

**Before the Housing and Community Development Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

GEORGE DAVID A & CAROL C TRS (PLN220186)

RESOLUTION NO. 23-004

Resolution by the Monterey County HCD Chief of Planning:

- 1) Finding that the construction of an addition and minor alterations to an existing single family residence qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301 and there are no exceptions pursuant to Section 15300.2;
- 2) Approving a Coastal Administrative Permit and Design Approval to allow construction of a 134 square foot second story loft addition; and
- 3) Approving a Coastal Administrative Permit to allow conversion of a 360 square foot existing guest quarters into a junior accessory dwelling unit.

[PLN220186, George David A & Carol C Trs, 199 Van Ess Way, Carmel Land Use Plan Coastal Zone (Assessor's Parcel Number: 241-311-032-000)]

The GEORGE DAVID A & CAROL C TRS application (PLN220186) came on for an administrative decision hearing before the Monterey County HCD Chief of Planning on February 1, 2023. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Monterey County HCD Chief of Planning finds and decides as follows:

FINDINGS

- 1. FINDING: CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
- EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the 1982 Monterey County General Plan;
 - Carmel Area Land Use Plan (Carmel LUP);
 - Monterey County Coastal Implementation Plan, Part 4 (CIP); and
 - Monterey County Zoning Ordinance - Coastal (Title 20).
- No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 199 Van Ess Way, Carmel, Carmel Area Land Use Plan, (Assessor's Parcel Number: 241-311-032-000). The parcel is zoned Low Density Residential, 1 unit per acre with a Design Control zoning overlay within Coastal Zone or "LDR/1-D(CZ)", which allows the first single family dwelling per legal lot of record and an Accessory Dwelling Unit meeting the development standards pursuant to Title 20 Section 20.64.030. The proposed project involves the construction of a 134 square foot second story loft addition to the main residence and conversion of a 360 square foot existing guest quarters into a junior accessory dwelling unit. Therefore, the project is an allowed land use for this site.
- c) Lot Legality. The property is shown, in its current size and configuration, as a portion of Carmel Highlands No. 2 according to Map filed March 18, 1920 in Volume 1 of Surveys, at Page 101, in the Office of the Monterey County Recorder. Therefore, the County recognizes the property as a legal lot of record.
- d) Design/Neighborhood and Community Character. Pursuant to Title 20, Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The primary exterior colors and materials proposed for the project include the following to match the existing home: wooden siding painted tan, brown trim, dark brown roofing, and a stone veneer chimney. External modification to the existing single family dwelling would be made to match existing colors. Proposed improvements include a new stainless-steel rail with black powder coating with a wooden top rail. Homes in the surrounding neighborhood consist of an eclectic architecture, ranging from modern to California-ranch and Spanish styles homes. Additionally, the project will be shielded from public view by existing trees and other landscaping. As proposed, the project assures protection of the public viewshed and remains comparable to the bulk and mass of other dwellings in the surrounding neighborhood.
- e) Development Standards. The development standards for the LDR zoning district are identified in Title 20 Section 20.14.060. Required setbacks for main dwelling units are 30 feet (front), 20 feet (rear), and 20 feet (sides). The maximum allowed height is 30 feet. As proposed, the single family dwelling will not result in any changes to existing setbacks and no increase in height. The proposed renovation would have a maximum high of 27 feet from the natural grade. The maximum allowed site coverage within the LDR zoning district is 15%. The existing single family dwelling has a site coverage of 14%, the proposed remodel would not increase existing site coverage. Therefore, as proposed and conditioned, the project conforms with the applicable development standards of the zoning district.
- f) Cultural Resources. The project site is in an area identified in County records as having a high archaeological sensitivity, and the area of proposed development has been disturbed by previous structural and hardscape development, as well as extensive landscaping. However, the

project does not include any groundbreaking activities. The project proposes minor alterations to the existing single family dwelling, therefore, a Coastal Administrative Permit is not required for development within 750 feet of known archaeological resources. Regardless, the County's standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction would be applied to the project.

- g) Land Use Advisory Committee (LUAC) Review. The project was not referred to the Carmel Unincorporated/Highlands LUAC as it does not meet the criteria for referral outlined in Board of Supervisors Resolution No. 15-103.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220186.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, Carmel Highlands Fire Protection District (FPD), and California Coastal Commission. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff conducted a site inspection on January 24, 2023, to verify that the site is suitable for this use.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220186.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, Carmel Highlands FPD, and California Coastal Commission. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are available. The existing single family dwelling has public water connection provided by the California American Water Company (Cal Am) as managed by the Monterey

Peninsula Water Management District and will continue to use these same connections. In January 2022, a performance evaluation was conducted on the existing single family dwellings septic system. On November 17, 2022, the Environmental Health Bureau found the system to be sufficient enough to serve the project as proposed.

- c) Staff conducted a site inspection on January 24, 2023, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220186.

4. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on January 24, 2023, and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220186.

5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301 categorically exempts the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use.
 - b) The proposed project involves the construction of the following improvements to an existing three-story single family residence: 1) Upper Loft: a 134 square foot office/den addition, new dormer, and new bathroom; 2) Main Floor: replace existing wood burning fireplaces with gas inserts and replace existing railing on the exterior deck; 3) Lower Floor: convert existing guest quarters into a 360 square foot junior accessory dwelling unit. Therefore, the proposed development qualifies as a Class 1 categorical exemption pursuant to Section 15301 of the CEQA Guidelines.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact. Additionally, there is no substantial evidence of an unusual circumstance because there is no feature or condition of the project that distinguishes the project from the exempt class.
 - d) No adverse environmental effects were identified during staff review of

the development application during a site visit on January 24, 2023.

- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220186.

6. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.146.130 of the Monterey County Coastal Implementation Plan – Part 4 can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 3, Public Access, in the Carmel Area Land Use Plan).
 - d) The subject property is not identified as an area where the Local Coastal Program may require visual public access (Figure 3 and Map A of the Carmel Area Land Use Plan). See Evidence e below.
 - e) Based on the project location, and its topographical relationship to visual public access points in the area, the development proposal is not visible from any major public viewing area including 17-Mile Drive, Scenic Road, Highway 1 or Point Lobos. As proposed, the project would not result in any adverse visual impacts and is consistent with the applicable visual resource and public access policies of the Carmel Area Land Use Plan.
 - f) The project planner completed a site inspection on January 24, 2023, to verify that the proposed project would not impact public access.
 - g) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220186.
7. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.
- EVIDENCE:** Board of Supervisors. Pursuant to Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find that the construction of an addition and minor alterations to an existing single family residence qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301 and there are no exceptions pursuant to Section 15300.2;
2. Approve a Coastal Administrative Permit and Design Approval to allow construction of a 134 square foot second story loft addition; and
3. Approve a Coastal Administrative Permit to allow conversion of a 360 square foot existing guest quarters into a junior accessory dwelling unit.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 1st day of February 2023.

DocuSigned by:

188D867A496B450

Craig Spencer, HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE February 02, 2023.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE February 13, 2023.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220186

1. PD001 - SPECIFIC USES ONLY

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The Coastal Administrative Permits and Design Approval (PLN220186) allows construction of a 134 square foot second story loft addition and conversion of a 360 square foot existing guest quarters into a junior accessory dwelling unit.. The property is located at 199 Van Ness Way, Carmel (Assessor's Parcel Number 241-311-032-000), Carmel Area Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"Coastal Administrative Permits and Design Approval (Resolution Number 23-004) was approved by HCD Chief of Planning for Assessor's Parcel Number 241-311-032-000 on February 1, 2023. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD041 - HEIGHT VERIFICATION

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

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TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE DESIGNER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE INSTRUCTIONS.

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR RE-CREATION BY ANY MEANS, IN WHOLE OR IN PART, IS PROHIBITED.

DIVISION 1 – GENERAL REQUIREMENTS

- 1.1 THE WORK TO BE DONE BY EACH CONTRACTOR INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, SERVICES, AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION AND COMPLETION OF THIS PROJECT, INCLUDING SITEWORK. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL COMPLY WITH THE FOLLOWING:
- 1.1.1 THESE NOTES AND DRAWINGS.
- 1.1.2 ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, AND REGULATIONS LISTED IN THESE DOCUMENTS.
- 1.1.3 WORKMANSHIP SHALL MEET NORMAL PROFESSIONAL STANDARDS OF THE TRADE AND SHALL MEET THE DESIGNER'S AND OWNER'S SATISFACTION WITHIN THE STANDARDS NORMALLY PROVIDED BY VARIOUS TRADES.
- 1.1.4 INSTALLATION OF EQUIPMENT AND MATERIAL SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR APPLICABLE ASSOCIATION STANDARDS.
- 1.1.5 ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED, AND SHALL BE EQUAL TO OR SUPERIOR TO THOSE ITEMS SPECIFIED IF A SUBSTITUTION IS APPROVED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE DESIGNER'S PRIOR WRITTEN APPROVAL.
- 1.2 SITE VERIFICATION – EACH CONTRACTOR AND SUB-CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND MAKE ALL INSPECTIONS NECESSARY IN ORDER TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO MAKE THE COMPLETED WORK CONFORM TO THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, CONDITIONS, THE CONFORMATION AND CONDITION OF THE EXISTING GROUND SURFACE AND THE CHARACTER OF EQUIPMENT AND FACILITIES NEEDED PRIOR TO AND DURING PROSECUTION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL UNUSUAL CONDITIONS ENCOUNTERED ON THE SITE DURING THE COURSE OF CONSTRUCTION EXCEPT THOSE BELOW EXISTING SLABS OR GRADE OF WHICH THE CONTRACTOR MAY NOT HAVE KNOWLEDGE. ALL SUCH EXISTING CONDITIONS SHALL BE INCORPORATED INTO THE CONTRACTOR'S BID PROPOSAL, WHETHER SHOWN ON THE DRAWINGS OR NOT. ANY INACCURACIES OR DISCREPANCIES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE DRAWINGS AND SPECIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF THE OWNER AND DESIGNER IN ORDER TO CLARIFY THE EXACT NATURE OF THE WORK PERFORMED.
- 1.3 CONSTRUCTION DOCUMENTS
- 1.3.1 THESE DRAWINGS ARE INTENDED AS A GUIDE ONLY FOR CONSTRUCTION. DEVIATIONS FROM THE DRAWINGS MUST BE APPROVED BY THE DESIGNER.
- 1.3.2 THE CONTRACTOR IS FULLY RESPONSIBLE FOR OBSERVATION OF CONSTRUCTION AND PROPER EXECUTION OF WORK SHOWN ON THE DRAWINGS, AS WELL AS FOR PERFORMANCE OF WORK ON THIS PROJECT. THE DESIGNER IS NOT RESPONSIBLE FOR METHODS USED, SAFETY ON, IN, OR ABOUT THE JOB SITE, OR FOR TIMELINESS OF PERFORMANCE OF CONSTRUCTION WORK.
- 1.3.3 THE CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY OF ALL MATERIAL TAKE-OFFS FROM THESE DOCUMENTS. HE MUST VERIFY DIMENSIONS OF ALL EXISTING OR BUILT-IN ITEMS.
- 1.3.4 THE DESIGNER IS NOT RESPONSIBLE FOR ANY DEVIATION FROM OR INTERPRETATION OF CONSTRUCTION DOCUMENTS MADE BY THE CONTRACTOR WITHOUT OBTAINING WRITTEN DIRECTION FROM THE DESIGNER FIRST.
- 1.3.5 THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNTIL THEY ARE REVIEWED BY A QUALIFIED PLAN CHECK EXAMINER AND STAMPED "APPROVED" BY THE BUILDING DEPARTMENT AND A BUILDING PERMIT IS ISSUED.
- 1.4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING LINES AND LEVELS. THE CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR LOCATION AND CONSTRUCTION OF THE WORK AND SHALL CALL THE DESIGNER'S ATTENTION TO ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK
- 1.5 ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER TRADES.
- 1.6 NEW AND REPAIR WORK IN THIS PROJECT WHICH ENCOMPASSES SIMILAR ITEMS IN EXISTING WORK SUCH AS STUCCO, DRYWALL, EAVES AND FASCIA, TRIM, GUTTERS AND DOWNSPOUTS, ELECTRICAL SWITCHING AND RECEPTACLE PLATES, AND OTHER ITEMS, SHALL MATCH EXISTING MATERIAL, INSTALLATION, FINISH, AND COLOR UNLESS OTHERWISE NOTED.
- 1.7 ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK. AT THE COMPLETION OF THE WORK THEY SHALL REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING, AND SURPLUS MATERIAL AND LEAVE THE JOB IN A BROOM CLEAN CONDITION. CONTRACTOR SHALL PERFORM FINAL CLEAN UP.
- 1.8 THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE APPROVAL OF THE OWNER AND WITH MINIMUM DISRUPTION. THE OWNER SHALL BE CONSULTED BEFORE ANY BUILDING SERVICES ARE TEMPORARILY CUT OFF. TEMPORARILY RE-ROUTE ANY UTILITIES REQUIRED BY THE OWNER FOR CONTINUOUS SERVICE.
- 1.9 THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO ADEQUATELY PROTECT PERSONS, EXISTING CONSTRUCTION, AND ADJACENT PROPERTY, AND TO ENSURE THE SAFETY OF THE STRUCTURE THROUGHOUT THE CONSTRUCTION PERIOD, INCLUDING ANY SHORING DESIGN DRAWINGS WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL PROVIDE, AT HIS OWN EXPENSE, ERECTION BRACING AND DRAWINGS REQUIRED BY LAW, OSHA, OR FOR GENERAL SAFE CONSTRUCTION PRACTICES.
- 1.10 THE DESIGNER RESERVES THE RIGHT TO HAVE ANY WORK NOT DONE CORRECTLY AS PER DRAWINGS, SPECIFICATIONS, CONTRACT, OR ANY OTHER MEANS OF COMMUNICATION CORRECTED AT NO ADDITIONAL COST TO OWNER.
- 1.11 THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, PERMITS, TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT.

TREE PROTECTION NOTES

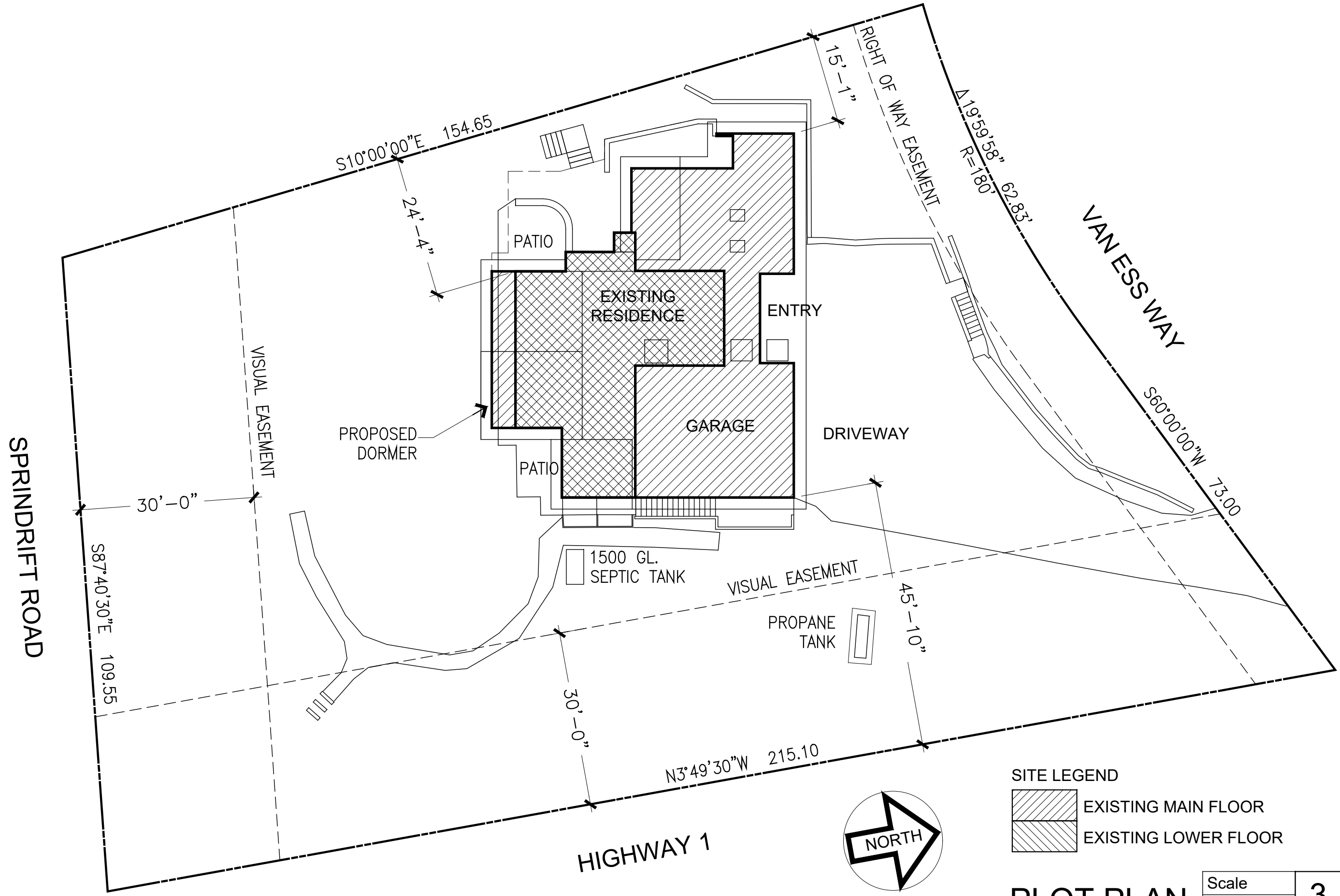
1. ESTABLISHMENT OF A TREE PRESERVATION ZONE (TPZ). CHAIN LINK OR ORANGE NETTING FENCING, WITH STAKES IN THE GROUND, NO LESS THAN 48 INCHES IN HEIGHT, SHALL BE INSTALLED AT THE DRIPLINE (THE PERIMETER OF THE FOLIAR CANOPY) OF THE TREE. THE INSTALLATION WILL BE DONE PRIOR TO ANY CONSTRUCTION ACTIVITIES ON SITE. ONCE IN PLACE, FENCING WILL NOT BE REMOVED WITHOUT THE CONSENT OF THE CONSULTING ARBORIST.
2. NO STORAGE OF CONSTRUCTION EQUIPMENT, MATERIALS, TOOLS, DEBRIS OR EXCESS SOIL WILL BE ALLOWED WITHIN THE TPZ. SOLVENTS OR LIQUIDS OF ANY TYPE SHOULD BE DISPOSED OF PROPERLY, NEVER WITHIN THIS PROTECTED AREA.
3. SOIL COMPACTION SHALL BE MINIMIZED WITHIN THE TPZ. SOIL SURFACE WITHIN THE TPZ SHALL BE MULCHED WITH A 6" LAYER OF MULCH. TREE CHIPS FROM SITE TREE REMOVAL ARE ACCEPTABLE.
4. NATURAL GRADE AROUND TPZ SHALL BE MAINTAINED. NO ADDITIONAL FILL OR EXCAVATION WILL BE PERMITTED WITHIN AREAS OF TREE ROOT DEVELOPMENT. IF TREES ROOTS ARE UNEARTHED DURING THE CONSTRUCTION PROCESS THE CONSULTING ARBORIST WILL BE NOTIFIED IMMEDIATELY. EXPOSED ROOTS WILL BE COVERED WITH MOISTENED BURLAP UNTIL A DETERMINATION IS MADE BY THE ON SITE ARBORIST.
5. ANY AREAS OF PROPOSED TRENCHING WILL BE EVALUATED WITH THE CONSULTING ARBORIST AND THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL TRENCHING IN THE TPZ ON THIS SITE WILL BE APPROVED BY THE ARBORIST. TRENCHING WITHIN A TREE'S DRIPLINE WILL BE PERFORMED BY HAND. TREE ROOTS ENCOUNTERED WILL BE AVOIDED OR PROPERLY PRUNED UNDER GUIDANCE OF THE CONSULTING ARBORIST.

DECONSTRUCTION NOTES

1. PRIOR TO COMMENCING DECONSTRUCTION OR DEMOLITION CONTRACTOR SHALL REMOVE ALL ITEMS SUITABLE FOR SALE OR SALVAGE. THESE ITEMS SHALL BE DESIGNATED DURING A COMPREHENSIVE WALK-THROUGH WITH THE PROJECT MANAGER AS OWNER'S REPRESENTATIVE.
2. CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY SUPPORT AND SHORING AS REQUIRED AT ALL AREAS WHERE EXISTING FOOTINGS, WALLS BEAMS AND HEADERS ARE DESIGNATED TO BE REMOVED. CONTRACTOR SHALL VERIFY THESE REQUIREMENTS WITH THE PROJECT ENGINEER PRIOR TO COMMENCING WORK.
3. DEMOLITION AND DECONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MONTEREY BAY UNIFIED AIR POLLUTION CONTROL DISTRICT RULE 459.
- a. SUFFICIENTLY WET THE STRUCTURE PRIOR TO DECONSTRUCTION OR DEMOLITION. CONTINUE WETTING DURING THE ACTIVE DECONSTRUCTION OR DEMOLITION AND THE DEBRIS REMOVAL PROCESS.
- b. DEMOLISH THE STRUCTURE INWARD TOWARD THE BUILDING PAD. LAY DOWN ROOF AND WALLS SO THAT THEY FALL INWARD AND NOT AWAY FROM THE BUILDING.
- c. COMMENCEMENT OF DECONSTRUCTION OR DEMOLITION ACTIVITIES SHALL BE PROHIBITED WHEN THE PEAK WIND SPEED EXCEEDS 15 MILES PER HOUR.
4. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT STRUCT. ENGINEER OF ANY CONDITION DISCOVERED DURING DEMOLITION OR DECONSTRUCTION WHICH MAY REQUIRE REVISION OF THE PROJECT DRAWINGS AND DETAILS OR WHICH MAY AFFECT PROJECT TIME LINE OR COSTS.

GEORGE RESIDENCE
199 VAN ESS WAY
CARMEL HIGHLANDS, CALIFORNIA

INTERIOR REMODEL - DORMER ADDITION



PLOT PLAN

Scale
1/16"=1'-0"

3

DEFERRED SUBMITTALS REQUIRING SEPARATE SUBMITTAL, PERMIT, REVIEW, AND APPROVAL ARE NOTED AT THE COVER SHEET FOR THE FOLLOWING ITEMS:

1. PLUMBING: WATER, WASTE, VENTING AND GAS LINE
2. ELECTRICAL PANEL LOAD CALCULATIONS

SINGLE LINE INSTALLATION DIAGRAM SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO CALLING FOR INSPECTION.

UTILITY PROVIDERS:

Electricity: PG & E
Gas: Propane Tank
Water Service: Calam
Sewer Service: Septic System

Fire Sprinkler System: NO
Trees To Be Removed: NO

Approx. Int. Remodel: 500 s.f.

PROPOSED PLANS

SHEET G-1.1	PROJECT INFORMATION
SHEET G-1.2	GENERAL NOTES
SHEET G-1.3	CGBC RESIDENTIAL MANDATORY MEASURES
SHEET G-1.4	CONSTR. BEST MANAGEMENT PRACTICE NOTES
SHEET C-1.0	TOPOGRAPHIC SURVEY
SHEET A-1.0.1	AS-BUILT MAIN FLOOR PLAN
SHEET A-1.0.2	AS-BUILT LOWER & UPPER FLOOR PLAN
SHEET A-1.1.1	PROPOSED MAIN FLOOR PLAN
SHEET A-1.1.2	PROPOSED LOWER & UPPER FLOOR PLAN
SHEET A-1.1.3	PROPOSED ROOF PLAN
SHEET A-2.1	EXTERIOR ELEVATIONS
SHEET A-3.1	BUILDING SECTIONS

SHEET E-1.1 LOWER & UPPER FLOOR ELECTRICAL PLAN

SCOPE OF WORK: Remodel-Addition to an Existing Single Family Dwelling with an Attached (2) Car Garage

Upper Loft:
1) Office/Den Addition (134 s.f.) - New dormer, 2) New Bathroom

Main Floor:
1) Replace Existing Wood Burning Fireplaces with Gas Inserts
2) Deck - Replace Existing Railing To Meet Current Building Code

Lower Floor:
1) Convert Existing Guest Quarters into a Junior-Accessory Dwelling Unit

OWNERS:
David and Carol George
2730 Oak Canyon Road
Lafayette California 94549
davegeorge7@comcast.net / cygeorge@comcast.net

SITE INFORMATION:

199 Van Ess Way
Carmel, CA. 93923
A.P.N : 241-311-032-000
Occupancy: R3, U1
Constr. Type: VB
Zoning Designation: LDR / 1-D-(CZ)
Property Area: 21,270

BUILDING DATA:

RESIDENCE	EXISTING	PROPOSED
Main Floor	1,773 s.f.	1,773 s.f.
Stairs	80 s.f.	80 s.f.
Garage - Storage	540 s.f.	540 s.f.
Upper Floor - Loft	380 s.f.	380 s.f.
Upper Floor - Loft Addition		134 s.f.
Lower Floor	675 s.f.	315 s.f.
Lower Floor - JADU		360 s.f.
Storage - Mech. Room	114 s.f.	114 s.f.
West Decks	445 s.f.	445 s.f.
East Deck / Stairs	120 s.f.	120 s.f.
Floor Area Ratio	3,448 s.f. = 16.2%	3,582 s.f. = 16.8%
Site Coverage	2,958 s.f. = 14.0%	No Change

SITE INFORMATION 1

DESIGN TEAM ASSOCIATED WITH THIS PROJECT

FORMA DESIGN STUDIO
PO Box 2094
Carmel, CA 93921
www.FormaDesignStudio.com
Phone: (831) 521-5924

STRUCTURAL ENGINEER:

GENERAL CONTRACTOR:
Thames Construction
David Caird Lic. #816559
1209 Patterson Lane
Pacific Grove, CA. 93950
Phone: (831) 224-2605

THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, PERMITS, TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT.

APPLICABLE CODES FOR THIS PROJECT:

- 2019 California Building Code (CBC)
- 2019 California Residential Code (CRC)
- 2019 California Fire Code (CFC)
- 2019 California Plumbing Code (CPC)
- 2019 California Mechanical Code (CMC)
- 2019 California Electrical Code (CEC)
- 2019 California Energy Code (CEnc)
- 2019 California Green Building Code (CGB)
- 2019 Monterey County Amendments & State Regulatory Requirements

STRUCTURAL PLANS

DATE	REVISION



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Ph. 831.521.5924
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GEORGE RESIDENCE

199 VAN ESS WAY
CARMEL HIGHLANDS, CALIFORNIA

Job Number	2022-16
Date	10-31-22
Revision	
Drawn By	FDS

Sheet Number

G-1.1

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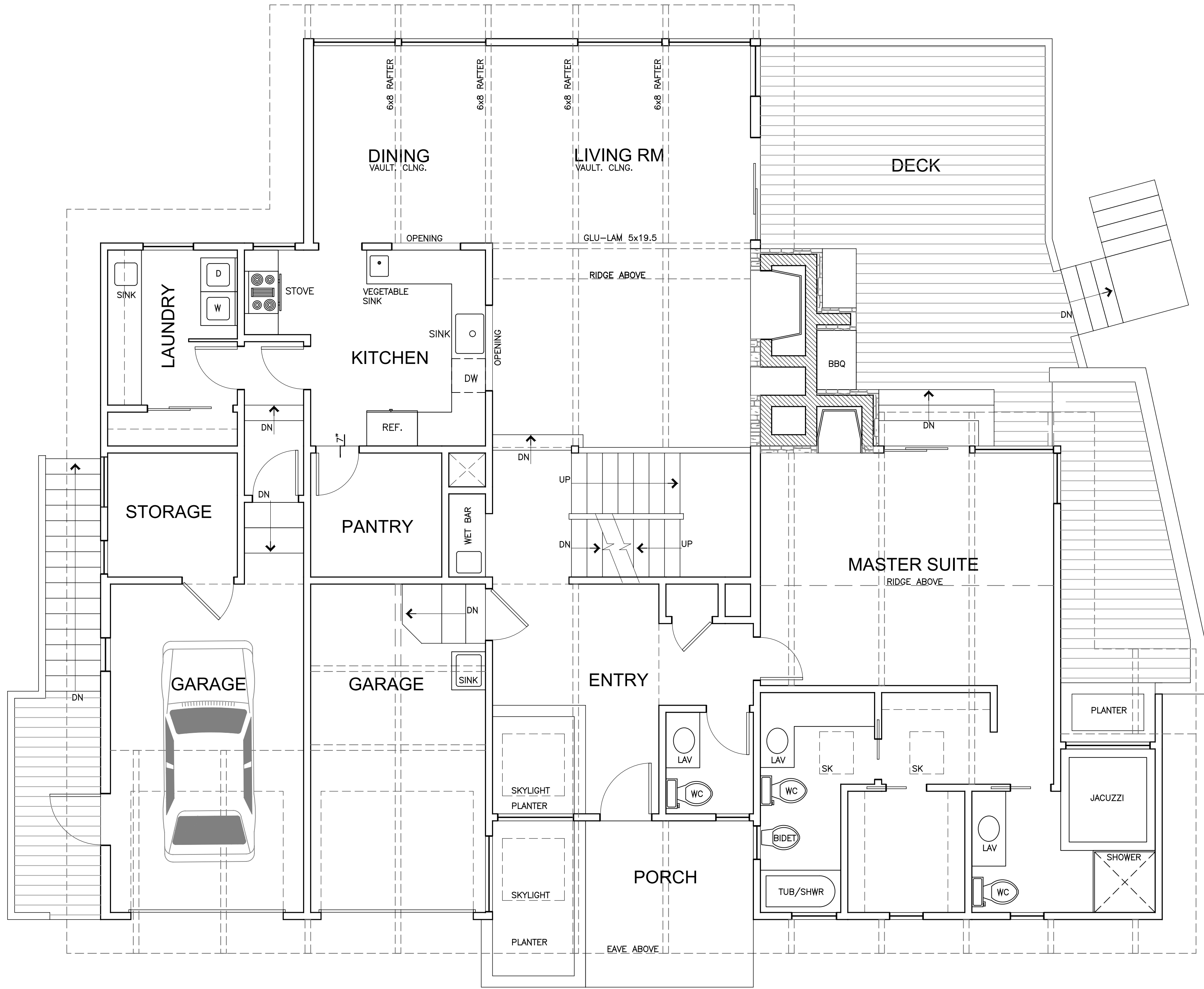
GENERAL NOTES 4

SHEET INDEX 2

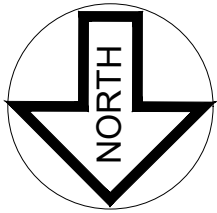
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- (E) FRAMED WALL
- (E) CONCRETE WALL



AS-BUILT MAIN FLOOR PLAN

Scale
1/4"=1'-0"

1

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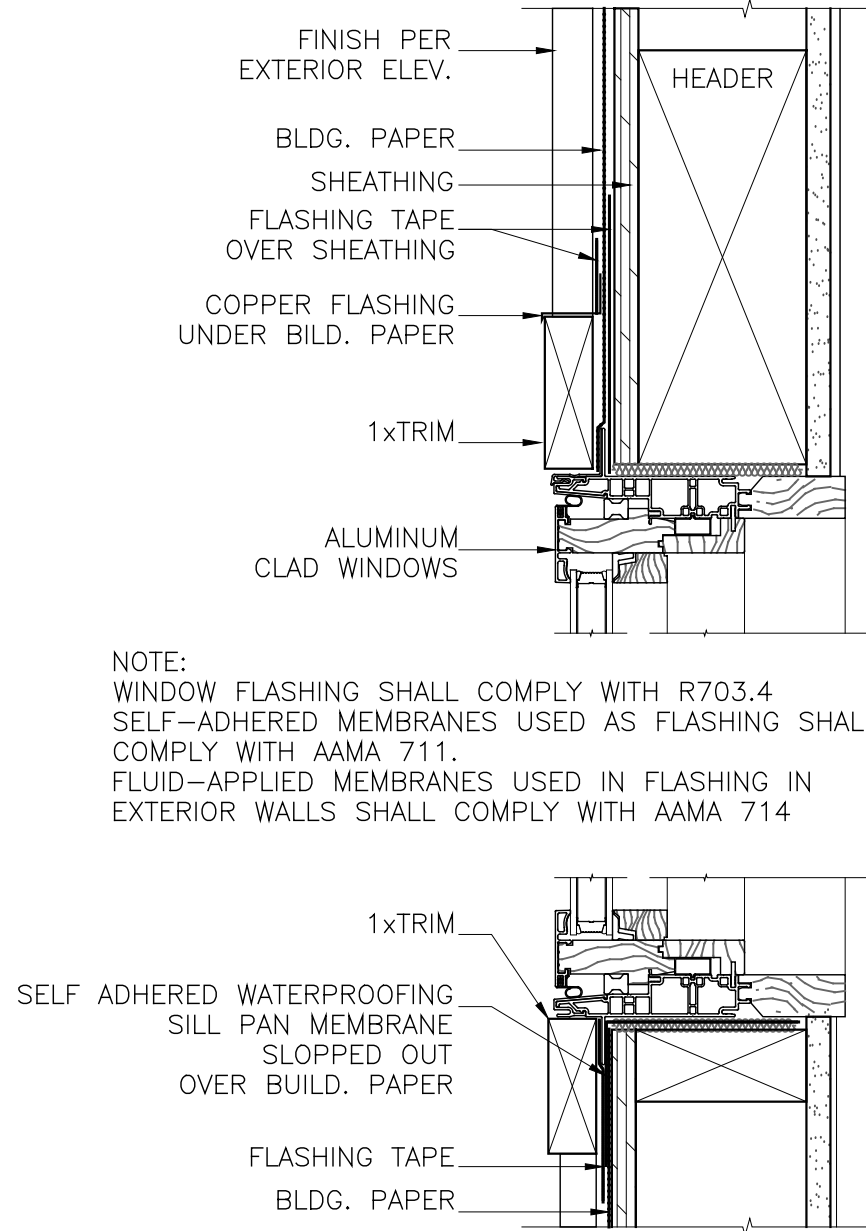
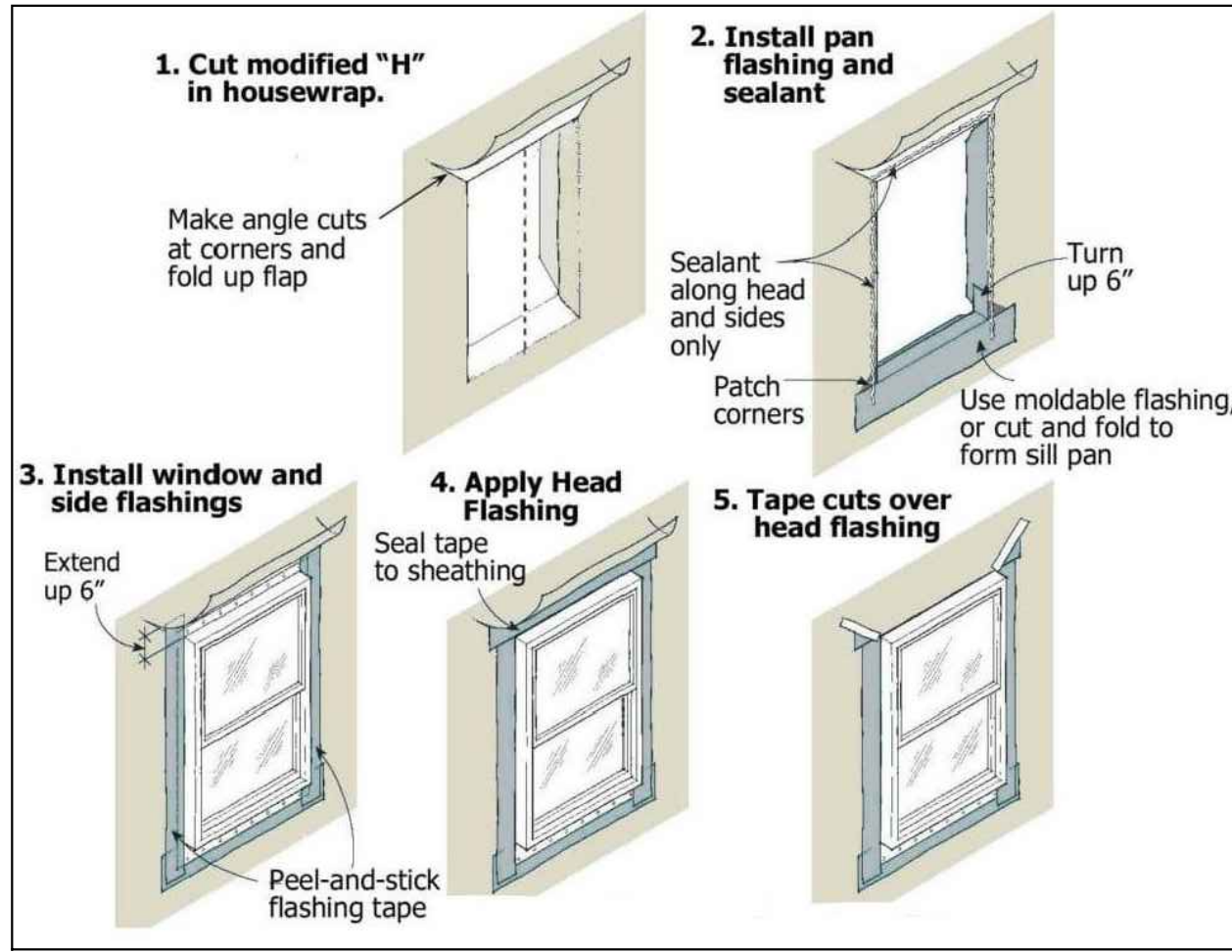
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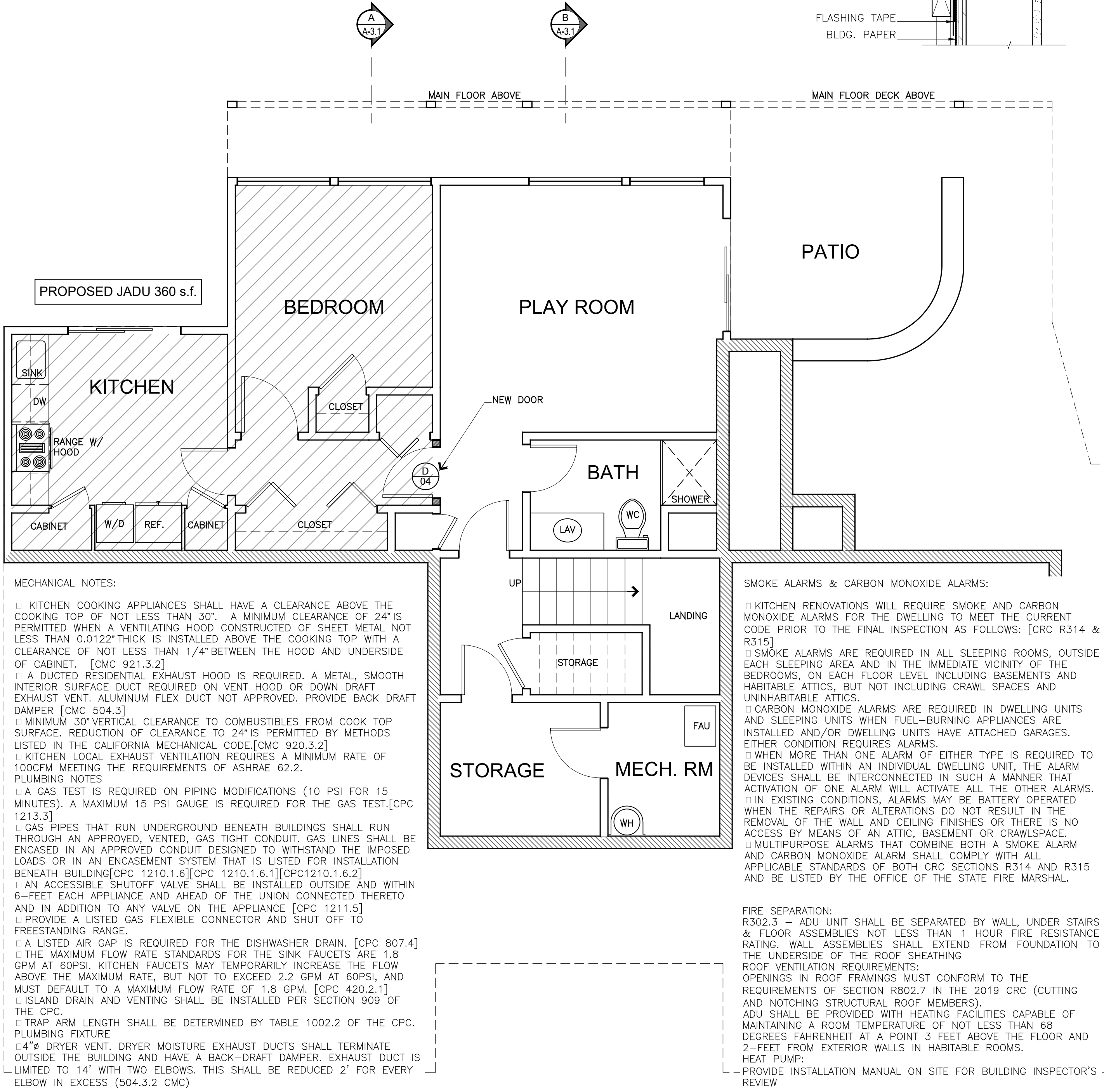
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'AS-BUILT' MAIN FLOOR

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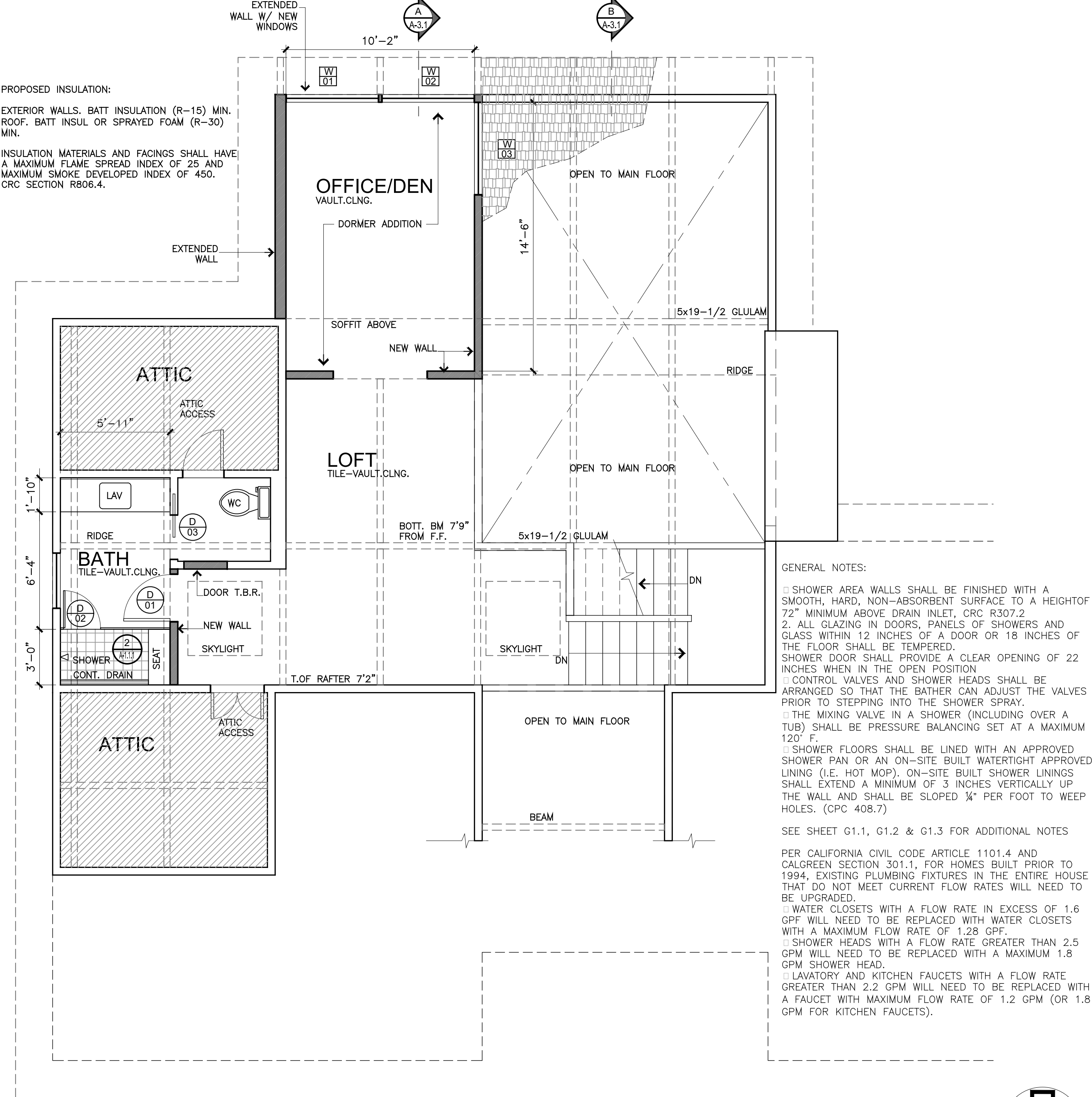


WINDOW - WATERPROOFING DETAIL 3



PROPOSED JADU - LOWER FLOOR PLAN

Scale 1/4"=1'-0" 1



PROPOSED LOFT FLOOR PLAN

Scale 1/4"=1'-0" 2

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LOWER & UPPER FLOOR

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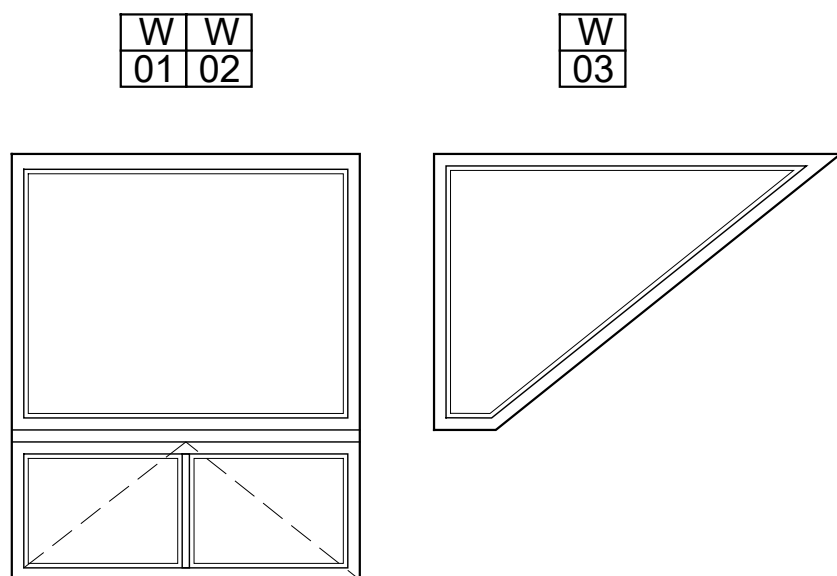
ROOF PLAN

Scale	1
1/4"=1'-0"	

PROPOSED ROOF PLAN

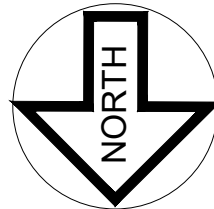
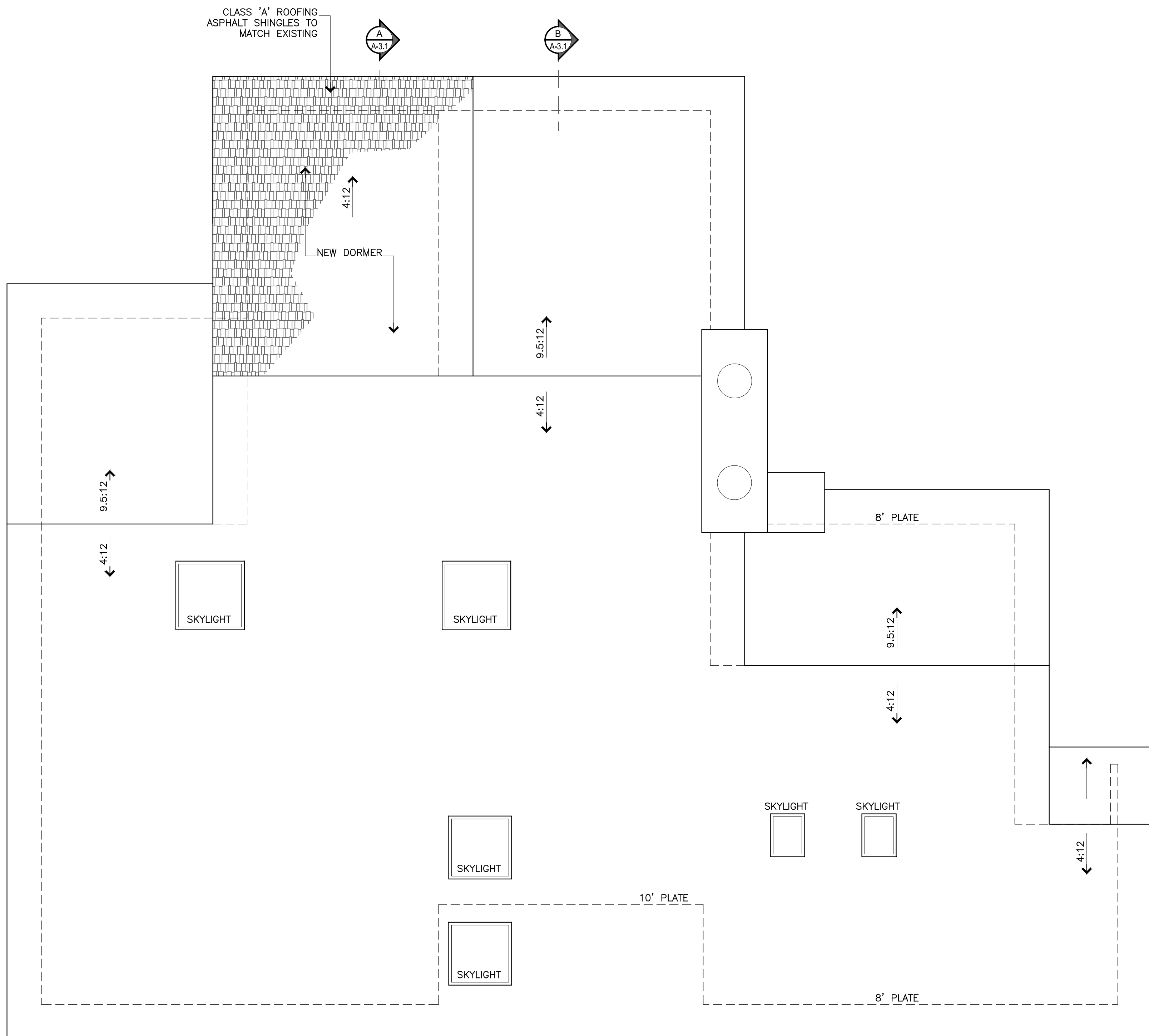
<div>DOOR SCHEDULE</div> <div>EXTERIOR DOOR MATERIAL: TO MATCH EXISTING — COLOR: TO MATCH EXISTING</div>						
NUMBER		MAIN FLOOR	SIZE	TYPE	HDW.	REMARKS
D-01	NEW	BATHROOM	2'-6"/6'-8"			PLANK
D-02	NEW	BATHROOM - SHOWER	2'-0"/6'-0"			TEMPERED GLASS
D-03	NEW	BATHROOM - WC	2'-4"/6'-8"			PLANK - POCKET
D-04	NEW	JUNIOR-ADU	2'-8"/6'-8"			PLANK

WINDOW SCHEDULE							
EXTERIOR DOOR MATERIAL: TO MATCH EXISTING — COLOR: TO MATCH EXISTING							
NUMBER		MAIN FLOOR	SIZE	CONF.	TYPE	GLAZING	REMARKS
W-01	NEW	OFFICE / DEN	5'-0"6'-0"	FIXED AWNING		DBL-LE	FIXED / AWNING - T. GLASS
W-02	NEW	OFFICE / DEN	5'-0"6'-0"	FIXED AWNING		DBL-LE	FIXED / AWNING - T. GLASS
W-03	NEW	OFFICE / DEN	5'-0" IRR	IRREGULAR		DBL-LE	FIXED - T. GLASS



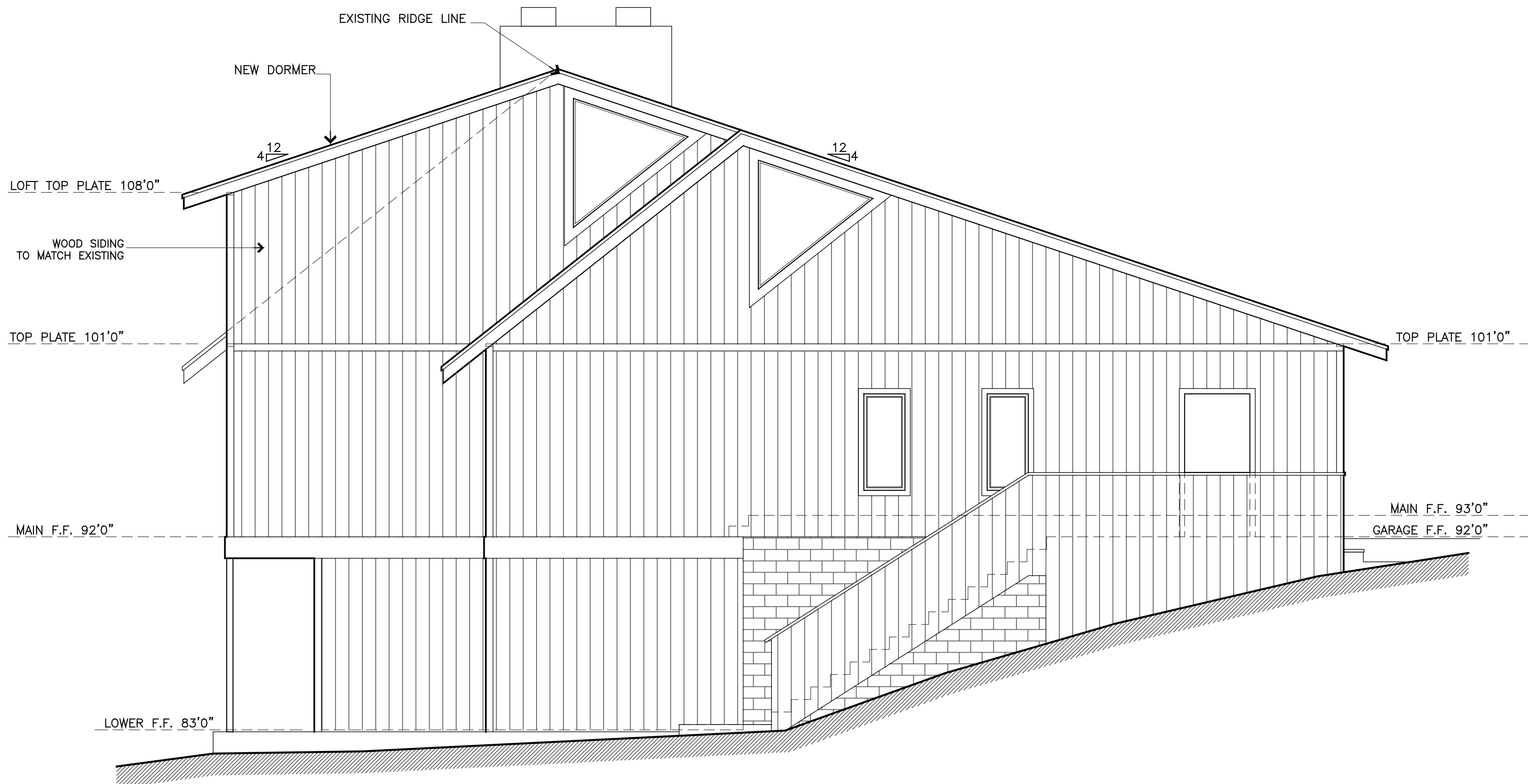
DOOR & WINDOW NOTES:

3. ALL WINDOW/DOOR SPECIFICATIONS TO COMPLY WITH CURRENT STATE AND COUNTY BUILDING CODES. REFER TO GENERAL NOTES FOR MORE INFORMATION.
2. DOOR AND WINDOW SIZE: 28-70= 2'-8" x 7'-0"
3. (T) = TEMPERED GLASS
4. GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIALS CONFORMING TO CURRENT BUILDING CODES. SUCH AREAS SHALL INCLUDE BUT ARE NOT LIMITED TO SLIDING GLASS DOORS, TUB & SHOWER ENCLOSURES & STEAM ROOMS. PROVIDE SAFETY GLAZING AT THE FOLLOWING LOCATIONS (U.B.C. 2406.3 AND 2406.4):
 - a) GLAZING WITHIN A 24" RADIUS OF THE VERTICAL JAMB OF ANY DOOR AND LESS THAN 60" ABOVE THE WALKING SURFACE.
 - b) GLAZING IN WALLS ENCLOSING A SHOWER OR BATHTUB WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.
 - c) GLAZING WITH AN AREA MORE THAN 9SQ.FT., LESS THAN 18" ABOVE THE FLOOR AND WITH ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF GLAZING.
 - d) GLAZING IN WALLS ENCLOSING STAIRWAY LANDINGS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE.
5. COMBUSTION AIR: VENT OPENINGS WITHIN DOOR SHALL BE WITHIN 12" FROM THE TOP AND 12" FROM THE BOTTOM ENCLOSURE.
6. WINDOWS FOR NATURAL LIGHT & VENTILATION SHALL BE SIZED IN COMPLIANCE WITH CURRENT BUILDING CODE.
7. EMERGENCY ESCAPE OR RESCUE: BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. THE OPENING SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. ALL EGRESS OR RESCUE WINDOWS FOR SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET, GRADE FLOOR OPENINGS MAY BE 5.0 S.F. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". WHERE WINDOWS ARE PROVIDED AS MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR (SEC. R310). ESCAPE AND RESCUE WINDOWS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL SHALL HAVE A WINDOW WELL IN COMPLIANCE WITH THE FOLLOWING:
8. ALL GLAZING AT CONDITIONED SPACES SHALL BE DUAL-PANE.
9. ALL THRESHOLDS ARE TO COMPLY WITH CRC REQUIREMENTS, W/ MAX. RISE OF 1/2".



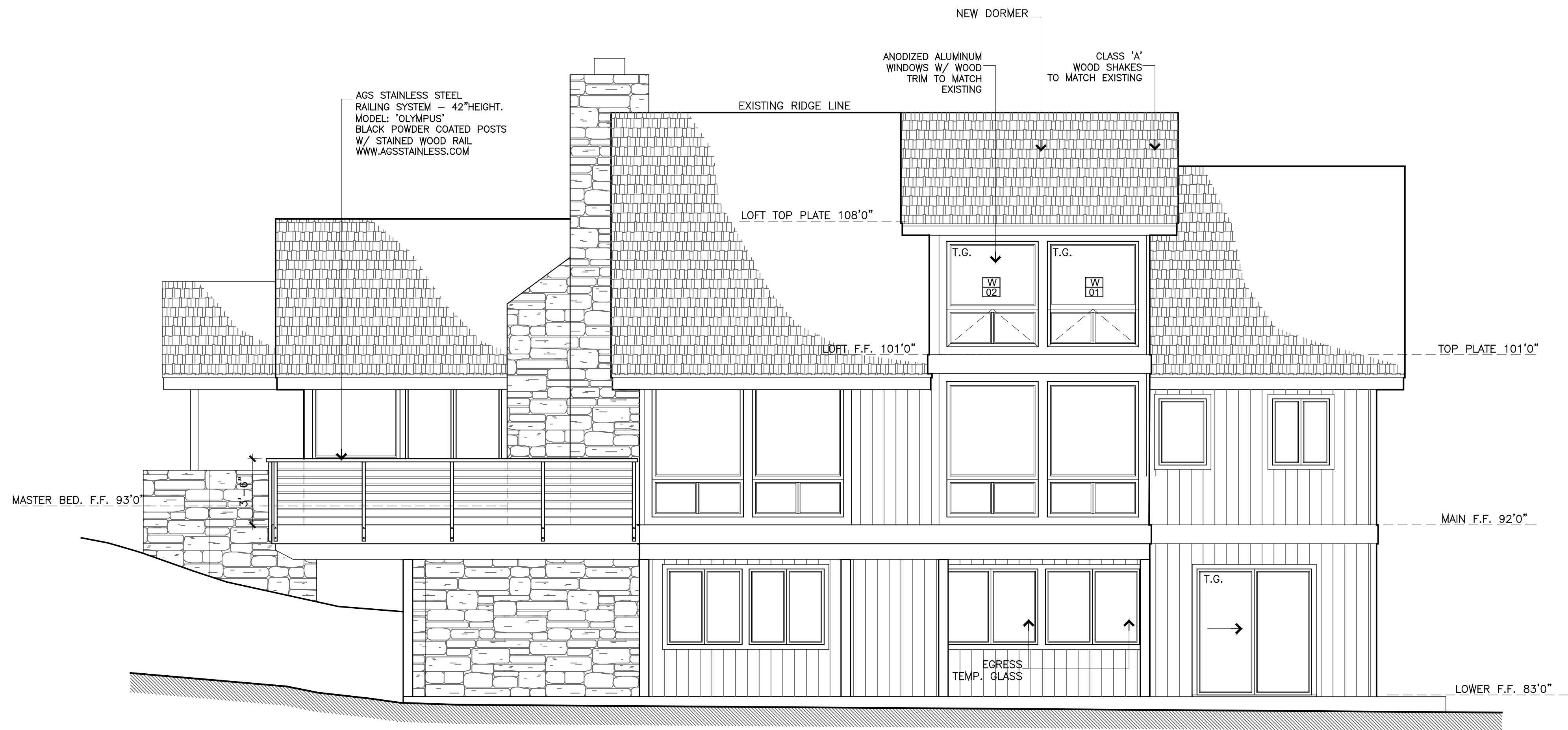
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PROPOSED EAST ELEVATION

EAST	E
1/4"=1'-0"	



PROPOSED SOUTH ELEVATION

SOUTH	S
1/4"=1'-0"	

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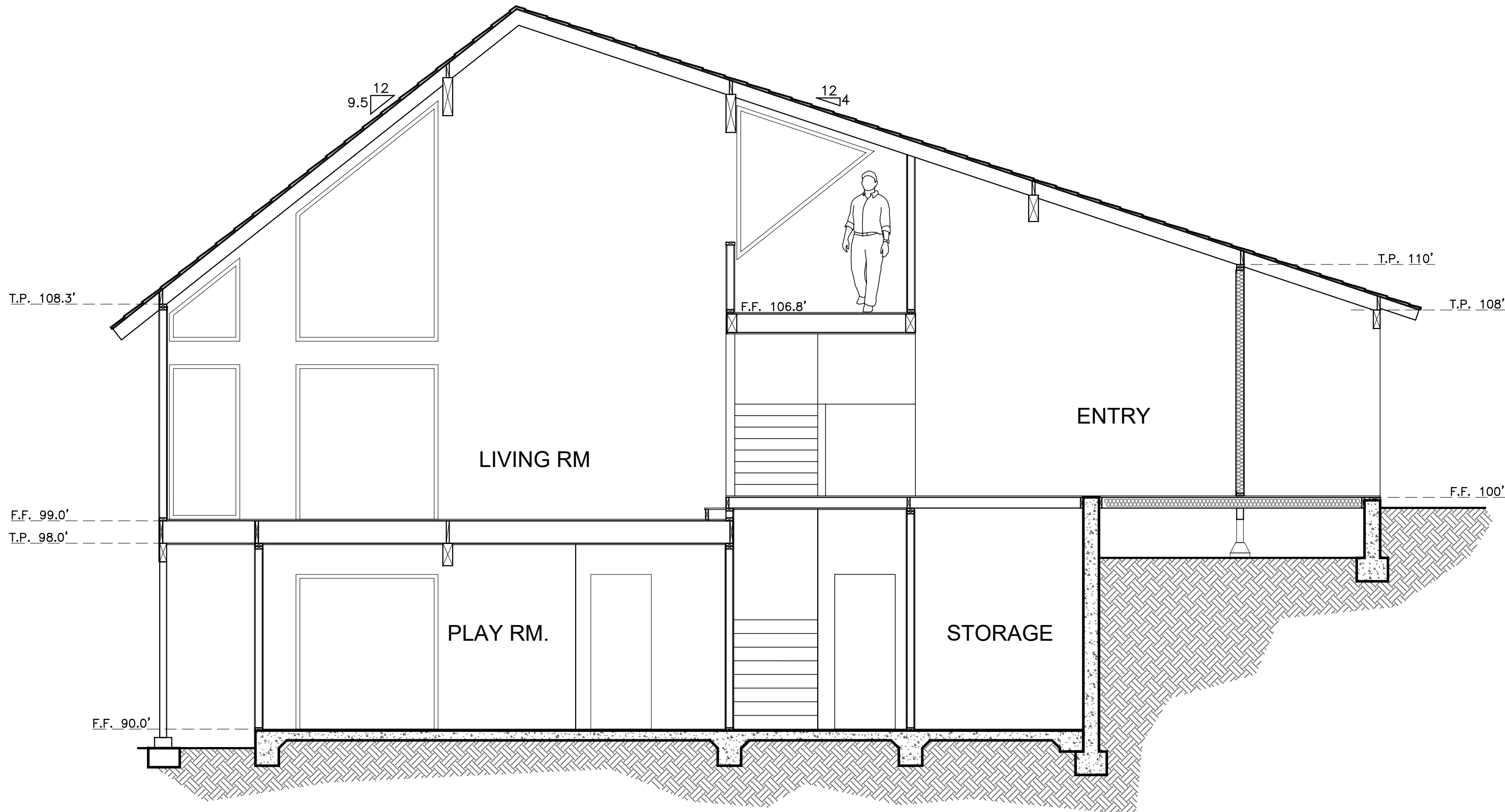
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PROPOSED ELEVATIONS

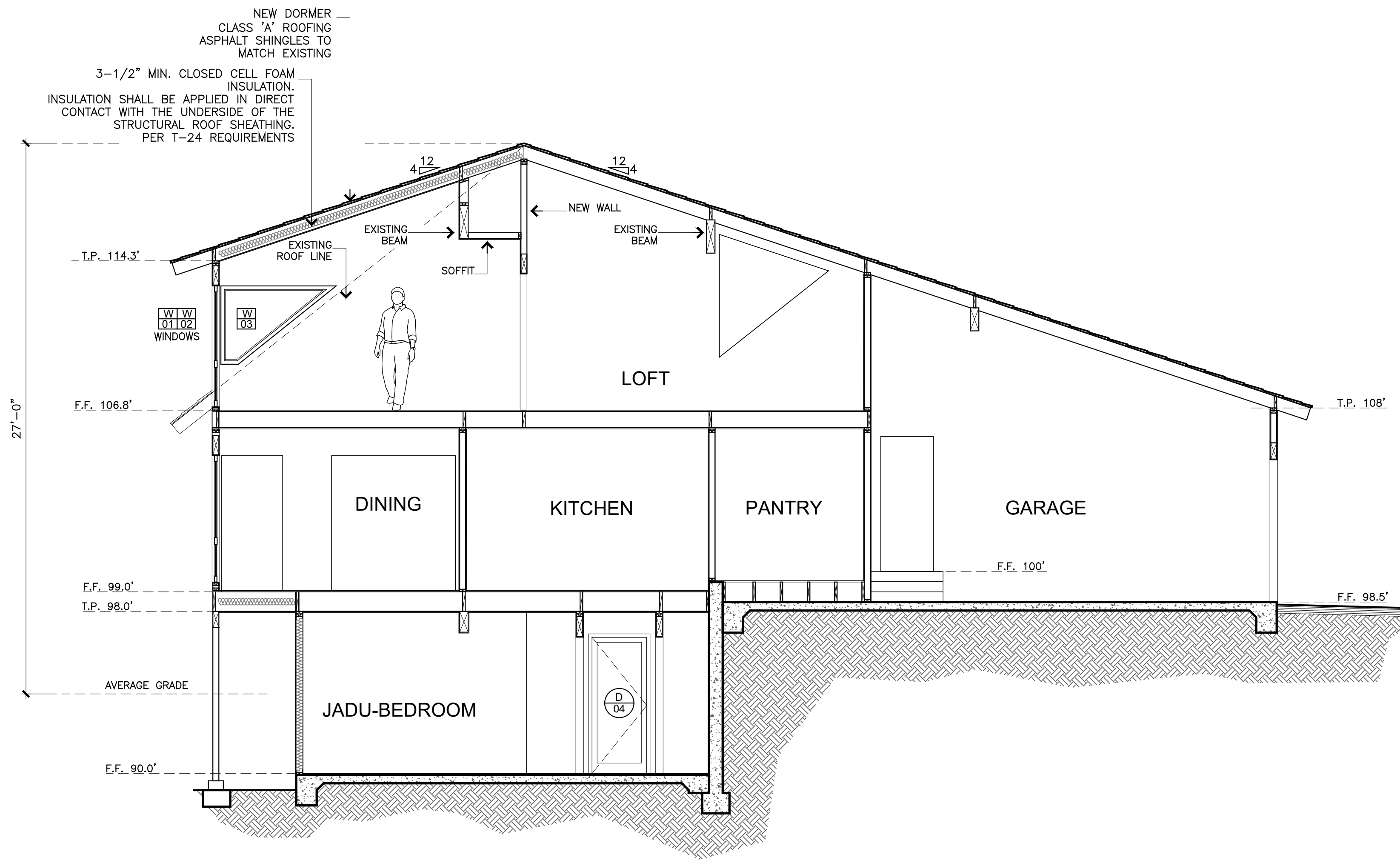
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BUILDING SECTION

Scale	B
1/4"=1'-0"	



BUILDING SECTION

Scale	A
1/4"=1'-0"	

DATE	REVISION



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BUILDING SECTIONS

PROJECT FILE NO. PLN220186

PHOTOGRAPHS



Date: _____ Site Address: _____ Planner: _____

Description: _____

PROJECT FILE NO. _____

PHOTOGRAPHS



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