

# Exhibit A

This page intentionally left blank.

**EXHIBIT A  
DRAFT RESOLUTION**

**Before the Housing and Community Development Chief of Planning  
in and for the County of Monterey, State of California**

In the matter of the application of:

**GEORGE DAVID A & CAROL C TRS (PLN220186)**

**RESOLUTION NO. ----**

Resolution by the Monterey County HCD Chief of Planning:

- 1) Finding that the construction of an addition and minor alterations to an existing single family residence qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301 and there are no exceptions pursuant to Section 15300.2;
- 2) Approving a Coastal Administrative Permit and Design Approval to allow construction of a 134 square foot second story loft addition; and
- 3) Approving a Coastal Administrative Permit to allow conversion of a 360 square foot existing guest quarters into a junior accessory dwelling unit.

[PLN220186, George David A & Carol C Trs, 199 Van Ess Way, Carmel Land Use Plan Coastal Zone (Assessor's Parcel Number: 241-311-032-000)]

**The GEORGE DAVID A & CAROL C TRS application (PLN220186) came on for an administrative decision hearing before the Monterey County HCD Chief of Planning on February 1, 2023. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Monterey County HCD Chief of Planning finds and decides as follows:**

**FINDINGS**

**1. FINDING:**           **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

**EVIDENCE:**   a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 1982 Monterey County General Plan;
- Carmel Area Land Use Plan (Carmel LUP);
- Monterey County Coastal Implementation Plan, Part 4 (CIP); and
- Monterey County Zoning Ordinance - Coastal (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any

inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 199 Van Ess Way, Carmel, Carmel Area Land Use Plan, (Assessor's Parcel Number: 241-311-032-000). The parcel is zoned Low Density Residential, 1 unit per acre with a Design Control zoning overlay within Coastal Zone or "LDR/1-D(CZ)", which allows the first single family dwelling per legal lot of record and an Accessory Dwelling Unit meeting the development standards pursuant to Title 20 Section 20.64.030. The proposed project involves the construction of a 134 square foot second story loft addition to the main residence and conversion of a 360 square foot existing guest quarters into a junior accessory dwelling unit. Therefore, the project is an allowed land use for this site.
- c) Lot Legality. The property is shown, in its current size and configuration, as a portion of Carmel Highlands No. 2 according to Map filed March 18, 1920 in Volume 1 of Surveys, at Page 101, in the Office of the Monterey County Recorder. Therefore, the County recognizes the property as a legal lot of record.
- d) Design/Neighborhood and Community Character. Pursuant to Title 20, Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The primary exterior colors and materials proposed for the project include the following to match the existing home: wooden siding painted tan, brown trim, dark brown roofing, and a stone veneer chimney. External modification to the existing single family dwelling would be made to match existing colors. Proposed improvements include a new stainless-steel rail with black powder coating with a wooden top rail. Homes in the surrounding neighborhood consist of an eclectic architecture, ranging from modern to California-ranch and Spanish styles homes. Additionally, the project will be shielded from public view by existing trees and other landscaping. As proposed, the project assures protection of the public viewshed and remains comparable to the bulk and mass of other dwellings in the surrounding neighborhood.
- e) Development Standards. The development standards for the LDR zoning district are identified in Title 20 Section 20.14.060. Required setbacks for main dwelling units are 30 feet (front), 20 feet (rear), and 20 feet (sides). The maximum allowed height is 30 feet. As proposed, the single family dwelling will not result in any changes to existing setbacks and no increase in height. The proposed renovation would have a maximum high of 27 feet from the natural grade. The maximum allowed site coverage within the LDR zoning district is 15%. The existing single family dwelling has a site coverage of 14%, the proposed remodel would not increase existing site coverage. Therefore, as proposed and conditioned, the project conforms with the applicable development standards of the zoning district.
- f) Cultural Resources. The project site is in an area identified in County records as having a high archaeological sensitivity, and the area of

proposed development has been disturbed by previous structural and hardscape development, as well as extensive landscaping. However, the project does not include any groundbreaking activities. The project proposes minor alterations to the existing single family dwelling, therefore, a Coastal Administrative Permit is not required for development within 750 feet of known archaeological resources. Regardless, the County's standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction would be applied to the project.

- g) Land Use Advisory Committee (LUAC) Review. The project was not referred to the Carmel Unincorporated/Highlands LUAC as it does not meet the criteria for referral outlined in Board of Supervisors Resolution No. 15-103.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220186.

**2. FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, Carmel Highlands Fire Protection District (FPD), and California Coastal Commission. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
  - b) Staff conducted a site inspection on January 24, 2023, to verify that the site is suitable for this use.
  - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220186.

**3. FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, Carmel Highlands FPD, and California Coastal Commission. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary public facilities are available. The existing single family

dwelling has public water connection provided by the California American Water Company (Cal Am) as managed by the Monterey Peninsula Water Management District and will continue to use these same connections. In January 2022, a performance evaluation was conducted on the existing single family dwellings septic system. On November 17, 2022, the Environmental Health Bureau found the system to be sufficient enough to serve the project as proposed.

- c) Staff conducted a site inspection on January 24, 2023, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220186.

**4. FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
  - b) Staff conducted a site inspection on January 24, 2023, and researched County records to assess if any violation exists on the subject property.
  - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220186.

**5. FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301 categorically exempts the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use.
  - b) The proposed project involves the construction of the following improvements to an existing three-story single family residence: 1) Upper Loft: a 134 square foot office/den addition, new dormer, and new bathroom; 2) Main Floor: replace existing wood burning fireplaces with gas inserts and replace existing railing on the exterior deck; 3) Lower Floor: convert existing guest quarters into a 360 square foot junior accessory dwelling unit. Therefore, the proposed development qualifies as a Class 1 categorical exemption pursuant to Section 15301 of the CEQA Guidelines.
  - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact. Additionally, there is no substantial evidence of an unusual circumstance because there is no feature or condition of the

project that distinguishes the project from the exempt class.

- d) No adverse environmental effects were identified during staff review of the development application during a site visit on January 24, 2023.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220186.

**6. FINDING: PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.146.130 of the Monterey County Coastal Implementation Plan – Part 4 can be demonstrated.
  - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
  - c) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 3, Public Access, in the Carmel Area Land Use Plan).
  - d) The subject property is not identified as an area where the Local Coastal Program may require visual public access (Figure 3 and Map A of the Carmel Area Land Use Plan). See Evidence e below.
  - e) Based on the project location, and its topographical relationship to visual public access points in the area, the development proposal is not visible from any major public viewing area including 17-Mile Drive, Scenic Road, Highway 1 or Point Lobos. As proposed, the project would not result in any adverse visual impacts and is consistent with the applicable visual resource and public access policies of the Carmel Area Land Use Plan.
  - f) The project planner completed a site inspection on January 24, 2023, to verify that the proposed project would not impact public access.
  - g) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220186.

**7. FINDING: APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.

**EVIDENCE:** Board of Supervisors. Pursuant to Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

**DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find that the construction of an addition and minor alterations to an existing single family residence qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301 and there are no exceptions pursuant to Section 15300.2;
2. Approve a Coastal Administrative Permit and Design Approval to allow construction of a 134 square foot second story loft addition; and
3. Approve a Coastal Administrative Permit to allow conversion of a 360 square foot existing guest quarters into a junior accessory dwelling unit.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 1<sup>st</sup> day of February 2023.

---

Craig Spencer, HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE \_\_\_\_\_.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE \_\_\_\_\_.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

**NOTES**

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220186

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** The Coastal Administrative Permits and Design Approval (PLN220186) allows construction of a 134 square foot second story loft addition and conversion of a 360 square foot existing guest quarters into a junior accessory dwelling unit. The property is located at 199 Van Ness Way, Carmel (Assessor's Parcel Number 241-311-032-000), Carmel Area Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"Coastal Administrative Permits and Design Approval (Resolution Number \_\_\_\_\_) was approved by HCD Chief of Planning for Assessor's Parcel Number 241-311-032-000 on February 1, 2023. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

### 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

### 4. PD006(A) - CONDITION COMPLIANCE FEE

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

**Compliance or Monitoring Action to be Performed:** Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

## 5. PD041 - HEIGHT VERIFICATION

**Responsible Department:** HCD-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

This page intentionally left blank.

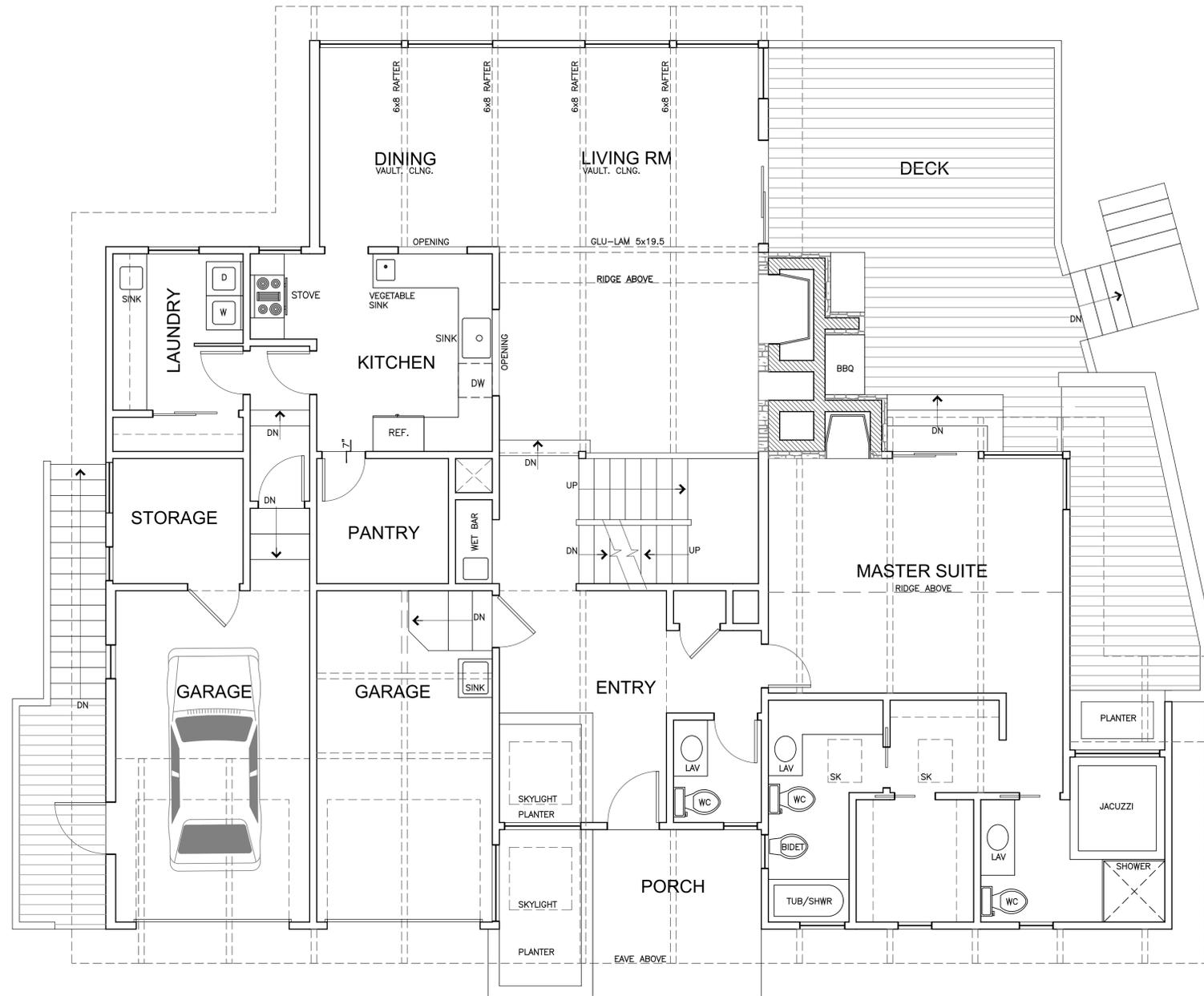


THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION OR REPRODUCTION IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE DESIGNER UNLESS OTHERWISE SPECIFIED. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

DATE	REVISION



P.O. Box 2094, Carmel, CA. 93921  
 Ph. 831.521.5924  
 Email. formastudio@comcast.net



# GEORGE RESIDENCE

198 VAN ESS WAY  
 CARMEL HIGHLANDS, CALIFORNIA

Job Number	2022-16
Date	10-31-22
Revision	
Drawn By	FDS

Sheet Number	<b>A-1.0.1</b>
of. Sheets	1
<b>'AS-BUILT' MAIN FLOOR</b>	

- (E) FRAMED WALL
- (E) CONCRETE WALL



**AS-BUILT MAIN FLOOR PLAN**

Scale	1
1/4" = 1'-0"	

DATE	REVISION



P.O. Box 2094, Carmel, CA. 93921  
 Ph. 831.521.5924  
 Email: formastudio@comcast.net

**GEORGE RESIDENCE**  
 198 VAN ESS WAY  
 CARMEL HIGHLANDS, CALIFORNIA

Job Number	2022-16
Date	10-31-22
Revision	
Drawn By	FDS

Sheet Number

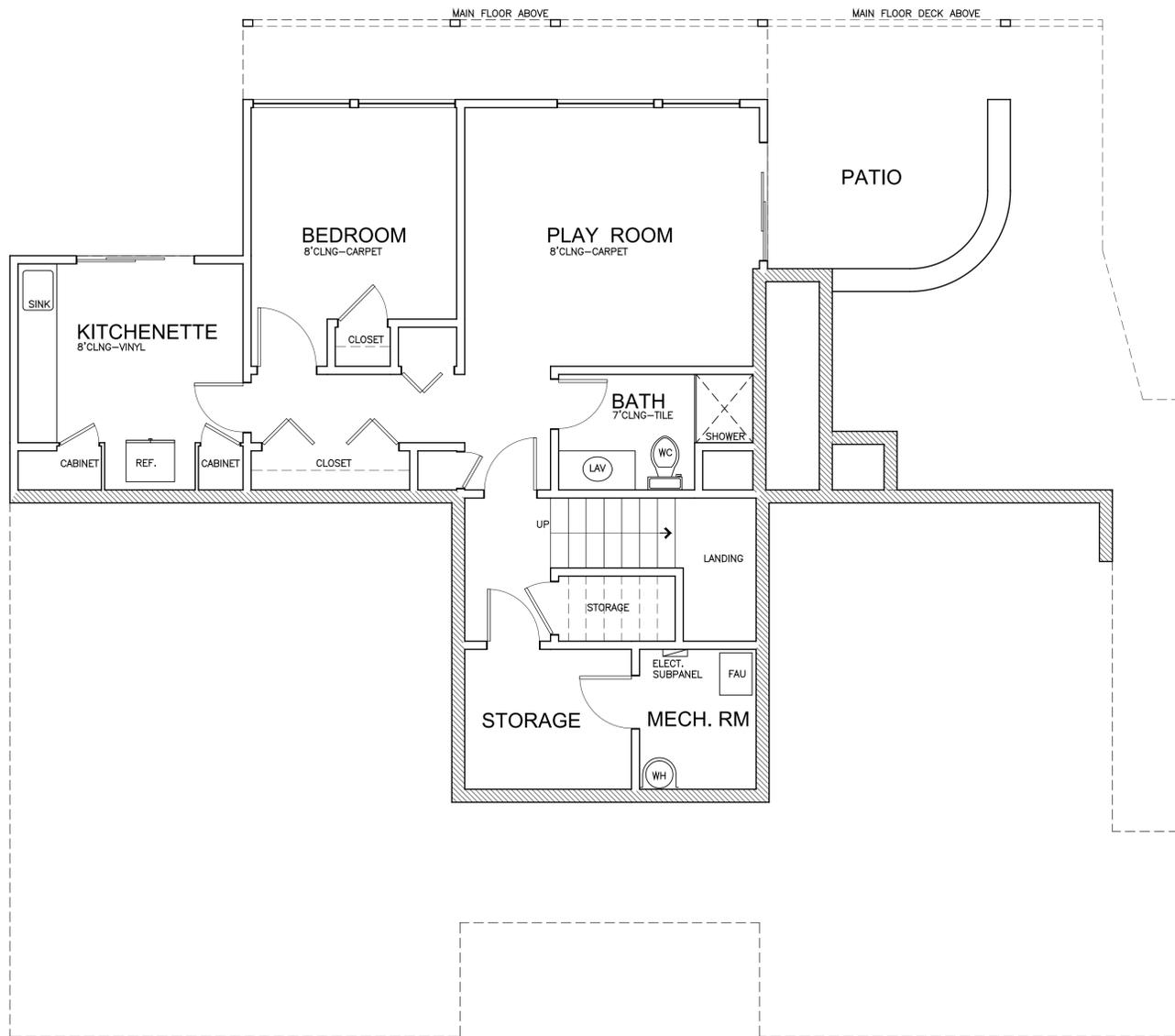
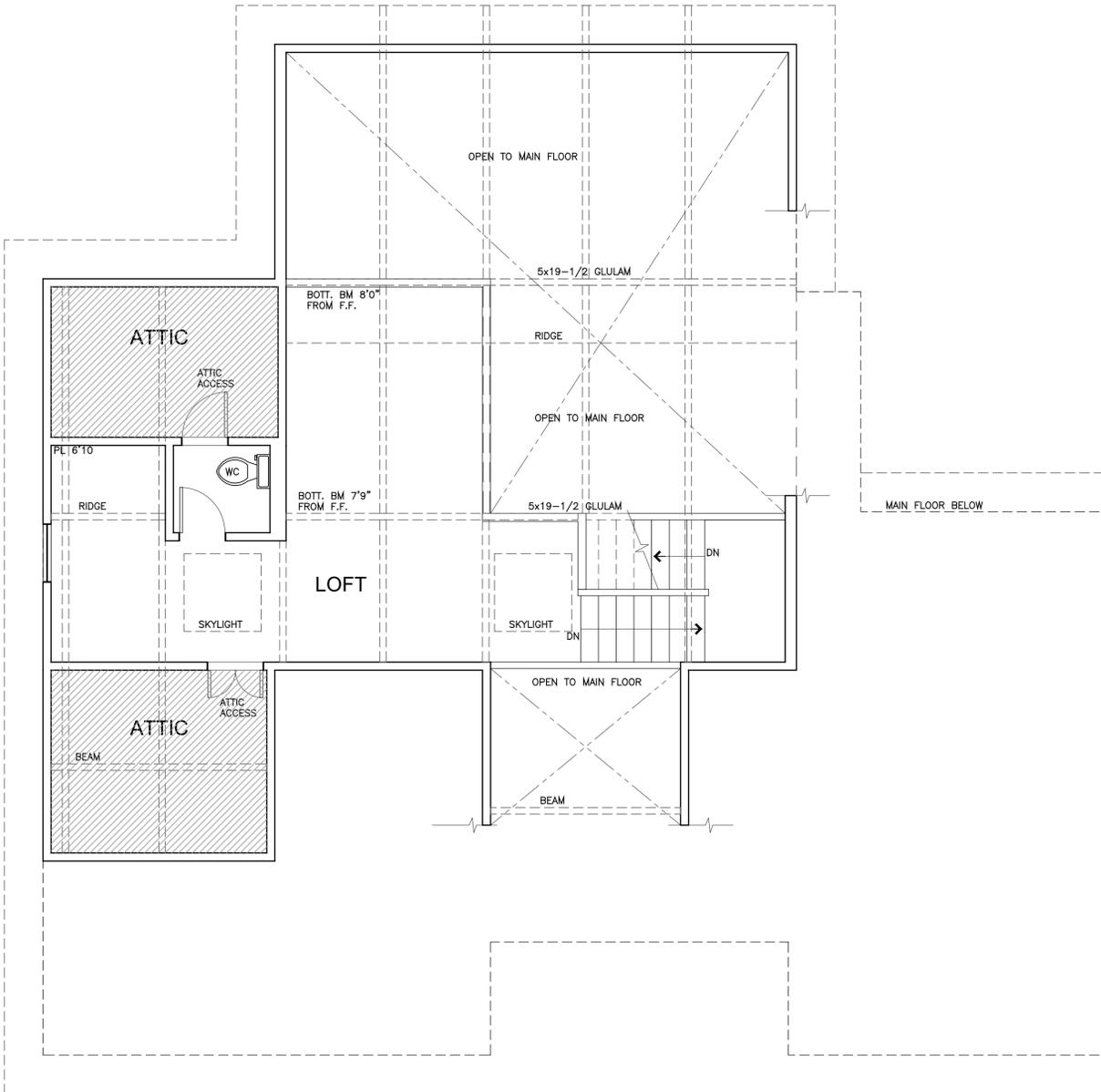
**A-1.0.2**

of Sheets



Scale	2
1/4"=1'-0"	

'AS-BUILT' LOWER & UPPER FLOOR



EXISTING LOWER FLOOR PLAN

Scale	1
1/4"=1'-0"	

AS-BUILT LOFT FLOOR PLAN

- (E) FRAMED WALL
- (E) CONCRETE WALL

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION THEREOF OR EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY MEANS, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE DESIGNER UNLESS OTHERWISE SPECIFIED. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

DATE	REVISION



P.O. Box 2094, Carmel, CA, 93921  
Ph. 831.521.5924  
Email: formastudio@comcast.net

# GEORGE RESIDENCE

199 VAN ESS WAY  
CARMEL HIGHLANDS, CALIFORNIA

Job Number	2022-16
Date	10-31-22
Revision	
Drawn By	FDS

Sheet Number

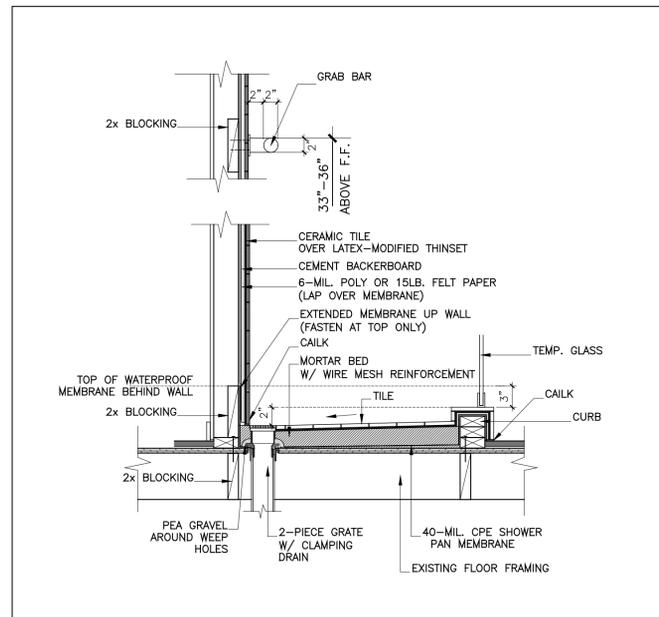
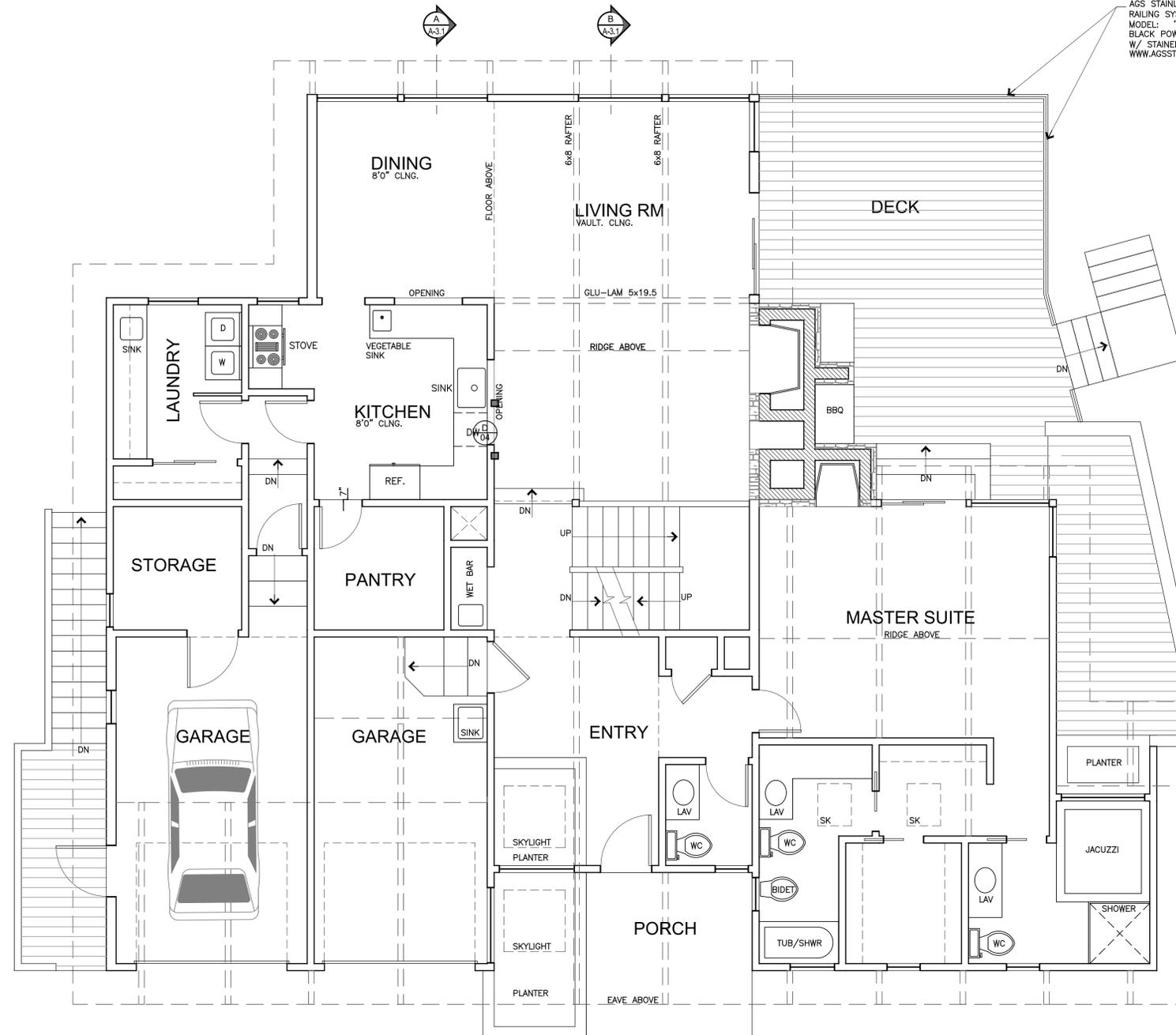
## A-1.1.1

of Sheets

MAIN FLOOR



AGS STAINLESS STEEL RAILING SYSTEM - 42" HEIGHT.  
MODEL: POLYMPUS  
BLACK POWDER COATED POSTS  
W/ STAINED WOOD RAIL  
WWW.AGSTAINLESS.COM



SHOWER WATERPROOFING, TYP.

Scale	2
N.T.S.	

- (N) FRAMED WALL
- (E) FRAMED WALL
- (E) CONCRETE WALL



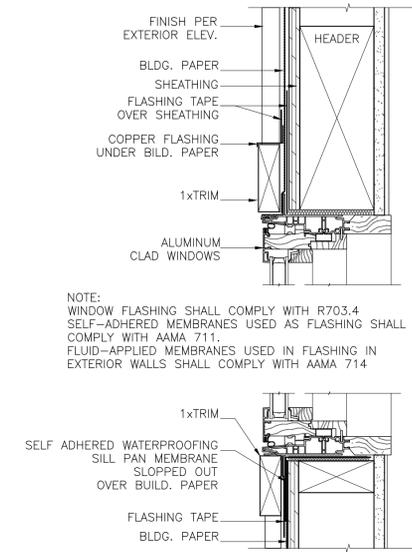
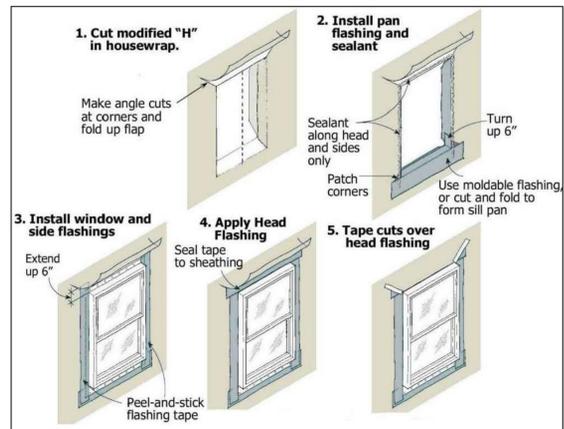
PROPOSED MAIN FLOOR PLAN

Scale	1
1/4"=1'-0"	

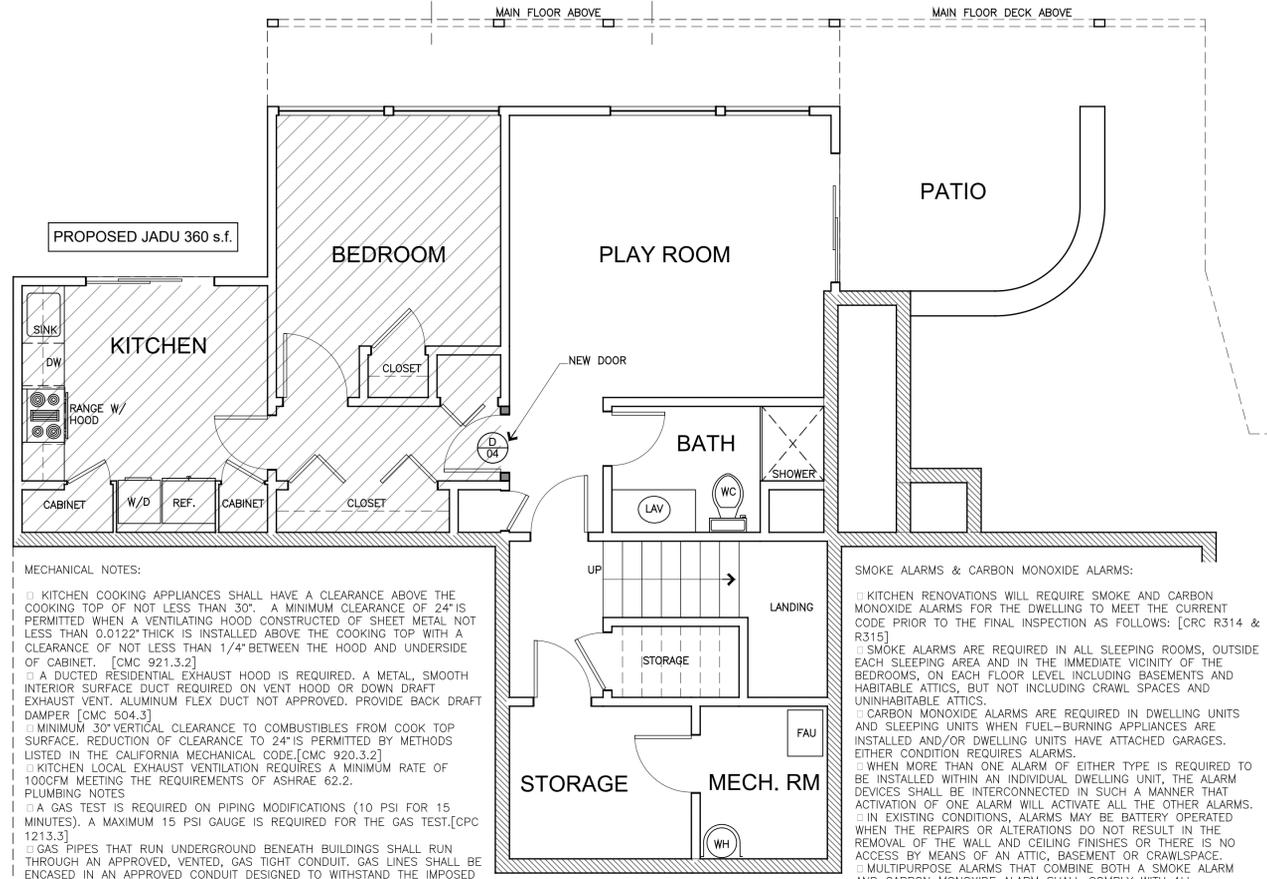
TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE DESIGNER UNLESS OTHERWISE SPECIFIED. VISUAL CONTENT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMARY EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY OTHER PARTY IS PROHIBITED.

TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE DESIGNER UNLESS INDICATED OTHERWISE. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



WINDOW - WATERPROOFING DETAIL 3



**MECHANICAL NOTES:**

- KITCHEN COOKING APPLIANCES SHALL HAVE A CLEARANCE ABOVE THE COOKING TOP OF NOT LESS THAN 30". A MINIMUM CLEARANCE OF 24" IS PERMITTED WHEN A VENTILATING HOOD CONSTRUCTED OF SHEET METAL NOT LESS THAN 0.0122" THICK IS INSTALLED ABOVE THE COOKING TOP WITH A CLEARANCE OF NOT LESS THAN 1/4" BETWEEN THE HOOD AND UNDERSIDE OF CABINET. [CMC 921.3.2]
- A DUCTED RESIDENTIAL EXHAUST HOOD IS REQUIRED. A METAL, SMOOTH INTERIOR SURFACE DUCT REQUIRED ON VENT HOOD OR DOWN DRAFT EXHAUST VENT. ALUMINUM FLEX DUCT NOT APPROVED. PROVIDE BACK DRAFT DAMPER [CMC 504.3]
- MINIMUM 30" VERTICAL CLEARANCE TO COMBUSTIBLES FROM COOK TOP SURFACE. REDUCTION OF CLEARANCE TO 24" IS PERMITTED BY METHODS LISTED IN THE CALIFORNIA MECHANICAL CODE [CMC 920.3.2]
- KITCHEN LOCAL EXHAUST VENTILATION REQUIRES A MINIMUM RATE OF 100CFM MEETING THE REQUIREMENTS OF ASHRAE 62.2.
- PLUMBING NOTES
- A GAS TEST IS REQUIRED ON PIPING MODIFICATIONS (10 PSI FOR 15 MINUTES). A MAXIMUM 15 PSI GAUGE IS REQUIRED FOR THE GAS TEST. [CPC 1213.3]
- GAS PIPES THAT RUN UNDERGROUND BENEATH BUILDINGS SHALL RUN THROUGH AN APPROVED, VENTED, GAS TIGHT CONDUIT. GAS LINES SHALL BE ENCASED IN AN APPROVED CONDUIT DESIGNED TO WITHSTAND THE IMPOSED LOADS OR IN AN ENCASEMENT SYSTEM THAT IS LISTED FOR INSTALLATION BENEATH BUILDINGS [CPC 1210.1.6.1][CPC 1210.1.6.2]
- AN ACCESSIBLE SHUTOFF VALVE SHALL BE INSTALLED OUTSIDE AND WITHIN 6'-FEET EACH APPLIANCE AND AHEAD OF THE UNION CONNECTED THERETO AND IN ADDITION TO ANY VALVE ON THE APPLIANCE [CPC 1211.5]
- PROVIDE A LISTED GAS FLEXIBLE CONNECTOR AND SHUT OFF TO FREESTANDING RANGE.
- A LISTED AIR GAP IS REQUIRED FOR THE DISHWASHER DRAIN. [CPC 807.4]
- THE MAXIMUM FLOW RATE STANDARDS FOR THE SINK FAUCETS ARE 1.8 GPM AT 60PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GPM AT 60PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GPM. [CPC 420.2.1]
- ISLAND DRAIN AND VENTING SHALL BE INSTALLED PER SECTION 909 OF THE CPC
- TRAP ARM LENGTH SHALL BE DETERMINED BY TABLE 1002.2 OF THE CPC. PLUMBING FIXTURE
- 4" DRYER VENT. DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14" WITH TWO ELBOWS. THIS SHALL BE REDUCED 2' FOR EVERY ELBOW IN EXCESS (504.3.2 CMC)

**SMOKE ALARMS & CARBON MONOXIDE ALARMS:**

- KITCHEN RENOVATIONS WILL REQUIRE SMOKE AND CARBON MONOXIDE ALARMS FOR THE DWELLING TO MEET THE CURRENT CODE PRIOR TO THE FINAL INSPECTION AS FOLLOWS: [CRC R314 & R315]
- SMOKE ALARMS ARE REQUIRED IN ALL SLEEPING ROOMS, OUTSIDE EACH SLEEPING AREA AND IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH FLOOR LEVEL INCLUDING BASEMENTS AND HABITABLE ATTICS, BUT NOT INCLUDING CRAWL SPACES AND UNHABITABLE ATTICS.
- CARBON MONOXIDE ALARMS ARE REQUIRED IN DWELLING UNITS AND SLEEPING UNITS WHEN FUEL-BURNING APPLIANCES ARE INSTALLED AND/OR DWELLING UNITS HAVE ATTACHED GARAGES. EITHER CONDITION REQUIRES ALARMS.
- WHEN MORE THAN ONE ALARM OF EITHER TYPE IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE OTHER ALARMS.
- IN EXISTING CONDITIONS, ALARMS MAY BE BATTERY OPERATED WHEN THE REPAIRS OR ALTERATIONS DO NOT RESULT IN THE REMOVAL OF THE WALL AND CEILING FINISHES OR THERE IS NO ACCESS BY MEANS OF AN ATTIC, BASEMENT OR CRAWLSPACE.
- MULTIPURPOSE ALARMS THAT COMBINE BOTH A SMOKE ALARM AND CARBON MONOXIDE ALARM SHALL COMPLY WITH ALL APPLICABLE STANDARDS OF BOTH CRC SECTIONS R314 AND R315 AND BE LISTED BY THE OFFICE OF THE STATE FIRE MARSHAL.

**FIRE SEPARATION:**

- R302.3 - ADU UNIT SHALL BE SEPARATED BY WALL, UNDER STAIRS & FLOOR ASSEMBLIES NOT LESS THAN 1 HOUR FIRE RESISTANCE RATING. WALL ASSEMBLIES SHALL EXTEND FROM FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING

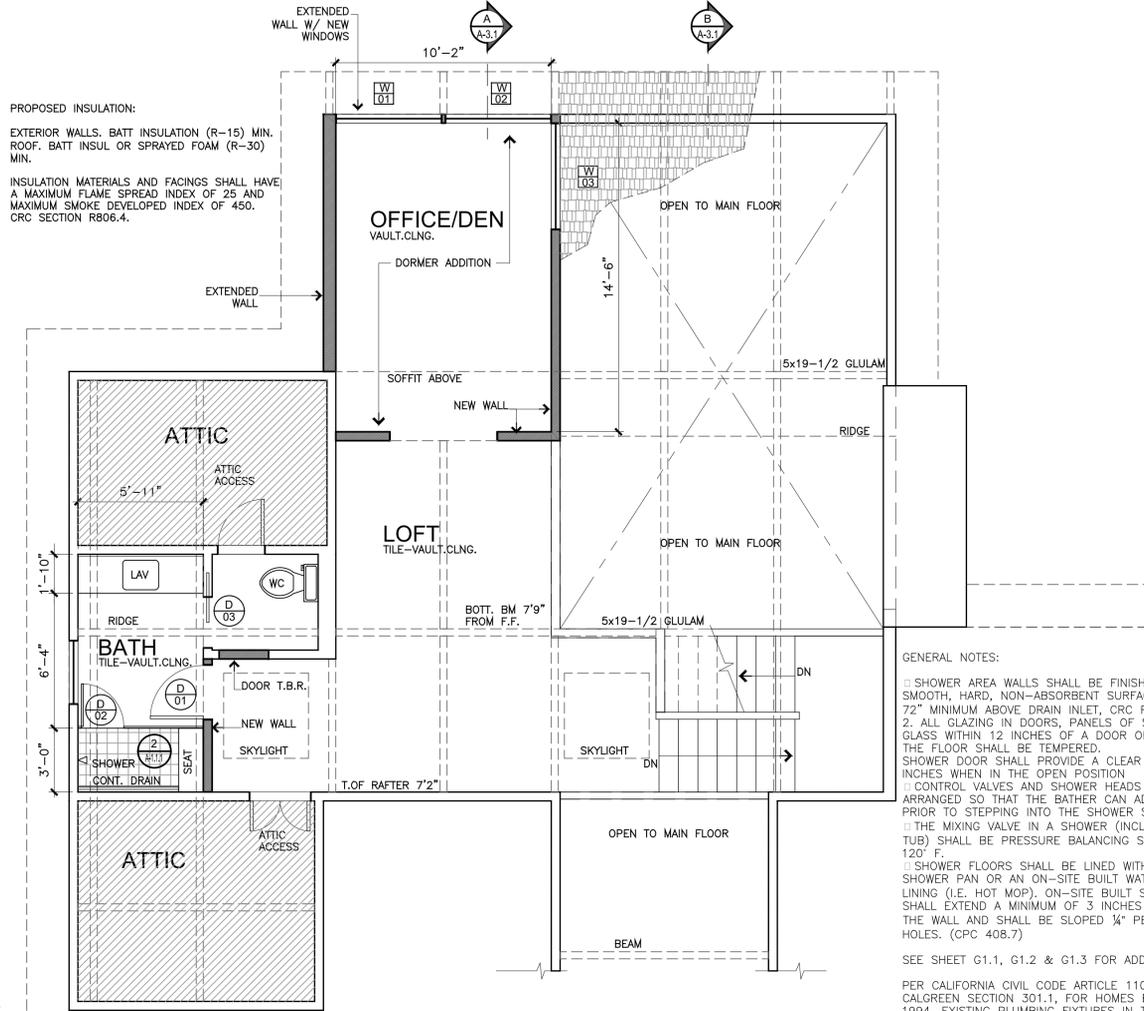
**ROOF VENTILATION REQUIREMENTS:**

- OPENINGS IN ROOF FRAMINGS MUST CONFORM TO THE REQUIREMENTS OF SECTION R802.7 IN THE 2019 CRC (CUTTING AND NOTCHING STRUCTURAL ROOF MEMBERS).
- ADU SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF NOT LESS THAN 68 DEGREES FAHRENHEIT AT A POINT 3 FEET ABOVE THE FLOOR AND 2- FEET FROM EXTERIOR WALLS IN HABITABLE ROOMS.

**HEAT PUMP:**

- PROVIDE INSTALLATION MANUAL ON SITE FOR BUILDING INSPECTOR'S REVIEW

PROPOSED JADU - LOWER FLOOR PLAN Scale 1/4"=1'-0" 1



**PROPOSED INSULATION:**

- EXTERIOR WALLS, BATT INSULATION (R-15) MIN.
- ROOF, BATT INSUL OR SPRAYED FOAM (R-30) MIN.

INSULATION MATERIALS AND FACINGS SHALL HAVE A MAXIMUM FLAME SPREAD INDEX OF 25 AND MAXIMUM SMOKE DEVELOPED INDEX OF 450. CRC SECTION R806.4.

**GENERAL NOTES:**

- SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD, NON-ABSORBENT SURFACE TO A HEIGHT OF 72" MINIMUM ABOVE DRAIN INLET, CRC R307.2
- ALL GLAZING IN DOORS, PANELS OF SHOWERS AND GLASS WITHIN 12 INCHES OF A DOOR OR 18 INCHES OF THE FLOOR SHALL BE TEMPERED.
- SHOWER DOOR SHALL PROVIDE A CLEAR OPENING OF 22 INCHES WHEN IN THE OPEN POSITION
- CONTROL VALVES AND SHOWER HEADS SHALL BE ARRANGED SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY.
- THE MIXING VALVE IN A SHOWER (INCLUDING OVER A TUB) SHALL BE PRESSURE BALANCING SET AT A MAXIMUM 120" F.
- SHOWER FLOORS SHALL BE LINED WITH AN APPROVED SHOWER PAN OR AN ON-SITE BUILT WATERTIGHT APPROVED LINING (I.E. HOT MOP). ON-SITE BUILT SHOWER LININGS SHALL EXTEND A MINIMUM OF 3 INCHES VERTICALLY UP THE WALL AND SHALL BE SLOPED 1/4" PER FOOT TO WEEP HOLES. (CPC 408.7)

SEE SHEET G1.1, G1.2 & G1.3 FOR ADDITIONAL NOTES

PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 301.1, FOR HOMES BUILT PRIOR TO 1994, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET CURRENT FLOW RATES WILL NEED TO BE UPGRADED.

- WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6 GPF WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.28 GPF.
- SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM 1.8 GPM SHOWER HEAD.
- LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.2 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).

(N) FRAMED WALL  
(E) FRAMED WALL  
(E) CONCRETE WALL

PROPOSED LOFT FLOOR PLAN Scale 1/4"=1'-0" 2

DATE	REVISION



P.O. Box 2094, Carmel, CA, 93921  
Ph. 831.521.5924  
Email: formastudio@comcast.net

**GEORGE RESIDENCE**  
199 VAN ESSL WAY  
CARMEL HIGHLANDS, CALIFORNIA

Job Number	2022-16
Date	10-31-22
Revision	
Drawn By	FDS

Sheet Number

**A-1.1.2**  
of: Sheets  
**LOWER & UPPER FLOOR**



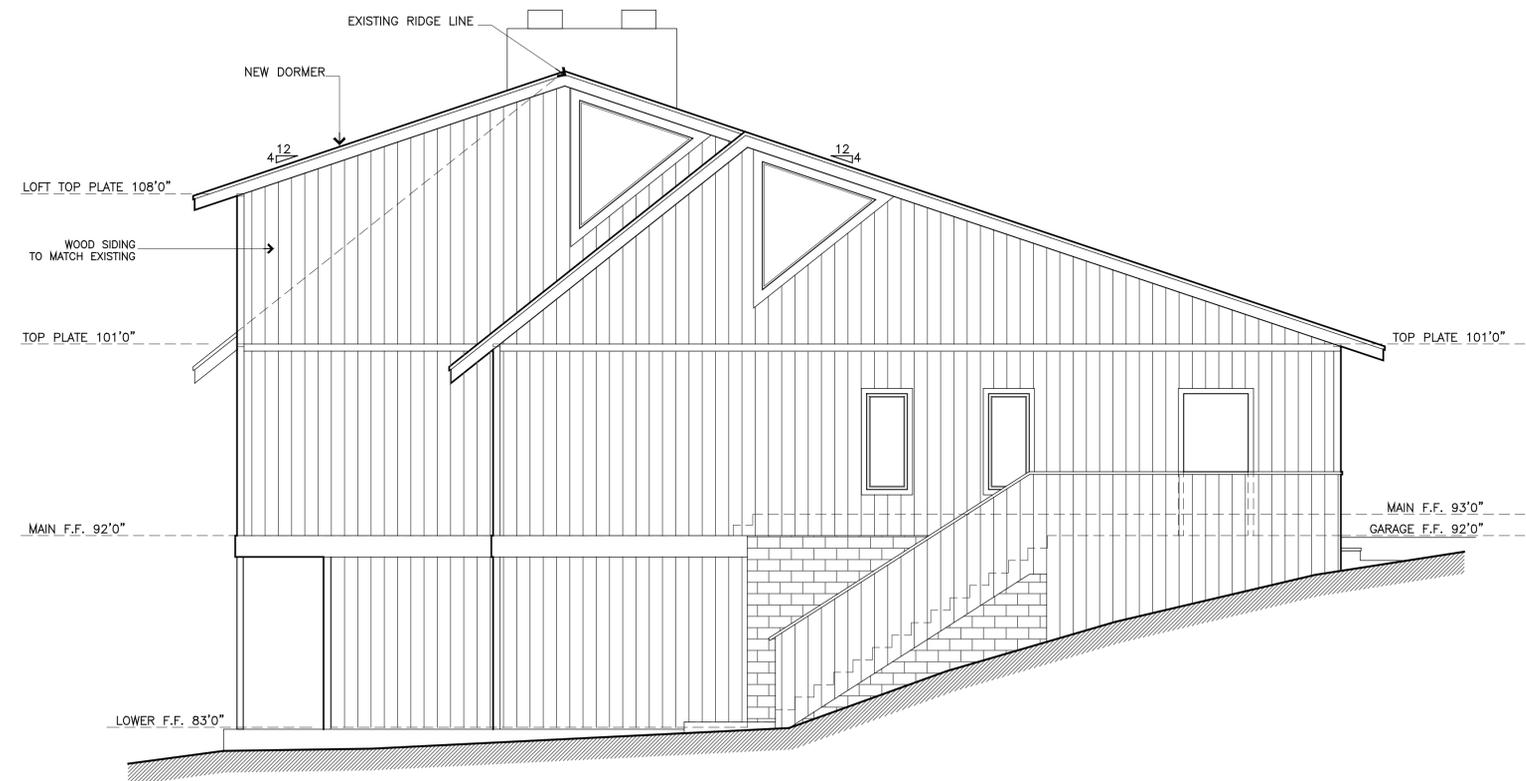
TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE DESIGNER UNLESS OTHERWISE SPECIFIED. VISUAL CONTRACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE FINAL ACCEPTANCE OF THE ACCURACY OF THESE DRAWINGS.

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY OTHER PARTY IS PROHIBITED.

DATE	REVISION

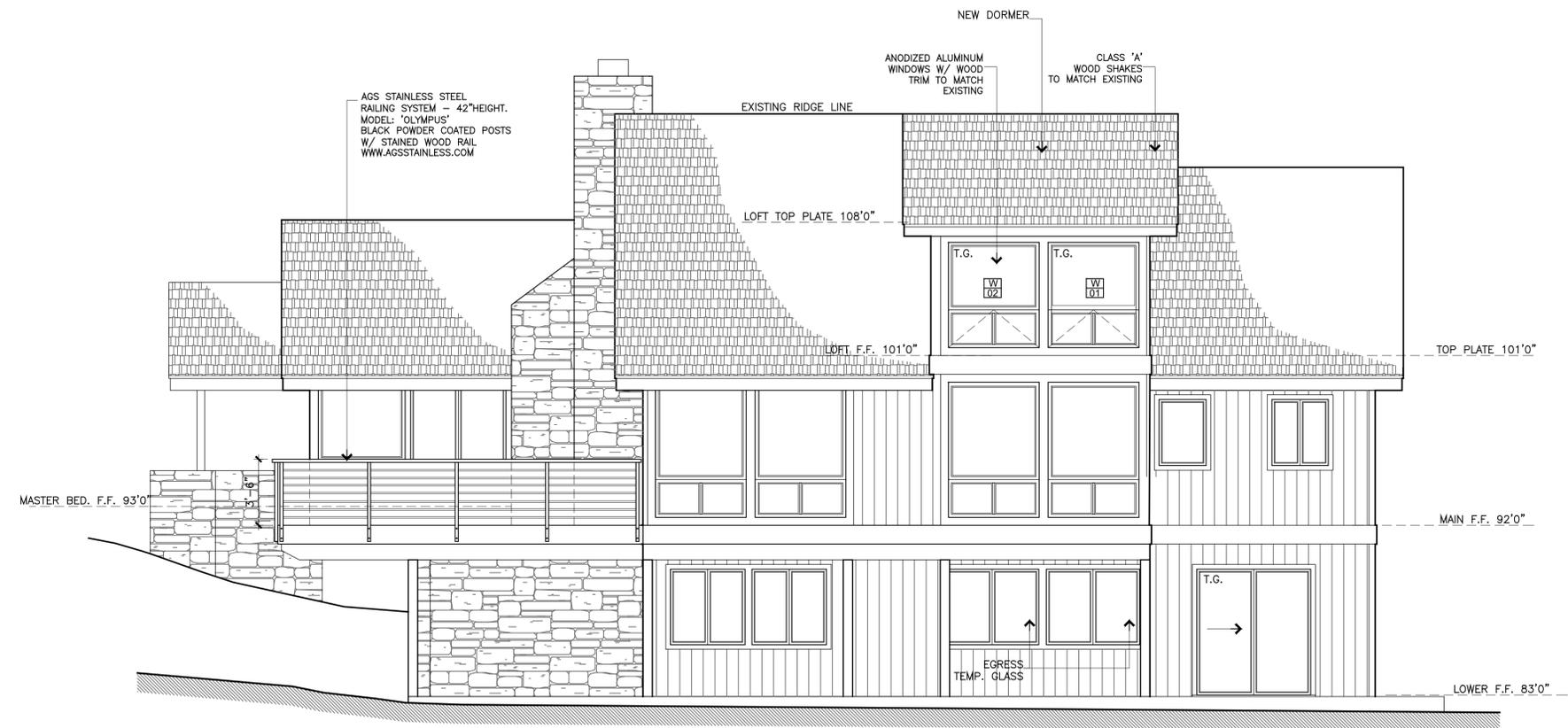


P.O. Box 2094, Carmel, CA, 93921  
 Ph. 831.521.5924  
 Email: formastudio@comcast.net



PROPOSED EAST ELEVATION

EAST  
 1/4"=1'-0" E



PROPOSED SOUTH ELEVATION

SOUTH  
 1/4"=1'-0" S

**GEORGE RESIDENCE**  
 199 VAN ESS WAY  
 CARMEL HIGHLANDS, CALIFORNIA

Job Number	2022-16
Date	10-31-22
Revision	
Drawn By	FDS

Sheet Number

**A-2.1**

of Sheets

PROPOSED ELEVATIONS

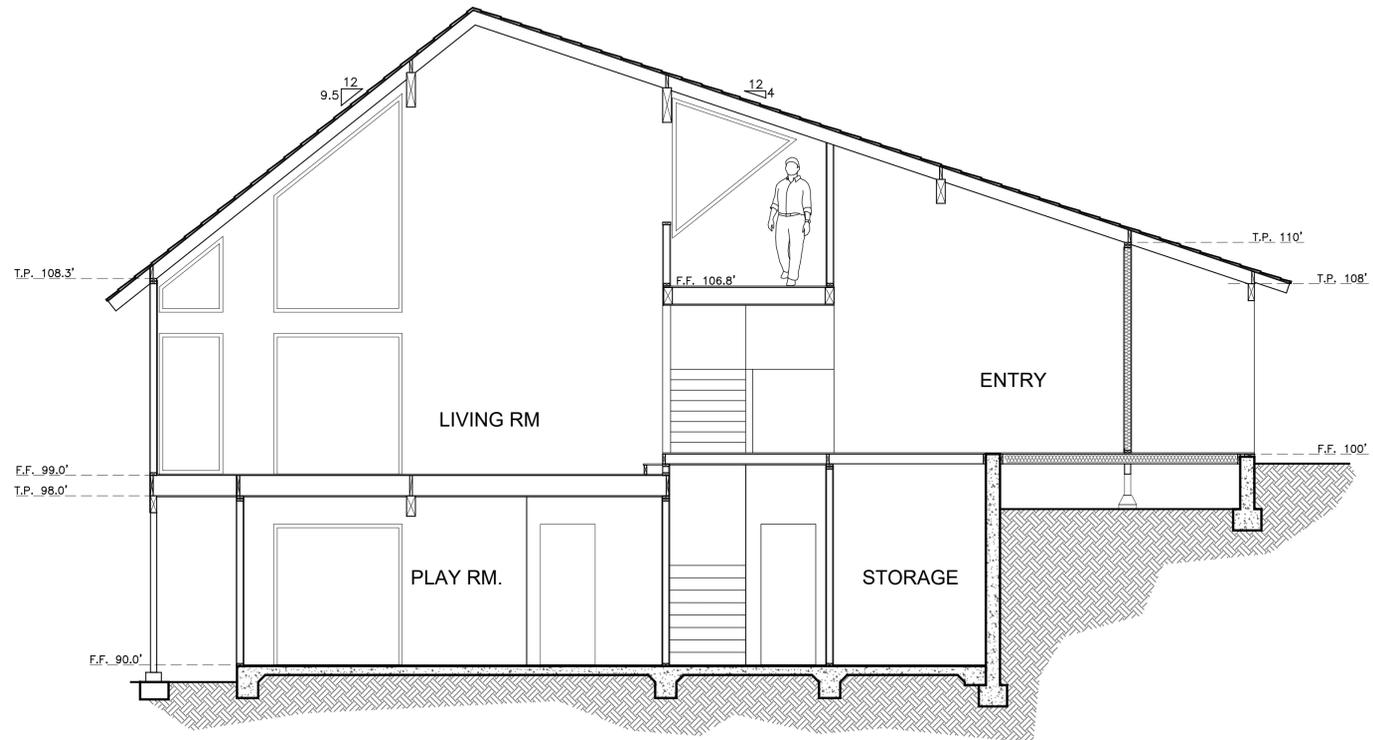
TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE DESIGNER UNLESS OTHERWISE INDICATED. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE FULL AWARENESS OF THE ACCEPTANCE OF THESE RESTRICTIONS.

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION OR REPRODUCTION IN ANY MANNER, IN WHOLE OR IN PART, IS PROHIBITED.

DATE	REVISION

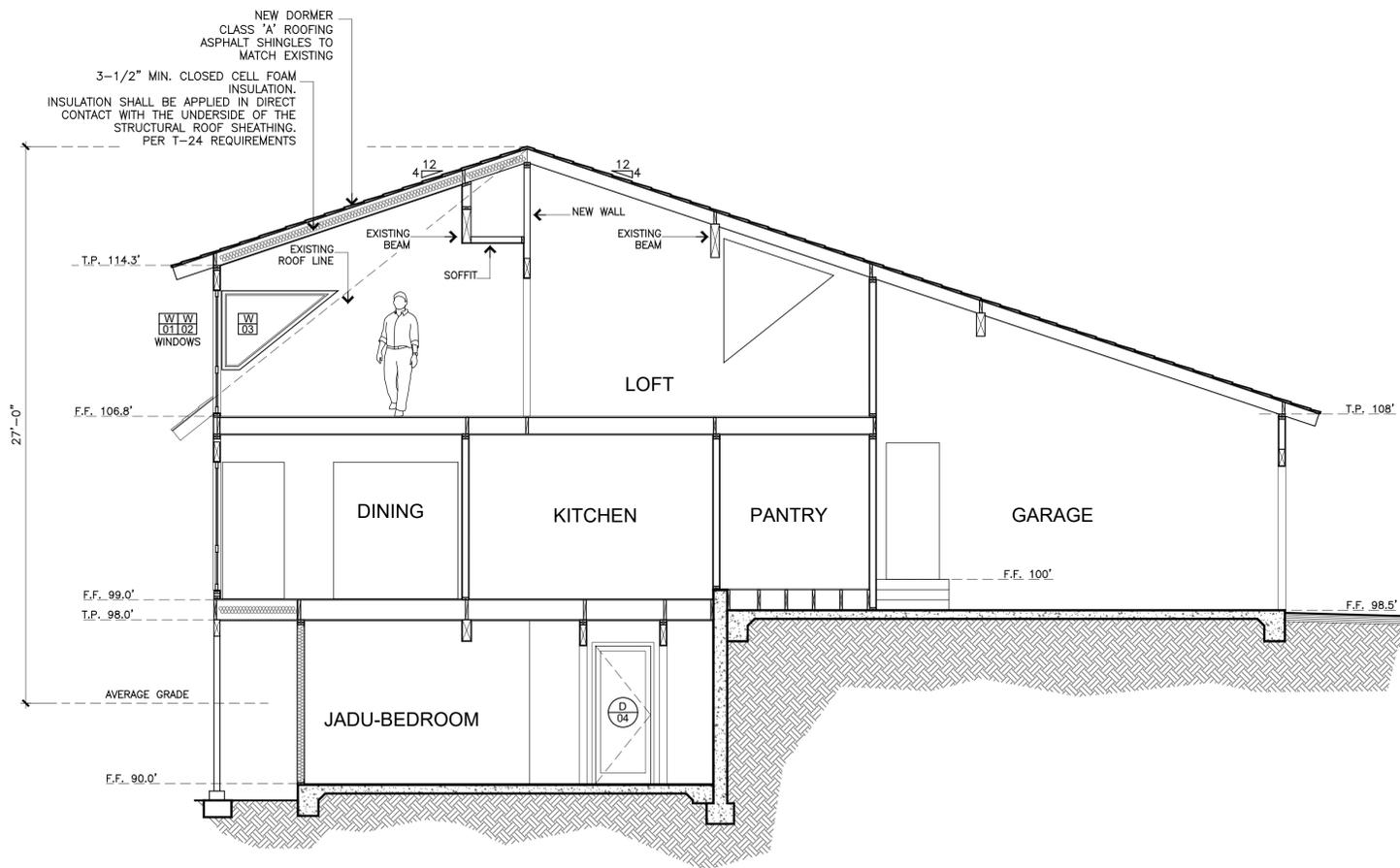


P.O. Box 2094, Carmel, CA. 93921  
 Ph. 831.521.5924  
 Email. formastudio@comcast.net



BUILDING SECTION

Scale	B
1/4"=1'-0"	



BUILDING SECTION

Scale	A
1/4"=1'-0"	

**GEORGE RESIDENCE**  
 198 VAN ESS WAY  
 CARMEL HIGHLANDS, CALIFORNIA

Job Number	2022-16
Date	10-31-22
Revision	
Drawn By	FDS

Sheet Number

**A-3.1**

of. Sheets

BUILDING SECTIONS

PROJECT FILE NO. PLN220186

PHOTOGRAPHS



New Dormer

Proposed JADU  
No building Footprint  
Change

Date: \_\_\_\_\_ Site Address: \_\_\_\_\_ Planner: \_\_\_\_\_

Description: \_\_\_\_\_

\_\_\_\_\_

PROJECT FILE NO. \_\_\_\_\_

PHOTOGRAPHS



Proposed Railing

Date: \_\_\_\_\_ Site Address: \_\_\_\_\_ Planner: \_\_\_\_\_

Description: \_\_\_\_\_

\_\_\_\_\_

This page intentionally left blank.