

# Exhibit B

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EXHIBIT B

**Addendum Pursuant to the California Environmental Quality Act  
ARTICLE 11 Section 15164**

**ROSENBERG STEVEN DANIEL & IBANESCU BRENDA MARLEN  
Planning File No. PLN220130**

1. Introduction

In compliance with Article 11 Section 15164 of the California Environmental Quality Act Guidelines, this addendum has been prepared to address minor changes to the Santa Lucia Preserve Final Environmental Impact Report, certified February 6, 1996, by Board of Supervisors Resolution No. 96-059. A Combined Development Permit (PC94067), Resolution 96-060, implemented the EIR and Forest Management Plan, prepared by Ralph Osterling Consultants, Inc. (incorporated in the Santa Lucia Preserve Resource Management Plan). The Combined Development Permit consisted of a Vesting Tentative Subdivision Map, Major Use Permits for Tree Removal, and Development on Slopes in excess of 30%, among other components. The environmental impacts were addressed within the Santa Lucia Final Environmental Impact Report, EIR #94-005, Resolution 96-059. The approved Combined Development Permit included a Use Permit to allow removal of 1,480 trees (451 trees for home sites and 1,029 trees for road and driveway construction).

An application for development of one of the homesites (Phase C Lot 199) has been submitted (file No. PLN220130). The application includes development of a single family dwelling an accessory dwelling unit, and structures accessory to the residential use. Five oak trees would be removed for development of the lot. The EIR and the Combined Development Permit for the subdivision assumed no trees would be removed for development of this lot.

2. Scope and Purpose of this Addendum

This addendum has been prepared to reflect minor changes to the number of trees required for removal or development of Lot 199 in Phase C of the Santa Lucia Preserve subdivision. These minor changes do not involve any of the conditions described in Section 15162 calling for preparation of a subsequent EIR or negative declaration.

This addendum describes that minor changes are being made to the original 1996 Santa Lucia Preserve Final Environmental Impact Report. The proposed project, PLN220130, is a Combined Development Permit to allow the construction of a 4,678 square foot single family dwelling, 999 square foot detached garage, 544 square foot detached office 1,044 square foot accessory dwelling unit (ADU) and associated site improvements including a pool, fire pit, covered porches, landscaping and the removal of 5 Oak trees, one of which is a landmark tree.

The potential impacts from tree removal in this subdivision was addressed by a Forest Management Plan for the Rancho San Carlos Subdivision of the Santa Lucia Preserve prepared by Ralph Osterling Consultants Inc. on February 18, 1994. More recently an “Arborist Report” related to tree removal and tree protection was prepared by Chris Stewart on February 21st, 2022. This report concluded that due to the high number of total trees on this site coupled with the relatively low number of protected trees in the proposed home and driveway areas, 5 is the minimum number of protected oaks that can be removed to support the construction project, and the removal would not have any adverse impacts on other nearby trees or the property’s landscape. The report also established other protected trees that may be impacted by construction, these trees will be protected throughout the course of construction.

As part of the original 1996 Santa Lucia Preserve Final Environmental Impact Report, the removal of 1,480 trees was contemplated for the subdivision Phases A-C. The Rosenberg & Ibanescu project is part of the Santa Lucia Preserve Phase C. To date, including this project’s proposed trees to be removed, 658 trees have been approved for removal throughout properties in Phases A-C. The 5 trees proposed within the homeland boundary for removal on Lot 199 would represent approximately 0.4% of the total trees approved for removal within the homeland boundaries. The cumulative total with this project results in approximately 47% of the overall subdivision trees authorized for removal in the original permit. Less than 50% of the lots in Phases A-C have been built out, the Santa Lucia Preserve Subdivision (Phase A-C/Rancho San Carlos) is still well under the tree removal approved and analyzed by the EIR.

Tree replacement will take place pursuant to Condition No. 7, which establishes the Santa Lucia Preserve’s replacement ratio of 3:1 per non-landmark tree, and 5:1 per each landmark tree. A total of 17 trees will be replanted in accordance with the Osterling Reforestation Plan prepared for the Rancho San Carlos subdivision on February 18<sup>th</sup>, 1994. This amount has been recommended by the arborist as well; he recommended the 3:1 and 5:1 ratio to help compensate for possible failure of some new trees to achieve the required 90% success rate.

Changes in the project: There are no substantial changes to the final EIR for the Santa Lucia Preserve required. The only change is to document 5 trees proposed for removal. The FEIR did not allot any trees for removal on lot 199, it did anticipate trees would be removed within the entire subdivision to allow development. The total number of trees approved for removal throughout Phases A-C is 1,480, the proposed tree removal falls within this amount. At this time, 647 trees have been removed, the subdivision is well under its maximum allowed 1,480 trees to be removed. After the five trees proposed for removal are removed, they will be added to the total number of trees removed within Phases A-C. This is the only proposed change; it is an update in the number of trees that have been removed under the approved 1,480 trees.

Changes in circumstances: There are no major changes in circumstances from when the FEIR was adopted to present day. Lot 199 has remained undeveloped since the adoption of the FEIR and there have been no major environmental impacts or changes to the site. The subdivision anticipated residential development on each lot and created homeland boundaries

for the development to take place. The proposed project is completely within the homeland boundary. There are no unusual circumstances regarding this project, no variances have been requested and there are no mitigation measures applied that were not included in the FEIR.

Changed information: No new information of substantial importance has been discovered, or presented to the County, that was not available at the time the FEIR was prepared in 1995. The applicant provided a geotechnical report, a soils report, and an arborist report with their application. These reports provided specific information regarding the lot's tree health, soil stability and percolation rates for the proposed septic system. This information is supplemental to the findings of the FEIR. The information within these reports did not indicate the proposed project would have any adverse impacts to the resources analyzed in 1995, and no new resources of interest were mentioned.

### 3. Conclusion:

The purpose of this addendum is to explain the minor changes that are being made to the original 1996 Santa Lucia Preserve Final Environmental Impact Report and provide details of the site-specific conditions for the proposed residential development. Staff has reviewed the Rancho San Carlos Subdivision Environmental Impact Report, EIR#94-005, Resolution 96-059, and the proposed residential development for consistency with the environmental considerations contained within. The site-specific conditions and the scope of work proposed on the site, including the proposed tree removal, are not substantial changes and therefore do not warrant the preparation of a subsequent environmental document.

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