

Exhibit A

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DRAFT RESOLUTION

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

BLISS BETSY W TRS (PLN220213)

RESOLUTION NO. ----

Resolution by the Monterey County Planning
Commission:

- 1) Finding the project categorically exempt from further CEQA review pursuant to Section 15303, New Construction; and
- 2) Approving a Combined Development Permit consisting of: 1) Administrative Permit and Design Approval to allow construction of a 5,876 square foot single family dwelling with an 846 square foot attached garage, a 1,200 square foot detached accessory dwelling unit and associated site improvements; and 2) Use Permit to allow removal of seven Oak trees. Colors and materials consist of Ivory Board and Batten siding, Cedar plank garage doors, Brushed Cedar window frames and Light Grey class "A" metal seam roofing.

[PLN220213, Bliss Betsy W TRS, 9 Mesa Trail, Carmel, Carmel Valley Master Plan (APN: 239-101-022-000)]

The Bliss Betsy W TRS application (PLN220213) came on for hearing before the Monterey County Planning Commission on February 8, 2023. Having considered all the written and documentary evidence, the administrative record, the staff report, written testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 2010 Monterey County General Plan;
- Carmel Valley Master Plan;
- Monterey County Zoning Ordinance (Title 21);
- Resolution 96-060, Santa Lucia Preserve (SLP)
- Final Environmental Impact Report #94-005
- SLP Subdivision Forest Management Plan

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Scope. The project is the construction of a single-family dwelling, accessory dwelling unit and associated site improvements on an undeveloped lot in the Santa Lucia Preserve:
- The single-family dwelling is one story totaling 5,876 square feet.
 - The accessory dwelling unit (ADU) is 1,200 square feet, with a 98 square foot attached storage room.
 - 7 Coast live oaks are proposed for removal. These trees are in the proposed building footprint and proposed driveway area.
 - The property will receive water supply from Santa Lucia Preserve Community Services District (CSD).
 - The project includes a proposed septic system with leach fields that will support the proposed development.
 - Other site improvements consist of a brick driveway with three parking spots and a fire truck turnaround, two spas, a pool, gravel walkways, terraces off the ADU, a fire pit, a stone labyrinth, a large patio for outdoor dining, tree planting and landscaping with native plant species.
- c) Allowed Use. The property is located at 9 Mesa Trail, Carmel (APN: 239-101-022-000), in the Carmel Valley Master Plan. The parcel is zoned Rural Grazing with a density of 1 unit per 10 acres and Design Control, Site Plan Review and a Residential Allocation Zoning overlay zones or “RG/10-D-S-RAZ”. Rural Grazing zones allow the opportunity to establish support facilities for grazing uses and clustered residential uses pursuant to Monterey County Zoning Ordinance Title 21, section 21.32.010. The first single family dwelling is an allowed use on any parcels zoned to support residential uses. Accessory Dwelling Units are an allowed use pursuant to section 21.64.030.C. Therefore, the County recognizes the proposed project as an allowed use.
- d) Site Inspection. The project planner conducted a site inspection on September 30, 2022, to verify that the project on the subject parcel conforms to the plans listed above.
- e) Lot Legality. The property is shown in its current configuration as lot D12 in Volume 24 of the SUR Maps, page 55 sheet 1 of 11. Therefore, the County recognizes the property as a legal lot of record.
- f) Design/Neighborhood and Community Character. The property is subject to the Design Control “D” overlay zoning district regulations, which requires design review of proposed development to assure protection of the public viewshed and neighborhood character. The project has been designed to blend with the natural environment and is consistent with other homes in the Santa Lucia Preserve. Colors and materials consist of Ivory Board and Batten siding, Cedar plank garage doors, Brushed Cedar window frames and Light Grey class “A” metal seam roofing. The proposed development will be mostly screened by the existing trees and will be difficult to view from Mesa Trail and Chamisal Pass.
- g) Site Plan Review. The property is subject to the Site Plan Review “S” overlay zoning district, which provides regulations for where development, by reason of its location, has the potential to adversely affect or be adversely affected by natural resources or site constraints. A

site plan was included in the application and a discretionary permit is being processed pursuant to these regulations. The project is proposed within a designated “homeland” boundary and has been appropriately sited to minimize impact to slopes. Homeland boundaries were established in the original SLP Plan to protect resources on the property by directing development to less sensitive areas of the property. An archeological report was completed as part of the environmental impact report when the Santa Lucia Preserve subdivision was created; this parcel did not have any archeological resources identified on the property. A fuel management plan (pg L0.3 of attached plan set) was submitted with the application, this plan includes measures to maintain vegetation surrounding the development area to reduce fire hazards. A geotechnical report (See Finding 2) was prepared for the project which analyzed the soil conditions of the site and determined it was suitable for development of the proposed project.

- h) Development Standards. Development standards for the Rural Grazing zoning district can be found in Title 21 Section 21.32.060. The proposed development is consistent with applicable development standards. All structures are within the homeland boundary (building envelope) established by the recorded final map. The structures far exceed the setbacks between structures with over 6 feet between each structure. The maximum height allowed is 35 feet for main structures and 16 feet for ADUs. The proposed single-family dwelling is 20 feet and 8 inches above the average natural grade; and the ADU is 16 feet above the average natural grade. The maximum allowed site coverage for RG/10 zoning is 5% (42,100 square feet); the proposed site coverage is 0.96% (8,093 square feet).
- i) The project was not referred to a Land Use Advisory Committee (LUAC) for review. Based on the LUAC procedure guidelines adopted by the Monterey County Board of Supervisors, this application did not warrant referral to the LUAC because it is within the Santa Lucia Preserve which is a special treatment area that does not have a LUAC.
- j) The application, project plans, staking & flagging photos and related support materials submitted by the project applicant to Monterey County HCD- Planning for the proposed development found in Project File PLN220213.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, Monterey County Regional Fire Protection District, HCD-Environmental Services and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to soil/slope stability and protected trees. The following reports have been prepared:
 - “Geotechnical and Percolation Investigation” (LIB220265) prepared by Belinda Taluban, Carmel, California, August 31st,

2022.

- “Pre-construction Tree Impact Assessment” (LIB220267) prepared by Rob Thompson, Monterey, California, June 28th 2022.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions. The Final EIR #94-005 and Forest Management Plan for the Santa Lucia Preserve subdivision were reviewed by staff to ensure the proposed project is suitable for this parcel and meets the goals of the original subdivision plan.

- c) Staff conducted a site inspection on September 30, 2022 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development found in Project File PLN220213.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD- Planning, HCD- Engineering Services, Monterey County Regional Fire Protection District, HCD- Environmental Services and Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided, as discussed in subsequent evidences “c” through “e”
 - c) Domestic water service will be provided by the Santa Lucia Preserve Community Services District (CSD), who provided a can and will serve letter dated September 6th, 2022 confirming their ability to serve all proposed development.
 - d) A new septic system is proposed as part of this project. The septic plans and feasibility report were reviewed by the Environmental Health Bureau, they found the proposed location and design of the system are suitable to support the proposed development.
 - e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development found in Project File PLN220213.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and Building Services

Department records and is not aware of any violations existing on subject property.

- b) Staff conducted a site inspection on September 30th, 2022 and researched County records to assess if any violation exists on the subject property.
- c) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220213.

5. **FINDING:**

FINDING: **ACCESSORY DWELLING UNIT** – The project meets the established regulations and standards as identified in Title 21, Section 21.64.030.

- EVIDENCE:**
- a. Title 21, Section 21.64.030 establishes regulations and standards for which an accessory dwelling unit, accessory to the main residence on a lot, may be permitted. The project includes the construction of a 1,200 square foot Accessory Dwelling Unit that includes independent living facilities, as shown in the attached plans.
 - b. The proposed ADU meets the maximum 1,200 square foot floor area standard. The ADU exceeds all minimum setback standards stated in Title 21 Section 21.36.060.4.D.
 - c. The proposed ADU stands 16 feet above the average natural grade, which meets the required height limitation pursuant to Title 21 Section 21.64.030.
 - d. The ADU meets the required site development standards and design criteria as defined in Title 21 Section 21.64.030 and Chapter 21.44 (See Finding 1).
 - e. The application was reviewed by the Environmental Health Bureau (EHB) to ensure adequate water supply and sewage disposal are suitable to serve the ADU. EHB made the determination that the property has adequate utilities, and no further comments or conditions were provided (See Finding 3).
 - f. The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220213.

6.

FINDING: **TREE REMOVAL** – The tree removal is the minimum required under the circumstances and will not involve risk of adverse environmental impact.

- EVIDENCE:**
- a) Greater Monterey Peninsula Area Plan Policy GMP-3.5 indicates removal of healthy, native oak, Monterey pine, and redwood trees in the planning area shall be discouraged. The Zoning Ordinance (Title 21) Section 21.64.260 – Preservation of Oak and Other Protected Trees provides implementing regulations for this policy.
 - b) The project includes removal of 7 protected Coast live oak trees, none of which are considered a landmark tree. Landmark trees have a diameter of 24 inches or greater. (See Tree Assessment LIB220267) One of the trees proposed for removal is in the footprint of the proposed driveway, the other six are in the proposed building site of the main structure. Tree removal was analyzed under the Santa Lucia Preserve Combined Development Permit, however, there are no trees allotted for removal for this property. Therefore, a Use Permit is required to remove

the 7 proposed trees (See Finding 7).

- c) The tree removal is the minimum required under the circumstances. The applicant wants to develop the residence on top of the hill within the forested area to preserve the sloped meadow below. Although the development could be moved to the center of the homeland boundary to remove fewer trees, that is not the desire of the applicant.
- d) The proposed area for the septic system is the most feasible location that was evaluated. The home would not be able to completely move into the meadow and maintain a suitable distance from the proposed leach fields.
- e) The applicant has proposed to utilize the flattest portion of the lot for development. Moving the development into the meadow would require more grading than if the home was built in the forested area.
- f) The tree removal will not involve risk of an adverse environmental impact. There were not any environmentally sensitive habitat areas, special status animal or plant species or actively nesting birds seen on the property during staff's site visit on September 30th, 2022, or the arborist's tree survey on June 28, 2022. (See Tree Assessment) The project has been conditioned to complete a pre-construction survey for nesting birds during the typical bird nesting season. (See Condition No. 9)
- g) Existing trees not being removed shall be protected throughout construction. The arborist report discusses the possibility of 13 Coast live oaks being impacted by the proposed grading and construction. The County's tree protection condition has been applied to the project as Condition No. 4, requiring the applicant to wrap and protect trees not being removed during construction. The condition shall also require that the applicant follow the best management practice recommendations of the arborist from the Tree Impact Assessment prepared for the project. The County's pre-construction meeting condition has also been applied to this project as Condition No. 9; this meeting will allow the arborist to instruct personnel about tree removal, retention, and protection.
- h) The trees will be replaced pursuant to the recommended 3:1 tree replacement ratio stated in the Arborist Report. Seven protected oak trees are being removed; therefore 21 trees will be replanted on the property.
- i) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220213.

7. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Article 19 Section 15303 categorically exempts the New Construction of a Single-Family Dwelling and an ADU.
 - b) The proposed development will not have an adverse impact on the surrounding environment.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project:
 - The location of a project site is not considered for Class 2 exemptions;
 - Successive projects of the same type and in the same place

(demolition of a single-family dwelling and construction of a new single-family dwelling in substantially the same footprint) would not contribute to a significant cumulative impact;

- There are no unusual circumstances regarding this project that would cause a significant effect to the environment (See Findings 1, 2, 5 and 6);
 - The project site is not visible from any scenic highways, and the proposed development would not result in damages to scenic resources; and
 - The project site is not located on or near any hazardous waste sites listed in Section 65962.5 of the Government Code.
- d) Staff conducted a site inspection on September 30, 2022 to verify that the site and proposed project meet the criteria for an exemption.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN220213.

8. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.
- EVIDENCE:** Pursuant to Title 21 Section 21.80.040, an aggrieved party may appeal a decision of the Planning Commission to the Board of Supervisors.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Find the project categorically exempt from further CEQA review pursuant to Section 15303, New Construction; and
2. Approve a Combined Development Permit consisting of:
 - 1) Administrative Permit and Design Approval to allow construction of a 5,876 square foot single family dwelling with an 846 square foot attached garage, 1,200 square foot detached accessory dwelling unit & associated site improvements; and
 - 2) Use Permit to allow removal of seven Oak trees.

PASSED AND ADOPTED this 8th day of February, 2023:

AYES:
NOES:
ABSENT:
ABSTAIN:

Craig Spencer, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD- Planning and HCD- Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220213

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Combined Development permit (PLN220213) allows construction of a 5,876 square foot single family dwelling with an 846 square foot attached garage, a 1,200 square foot detached accessory dwelling unit and associated site improvements and removal of seven (7) Oak trees. The property is located at 9 Mesa Trail, Carmel Valley (Assessor's Parcel Number 239-101-022-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number _____) was approved by Planning Commission for Assessor's Parcel Number 239-101-022-000 on 02/08/2023. The permit was granted subject to 12 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD011 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

5. PD011(A) - TREE REMOVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

7. PD041 - HEIGHT VERIFICATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

8. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to final applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 3:1
- Replacement ratio recommended by arborist: 3:1
- Other: Pursuant to Condition 24 of PC94067, the reforestation program shall include a monitoring element that guarantees a success period of not less than 5 years after planting and a success ratio threshold of no less than 90%.

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

Five years after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

9. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

10. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

11. PW0006 - CARMEL VALLEY

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI).

Compliance or Monitoring Action to be Performed: Prior to Building Permits Issuance Owner/Applicant shall pay to PBI the required traffic mitigation fee.

12. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

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1.

THESE PLANS ARE THE PROPERTY OF TOM MEANEY ARCHITECT. USE OR COPY IS PERMITTED BY CONTRACT ONLY. ANY REVISIONS TO THESE PLANS, REGARDLESS OF SCOPE WITHOUT WRITTEN PERMISSION, IS PROHIBITED AND SHALL THEREBY ABSOLVE TOM MEANEY ARCHITECT FROM ANY LIABILITY CLAIMS, SUITS, OR LITIGATION BY ANY INTEREST PARTIES IN THE PROJECT.

2.

THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN DESIRED AND IMPLY THE FINEST QUALITY WORKMANSHIP THROUGHOUT. ANY DESIGN OR DETAIL WHICH APPEARS TO BE INCONSISTENT WITH THE ABOVE SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE DESIGNER BY THE CONTRACTOR.

3.

ALL CONSTRUCTION MEANS, METHODS, MATERIALS AND TECHNIQUES SHALL COMPLY WITH THE BUILDING CODES, ORDINANCES, REGULATIONS AND STANDARDS LISTED. THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY ALL CONSTRUCTION DOCUMENTS, SITE DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES OR INCONSISTENCIES PRIOR TO STARTING WORK.

4.

DO NOT SCALE DRAWINGS. APPLICABLE TRADES SHALL USE A COMMON DATUM TO BE DESIGNATED BY THE CONTRACTOR FOR ALL CRITICAL MEASUREMENTS. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.

5.

DIMENSIONS ARE TO FACE OR CENTERLINE OF STUD, UNLESS NOTED OTHERWISE. AT FLOORS AND CEILINGS WITH PLYWOOD SHEATHING DIMENSIONS ARE TO EXTERIOR SIDE OF PLYWOOD.

6.

REFER TO ADDITIONAL NOTES SHOWN ON THE STRUCTURAL AND/OR CIVIL ENGINEERING SHEETS CONTAINED IN THESE DRAWINGS.

7.

DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS AS REQUIRED.

8.

WHEREVER EXISTING WORK IS DAMAGED BY ANY OTHER CONSTRUCTION OPERATION, IT SHALL BE REPAIRED OR REPLACED WITH NEW MATERIAL TO MATCH EXISTING AS APPROVED BY THE DESIGNER.

9.

THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL DEBRIS AND RUBBISH RESULTING FROM THE WORK SPECIFIED HEREIN.

10.

ALL EXPOSED BOLTS, WASHERS, NAILS, OR METAL CONNECTORS SHALL BE DOUBLE HOT DIP GALVANIZED (UNO).

11.

SHOP DRAWINGS, PROJECT DATA AND OTHER SAMPLES SHALL BE SUBMITTED TO THE DESIGNER AND OWNER WHEN REQUESTED. NO PORTION OF SUCH WORK SHALL BE COMMENCED UNTIL SUBMITTAL HAS BEEN APPROVED BY THE DESIGNER/OWNER.

12.

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BACKING AND FRAMING FOR WALL MOUNTED ITEMS.

13.

FIRE STOPS SHALL BE LOCATED AT THE FOLLOWING LOCATIONS (PER UBC REQUIREMENTS):
A.) IN CONCEALED SPACES OF STUD WALLS INCLUDING FURRED SPACES - AT FLOOR AND CEILING LEVELS AND AT 10 FLOOR INTERVALS ALONG THE LENGTH OF THE WALL.
B.) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
C.) IN OPENINGS AROUND VENTS, PIPES, DUCTS CHIMNEYS, AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR A FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
D.) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE
E.) AT EXTERIOR WALL OPENINGS: FLASHING, COUNTER FLASHING AND EXPANSION JOINT MATERIAL SHALL BE CONSTRUCTED IN SUCH A MANNER AS TO BE COMPLETELY WATERPROOFED AND WEATHERPROOFED.

14.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

15.

ALL UTILITY CONNECTORS INCLUDING ELECTRICAL SERVICE, TELEPHONE SERVICE AND CABLE TELEVISION MUST BE PLACED UNDERGROUND FROM THEIR POINT OF ORIGIN AT THE UTILITY POLE TO THE SERVICE METER OR TERMINATION POINT AT THE STRUCTURE.

PLUMBING FIXTURES

EXISTING PLUMBING FIXTURES MAY REQUIRE RETROFITTING TO CURRENT CPC REQUIREMENTS AND NEW PLUMBING FIXTURES WILL MEET THE FOLLOWING MIN. REQUIREMENTS:
WATER CLOSETS 1.28 GALLONS MAX./FLUSH; URINALS 0.5 GALLONS MAX./FLUSH.

HIGH FIRE NOTES

FIRE SPRINKLERS REQUIRED, UNDER SEPARATE PERMIT.

THIS PARCEL IS LOCATED WITHIN A DESIGNATED HIGH FIRE HAZARD AREA. ALL ELEMENTS OF NEW CONSTRUCTION MUST COMPLY WITH REQUIREMENTS SET FORTH IN PROVISIONS OF CRC SECTION R337.

SEE FIRE RATED CONSTRUCTION REQUIREMENTS ON A0.3 FOR SPECIFIC INFORMATION.

SOLAR READY BUILDING REQUIREMENT

TWO MINIMUM 1" DIAMETER METALLIC CONDUITS BE PROVIDED THAT ORIGINATE AT A READILY ACCESSIBLE ATTIC LOCATION WITH PROXIMITY TO A SOLAR ZONE AREA COMPLYING WITH CALIFORNIA ENERGY CODE SECTION 110.10 AND TERMINATE AT A MINIMUM 4" SQUARE APPROVED ELECTRICAL JUNCTION BOX LOCATED WITHIN 72" HORIZONTALLY AND 12" VERTICALLY OF A MAIN ELECTRICAL PANEL. THE ELECTRICAL JUNCTION BOX AND THE SEGMENT OF CONDUIT RUN IN THE ATTIC SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC". [SANTA BARBARA COUNTY ENERGY AND CLIMATE ACTION PLAN (ECAP) ORDINANCE 15CRD-00]

GREEN BUILDING NOTES

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AGENCIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

CONSTRUCTION WASTE MGMT REQ.TS

CONSTRUCTION WASTE MANAGEMENT REQUIREMENTS OF CRC R324.1. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CGBSC CHAP. 4, DIVISION 4.4 (CALGREEN CODE), WASTE HANDLER TO BE MARBORG INDUSTRIES, UNLESS NOTED ELSEWHERE.

SPECIAL INSPECTIONS

1.

All special inspections shall conform to section 1701 of the Uniform Building Code.

2.

Structural special inspections and observations are required for this project, refer to structural plans S1.0 for more information.

3.

Required for all concrete with a design ultimate 28 day compressive strength in excess of 2500 psi.

4.

Required for all installation of epoxied anchors.

5.

During excavation process, a thorough search shall be made under the direction of soils engineer, to locate and remove any man-made buried structures and utilities

6.

Inspection of the finished building pad shall be conducted by the soils engineer.

7.

Soils engineer to review foundation and grading plans prior to submittal for building permit.

8.

A representative of soils engineer shall be requested to inspect all excavations prior to backfilling, steel reinforcement and concrete or soil placement.

SEPARATE PERMITS & DEFERRED SUBMITTALS

ALL SEPARATE PERMITS & DEFERRED SUBMITTALS PER CONTRACTOR U.N.O., REFER TO CONSULTANT LISTINGS FOR CONTACT.

1.

Provide all new building and modifications of structures under separate permit.

2.

Provide fire sprinklers under separate permit.

3.

Provide alarm under separate permit.

4.

Provide separate permit for all site walls above 6' if applicable.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AGENCIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

CALIFORNIA ADMINISTRATIVE CODE
CALIFORNIA BUILDING CODE, 2019
CALIFORNIA PLUMBING CODE, 2019
CALIFORNIA MECHANICAL CODE, 2019
CALIFORNIA ELECTRICAL CODE, 2019
CALIFORNIA ENERGY CODE, 2019
CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)
COUNTY OF MONTEREY AND ADOPTING ORDINANCES
CALIFORNIA RESIDENTIAL CODE, 2019
MONTEREY COUNTY (SBCO) BUILDING ORDINANCE
MONTEREY COUNTY GRADING ORDINANCE

NOTE: THIS PROJECT TO BE REGISTERED WITH CALCERTS

HERS INSPECTIONS

PROJECT REQUIRES THIRD PARTY HERS TESTING AND/OR DUCT LEAKAGE TEST. SEE CF-1R PAGES FOR ADDITIONAL HERS INSPECTIONS IF ANY.
SUBCONTRACTORS TO PROVIDE SIGNED CF-2R FORMS THAT MATCH OR EXCEED COMPLIANCE CALCS.

PROJECT DIRECTORY

ARCHITECT

Tom Meaney
629 State Street, Suite 240
Santa Barbara, CA 93101
(805) 966-7668
Lic. No. C14606

SURVEYOR

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520-B Crazy Horse Canyon Road
Salinas, CA 93907
(831) 443-6970

CIVIL ENGINEER

C3 Engineering, Inc.
126 Bonifacio Place, Suite C
Monterey, CA 93940
(831) 647-1192

LANDSCAPE ARCHITECT

Bliss Landscape Architecture
24000 Robinson Canyon Road
Carmel, CA 93923
(831) 298-0990

STUCTURAL ENGINEER

Ashley Vance Engineering
210 E. Cota Street
Santa Barbara, CA 93101
(805) 962-9966
Lic. No. 65701

ELECTRICAL ENGINEER

J.M.P.E.
156 West Alamar, Suite B
Santa Barbara, CA 93105
(805) 569-9216
Lic. No. 19265

MECH./PLUMB. ENGINEER

GEOTECHNICAL ENGINEER

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SPECIFICATIONS

DIVISION 1 - GENERAL REQUIREMENTS

- 1.1 THE WORK TO BE DONE BY EACH CONTRACTOR INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, SERVICES, AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION AND COMPLETION OF THIS PROJECT, INCLUDING SITEWORK. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL COMPLY WITH THE FOLLOWING:
- 1.1.1 THESE NOTES AND DRAWINGS.
- 1.1.2 ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, AND REGULATIONS LISTED IN THESE DOCUMENTS.
- 1.1.3 WORKMANSHIP SHALL MEET NORMAL PROFESSIONAL STANDARDS OF THE TRADE AND SHALL MEET THE ARCHITECT'S AND OWNER'S SATISFACTION WITHIN THE STANDARDS NORMALLY PROVIDED BY VARIOUS TRADES.
- 1.1.4 INSTALLATION OF EQUIPMENT AND MATERIAL SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR APPLICABLE ASSOCIATION STANDARDS.
- 1.1.5 ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED, AND SHALL BE EQUAL TO OR SUPERIOR TO THOSE ITEMS SPECIFIED IF A SUBSTITUTION IS APPROVED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL.
- 1.2 SITE VERIFICATION - EACH CONTRACTOR AND SUB-CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND MAKE ALL INSPECTIONS NECESSARY IN ORDER TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO MAKE THE COMPLETED WORK CONFORM TO THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, CONDITIONS, THE CONFORMATION AND CONDITION OF THE EXISTING GROUND SURFACE AND THE CHARACTER OF EQUIPMENT AND FACILITIES NEEDED PRIOR TO AND DURING PROSECUTION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL UNUSUAL CONDITIONS ENCOUNTERED ON THE SITE DURING THE COURSE OF CONSTRUCTION EXCEPT THOSE BELOW EXISTING SLABS OR GRADE OF WHICH THE CONTRACTOR MAY NOT HAVE KNOWLEDGE. ALL SUCH EXISTING CONDITIONS SHALL BE INCORPORATED INTO THE CONTRACTOR'S BID PROPOSAL, WHETHER SHOWN ON THE DRAWINGS OR NOT. ANY INACCURACIES OR DISCREPANCIES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE DRAWINGS AND SPECIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT IN ORDER TO CLARIFY THE EXACT NATURE OF THE WORK PERFORMED.
- 1.3 CONSTRUCTION DOCUMENTS
- 1.3.1 THESE DRAWINGS ARE INTENDED AS A GUIDE ONLY FOR CONSTRUCTION. DEVIATIONS FROM THE DRAWINGS MUST BE APPROVED BY THE DESIGNER.
- 1.3.2 THE CONTRACTOR IS FULLY RESPONSIBLE FOR OBSERVATION OF CONSTRUCTION AND PROPER EXECUTION OF WORK SHOWN ON THE DRAWINGS, AS WELL AS FOR PERFORMANCE OF WORK ON THIS PROJECT. THE DESIGNER IS NOT RESPONSIBLE FOR METHODS USED, SAFETY ON, IN, OR ABOUT THE JOB SITE, OR FOR TIMELINESS OF PERFORMANCE OF CONSTRUCTION WORK.
- 1.3.3 THE CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY OF ALL MATERIAL TAKE-OFFS FROM THESE DOCUMENTS. HE MUST VERIFY DIMENSIONS OF ALL EXISTING OR BUILT-IN ITEMS.
- 1.3.4 THE DESIGNER IS NOT RESPONSIBLE FOR ANY DEVIATION FROM OR INTERPRETATION OF CONSTRUCTION DOCUMENTS MADE BY THE CONTRACTOR WITHOUT OBTAINING WRITTEN DIRECTION FROM THE DESIGNER FIRST.
- 1.3.5 THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNTIL THEY ARE REVIEWED BY A QUALIFIED PLAN CHECK EXAMINER AND STAMPED "APPROVED" BY THE BUILDING DEPARTMENT AND A BUILDING PERMIT IS ISSUED.
- 1.4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING LINES AND LEVELS. THE CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR LOCATION AND CONSTRUCTION OF THE WORK AND SHALL CALL THE DESIGNER'S ATTENTION TO ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- 1.5 EACH TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER TRADES.
- 1.6 NEW AND REPAIR WORK IN THIS PROJECT WHICH ENCOMPASSES SIMILAR ITEMS IN EXISTING WORK SUCH AS STUCCO, DRYWALL, EAVES AND FASCIA, TRIM, GUTTERS AND DOWNSPOUTS, ELECTRICAL SWITCHING AND RECEPTACLE PLATES, AND OTHER ITEMS, SHALL MATCH EXISTING MATERIAL, INSTALLATION, FINISH, AND COLOR UNLESS OTHERWISE NOTED.
- 1.7 EACH TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK. AT THE COMPLETION OF THE WORK THEY SHALL REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING, AND SURPLUS MATERIAL AND LEAVE THE JOB IN A BROOM CLEAN CONDITION. CONTRACTOR SHALL PERFORM FINAL CLEAN UP.
- 1.8 THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE APPROVAL OF THE OWNER AND WITH MINIMUM DISRUPTION. THE OWNER SHALL BE CONSULTED BEFORE ANY BUILDING SERVICES ARE TEMPORARILY CUT OFF. TEMPORARILY RE-ROUTE ANY UTILITIES REQUIRED BY THE OWNER.
- 1.9 THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO ADEQUATELY PROTECT PERSONS, EXISTING CONSTRUCTION, AND ADJACENT PROPERTY, AND TO ENSURE THE SAFETY OF THE STRUCTURE THROUGHOUT THE CONSTRUCTION PERIOD, INCLUDING ANY SHORING DESIGN DRAWINGS WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL PROVIDE, AT HIS OWN EXPENSE, ERECTION BRACING AND DRAWINGS REQUIRED BY LAW, OSHA, OR FOR GENERAL, SAFE CONSTRUCTION PRACTICES.
- 1.10 THE DESIGNER RESERVES THE RIGHT TO HAVE ANY WORK NOT DONE CORRECTLY AS PER DRAWINGS, SPECIFICATIONS, CONTRACT, OR ANY OTHER MEANS OF COMMUNICATION CORRECTED AT NO ADDITIONAL COST TO OWNER.
- 1.11 THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, PERMITS, TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT.

DIVISION 2 - SITEWORK

- 2.1 AN EFFORT HAS BEEN MADE TO DEFINE THE LOCATION OF UNDERGROUND FACILITIES WITHIN THE JOB SITE. HOWEVER, THE CONTRACTOR SHALL RECOGNIZE THAT ALL EXISTING UTILITY INSTALLATIONS AND OTHER UNDERGROUND STRUCTURES AND FACILITIES MAY OR MAY NOT BE SHOWN ON THE DRAWINGS AND THAT THEIR LOCATION WHERE SHOWN IS APPROXIMATE. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR LOCATING OR HAVING LOCATED ALL UNDERGROUND UTILITIES, STRUCTURES, AND OTHER FACILITIES AND FOR PROTECTING SAME DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. CONTACT UTILITY PROVIDER FOR EXACT LOCATIONS OF UTILITIES.
- 2.2 DEMOLITION
- 2.2.1 REMOVE ALL PORTIONS OF BUILDING, EQUIPMENT, PAVING, FOUNDATIONS, ETC. AS SHOWN OR AS REQUIRED TO COMPLETE THE WORK.
- 2.2.2 DISCONNECT ALL UTILITY LINES FROM ALL EQUIPMENT, FIXTURES, AND APPLIANCES TO BE REMOVED.
- 2.2.3 REMOVE ALL ABANDONED ABOVE OR BELOW GROUND UTILITY LINES, PIPE, CABLE, WIRE, CONDUIT, DUCTS, ETC. TO AS CLOSE TO THE SOURCE AS POSSIBLE. ALL ABANDONED ELECTRICAL CABLE AND WIRES SHALL BE REMOVED FROM CONDUITS IF CONDUITS MUST REMAIN IN PLACE.
- 2.2.4 REMOVE ALL ELECTRICAL OUTLETS AND SWITCHES AS REQUIRED TO COMPLETE THE WORK.
- 2.2.5 REMOVE ALL DEBRIS FROM THE SITE AND LEGALLY DISPOSE UNLESS OTHERWISE NOTED.
- 2.2.6 PROTECT ADJACENT PROPERTY AND STRUCTURES FROM DAMAGE DURING THE PROGRESS OF THE WORK.
- 2.2.7 PROVIDE CONTROL OF DUST AS REQUIRED.
- 2.2.8 PROVIDE PROTECTION FOR THE PORTION OF THE STRUCTURE EXPOSED DURING CONSTRUCTION FROM DAMAGE FROM THE ELEMENTS.
- 2.2.9 COORDINATE WITH OWNER ANY ITEMS THEY MAY WISH TO RETAIN.
- 2.3 DIRECT SURFACE DRAINAGE AWAY FROM THE STRUCTURE (1% MINIMUM).
- 2.4 IN THE EVENT UNSUITABLE SOIL IS ENCOUNTERED AT THE REQUIRED DEPTH, THE ARCHITECT AND GEOLOGIST SHALL BE NOTIFIED SO THAT THEY MAY DETERMINE HOW TO PROVIDE PROPER BEARING FOR THE STRUCTURE.
- 2.5 ALL STUMPS AND ROOTS ARE TO BE REMOVED FROM THE SOIL TO A DEPTH OF AT LEAST 12" BELOW THE SURFACE OF THE GROUND IN THE AREA TO BE OCCUPIED BY THE BUILDING OR PROPOSED STRUCTURE.
- 2.6 REFER TO SOILS REPORT FOR ALL BEARING CAPACITIES AND SPECIFIC REQUIREMENTS. IN THE ABSENCE OF A SOILS REPORT VERIFY WITH THE ARCHITECT AND ENGINEER AND/OR LOCAL BUILDING AUTHORITY/INSPECTORS REGARDING SPECIFIC EARTHWORK CONSTRAINTS AND REQUIREMENTS.
- 2.7 EXCAVATIONS FOR FOOTINGS SHALL BE MADE TO THE WIDTH, LENGTH, AND DEPTH REQUIRED. FINISH WITH LEVEL BOTTOMS. ALL FOUNDATIONS TO EXTEND TO UNDISTURBED SOIL. EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER. ALL CRAWL SPACES TO BE MINIMUM 18" CLEAR.
- 2.8 IN THE BUILDING AREA, SOFT SPONGY OR POROUS MATERIALS SHALL BE REMOVED TO A DEPTH OF THREE FEET BELOW THE BOTTOM OF THE FOOTING AND RECOMPACTED. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CARRIED TO A DEPTH OF AT LEAST 18" BELOW THE TOP OF THE LOWEST EXISTING ADJACENT GRADE (24" IN AREAS WITH EXPANSIVE SOIL).
- 2.9 PROTECT ALL TREES AND LANDSCAPING NOT TO BE REMOVED.
- 2.10 FILL MATERIALS SHALL BE FREE FROM DEBRIS, VEGETABLE MATTER, AND OTHER FOREIGN SUBSTANCES.
- 2.11 BACKFILLING FOR TRENCHES SHALL BE COMPACTED TO 90 PERCENT DENSITY. BACKFILL FOR PIPE TRENCHES SHALL BE COMPACTED ON BOTH SIDES OF PIPE IN SIX INCH LAYERS.

DIVISION 3 - CONCRETE

- 3.1 FOR STRUCTURAL CONCRETE DESIGN AND CONSTRUCTION REQUIREMENTS SEE STRUCTURAL PLANS.
- 3.2 CONCRETE FLOW SHALL BE TRY TO WITHIN 18 INCH IN TEN FEET IN ALL DIRECTIONS, OR SLOPED TO DRAIN AS INDICATED ON THE DRAWINGS ALLOWING NO PUDDLING TO OCCUR IN THE DIRECTION OF FLOW.
- 3.3 LOCATION OF CONSTRUCTION JOINTS SHALL BE REVIEWED BY THE ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO POURING IF NOT SPECIFICALLY SHOWN ON THE DRAWINGS.
- 3.4 INTERIOR AND GARAGE SLABS: STEEL TROWEL FINISH; SLOPE TO DRAIN WHERE INDICATED ON DRAWINGS.
- 3.5 INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (CGC 4.505.2)

DIVISION 4 - MASONRY

- 4.1 FOR STRUCTURAL DESIGN AND CONSTRUCTION REQUIREMENTS FOR CONCRETE MASONRY UNITS SEE STRUCTURAL PLANS.
- 4.2 WHEN INCORPORATED INTO THE DESIGN OF THE PROJECT, FURNISH AND INSTALL ALL MASONRY WORK COMPLETE, INCLUDING MASONRY VENEER AND MASONRY REINFORCING AND WATERPROOFING.
- 4.3 MASONRY VENEER SHALL COMPLY WITH U.B.C. 2010. FIREPLACES SHALL CONFORM TO U.B.C. 2010.
- 4.4 FILL ALL CONCRETE MASONRY UNITS WITH SOLID GROUT.

DIVISION 5 - METALS

- 5.1 FOR STRUCTURAL DESIGN, FABRICATION, AND CONSTRUCTION REQUIREMENTS FOR STRUCTURAL STEEL SEE STRUCTURAL PLANS.
- 5.2 ALL STRUCTURAL STEEL DELIVERED ON SITE SHALL BE PRIMED WITH TWO COATS OF THE APPROPRIATE PRIMER. IF EXPOSED, PAINT AS DIRECTED.
- 5.3 ALL WELDS SHALL COMPLY WITH THE SPECIFICATIONS OF THE "AMERICAN WELDING SOCIETY". ALL WELDS SHALL BE GROUND SMOOTH AND ALL WELDING SPATTER SHALL BE REMOVED. ALL EXPOSED WELDS ARE TO BE CONTINUOUS WELDS.
- 5.4 FURNISH ALL METAL SUPPORTS, ANGLES, PLATES, ATTACHMENTS, BOLTS, GATES, RAILINGS, WELDING, SHOP PRIMING AND INCLUDE INSTALLATION AS REQUIRED TO COMPLETE THE WORK.

DIVISION 6 - WOOD AND PLASTIC

- 6.1 FRAMING SHALL BE DONE IN A WORKMANLIKE MANNER BY SKILLED MECHANICS IN ACCORDANCE WITH APPLICABLE BUILDING CODES.
- 6.2 DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- 6.3 VERIFY ALL BUILT-IN EQUIPMENT DIMENSIONS PRIOR TO FABRICATION.
- 6.4 ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY AND WITHIN 18" OF GRADE TO BE PRESSURE TREATED WEST COAST DOUGLAS FIR OR FOUNDATION GRADE REDWOOD.
- 6.5 PROVIDE DOUBLE TRIMMERS EACH SIDE OF OPENINGS 6'-0" WIDE OR GREATER AT BEARING WALLS.
- 6.6 PROVIDE FIRE STOPPING IN STUD SPACES AT ALL FLOOR AND CEILING LEVELS AND STUD SPACES OVER TEN FEET.
- 6.7 ALL BEAM, JOISTS, AND RAFTERS SHALL BE INSTALLED WITH THE CROWN SIDE UP.
- 6.8 CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE TEMPORARY ERECTION BRACING ON ALL BEAMS, WALLS, ETC. TO PROVIDE FULL STRUCTURAL STABILITY. BRACING SHALL NOT BE REMOVED UNTIL THE ELEMENT SUPPORTED IS CAPABLE OF SUPPORTING ITS DESIGN LOADING.
- 6.9 BLOCK ALL EDGES OF PLYWOOD FLOOR SHEATHING.
- 6.10 ROUGH CARPENTRY
- 6.10.1 FOR STRUCTURAL DESIGN REQUIREMENTS OF ROUGH CARPENTRY. SEE STRUCTURAL PLANS.
- 6.10.2 ALL FRAMING LUMBER SHALL BE GRADE MARKED AND CONFIRM WITH THE STANDARD GRADING AND DRESSING RULES (NO.16) OF THE WEST COAST LUMBER INSPECTION BUREAU, DOUGLAS FIR/LARCH. GRADE FRAMING MEMBER AS FOLLOWS UNLESS OTHERWISE NOTED.
- VERTICAL MEMBERS: NO 2
- POSTS: NO 1
- HORIZONTAL BRACING 2x JOISTS: NO 2
- 4x BEAMS OR LARGER: NO. 1
- 6.10.3 PLYWOOD SHALL BE STRUCTURAL II AS COVERED IN USDC PS-1, CDX, EXTERIOR GLUE, OR EQUAL, UNLESS OTHERWISE NOTED. FACE GRAIN TO RUN PERPENDICULAR TO SUPPORTS WITH EDGES STAGGERED. PROVIDE ONE PLY CLIP BETWEEN EACH SET OF RAFTERS AT UNBLOCKED EDGES UNLESS TONGUE AND GROOVE IS USED.
- 6.10.4 FRAMING CONTRACTOR TO PROVIDE BACKING FOR WALL AND CEILING MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO POLES AND SHELVES, TOILET PAPER HOLDERS, TOWEL BARS, MEDICINE CABINET, AND DRAPERY RODS.
- 6.10.5 PROVIDE WOOD BLOCKING AT ALL HOT MORTED CURBS, CANT STRIPS, FIXTURES, LIGHTS, BUILT-IN CABINETS, SHELVES, ETC.
- 6.10.6 WHERE WOOD IS EXPOSED VERTICAL GRAIN APPEARANCE GRADE OR BETTER IS TO BE USED.
- 6.10.7 WHERE A PARTITION CONTAINING HEATING OR OTHER SYSTEMS RUNS PARALLEL TO FLOOR JOISTS PROVIDE DOUBLE JOISTS SPACED AND BRIDGED TO SUPPORT PASSAGE OF SUCH SYSTEMS.
- 6.10.8 FIREBLOCK ALL SPACES GREATER THAN TEN FEET AND AT DRYWALL JOINTS. DRAFT STOP ALL FLOOR CONSTRUCTION WHERE HEAT OR EXHAUST DUCTS PASS THROUGH AS PER APPLICABLE CODE.
- 6.10.9 ALL BOLTS AND LAG SCREWS SHALL HAVE WASHERS UNDER HEADS AND NUTS. ALL NUTS AND SCREWS SHALL BE TIGHTENED WHEN INSTALLED AND RETIGHTENED BEFORE COVERING.
- 6.10.10 NO STRUCTURAL MEMBER SHALL BE CUT OR DRILLED THROUGH WITHOUT PRIOR REVIEW BY THE STRUCTURAL ENGINEER.
- 6.10.11 FIRE BLOCK STUD WALLS (@ 10' INTERVALS, HORIZ. & VERT), ENCLOSED AND CONCEALED SPACES, AND AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, ATTIC AND CHIMNEY CHASE, STAIR STRINGERS, AND SIMILAR PLACES AT CEILING AND FLOOR LEVELS PER (CBC 717.2)
- 6.11 FINISH CARPENTRY
- 6.11.1 ADJUST FRAMING FURR-OUTS AND SHEAR WALLS AS REQUIRED TO MAINTAIN A FLAT AND FLUSH SURFACE FOR INTERIOR OR EXTERIOR FINISHES.
- 6.11.2 FURNISH AND INSTALL ALL FINISH CARPENTRY COMPLETE INCLUDING TRIM, DOOR FRAMES, PANELING, WEATHER-STRIPPING.
- 6.11.3 ALL JOINTS SHALL BE TIGHT AND TRUE AND SECURELY FASTENED. CORNERS SHALL BE NEATLY METERED, BUFFED, OR COPED WITH NAILS SET AND SURFACES FREE OF TOOL MARKS.
- 6.11.4 ALL WORK SHALL BE MACHINED OR HAND SANDED, SHARP EDGES AND SPLINTERS REMOVED. FULL LENGTH BOARDS SHALL BE USED WHENEVER APPLICABLE OR NOTED.
- 6.11.5 ALUM ALL PIECES AND GRAIN WHEN INSTALLING FINISH LUMBER, UNLESS OTHERWISE SHOWN.
- 6.12 CABINETS
- 6.12.1 ALL CABINETS SHALL MEET THE REQUIREMENTS OF THE ARCHITECTURAL WOODWORKING INSTITUTE.
- 6.12.2 ALL JOINTS TO BE TIGHT AND TRUE AND SECURELY FASTENED. CORNERS SHALL BE BUTTED, COPEd, OR METERED, NAILS AND SCREWS SET AND SURFACES FREE OF TOOL MARKS.
- 6.12.3 USE CONCEALED FASTENERS, UNLESS OTHERWISE SHOWN.
- 6.12.4 SHELVES TO BE 1x UNLESS OTHERWISE NOTED. SHELVES WIDER THAN 12" SHALL BE 3/4" PLYWOOD WITH MATCHING VENEER AND EDGE BAND LET INTO CASE ENDS.
- 6.12.5 PROVIDE VENTS AND HOLES FOR WIRING CONNECTIONS FOR ALL SHOE, ENTERTAINMENT CENTERS, FREEZER, REFRIGERATOR, AND OTHER EQUIPMENT IN DOOR-IN CABINETS. COORDINATE SIZE, LOCATION, AND OPERATION OF ALL APPLIANCES IN ADVANCE OF FABRICATION. PROVIDE ACCESS FOR APPLIANCE SERVICE AND REPLACEMENT WITHOUT DAMAGING CABINETS.
- 6.12.6 ALL CABINET DOORS UP TO FIVE FEET IN HEIGHT TO BE 3/4" HARDWOOD, 1 1/8" THICK IF TALLER. MAXIMUM HINGING DISTANCE TO BE 36". ADJUST DOOR HINGES TO BE FLUSH. DOORS ARE TO CLOSE STRAIGHT AND FLUSH. PROVIDE STIFFENERS AS REQUIRED FOR OVERSIZED DOORS.
- 6.12.7 DRAWERS ARE TO BE 18" DEEP UNLESS OTHERWISE NOTED. FRONTS TO BE 3/4" HARDWOOD. USE FULL EXTENSION DRAWER ROLLERS.
- 6.12.8 DRAWER HANDLES AS SELECTED BY ARCHITECT.
- 6.12.9 FURNISH AND INSTALL MAGNETIC CATCHES.
- 6.12.9 NOTIFY DESIGNER OF ANY CHANGES REQUIRED DUE TO OPERATION OF BUILT-IN APPLIANCE, DIMENSION DISCREPANCY, OWNER ALTERATIONS, ETC.
- 6.12.10 SUBMIT SHOP DRAWINGS FOR ALL CABINET WORK TO BE DONE TO DESIGNER FOR APPROVAL PRIOR TO FABRICATION.
- 6.13 FOR CERAMIC TILE INSTALLATIONS ON COUNTERTOPS, INSTALL ALL CERAMIC TILE ON ONE INCH MORTAR BED ON SOLID PARTICLE BOARD OR PINE FACED PLYWOOD WITH EXTERIOR WATERPROOF GLUE. PROVIDE WATERPROOF MEMBRANE BETWEEN PARTICLE BOARD AND MORTAR BED. ADJUST MORTAR TO BE LEVEL AND TRUE UNLESS SLOPING IS NECESSARY FOR DRAINING PURPOSES.
- 6.14 PROVIDE DRAFT STOP WITHIN ATTICS, MANSARD, OVERHANGS AND SIMILAR CONCEALED SPACES IN EXCESS OF 1000 SF OR 60' IN LENGTH FORMED OF COMBUSTIBLE MATERIAL PER CBC § 708.3.1.1.
- 6.15 PROVIDE SPECIAL INSPECTION OF MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING WITH MOISTURE METER BEFORE ENCLOSING (CGC 4.505.3).

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

7.1 FLASHING

- 7.1.1 SHEET METAL - SHEET METAL WORK SHALL CONFORM TO PUBLISHED STANDARDS OF SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC.
- 7.1.2 INSTALL ROOFING AND WALL FLASHING PER MANUFACTURER'S RECOMMENDATIONS CAREFULLY ESTABLISHING A CONTINUOUS SEAL WITH SCUPPERS, JACKS, DRAINS, ETC.
- 7.1.3 FLASHING AND COUNTER FLASHING IS REQUIRED AT ROOF/WALL JUNCTIONS, AND AT ALL EXTERIOR OPENINGS.
- 7.1.4 FLASH ALL ROOF PENETRATIONS TO PROVIDE WATERPROOF CONDITIONS.
- 7.1.5 ALL WORK TO BE ACCURATELY FABRICATED TO DETAIL AND FITTED TO JOB CONDITIONS. FOLDED AND BREAK FORWARD PIECES SHALL BE FINISHED TRUE AND STRAIGHT, WITH WARP LINES AND ANGLES.
- 7.1.6 LOCK SEAMS FLAT AND TRUE, 1/2" WIDE SWEATED FLUSH WITH SOLDER.
- 7.1.7 PROVIDE CONTINUOUS FLASHING AND COUNTERFLASHING AT ALL ROOF TO WALL JOINTS.
- 7.1.8 IN FLASHING AND WATERPROOFING PROVIDE FOR DIFFERENTIAL MOVEMENT OF MATERIALS DUE TO WIND, SEISMIC, LOADING, TEMPERATURE, AND SHRINKAGE.
- 7.1.9 FLASHING SHALL BE 26 GAUGE G.I. MINIMUM UNLESS OTHERWISE NOTED.
- 7.1.10 VALLEY FLASHING SHALL NOT BE LESS THAN NO. 26 GAGE GALVANIZED SHEET CORROSION-RESISTANT METAL INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72-POUND MINERAL-SURFACED NON-PERFORATED CAP SHEET, AT LEAST 36 INCH WIDE THE FULL LENGTH OF THE VALLEY PER CRC R3227.5.3.
- 7.1.11 ALL GALVANIZED METAL TO BE PRIMED AND PAINTED.

7.2 INSULATION

- 7.2.1 INSULATION SHALL COMPLY WITH THE REQUIREMENTS FOR ENERGY INSULATION STANDARDS OF APPLICABLE CODES.
- 7.2.2 A CERTIFICATE OF COMPLIANCE FOR INSULATION REQUIREMENTS, WHEN REQUIRED BY CODE, SHALL BE SIGNED BY INSULATION CONTRACTOR AND GENERAL CONTRACTOR AND PROMINENTLY POSTED AT SITE AS REQUIRED.
- 7.2.3 PROVIDE A 4 MIL CONTINUOUS VAPOR BARRIER ON WARM SIDE OF ALL HEATED INSULATED SPACES.
- 7.2.4 ALL CAVITIES, ATTICS, AND SPACES MADE ACCESSIBLE DURING REMODEL WORK SHALL BE INSULATED TO MEET CODE ENERGY REQUIREMENTS.
- 7.2.5 SOUND INSULATION AT ALL INTERIOR WALLS AND FLOORS.
- 7.2.6 ICYNE NE SPRAY FOAM INSULATION FOR ALL EXTERIOR WALLS, ROOF RAFTER BAYS, AND INTERIOR PLUMBING WALL BAYS - U.N.O.
- 7.3 PROVIDE DOUBLE BEAD CAULKING AT SOLEPLATES, JOINTS AROUND WINDOW AND DOOR FRAMES, AND PLUMBING AND ELECTRICAL PENETRATIONS IN EXTERIOR WALLS.
- 7.4 APPLY ROOFING IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND APPLICABLE CODES. DO NOT NAIL THROUGH WATERPROOF MEMBRANE FOR FURRING STRIPS. DO NOT PUNCTURE WATERPROOF MEMBRANE IN ANY WAY.

DIVISION 8 - DOORS AND WINDOWS

- 8.1 GLAZING SHALL CONFORM TO STANDARDS OF GLAZING MANUAL OF FLAT GLASS JOBBERS ASSOCIATION, AND AS RECOMMENDED BY MANUFACTURER.
- 8.2 PROVIDE SAFETY GLAZING AS REQUIRED. SAFETY GLASS MUST BE LABELED. DO NOT CUT SAFETY GLASS.
- 8.3 WEATHERSTRIP ALL WINDOWS AND EXTERIOR DOORS. FLASH AND CAULK PERIMETER OF ALL EXTERIOR OPENINGS.
- 8.4 EXTERIOR DOORS: PER SCHEDULE. PROVIDE THREE HINGES FOR ALL SOLID CORE DOORS AND DOORS CARRYING MIRRORS.
- 8.5 INTERIOR DOORS: PER SCHEDULE. PROVIDE TWO HINGE SLAB DOORS. PAINTED DOORS TO HAVE HARDBOARD FACES.
- 8.6 PROVIDE 1/2" CLEAR TO FLOOR FOR RETURN AIR UNLESS A RETURN AIR DUCT OR BYPASS DUCT IS PROVIDED IN A ROOM OR IF DOORS ARE ACOUSTIC DOORS.
- 8.7 PROVIDE DOOR VENT SIZED AS REQUIRED FOR FAU AND WATER HEATER CLOSETS. LOCATE VENTS 12" FROM FLOOR AND 12" FROM HEAD.
- 8.8 ALL DOORS TO HAVE WATERPROOF GLUE.
- 8.9 VERIFY ALL DOOR SELECTIONS, HARDWARE, COLORS, AND FINISHES WITH THE DESIGNER PRIOR TO PURCHASING OR HANGING.
- 8.10 CONTRACTOR IS TO PRIME ALL EXTERIOR DOORS WITHIN 24 HOURS OF INSTALLATION EVEN IF CONTRACTOR IS NOT HANDLING THE CONTRACT FOR PAINTING.
- 8.11 SECURITY
- 8.11.1 DOOR STOPS OF ALL IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBIT TO
- 8.11.2 ALL PIN-TYPE HINGES WHICH ARE ACCESSIBLE FROM OUTSIDE THE SECURED AREA WHEN THE DOOR IS CLOSED SHALL HAVE
- 8.11.3 THE STRIKE PLATE FOR LATCHES AND THE HOLDING DEVICE FOR PROJECTING DEADBOLTS IN WOOD CONSTRUCTION SHALL BE
- 8.11.4 STRAIGHT DEADBOLTS SHALL HAVE A MINIMUM THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8".
- 8.11.5 WINDOW AND DOOR LIGHTS WITHIN 18" OF THE GROUND ARE TO BE FULLY TEMPERED.
- 8.12 ALUMINUM THRESHOLDS AT EXTERIOR CONDITIONS TO HAVE INTEGRAL WEATHERSTRIPPING.
- 8.13 PROVIDE ALUMINUM THRESHOLD AND SELF-CLOSING DEVICE AT ALL DOORS LEADING FROM GARAGE TO A LIVING SPACE.
- 8.14 AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. THE DOOR SHALL BE A MINIMUM 1 3/4" THICK. THE DOOR SHALL NOT BE LESS THAN 78 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

DIVISION 9 - FINISHES

- 9.0 POLLUTANT CONTROL
- 9.0.1 FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINTS AND COATINGS, AEROSOL PAINTS AND COATINGS SHALL MEET THE VOLATILE ORGANIC COMPOUND (VOC) EMISSION LIMIT IN ACCORDANCE WITH CDBG CHAP. 4, DIVISION 4.5 (CALGREEN).
- 9.1 DRYWALL
- 9.1.1 FURNISH AND INSTALL ALL GYPSUM WALLBOARD, TRIM, AND SURFACING PAINT READY.
- 9.1.2 DRYWALL SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS OF THE DRYWALL INFORMATION TRUST FUND.
- 9.1.3 GYPSUM WALLBOARD BY U.S. GYPSUM OR APPROVED EQUAL TO BE 5/8" THICK UNLESS OTHERWISE NOTED.
- 9.1.4 NAILING SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OR THESE DRAWINGS, WHICHEVER IS STRICTEST, AND INSPECTED PRIOR TO TAPING.
- 9.1.5 BATHS, KITCHEN, SAUNA, HOT TUB ROOMS, SHOWERS, LAUNDRIES, AND OTHER DAMP ENVIRONMENTS ARE TO HAVE WATERPROOF DRYWALL (TYPE "X" GREENBOARD). CEILINGS TO HAVE TYPE "X", BUT NOT GREENBOARD.
- 9.1.6 CASE ALL CORNERS, OPENINGS, ENDS, AND EXPOSED EDGES WITH GALVANIZED TRIM. TRIM SHALL BE TIGHT TO WALL, PLUMB, LEVEL AND TRUE TO PLAN SECURELY ATTACHED.
- 9.1.7 TAPE AND COMPOUND ALL JOINTS WITH MATERIALS RECOMMENDED BY MANUFACTURER. FINISH ALL JOINTS SMOOTH AND TRUE, SANDED, AND READY FOR PAINTING. CONCEAL ALL EXPOSED NAILS WITH SANDED JOINT COMPOUND. AT ANGLED SITUATIONS SUCH AS HIPS, VALLEYS, AND RIDGES, BEVEL EDGES OF DRYWALL TO ACHIEVE A CLEAN CRISP LINE AT THE JOINT.
- 9.1.8 FOR RENOVATION AND ADDITION WORK, TEXTURE TO MATCH EXISTING INTERIOR PLASTER, UNLESS OTHERWISE NOTED.
- 9.1.9 PROTECT ALL EXPOSED WOOD BEAMS, POSTS, CERAMIC, METALS, ETC. FROM DRYWALL AND COMPOUND STAIN.
- 9.2 STUCCO
- 9.2.1 FURNISH AND INSTALL ALL PLASTERING WORK COMPLETE INCLUDING GROUNDS, DRIPS, SCREEDS, CASING BEADS AT ALL EDGES, OPENINGS, PENETRATIONS, AND CORNER BEADS AT ALL CORNERS.
- 9.2.2 PROVIDE A THREE COAT CEMENT PLASTER APPLICATION OVER PAPER BACKED METAL LATH (7/8" THICKNESS TOTAL). APPLY PER MANUFACTURER'S RECOMMENDATIONS AND/OR AS FOLLOWS.
- 9.2.2.1 FIRST (SCRATCH) COAT FULLY EMBEDDED 3/8". KEEP MOIST FOR TWO DAYS.
- 9.2.2.2 SECOND (BROWN) COAT SCREEN TRUE 3/8". DO NOT APPLY SOONER THAN 48 HOURS AFTER INSTALLATION OF SCRATCH COAT. DAMPEN, BUT DO NOT SATURATE THE SCRATCH COAT. KEEP BROWN COAT MOIST FOR TWO DAYS.
- 9.2.2.3 FINISH COAT WITH INTEGRAL COLOR 1/8". DO NOT APPLY FINISH COAT SOONER THAN SEVEN DAYS AFTER THE INSTALLATION OF BROWN COAT.
- 9.2.3 FOR RENOVATION AND ADDITION WORK, TEXTURE TO MATCH EXISTING BUILDING FINISH UNLESS OTHERWISE NOTED.
- 9.2.4 PROTECT ADJACENT PROPERTIES, FINISHES, AND VEGETATION FROM OVERSPRAY AND SPLATTERING.
- 9.3 RESILIENT FLOORING
- 9.3.1 ALL INSTALLATION TO BE BY SKILLED APPLICATORS PER MANUFACTURER'S DIRECTIONS.
- 9.3.2 PRIOR TO INSTALLATION, UNDERFLOOR TO BE CLEAN, LEVEL, DRY, DUST FREE, AND ALL NAILS SET.
- 9.3.3 USE WATERPROOF ADHESIVE PER MANUFACTURER'S SPECIFICATIONS.
- 9.4 CARPET
- 9.4.1 FURNISH AND INSTALL CARPET AND PADDING SELECTED BY ARCHITECT.
- 9.4.2 LAY CARPET SECURELY ANCHORED FREE OF WRINKLES AND STRESS LINES.
- 9.4.3 PROVIDE REDUCER STRIP AT LINE OF MATERIAL CHANGE BETWEEN CARPET AND OTHER FINISHES. COLOR TO BE APPROVED BY ARCHITECT.
- 9.4.4 FLOOR TO BE FREE OF ANY DEBRIS OR DIRT PRIOR TO LAYING CARPET.
- 9.4.5 PROTECT CARPET FROM DAMAGE BY SUBSEQUENT TRADES.
- 9.4.6 ALL CARPET OVER IMPACT BARRIER LD CARPET UNDERLAYMENT.
- 9.5 PAINTING AND FINISHING
- 9.5.1 ALL MATERIALS SHALL BE DELIVERED TO THE SITE IN SEALED ORIGINAL MANUFACTURER'S CONTAINERS.
- 9.5.2 COLORS AS NOTED ON PLANS OR AS SELECTED BY DESIGNER. ANY SUBSTITUTIONS MUST BE APPROVED BY THE DESIGNER.
- 9.5.3 SURFACE PREPARATION: ALL SURFACES TO BE DRY, CLEAN, SMOOTH, AND IN SUITABLE CONDITION FOR FINISH SPECIFIED. REMOVE ALL OIL, GREASE, BOND BREAKING AGENTS, DUST, MILL SCALE, AND EFFLORESCENCE.
- 9.5.4 CRACKS, HOLES, AND KNOTS, SHALL BE FILLED, SANDED SMOOTH AND SEALED. WOOD SURFACES EXCEPT RESAWN WOOD SHALL BE SANDED PERFECTLY SMOOTH AND SANDING DUST SHALL BE REMOVED PRIOR TO PAINTING.
- 9.5.5 HARDWARE SHALL BE MASKED OR REMOVED PRIOR TO PAINTING. TRIM AND OTHER FINISH WORK SHALL BE BACK PAINTED PRIOR TO INSTALLATION.
- 9.5.6 EACH COAT OF PAINT SHALL BE UNIFORMLY APPLIED, WELL BRUSHED OUT AND FREE OF RUNS, SAGS, SKIPS, BRUSH MARKS AND THICKNESS VARIATIONS.
- 9.5.7 ALL PAINT FINISHES SHALL BE CUT SHARPLY TO LINE. PROTECT ALL ADJACENT SURFACES. UNLESS OTHERWISE SPECIFIED, PAINT ALL EXPOSED UNFINISHED SURFACES. UNLESS OTHERWISE SPECIFIED, DO NOT PAINT SASH FINISHES, EXTERIOR CONCRETE, CONCRETE MASONRY, BRICK, ROUGH SAWN WOOD, ALUMINUM, CHROME, BRASS, STAINLESS STEEL, AND WOOD TO BE STAINED. PROTECT ALL EXISTING FINISHES, CARPETS, FURNITURE, DRAPES, ETC. IN REMODEL AND TOUCH-UP WORK. CONTRACTOR TO REMOVE AND/OR PROTECT ALL "TO REMAIN" ITEMS.
- 9.5.8 ALL PAINT, STAINS, AND SEALERS TO BE APPLIED EXACTLY PER MANUFACTURER'S SPECIFICATIONS WITH ADJUSTMENTS FOR TEMPERATURE, EXPOSURE, AND MOISTURE WHEN REQUIRED.
- 9.5.9 SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- 9.6 CERAMIC TILE
- 9.6.1 ALL WORK TO CONFORM TO THE LATEST TILE COUNCIL OF AMERICA INSTALLATION GUIDE HANDBOOK.
- 9.6.2 CENTER TILE TO EACH SECTION TO AVOID SMALL CUTS.
- 9.6.3 ALL POINTING TO BE NON-STAINING, WITH COLOR SPECIFIED BY ARCHITECT.
- 9.6.4 INSTALL EACH SECTION TO ALLOW FOR THERMAL EXPANSION AND MOVEMENT.
- 9.6.5 PROVIDE GALVANIZED METAL MESH IN MORTAR ON ALL TILES SET IN MORTAR 1" OR MORE THICK.
- 9.6.6 ALL FLOOR TILES IN SHOWERS, BATHS, SAUNAS, KITCHENS, AND LAUNDRY TO BE INSTALLED OVER WOOD SHALL HAVE THAT WOOD HOT MORTED ENTIRELY WITH THE MORTARS EXTENDING 9" UP SIDES OF BASE. ALL JOINTS, CORNERS, AND EDGES OF HOT MORTING TO HAVE REINFORCED FIBERGLASS MESH.
- 9.6.7 USE EPOXY MORTAR TYPE I FOR ALL THIN-SET TILES.
- 9.6.8 DESIGNER TO SPECIFY COLORS, GROUT COLOR, JOINT DIRECTIONS UNLESS OTHERWISE SHOWN.
- 9.6.9 WIPE TILES CLEAN AFTER GROUTING USING WATER AND SOFT CLOTHS. DO NOT USE ACID. NO TRAFFIC IS ALLOWED ON TILES FOR 3-7 DAYS AFTER INSTALLATION. PROVIDE PAPER, CARDBOARD, OR WOOD PLANKING PROTECTION IN PLACE TO PROTECT TILES FROM OTHER TRADES.
- 9.6.10 SEAL TILE AND GROUT WITH MANUFACTURER RECOMMENDED SEALER AS SOON AS MANUFACTURER'S SPECIFICATIONS ALLOW.
- 9.6.11 ALL TILE THINSET OVER 3/8" MIN. HARDIE BACKERBOARD

DIVISION 10 - SPECIALTIES

- 10.1 SEE DRAWINGS FOR SPECIAL REQUIREMENTS.
- DIVISION 11 - EQUIPMENT
- 11.1 SEE DRAWINGS FOR SPECIAL REQUIREMENTS.
- DIVISION 12 - FURNISHINGS
- 12.1 SEE DRAWINGS FOR SPECIAL REQUIREMENTS.

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

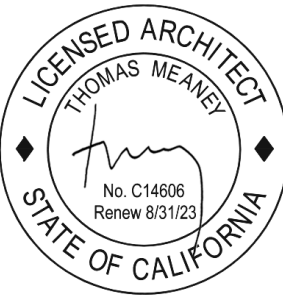


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BLISS RESIDENCE
LOT D12
9 MESA TRAIL
CARMEL, CA

SPECIFICATIONS



Date: 2022-03-28
Scale: 3/8" = 1'-0"
Drawn: AW
Job #: Project Number
Sheet

A0.1

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SPECIFICATIONS (CONTINUED)

DIVISION 13 - SPECIAL CONSTRUCTION

- 13.1 SEE DRAWINGS FOR SPECIAL REQUIREMENTS.

DIVISION 14 - CONVEYING SYSTEMS

- 14.1 SEE DRAWINGS FOR SPECIAL REQUIREMENTS.

DIVISION 15 - MECHANICAL

- 15.1 FOR MECHANICAL AND PLUMBING DESIGN AND CONSTRUCTION REQUIREMENTS SEE MECHANICAL AND PLUMBING PLANS. THE FOLLOWING MECHANICAL AND PLUMBING REQUIREMENTS ARE INTENDED TO SERVE AS BASIS FOR MECHANICAL AND PLUMBING SYSTEM DESIGN IN CONJUNCTION WITH THE MECHANICAL AND PLUMBING PLANS. ANY CONFLICT IN THESE SPECIFICATIONS WITH THE MECHANICAL AND PLUMBING PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER.

15.2 HEATING AND AIR CONDITIONING

- 15.2.1 FURNISH AND INSTALL HEATING AND AIR CONDITIONING SYSTEM COMPLETE AND OPERABLE, NOT INCLUDING STRUCTURE, ELECTRIC POWER, AND PLUMBING.
- 15.2.2 ALL HVAC SHALL BE INSTALLED IN COMPLIANCE WITH THE LATEST EDITION OF THE UNIFORM MECHANICAL CODE AND ANY OTHER GOVERNING MECHANICAL CODES.
- 15.2.3 UNLESS PROVIDED BY THE DESIGNER OR ENGINEER, CONTRACTOR SHALL PROVIDE LOAD CALCULATIONS FOR APPROVAL BY DESIGNER AND BUILDING DEPARTMENT PRIOR TO COMMENCING WORK.
- 15.2.4 DUCTS SHALL COMPLY WITH THE STANDARDS OF THE SHEET METAL AND AIR CONDITIONING CONTRACTOR'S NATIONAL ASSOCIATION (SMACNA).
- 15.2.5 ALL EQUIPMENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND CLEARANCE REQUIREMENTS.
- 15.2.6 ALL GAS FIRED EQUIPMENT TO HAVE ELECTRICAL IGNITION AND FLUE BACKDRAFT PREVENTER.
- 15.2.7 INTERIOR DUCTS ABOVE GRADE SHALL BE MINIMUM 24 GAUGE GALVANIZED SHEET METAL. ALL JOINTS TO BE DOUBLE SEALED WITH PRESSURE SENSITIVE TAPE OR GLUED WITH MASTIC TO PREVENT LEAKAGE. ALL DUCTS STRAPPED OR BLOCKED TO PREVENT MOVEMENT DURING OPERATION OR EARTHQUAKE. ALL RETURN DUCTS TO BE OF NON-COMBUSTIBLE MATERIALS. USE GALVANIZED METAL RETURN DUCTS WITH INSULATION FOR RECTANGULAR DUCTS AND TRANSITIONS WHICH RETURN AIR WHEN THE F.A.U. IS WITHIN SIX FEET OF THE RETURN AIR REGISTER.
- 15.2.8 EXCEPT AS OTHERWISE NOTED ON DRAWINGS, ALL CONCEALED SUPPLY AND RETURN DUCTWORK SHALL BE INSULATED WITH 1 1/2 INCH FIBERGLASS BLANKET INSULATION WITH FOL SKIRM KRAFT JACKET. INSULATION CONDUCTIVITY (K) SHALL BE 0.29 BTU-IN/HR. SF/F.T. AT A MEAN TEMPERATURE OF 75F. INSULATION SHALL BE U.L. LISTED AND HAVE A FIRE HAZARD CLASSIFICATION FLAME/FUEL/SMOKE MAXIMUM 255/950. INSULATION SHALL BE FIRMLY WRAPPED AROUND DUCT WITH ALL JOINTS LAPPED A MINIMUM OF 2 INCHES. SECURELY FASTEN INSULATION IN PLACE WITH 16 GAUGE SOFT ANNEALED GALVANIZED WIRE OR STAPLES SPACED NOT MORE THAN 12 INCHES ON CENTERS FOR STRAIGHT RUNS AND 3 INCHES ON CENTERS FOR ELBOWS AND FITTINGS. INSULATION JOINTS SHALL BE TAPED WITH FOL REINFORCED KRAFT TAPE. DUCTS EXPOSED TO THE ELEMENTS TO BE 24 GAUGE ALUMINUM OR 24 GAUGE GALVANIZED SHEET METAL (PRIMED AND PAINTED) WITH INSULATED 1" R-5 LINING INSIDE.
- 15.2.10 MECH. GRILLES, REGISTERS, DAMPERS, AND DUCTS TO BE SIZED TO PROVIDE BALANCE, ADJUSTABLE, NOISE FREE, DRAFT PERFORMANCE. ALL BATHROOM AND LAUNDRY ROOM REGISTERS TO BE WALL OR CEILING MOUNTED. BY PACIFIC REGISTER (805.376.2971). CAST ALUMINUM, COLOR PER ARCHITECT. U.A.O.
- 15.2.11 REGISTER LOCATIONS ARE APPROXIMATE. FINAL LOCATIONS TO BE APPROVED BY THE ARCHITECT PRIOR TO DUCTING. PROVIDE TRANSITIONS FROM DUCT TO REGISTER AND PLENUMS AS REQUIRED TO CONNECT SIZED DUCTS TO F.A.U., EACH OTHER, AND TO REGISTERS.
- 15.2.12 TEST, BALANCE, AND ADJUST SYSTEM PRIOR TO FINAL ACCEPTANCE.
- 15.2.13 IN ADDITION TO EQUIPMENT WARRANTIES, FURNISH ONE YEAR GUARANTEE FOR ALL MATERIALS, WORKMANSHIP, EQUIPMENT, AND OPERATION.
- 15.2.14 STRAP F.A.U. OR BOLT BATH HVAC UNITS TO DECK WITH STRAPS AND BOLTS CAPABLE OF RESISTING A 1G LOAD BASED ON EQUIPMENT WEIGHT.
- 15.2.15 F.A.U. CLOSET OR ALCOVE MUST BE A MINIMUM OF 12" WIDER THAN THE FURNACE OR FURNACES BEING INSTALLED.
- 15.2.16 PROVIDE AN APPROVED SPARK ARRESTER FOR CHIMNEYS OF FIREPLACE, STOVE, OR BARBEQUE DEVICES WHICH USE FUEL BURNING MATERIALS.
- 15.2.17 PROVIDE COMBUSTION AIR TO FAU COMPARTMENT: 200 SQ. IN. MIN. OR 2 SQ. IN. PER 1000 BTU, WHICHEVER IS GREATER. AIR SOURCE SHALL BE DIVIDED TOP AND BOTTOM. COMBUSTION AIR TO BE DRAINED FROM OUTSIDE SOURCE. COMBUSTION AIR OPENING(S) SHALL BE COVERED WITH CORROSION RESISTANT SCREEN OF 1/4" MESH.
- 15.2.18 VENT ALL FAUS THROUGH ROOF.
- 15.2.19 HANGER SUPPORTS FOR DUCTS TO BE SPACED 6 FT. O.C. MAX.
- 15.2.20 FOR AN FAU LOCATED IN ATTIC, PROVIDE 2 FT. WIDE WALKWAY ACCESS TO FAU. FAU SHALL BE LOCATED WITHIN 20 FT. OF ATTIC ACCESS PANEL. PROVIDE 30"x30" WORK SPACE IN FRONT OF FAU.
- 15.2.21 PROVIDE 30"x30" ATTIC OR FLOOR ACCESS PANELS FOR FAUS, WHERE APPLICABLE.
- 15.2.22 PROVIDE WEATHERSTRIP OR SEAL FOR ALL ATTIC ACCESS PANELS TO PREVENT DRAFTS.
- 15.2.23 PROVIDE AN UNIT WITH SEISMIC STRAPPING ON MIN. 4" CONCRETE PAD 9" MIN. ABOVE GRADE.
- 15.2.24 INSTALL DRYER VENT TO EXTERIOR, NOT TO EXCEED 14" VERTICAL INLET INCLUDING UP TO TWO 90-DEGREE ANGLES. REDUCED LENGTH ALLOWED BY 2 SEET FOR EVERY 90-DEGREE ELBOW BEYOND THE ALLOWED TWO.
- 15.2.25 EXHAUST AND INTAKE OPENINGS TERMINATING OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLES WITH OPENINGS OF 14" 1/2" IN ANY DIMENSION.
- 15.2.26 COVER ALL DUCT OPENINGS DURING CONSTRUCTION AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT. ALL DUCT AND RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEETMETAL TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.
- 15.2.27 CLOTHES DRYER TO BE VENTED OUTSIDE AND EQUIPPED WITH A BACK DRAFT DAMPER. VENT IS TO HAVE MAXIMUM VERTICAL AND HORIZONTAL LENGTH INCLUDING (2) 90 DEGREE ELBOWS OF 14 FEET. A LENGTH OF 2 FEET SHALL BE DEDUCTED FOR EACH ELBOW IN EXCESS OF TWO.

15.3 PLUMBING

- 15.3.1 ALL FIXTURES, OUTLETS, EQUIPMENT, OR DEVICES OPERATING WITH GAS OR WATER OR REQUIRING SEWER CONNECTION SHALL BE SIZED, FURNISHED, AND INSTALLED COMPLETE AND OPERABLE INCLUDING TRENCHING AND BACK FILLING WHICH ARE TO BE COORDINATED WITH FOUNDATION, GRADING, AND UTILITY TRADES.
- 15.3.2 ALL WORK SHALL CONFORM TO CURRENT UNIFORM PLUMBING CODE AND ANY APPLICABLE GOVERNING CODES.
- 15.3.3 ROUGH IN TO BE COMPLETED, TESTED, AND APPROVED BEFORE COVERED WITH OTHER WORK.
- 15.3.4 KEEP ALL PIPES, DRAINS, AND FITTINGS COVERED DURING CONSTRUCTION.
- 15.3.5 CONTRACTOR TO PROVIDE CONTINUOUS SOLID BACKING FOR SECURING FIXTURES.
- 15.3.6 SUPPORT ALL PIPES AT THESE MINIMUM SPACINGS: 1" DIA. AND LESS - 6 FT.; 2" DIA. - 10 FT.; 3" DIA. - 12 FT.; 4" DIA. - 14 FT.; 5" DIA. - 16 FT. ALSO SUPPORT PIPES AT ALL DIRECTION CHANGES AND POINT LOADS.
- 15.3.7 INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND CLEARANCES.
- 15.3.8 PROVIDE CLEANOUTS SIZED TO FIT AT EACH LINE END AND WHERE REQUIRED BY CODE.
- 15.3.9 GRADE SEWERS 1/4" PER FOOT, 1/8" PER FOOT IF 4" DIA. OR OVER; GAS LINES 1" IN 15 FEET; AREA DRAINS 1/4" PER FOOT WHERE POSSIBLE, 1/16" PER FOOT MINIMUM.
- 15.3.10 WATER HEATERS TO HAVE EXTERNAL R-12 INSULATION BLANKET. WATER HEATERS IN UNEHEATED SPACES TO HAVE THE FIRST FIVE FEET OF PIPING COVERED WITH R-3 INSULATION. STRAP WATER HEATER VERTICALLY AND HORIZONTALLY TO RESIST A LOAD OF 10 LB PER GALLON OF WATER HEATER CAPACITY. PROVIDE TEMPERATURE AND PRESSURE RELIEF AND DRAIN INTO GALVANIZED BASE PAN WITH 1/2" DIA. DRAIN FROM PAN TO NON-HAZARDOUS EXTERIOR LOCATION.
- 15.3.11 CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE OF BUILDING AND SHALL BE EQUIPPED WITH A BACK DRAFT DAMPER. DUCTS SHALL BE NO LESS THAN 4 INCHES IN DIAMETER, SMOOTH, AND NOT BE CONNECTED WITH SHEET METAL SCREWS OR FASTENERS THAT WILL OBSTRUCT AIR FLOW. DUCT LENGTH SHALL NOT EXCEED 14 FT WITH 2 ELBOWS. THIS SHALL BE REDUCED 2' FOR EVERY ADDITIONAL ELBOW. DUCTS SHALL NOT BE CONNECTED TO A GAS VENT, CONNECTOR, OR CHIMNEY.
- 15.3.12 IN ADDITION TO EQUIPMENT WARRANTIES, PROVIDE ONE YEAR GUARANTEE FOR ALL MATERIAL, WORKMANSHIP, AND OPERATION.
- 15.3.13 CONTRACTOR TO CLEAN OFF ANY EXCESS FLUX AFTER SOLDERING.
- 15.3.14 AN EARTHQUAKE GAS SHUT-OFF VALVE SHALL BE INSTALLED ON ANY COMMERCIAL OR RESIDENTIAL BUILDING CONTAINING FUEL GAS PIPING.
- 15.3.15 FOR COOLING EQUIPMENT LOCATED IN ATTIC OR FURRED SPACE, AN ADDITIONAL WATER-TIGHT PAN OF CORROSION-RESISTANT METAL SHALL BE INSTALLED BENEATH THE COOLING COIL TO CATCH THE OVERFLOW CONDENSATE DUE TO CLOGGED PRIMARY CONDENSATE DRAIN. THE ADDITIONAL PAN SHALL BE PROVIDED WITH A DRAIN PIPE, 3/4-INCH NOMINAL PIPE SIZE, DISCHARGING AT A POINT WHICH CAN BE READILY OBSERVED.
- 15.3.16 ALL PLUMBING FITTINGS TO BE SELECTED BY DESIGNER.
- 15.3.17 ALL ROOF VENTS 2" DIA. AND SMALLER SHALL BE STANDARD WEIGHT GALVANIZED STEEL CONFORMING TO ASTM A120. ROOF VENTS LARGER THAN 2" DIA. SHALL BE STANDARD WEIGHT CAST IRON. ALL VENT FLASHING SIZED TO FIT VENTS TO BE 26 GAUGE G.I. COMBINE VENTS AND EXIT THROUGH THE LEAST VISIBLE LOCATION. AVOID ALL ROOF VALLEYS AND SCUPPER TROUGHS. NO EXPOSED ABS OR PVC VENTS ON ROOF. VERIFY VENT ROUTING OPTIONS WITH DESIGNER PRIOR TO INSTALLATION.
- 15.3.18 PLUMBING FIXTURES AND PLUMBING FITTINGS WITH THE FOLLOWING MAXIMUM WATER USAGES SHALL BE INSTALLED, WHERE APPLICABLE IN BATHS, WASHROOMS, KITCHEN, LAUNDRY, ETC. PLUMBING FIXTURE SHALL MEET THE STANDARD REFERENCED PER (CGCB 14303.1-3):
- A) TANK-TYPE TOILETS SHALL HAVE DUAL FLUSH OR EQUAL TO OR LESS THAN 1.28 GALLON PER FLUSH.
- B) WATER-SAVING SHOWER HEADS SHALL HAVE A MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE @ 60 PSI.
- C) WATER-SAVING SINK AND LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW OF 1.5 GALLONS PER MINUTE @ 60 PSI.
- D) WATER-SAVING KITCHEN SINK FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE @ 60 PSI. FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.
- E) INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE SHALL BE PROVIDED.

FIXTURE CONNECTION	DESCRIPTION	MIN. BRANCH SIZE					TRAP NOTES
		W	V	C	OW	HW	
	WATER CLOSET	3"	2"	1 1/2"	1 1/2"	3"	A
	KITCHEN/LAUNDRY SINK	1 1/2"	1 1/2"	1 1/2"	1 1/2"	1 1/2"	D
	TUB/SHOWER COMBO	2"	1 1/2"	3/4"	3/4"	1 1/2"	B / E
	BATH TUB ONLY	2"	1 1/2"	3/4"	3/4"	1 1/2"	
	LAVATORY	1 1/2"	1 1/2"	1 1/2"	1 1/2"	1 1/2"	C
	CLOTHES WASHER	2"	1 1/2"	3/4"	3/4"	2"	
	SHOWER	2"	1 1/2"	3/4"	3/4"	2"	E

- 15.3.19 COPPER WATER LINES SHALL BE TYPE "L", MINIMUM. DO NOT RUN UNDER SLAB.
- 15.3.20 SHOWERS AND SHOWER/TUB COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. ALSO DELIVER MAXIMUM OF 120F TEMPERATURE.
- 15.3.21 PROVIDE WATER HEATER EXPANSION TANK IF A PRESSURE REGULATOR OR ANY DEVICE THAT PREVENTS PRESSURE RELIEF THROUGH THE BUILDING SUPPLY LINE IS INSTALLED.
- 15.3.22 PROVIDE TEMPERATURE AND PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE FOR WATER HEATER.
- 15.3.23 PROVIDE SEISMIC STRAPPING FOR WATER HEATER AT TOP AND BOTTOM 1/3 OF TANK. IF LOCATED IN GARAGE INSTALL ON 18 INCH PLATFORM. PROVIDE MIN. 100 SQ. IN. COMBUSTION AIR FOR WATER HEATER COMPARTMENT: 50% WITHIN 12" OF CEILING, 50% WITHIN 6" OF FLOOR.
- 15.3.24 SPRINKLER UNDER SEPARATE PERMIT, IF REQUIRED.
- 15.3.25 HOSE BIBS SHALL HAVE NON-REMOVABLE ANTI-SIPHON / BACK-FLOW PREVENTION DEVICES.
- 15.3.26 WATER PRESSURE EXCEEDING 80 PSI REQUIRES PRESSURE REGULATOR.
- 15.3.27 PROVIDE ACCESS PANEL (12"x12") OR UTILITY SPACE FOR ALL TUBS WITH CONCEALED SLIP-JOINT FITTINGS.
- 15.3.28 ALL VENTS TO REAR SIDE OF RIDGE D UNDER SLAB.
- 15.3.29 QUIET WRAP PIPE INSULATION SOUND PROOFING AT ALL WATER AND WASTE LINES.
- 15.3.30 THE FIRST 5 FEET OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK FOR NON-RECIRCULATION SYSTEMS SHALL BE THERMALLY INSULATED WITH A 1" MIN. THICK FOR HOT AND 3/4" MIN. THICK FOR COLD WATER PIPES WITH A DIA. GREATER THAN 2".
- 15.5 PROVIDED REMOVABLE PANEL ACCESS FOR ALL WHIRLPOOL BATHTUB PUMPS. PANELS SHALL BE LARGE ENOUGH TO ACCESS AND REMOVE THE PUMP.

DIVISION 16 - ELECTRICAL

- 16.1 FOR ELECTRICAL DESIGN AND CONSTRUCTION REQUIREMENTS SEE ELECTRICAL PLANS. THE FOLLOWING ELECTRICAL REQUIREMENTS ARE INTENDED TO SERVE AS BASIS FOR ELECTRICAL SYSTEM DESIGN IN CONJUNCTION WITH THE ELECTRICAL PLANS. ANY CONFLICT IN THESE SPECIFICATIONS WITH THE ELECTRICAL PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- 16.2 FURNISH AND INSTALL ELECTRICAL WORK COMPLETE AND OPERABLE. CONNECT AND COORDINATE FUNCTIONING WITH EXISTING ELECTRICAL SYSTEM IN RENOVATION AND REMODEL WORK WHERE APPLICABLE.
- 16.3 ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE CURRENT EDITION OF THE NATIONAL ELECTRICAL CODE AND ANY GOVERNING CODES.
- 16.4 ALL MATERIALS AND EQUIPMENT TO BE U.L. APPROVED.
- 16.5 PROVIDE SEPARATE CIRCUITS FOR ALL EQUIPMENT, GARAGE DOOR OPENERS, PUMPS, DISHWASHER, GARBAGE DISPOSAL, ETC.
- 16.6 ELECTRICIAN TO CONNECT ALL HARD-WIRED EQUIPMENT AND FIXTURES.
- 16.7 LAMP ALL FIXTURES.
- 16.8 SWITCH PLATES ARE TO BE LOCATED 48" ABOVE FLOOR.
- 16.9 POWER, TV, AND PHONE OUTLETS ARE TO BE 12" ABOVE FLOOR, TYPICALLY. ALL COUNTER JACKS, OUTLETS, AND SWITCHES ARE TO BE A MINIMUM OF 8" ABOVE COUNTER, UNLESS OTHERWISE NOTED. VERIFY ALL HEIGHTS OF COUNTERS, CABINETS, ETC. FOR CLEARANCE PRIOR TO INSTALLATION.
- 16.10 ALL SWITCHES IN BATHROOMS, KITCHENS, SAUNAS, HOT TUBS, AND LAUNDRY ROOMS TO HAVE GROUND FAULT INTERRUPTION CIRCUITS. LOCATE GFI RESET BUTTON IN ACCESSIBLE LOCATION.
- 16.11 PROVIDE ELECTRICAL IGNITION FOR ALL GAS POWERED EQUIPMENT.
- 16.12 WHERE SHOWN ON PLANS, PROVIDE BATH, SHOWER, AND LAUNDRY EXHAUST FANS SIZED TO PROVIDE FIVE AIR CHANGES PER HOUR. SWITCH FANS SEPARATELY FROM LIGHTS.
- 16.13 PROVIDE 120 VOLT HARD-WIRED, INTERCONNECTED SMOKE ALARMS (WITH BATTERY BACK-UP) AT ALL NEW CONSTRUCTION PER CRC 14.3. THEY ARE TO BE PROVIDED IN EACH SLEEPING ROOM(S).
- 16.14 SMOKE ALARMS:
- ON THE WALL OR CEILING OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 - MINIMUM OF (1) DETECTOR IN EACH STORY INCLUDING BASEMENTS AND HABITABLE ATTICS (WITH ALARM AUDIBLE IN SLEEPING ROOMS).
 - SHALL BE PLACED A MINIMUM OF 20 FEET HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE UNLESS LISTED FOR THAT USE (EXCEPTIONS: IONIZATION SMOKE ALARMS WITH AN ALARM SILENCING SWITCH OR PHOTOELECTRIC SMOKE ALARMS MAY BE INSTALLED 10 FEET OR GREATER FROM A PERMANENTLY INSTALLED COOKING APPLIANCE WHERE THE KITCHEN OR COOKING AREA AND ADJACENT SPACES HAVE NO CLEAR INTERIOR PARTITIONS AND THE 10 FOOT DISTANCE WOULD PROHIBIT THE PLACEMENT OF A SMOKE DETECTOR REQUIRED BY OTHER SECTIONS OF THE CODE).
 - SHALL, WHERE POSSIBLE, NOT BE PLACED WITHIN 3 FEET HORIZONTALLY OF A DOOR TO A BATHROOM THAT CONTAINS A BATHTUB OR A SHOWER.
 - WHERE STAIRS LEAD TO OTHER OCCUPIED LEVELS, SHALL BE LOCATED SO THAT SMOKE RISING IN THE STAIRWAY CANNOT BE PREVENTED FROM REACHING THE SMOKE ALARM OR SMOKE DETECTOR BY AN INTERVENING DOOR OR OBSTRUCTION.
 - FOR BASEMENTS SHALL BE LOCATED ON THE BASEMENT CEILING NEAR THE ENTRY TO THE STAIRS.
 - FOR TRAY-SHAPED CEILINGS (COFFERED CEILINGS), SHALL BE INSTALLED ON THE HIGHEST PORTION OF THE CEILING OR ON THE SLOPED PORTION OF THE CEILING WITHIN 12 INCHES VERTICALLY DOWN FROM THE HIGHEST POINT.
 - FOR SLOPED CEILINGS WITH BEAMS RUNNING UP THE SLOPE, SHALL BE PLACED ON THE CEILING BETWEEN BEAMS.
 - FOR SLOPED CEILINGS WITH BEAMS RUNNING PARALLEL TO THE RIDGE OR FOR SLOPED CEILINGS WITH BEAM POCKETS FORMED BY INTERSECTING BEAMS, SHALL BE LOCATED AT THE BOTTOM OF THE BEAM.
- 16.14 BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY A MINIMUM OF ONE 20-AMPERE BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. THIS CIRCUIT MAY SERVE MORE THAN ONE BATHROOM.
- 16.15 BATHROOM EXHAUST FANS TO BE CONTROLLED BY HUMIDISTAT PER (CGBC 4.506.1).
- 16.16 ALL ELECTRICAL/COMMUNICATION EQUIPMENT AND OUTLETS INSTALLED OUTDOORS, EXPOSED TO WEATHER, OR IN DAMP LOCATIONS SHALL BE GROUND FAULT INTERRUPTER TYPE.
- 16.17 TELEPHONE WIRING BY PHONE COMPANY WITH CONTRACTOR'S COORDINATION. ALL PHONE WIRING TO BE CONCEALED. PROVIDE PHONE PANEL IN A PROTECTED ACCESSIBLE LOCATION.
- 16.18 PRIOR TO INSTALLATION, CONTRACTOR AND SUBCONTRACTORS ARE TO COORDINATE WITH EACH OTHER AND UTILITY COMPANIES TO PROVIDE CONDUIT, JUNCTION BOXES, OUTLET BOXES, AND COMMUNICATION AND CABLE JACKS WHERE OUTLETS OCCUR IN MASONRY WALLS.
- 16.19 ALL ELECTRICAL RECEPTACLES WITHIN 6 FEET OF WATER USE AREAS SHALL BE GFCI PROTECTED.
- 16.20 RECEPTACLES AT KITCHEN COUNTERS SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES (48" O.C.) MEASURED HORIZONTALLY FROM A RECEPTACLE WITHIN THAT SPACE. PROVIDE ADDITIONAL RECEPTACLES AS NEEDED.
- 16.21 RECEPTACLES IN GARAGE TO BE GFCI PROTECTED IF UNDEDICATED CIRCUITS.
- 16.22 GENERAL LIGHTING SOURCE IN KITCHENS, BATHROOMS, AND WATER CLOSETS SHALL BE 40 LUMENS/WATT OR GREATER.
- 16.23 LIGHTING FIXTURES IN SHOWER AND WITHIN 3 FEET OF BATHTUB AND LESS THAN 8 FEET ABOVE RIM OF TUB SHALL BE RECESSED, WATERPROOF, GFCI PROTECTED, AND HAVE NON-METALLIC TRIM.
- 16.24 RECESSED CEILING FIXTURES SHALL BE IC (INSULATION COVER) APPROVED IF APPLICABLE.
- 16.25 VERIFY ELECTRICAL LOCATIONS IN FIELD W/ OWNER DURING FRAMING.
- 16.26 VERIFY DIMMER SWITCHES W/ OWNER.
- 16.27 SPEAKER LOCATIONS PER OWNER.
- 16.28 VERIFY OUTLET AND SWITCH TYPES W/ OWNER.
- 16.29 LOW VOLTAGE WIRING EXPOSED TO THE WEATHER SHALL BE INSTALLED IN A MANNER TO PREVENT PHYSICAL DAMAGE.
- 16.30 PROVIDE PERMANENT RECEPTACLE AND LIGHT FIXTURE AT FURNACE LOCATIONS. LIGHT SWITCH SHALL BE LOCATED NEAR ATTIC ACCESS PANEL.
- 16.31 ALL BATHROOM RECEPTACLES MUST BE ON A 20-AMP DEDICATED CIRCUIT.
- 16.32 ALL KITCHEN RECEPTACLES TO BE GFCI PROTECTED.
- 16.33 ALL GENERAL LIGHTING IN BATHROOMS TO BE FLUORESCENT OR APPROVED EQUIV., OR EXTERIOR LIGHTING SHALL BE ON PHOTOCELL PER TITLE 24.
- 16.34 PROVIDE ARC-FAULT INTERRUPTER FOR ALL RECEPTACLE OUTLETS INSTALLED IN BEDROOMS.
- 16.35 PROVIDE A BUFFER GROUND WITHIN THE FOUNDATION.
- 16.36 PROVIDE GFIWP OUTLET WITHIN 20' OF AC UNIT WITH DISCONNECT SWITCH AT UNIT.
- 16.37 LIGHTING FIXTURES IN CLOTHES CLOSETS SHALL BE EITHER SURFACE-MOUNTED OR A RECESSED FIXTURE W/ COMPLETELY ENCLOSED INCANDESCENT LAMP OR A FLUORESCENT LAMP, 12" MIN. CLEARANCE REQUIRED HORIZONTALLY & VERTICALLY FROM COMBUSTIBLE MATERIALS FOR THE INCANDESCENT FIXTURE & 6" MIN. REQUIRED FOR THE FLUORESCENT FIXTURE.
- 16.38 INSTALL OWNER PROVIDED FIXTURES PER PLAN.

GRADING NOTES

1. ALL GRADING SHALL CONFORM WITH MONTEREY COUNTY CODE, STANDARDS, AND REQUIREMENTS PERTAINING THERETO, THESE CONSTRUCTION DRAWINGS AND THE RECOMMENDATIONS OF THE SOILS ENGINEER AND ENGINEERING GEOLOGIST.
2. CONTRACTOR TO NOTIFY THE COUNTY GRADING INSPECTOR AND SOILS LABORATORY AT LEAST 48 HOURS BEFORE START OF GRADING WORK OR ANY PRE-CONSTRUCTION MEETING.
3. CONTRACTOR SHALL EMPLOY ALL LABOR, EQUIPMENT AND METHODS REQUIRED TO PREVENT HIS OPERATIONS FROM PRODUCING DUST IN AMOUNTS DAMAGING TO ADJACENT PROPERTY, CULTIVATED VEGETATION AND DOMESTIC ANIMALS OR CAUSING A NUISANCE TO PERSONS OCCUPYING BUILDINGS IN THE VICINITY OF THE JOB SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY DUST FROM HIS GRADING OPERATION.
4. BEFORE BEGINNING WORK REQUIRING EXPORTING OR IMPORTING OF MATERIALS, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM PUBLIC WORKS ROAD DIVISION FOR HAUL ROUTES USED AND METHODS PROVIDED TO MINIMIZE THE DEPOSIT OF SOILS ON COUNTY ROADS. GRADING/ROAD INSPECTORS SHALL MONITOR THIS REQUIREMENT WITH THE CONTRACTOR.
5. THE GEOTECHNICAL ENGINEER SHALL PROVIDE OBSERVATION AND TESTING DURING GRADING OPERATIONS IN THE FIELD AND SHALL SUBMIT A FINAL REPORT STATING THAT ALL EARTH WORK WAS PROPERLY COMPLETED AND IS IN SUBSTANTIAL CONFORMANCE WITH THE REQUIREMENTS OF THE GRADING ORDINANCE.
6. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION INCLUDING ROOTS AND OTHER UNSUITABLE MATERIAL FOR A STRUCTURAL FILL, AND THEN SCARIFIED TO A DEPTH OF 6" PRIOR TO PLACING OF ANY FILL. CALL GRADING INSPECTOR FOR INITIAL INSPECTION.
7. A THOROUGH SEARCH SHALL BE MADE FOR ALL ABANDONED MAN-MADE FACILITIES SUCH AS SEPTIC TANK SYSTEMS, FUEL OR WATER STORAGE TANKS, AND PIPELINES OR CONDUITS. ANY SUCH FACILITIES ENCOUNTERED SHALL BE REMOVED AND THE DEPRESSION PROPERLY FILLED AND COMPACTED UNDER OBSERVATION OF THE GEOTECHNICAL ENGINEER.
8. AREAS WITH EXISTING SLOPES THAT ARE TO RECEIVE FILL MATERIAL SHALL BE KEPT AND BENCHMARKED. THE DESIGN AND INSTALLATION OF THE KEYWAY SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION OR PER COUNTY STANDARD DETAIL NO. G-13.
9. FILL MATERIAL SHALL BE SPREAD IN LIFTS NOT EXCEEDING 6" IN COMPACTED THICKNESS, MOISTENED OR DRIED AS NECESSARY TO NEAR OPTIMUM MOISTURE CONTENT AND COMPACTED BY AN APPROVED METHOD. FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% MAXIMUM DENSITY AS DETERMINED BY 1557 ASTM D 1557 - 91 MODIFIED PROCTOR (AASHTO) TEST OR SIMILAR APPROVED METHODS. SOME FILL MATERIALS MAY REQUIRE FILL TO A GREATER DENSITY IF CALLED FOR IN THE CONSTRUCTION DOCUMENTS. SOIL TESTS SHALL BE CONDUCTED AT NOT LESS THAN ONE TEST FOR EACH 18" OF FILL AND/OR FOR EACH 500 CUBIC YARDS OF FILL PLACED.
10. CUT SLOPES SHALL NOT EXCEED A GRADE OF 2 UNITS HORIZONTAL TO 1 UNIT VERTICAL (50% SLOPE). FILL AND COMBINATION FILL AND CUT SLOPES SHALL NOT EXCEED 2 UNITS HORIZONTAL TO 1 UNIT VERTICAL (50% SLOPE). SLOPES OVER 3 FEET IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED PERENNIAL OR TREATED WITH EQUALLY APPROVED EROSION CONTROL MEASURES PRIOR TO FINAL INSPECTION.
11. SURFACE DRAINAGE SHALL BE PROVIDED AT A MINIMUM OF 2% FOR 6 FEET AWAY FROM THE FOUNDATION LINE OR ANY STRUCTURE.
12. ALL TREES THAT ARE TO REMAIN ON SITE SHALL BE TEMPORARILY FENCED AND PROTECTED AROUND THE DRIP LINE DURING GRADING OPERATION.
13. AN EROSION AND SEDIMENT CONTROL PLAN SHALL BE REQUIRED AS PART OF THE GRADING PLAN AND PERMIT REQUIREMENTS.

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY THE LOCAL GOVERNING AGENCY. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY.
2. THE CONTRACTOR'S WORK SHALL CONFORM TO THE FOLLOWING SPECIFIC CODES FOR NEW CONSTRUCTION:
- A. TITLE 24, C.C.R., PART 2, 2016 C.B.C. (U.B.C. W/ CALIFORNIA AMENDMENTS)
- B. TITLE 24, C.C.R., PART 3, 2016 C.E.C. (N.E.C. W/ CALIFORNIA AMENDMENTS)
- C. TITLE 24, C.C.R., PART 4, 2016 C.M.C. (U.M.C. W/ CALIFORNIA AMENDMENTS)
- D. TITLE 24, C.C.R., PART 5, 2016 C.P.C. (U.P.C. W/ CALIFORNIA AMENDMENTS)
- E. TITLE 19, C.C.R., PUBLIC SAFETY, DIVISION 1, STATE FIRE MARSHAL REGULATIONS
3. ALL GENERAL NOTES ARE THE MINIMUM STANDARDS. IF MORE COMPLETE INFORMATION IS ENCOUNTERED IN OTHER PARTS OF THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH THE MOST STRINGENT REQUIREMENT.
4. VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY DESIGNER OF ANY VARIATIONS CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO BIDDING OR COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
5. CONTRACTOR SHALL PERFORM DEMOLITION AS REQUIRED BY (N) CONSTRUCTION & BY THE VARIOUS UTILITY COMPANIES. OBTAIN ANY REQUIRED DEMOLITION PERMITS. SHORE & PROTECT, OR REMOVE & REBUILD.
6. ALL EXCAVATION, GRADING FILLING, BACK FILLING, DRAINAGE, ETC SHALL CONFORM TO THE SPECIFICATIONS & RECOMMENDATIONS OF THE GEOTECHNICAL SOILS FOUNDATION.
7. CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
8. DO NOT SHORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION ON OVERHANGING FRAMING.
9. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE, LOCAL, AND O.S.H.A. REGULATIONS.
10. DO NOT CUT OR TRIM ANY TREES ON THE PROPERTY UNLESS OTHERWISE NOTED OR DIRECTED BY DESIGNER AND OWNER. AVOID FILLING OR CUTTING AROUND EXISTING TREES TO REMAIN. PROTECT THESE TREES WITH BARRIERS DURING CONSTRUCTION.
11. NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID WITH OUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT & FROM THE CITY/COUNTY HEALTH DEPARTMENT.
12. DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
13. NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLE AVAILABLE SOURCE OF RECLAIMED WATER OR OTHER SUB-POTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT & APPROPRIATE FOR SUCH USE.
14. ALL HOSES USED FOR ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUT OFF NOZZLE. WHEN AN AUTOMATIC SHUT OFF CAN NOT BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE & TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT OFF NOZZLE.
15. INSTALL CERTIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST, MF-1R & THE SPECIFICATIONS. INSULATION INSTALLED SHALL MEET FLAME SPREAD & SMOKE DENSITY REQUIREMENTS OF THE STATE OF CALIFORNIA TITLE 24, CALIFORNIA CODE OF REGULATIONS.
16. ALL ROOF OVERHANGS, BUILT-UP ROOFS, BUILT-UP ROOFING & SPECIFICATIONS SHALL CONFORM TO U.B.C. 2010.
17. SHEET METAL FLASHING, COUNTER FLASHING, AND VALLEY FLASHING SHALL CONFORM TO U.B.C. 2010 PROVIDE AND INSTALL SHEET METAL AND OR COPPER FLASHINGS AS DETAILED AND REQUIRED TO INSURE WATERTIGHT ASSEMBLY. ALL PIECES SHALL BE FABRICATED IN MAXIMUM PRACTICAL LENGTHS, FREE OF WARPS, BUCKLES AND DENTS AND OTHER DEFECTS.
18. ROOF DRAINAGE SHALL CONFORM TO U.B.C. 194" /12" MIN. SEE ROOF PLAN.
19. SEALANTS: PROVIDE AND INSTALL ACRYLIC LATEX URETHANE BASE SEALANTS AT ALL EXTERIOR JOINTS AND GAPS NECESSARY FOR A WEATHER TIGHT ASSEMBLY.
20. JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKET, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION, INCLUDING SILL PLATES.
21. PROVIDE FINISH GRADE SLOPING AWAY FROM THE FOUNDATION AT 5% SLOPE FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF WALL, TOWARD A PUBLIC STREET OR ENGINEERED DRAINAGE STRUCTURE.
22. SUBMIT ELEVATOR DETAILS FOR REVIEW AND APPROVAL OF THE CITY AT LEAST 2-WEEKS PRIOR TO INSTALLATION.
23. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED.
24. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS.

NOTIFICATIONS

1. NOTIFY THE SOILS ENGINEER 48 HOURS BEFORE THE FOLLOWING TIMES:
- A. PRIOR TO THE TIME THAT THE SITE GRADING BEGINS.
- B. AFTER FOUNDATION EXCAVATIONS HAVE BEEN MADE AND PRIOR TO PLACING REINFORCING STEEL AND FORMWORK.
- C. PRIOR TO ALL CONCRETE POURS.
2. NOTIFY THE STRUCTURAL ENGINEER 48 HOURS BEFORE THE FOLLOWING TIMES:
- A. AFTER FOUNDATION EXCAVATIONS HAVE BEEN MADE AND PRIOR TO PLACING REINFORCING STEEL AND FORMWORK.
- B. PRIOR TO ALL CONCRETE POURS.
- C. PRIOR TO PLACING THE FIRST COURSE OF CONCRETE MASONRY UNITS.
- D. WHEN ROUGH FRAMING IS COMPLETED AND PRIOR TO START OF FINISH WORK.
- E. PRIOR TO COVERING ANY PLYWOOD SHEATHING NAILING.
- F. PRIOR TO COVERING ANY SHEAR WALL HOLDDOWN ANCHORS.

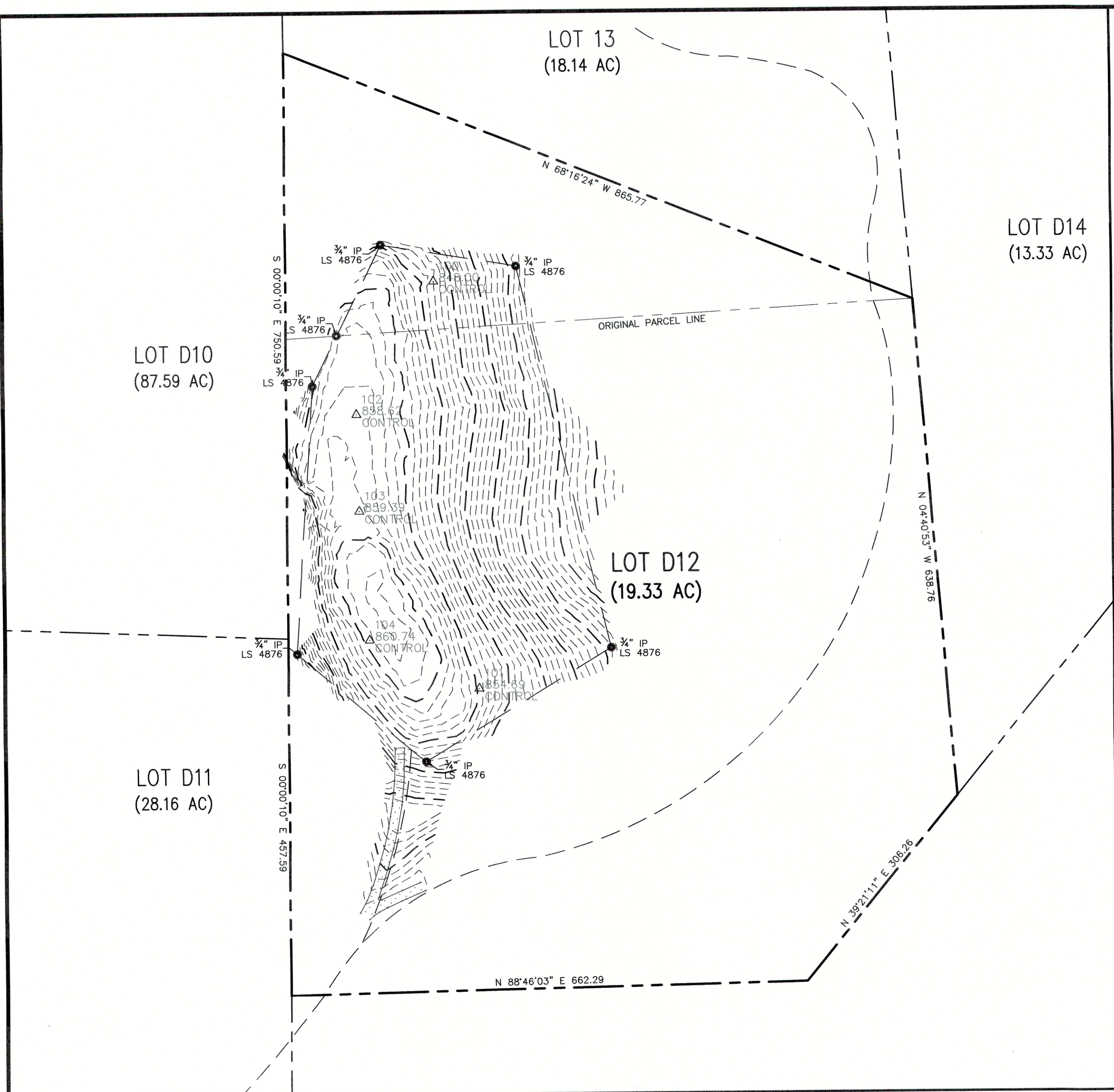
UTILITIES

ALL UTILITY CONNECTORS INCLUDING ELECTRICAL SERVICE, TELEPHONE SERVICE AND CABLE TELEVISION MUST BE PLACED UNDERGROUND FROM THEIR POINT OF ORIGIN AT THE UTILITY POLE TO THE SERVICE METER OR TERMINATION POINT AT THE STRUCTURE.

EDISON METER SERVICE REQUEST NO.: 002004608

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

SPECIFICATIONS



SITE OVERVIEW
SCALE: 1"=100'

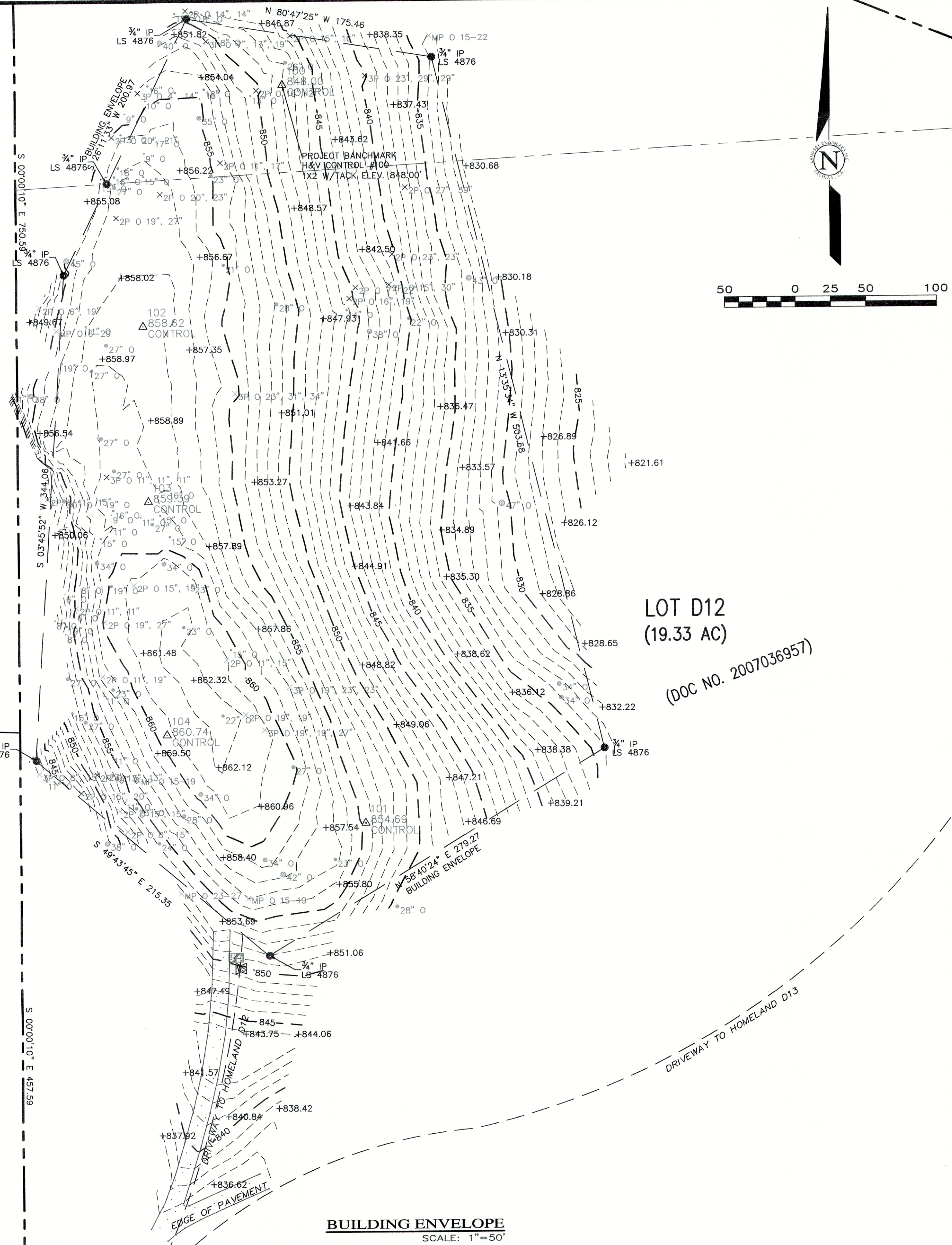
LEGEND:

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	ORIGINAL PROPERTY BOUNDARY LINE
	EASEMENT LINE (TYPE AS SHOWN)
	ROADWAY CENTERLINE
	MAJOR CONTOUR LINE (5' INTERVAL)
	MINOR CONTOUR LINE (1' INTERVAL)
	FENCE (TYPE AS MARKED)
	ASPHALT CONCRETE SURFACE
	NATURAL GROUND SURFACE/LANDSCAPED AREA

	CONDUIT		GAS LINE		GAS METER
	PIPE		TELEPHONE SERVICE		WATER METER
	CLEANOUT		UNKNOWN UTILITY		PGE BOX
	DOWNSPOUT		FUSE BOX		UTILITY HUB
	HOSEBIB		ELECTRICAL OUTLET		TELEPHONE BOX
	WATER SERVICE		UTILITY POLE		ELECTRICAL HUB
	IRRIGATION BOX		GUY WIRE		ELECTRICAL PANEL
	IRRIGATION CONTROL VALVE		MAILBOX		ELECTRICAL METER
	WATER VALVE		AREA DRAIN		SANITARY SEWER MANHOLE
	DRAIN LINE		HYDRANT		STORM DRAIN MANHOLE
	STREET LIGHT		SIGN		PGE GAS MANHOLE
					ELECTRICAL MANHOLE

LOT D10
(87.59 AC)

LOT D11
(28.16 AC)



GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #100, A 1X2 WITH TACK, ELEVATION = 848.00' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (09/16/20) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

CE = CEDAR PA = PALM
CW = COTTON WOOD PE = PEPPER
CYP = CYPRESS P = PINE
E = EUCALYPTUS R = REDWOOD
H = HOLLY TR = TREE
O = OAK W = WILLOW

CONTACT INFORMATION:

OWNER:
MS. BETSY W. BLISS
ARCHITECT:
ATTN: MR. CRAIG HOLDREN
HOLDREN & LIETZKE ARCHITECTURE
225 CANNERY ROW
MONTEREY, CA 93940

SITE LOCATION:
9 MESA TRAIL
CARMEL VALLEY, CA 93923

No.	DATE	BY	REVISION
	09/24/20	JK	RELEASED TO CLIENT

A.P.N.: 239-101-022

TOPOGRAPHIC MAP
OF
HOMELAND, LOT D12, VOLUME 24 OF SURVEYS AT PAGE 55
MONTEREY COUNTY RECORDS
CARMEL VALLEY, CALIFORNIA

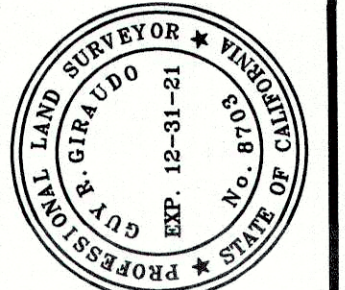
SCALE: AS SHOWN
DATE: SEPT 2020
JOB NO. 2163-01

SHEET **1**
OF 1 SHEETS

LANDSET
ENGINEERS, INC.
520-B Crazy Horse Canyon Road
Salinas, California 95077
Office (831) 443-3801
www.landseteng.com

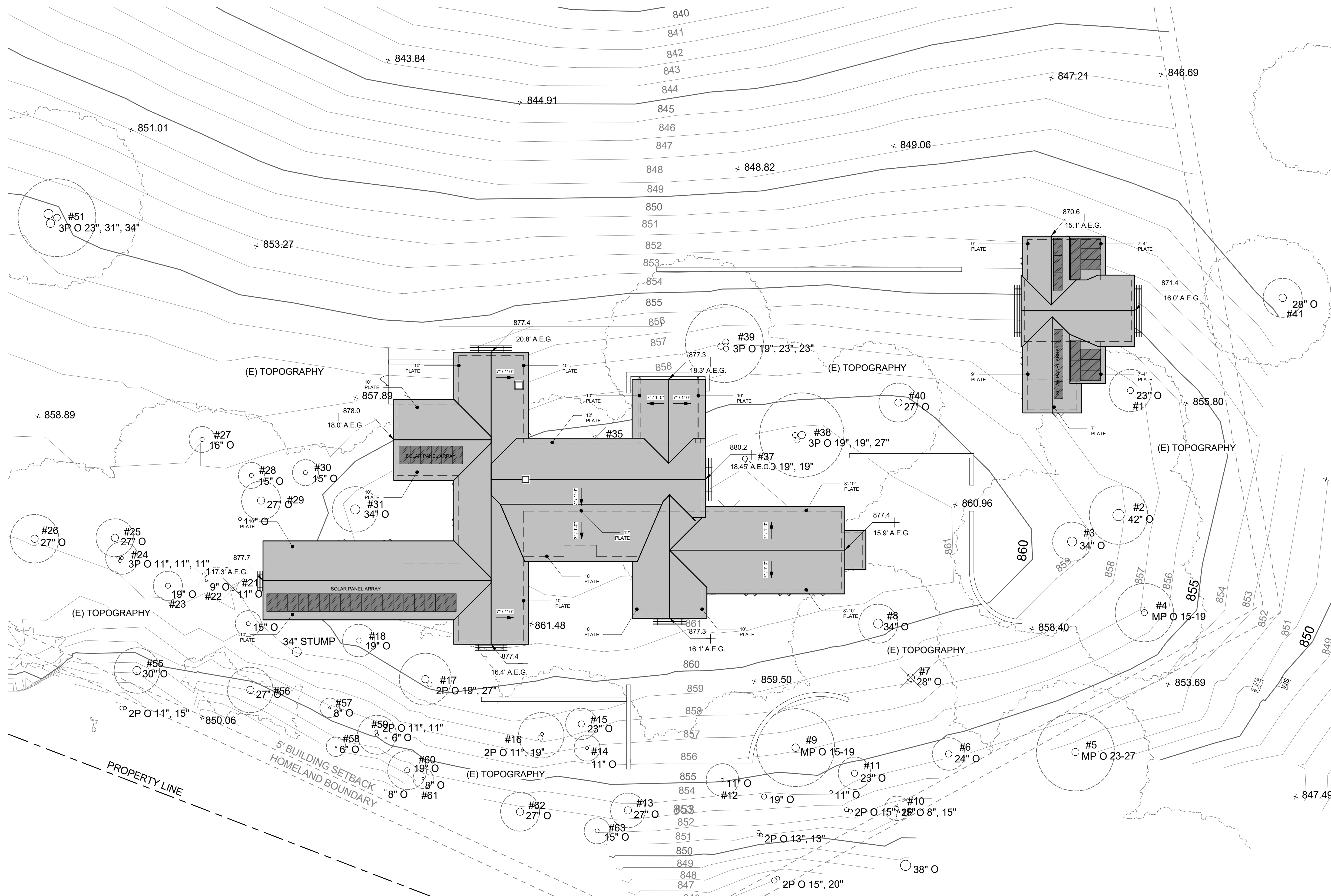
APPROVED BY:

GUY R. GIRAUDO
P.L.S. No. 8703



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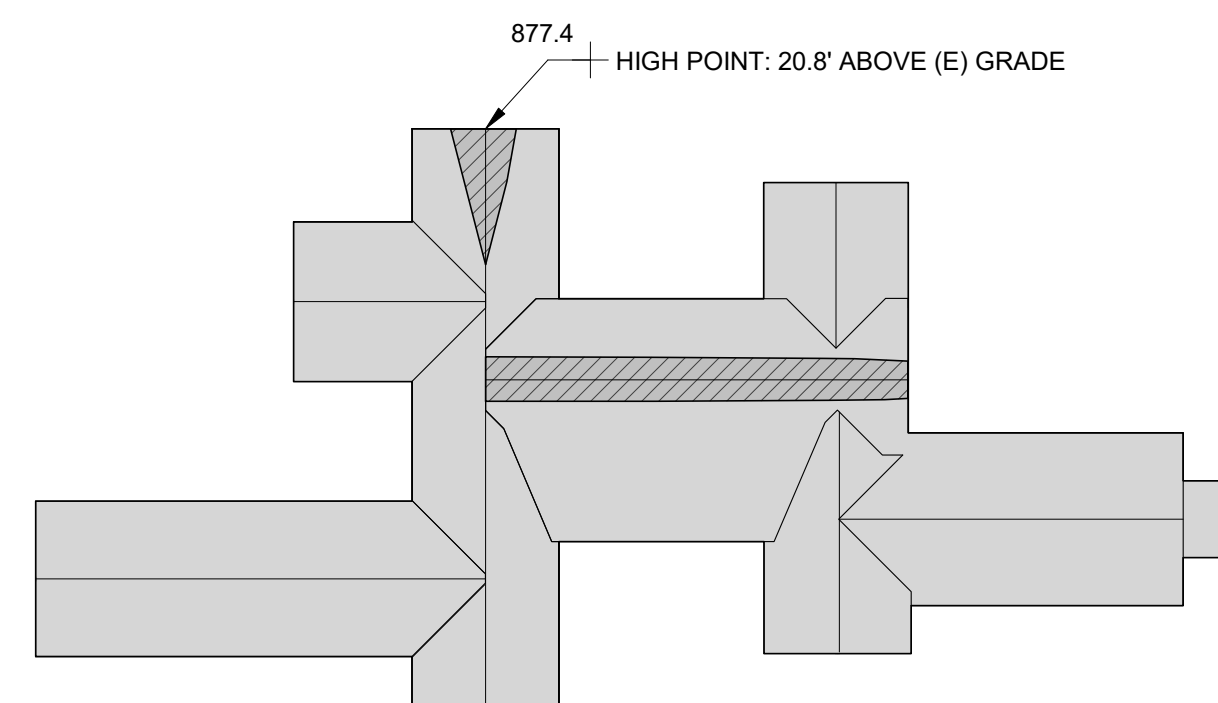


PROPOSED ROOF HEIGHTS OVER (E) GRADE
1/16" = 1'-0"

ROOF HEIGHT CALCULATIONS

TOTAL ROOF AREAS
ROOF AREA UNDER 18'
ROOF AREA OVER 18'
MAX. HEIGHT

9,592 S.F.
9,219 S.F. (94.2%)
556 S.F. (5.8%)
20.8'



BLISS RESIDENCE
LOT D12
9 MESA TRAIL
CARMEL, CA

ROOF SITE PLAN



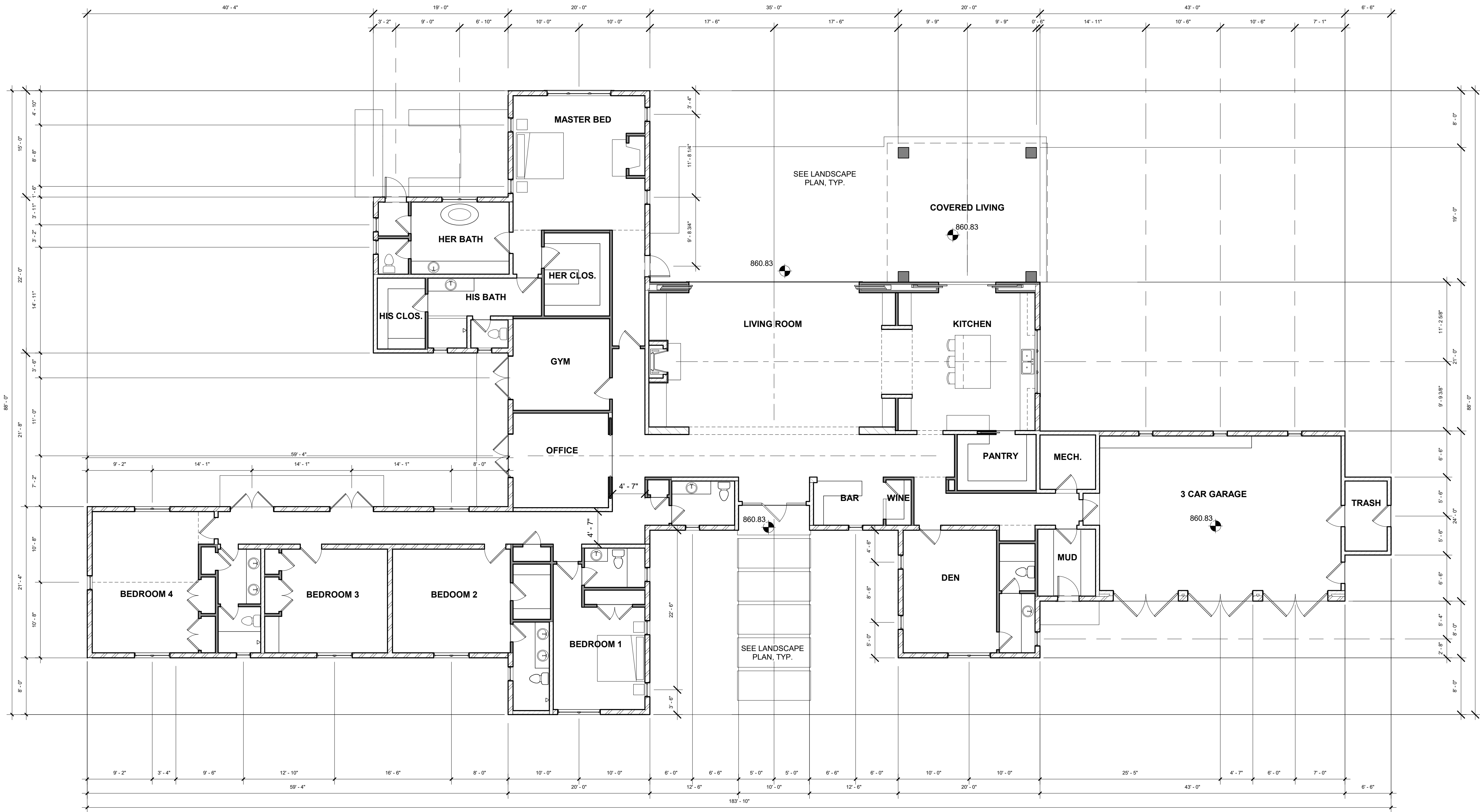
Date: 2022-05-24
Scale: As indicated
Drawn: AW
Job #: Project Number

Sheet

A1.2

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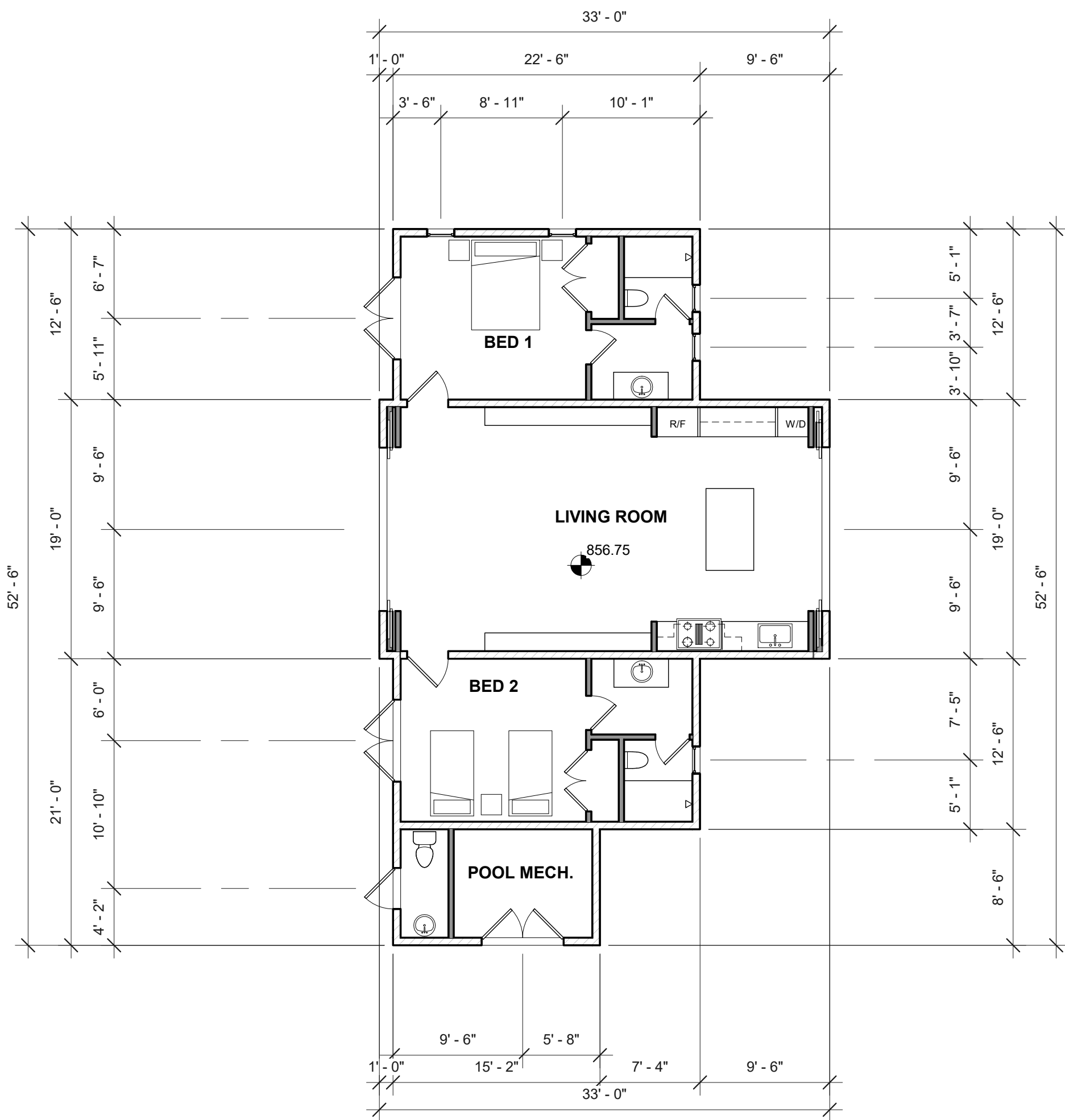
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FLOOR PLAN - RESIDENCE
1/8" = 1'-0"

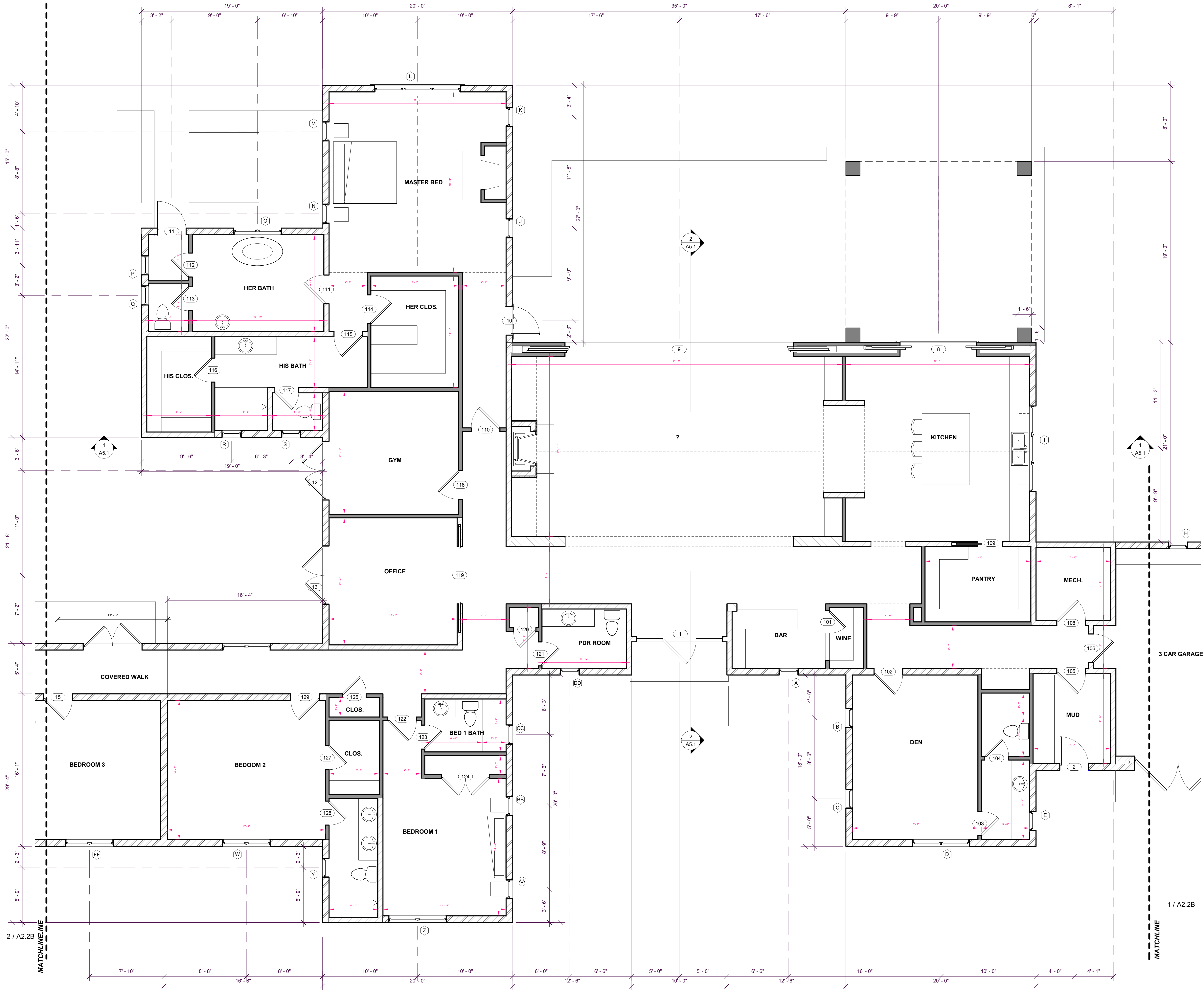
WALL LEGEND

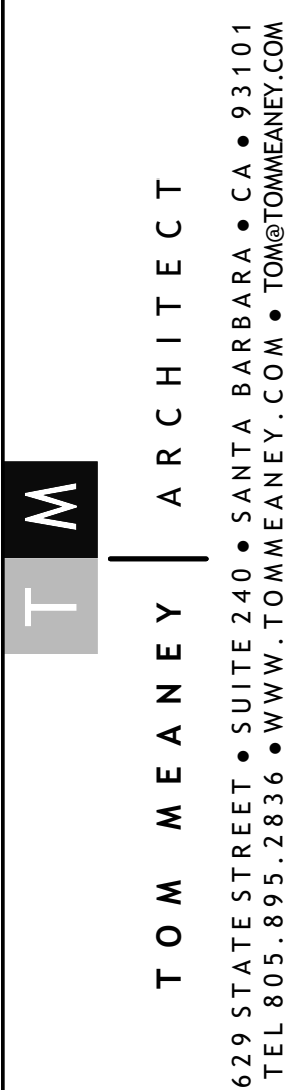
- 2x4 STUD WALL
- 2x6 STUD WALL
- 2x8 STUD WALL
- 2x12 STUD WALL
- 2x4 DOUBLE FRAMED EXT. WALL



FLOOR PLAN - A.D.U.
1/8" = 1'-0"

06/2022 5:35:22 PM All views, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2026. All rights reserved. Thomas Meaney Architect, Inc.





BLISS RESIDENCE
LOT D12
9 MESA TRAIL
CARMEL, CA

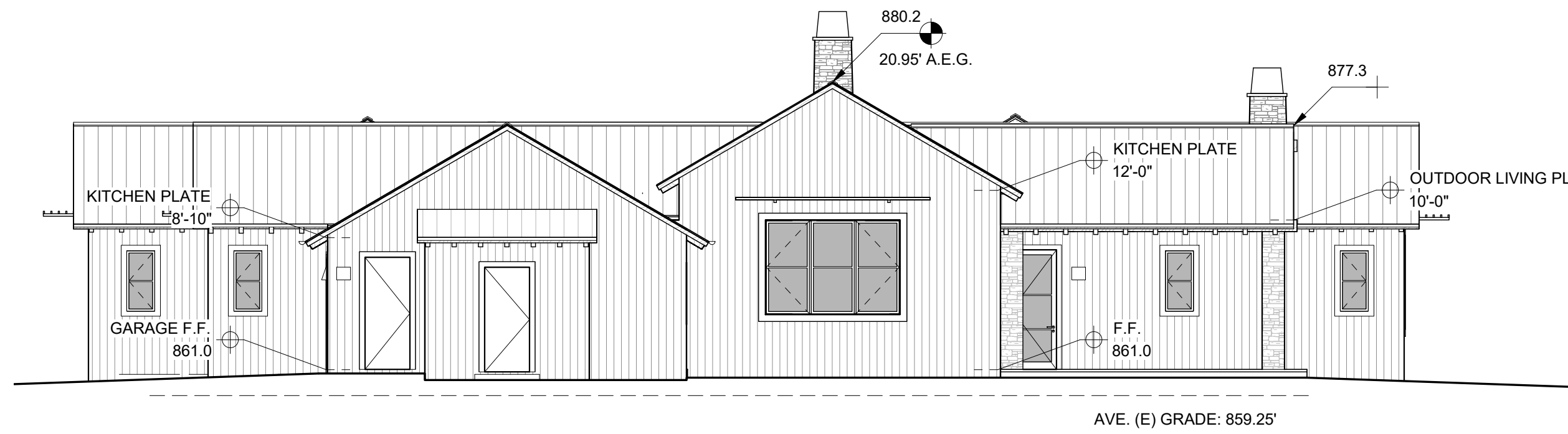
FLOOR PLAN - A.D.U.



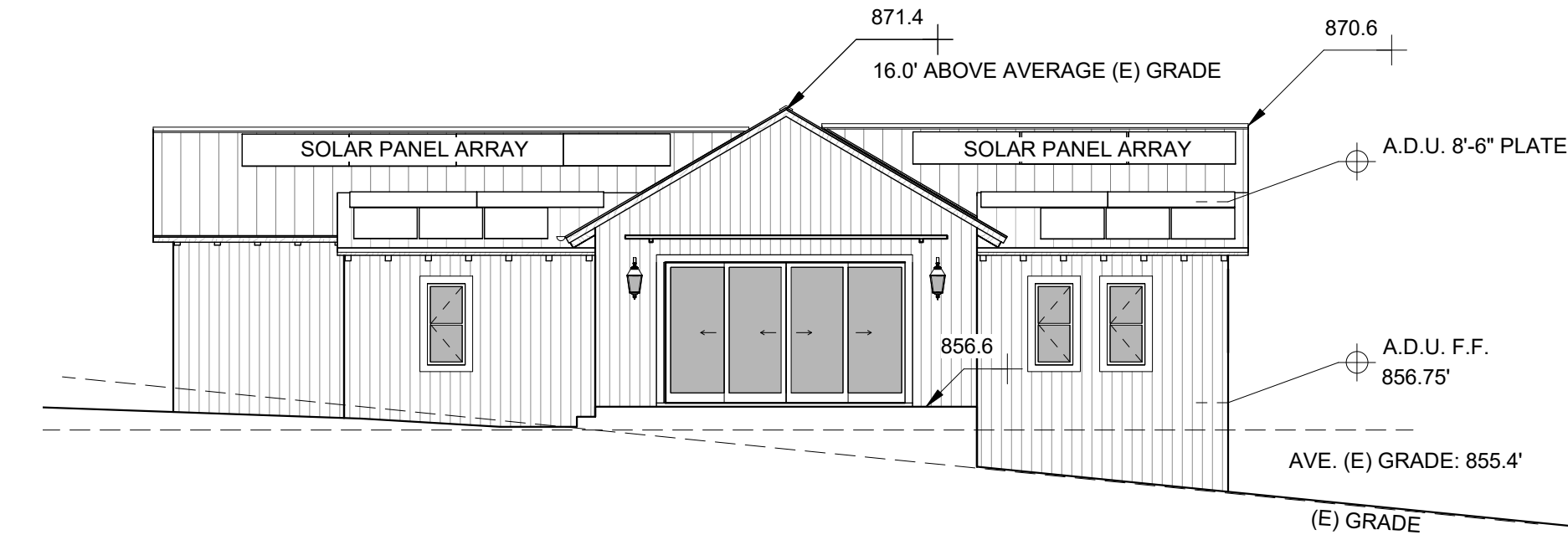
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Drawn AW
Job # Project
Sheet Number

A2.2C

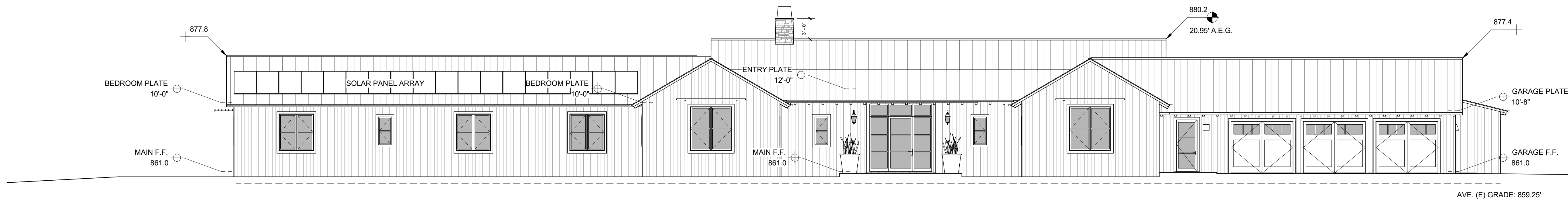
10/20/2022 10:34:30 AM All views, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2026. All rights reserved. Thomas Meaney Architect, Inc.



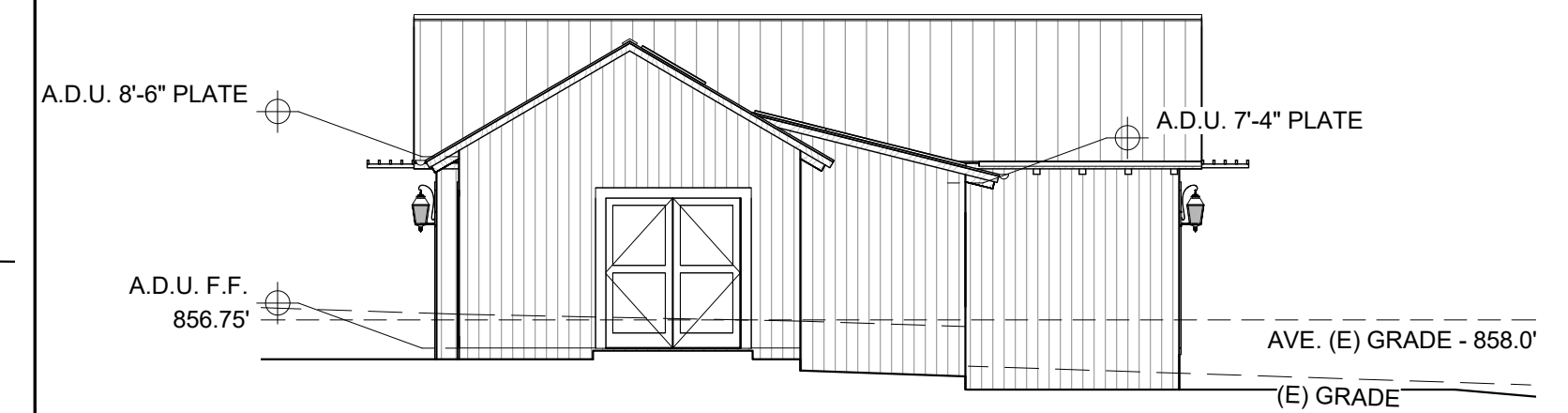
RESIDENCE SOUTH ELEVATION
1/8" = 1'-0"



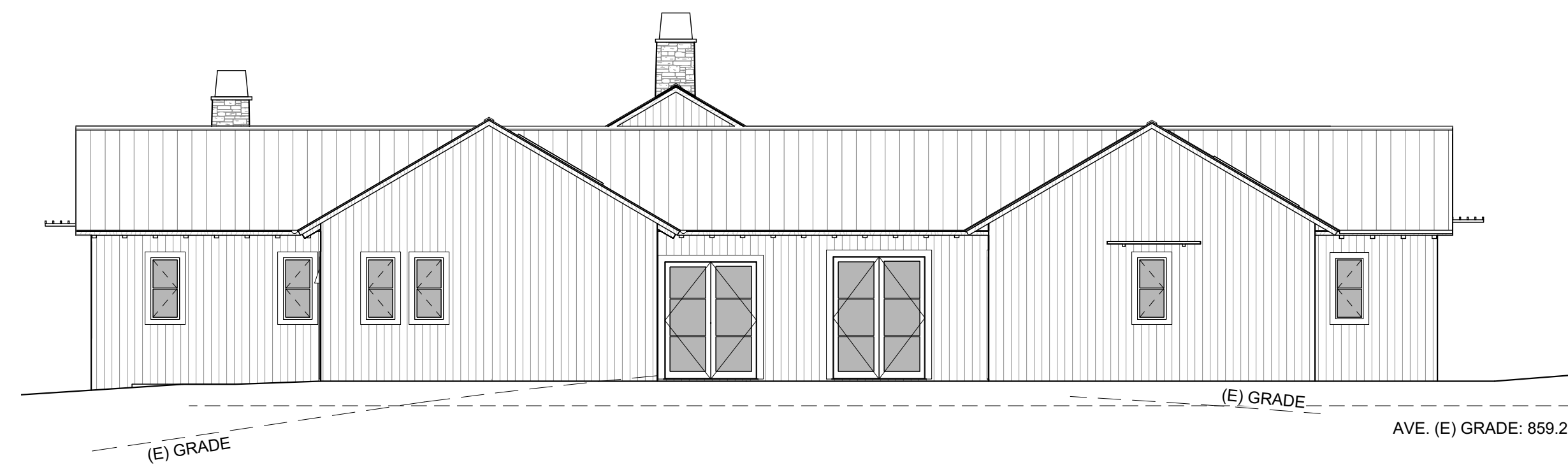
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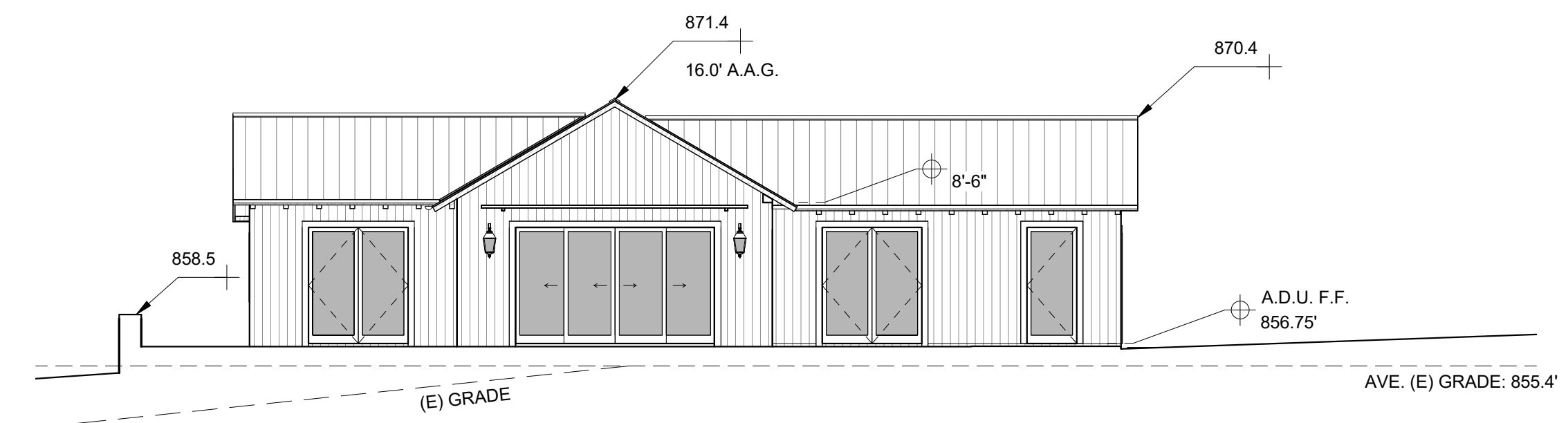
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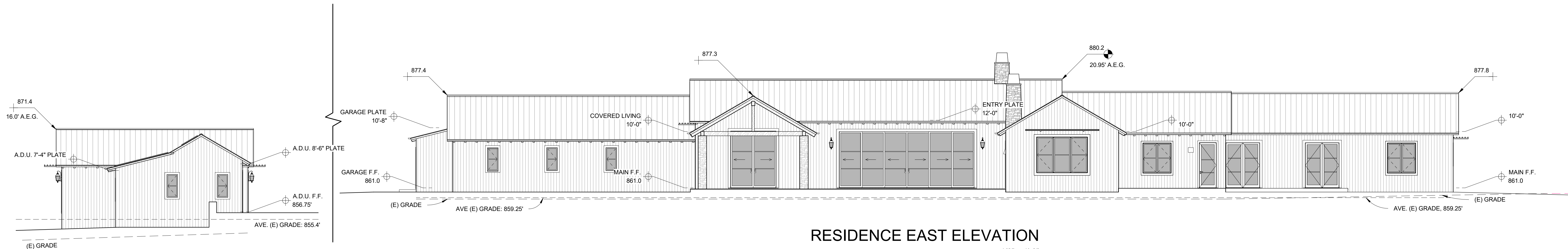
ADU WEST ELEVATION
1/8" = 1'-0"



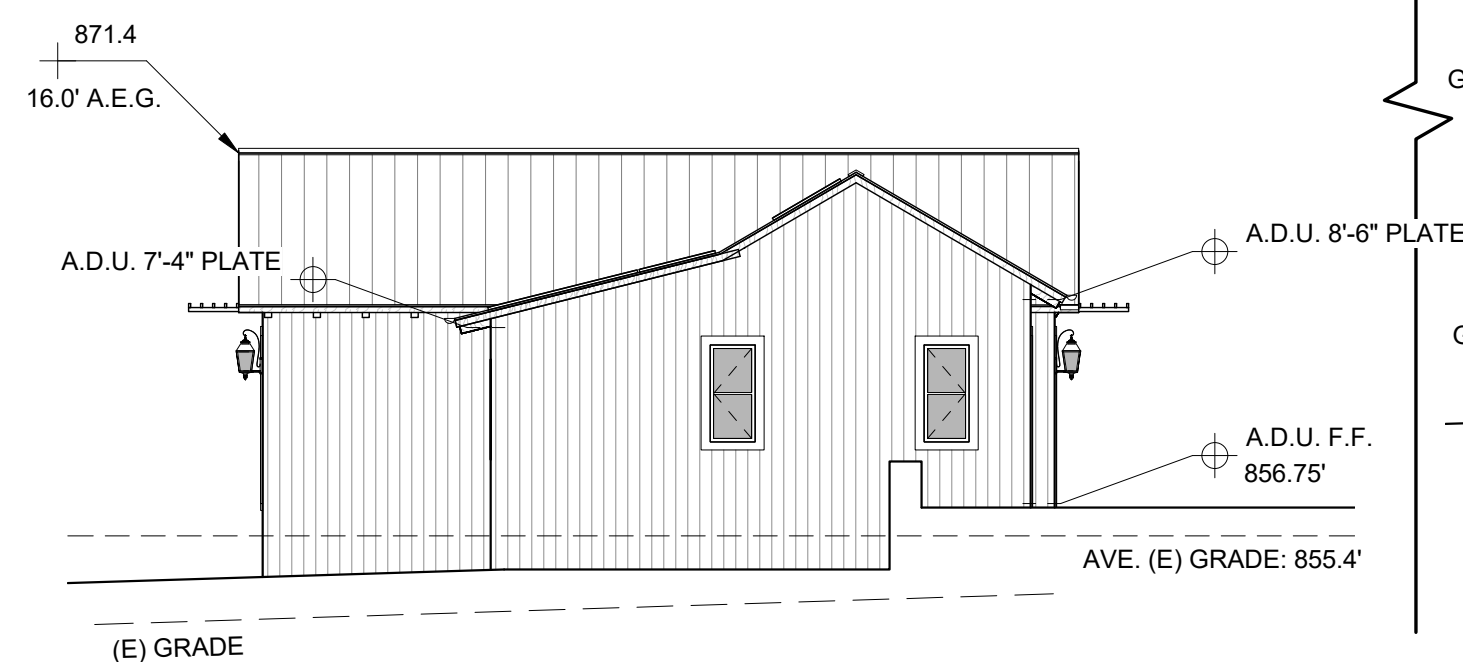
RESIDENCE NORTH ELEVATION
1/8" = 1'-0"



ADU NORTH ELEVATION
1/8" = 1'-0"



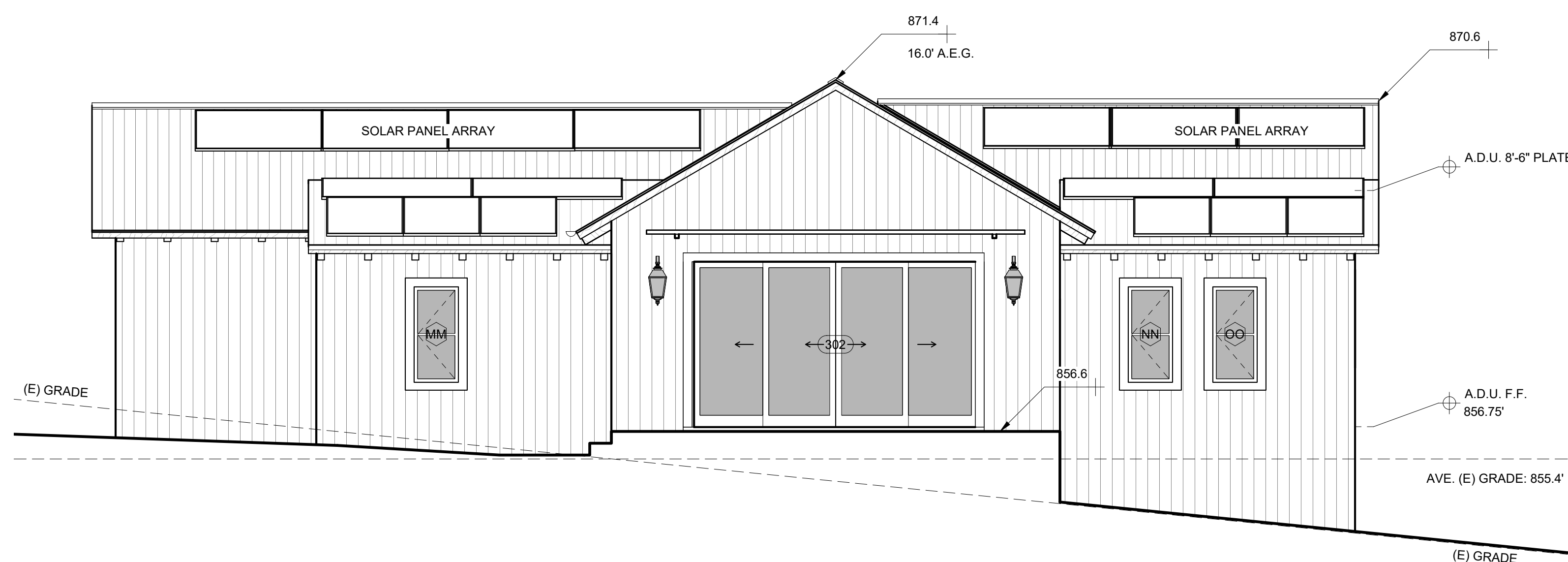
RESIDENCE EAST ELEVATION
1/8" = 1'-0"



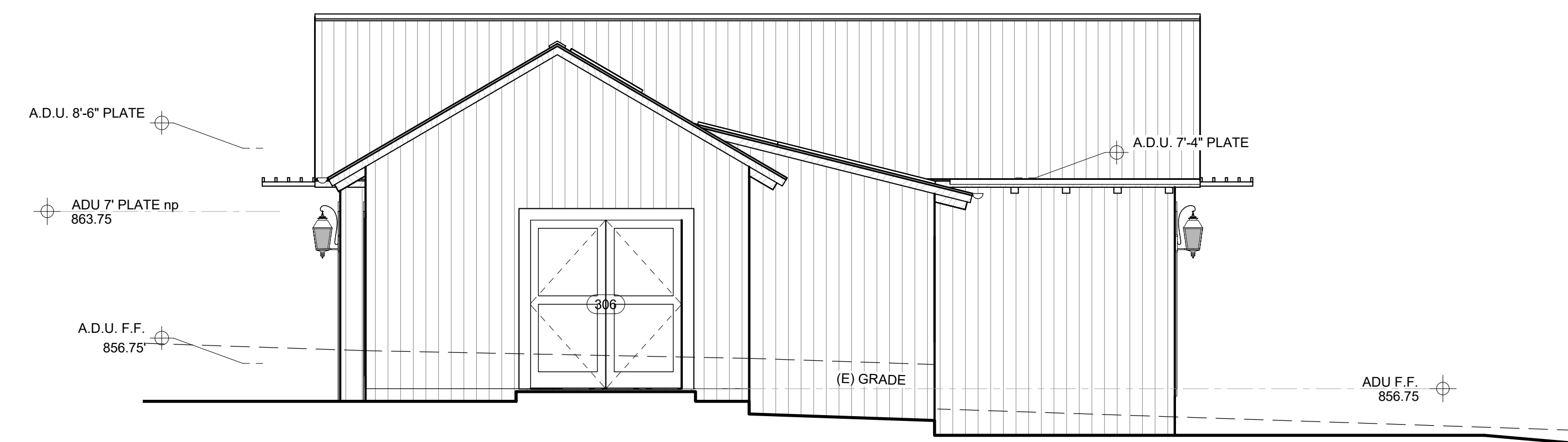
ADU EAST ELEVATION
1/8" = 1'-0"

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

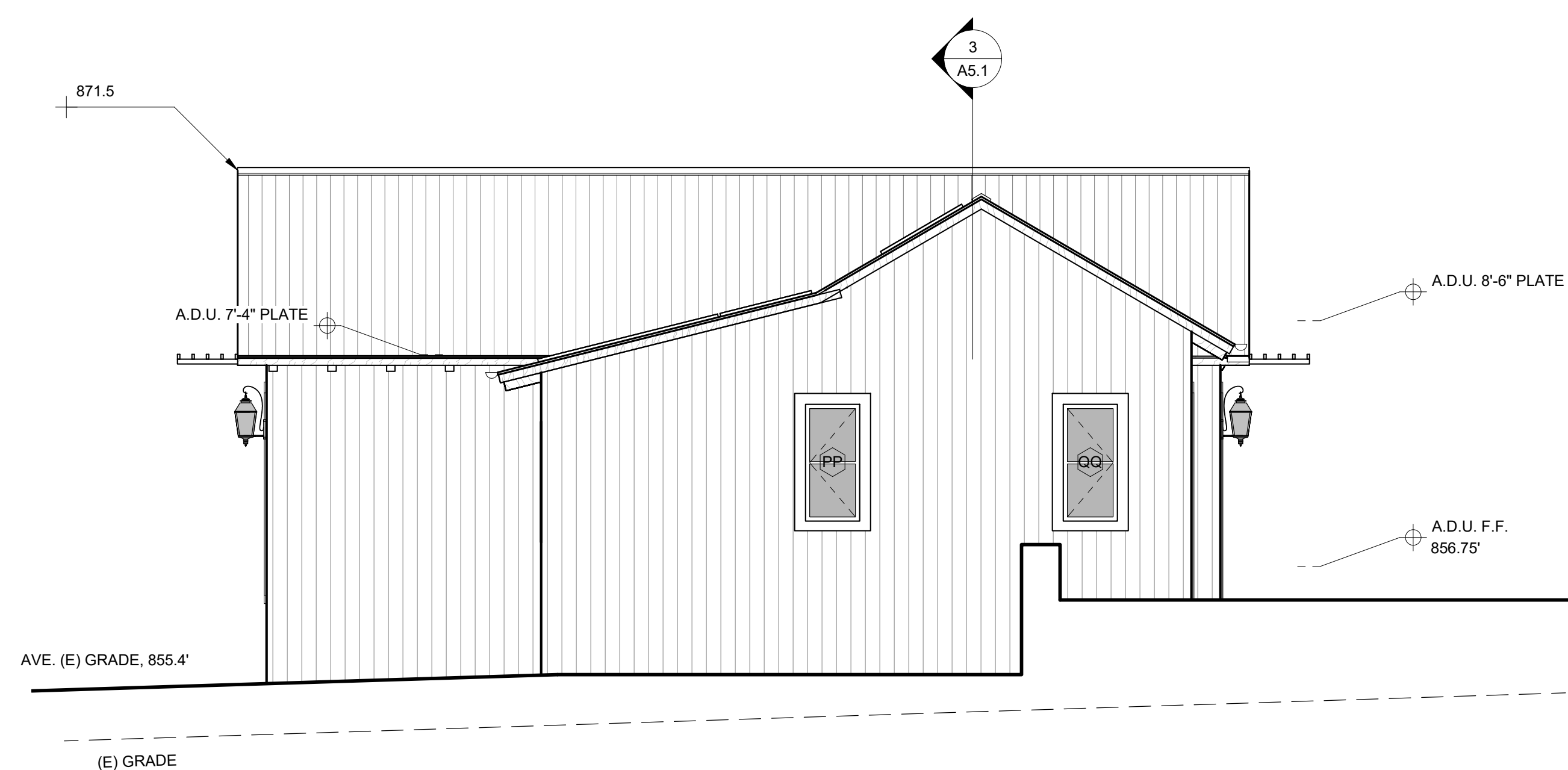
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TOM MEANEY ARCHITECT
229 STATE STREET, SUITE 240 • SANTA BARBARA, CA • 93101
TEL 805.895.2836 • WWW.TOMMEANEY.COM • TOM@TOMMEANEY.COM



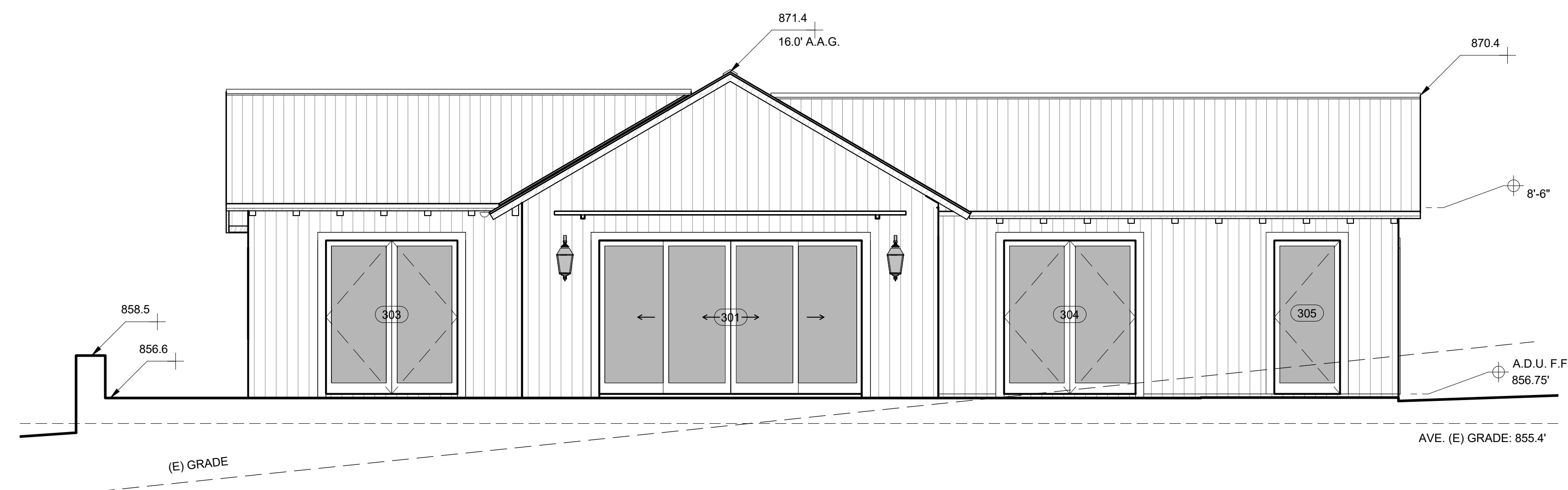
ADU SOUTH ELEVATION
1/4" = 1'-0"



ADU WEST ELEVATION
1/4" = 1'-0"



ADU EAST ELEVATION
1/4" = 1'-0"



ADU NORTH ELEVATION
1/4" = 1'-0"

BLISS RESIDENCE
LOT D12
9 MESA TRAIL
CARMEL, CA

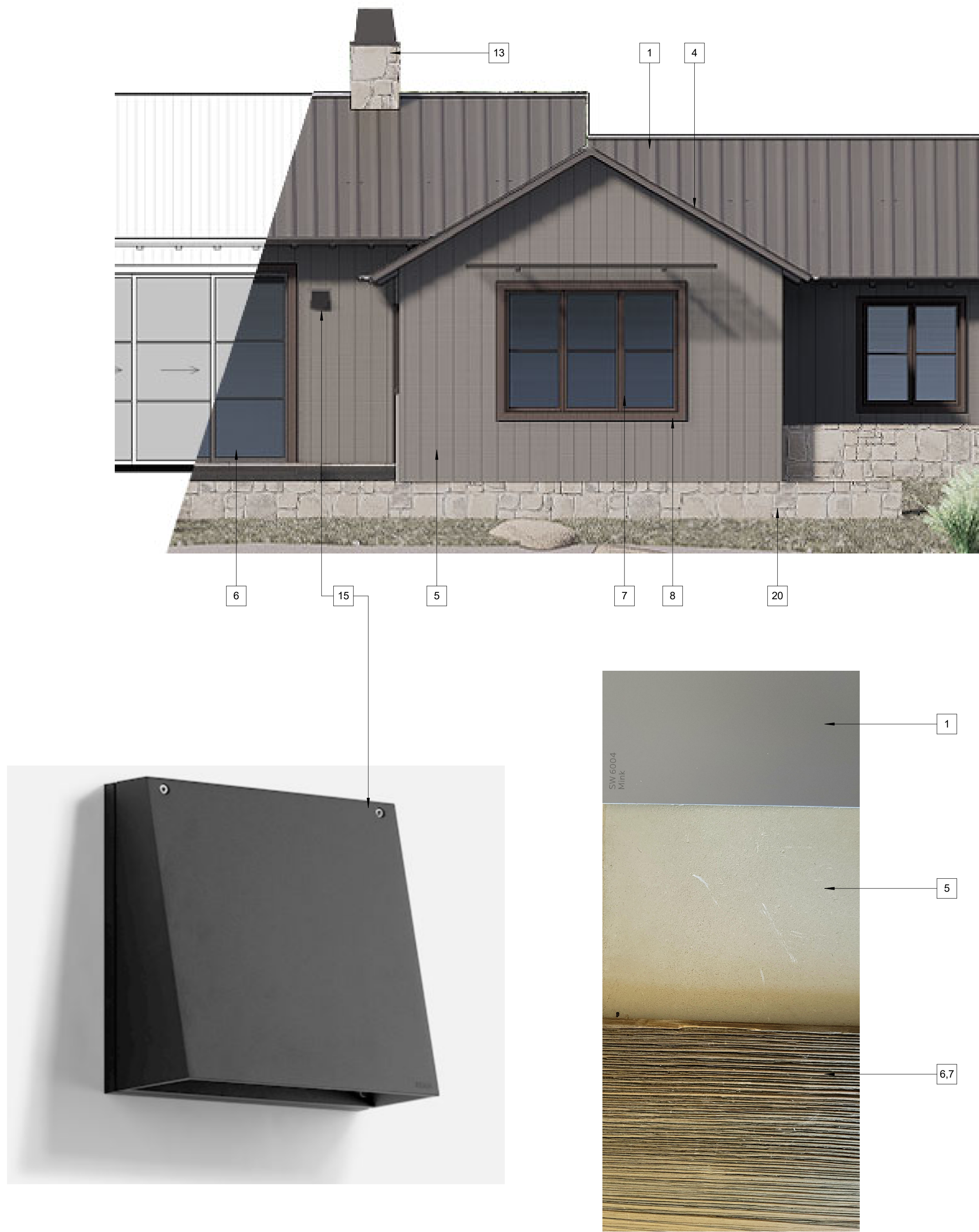
ADU EXT. ELEVATIONS



Date	2022-10-19
Scale	1/4" = 1'-0"
Drawn	AW
Job #	Project Number

Sheet

A6.2



EXTERIOR FINISHES

1. CLASS 'A', NON-REFLECTIVE METAL STANDING SEAM ROOF W/ 12" O.C. SEAMS, SUPPLY: CUSTOM-BILT METALS / CB-150 (CUSTOMBILTMETALS.COM), COLOR: ZINC GREY
2. 5"Ø HALF ROUND PRE-WEATHERED ZINC GUTTER W/ 4"Ø PRE-WEATHERED ZINC DOWNSPOUT, HINGED GUTTER GUARD, LOCK ON STYLE, COMPATIBLE W/ 5" GUTTERS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS, CONNECT DRAINAGE TO STORM DRAIN SYSTEM.
3. CEDAR MATCH ROOF
4. 4X8 APPLIED DOUGLAS FIR RAFTER TAILS PER DETAIL, 24" O.C. MAX., SMOOTH TEXTURE, PAINT TO MATCH SIDING - COLOR: VERIFY W/ ARCHITECT
5. 2X4 T&G KILN DRIED DOUGLAS FIR EAVES PER DETAIL, SMOOTH TEXTURE, PAINT TO MATCH SIDING - COLOR: VERIFY W/ ARCHITECT
6. 7/16"x11-1/2"x12"-0 BOARD & 3/4"x12-1/2"x12"-0 BATTEN SIDING, OVER TYVEK AND EXTERIOR PLY, SUPPLY: JAMES HARDIE (WWW.JAMESHARDIE.COM), TEXTURE: CEDARMILL, COLOR: FACTORY PRIMED & PAINT COLOR IVORY
7. BRUSHED CEDAR EXTERIOR DOOR, DUAL GLAZED / LOW E - PER DOOR SCHEDULE, MFR: MARVIN INTEGRITY (WWW.MARVIN.COM), COLOR: VERIFY W/ ARCHITECT
8. BRUSHED CEDAR EXTERIOR WINDOW, DUAL GLAZED / LOW E - PER WINDOW SCHEDULE, MFR: MARVIN INTEGRITY (WWW.MARVIN.COM), COLOR: BLACK
9. 2X6 DOOR & WINDOW CASING PER DETAIL, SUPPLY: JAMES HARDIE 'ARTISAN' (WWW.JAMESHARDIE.COM), TEXTURE: CEDARMILL, COLOR: FACTORY PRIMED & PAINT COLOR IVORY
10. CEDAR PAIL GARAGE DOOR, WIRE BRUSHED W/ EASED EDGES, REFER TO DOOR SCHEDULE, COLOR/TEXTURE: PAINT TO MATCH SIDING
11. CUSTOM STEEL DOOR, REFER TO DOOR SCHEDULE, SUPPLY/COLOR: BLACK - VERIFY W/ ARCHITECT
12. WATERPROOF DOOR & WINDOW FLASHING PER PLAN & DETAIL, COLOR/TEXTURE: PAINT TO MATCH SIDING - VERIFY W/ ARCHITECT
13. 8X8 DOUGLAS FIR BEAM PER PLAN & DETAIL, SMOOTH TEXTURE, PAINT TO MATCH SIDING - COLOR: VERIFY W/ ARCHITECT
14. CHIMNEY PER PLAN & DETAIL W/ SANTA BARBARA STONE VENEER, W/ CLASS 'A' INSULATED DOUBLE WALL STAINLESS STEEL FLUE FOR ALL CHIMNEY LENGTHS & ASSOCIATED COMPONENTS PER MFR SPECS, REPORTS & LISTINGS (UL103), MFR: DURAVENT - DURATECH 12" (WWW.DURAVENT.COM), PROVIDE SHROUD AND SPARK ARRESTOR TO COMPLY PER (CRC SECTION R1003.9.1), CHIMNEY TO EXTEND 2' ABOVE ANY PORTION OF THE BUILDING AND ROOF WITHIN 10' OF THE CHIMNEY OUTLET AND 3' ABOVE THE HIGHEST POINT WHERE CHIMNEY FLUE THROUS THROUGH ROOF, NO FIRE ARRESTOR CHIMNEY CAP TO BE 4 TIMES GREATER THAN THE AREA OF THE CHIMNEY FLUE OUTLET
15. WOOD STAIR TREADS WITH PAINTED WOOD RISERS PER PLAN, COLOR: VERIFY W/ ARCHITECT
16. EXTERIOR WALL MOUNTED INDIRECT LIGHT FIXTURE PER PLAN, HIGH EFFICIENCY LED LAMP W/ SHIELDED GLASS, 25 WATT OR EQUIVALENT MAX., SUPPLY: VERIFY W/ ARCHITECT, COLOR: BLACK
17. STONE TERRACE & LANDINGS PAVERS, SLOPE 1/8" PER FT. TO DRAIN AWAY FROM STRUCTURES, STAIR LANDINGS 2% SLOPE MAX., PROVIDE 36" MIN. LANDING AT EACH GRADE LEVEL EXIST IN THE DIRECTION OF EGRESS, SUPPLY/COLOR: VERIFY W/ ARCHITECT
18. WEEP SCREENED, PROFILE TO ALLOW SIDING BELOW SCREENED PER DETAIL, PROVIDE 26 GAUGE MIN. GALVANIZED WEEP SCREENED AT FOUNDATION, 4" MIN. ABOVE GRADE OR 2" MIN. ABOVE CONCRETE/PAVING WHERE OCCURS
19. STONE VENEER PER ARCHITECT
20. SOLAR PANEL ARRAY, T.B.D.
21. STONE WALL PER LANDSCAPE ARCHITECT, 'CALABASAS LEDGE STONE' U.N.O.

*NOTE - ALL COLORS VERIFY W/ ARCHITECT IN FIELD, ALL WOOD & HEAVY TIMBERS NON-TREATED, LIGHT SANDBLAST TEXTURE W/ EASED EDGES, U.N.O. PROVIDE SAMPLE TO ARCHITECT- TYPICAL

INTERIOR FINISHES

101. DRYWALL - 5/8" CORNER FORM & TEXTURE PER ARCHITECT, W/ HAND FORMED CORNERS, PROVIDE SAMPLES
102. DRYWALL - 5/8" TYPE X, CORNER FORM & TEXTURE PER ARCHITECT, PROVIDE SAMPLES
103. DRYWALL - 5/8" TYPE WR, CORNER FORM & TEXTURE PER ARCHITECT, PROVIDE SAMPLES
104. AIR IMPERMEABLE SPRAY FOAM INSULATION AT ALL RAFTER BAYS & ATTIC EXTERIOR WALLS, R-VALUE RATING PER T-24 ENERGY CODE COMPLIANCE, INSTALLATION PER MFR SPECS, NO ATTIC VENTILATION REQUIRED
105. BATT INSULATION AT ALL EXTERIOR WALLS, R-VALUE RATING PER T-24 ENERGY COMPLIANCE, INSTALLATION PER MFR SPECS
106. BATT INSULATION AT ALL INTERIOR WALLS AND FRAMED FLOORS, R-VALUE RATING PER T-24 ENERGY COMPLIANCE, INSTALLATION PER MFR SPECS
107. ATTIC ACCESS PER PLAN, PROVIDE 30" MIN. HEADROOM CLEARANCE ABOVE OPENINGS, FOR ACCESS ABOVE GARAGE PROVIDE SOLID WOOD DOOR NO LESS THAN 1 3/8" THICK THAT IS SELF CLOSING, LATCHING, AND TIGHT FITTING
108. WOOD FLOORING - TYP, FLUSH W/ ADJACENT FLOORING, SUPPLY/FINISH: VERIFY W/ ARCHITECT
109. TILE FLOORING - ALL BATHS & LAUNDRY, FLUSH W/ ADJACENT FLOORING, SUPPLY/FINISH: VERIFY W/ ARCHITECT
110. EPOXY COATING OVER CONCRETE SLAB
111. CAST ALUMINUM REGISTERS - TYP, WHERE OCCURS PER MECHANICAL PLANS, MFR: PACIFIC REGISTER CAST (WWW.PACIFICREGISTERCO.COM)
112. FIREPLACE PER PLAN & DETAIL, ALL FIREBOXES SET FLUSH W/ TOP OF HEARTH ON NON-COMBUSTIBLE METAL FRAMING PER MFR. SPEC. 20" MIN. CLEARANCE FROM FIREPLACE OPENING TO COMBUSTIBLE FLOORING, PROVIDE COMBUSTION AIR INTAKE FROM OUTSIDE AIR SUPPLY INTO FIREBOX, MINIMUM 14" SQUARE INCHES AND EQUIPPED WITH A HANDILY ACCESSIBLE / OPERABLE / TIGHT - FITTING DAMPER, EXTERIOR AIR INTAKE BELOW FIREBOX AND SCREENED W/ 1/4" CORROSION RESISTANT WIRE MESH, PROVIDE GAS SUPPLY & KEY IN ACCORDANCE TO MFR SPECS, AND WITHIN 6" MAX. FROM THE GAS OUTLET, PROVIDE GLASS DOORS COVERING THE ENTIRE OPENING OF FIREBOX, PROVIDE APPROVED INSTALLATION INSTRUCTIONS AT JOB SITE AT TIME OF INSPECTION

- A. RESIDENCE LIVING: ISOKERN 48"X48"H
B. ACCESSORY DWELLING UNIT GREAT ROOM

113. 8X8 WOOD POST TAPERED TO 6X6
114. INTERIOR PAINTED CASING & BASEBOARD PER ARCHITECT & OWNER
115. INTERIOR DOORS PAINTED OFF-WHITE
116. INSIDE SURFACES OF EXTERIOR DOORS & WINDOWS PAINTED BLACK
117. PAINTED SHIP LASH SIDING AT ALL GALLERY WALLS PER ARCHITECT & OWNER
118. SECOND LAYER DRYWALL AT ALL CEILING PER PLAN
119. 1X6 T&G AT CEILING PER PLAN
120. 1X4 TRIM AT CEILING PER PLAN
121. CONCRETE RAT SLAB W/ MECH VENTILATION INTO ALL CRAWLSPACES

*NOTE - ALL COLORS VERIFY W/ ARCHITECT IN FIELD, ALL WOOD & HEAVY TIMBERS NON-TREATED, LIGHT SANDBLAST TEXTURE W/ EASED EDGES, U.N.O. PROVIDE SAMPLE TO ARCHITECT- TYPICAL



BLISS
RESIDENCE

9 MESA TRAIL, LOT D12
SANTA LUCIA PRESERVE, CARMEL, CA 93940

APN/ Lot Number
239-101-022

Phase
FINAL DESIGN

Previous Issue
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Issue
Planning Permit Submittal

Date
13 JUL 2022

Drawn by
MT

Scale: 1"=40'-0"
0' 20' 40'
North
N

Drawing Title

REFERENCE SITE
PLAN

L0.1



SAVANNA / WOODLAND ZONE

Lot D12 features a blend of landscape zones, including oak woodland habitat and savanna grassland habitat. Coast Live Oaks are scattered throughout the Homeland with the greatest density along the west ridge and below the meadow to the east. The sloping savanna includes a rich and diverse grassland sprinkled with several spectacular heritage oaks over 40 inches in diameter, with wide spreading limbs and unique character. The mixture of low lying native grasses and sky lupine spread like waves throughout the springtime, with vibrant colors of greens and purples indicating the fertile, alluvial soil below.

TREE REMOVAL + PROTECTION LEGEND

- Tree to remain / be protected
- Tree to be removed, Typ. of 7
- Critical Root Zone (See Arborist Report)
- Tree Protection Fencing

Notes:

- All existing trees not shown for removal are to remain and be protected throughout construction.
- Refer to lot specific Arborist Report prepared by Thomson Wildland Management.

By tree number:

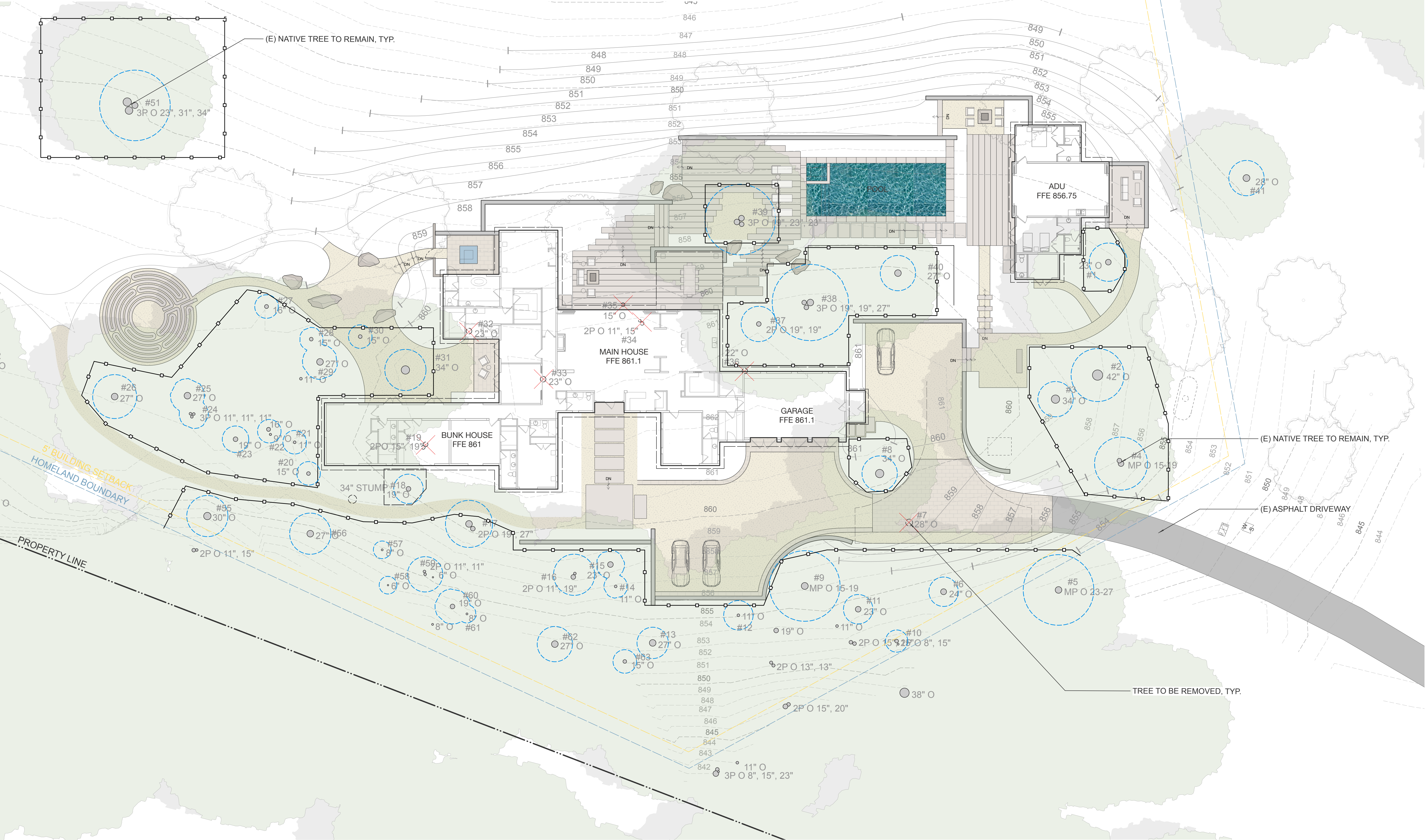
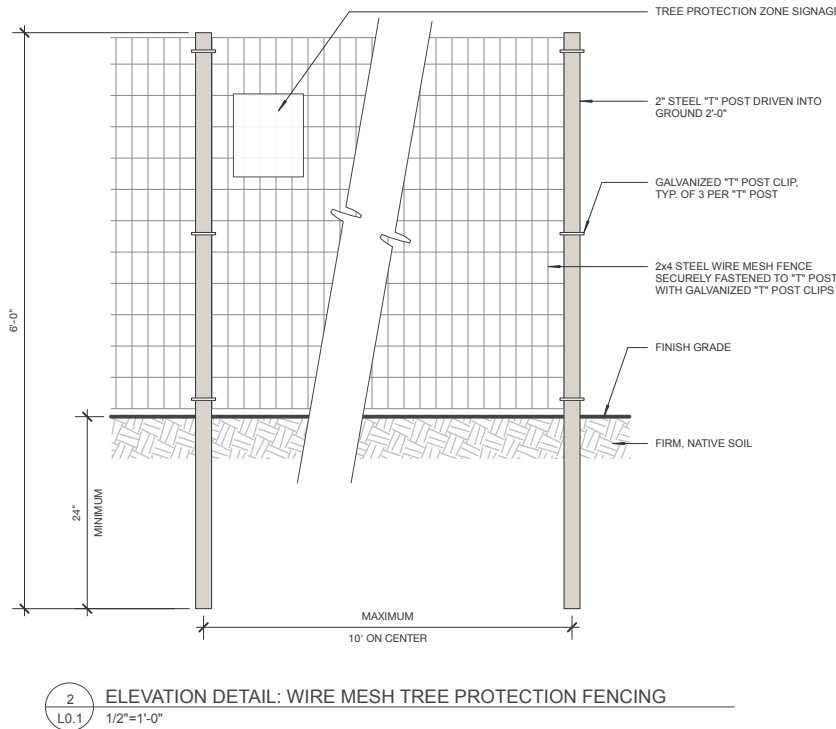
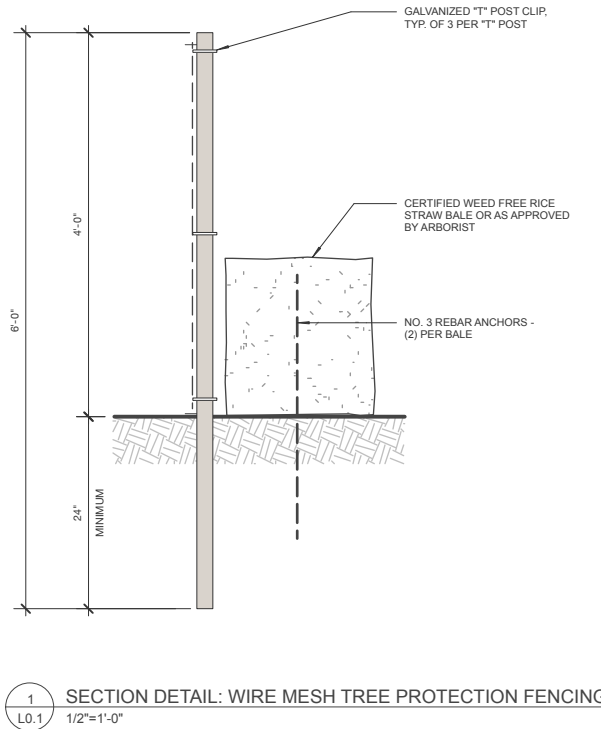
- #7: 28" Coast Live Oak = Remove
- #19: 15"+19" Coast Live Oak = Remove
- #32: 23" Coast Live Oak = Remove
- #33: 23" Coast Live Oak = Remove
- #34: 11"+15" Coast Live Oak = Remove
- #35: 15" Coast Live Oak = Remove
- #36: 22" Coast Live Oak = Remove

Total Tree Removals: 7

Total mitigation trees required: 23

TREE PROTECTION NOTES

Refer to the 9 Mesa Trail Pre-Construction Tree Impact Assessment, Item IV. B., dated 06/28/22, as prepared by Thomson Wildland Management, for all notes and information related to the Construction Tree Protection Measures.



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SANTA LUCIA PRESERVE, CARMEL, CA 93940

APN/ Lot Number
239-101-022

Phase

FINAL DESIGN

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Issue

Planning Permit Submittal

Date

13 JUL 2022

Drawn by

MT

Scale: 1/16"=1'-0"



North



Drawing Title

TREE PROTECTION
+ REMOVAL PLAN

L0.2

FUEL MANAGEMENT NOTES

1. Refer to lot D12 Fuel Management Plan prepared by Seth Parker dated 12/09/2021.
2. A non combustble zone shall be established within a 5' buffer around structures.
3. In the first 30 ft. (from the structure) 'Green' zone, it is required to remove all flammable vegetation. If the entire 30 ft. is not available on the bluff top, before the top of bank mark, and the firebreak includes a portion of the top of the canyon slope, the natural ground cover present should be maintained at less than 18" in height, but not cleared. This modification of the regulations is allowed on sites with the high potential of erosion.

- an understory less than 18" high

- removal of all dead and dying woody material

- limbing up all tree branches to provide a minimum 6 ft. clearance off the ground

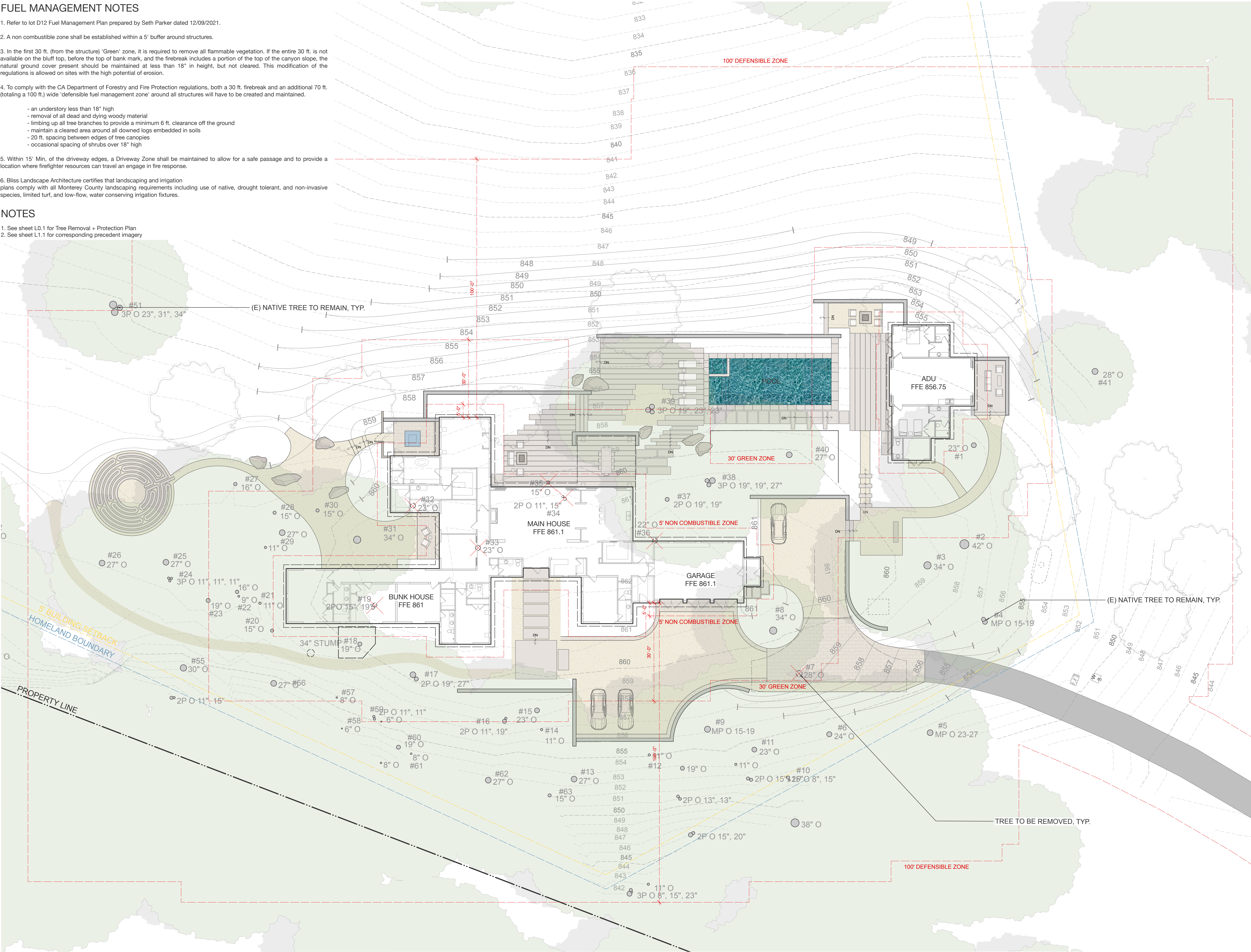
- maintain a cleared area around all downed logs embedded in soils

- 20 ft. spacing between edges of tree canopies

- occasional spacing of shrubs over 18" high
4. To comply with the CA Department of Forestry and Fire Protection regulations, both a 30 ft. firebreak and an additional 70 ft. (totaling a 100 ft.) wide 'defensible fuel management zone' around all structures will have to be created and maintained.
5. Within 15' Min. of the driveway edges, a Driveway Zone shall be maintained to allow for a safe passage and to provide a location where firefighter resources can travel an engage in fire response.
6. Bliss Landscape Architecture certifies that landscaping and irrigation plans comply with all Monterey County landscaping requirements including use of native, drought tolerant, and non-invasive species, limited turf, and low-flow, water conserving irrigation fixtures.

NOTES

1. See sheet L0.1 for Tree Removal + Protection Plan
2. See sheet L1.1 for corresponding precedent imagery



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Issue
Planning Permit Submittal

Date
13 JUL 2022

Drawn by
MT

Scale: 1/16"=1'-0"
0' 8' 16'
North
N

Drawing Title
FUEL
MANAGEMENT
PLAN
L0.3

LEGEND

- 1 EXISTING DRIVEWAY
- 2 DRIVEWAY + FIRE TRUCK TURNAROUND
- 3 GUEST PARKING
- 4 ENTRY GARDEN
- 5 GRAVEL PATH
- 6 SOUTH VIEW TERRACE
- 7 GUEST HOUSE TERRACE
- 8 POOL
- 9 POOL TERRACE
- 10 OUTDOOR DINING + ENTERTAINING
- 11 FIRE PIT
- 12 TIMBER BENCH
- 13 PRIMARY BEDROOM SPA COURT
- 14 GRAVEL GARDEN
- 15 STONE LABYRINTH
- 16 SITE WALLS (NOT TO EXCEED 4' IN HEIGHT)
- 17 MOWN PATH
- 18 BOULDER, TYP.
- 19 TRASH STORAGE
- 20 NATIVE SCREEN PLANTINGS
- 21 POOL EQUIPMENT



LANDSCAPE MATERIALS + FINISHES

NOTES

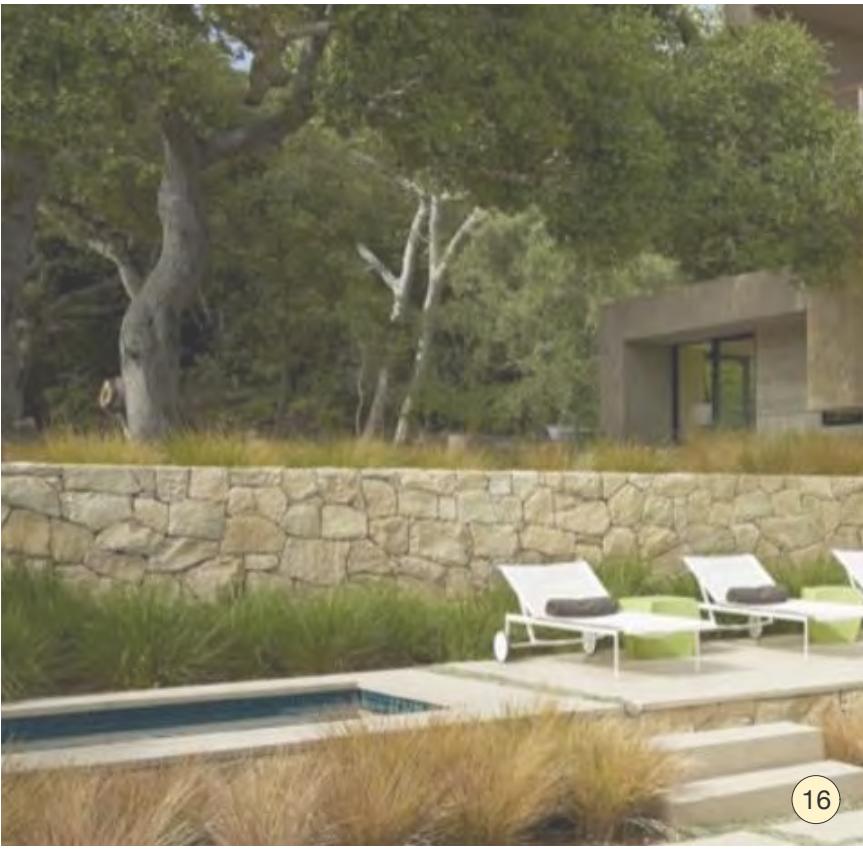
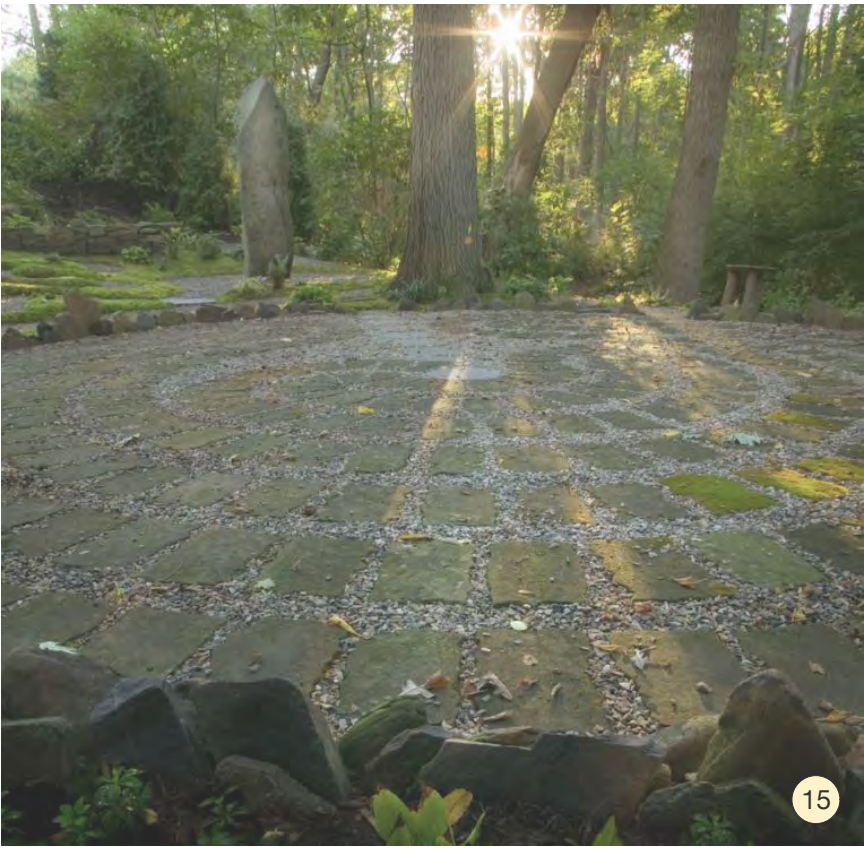
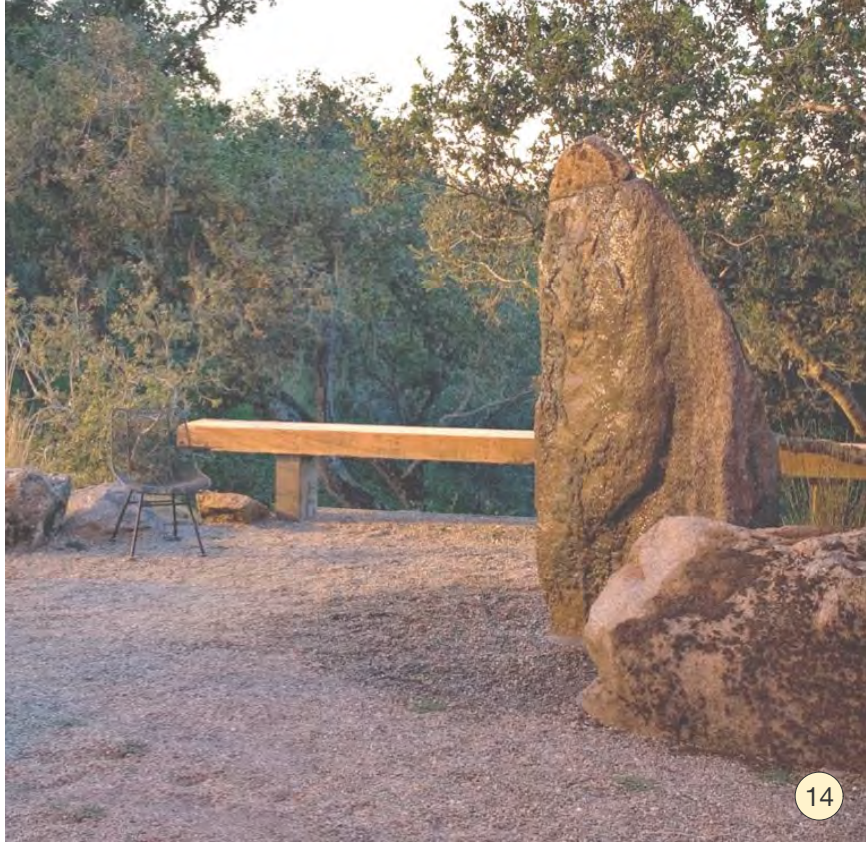
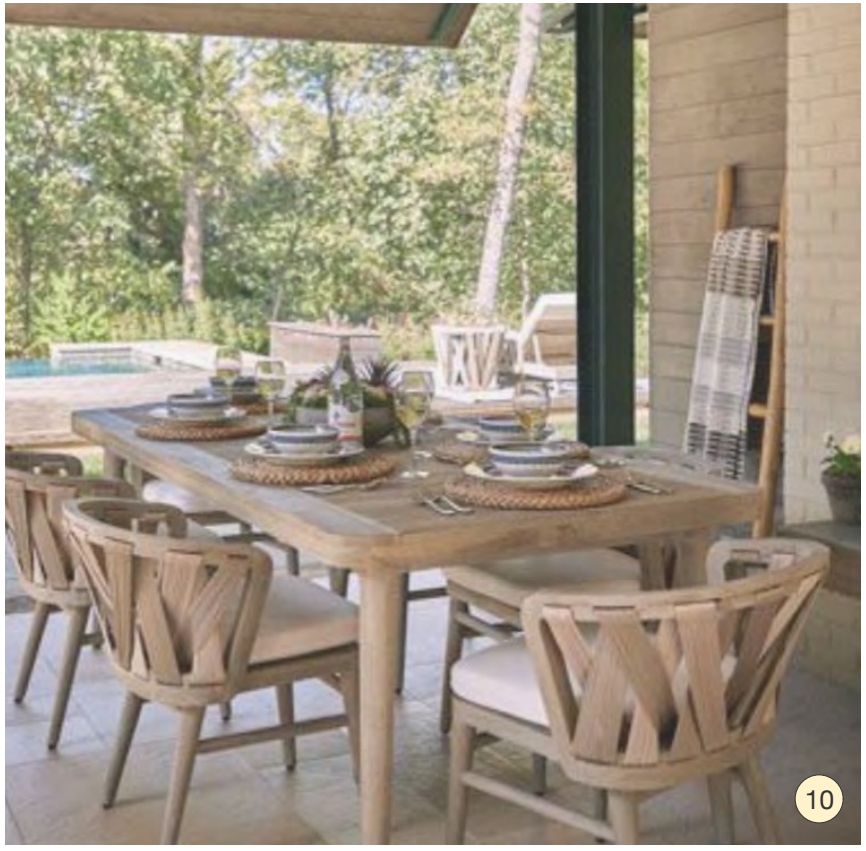
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- ALL ITEMS BELOW CORRESPOND TO NUMBERED ITEMS ON L1.0 SITE PLAN

- 2
- FOR PHOTO REFERENCES, REFER TO THIS SHEET

DESIGNER/CONTRACTOR LEGEND

LA	Landscape Architect	Bliss Landscape Architecture	SE	Structural Engineer
ARCH	Architect	Tom Meaney Architect	GC	General Contractor
CE	Civil Engineer	C3 Engineering	LC	Landscape Contractor

LANDSCAPE ITEM	MATERIALS	DESIGNER RESPONSIBLE
2 DRIVEWAY	3/8" Yuma Trinity Chip Seal Paving Paving: Sonoma Buff Cobblestone	LA
3 GUEST PARKING	3/8" Yuma Trinity Chip Seal Paving	LA
4 ENTRY GARDEN	3/8" Yuma Trinity Chip Seal Paving Paving Stone: Sonoma Buff Natural Stone	LA
5 GRAVEL PATH/ COURT	3/8" Yuma Trinity Gravel Paving	LA
6 SOUTH VIEW TERRACE	Paving: Sonoma Buff Natural Stone	LA
7 GUEST HOUSE POOL TERRACE	Paving: Sonoma Buff Natural Stone	LA
8 POOL	Coping: Sonoma Buff Natural Stone Plaster: Wet Edge Primera Stone Midnight Waterline Tile: Ceramic tile, TBD	LA
9 POOL TERRACE	Paving: Sonoma Buff Natural Stone	LA
10 OUTDOOR DINING TERRACE	Arbor: Resawn Cedar Paving: Sonoma Buff Natural Stone	LA + ARCH
11 FIRE PIT	Natural Stone, TBD	LA
12 BENCH	Reclaimed Redwood Bench	LA
13 PRIMARY BEDROOM SPA COURT	Coping: Sonoma Buff Natural Stone Plaster: Wet Edge Primera Stone Grey Waterline Tile: Ceramic Tile, TBD	LA
14 GRAVEL GARDEN	Gravel: 3/8" Yuma Trinity Gravel Paving Boulder: Natural Stone Boulder, TBD	LA
15 LABYRINTH	Gravel: 3/8" Yuma Trinity Gravel Paving Stone: Iron Mountain	LA
16 SITE WALLS	Calabasas Ledge Stone, tight, dry joints, random shapes, with cut edges and split face	LA
17 MOWN PATH	Native Grasses	LA
18 BOULDER	Natural Stone, TBD	LA



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APN/ Lot Number
239-101-022

Phase
FINAL DESIGN

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Issue
Planning Permit Submittal

Date
13 JUL 2022

Drawn by
MT

Scale: AS SHOWN North

Drawing Title

MATERIALS +
FINISHES

L1.1



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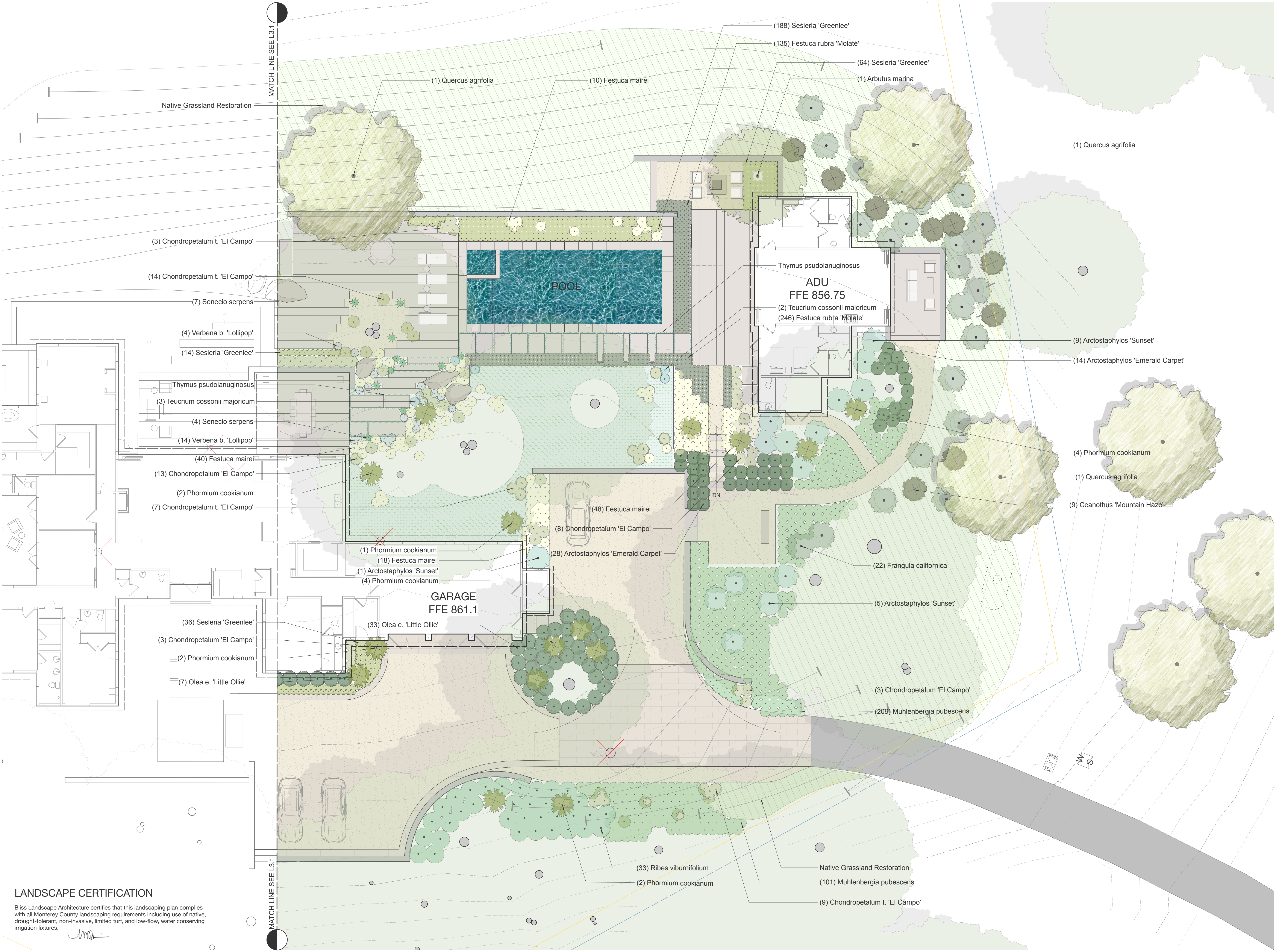
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0' 5' 10'









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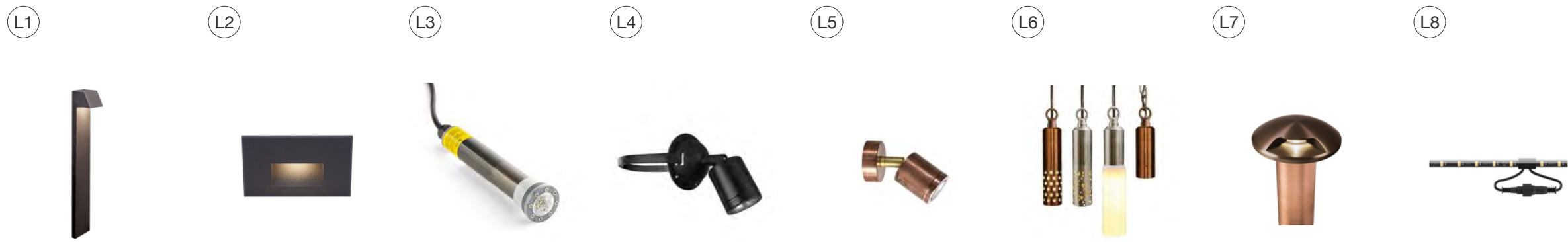
PLANTING
PLAN-NORTH

L3.1



LIGHTING LEGEND & SPECIFICATIONS

Symbol	Quantity	Description	Brand/Model	Wattage
	L1 17	PATH LIGHT	WAC QUAD PATH LIGHT	3 W LED
	L2 30	RECESSED WALL LIGHT	WAC RECESSED, RECTANGLE STEP LIGHT	2 W LED
	L3 6	POOL/ SPA LIGHT	JANDY NICHELESS LED UNDERWATER LIGHT	6 W LED
	L4 21	TREE DOWN LIGHT	HUNZA TREE MOUNT LIGHT	2 W LED
	L5 4	DOWN LIGHT	HUNZA EURO SPOT	2 W LED
	L6 3	HANGING LIGHT	AURORALIGHT HANGING LIGHT	2 W LED
	L7 13	IN GROUND LIGHT	AURORALIGHT LDM250 SONOMA LIGHT	3 W LED
	L8 37 LF	LED STRIP LIGHT	WAC INVISILED OUTDOOR PRO LIGHT	3.5 W LED



EXTERIOR LIGHTING NOTES

1. The lighting plan is diagrammatic and intended to show general fixture location and type. Exact location of fixtures and transformers shall be verified on site with landscape architect.
2. Contractor shall coordinate with general contractor and electrical contractor for installation of conduit, sleeving, switching locations and junction boxes during other phases of work.
3. All fixtures to be installed per manufacturer's specifications.
4. All "flush" fixtures to be installed level with top of paving material, gravel or plant bed mulch, unless otherwise noted.
5. All exterior fixtures shall be LED modules with maximum wattage of 3.5.



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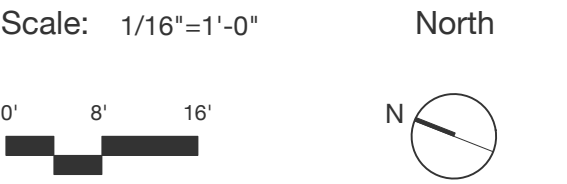
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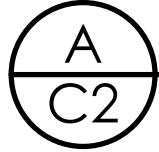
Drawn by
MT



Drawing Title
LANDSCAPE
LIGHTING PLAN

L5.0

Drawing file: Z:\Projects\121174 Meaney-9 Mesa Trail\dwg\121174 Grading Plan.dwg
Plotted: Oct 25, 2022 - 1:00pm



GRADING PLAN A

SCALE: 1"=10'

SCALE: 1"=10'

Civil Engineering Land Development Stormwater Control

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GRADING PLAN A

BLISS RESIDENCE
SANTA LUCIA PRESERVE LOT D12
9 MESA TRAIL
CARMEL, CA

SCALE: AS NOTED

DATE: 10/24/2025

DESIGN BY: JPI

DRAWN BY: JPI

CHECKED BY: _____

SHEET NUMBER:

20

(2)

CZ

Q5. 1. QUESTIONS

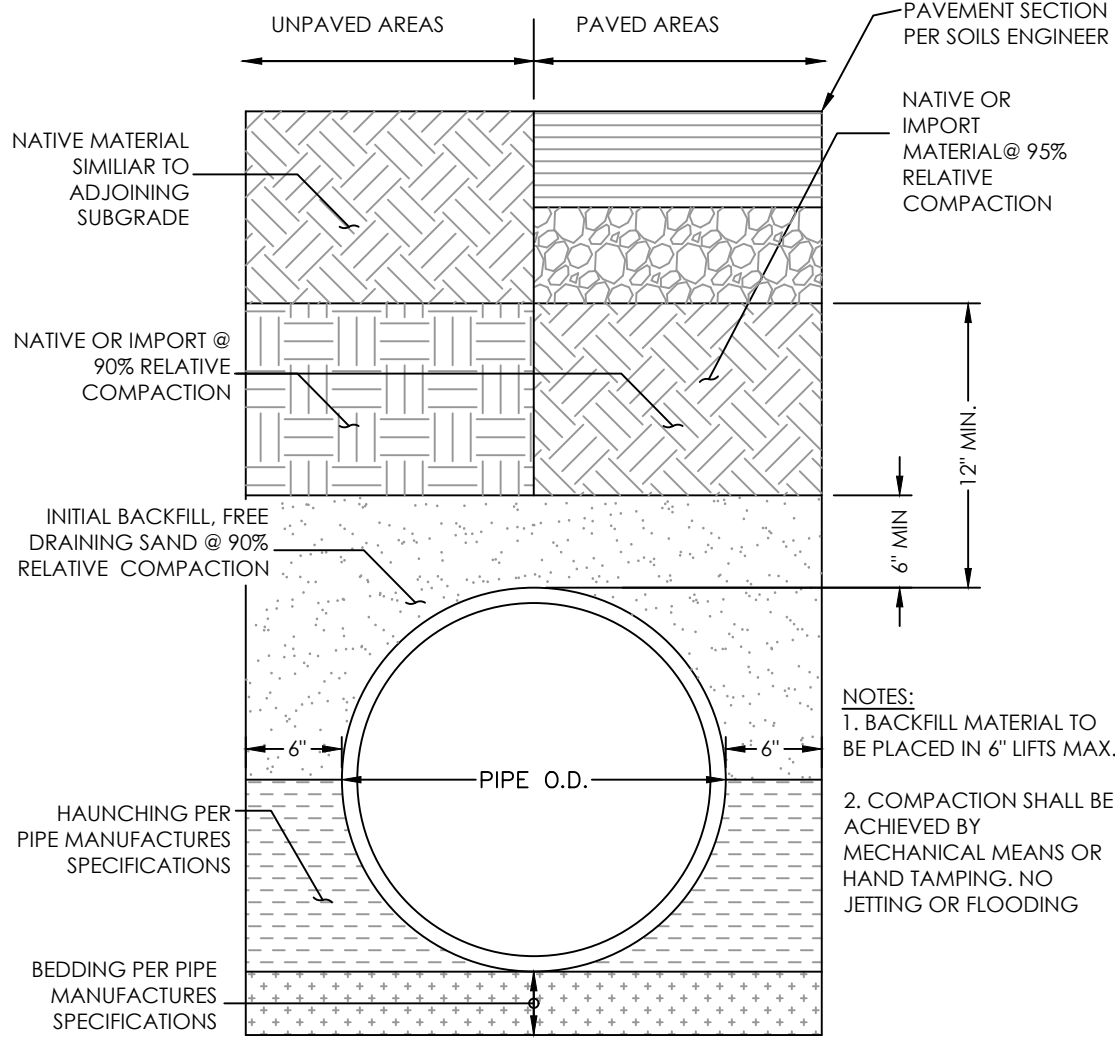
OF 4 SHEETS	
PROJECT#	10114

PROJECT#	12115
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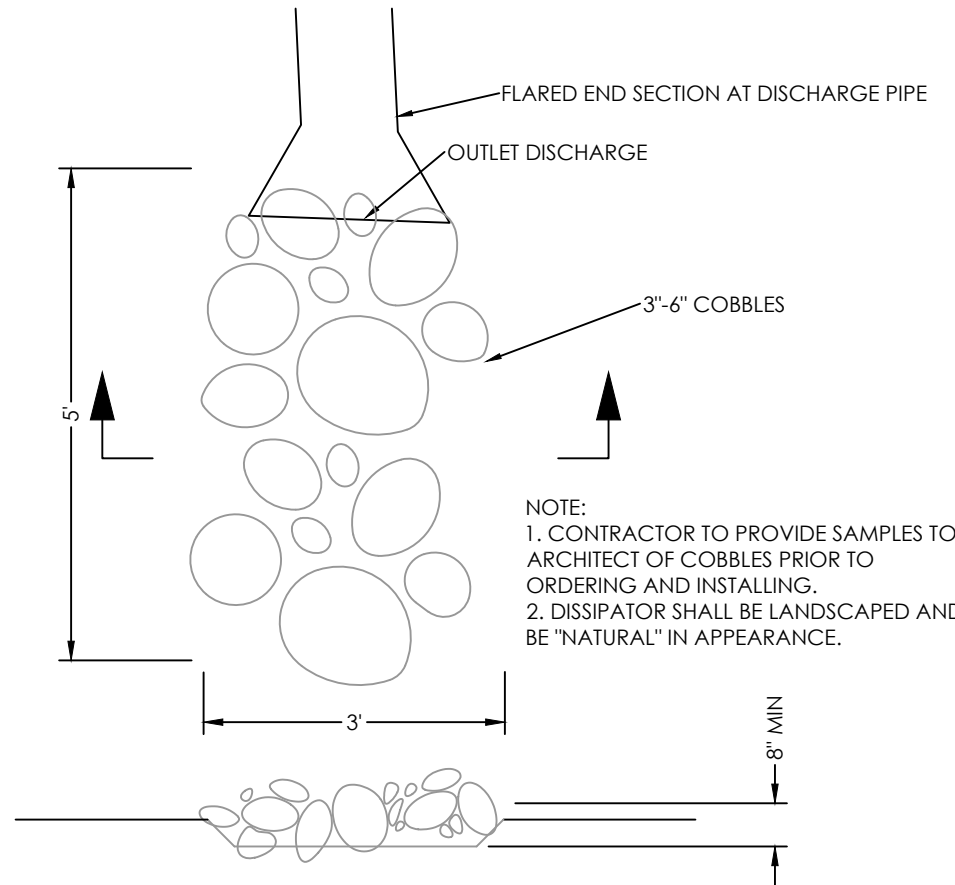
12116-

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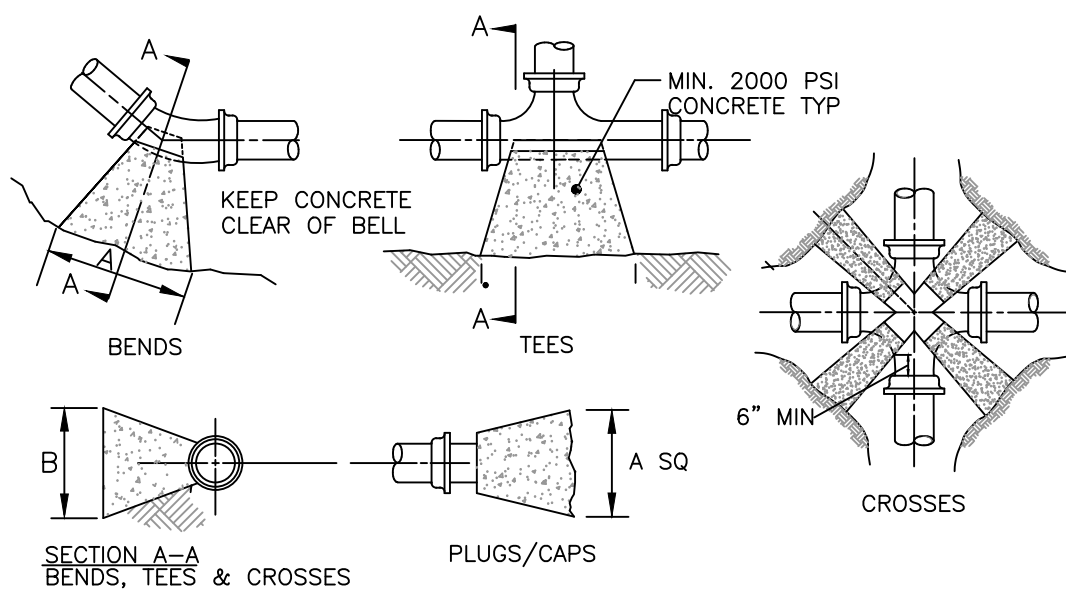
Drawing file: Z:\Projects\121174_Meaney-9 Mesa Trail\dwg\121174_Grading Plan.dwg
Plotted: Oct 25, 2022 1:01pm



B
C3
TRENCH BACKFILL
NTS



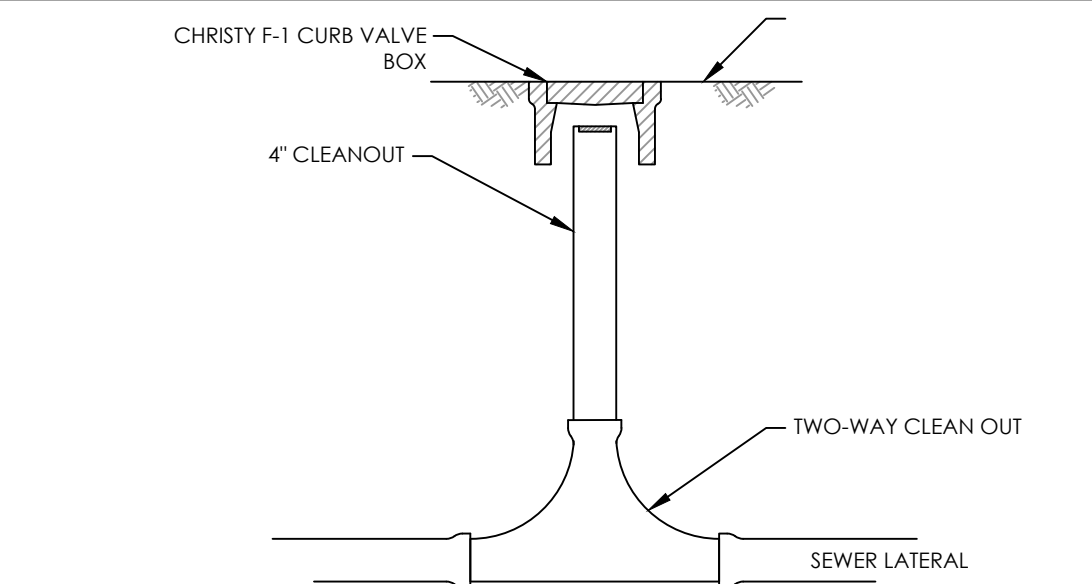
E
C3
ENERGY DISSIPATOR
NTS



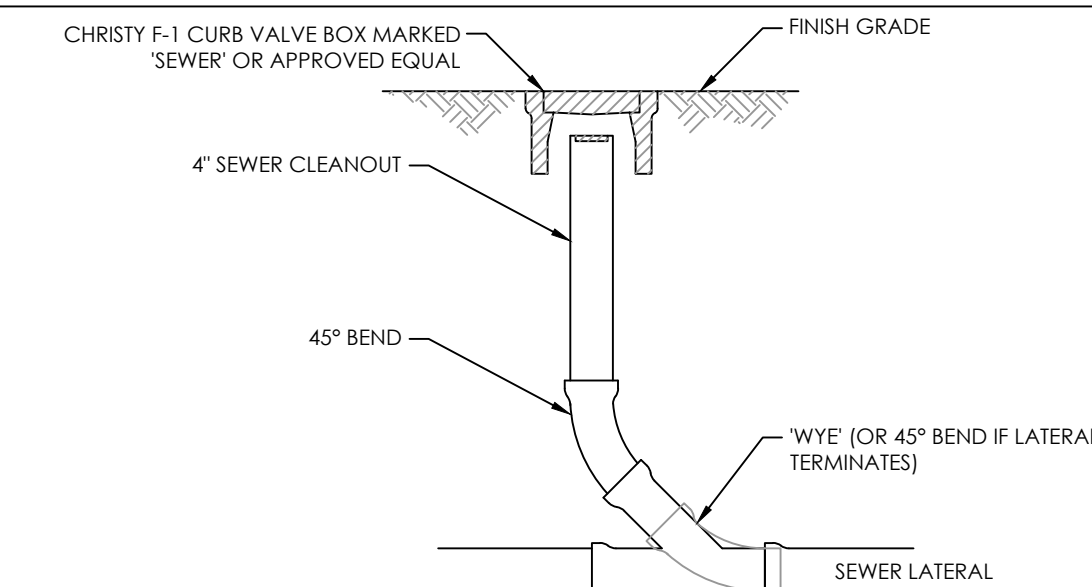
SIZE	90° BENDS		45° BENDS		22.5° BENDS		TEES and CROSSES	
	SIZE "A"	SIZE "B"	SIZE "A"	SIZE "B"	SIZE "A"	SIZE "B"	SIZE "A"	SIZE "B"
4"	1.8	22"	12"	1.0	12"	0.5	10"	7"
6"	4.0	36"	16"	2.2	20"	1.1	16"	10"
8"	7.1	42"	24"	3.8	23"	2.0	21"	14"
10"	11.1	53"	30"	6.1	30"	3.1	22"	20"
12"	16.0	58"	40"	8.7	36"	4.4	32"	20"
14"	21.6	74"	42"	11.9	43"	6.0	36"	24"
16"	28.4	85"	48"	15.5	53"	7.8	37"	30"

- NOTES:
1. BASED ON 150 PSI STATIC PRESSURE PLUS 100 PSI WATER HAMMER AND 2500 PSF SOIL BEARING
 2. FOR UNSTABLE SOIL CONDITIONS CHECK WITH ENGINEER FOR THRUST BLOCK DIMENSIONS FOR MAIN
 3. SIZES GREATER THAN 16" SEE ENGINEER FOR THRUST BLOCK DIMENSIONS

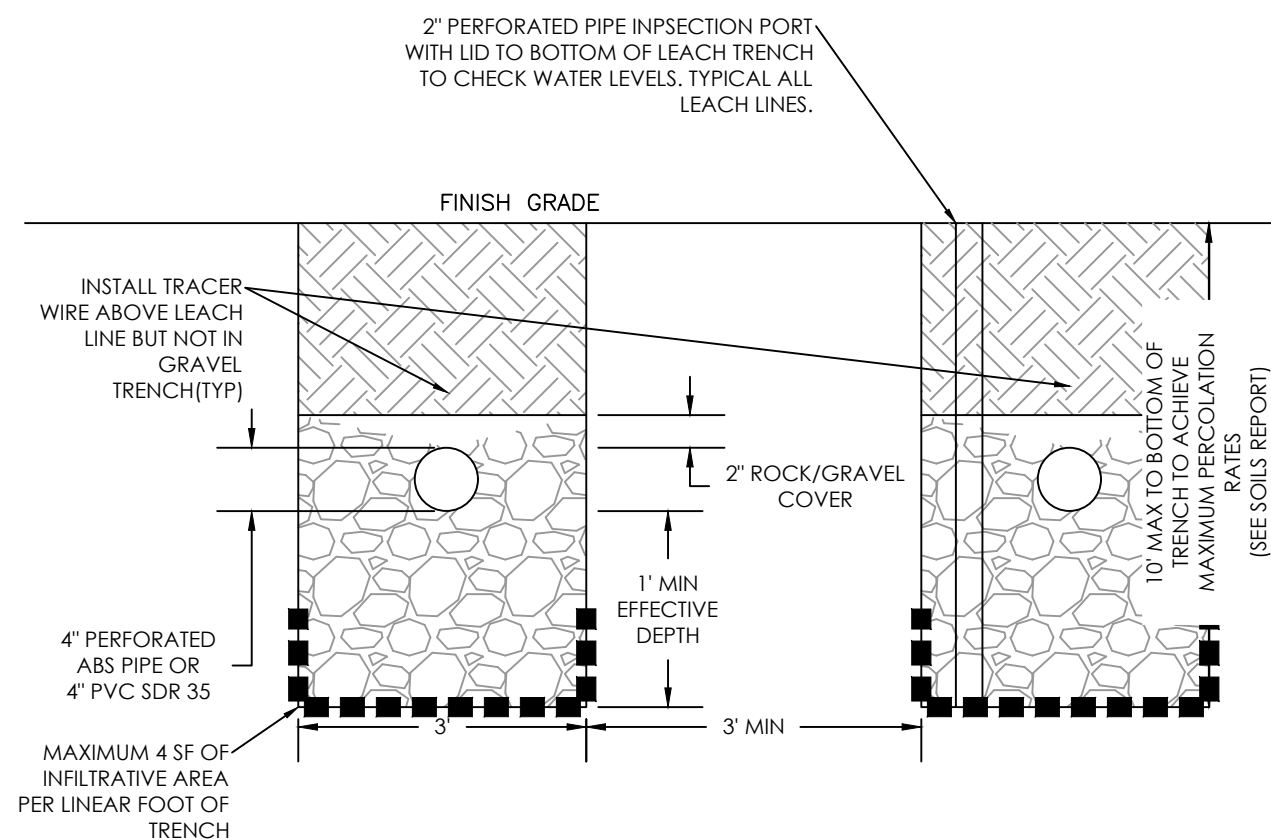
G
C3
THRUST BLOCK DETAIL
NTS



C
C3
2-WAY SANITARY SEWER CLEANOUT
NTS

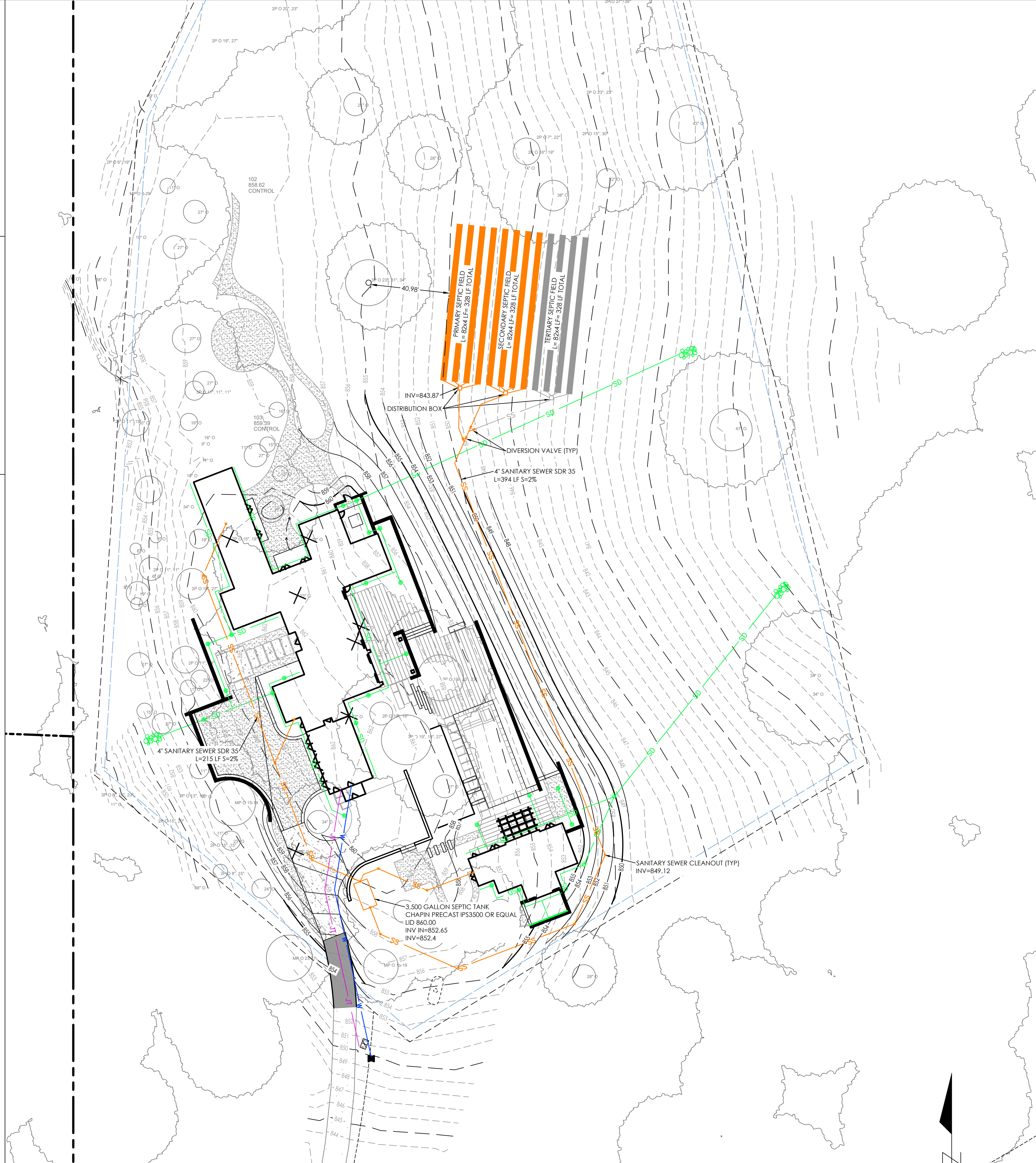


D
C3
IN-LINE CLEANOUT
NTS



- NOTES:
1. PIPES SHALL BE 4" ABS OR APPROVED EQUAL. DIVERSION VALVES AND DISTRIBUTION BOXES SHALL BE INSTALLED ACCORDING TO MONTEREY COUNTY CODE 15.20
 2. VOLUME REQUIRED FOR 8+ BEDROOMS=750 GALLONS + 300 GALLONS (ADU) = 1,050 GALLONS
 3. PERCOLATION RESULTS FROM AUGUST 31, 2022 PERCOLATION TESTING REPORT BY SOIL SURVEYS GROUP RESULTED IN PERCOLATION RATE OF 8.93 MIN/INCH AT 9.91' DEPTH.
 4. MAXIMUM SOIL APPLICATION RATE FOR ABOVE PERCOLATION RATE = 0.8 GALLONS/DAY/SF
 3. MINIMUM INFILTRATIVE AREA=1,050 GALLONS/0.8 GALLONS/DAY/SF=1312.5 SF
 4. MINIMUM LEACH TRENCH LENGTH=1312.5 SF/4 SF/LF=328.125 LF

F
C3
SEPTIC LEACH TRENCH DETAIL
NTS



MONTEREY COUNTY RESOURCE MANAGEMENT AGENCY - PLANNING DEPARTMENT CONDITION COMPLIANCE PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

COMPLIANCE OR MONITORING ACTION TO BE PERFORMED:

STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

A
C3
UTILITY PLAN
SCALE: 1"=30'

C3 ENGINEERING
INCORPORATED
Civil Engineering Land Development Stormwater Control

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UTILITY PLAN

BLISS RESIDENCE
SANTA LUCIA PRESERVE LOT D12
9 MESA TRAIL
CARMEL, CA

SCALE: AS NOTED

DATE: 10/24/2022

DESIGN BY: JPR

DRAWN BY: JPR

CHECKED BY:

SHEET NUMBER:

C3

OF 4 SHEETS

PROJECT# 121164

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