The project was referred to Greater Monterey Peninsula Land Use Advisory Committee (LUAC) for review on June 6, 2007 and was unanimously recommended for approval.
- (k) The application, project plans, and related support materials submitted by the project applicant to the Monterey County Resource Management Agency - Planning Department for the proposed development found in Project File PLN060658.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the use proposed.

EVIDENCE: (a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Rural Salinas Fire Protection District, Public Works, Environmental Health Division, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

- (b) Technical reports by outside biological, archaeological, and geological consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff concurs. The following reports have been prepared:

1. Archaeological Consulting. January 16, 2007. *Preliminary Archaeological Reconnaissance for the SPCA Facilities Renovation Project on Assessor's Parcels 173-011-003, -017, -018, -019, -020, -021) near Monterey, Monterey County, California.*
 2. Denise Duffy & Associates, Inc. April 2, 2007. *Biological Assessment for the Monterey County SPCA Renovation and Rehabilitation Project.*
 3. Denise Duffy & Associates, Inc. January 22, 2007. *California Tiger Salamander Habitat Assessment Report, SPCA of Monterey County, Monterey, California.*
 4. Denise Duffy & Associates, Inc. May 9, 2007. *Manure Management Plan for SPCA Renovation and Rehabilitation Project. 1002 Highway 68 Monterey, California.*
 5. Higgins Associates Civil and Traffic Engineers. May 16, 2007. *SPCA of Monterey County Renovation Project, Monterey County, California.*
 6. Landset Engineers, Inc. May 2007. *Geologic & Soil Engineering Feasibility Report for the SPCA of Monterey County 1002 Highway 68 Monterey County, California.*
 7. Staub Forestry and Environmental Consulting. May 2007. *Forest Management Plan for SPCA of Monterey County.*
 8. Staub Forestry and Environmental Consulting. Letter dated 6/27/07, RE: *PLN060658 Oak Woodlands Analysis.*
- (c) Staff conducted on-site visits on November 21, 2006, June 6, 2006, and October 23, 2007 to verify that the site is suitable for this use.
- (d) Materials in Project File PLN060658.

3. **FINDING: TREE REMOVAL** – The project, as conditioned, is consistent with the regulations for Preservation of Oak and Other Protected Trees, Section 21.64.260.D of the Monterey County Zoning Ordinance (Title 21). As such, the proposed tree removal is the minimum required under the circumstances of the case and will not involve a risk of adverse environmental impacts.

- EVIDENCE:**
- (a) The applicant has worked with the forester to site the structures, driveway and parking areas to minimize tree removal. Trees proposed for removal was reduced from 40 to 30 trees. Most of the trees proposed to be removed are to allow a new Wildlife Center and adjacent parking lot and the expansion of the existing veterinary clinic.
 - (b) Greater Monterey Peninsula Area Plan Vegetation and Wildlife Policy 11.1.6 (GMP) states “Environmentally sensitive areas shall be preserved as open space.” A condition is included requiring a scenic easement to be recorded on the deed for oak woodlands.
 - (c) Measures for tree protection during construction have been incorporated as conditions and include tree protection zones, trunk protection, hand excavation and bridging roots.
 - (d) The removal will not involve a risk of adverse environmental impacts.
 - (e) A Forest Management Plan for SPCA of Monterey County (Library No. 070267) dated May 2007, and letter dated 6/27/07 from RE: PLN060658 Oak Woodlands Analysis (Library No. 070298) were prepared by Stephen R. Staub, Staub Forestry

and Environmental Consulting.

- (f) The Monterey County Zoning Ordinance, Section 21.64.260.D.4 requires replacement at a rate of 1:1 for protected tree species removed.
- (g) The application, plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development, found in Project File PLN060658.
- (h) Staff conducted on-site inspections on November 21, 2006 , June 6, 2006, and October 23, 2007 to verify that the proposed tree removal plan is consistent with the site conditions.
- (i) Materials in Project File PLN060658.

4. FINDING: DEVELOPMENT ON SLOPES IN EXCESS OF 30% - The project, as conditioned, is consistent with the Regulations for Development on Slopes in Excess of 30%, Section 21.64.230 of the Monterey County Zoning Ordinance (Title 21). As such, there exists no feasible alternative which would allow development to occur on slopes less than 30% and that the proposed development better achieves the goals, policies, and objectives of the Monterey County General Plan and applicable area plan than other development alternatives.

- EVIDENCE:**
- (a) The existing buildings are clustered in a the flatter area which is not visible from Highway 68. Expansion of existing structures and driveway areas have been sited to minimize development on 30% slopes. Proposed new structures (barn, storage buildings, and the single family dwelling) are not located in areas of 30% slope. Staff has determined that the site plan and renovation design to expand and relocate existing uses and structures minimizes development on slopes greater than 30%. The existing buildings are clustered in a the flatter area which is not visible from Highway 68. A small portion of the development would occur on 30% slopes to accommodate additional parking, internal road realignment, an administration building addition, the water tank, and a corner of the Wildlife Center. Most of the 30% slope area surrounding the buildings are the result of man-made cuts. The retaining walls to create a flat building pad for the 200 gallon water tank pad near the wildlife center are partially on 30% slopes. The water tank pad is sited on an existing flat area above the Wildlife Center on an existing access road and is sited to set into the topography to minimize development and visual impacts. Grading (approximately 3,640 cubic yards cut and 5,040 cubic yards fill) appears to be appropriate for the given facilities of the realigned driveway location configuration and topography.
 - (b) The project as designed minimizes development on slopes of 30% or greater and better achieves County goals and policies by clustering development (except for the existing Wildlife Center) in already developed disturbed areas and where most of the 30% slope is a result of man-made cuts. The proposed site design is compact, with an improved circulation and waste disposal system, and minimizes protected tree removal and visibility in a Visual Sensitivity designation. The flatter areas of the property near the horse barn would be more visible from Highway 68, a designated Scenic Highway, and closer to sensitive environmental resources.
 - (c) The project plans include shading to indicate areas of 30% slope or greater.
 - (d) The application, plans, and related support materials submitted by the project applicant to the Monterey County Planning and Building Inspection Department for the proposed development found in Planning File No. PLN060658.

- (e) Staff conducted on-site inspections on November 21, 2006, June 6, 2006, and October 23, 2007 to verify findings.

5. **FINDING: VISUAL SENSITIVITY** - The development, as approved and conditioned, will not create a substantially adverse visual impact when viewed from a common public viewing area.

- a) Staking and flagging was required to be completed in accordance with "County-wide Staking and Flagging Criteria". Site visits were conducted to assess the potential for substantially adverse visual impacts of the project when viewed from a common public viewing area. Staff determined that the renovation, new structures, water tank and horse barn structures will not create a substantial visual impact, nor a ridgeline development, and are not visible from Highway 68, the nearest public common viewing area. The structure closest to Highway 68 (approximately 500 feet), the 16-foot high horse barn is somewhat visible, although partially screened by trees, when driving by on Highway 68 looking into the site. A 100-foot setback is required from Highway 68. The zoning district restricts height to a maximum 20 feet and most of the structures are 16 foot height or less.
- b) The existing buildings are clustered into a flatter already developed area, set into the rolling hilly topography and is screened by the hills and vegetation is not visible from Highway 68. Siting of the buildings and driveway areas was designed to minimize grading, tree removal and development on slopes of 30% and visibility. The proposed design, materials and colors blend in with the natural and rural surroundings.
- c) The Greater Monterey Peninsula Area Plan defines visually sensitive areas as those scenic resources visible from existing, potential and proposed scenic routes. Highway 68 is a designated Scenic Highway. Policy 44.2.9 to 42.2.9 (GMP) address development and preservation of viewsheds and provide for limited height restrictions in areas of visual sensitivity.
- d) Staff conducted on-site visits on November 21, 2006, June 6, 2006, and October 23, 2007 to verify that there is no adverse visual impact.
- e) Staff notes and photos are provided in Project File PLN060658.

6. **FINDING: LOT LINE ADJUSTMENT** - A lot line adjustment application may be granted based upon the following findings: 1) the lot line adjustment is between two (or more) existing adjacent parcels; 2) a greater number of parcels than originally existed will not be created as a result of the lot line adjustment; 3) the parcels resulting from the lot line adjustment conforms to County zoning and building ordinances.

- a) The lot line adjustment is between four adjacent parcels owned by one property owner, Assessor's Parcel Numbers: 173-011-017, 173-011-018-000, 173-011-019-000, 173-011-020.
- b) The lot line adjustment will result in one lot instead of four existing lots of record.
- c) The lot line adjustment is required for the following reasons: to legalize buildings and waste water system that have non-conforming setbacks and two non-conforming lots that are substandard size (less than the five acre minimum parcel size). The resulting lot will conform to County zoning and building ordinances.

7. **FINDING:** CEQA - The proposed project will not have a potentially significant adverse impact on the environment. A Mitigated Negative Declaration has been prepared and is on file (File No. PLN060658) in the RMA - Planning Department. Mitigation measures identified in the Initial Study and Mitigated Negative Declaration required to avoid potential significant effects to the environment have been incorporated into the approved project or as conditions of approval. A Condition Compliance and Mitigation Monitoring Reporting Plan (hereafter "the MMRP") has been prepared pursuant to Public Resources Code 21081.6 and is required as a condition of approval. The MMRP is incorporated herein by reference. Potential environmental effects have been studied, and there is no substantial evidence in the record, as a whole, that supports a fair argument that the project, as designed, may have a significant effect on the environment. The Mitigated Negative Declaration reflects the independent judgment and analysis of the County based upon the findings and conclusions drawn in the Initial Study and the testimony and information received, and scientific and factual data presented as evidence during the public review process. The Monterey County Planning Department, located at 168 West Alisal Street, 2nd Floor, Salinas is the custodian of the documents and the materials that constitute the record of proceedings upon which the adoption of the Mitigated Negative Declaration is based.

- EVIDENCE:**
- (a) The application, plans, and support materials submitted by the project applicant to the Monterey County Planning Department for the proposed development, found in the project file.
 - (b) The timing required for Mitigation Measure No. 1 was revised as recommended by the State Fish and Game Department and in consultation with the project biologist. The revised measure is a more effective mitigation measure, requiring a preconstruction survey to be performed no more than 30 days prior to start of construction, instead of only prior to construction. The revision will not cause any significant effect on the environment.
 - (c) County staff prepared an Initial Study for the project in compliance with the California Environmental Quality Act (CEQA and Guidelines). The Initial Study provided substantial evidence that the project, with the addition of mitigation measures, would not have significant environmental impacts. A Mitigated Negative Declaration was filed with the County Clerk on November 9, 2007, and noticed for public review. All comments received on the Initial Study/Mitigated Negative Declaration have been considered as well as all evidence in the record, which includes studies, data, and reports supporting the Initial Study; additional documentation requested by staff in support of the Initial Study findings; information presented or discussed during public hearings; staff reports that reflect the County's independent judgment and analysis regarding the above referenced studies, data, and reports; application materials; and expert testimony. Among the studies, data, and reports analyzed as part of the environmental determination are the following:
 - 1. Project File including Application and Plans, and planner site visits
 - 2. Monterey County General Plan, adopted September 30, 1982 and the Greater Monterey Peninsula Area Plan, adopted December 1984.
 - 3. Central Coast Regional Water Quality Control Board Basin Plan, 1994.
 - 4. Monterey Bay Unified Air Pollution Control District.
 - 5. June 2004. *CEQA Air Quality Guidelines*.

6. September 2004. *2004 Air Quality Management Plan for the Monterey Bay Region.*
7. Monterey County Zoning Code Title 21 and Zoning Map, adopted February 2000.
8. Archaeological Consulting. January 16, 2007. *Preliminary Archaeological Reconnaissance for the SPCA Facilities Renovation Project on Assessor's Parcels 173-011-003, -017, -018, -019, -020, -021) near Monterey, Monterey County, California.*
9. Denise Duffy & Associates, Inc. April 2, 2007. *Biological Assessment for the Monterey County SPCA Renovation and Rehabilitation Project.*
10. Denise Duffy & Associates, Inc. January 22, 2007. *California Tiger Salamander Habitat Assessment Report, SPCA of Monterey County, Monterey, California.*
11. Denise Duffy & Associates, Inc. May 9, 2007. *Manure Management Plan for SPCA Renovation and Rehabilitation Project. 1002 Highway 68 Monterey, California.*
12. Higgins Associates Civil and Traffic Engineers. May 16, 2007. *SPCA of Monterey County Renovation Project, Monterey County, California.*
13. Landset Engineers, Inc. May 2007. *Geologic & Soil Engineering Feasibility Report for the SPCA of Monterey County 1002 Highway 68 Monterey County, California.*
14. Staub Forestry and Environmental Consulting. May 2007. *Forest Management Plan for SPCA of Monterey County.*
15. Staub Forestry and Environmental Consulting. Letter dated 6/27/07, *RE: PLN060658 Oak Woodlands Analysis.*
16. Denise Duffy & Associates, Inc. October, 2007. *Biological Assessment for the Monterey County SPCA Renovation and Rehabilitation Project.*
17. Interdepartmental review comments (IDR) and conditions for the project by County and State departments and agencies.
18. Letter from United States Department of the Interior, Fish and Wildlife Service, dated October 18, 2007.

(c) No significantly adverse environmental impacts were identified during staff review of the development application nor during site visits on November 21, 2006, June 6, 2006, and October 23, 2007.

(d) Materials in Project File PLN060658.

8. FINDING: NO VIOLATIONS - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property. Zoning violation abatement costs, if any, have been paid.

EVIDENCE: Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on subject property.

9. **FINDING: HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE: Preceding findings and supporting evidence.

10. **FINDING: APPEALABILITY** - The decision on this project is appealable to the Board of Supervisors.

EVIDENCE: Sections 21.80.040(D) of the Monterey County Zoning Ordinance (Title 21).

DECISION

THEREFORE, it is the decision of the Planning Commission of the County of Monterey that the Mitigated Negative Declaration and Program for Monitoring and/or Reporting on Conditions of Approval be adopted and said application for a Combined Development Permit be granted as shown on the attached sketch and subject to the attached conditions.

PASSED AND ADOPTED this 12th day of December, by the following vote:

AYES: Errea, Brown, Salazar, Vandevere, Padilla, Sanchez, Diehl, Rochester

NOES: None

ABSENT: Isakson

RECUSED: Ottone



MIKE NOVO, SECRETARY

A COPY OF THIS DECISION WAS MAILED TO THE APPLICANT ON JAN 07 2008

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD OF SUPERVISORS ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE JAN 17 2008

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Salinas.

2. This permit expires two years after the above date of granting thereof unless construction or use if started within this period.

**Monterey County Resources Management Agency
 Planning Department
 Condition Compliance Reporting Plan**

Project Name: SPCA of Monterey County
File No: PLN060658
APN: 173-011-003-000, 173-011-017-000, 173-011-018-000,
173-011-019-000, 173-011-020
Approved by: Planning Commission **Date:** December 12, 2007

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Action to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
1.		<p>PD001 – SPECIFIC USES ONLY This Combined Development Permit consisting of: 1) a Use Permit to expand the existing kennel and office facilities by 10,000 square feet; 2) a Use Permit for the removal of 30 protected oak trees; 3) a Use Permit for development on slopes in excess of 30%; 4) an Administrative Permit for development in a Visual Sensitivity District; and 5) a Lot Line Adjustment to combine four substandard lots, on a 5.5 acre area of a total 219.43 acre property. The project is a renovation and expansion of the SPCA existing facilities and includes a 2,000 square foot single family dwelling and storage facility. Grading is approximately 3,600 cubic yards cut and 5,040 cubic yards of fill. The 3 Use Permits and Administrative Permits are approved for a period of five years from the date of the project approval. The properties are located at 1002 Highway 68, Monterey (Assessor’s Parcel Numbers 173-011-003-000, 017, 018, 019, and 020), Greater Monterey Peninsula Area. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the Resource</p>	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless otherwise stated	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Action to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		Management Agency – Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. [Resource Management Agency (RMA) – Planning Department]				
2.		PD002 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution No. 07058) was approved by the Planning Commission for Assessor's Parcel Number 173-011-003-000, 173-011-017-000, 173-011-018-000, 173-011-019-000, 173-011-020 on December 12, 2007. The permit was granted subject to 74 conditions of approval, which run with the land. A copy of the permit is on file with the Monterey County Resource Management Agency - Planning Department." Proof of recordation of this notice shall be furnished to the Director of RMA - Planning Department prior to issuance of building permits or commencement of the use. (RMA - Planning Department)	Proof of recordation of this notice shall be furnished to the RMA - Planning Department.	Owner/ Applicant	Prior to the issuance of grading and building permits or commencement of use.	
3.		PD003(A) – CULTURAL RESOURCES – NEGATIVE ARCHAEOLOGICAL REPORT If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources	Owner/ Applicant/ Archaeologist	Ongoing	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Action to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (RMA - Planning Department)	determine the extent of the resources and to develop proper mitigation measures required for the discovery.			
4.		PD007 - GRADING-WINTER RESTRICTION No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of RMA - Building Services Department. (RMA - Planning Department and Building Services Department)	Obtain authorization from the Director of RMA - Building Services Department to conduct land clearing or grading between October 15 and April 15.	Owner/ Applicant	Ongoing	
5.		PD009 - GEOTECHNICAL CERTIFICATION Prior to final inspection, the geotechnical consultant shall provide certification that all development has been constructed in accordance with the geotechnical report. (RMA - Planning Department and Building Services Department)	Submit certification by the geotechnical consultant to the RMA - Building Services Department showing project's compliance with the geotechnical report.	Owner/ Applicant/ Geotechnical Consultant	Prior to final inspection	
6.		PD005 - FISH AND GAME FEE-NEG DEC/EIR Pursuant to the State Public Resources Code § 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. (RMA - Planning Department)	The applicant shall submit a check, payable to the <i>County of Monterey</i> , to the Director of the RMA - Planning Department. If the fee is not paid within five (5) working days, the applicant shall submit a check, payable to the <i>County of Monterey</i> , to the Director of the RMA - Planning Department.	Owner/ Applicant	Within 5 working days of project approval.	
				Owner/ Applicant	Prior to the start of use or the issuance of building or grading permits	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Action to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
7.		<p>PD006 - MITIGATION MONITORING PROGRAM The applicant shall enter into an agreement with the County to implement a Mitigation Monitoring and/or Reporting Plan in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed mitigation monitoring agreement. (RMA - Planning Department)</p>	<p>1) Enter into agreement with the County to implement a Mitigation Monitoring Program.</p> <p>2) Fees shall be submitted at the time the property owner submits the signed mitigation monitoring agreement.</p>	Owner/ Applicant	Within 60 days after project approval or prior to the issuance of grading and building permits, whichever occurs first.	
8.		<p>PD010 - EROSION CONTROL PLAN AND SCHEDULE The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA – Planning and Director of Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and Director of RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services. (RMA - Planning Department and RMA - Building Services Department)</p>	<p>An Erosion Control Plan shall be submitted to the RMA - Planning Department and the RMA - Building Services Department prior to issuance of building and grading permits.</p>	Owner/ Applicant	Prior to the issuance of grading and building permits	
			<p>Comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services.</p>	Owner/ Applicant	Ongoing	

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9.		PD011 – TREE AND ROOT PROTECTION Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by a certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of the RMA – Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by a certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (RMA - Planning Department)	Submit evidence of tree protection to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to the issuance of grading and/or building permits	
			Submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.	Owner/ Applicant/ Arborist	During Construction	
			Submit photos of the trees on the property to the RMA – Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.	Owner/ Applicant	Prior to final inspection	
10.		PD012(E) - LANDSCAPE PLAN AND MAINTENANCE - MONTEREY PENINSULA WATER MANAGEMENT DISTRICT (OTHER THAN SINGLE FAMILY DWELLING) The site shall be landscaped. Prior to issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping and shall include an irrigation plan.	Submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval.	Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect	Prior to issuance of Building Permits	
			Submit one (1) set of landscape plans approved by the RMA – Planning Department, include Maximum Applied Water Allowance (MAWA)	Owner/ Applicant/ Licensed Landscape	Prior to issuance of Building	

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		The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA – Planning Department, Monterey Peninsula Water Management District)	calculation, and a completed “ <u>Non-Residential</u> Water Release Form and Water Permit Application” to the Monterey Peninsula Water Management District for review and approval.	Contractor/ Licensed Landscape Architect	Permits	
			Submit an approved water permit from the MPWMD to the RMA – Building Permit	Owner/ Applicant/ Licensed Landscape Contractor	Prior to issuance of Building Permits	
			The landscaping shall be installed and inspected.	Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect	Prior to Occup- ancy	
			All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	Ongoing	
11.		PD014(B) – LIGHTING – EXTERIOR LIGHTING PLAN (VISUAL SENSITIVITY DISTRICT/ RIDGELINE DEVELOPMENT) All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site	Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.	Owner/ Applicant	Prior to the issuance of building permits	

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		glare is fully controlled. Exterior lights shall have recessed lighting elements. Exterior light sources that would be directly visible from when viewed from a common public viewing area, as defined in Section 21.06.195, are prohibited. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department)	The lighting shall be installed and maintained in accordance with the approved plan.	Owner/ Applicant	Prior to Occupancy/ Ongoing	
12.		PD016 – NOTICE OF REPORT Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder, which states: 1. A Preliminary Archaeological Reconnaissance for the SPCA Facilities Renovation Project on Assessor's Parcels 173-011-003, -017, -018, -019, -020, -021) near Monterey, Monterey County, California (LIB#070271) was prepared by Archaeological Consulting, dated January 16, 2007. 2. A Biological Assessment for the Monterey County SPCA Renovation and Rehabilitation Project (LIB#070490) was prepared by Denise Duffy & Associates, Inc., dated April 2, 2007. 3. A California Tiger Salamander Habitat Assessment Report, SPCA of Monterey County, Monterey, California (LIB#070269) was prepared by Denise Duffy & Associates, Inc., dated January 22, 2007.	Proof of recordation of this notice shall be furnished to RMA - PD.	Owner/ Applicant	Prior to issuance of grading and building permits	

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		<p>4. A Manure Management Plan for SPCA Renovation and Rehabilitation Project, 1002 Highway 68 Monterey, California (LIB#070267) was prepared by Denise Duffy & Associates, Inc., dated May 9, 2007.</p> <p>5. A Traffic Analysis report for the SPCA of Monterey County Renovation Project, Monterey County, California (LIB#070266) was prepared by A Higgins Associates Civil and Traffic Engineers, dated May 16, 2007.</p> <p>6. A Geologic & Soil Engineering Feasibility Report for the SPCA of Monterey County 1002 Highway 68 Monterey County, California (LIB#070272) was prepared by Landset Engineers, Inc., dated May 2007.</p> <p>7. A Forest Management Plan for SPCA of Monterey County (LIB#070267) was prepared by Staub Forestry and Environmental Consulting, dated May 2007.</p> <p>8. A letter dated 6/27/07, RE: PLN060658 Oak Woodlands Analysis (LIB#070655) was prepared by Staub Forestry and Environmental Consulting. (RMA – Planning Department)</p>				
13.		<p>PBD040 – HEIGHT VERIFICATION The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of Planning and Building Inspection for review and approval, that the height of the structure(s) from the benchmark is consistent with what was</p>	<p>The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection</p>	Owner/ Applicant	Prior to Issuance of Grading or Building Permits	

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		approved on the building permit associated with this project. (Planning and Building Inspection)				
14.		PD022(A) – EASEMENT – OAK WOODLANDS - CONSERVATION AND SCENIC A conservation and scenic easement shall be conveyed to the County over those portions of the property where stands of oak woodlands with over 10 percent canopy exist. The easement shall be developed in consultation with certified professional. An easement deed shall be submitted to, reviewed and approved by, the Director of the RMA - Planning Department prior to issuance of grading and building permits. (RMA – Planning Department)	Submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to the RMA - Planning Department for review and approval.	Owner/ Applicant/ Certified Professional	Prior to issuance of grading and building permits	
			Record the deed and map showing the approved conservation and scenic easement. Submit a copy of the recorded deed and map to the RMA – Planning Department.	Owner/ Applicant	Prior to final inspection or commencement use	
15.		PDSP001 – NONSTANDARD - EASEMENT - SCENIC (SLOPE, ENVIRONMENTALLY SENSITIVE AREAS) A scenic easement shall be conveyed to the County over those portions of the property where the slope exceeds 30 percent, biologically sensitive areas. The easement shall be developed in consultation with certified professional. A scenic easement deed shall be submitted to, and approved by, the Director of the RMA - Planning Department prior to issuance of grading or building permits. (RMA – Planning Department)	Submit the scenic easement deed and corresponding map, developed in consultation with a certified professional, to the RMA - Planning Department for review and approval.	Owner/ Applicant/ Certified Professional	Prior to the issuance of grading and building permits	
			Record the deed and map showing the approved scenic easement. Submit a copy of the recorded deed and map to the RMA – Planning Department.	Owner/ Applicant	Prior to final permit	

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16.		PDSP002 – LOT LINE ADJUSTMENT Record new legal descriptions on the deed for the combined four lots and obtain a certificate of compliance. The Lot Line Adjustment map expires in 24 months pursuant to Title 19, Section 19.09.030(A). (RMA – Planning Department)	Submit a new legal description for the new parcel and apply for a Certificate of Compliance at the RMA - Planning Department for review and approval.	Owner/ Applicant/ Certified Professional	Prior to the issuance of grading and building permits	
17.		PDSP003 – BICYCLE RACKS One bicycle rack for each 10 parking spaces shall be required pursuant to Title 21 Section 21.58.050(M). (RMA – Planning Department)	Show locations for bicycle racks on the parking plan.	Owner/ Applicant	Prior to the issuance of building permits	
18.		PD035 - UTILITIES - UNDERGROUND All new utility and distribution lines shall be placed underground. (RMA – Planning Department; Public Works)	None	Applicant/ Owner	Ongoing	
19.		PD038 - WATER TANK APPROVAL The water tank shall be painted an earth tone color to blend into the area and landscaped (including land sculpturing and fencing, where appropriate), subject to the approval of the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department)	Submit proposed color of water tank and landscaping plans to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to the issuance of grading or building permits	
			Provide evidence to the Director of the RMA - Planning Department that the water tank has been painted and the landscaping has been installed according to the plans approved by the RMA - Planning Department.	Owner/ Applicant	Prior to the final inspection or occupancy	

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			All landscaped areas and fences shall be continuously maintained; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	On-going	
20.		PD043 – GRADING PERMITS REQUIRED A grading permit is required for new private single family access driveways greater than fifty (50) feet in total length that require 100 cubic yards or more of earthwork. An over the counter (OTC) grading permit may be issued for new private single family access driveways greater than fifty (50) feet in total length that require less than 100 cubic yards of earthwork. (RMA – Planning Department and RMA - Building Services Department)	If applicable, apply and receive the appropriate grading permit from Monterey County RMA – Building Services Department.	Owner/ Applicant/ Engineer	Prior to the issuance of grading or building permits	
21.		MBUAPCD – DEMOLITION/DECONSTRUCTION OF CARETAKER UNIT 1. Sufficiently wet the structure prior to deconstruction or demolition. Continue wetting as necessary during active deconstruction or demolition and the debris reduction process. 2. Demolish the structure inward toward the building pad. Lay down roof and walls so that they fall inward and not away from the building. 3. Commencement of deconstruction or demolition activities shall be prohibited when the peak wind speed exceeds 15 miles per hour. (Monterey Bay Unified Air Pollution Control District)	1. Sufficiently wet the structure prior to deconstruction or demolition. Continue wetting as necessary during active deconstruction or demolition and the debris reduction process. 2. Demolish the structure inward toward the building pad. Lay down roof and walls so that they fall inward and not away from the building. 3. Commencement of deconstruction or demolition activities shall be prohibited when the peak wind speed exceeds 15 miles per hour.	Owner/ Applicant/ Contractor	Prior to demolition	
22.		PW0007 – PARKING STD The parking shall meet the standards of the Zoning Ordinance and be approved by the Director of Public	Applicant’s engineer or architect shall prepare a parking plan for review and approval.	Owner/ Applicant/ Engineer	Prior to Building/ Grading	

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		Works and the Director of Planning and Building Inspection. (Public Works)			Permits Issuance	
23.		PWSP001 NON-STANDARD – CONSTRUCTION MANAGEMENT PLAN In order to minimize construction traffic impacts, applicant shall prepare a construction management plan for the approval of the Department of Public Works prior to issuance of grading or building permits. Applicant shall adhere to measures included in the approved construction management plan. (Public Works)	Submit the plan to RMA-Planning Department for review and approval by the RMA- Public Works Department.	Owner/ Applicant/ Engineer	Prior to Building/ Grading Permits Issuance	
24.		EH1 - WATER SYSTEM PERMIT Obtain a new or amended water system permit from the Division of Environmental Health. (Environmental Health)	Submit necessary application, reports and testing results to EH for review and approval.	CA Licensed Engineer/ Owner/ Applicant	Prior to issuance of grading and building permits	
25.		EH8 - WELL CONSTRUCTION PERMIT Obtain a water well drilling permit from the Division of Environmental Health and construct the well. (Environmental Health)	Submit the Well Completion Report to the Division of Environmental Health.	CA Licensed Engineer /Owner/ Applicant	Prior to the issuance of a building permit	
26.		EH11 - SEPTIC SYSTEM DESIGN Submit plans for review and approval showing the location and design of the proposed septic system meeting the standards found in Chapter 15.20 of the Monterey County Code (Septic Ordinance) and "Prohibitions", Central Coast Basin Plan, RWQCB. (Environmental Health)	Division of Environmental Health must approve plans. Applicant shall obtain a permit to install the septic system.	CA Licensed Engineer /Owner/ Applicant	Prior to issuance of a building permit	

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27.		<p>WR40 - WATER CONSERVATION MEASURES</p> <p>The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to:</p> <p>a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system.</p> <p>b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices. (Water Resources Agency)</p>	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/ Occupancy	
28.		<p>WR8 - COMPLETION CERTIFICATION</p> <p>The applicant shall provide the Water Resources Agency certification from a registered civil engineer or licensed contractor that storm water detention/retention facilities have been constructed in accordance with approved plans. (Water Resources Agency)</p>	Submit a letter to the Water Resources Agency, prepared by a registered civil engineer or licensed contractor, certifying compliance with approved drainage plan.	Owner/ Applicant/ Engineer/ Contractor	Prior to occupancy or final inspection	
29.		<p>WR43 - WATER AVAILABILITY CERTIFICATION</p> <p>The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)</p>	Submit the Water Release Form to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of grading or building permits	

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30.		WRSP001 - DRAINAGE PLAN (NON-STANDARD) Prior to issuance of any grading or building permits, the applicant shall provide the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts along with supporting calculations and construction details. The plan shall include detention facilities to mitigate the impact of impervious surface stormwater runoff. Pond(s) shall be fenced for public safety. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)	Submit 3 copies of the drainage plan to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any grading or building permits	
31.		FIRE002 - ROADWAY ENGINEERING The grade for all roads shall not exceed 15 percent. Where road grades exceed 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The length of vertical curves in roadways, exclusive of gutters, ditches and drainage structures designed to hold or divert water, shall not be less than 100 feet. No roadway turn shall have a horizontal inside radius of less than 50 feet. A roadway turn radius of 50 to 100 feet is required to have an additional 4 feet of roadway surface. A roadway turn radius of 100 to 200 feet is required to have an additional 2 feet of roadway surface. Roadway turnarounds shall be required on dead-end roads in excess of 150 feet of surface length. The minimum turning radius for a turnaround shall be 40 feet from the center line of the road. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (Rural Salinas Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit	
			Applicant shall schedule fire dept. clearance inspection for each phase of development.	Applicant or owner	Prior to final building inspection	

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32.		FIRE008 - GATES All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (Rural Salinas Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
33.		FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

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		address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Rural Salinas Fire Protection District)				
34.		FIRE021 – (NONSTANDARD) FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) All buildings shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (Rural Salinas Fire Protection District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit	
			Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
			Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to final building inspection	
35.		FIRE023 - FIRE ALARM SYSTEM - (COMMERCIAL) The building(s) shall be fully protected with an approved central station, proprietary station, or remote station automatic fire alarm system as defined by NFPA Standard 72. Plans and specifications for the fire alarm system shall be submitted by a California licensed C-10 contractor and approved prior to requesting a rough sprinkler or framing inspection. (Rural Salinas Fire Protection District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit	
			Applicant shall submit fire alarm plans and obtain approval.	Applicant or owner	Prior to rough sprinkler or framing inspection	

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			Applicant shall schedule fire alarm system acceptance test.	Applicant or owner	Prior to final building inspection	
36.		FIRE026 - ROOF CONSTRUCTION (STANDARD) All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class B roof construction. (Rural Salinas Fire Protection District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit	
37.		FIRE030 – NON-STANDARD CONDITIONS ROAD ACCESS Access roads shall be required for every building when any portion of the exterior wall of the first story is located more than 150 feet from fire department access. Main entrance roads entering the facility shall be constructed to provide a minimum width of 20 feet with an unobstructed vertical clearance of not less than 15 feet. The road behind the main buildings may have a minimum width of 12 feet, be one-way with directional signage, and have turnouts. The roadway surface shall provide unobstructed access to conventional drive vehicles including sedans and fire apparatus and shall be an all-weather surface designed to support the imposed load of fire apparatus (22 tons). Each road shall have an approved name. (Rural Salinas Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit	
			Applicant shall schedule fire dept. clearance inspection for each phase of development.	Applicant or owner	Prior to final building inspection	
38.		FIRE030 – NON-STANDARD CONDITIONS FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) Any commercial building having a total floor area greater than 5,000 square feet shall be fully protected with	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit	

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		automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (Salinas Rural Fire District)	Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
			Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to final building inspection	
39.		FIRE030 – NON-STANDARD CONDITIONS - EXISTING FIRE SPRINKLER SYSTEMS - Existing fire sprinkler systems in buildings undergoing remodeling and/or additions shall be extended or modified to provide protection to the remodeled/added areas. Installation, approval and maintenance shall be in compliance with applicable National Fire Protection Association and/or Uniform Building Code Standards, the edition(s) of which shall be determined by the enforcing jurisdiction. Plans for fire sprinkler system changes must be submitted and approved prior to installation. In the event the remodel/addition project does not require extension or modification of the existing fire sprinkler system, a letter to that effect from the fire sprinkler contractor shall be provided to the Salinas Rural Fire District prior to requesting a framing inspection. Rough-in inspections must be completed prior to requesting a framing inspection. (Rural Salinas Fire Protection District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit	
			Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
			Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to final building inspection	
40.		FIRE030 – NON-STANDARD CONDITIONS – EXISTING FIRE SPRINKLER SYSTEM - 5-YEAR TEST – Existing fire sprinkler systems shall undergo 5-	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building	

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		year tests in accordance with the current standard adopted by the State of California (Title 19, NFPA 25, etc.). Said 5-year tests shall be conducted by a California licensed fire sprinkler contractor (C-16). If any deficiencies are identified during the 5-year test, the applicant or owner shall have the deficiencies corrected as required by the Salinas Rural Fire District. (Rural Salinas Fire Protection District)			permit	
			Applicant shall submit to the Salinas Rural Fire District evidence of 5-year test conducted by a C-16 contractor.	Applicant or owner	Prior to issuance of building permit	
			Applicant shall submit to the Salinas Rural Fire District evidence that any deficiencies have been corrected.	Applicant or owner	Prior to occupancy	
41.		FIRE030 – NON-STANDARD CONDITIONS - FIRE ALARM SYSTEM - (COMMERCIAL) Any sprinklered building having 50 or more fire sprinklers shall be fully protected with an approved central station, proprietary station, or remote station automatic fire alarm system as defined by NFPA Standard 72. Plans and specifications for the fire alarm system shall be submitted by a California licensed C-10 contractor and approved prior to requesting a rough sprinkler or framing inspection. (Rural Salinas Fire Protection District)	Applicant shall enumerate as “Fire Dept. Notes” on plans.	Applicant or owner	Prior to issuance of building permit	
			Applicant shall submit fire alarm plans and obtain approval.	Applicant or owner	Prior to rough sprinkler or framing inspection	
			Applicant shall schedule fire alarm system acceptance test.	Applicant or owner	Prior to final building inspection	
42.		FIRE030 – NON-STANDARD CONDITIONS - EXISTING FIRE ALARM SYSTEM - The existing building is fully protected with an approved central station, proprietary station or remote station automatic fire alarm	Applicant shall enumerate as “Fire Dept. Notes” on plans.	Applicant or owner	Prior to issuance of building permit	

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		system as defined by National Fire Protection Association Standard 72. The existing fire alarm system shall be extended or modified to accommodate the remodeled/added area(s). Plans and specifications for the fire alarm system must be submitted and approved by the enforcing agency prior to requesting a framing inspection. In the event the remodel/addition project does not require extension or modification of the existing fire alarm system, a letter to that effect from the fire alarm contractor shall be provided to the Salinas Rural Fire District prior to requesting a framing inspection. All fire alarm system inspections and acceptance testing shall be done in accordance with Chapter 7 of NFPA 72 (Fire District). (Rural Salinas Fire Protection District)	Applicant shall submit fire alarm plans and obtain approval.	Applicant or owner	Prior to rough sprinkler or framing inspection	
			Applicant shall schedule fire alarm system acceptance test.	Applicant or owner	Prior to final building inspection	
43.		FIRE030 –NON-STANDARD CONDITIONS – HYDRANTS AND FIRE FLOW- Hydrants for fire protection shall be provided at locations approved by the Salinas Rural Fire District and shall conform to the following requirements: a. FIRE FLOW - Pursuant to Uniform Fire Code Appendix III-A, the minimum fire flow requirement for 13,549 square foot commercial facilities built with Type V-N construction is 3,250 gallons per minute with a residual pressure of 20 psi under normal operating conditions for a duration of 3 hours. The minimum fire flow requirement for Type V-1-Hour construction is 2,250 gallons per minute with a residual pressure of 20 psi under normal operating conditions for a duration of 2 hours. Fire flow for facilities protected with automatic fire sprinkler systems may be reduced to 1,500 gallons per minute with a residual pressure of 20 psi under normal operating conditions for a duration of 3 hours for Type V-N construction, and a duration of 2 hours for Type V-1-Hour construction.	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall provide improvement plans to the fire district. Applicant shall schedule fire dept. clearance inspection for each phase of development.	Applicant or owner	Prior to issuance of Building Permit	

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		<p>b. TIMING OF INSTALLATION - Approved fire protection water supply systems must be installed and made serviceable prior to the time of construction.</p> <p>c. HYDRANT/FIRE VALVE (ADDITION) – New hydrant(s) shall be installed.</p> <p>d. HYDRANT/FIRE VALVE (LOCATION) - The hydrant or fire valve shall be 18 inches above grade, 8 feet from flammable vegetation, no closer than 4 feet nor further than 12 feet from a roadway, and in a location where fire apparatus using it will not block the roadway.</p> <p>e. FIRE HYDRANTS - Hydrants shall be installed in accordance with spacing set forth in Uniform Fire Code Appendix III-B and in accordance with the following specifications:</p> <p>f. HYDRANT SIZE - The hydrant shall have a minimum of two (2) 2-1/2 inch outlets NST and one (1) 4-1/2 inch outlet NST. The riser shall be a minimum of six (6) inches and shall be wet barrel type with a coefficient of 0.9.</p> <p>g. SIGNING OF WATER SOURCES - Hydrant or fire valve identification may be allowed as specified in the State Fire Marshal’s Guidelines for Fire Hydrant Markings Along State Highways and Freeways, May 1988.</p> <p>(Rural Salinas Fire Protection District)</p>				
44.		<p><u>FIRE030 –NON-STANDARD CONDITIONS – EMERGENCY ACCESS KEYBOX</u> – Emergency access keybox shall be installed and maintained. The type and location shall be approved by the fire department. The fire department shall be notified when locks are changed so that the emergency access keybox can be maintained with current keys. (Rural Salinas Fire Protection District)</p>	<p>Applicant shall incorporate specification into design and enumerate as “Fire Dept. Notes” on plans.</p>	Applicant or owner	Prior to issuance of building permit	
			<p>Applicant shall schedule fire dept. clearance inspection for each phase of development.</p>	Applicant or owner	Prior to final building inspection	

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45.		FIRE030 – NON-STANDARD CONDITIONS – PORTABLE FIRE EXTINGUISHERS – Portable fire extinguishers shall be installed and maintained in accordance with Uniform Fire Code Standard 10-1. (Rural Salinas Fire Protection District)	Applicant shall incorporate specification into design and enumerate as “Fire Dept. Notes” on plans.	Applicant or owner	Prior to issuance of building permit	
			Applicant shall schedule fire dept. clearance inspection for each phase of development.	Applicant or owner	Prior to final building inspection	
46.	MM-1	No more than 30 days prior to start of construction, pre-construction surveys shall be conducted for nesting birds within 300 feet of proposed construction activities if construction is to be initiated between February 15 and August 1. If nesting raptors (or any other nesting birds) are identified during the pre-construction surveys, CDFG shall be contacted for an appropriate buffer that will be imposed within which no construction activities or disturbance can take place (generally 300 feet in all directions for raptors; other avian species may have species specific requirements) until the young of the year have fledged, as determined by a qualified biologist. Alternatively, construction activities that may affect nesting raptors or other protected avian species can be timed to avoid the nesting season. (RMA – Planning Department)	Conduct pre-construction surveys for nesting birds within 300 feet of proposed construction activities if construction is to be initiated between February 15 and August 1. If nesting raptors (or any other nesting birds) are identified during the pre-construction surveys, CDFG shall be contacted for an appropriate buffer that will be imposed within which no construction activities or disturbance can take place (generally 300 feet in all directions for raptors; other avian species may have species specific requirements) until the young of the year have fledged, as determined by a qualified biologist. Alternatively, construction activities that may affect nesting raptors or other protected avian species can be timed to avoid the nesting season.	Applicant or owner California Department of Fish and Game	No more than 30 days prior to start of construction and if construction is to be initiated between February 15 and August 1, prior to issuance of a grading or building permit	
47.	MM-2	Prior to start of construction, a qualified biologist shall conduct a worker training session for all construction personnel regarding habitat sensitivity, identification of special-status species, and required practices. The training shall include a brief review of the biology of	Conduct a worker training session for all construction personnel regarding habitat sensitivity, identification of special-status species, and required practices. Include a brief review of the	Applicant or owner with qualified biologist and crew	Prior to any construction and issuance	

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		<p>these species, the general measures that are being implemented to conserve these species as they relate to the project, guidelines to avoid impacts to these species during the construction period, and the penalties for non-compliance, and the boundaries of the project area. A fact sheet or other supporting materials containing this information shall be prepared and distributed to all of the workers onsite. Upon completion of training, employees shall sign a form stating that they attended the training and understand all the conservation and protection measures. Educational programs shall be conducted for new personnel before they join construction activities. The crew foreman shall be responsible for ensuring that all crew members comply with the guidelines. (RMA – Planning Department)</p>	<p>biology of these species, the general measures that are being implemented to conserve these species as they relate to the project, guidelines to avoid impacts to these species during the construction period, and the penalties for non-compliance, and the boundaries of the project area. Prepare a fact sheet or other supporting materials containing this information and distribute to all of the workers onsite. Upon completion of training, employees shall sign a form stating that they attended the training and understand all the conservation and protection measures. Conduct educational programs for new personnel before they join construction activities. The crew foreman will be responsible for ensuring that all crew members comply with the guidelines.</p>	foreman	of a demolition, grading or building permit	
48.	MM-3	<p>Prior to start of construction, a qualified biologist shall conduct surveys for black and silvery legless lizards within the project site. If either of these species is identified within the project site they shall be moved by a qualified biologist holding a valid Scientific Collecting Permit to appropriate habitat outside of the project site. Prior to handling these species, the California Department of Fish and Game shall be contacted as to the necessity for a Memorandum of Agreement. (RMA – Planning Department)</p>	<p>Conduct surveys for black and silvery legless lizards within the project site. If either of these species is identified within the project site they shall be moved by a qualified biologist holding a valid Scientific Collecting Permit to appropriate habitat outside of the project site. Prior to handling these species, the California Department of Fish and Game shall be contacted as to the necessity for a Memorandum of Agreement.</p>	Applicant or owner and qualified biologist, California Department of Fish and Game	Prior to any construction and issuance of a grading or building permit	

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49.	MM-4	Prior to start of construction, the applicant shall obtain a letter from the Service documenting concurrence that the project is not likely to result in a take of California tiger salamander or California red-legged frog, or the applicant shall submit an application for take authorization to the Service. Consultation with the Service shall occur prior to construction regarding the necessity of presence/absence surveys for California red-legged frog and if required, surveys shall take place prior to construction. (RMA – Planning Department)	Obtain a letter from the Service documenting concurrence that the project is not likely to result in a take of California tiger salamander or California red-legged frog, or the applicant shall submit an application for take authorization to the Service. Consultation with the Service shall occur prior to construction regarding the necessity of presence/absence surveys for California red-legged frog and if required, surveys shall take place prior to construction.	Applicant or owner Fish and Wildlife Service	Prior to issuance of a grading or building permit	
50.	MM-5	A qualified biologist shall monitor all ground disturbing construction activity. After ground disturbing project activities are complete, the qualified biologist shall train an individual to act as the on-site construction monitor. The on-site monitor shall have attended the training described in Mitigation 3 above. Both the qualified biologist and the construction monitor shall have the authority to stop and/or redirect project activities to ensure protection of resources and compliance with all environmental permits and conditions of the project. The qualified biologist and construction monitor will complete a daily log summarizing activities and environmental compliance. (RMA – Planning Department)	Monitor all ground disturbing construction activity. After ground disturbing project activities are complete, the qualified biologist shall train an individual to act as the on-site construction monitor. The on-site monitor shall have attended the training described in Mitigation 3 above. Both the qualified biologist and the construction monitor will have the authority to stop and/or redirect project activities to ensure protection of resources and compliance with all environmental permits and conditions of the project. The qualified biologist and construction monitor will complete a daily log summarizing activities and environmental compliance.	Applicant or owner qualified biologist and designated on-site monitor	Prior to any construction and issuance of a grading or building permit and during construction	
51.	MM-6	During construction, heavy equipment and vehicle use shall be restricted to designated construction areas	During construction, heavy equipment and vehicle use is restricted to	Applicant or owner and	Prior to any	

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		outside of wetland, riparian habitat, and identified sensitive habitat throughout the duration of construction activities by the use of orange cyclone fencing. (RMA – Planning Department)	designated construction areas outside of wetland, riparian habitat, and identified sensitive habitat throughout the duration of construction activities by the use of orange cyclone fencing.	contractor	construction and issuance of a grading or building permit and during construction	
52.	MM-7	Cleaning and refueling of equipment and vehicles shall occur only within designated staging areas on previously paved or graded parking areas. No maintenance, cleaning or fueling of equipment shall occur within wetland or riparian areas, or within 50 feet of such areas and, at a minimum, all equipment and vehicles shall be checked and maintained on a daily basis to ensure proper operation and avoid potential leaks or spills. During construction, all project-related spills of hazardous materials within or adjacent to project sites shall be cleaned up immediately. Spill prevention and clean-up materials shall be onsite at all times during construction. Construction materials/debris will also be stored within the designated staging areas. No debris, soil, silt, sand, oil, petroleum products, cement, concrete, or washings thereof will be allowed to enter into, or be placed where they may be washed by rainfall or runoff, into wetland habitats. (RMA – Planning Department)	Cleaning and refueling of equipment and vehicles shall occur only within designated staging areas on previously paved or graded parking areas. No maintenance, cleaning or fueling of equipment will occur within wetland or riparian areas, or within 50 feet of such areas and, at a minimum, all equipment and vehicles will be checked and maintained on a daily basis to ensure proper operation and avoid potential leaks or spills. During construction, all project-related spills of hazardous materials within or adjacent to project sites will be cleaned up immediately. Spill prevention and clean-up materials will be onsite at all times during construction. Construction materials/debris will also be stored within the designated staging areas. No debris, soil, silt, sand, oil, petroleum products, cement, concrete, or washings thereof will be allowed to	Applicant or owner and contractor	Prior to any construction and/or issuance of a grading or building permit and during construction	

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			enter into, or be placed where they may be washed by rainfall or runoff, into wetland habitats			
53.	MM-8	Ground disturbing construction activities shall be limited to the period from May 1 through October 1. (RMA – Planning Department)	Limit all ground disturbing construction activities to the period from May 1 through October 1.	Applicant or owner contractor	Construction limited to May 1 through October 1	
54.	MM-9	Before ground disturbing work activities begin each day, a biological monitor shall inspect under construction equipment and materials to look for California tiger salamanders and California red-legged frog. If a California tiger salamander or California red-legged frog is found during these checks or during construction, construction activities will cease until the Service is consulted and appropriate actions are taken to allow project activities to continue. (RMA – Planning Department)	A biological monitor shall inspect under construction equipment and materials to look for California tiger salamanders and California red-legged frog before ground disturbing work activities begin each day. If a California tiger salamander or California red-legged frog is found during these checks or during construction, construction activities will cease until the Service is consulted and appropriate actions are taken to allow project activities to continue.	Applicant or owner and Qualified biological monitor	Prior to any construction and issuance of a grading or building permit and during construction	
55.	MM-10	To prevent inadvertent entrapment of California red-legged frogs or California tiger salamanders during the proposed project, all excavated, steep-walled holes or trenches more than 2 feet deep shall be covered at the close of each working day with plywood or similar materials. Before such holes or trenches are filled, they will be thoroughly inspected for trapped animals. (RMA – Planning Department)	All excavated, steep-walled holes or trenches more than 2 feet deep will be covered at the close of each working day with plywood or similar materials. to prevent inadvertent entrapment of California red-legged frogs or California tiger salamanders during the proposed project. Before such holes or trenches are filled, they will be thoroughly inspected for trapped animals.	Applicant or owner and Contractor	Prior to any construction and issuance of a grading or building permit and during construction	

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56.	MM-11	Only tightly woven fiber netting or similar material may be used for erosion control at the project site. Coconut coir matting is an acceptable erosion control material. No plastic mono-filament matting will be used for erosion control, as this material may ensnare wildlife, including California red-legged frogs and California tiger salamanders. (RMA – Planning Department)	Only use tightly woven fiber netting or similar material for erosion control at the project site. Coconut coir matting is an acceptable erosion control material. No plastic mono-filament matting will be used for erosion control, as this material may ensnare wildlife, including California red-legged frogs and California tiger salamanders.	Applicant or owner and contractor	Prior to any construction and issuance of a grading or building permit and during construction	
57.	MM-12	Since dusk and dawn are often the times when California red-legged frogs and California tiger salamanders are most actively foraging and dispersing, all construction activities shall cease one half hour before sunset and shall not begin prior to one half hour after sunrise. These timeframes cannot be altered due to timelines outlined in other conditions of approval for the project unless said timelines are more restrictive than are stated here. (RMA – Planning Department)	All construction activities shall cease one half hour before sunset and shall not begin prior to one half hour after sunrise, since dusk and dawn are often the times when California red-legged frogs and California tiger salamanders are most actively foraging and dispersing. These time frames cannot be altered due to timelines outlined in other conditions of approval for the project unless said timelines are more restrictive than are stated here.	Applicant r owner and contractor	Construction restricted to cease ½ hour before sunset and prior to ½ hour before sunrise	
58.	MM-13	Prior to start of construction activities, presence/absence surveys for Congdon's tarplant, Eastwood's goldenbush and Jolon clarkia shall be conducted within the blooming period to identify if the species is present. (RMA – Planning Department)	Conduct a preconstruction survey to determine the presence/absence surveys for Congdon's tarplant, Eastwood's goldenbush and Jolon clarkia shall be conducted within the blooming period to identify if the species is present.	Applicant or owner, contractor and qualified biologist	Prior to any construction and issuance of a grading or building permit and during construction	

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59.	MM-14	The known occurrence of Carmel Valley bush mallow shall be fenced off using orange cyclone fencing. The fencing shall be installed under the supervision of a qualified biological monitor and checked weekly at a minimum to ensure its maintenance throughout the duration of construction activities. (RMA – Planning Department)	Fence off areas using orange cyclone fencing where there is known occurrences of Carmel Valley bush mallow. The fencing shall be installed under the supervision of a qualified biological monitor and checked weekly at a minimum to ensure its maintenance throughout the duration of construction activities	Applicant or owner, contractor and qualified biological monitor	Prior to any construction and issuance of a grading or building permit and during construction	
60.	MM16 (No MM15)	Prior to the initiation of construction activities a qualified biologist will provide an educational presentation to the contractor and landowner that identifies the location of the fenced special status plant species, provides information in regard to the type and status of the plant species, and instructs the contractor to keep all construction activities outside of the fencing. (RMA – Planning Department)	Provide an educational presentation to the contractor and landowner that identifies the location of the fenced special status plant species, provides information in regard to the type and status of the plant species, and instructs the contractor to keep all construction activities outside of the fencing	Applicant or owner, contractor qualified biologist	Prior to any construction and issuance of a grading or building permit	
61.	MM-17	Prior to final inspection, 30 coast live oak trees shall be planted to replace at a 1:1 ratio the 30 coast live oaks to be removed by project construction. Replacement trees may come from native area stock (5 gallon size) or onsite volunteer seedlings onsite that can either be transplanted to appropriate locations or caged to protect them from foraging animals. (RMA – Planning Department)	Plant 30 coast live oak trees to replace at a 1:1 ratio the 30 coast live oaks to be removed by project construction. Replacement trees may come from native area stock (5 gallon size) or onsite volunteer seedlings onsite that can either be transplanted to appropriate locations or caged to protect them from foraging animals.	Applicant or owner and contractor	Prior to final inspection	
62.	MM-18	Prior to start of demolition activities, Tree Protection Zones shall be established for all trees to remain as identified in the Staub <i>Forestry Management Plan</i> dated	Establish Tree Protection Zones for all trees to remain as identified in the Staub <i>Forestry Management Plan</i>	Applicant or owner, contractor	Prior to start of demolition	

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		May 2007 to minimize root system impacts. Metal link fencing (minimum 6 feet high), supported by wood or metal stakes shall be placed around each tree or group of trees generally following the drip line of the trees. In the event protection fencing would encroach into the drip line of the tree, placement shall be done under direction of a qualified forester or certified arborist. (RMA – Planning Department)	dated May 2007 to minimize root system impacts. Metal link fencing (minimum 6 feet high), supported by wood or metal stakes shall be placed around each tree or group of trees generally following the drip line of the trees. In the event protection fencing would encroach into the drip line of the tree, placement shall be done under direction of a qualified forester or certified arborist.	and qualified forester or certified arborist	activities and construction and/or issuance of a grading or building permit	
63.	MM-19	Prior to and during construction, no storage of equipment or construction materials, parking of vehicles, or operation of equipment is permitted within the Tree Protection Zone unless specifically reviewed and authorized by a qualified forester or certified arborist and additional protective measures such as fabric overlain by 6” of wood chips, are used to protect the affected root zones. (RMA – Planning Department)	No storage of equipment or construction materials, parking of vehicles, or operation of equipment is permitted within the Tree Protection Zone unless specifically reviewed and authorized by a qualified forester or certified arborist and additional protective measures such as fabric overlain by 6” of wood chips, are used to protect the affected root zones.	Applicant or owner, contractor and qualified forester or certified arborist	Prior to any construction and issuance of a demolition, grading or building permit	
64.	MM-20	For the life of the project, no soil may be removed from the dripline of any tree and no additional fill soil shall exceed two inches within the dripline of oak trees unless it is a part of new construction and is reviewed by a qualified forester or certified arborist. Excavated material must either be removed from the site or retained at least one foot away from oak trunks. (RMA – Planning Department)	No soil may be removed from the dripline of any tree and no additional fill soil shall exceed two inches within the dripline of oak trees unless it is a part of new construction and is reviewed by a qualified forester or certified arborist. Excavated material must either be removed from the site or retained at least one foot away from oak trunks.	Applicant or owner, contractor and qualified forester or certified arborist	At no time for the life of the project	

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65.	MM-21	During construction, no significant tree as defined by Monterey County code may be removed or trimmed unless authorized by the <i>Forest Management Plan</i> for the project. (RMA – Planning Department)	No significant tree as defined by Monterey County code may be removed or trimmed unless authorized by the <i>Forest Management Plan</i> for the project.	Applicant or owner and contractor and	Prior to any construction and issuance of a grading or building permit	
66.	MM-22	Prior to start of excavation and construction (including demolition), any tree as identified in the <i>Forest Management Plan</i> that leans into the construction area shall be pruned under direction of a qualified forester or certified arborist to minimize potential for inadvertent damage. (RMA – Planning Department)	Any tree as identified in the <i>Forest Management Plan</i> that leans into the construction area shall be pruned under direction of a qualified forester or certified arborist to minimize potential for inadvertent damage.	Applicant or owner and contractor and	Prior to any construction and issuance of a demolition, grading or building permit	
67.	MM-23	During excavation and trenching near Trees #15, 31, 34, 66, any roots exposed by excavation shall be properly cared for as follows: gently expose and cleanly sever roots one foot further from the tree than the final limit of grading and then hand dig the final foot of width. Roots should then be cleanly pruned to the side wall of excavation with a sharp tool. Exposed roots shall be draped immediately with at least two layers of untreated burlap or carpet to cover the excavated surface to a depth of 3 feet. The covering shall be soaked nightly and kept in place until the excavated surface is backfilled and watered. (RMA – Planning Department)	During excavation and trenching near Trees #15, 31, 34, 66, any roots exposed by excavation shall be properly cared for as follows: gently expose and cleanly sever roots one foot further from the tree than the final limit of grading and then hand dig the final foot of width. Roots should then be cleanly pruned to the side wall of excavation with a sharp tool. Exposed roots shall be draped immediately with at least two layers of untreated burlap or carpet to cover the excavated surface to a depth of 3 feet. The	Applicant owner and contractor	Prior to any construction and issuance of a grading or building permit	

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			covering shall be soaked nightly and kept in place until the excavated surface is backfilled and watered.			
68.	MM-24	During removal of Tree #3, located within 15 feet of retained trees, roots of the removed tree should be severed by grinding the stump at, or slightly below grade rather than excavating, or, if grinding cannot be done, by making sharp vertical cuts at limits of approved excavation before pushing over or excavating the rootwad and trunk. (RMA – Planning Department)	During removal of Tree #3, located within 15 feet of retained trees, roots of the removed tree should be severed by grinding the stump at, or slightly below grade rather than excavating, or, if grinding cannot be done, by making sharp vertical cuts at limits of approved excavation before pushing over or excavating the rootwad and trunk.	Applicant or owner and contractor	Prior to any construction and issuance of a grading or building permit	
69.	MM-25	If archaeological resources or human remains are accidentally discovered during construction, work shall be halted within 50 meters (150 feet) of the find until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated and implemented. (RMA – Planning Department)	Halt construction work within 50 meters (150 feet) of the find until it can be evaluated by a qualified professional archaeologist if archaeological resources or human remains are accidentally discovered during construction, work shall be halted. If the find is determined to be significant, appropriate mitigation measures shall be formulated and implemented	Applicant or owner, contractor and qualified professional archaeologist	During any construction	
70.	MM-26	Prior to, during and following construction, the project is required to comply with all geologic recommendations (1-4) as stated in the May 2007 <i>Geologic and Soils Engineering Report</i> prepared by Landset Engineers. (RMA – Planning Department)	Submit a letter(s) from a qualified engineer to the RMA Planning and the RMA Building Department and obtain approval stating that the project plans comply with all geologic recommendations (1-4) as stated in the May 2007 <i>Geologic and Soils Engineering Report</i> prepared by Landset Engineers.	Applicant or owner, contractor and qualified engineer to	Prior to any construction and issuance of a grading or building permit	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Action to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
71.	MM-27	Prior to, during and following construction, the project is required to comply with all soil engineering, site preparation, grading, and foundation recommendations (1-38) as stated in the May 2007 <i>Geologic and Soils Engineering Report</i> prepared by Landset Engineers. (RMA – Planning Department)	Submit a letter(s) from a qualified engineer to the RMA Planning and the RMA Building Department and obtain approval stating that the project plans comply with all soil engineering, site preparation, grading, and foundation recommendations (1-38) as stated in the May 2007 <i>Geologic and Soils Engineering Report</i> prepared by Landset Engineers.	Applicant or owner and contractor	Prior to any construction and issuance of a grading or building permit and following construction permit	
72.	MM-28	Prior to, during and following construction, all measures identified in the Erosion Plan, Drainage Plan prepared for the project by Bestor Engineers, and all drainage measures (39-43) as stated in the May 2007 <i>Geologic and Soils Engineering</i> report prepared by Landset Engineers shall be implemented. (RMA – Planning Department)	Submit letter(s) from a qualified engineer to the RMA Planning and the RMA Building Department for and obtain approval stating that the project plans comply with all measures identified in the Erosion Plan, Drainage Plan prepared for the project by Bestor Engineers, and all drainage measures (39-43) as stated in the May 2007 <i>Geologic and Soils Engineering</i> report prepared by Landset Engineers.	Applicant or owner and contractor	Prior to any construction and issuance of a grading or building permit and following construction permit	
73.	MM-29	Construction traffic shall be limited to off-peak hours (start before 7:00 a.m. and finish prior to 4:00 pm) to avoid impacting traffic operations during peak hours. (RMA – Planning Department)	Limit construction to off-peak hours (start before 7:00 a.m. and finish prior to 4:00 pm) to avoid impacting traffic operations during peak hours.	Applicant or owner and contractor	During any construction	
74.	MM-30	Prior to issuance of a building permit, the applicant shall prove to Environmental Health that the well meets quantity and quality requirements of Chapter 15.04 of the Monterey County Code and Title 22 of California Code of Regulations. (RMA – Planning Department)	Contact the Environmental Health Division and comply with their requirements to prove that the well meets quantity and quality requirements of Chapter 15.04 of the Monterey County Code and Title 22 of California Code of Regulations.	Applicant or owner and contractor	Prior to any construction and issuance of a building permit	

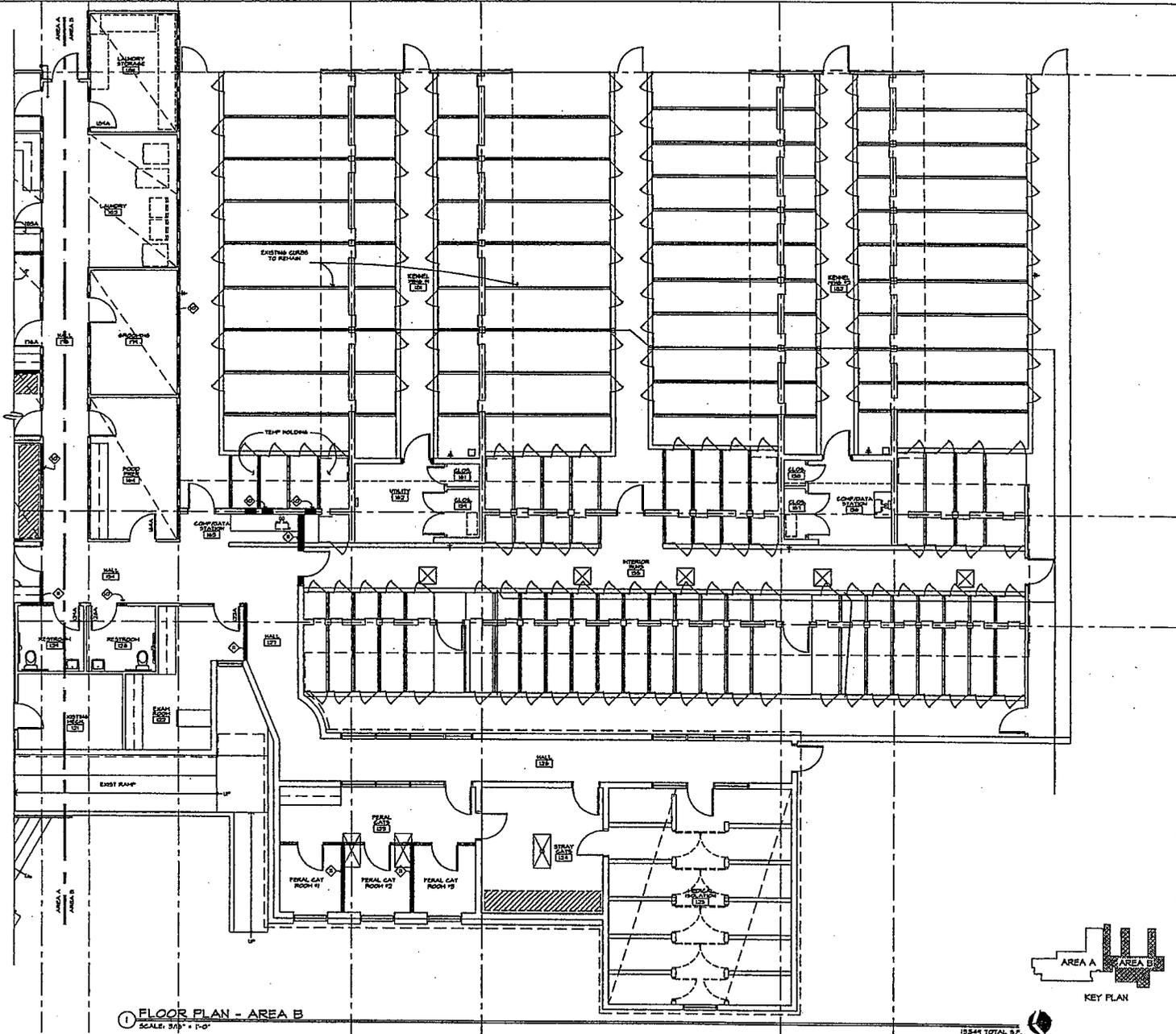
GENERAL NOTES

1. ALL DIMENSIONS ARE NOMINAL AND ARE TO FACE OF FINISH OR FACE OF STUD UNLESS OTHERWISE NOTED.
2. ALL INTERIOR PARTITIONS ARE TO BE TYPE III UNLESS NOTED.
3. RE. ROOM FINISH SCHEDULES FOR FINISHES.
4. PENETRATIONS OF FIRE RESISTIVE WALLS, FLOORS AND ROOF CEILING SHALL BE PROTECTED AS REQUIRED IN C&G SECTION 704 AND 710.
5. FIRE RESISTIVE EXTERIOR WALL CONSTRUCTION SHALL BE MAINTAINED THROUGH ATTIC AS REQUIRED IN C&G SECTION 703.1.1.
6. ALL EXITS TO BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. IN LIST OF THIS, IN A GROUP IS OCCUPANCY, YOU MAY NOTE, PROVIDE A SIGN OR OR NEAR THE EXIT DOORS READING THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS. THIS SIGNAGE IS ONLY ALLOWED AT THE MAIN EXIT, LEAS SECTION 1003.1.1.1.
7. RE. PLUMBING FOR PLUMBING FIXTURES TO BE REMOVED OR CAPPED, P.L.C. TO VERIFY THAT FIXTURES TO REMAIN ARE IN WORKING ORDER.
8. RE. EJECT FROM ELECTRICAL EQUIPMENT TO REMAIN OR TO BE REMOVED.
9. RE. HIGH FOR DEMOLITION OF HVAC & PLUMBING EQUIPMENT

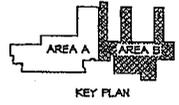
KEY NOTES

SYMBOL DESCRIPTION

◇	EXISTING WALL CONSTRUCTION TO BE REMOVED.
◇	EXISTING DOOR TO BE REMOVED.
◇	EXISTING WINDOW TO BE REMOVED. FINISH SHALL BE DETERMINED AFTER EXISTING WALL CONSTRUCTION.
◇	EXISTING CABINETRY TO BE REMOVED.
◇	EXISTING PLUMBING FIXTURE TO BE REMOVED.
◇	EXISTING CASES TO BE REMOVED.
◇	EXISTING EQUIPMENT OR APPLIANCE TO BE REMOVED.
◇	EXISTING STAIRS TO BE REMOVED.
◇	EXISTING INSULATION PANELS TO BE REMOVED.
◇	REMOVE EXISTING DOOR OR WINDOW OPENING WITH WALL CONSTRUCTION TO MATCH EXISTING.
◇	NEW INTERIOR WALL.
◇	PLASTIC LAMINATE CASEWORK.
◇	STAINLESS STEEL CASEWORK.
◇	ALUMINUM STOREFRONT ENTRANCE.
◇	ALUMINUM PARTITION.



1 FLOOR PLAN - AREA B
SCALE: 3/8" = 1'-0"



15549 TOTAL SF.
NORTH

ANIMAL ARTS
MARK R. HAFER, ARCHITECT
735 WALNUT STREET
SCLIPPER, CO. 94013
FAX 303.444.1759

SPCA OF MONTEREY COUNTY
MONTEREY, CALIFORNIA

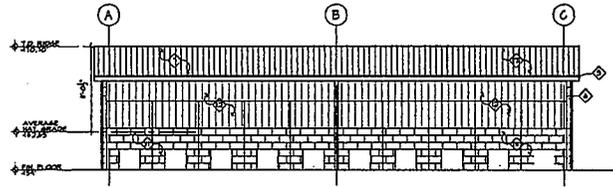
PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION

APPROVALS

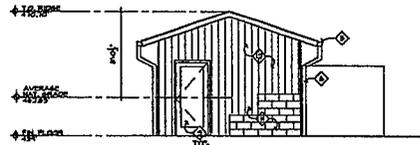
DATE: 19 MAY 2001

AI-2.0B

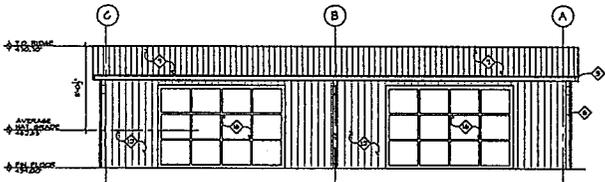
5 OF 15



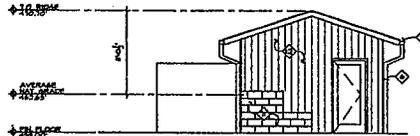
8 RUN ADOPTION NORTH ELEVATION
SCALE: 3/16" = 1'-0"



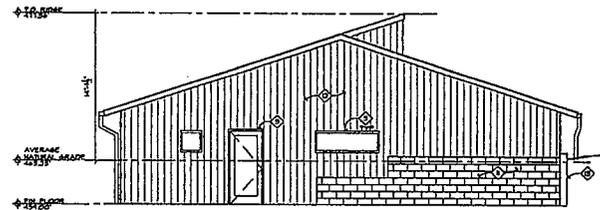
4 RUN ADOPTION EAST ELEVATION
SCALE: 3/16" = 1'-0"



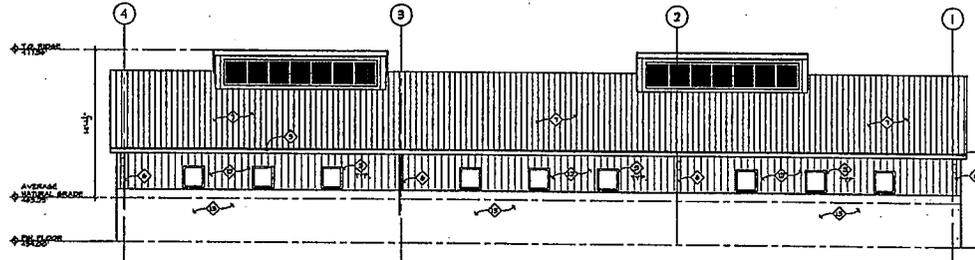
7 RUN ADOPTION SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



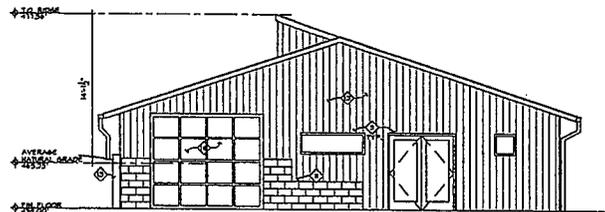
5 RUN ADOPTION WEST ELEVATION
SCALE: 3/16" = 1'-0"



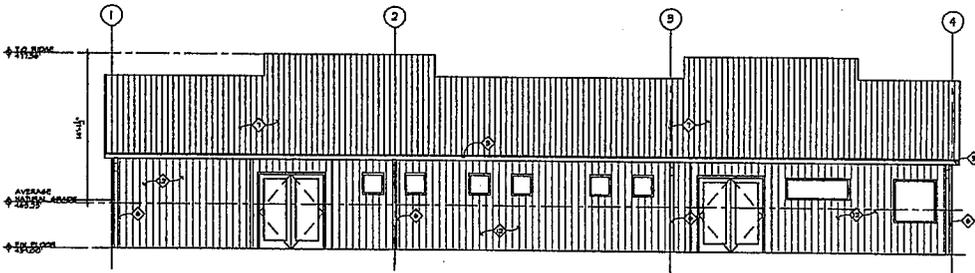
6 DOG ADOPTION SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2 DOG ADOPTION EAST ELEVATION
SCALE: 3/16" = 1'-0"



5 DOG ADOPTION NORTH ELEVATION
SCALE: 3/16" = 1'-0"



1 DOG ADOPTION WEST ELEVATION
SCALE: 3/16" = 1'-0"

GENERAL NOTES

KEY NOTES

SYMBOL	DESCRIPTION
◇	STUCCO SYSTEM, HDI CONSTRUCTION
◇	ACCENT STUCCO COLOR, HDI CONSTRUCTION
◇	ALUM. STONEFRONT SYSTEM
◇	DECORATIVE CONTROL JOINTS
◇	PRE-FINISHED INTER. TYP.
◇	PRE-FINISHED HTL. DOOR/FINISH, TYP.
◇	PRE-FIN METAL ROOFING
◇	LEAVES VENT
◇	PRE-FINISHED HTL. COPING TO MATCH ROOF
◇	ASPHALT SHINGLE ROOF
◇	GRAV. FILL
◇	PRE-FIN METAL SIDING
◇	CONCRETE RETAINMENT/FOUNDATION WALL
◇	PRE-FINISHED HTL. SKUPPER
◇	EXISTING CONSTRUCTION TO BE REPAINTED ALL PLACES
◇	OVERHEAD DOOR IV GLASS

ANIMAL ARTS
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735 WALNUT STREET
MONTEREY, CA 93940
TEL: 408.332.4413
FAX: 408.332.4414

SPCA OF MONTEREY COUNTY
MONTEREY, CALIFORNIA

PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION

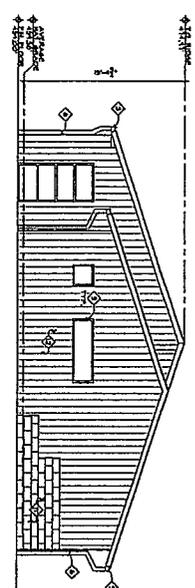
REVISIONS

DATE: 18 MAY 2017

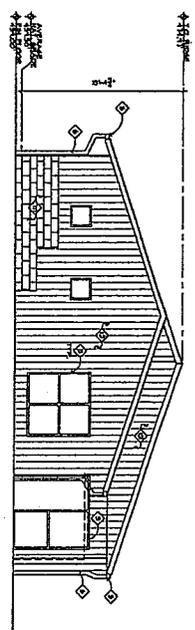
DRAWING TITLE: DOG ADOPTION/RUN EXT. ELEVATIONS

A2-3.0

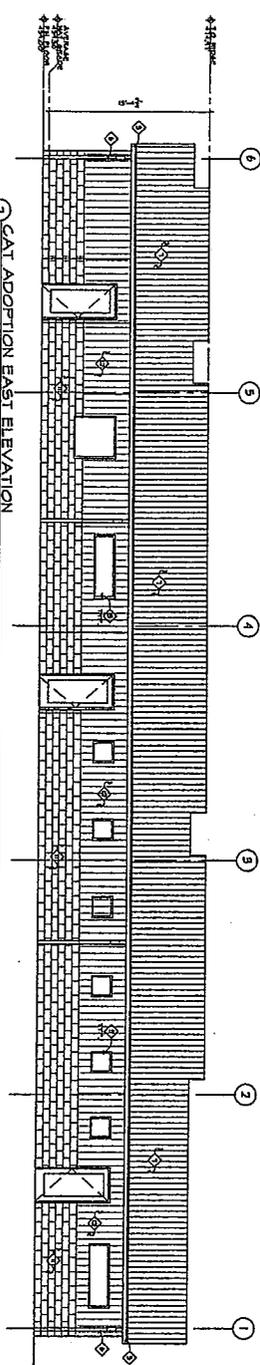
6 OF 15



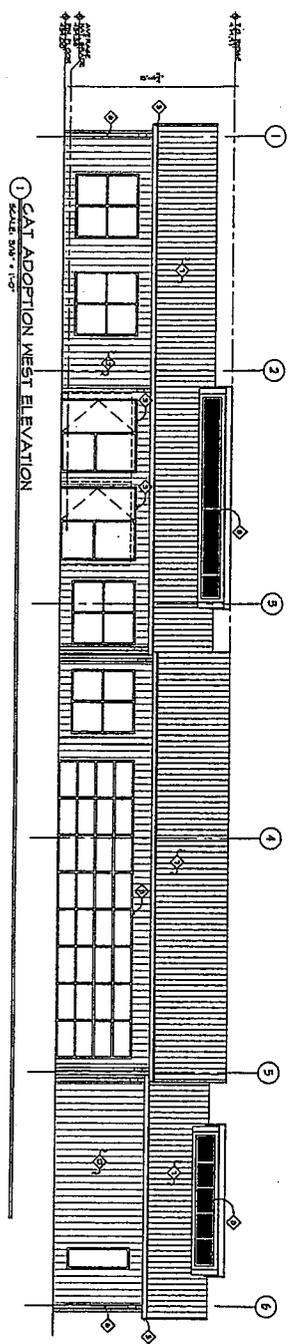
④ CAT ADOPTION SOUTH ELEVATION
SCALE 3/8" = 1'-0"



③ CAT ADOPTION NORTH ELEVATION
SCALE 3/8" = 1'-0"



② CAT ADOPTION EAST ELEVATION
SCALE 3/8" = 1'-0"



① CAT ADOPTION WEST ELEVATION
SCALE 3/8" = 1'-0"

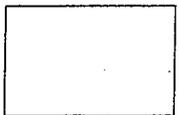
GENERAL NOTES

KEY NOTES
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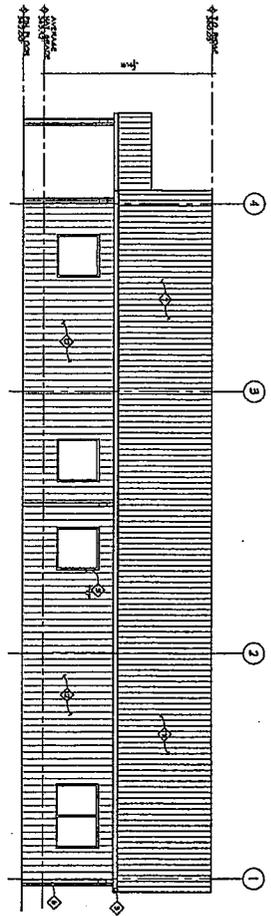
PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION

DATE: 11/18/15
PROJECT: CAT ADOPTION EXT. ELEVATIONS
SCALE: 3/8" = 1'-0"
1 OF 5

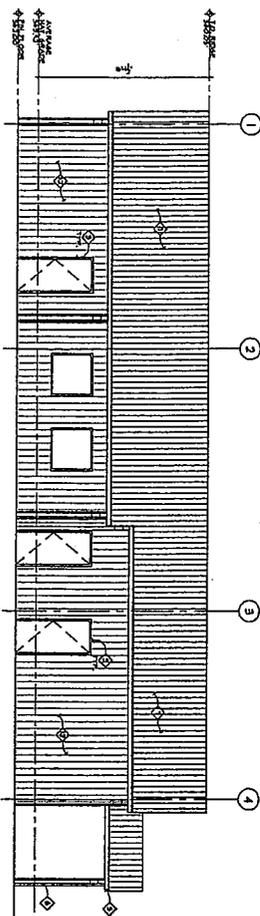
SPCA OF MONTEREY COUNTY
MONTEREY, CALIFORNIA



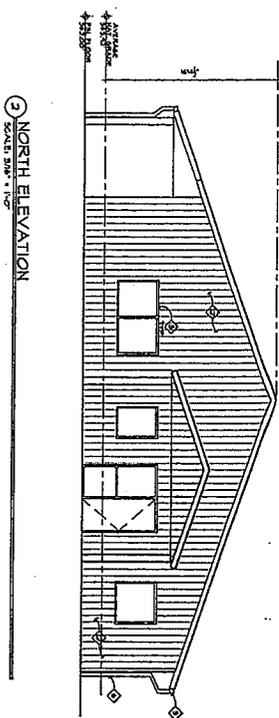
ANIMAL ARTS
MARK R. HAFEN, ARCHITECT
735 WALNUT STREET
BOULDER, CO 80302
1.800.332.4415
FAX 303.444.1759



WEST ELEVATION
SCALE: 3/16" = 1'-0"

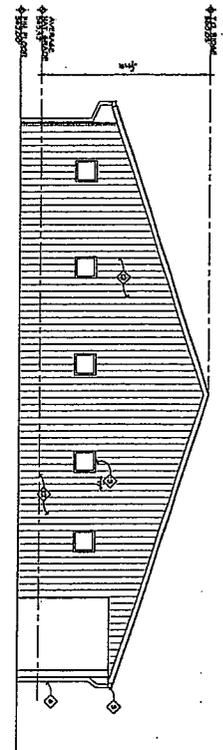


EAST ELEVATION
SCALE: 3/16" = 1'-0"

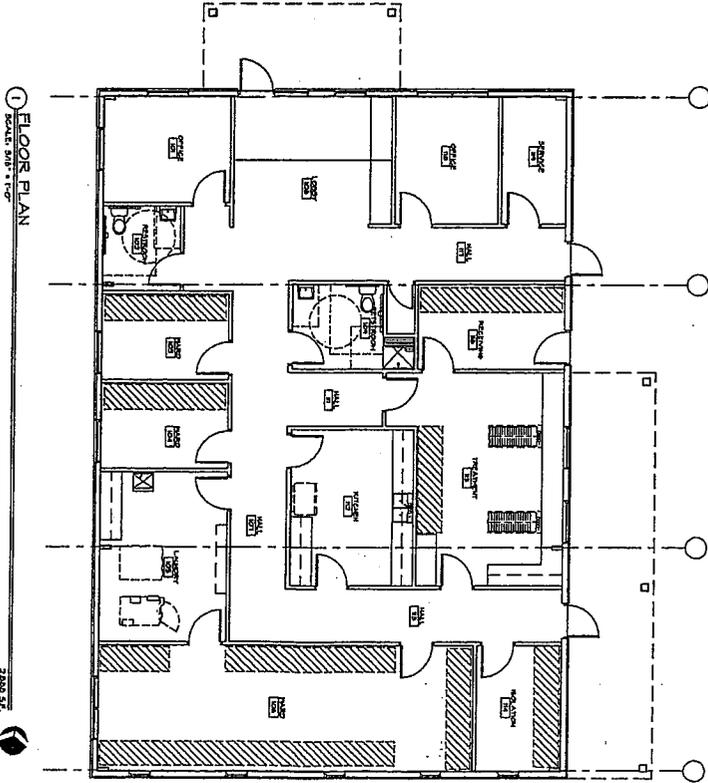


NORTH ELEVATION
SCALE: 3/16" = 1'-0"

GENERAL NOTES	
1	SEE KEY NOTES
2	SHOULD BE REPEATED FOR ALL ELEVATIONS
3	ALL WORK SHALL BE DONE PER CALIFORNIA
4	ALL WORK SHALL BE DONE PER CALIFORNIA
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SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



FLOOR PLAN
SCALE: 3/16" = 1'-0"

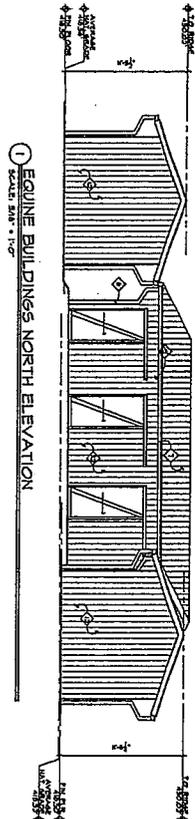
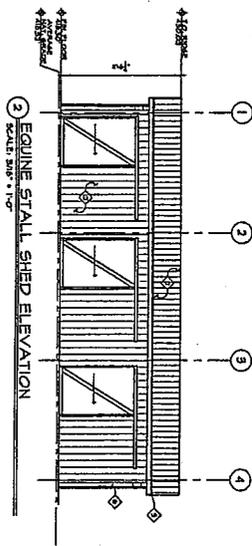
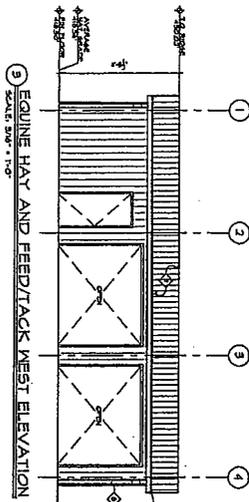
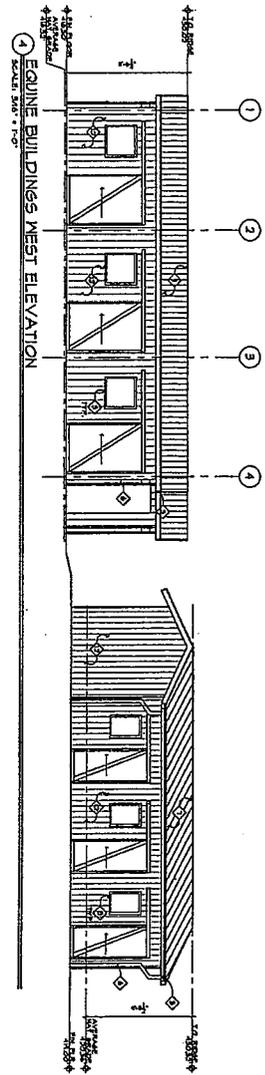
PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION

A4-2.0
11 OF 15

DATE: 11/14/10	PROJECT: SPCA OF MONTEREY COUNTY
SCALE: 3/16" = 1'-0"	PLAN & EXT. ELEV.
DESIGNER: MARK R. HAFEN	ARCHITECT
CLIENT: SPCA OF MONTEREY COUNTY	1000 MONTEREY AVENUE, SUITE 100
LOCATION: MONTEREY, CALIFORNIA	95035
PROJECT NO.:	
DATE:	
BY:	
CHECKED:	
APPROVED:	
TITLE:	

SPCA OF MONTEREY COUNTY
MONTEREY, CALIFORNIA

ANIMAL ARTS
MARK R. HAFEN, ARCHITECT
735 WALNUT STREET
BOULDER, CO 80302
1.800.352.4413
FAX 303.444.1759



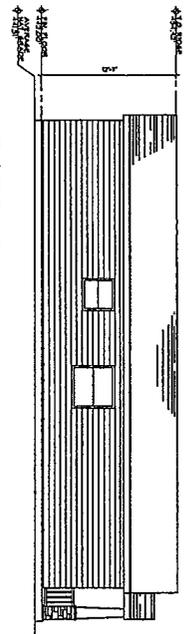
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PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION

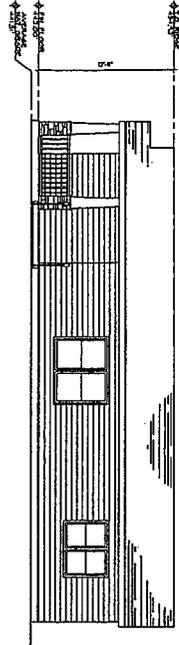
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 DRAWING TITLE:
 EQUINE BUILDINGS
 EXT. ELEVATIONS
 AS-3.0
 12 of 13

SPCA OF MONTEREY COUNTY
 MONTEREY, CALIFORNIA

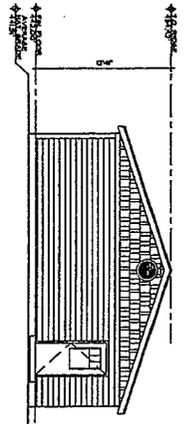
ANIMAL ARTS
 MARK R. HAFEN, ARCHITECT
 735 WALNUT STREET
 BCLDER, CO 80302
 1.800.332.4413
 FAX 303.444.1759



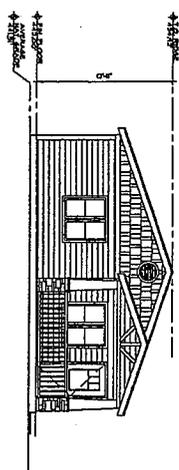
WEST ELEVATION
SCALE: 3/8" = 1'-0"



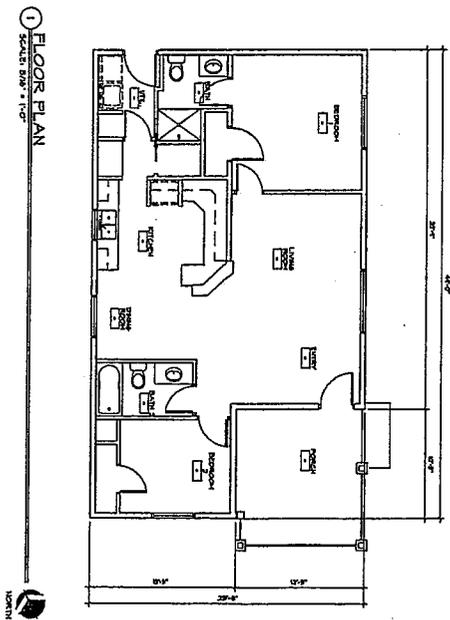
EAST ELEVATION
SCALE: 3/8" = 1'-0"



NORTH ELEVATION
SCALE: 3/8" = 1'-0"



SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



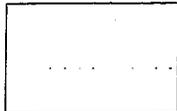
FLOOR PLAN
SCALE: 3/8" = 1'-0"

PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION

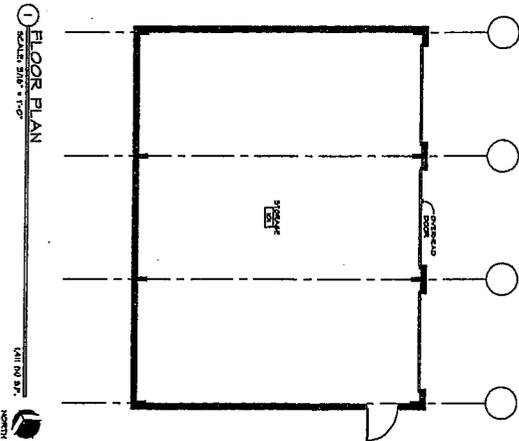
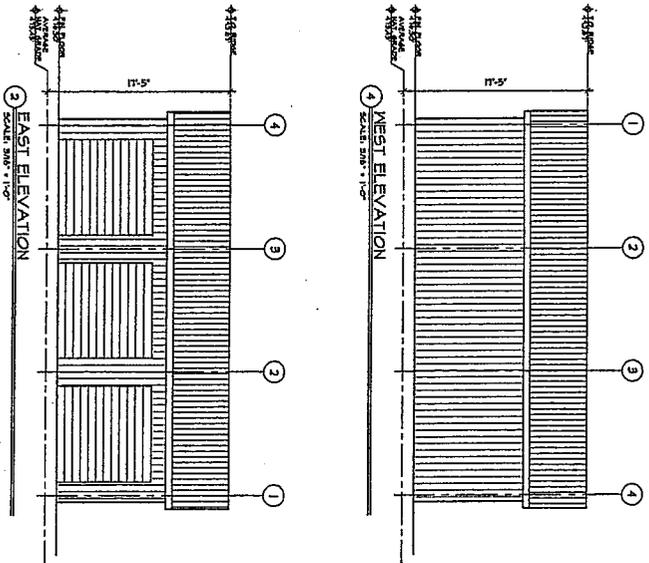
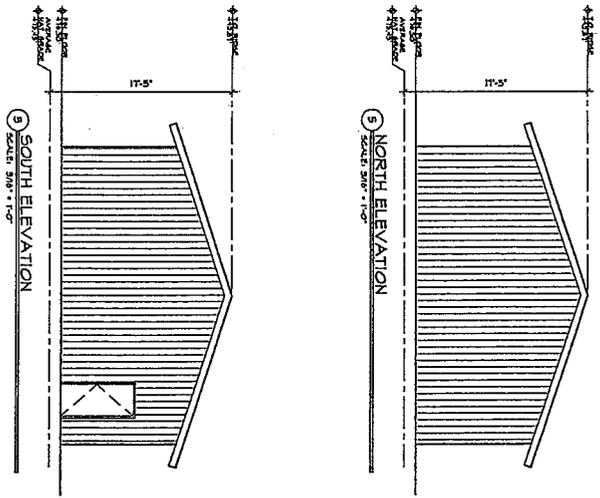
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A6-2.0
14 OCT 15

DRAWING TITLE	CARETAKER FLOOR PLAN & EXT. ELEVATIONS
DATE	10/14/15
PROJECT	SPCA OF MONTEREY COUNTY
LOCATION	MONTEREY, CALIFORNIA
CLIENT	SPCA OF MONTEREY COUNTY
ARCHITECT	ANIMAL ARTS MARK R. HAFEN, ARCHITECT

SPCA OF MONTEREY COUNTY
MONTEREY, CALIFORNIA



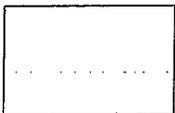
ANIMAL ARTS
MARK R. HAFEN, ARCHITECT
735 WALNUT STREET
BOULDER, CO 80302
1.800.332.4413
FAX 303.444.1759



PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION

DATE: 10/14/2003	PROJECT: STORAGE FLOOR PLANS & ELEVATIONS
SCALE: 3/8" = 1'-0"	
ARCHITECT: ANIMAL ARTS	
DESIGNER: MARK R. HAFEN	
PROJECT NO.:	
TITLE:	
DATE: 10/14/2003	

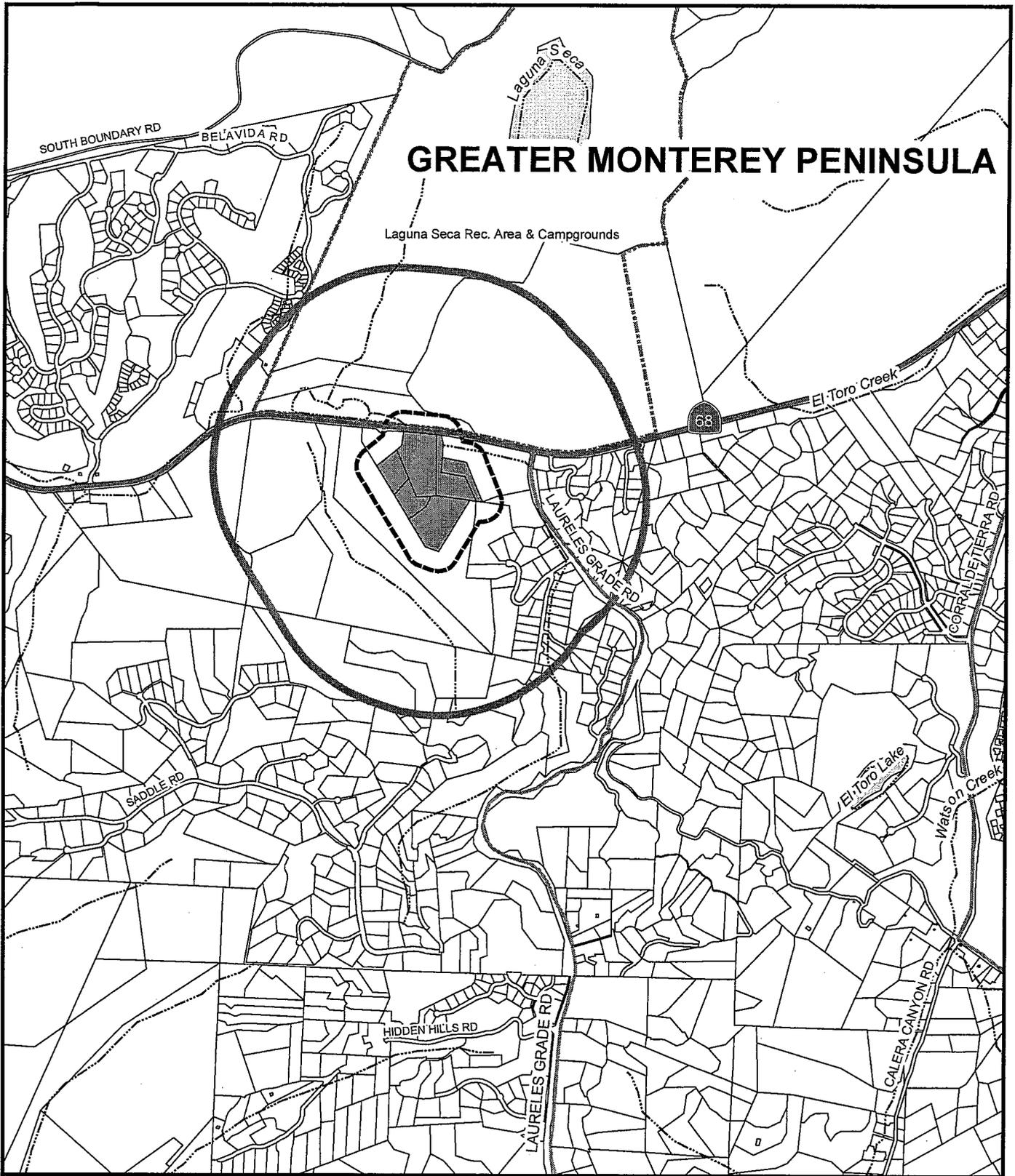
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A7-2.0
15 OF 19

GREATER MONTEREY PENINSULA

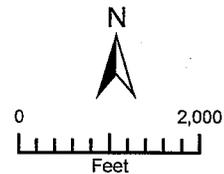


APPLICANT: MONTEREY COUNTY SPCA INC

APN: 173-011-003, 017, 018, 019, 020, 021

FILE # PLN060658

 300' Limit  2500' Limit  City Limits



PLANNER: BRADLEY

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