

County of Monterey

County of Monterey Government Center
1441 Schilling Place, Salinas, CA 93901
Via Teleconference/Zoom



Meeting Agenda - Final

Thursday, March 7, 2024

11:30 AM

**1441 Schilling Place, Salinas, CA 93901
South Building 2nd. Floor, Thyme Conference Room**

Historic Resources Review Board

IMPORTANT NOTICE REGARDING PARTICIPATION IN THE HISTORIC RESOURCES REVIEW BOARD MEETING

The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the County of Monterey Historic Resources Review Board alternative actions on any matter before it.

In addition to attending in person, public participation will be available by ZOOM and/or telephonic means:

PLEASE NOTE: IF ALL HRRB MEMBERS ARE PRESENT IN PERSON, PUBLIC PARTICIPATION BY ZOOM IS FOR CONVENIENCE ONLY AND IS NOT REQUIRED BY LAW. IF THE ZOOM FEED IS LOST FOR ANY REASON, THE MEETING MAY BE PAUSED WHILE A FIX IS ATTEMPTED BUT THE MEETING MAY CONTINUE AT THE DISCRETION OF THE CHAIRPERSON.

You may participate through ZOOM. For ZOOM participation please join by computer audio at: <https://montereycty.zoom.us/j/97703371869?from=addon>

OR to participate by phone call any of these numbers below:

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Enter this Meeting ID number 977 0337 1869 when prompted.

PUBLIC COMMENT: Please submit your comment (limited to 250 or less) to the HRRB Clerk at hrrbhearingcomments@co.monterey.ca.us. In an effort to assist the Clerk in identifying the agenda item relating to your public comment please indicate in the Subject Line, the meeting body (i.e. Historic Resources Review Board Agenda) and item number (i.e. Item No. 10). Your comment will be placed into the record at the Historic Resources Review Board meeting.

Public Comments received by 5:00 p.m. on the Wednesday prior to the HRRB meeting will be distributed to the HRRB via email.

Public Comment submitted during the meeting can be submitted at any time and every effort will be made to read your comment into the record, but some comments may not be read due to time limitations. Comments received after the agenda item will be made part of the record if received prior to the end of the meeting.

ALTERNATIVE FORMATS: If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. For information regarding how, to whom and when a person with a disability who requires a modification or accommodation in order to participate in the public meeting may make a request for disability-related modification or accommodation including auxiliary aids or services or if you have any questions about any of the items listed on this agenda, please call the Monterey County Housing and Community Development at (831) 755-5025.

INTERPRETATION SERVICE POLICY: The Monterey County Historic Resources Review Board invites and encourages the participation of Monterey County residents at its meetings. If you require the assistance of an interpreter, please contact the Monterey County Housing and Community Development Department located in the Monterey County Government Center, 1441 Schilling Place, 2nd Floor South, Salinas - or by phone at (831) 755-5025. The Clerk will make every effort to accommodate requests for interpreter assistance. Requests should be made as soon as possible, and at a minimum 24 hours in advance of any meeting of the Historic Resources Review Board.

La medida recomendada indica la recomendación del personal en el momento en que se preparó la agenda. Dicha recomendación no limita las acciones alternativas del Consejo de Revisión de Recursos Históricos del Condado de Monterey sobre cualquier asunto que se le haya sometido.

Además de asistir en persona, la participación del público estará disponible por ZOOM y/o medios telefónicos:

TENGA EN CUENTA: SI TODOS LOS MIEMBROS DEL HRRB ESTÁN PRESENTES EN PERSONA, LA PARTICIPACIÓN PÚBLICA DE ZOOM ES SOLO POR CONVENIENCIA Y NO ES REQUERIDA POR LA LEY. SI LA TRANSMISIÓN DE ZOOM SE PIERDE POR CUALQUIER MOTIVO, LA REUNIÓN PUEDE PAUSARSE MIENTRAS SE INTENTA UNA SOLUCIÓN, PERO LA REUNIÓN PUEDE CONTINUAR A DISCRECIÓN DEL PRESIDENTE DE LA REUNIÓN.

Puede participar a través de ZOOM. Para la participación de ZOOM, únase por computadora en: <https://montereycty.zoom.us/j/97703371869?from=addon>

O para participar por teléfono, llame a cualquiera de estos números a continuación:

- + 1 669 900 6833 US (San Jose)
- + 1 346 248 7799 US (Houston)
- + 1 312 626 6799 US (Chicago)
- + 1 929 205 6099 US (New York)
- + 1 253 215 8782 US
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Presione el código de acceso de reunión: 977 0337 1869 cuando se le solicite.

COMENTARIO PÚBLICO: Por favor envíe su comentario (limitado a 250 palabras o menos) al personal del Consejo de Revisión de Recursos Históricos del Condado de Monterey al correo electrónico: hrrbhearingcomments@co.monterey.ca.us. En un esfuerzo por ayudar al personal, indique en la línea de asunto, la audiencia de la reunión (por ejemplo, la agenda del Consejo de Revisión de Recursos Históricos del Condado de Monterey) y el número de punto (por ejemplo, el No. de agenda 10). Su comentario se incluirá en el registro de la audiencia del Consejo de Revisión de Recursos Históricos del Condado de Monterey.

Los comentarios públicos recibidos antes de las 5:00 p.m. del miércoles anterior a la reunión del Consejo de Revisión de Recursos Históricos se distribuirán al Consejo de Revisión de Recursos Históricos por correo electrónico.

El comentario público enviado durante la reunión se puede enviar en cualquier momento y se hará todo lo posible para leer su comentario en el registro, pero algunos comentarios pueden no leerse debido a limitaciones de tiempo. Los comentarios recibidos después del tema de la agenda se incluirán en el registro si se reciben antes de que finalice la junta.

FORMATOS ALTERNATIVOS: Si se solicita, la agenda se pondrá a disposición de las personas con discapacidad en formatos alternativos apropiados, según lo exige la Sección 202 de la Ley de Estadounidenses con Discapacidades de 1990 (42 USC Sec. 12132) y las reglas y regulaciones federales adoptadas en implementación de la misma. Para obtener información sobre cómo, a quién y cuándo una persona con una discapacidad que requiere una modificación o adaptación para participar en la reunión pública puede hacer una solicitud de modificación o adaptación relacionada con la discapacidad, incluidas las ayudas o servicios auxiliares, o si tiene alguna pregunta sobre cualquiera de los temas enumerados en esta agenda, llame al Departamento de Vivienda y Desarrollo Comunitario del Condado de Monterey al (831) 755-5025.

POLÍZA DE SERVICIO DE INTERPRETACIÓN: Los miembros del Consejo de Revisión de Recursos Históricos del Condado de Monterey invita y apoya la participación de los residentes del Condado de Monterey en sus reuniones. Si usted requiere la asistencia de un interprete, por favor comuníquese con el Departamento de Vivienda y Desarrollo Comunitario localizado en el Centro de Gobierno del Condado de Monterey, (County of Monterey Government Center), 1441 Schilling Place, segundo piso sur, Salinas – o por teléfono al (831) 755-5025. La asistente hará el esfuerzo para acomodar los pedidos de asistencia de un interprete. Los pedidos se deberán hacer lo mas pronto posible, y a lo mínimo 24 horas de anticipo para cualquier reunión del Consejo de Revisión de Recursos Históricos del Condado de Monterey.

The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the Historic Resources Review Board's alternative actions on any matter before it.

NOTE: All agenda titles related to numbered items are live web links. Click on the title to be directed to corresponding Staff Report

Participate via Zoom Meeting Link:

<https://montereycty.zoom.us/j/97703371869?from=addon>

Participate via Phone: 1-669-900-6833

Meeting ID Access Code: 977 0337 1869

11:30 A.M. - CALL TO ORDER**ROLL CALL**

John Scourkes (Chair)
Kellie Morgantini (Vice Chair)
Michael Bilich
Judy MacClelland
Sheila Lee Prader
Salvador Muñoz
Belinda Taluban

PUBLIC COMMENT

The Historic Resources Review Board (HRRB) will receive public comment on non-agenda items within the purview of the HRRB. The Chair may limit the length of individual presentations.

AGENDA ADDITIONS, DELETIONS AND CORRECTIONS

The Board Clerk will announce agenda corrections, deletions and proposed additions, which may be acted on by the Historic Resources Review Board as provided in Sections 54954.2 of the California Government Code.

APPROVAL OF MINUTES

- A. Approval of the November 2, 2023, December 7, 2023, January 4, 2024, and February 1, 2024, Historic Resources Review Board draft meeting minutes.

Attachments: [HRRB Draft Minutes 11-02-23](#)
 [HRRB Draft Minutes 12-07-23](#)
 [HRRB Draft Minutes 01-04-24](#)
 [HRRB Draft Minutes 02-01-24](#)

SCHEDULED MATTERS**1. PLN220327 - RIVERA STEVEN A & JUNE M TRS**

Public hearing to consider recommending that the Zoning Administrator approve a Combined Development Permit to allow the construction of an 856 square foot detached accessory dwelling unit (ADU) and the removal of two protected trees including a 10 inch Coast live oak and a 33 inch Landmark Monterey Pine.

Project Location: 4161 Sunridge Road, Pebble Beach (Assessor's Parcel Numbers 008-071-011-000 & 008-071-012-000), Del Monte Forest Land Use Plan, Coastal Zone

Attachments: [Staff Report](#)
 [Exhibit A - Draft Resolution](#)
 [Exhibit B - Project Plans, Colors and Materials and Renderings](#)
 [Exhibit C - Phase I Historic Assessment \(LIB140306\)](#)
 [Exhibit D - Phase II Historic Assessment \(LIB240046\)](#)
 [Exhibit E - Board of Supervisors Resolution No. 23-224](#)
 [Exhibit F - Site Photos](#)

OTHER MATTERS

Salinas Valley Tourism and Visitor Bureau presentation on plans to develop public exhibits and programs to celebrate the Historic National Juan Bautista De Anza Trail, which runs through the center of Salinas

BOARD COMMENTS, REQUEST AND REFERRALS

This is a time set aside for members of the HRRB to comment, request, or refer a matter that is on or not on the agenda. At this time, members may also request that an item be added to a future HRRB agenda.

DEPARTMENT UPDATE

ADJOURNMENT

NEXT REGULAR MEETING

April 4, 2024



County of Monterey

Item No.A

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: MIN 24-006

March 07, 2024

Introduced: 2/9/2024

Current Status: Agenda Ready

Version: 1

Matter Type: Minutes

Approval of the November 2, 2023, December 7, 2023, January 4, 2024, and February 1, 2024,
Historic Resources Review Board draft meeting minutes.

County of Monterey

County of Monterey Government Center
1441 Schilling Place, Salinas, CA 93901
Via Teleconference/Zoom



Meeting Minutes - Draft

Thursday, November 2, 2023

11:30 AM

**1441 Schilling Place, Salinas CA 93901
South Building 2nd Floor, Thyme Conference Room**

Historic Resources Review Board

11:30 A.M. - CALL TO ORDER

The meeting was called to order by Chair Scourkes at 11:35 a.m.

ROLL CALL

John Scourkes

Salvador Muñoz

Belinda Taluban

Kellie Morgantini

Michael Bilich

Judy MacClelland

Sheila Lee Prader (arrived at 11:43 a.m.)

PUBLIC COMMENT

None

AGENDA ADDITIONS, DELETIONS AND CORRECTIONS

HRRB Clerk Armida Estrada informed the HRRB of public comment received and distributed for Agenda Item No. 1 PLN100338 – Signal Hill LLC.

Secretary Angelo reviewed the meeting protocols for participants joining through Zoom.

APPROVAL OF MINUTES

- A. Approval of the October 5, 2023 Historic Resources Review Board draft meeting minutes.

Judy MacClelland mentioned an error under Agenda Item No. 2 – PLN230203 – County of Monterey (Porter-Vallejo Mansion) on page 4, second paragraph, where it refers to “North County Land Use Advisory Committee”, needs to be changed to say, “North County Land Use Advisory Committee”. Also, on page 2, under Agenda Item No. 1 – PLN230088 – Uday Nayana 1 LLC, Salvador Muñoz, “recused” himself. To reflect the vote section, Judy suggests Salvador’s motion should be counted as “Absent” instead of “Abstain” and in parenthesis state the word “Recused”. Secretary Angelo suggested to add the line: RECUSED and add Salvador’s name instead.

It was moved by Judy MacClelland, seconded by Salvador Muñoz and passed by the following vote to approve the HRRB meeting minutes for October 5, 2023 with the corrections as mentioned by Judy.

RESULT: Passed

MOVER: Judy MacClelland

SECONDER: Salvador Muñoz

AYES: Judy MacClelland, John Scourkes, Salvador Muñoz, Belinda Taluban, Kellie Morgantini, Michael Bilich

NOES: None

ABSENT: Sheila Lee Prader

SCHEDULED MATTERS

Chair Scourkes tabled Agenda Item No. 1, PLN100338 – Signal Hill LLC due to three HRRB members requesting to recuse themselves from this item. Agenda Item No. 2, PLN230203 – County of Monterey (Porter-Vallejo Mansion) will be presented first.

2. PLN230203 - COUNTY OF MONTEREY (PORTER-VALLEJO MANSION)

Public hearing to consider a recommendation to the Monterey County Planning Commission for a Use Permit to allow alterations to a historic resource (Porter Vallejo Mansion), including repair and replacement of roofing, siding, and windows; repair and relocation of mechanical equipment including exterior screening to hide equipment; replace front porch decking; repairs to front railing to be replaced in kind; mothballing of a detached water tower; and removal of a trellis, fencing and play equipment.

Project Location: 29 Bishop Street, Royal Oaks (Assessor's Parcel Number 117-323-013-000)

Hya Honorato, Project Planner presented the item.

Applicant/Applicant's Representative: Silvia Larsen (Agent, RIM Architects)

Florence Kabwasa-Green (Applicant, Public Works, Facilities, and Parks),

Hillary Thayer (Applicant, Monterey County Free Libraries)

Sheila Lee Prader joined the HRRB at 11:43 a.m.

Public Comment: None

It was moved by Judy MacClelland, seconded by Belinda Taluban and passed by the following vote to request the applicant to submit a Phase II report addressing the HRRB's questions, and return to the HRRB on a date certain of December 7, 2023.

RESULT: Passed

MOVER: Judy MacClelland

SECONDER: Belinda Taluban

AYES: Judy MacClelland, John Scourkes, Salvador Muñoz, Belinda Taluban, Kellie Morgantini, Michael Bilich, Sheila Lee Prader

NOES: None

ABSENT: None

1. PLN100338 - SIGNAL HILL LLC

Review of Connell House web page to comply with Mitigation Measure HR-1.2 for the approved Signal Hill LLC project.

Project Location: 1170 Signal Hill Road, Pebble Beach, CA 93953 Assessor's Parcel Number 008-261-007-000, Del Monte Forest Land Use Plan, Coastal Zone.

Proposed CEQA Action: Action to comply with the Mitigation Monitoring and Reporting Plan for a Certified Final Environmental Impact Report

HRRB members Judy MacClelland, Belinda Taluban, and Salvador Muñoz, recused themselves due to conflict of interest with the project.

Chair Scourkes noted for the record, a quorum is still maintained after the three recusals.

Mary Israel, Project Planner presented the item.

Applicant/Applicant's Representative: Massy Mehdipour

Public Comment: Raymond Neutra

It was moved by Kellie Morgantini, seconded by Michael Bilich and passed by the following vote to find the Connell House web page scope of work for the educational materials provide sufficient electronic information in a web-based format for use in creating a web page documenting the Connell House to meet the requirements of mitigation measure HR-1.2 with the corrections being: identify the webpage as a webpage and not a website; correct all spellings of Neutra; include the video tour in the webpage scope which can include a montage of the historic photos of the Neutra house instead of focusing on its current condition; and, in the History section of the webpage, add a clear subsection describing how that the house lost integrity, was approved for demolition, and was demolished.

RESULT: Passed

MOVER: Kellie Morgantini

SECONDER: Michael Bilich

AYES: John Scourkes, Kellie Morgantini, Michael Bilich, Sheila Lee Prader

NOES: None

RECUSED: Judy MacClelland, Salvador Muñoz, Belinda Taluban

Chair Scourkes noted for the record, that the HRRB has a full quorum for the remainder of the meeting.

OTHER MATTERS

3. Review and discuss Draft 2022-2023 Certified Local Government Program Annual Report.

It was moved by Belinda Taluban, seconded by Salvador Muñoz and accept the 2022-2023 Certified Local Government Program Annual Report with the mentioned modifications to the blanks for Michael Bilich, the misspelling of Sheila's name, and addition of the training.

RESULT: Passed

MOVER: Belinda Taluban

SECONDER: Salvador Muñoz

AYES: John Scourkes, Kellie Morgantini, Michael Bilich, Sheila Lee Prader, Judy MacClelland, Salvador Muñoz, Belinda Taluban

NOES: None

BOARD COMMENTS, REQUEST AND REFERRALS

Kellie Morgantini referred to a possible training and asked for main points that would be helpful for Planning staff to know when submitting items to the HRRB. Secretary Angelo suggested to include when a historic report is needed and the secretary of the interior standards rehabilitation.

DEPARTMENT UPDATE

Secretary Angelo introduced Armida Estrada to the HRRB, she will be assisting to clerk future HRRB meetings.

Secretary Angelo informed the HRRB that the two Mills Act Contracts that came before the HRRB, PLN230067 – Rivera and PLN230088 – Uday will be going before the Board of Supervisors on December 5, 2023. Also, PLN220090 – Garrapata Creek Bridge Rail Replacement will be going before the Board of Supervisors on December 6, 2023.

ADJOURNMENT

The meeting was adjourned by Chair Scourkes at 1:53 p.m.

NEXT REGULAR MEETING

December 7, 2023

County of Monterey

County of Monterey Government Center
1441 Schilling Place, Salinas, CA 93901
Via Teleconference/Zoom



Meeting Minutes - Draft

Thursday, December 7, 2023

11:30 AM

Historic Resources Review Board

11:30 A.M. - CALL TO ORDER

Called to order by John Scourkes at 11:32

ROLL CALL

Present:

John Scourkes (Chair)

Kellie Morgantini (Vice Chair)

Michael Bilich

Belinda Taluban

Salvador Muñoz

Judy MacClelland (arrived at 11:42)

Sheila Lee Prader (arrived at 11:42)

PUBLIC COMMENT

None

AGENDA ADDITIONS, DELETIONS AND CORRECTIONS

None

APPROVAL OF MINUTES

None

SCHEDULED MATTERS**1. PLN230203 - COUNTY OF MONTEREY (PORTER-VALLEJO MANSION)**

Public hearing to consider a recommendation to the Monterey County Planning Commission for a Use Permit to allow alterations to a historic resource (Porter Vallejo Mansion), including repair and replacement of roofing, siding, and 10 windows; repair and relocation of mechanical equipment including exterior screening to hide the equipment; replacement of the front porch decking; mothballing of a detached water tower; and associated site improvements including removal of a trellis, fencing and play equipment, and installation of a three foot tall perimeter picket fence.

Project Location: 29 Bishop Street, Royal Oaks (Assessor's Parcel Number 117-323-013-000)

Hya Honorato presented the project.

Applicant Rep: Sylvia Larsen & Florence Green

Public Comment: Meg Clovis

Motion: It was moved by Kellie Morgantini, seconded Salvador Muñoz and passed by the following vote to adopt a resolution recommending that the Planning Commission find the project categorically exempt from CEQA and approve a Use Permit to allow alternations to a historic resource (Porter Vallejo Mansion) as recommended by staff with the following changes:

- Addition of language in Condition 1 indicating that if more than 25% of the exterior siding needs to be replaced, the applicant will contact the HRRB site review subcommittee for further evaluation and guidance; and
- The 3rd recital on page 3 be altered to include that the applicants are proposing to select a contractor/subcontractor with knowledge and experience with historically significant projects; and
- Add a 4th condition that states that if there are any unanticipated repairs of the project the applicant/agent would contact the HRRB site review subcommittee for direction.

Ayes: John Scourkes, Kellie Morgantini, Michael Bilich, Belinda Taluban, Salvador Muñoz

Judy MacClelland, Sheila Lee Prader

Noes: None

Absent: None

Abstain: None

2. Review and approval of the 2024 HRRB meeting dates.

The Historic Resources Review Board is recommended to review and approve the proposed meeting dates for the year 2024.

Motion: It was moved by Salvador Muñoz, seconded by Sheila Lee Prader and passed by the following vote to approve the 2024 HRRB meeting dates.

Ayes: John Scourkes, Kellie Morgantini, Michael Bilich, Belinda Taluban,

Salvador Muñoz

Judy MacClelland, Sheila Lee Prader

Noes: None

Absent: None

Abstain: None

3. Nomination & Appointment of HRRB Officers for 2024.

The Historic Resources Review Board shall nominate and appoint from its members a chair and vice-chair to serve in such capacities for a term of one year.

(No attachments included)

Motion: It was moved by Belinda Taluban, seconded by Judy McClelland and passed by the following vote to appoint John Scourkes as Chair and Kelli Morgantini as Vice-Chair for 2024.

Ayes: John Scourkes, Kellie Morgantini, Michael Bilich, Belinda Taluban,

Salvador Muñoz

Judy MacClelland, Sheila Lee Prader

Noes: None

Absent: None

Abstain: None

OTHER MATTERS

Secretary Phil Angelo provided an update on the Garrapata Creek Bridge Rail project and the approval of the 2023 Mill Acts Contracts.

The Board members discussed ADUs in Historic districts/properties.

BOARD COMMENTS, REQUEST AND REFERRALS

Salvador Muñoz left the meeting at 12:50 pm.

DEPARTMENT UPDATE

None

ADJOURNMENT

The meeting was adjourned by Chair John Scourkes at 1:02 pm.

NEXT REGULAR MEETING

January 4, 2024

County of Monterey

County of Monterey Government Center
1441 Schilling Place, Salinas, CA 93901
Via Teleconference/Zoom



Meeting Minutes - Draft

Thursday, January 4, 2024

11:30 AM

**1441 Schilling Place, Salinas, CA 93901
South Building 2nd Floor, Thyme Conference Room**

Historic Resources Review Board

11:30 A.M. - CALL TO ORDER

The meeting was called to order by John Scourkes at 11:37 a.m.

ROLL CALL

John Scourkes

Belinda Taluban – arrived at 11:38 a.m.

Salvador Muñoz

Michael Bilich

Judy MacClelland

Absent:

Kellie Morgantini

Sheila Lee Prader

Secretary Angelo reviewed the Zoom protocols.

PUBLIC COMMENT

None

AGENDA ADDITIONS, DELETIONS AND CORRECTIONS

None

SCHEDULED MATTERS

1. DA230229 - DAMSCHEN RONALD MORRIS & DIANA GAIL TRS

Public hearing to consider recommending that the Historic Resources Review Board (HRRB) approve a Design Approval to allow the conversion of an existing 300 square foot detached secondary garage into an accessory dwelling unit. Colors and materials to consist of batt and board siding (light blue), composition shingle roofing materials (dark grey), new French doors (white), all to match the existing single-family dwelling.

Project Location: 37 Railroad Avenue, Spreckels (Assessor's Parcel Number 177-033-007-000), Greater Salinas Area Plan

Stacy Giles, Permit Technician II, presented the project.

Liz Gonzales, Permit Center Manager

Applicant Representative: Armando Lopez

Public Comment: None

It was moved by Judy MacClelland and seconded by Michael Bilich to approve the Design Approval to allow the conversion of an existing 300 square foot detached secondary garage into an accessory dwelling unit. Colors and materials to consist of batt and board siding (light blue), composition shingle roofing materials (dark grey), new French doors (white), all to match the existing single-family dwelling.

RESULT: Passed

MOVER: Judy MacClelland

SECONDER: Michael Bilich

AYES: Judy MacClelland, John Scourkes, Salvador Muñoz, Belinda Taluban, Michael Bilich

NOES: None

ABSENT: Sheila Lee Prader, Kellie Morgantini

OTHER MATTERS

None

BOARD COMMENTS, REQUEST AND REFERRALS

The Board requested information on the Limekiln Creek Bridge Replacement Project. Staff will provide an update at a future meeting.

DEPARTMENT UPDATE

Secretary Angelo provided an update on the Garapatta Bridge status.

ADJOURNMENT

The meeting was adjourned by Chair Scourkes at 11:50 am

NEXT REGULAR MEETING

February 1, 2024

County of Monterey

County of Monterey Government Center
1441 Schilling Place, Salinas, CA 93901
Via Teleconference/Zoom



Meeting Minutes - Draft

Thursday, February 1, 2024

11:30 AM

**1441 Schilling Place, Salinas, CA 93901
South Building 2nd Floor, Thyme Conference Room**

Historic Resources Review Board

11:30 A.M. - CALL TO ORDER

The meeting was called to order by Phil Angelo at 11:33am

It was requested that the Board appoint a Chair Pro-Tem, as both the Chair and Vice Chair were absent.

It was moved by Belinda Taluban, seconded by Judy MacClelland and passed by the following vote to appoint Salvador Muñoz as Chair Pro-Tem.

AYES: Muñoz, Prader, MacClelland, Bilich, Taluban

ABSENT: Scourkes, Morgantini

NOES: None

ABSTAIN: None

ROLL CALL

Present:

Salvador Muñoz

Sheila Lee Prader

Judy MacClelland

Michael Bilich

Belinda Taluban

Absent:

John Scourkes

Kellie Morgantini

Secretary Phil Angelo went over the Zoom protocols.

PUBLIC COMMENT

None

AGENDA ADDITIONS, DELETIONS AND CORRECTIONS

None

OTHER MATTERS

1 Brown Act / AB 2449 Training

Robert Brayer, County Counsel provided an overview of the Brown Act/AB2449 requirements.

**2 REF240001 - CALIFORNIA DEPARTMENT OF TRANSPORTATION
(LIMEKILN CREEK BRIDGE REPLACEMENT)**

Provide comments on the Draft Environmental Impact Report (SCH# 2018091017) for the Limekiln Creek Bridge Replacement Project.

Project Location: Limekiln Creek Bridge between post mile markers 20.9-21.3, HWY 1 (Assessor's Parcel Number 422-021-002-000), Big Sur Coast Land Use Plan.

Phil Angelo presented the item.

Krista Kiaha Caltrans District 5 representative provided additional information regarding the project.

Public Comment: None

The Board asked clarifying questions on the item, and did not take any formal action on the item. Staff indicated they would prepare comments on the draft environmental impact report for the project and transmit them to Caltrans.

BOARD COMMENTS, REQUEST AND REFERRALS

Salvador Muñoz informed the Board of the Monterey County Historical Society event and Judy MacClelland informed the Board of a National Parks Service training on substitute materials.

DEPARTMENT UPDATE

None

ADJOURNMENT

The meeting was adjourned by Chair Pro-Tem Salvador Muñoz at 12:17 p.m.

NEXT REGULAR MEETING

March 7, 2024



County of Monterey

Item No.1

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: 24-135

March 07, 2024

Introduced: 2/26/2024

Current Status: Agenda Ready

Version: 2

Matter Type: General Agenda Item

PLN220327 - RIVERA STEVEN A & JUNE M TRS

Public hearing to consider recommending that the Zoning Administrator approve a Combined Development Permit to allow the construction of an 856 square foot detached accessory dwelling unit (ADU) and the removal of two protected trees including a 10 inch Coast live oak and a 33 inch Landmark Monterey Pine.

Project Location: 4161 Sunridge Road, Pebble Beach (Assessor's Parcel Numbers 008-071-011-000 & 008-071-012-000), Del Monte Forest Land Use Plan, Coastal Zone

RECOMMENDATION:

Staff recommends that the County of Monterey Historic Resources Review Board (HRRB) adopt a resolution recommending that the Zoning Administrator 1) Find the project qualifies for a class 3 exception pursuant to section 15303 of the CEQA guidelines; and 2) approve a Combined Development Permit consisting of: a) Coastal Administrative Permit and Design Approval to allow construction of an 856 square foot detached accessory dwelling unit; and b) a Coastal Development Permit to allow the removal of two protected trees including a 10 inch Coast live oak and a 33 inch Landmark Monterey Pine.

DISCUSSION:

The property is developed with a single-family residence, and associated site improvements including a driveway, fence, and landscaping. The applicants are proposing to construct a detached accessory dwelling unit.

The existing single-family residence is also known as the "Ferris Bagley House", which was listed on the Monterey County Register of Historic Resources on December 15, 2023 (Exhibit E, Board of Supervisors Resolution No. 23-224), and is subject to an approved Historic Property (Mills Act) contract. The home an example of post WWII Second Bay Region architectural design, was designed by San Francisco architect John E. Dinwiddie, and was constructed in 1948. The property is historically significant at the local level under California Register criterion 3 as an excellent and early example of Post World War Two Second Bay Region design. Its defining characteristics include its rather cubist like footprint, vertical, flush redwood board exterior wall cladding, flat roof with a slight lift toward the south and fully glazed walls in the main living area that seem to lead outdoors and to take advantage of both the intimate and far views of nature afforded by the hill-top siting of the residence.

The applicant proposes to construct a new 856 square foot detached ADU and remove two protected trees. A phase II historic report (Exhibit D, LIB240046) was prepared by Kent Seavey to evaluate whether the project would impact the historic resource onsite. It concluded that the proposed

ADU is consistent with the Secretary of the Interior's Standards for the treatment of Historic Properties, and it will not have an adverse impact on the existing historical structure.

Consistent with standard #9, the new addition will not destroy historic materials, features, or spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment. The new accessory dwelling unit will be setback 12 feet from the historic structure. The proposed colors and materials for the ADU include vertical panel siding painted to match the existing main structure, copper painted aluminum fascia, metal framed glass sliding doors, off-white stucco for the exterior staircase, black metal cable railing, metal framed windows with a white finish, with decorative black posts and a stacked stone chimney to match the existing structure. These design choices will be compatible with the architecture of the main home while not copying or mimicking its character-defining features.

Consistent with standard #10, construction of the ADU will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. The ADU will be detached with ample space between the structures, and if removed in the future the Ferris Bagely House would not be physically impacted by development as the two structures are 12 feet apart.

The Mills Act contract on the property requires that the owner rehabilitation and/or preserve the property in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. As discussed above, the project is consistent with these standards as proposed. Therefore, the project would not conflict with the provisions of the Mills Act contract.

CEQA

The proposed project qualifies for a class 3 exemption pursuant to section 15303 of the CEQA Guidelines with no exceptions to section 15300.2. The project includes new construction of a small structure and is not located in an environmentally sensitive habitat and will not have an adverse impact on any significant resources nearby. Additionally, future additions to, or demo/rebuilds of the structure, will not have a cumulative impact on the environment, there are no unusual circumstances regarding this project that will cause a significant impact to the environment, the project is not visible from any scenic highways, the project is not located on a hazardous waste site and the proposed project will not cause a substantial change to any historical resources.

Prepared by: Zoe Zepp, Assistant Planner

Reviewed and Approved by: Phil Angelo, Associate Planner

The following attachments are on file with Housing and Community Development:

- Exhibit A - Draft Resolution
- Exhibit B - Project Plans, Colors and Materials and Renderings
- Exhibit C - Phase I Historic Assessment (LIB140306)
- Exhibit D - Phase II Historic Assessment (LIB240046)
- Exhibit E - Board of Supervisors Resolution No. 23-224
- Exhibit F - Site Photos

cc: Cristo Staedler (Agent); Project File PLN220327



Historic Resources Review Board

Legistar File Number: 24-135

March 07, 2024

Introduced: 2/26/2024

Current Status: Draft

Version: 2

Matter Type: General Agenda Item

PLN220327 - RIVERA STEVEN A & JUNE M TRS

Public hearing to consider recommending that the Zoning Administrator approve a Combined Development Permit to allow the construction of an 856 square foot detached accessory dwelling unit (ADU) and the removal of two protected trees including a 10 inch Coast live oak and a 33 inch Landmark Monterey Pine.

Project Location: 4161 Sunridge Road, Pebble Beach (Assessor's Parcel Numbers 008-071-011-000 & 008-071-012-000), Del Monte Forest Land Use Plan, Coastal Zone

RECOMMENDATION:

Staff recommends that the County of Monterey Historic Resources Review Board (HRRB) adopt a resolution recommending that the Zoning Administrator 1) Find the project qualifies for a class 3 exception pursuant to section 15303 of the CEQA guidelines; and 2) approve a Combined Development Permit consisting of: a) Coastal Administrative Permit and Design Approval to allow construction of an 856 square foot detached accessory dwelling unit; and b) a Coastal Development Permit to allow the removal of two protected trees including a 10 inch Coast live oak and a 33 inch Landmark Monterey Pine.

DISCUSSION:

The property is developed with a single-family residence, and associated site improvements including a driveway, fence, and landscaping. The applicants are proposing to construct a detached accessory dwelling unit.

The existing single-family residence is also known as the "Ferris Bagley House", which was listed on the Monterey County Register of Historic Resources on December 15, 2023 (Exhibit E, Board of Supervisors Resolution No. 23-224), and is subject to an approved Historic Property (Mills Act) contract. The home an example of post WWII Second Bay Region architectural design, was designed by San Francisco architect John E. Dinwiddie, and was constructed in 1948. The property is historically significant at the local level under California Register criterion 3 as an excellent and early example of Post World War Two Second Bay Region design. Its defining characteristics include its rather cubist like footprint, vertical, flush redwood board exterior wall cladding, flat roof with a slight lift toward the south and fully glazed walls in the main living area that seem to lead outdoors and to take advantage of both the intimate and far views of nature afforded by the hill-top siting of the residence.

The applicant proposes to construct a new 856 square foot detached ADU and remove two protected trees. A phase II historic report (Exhibit D, LIB240046) was prepared by Kent Seavey to evaluate whether the project would impact the historic resource onsite. It concluded that the proposed

ADU is consistent with the Secretary of the Interior's Standards for the treatment of Historic Properties, and it will not have an adverse impact on the existing historical structure.

Consistent with standard #9, the new addition will not destroy historic materials, features, or spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment. The new accessory dwelling unit will be setback 12 feet from the historic structure. The proposed colors and materials for the ADU include vertical panel siding painted to match the existing main structure, copper painted aluminum fascia, metal framed glass sliding doors, off-white stucco for the exterior staircase, black metal cable railing, metal framed windows with a white finish, with decorative black posts and a stacked stone chimney to match the existing structure. These design choices will be compatible with the architecture of the main home while not copying or mimicking its character-defining features.

Consistent with standard #10, construction of the ADU will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. The ADU will be detached with ample space between the structures, and if removed in the future the Ferris Bagely House would not be physically impacted by development as the two structures are 12 feet apart.

The Mills Act contract on the property requires that the owner rehabilitation and/or preserve the property in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. As discussed above, the project is consistent with these standards as proposed. Therefore, the project would not conflict with the provisions of the Mills Act contract.

CEQA

The proposed project qualifies for a class 3 exemption pursuant to section 15303 of the CEQA Guidelines with no exceptions to section 15300.2. The project includes new construction of a small structure and is not located in an environmentally sensitive habitat and will not have an adverse impact on any significant resources nearby. Additionally, future additions to, or demo/rebuilds of the structure, will not have a cumulative impact on the environment, there are no unusual circumstances regarding this project that will cause a significant impact to the environment, the project is not visible from any scenic highways, the project is not located on a hazardous waste site and the proposed project will not cause a substantial change to any historical resources.

Prepared by: Zoe Zepp, Assistant Planner

Reviewed and Approved by: Phil Angelo, Associate Planner

The following attachments are on file with Housing and Community Development:

- Exhibit A - Draft Resolution
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cc: Cristo Staedler (Agent); Project File PLN220327

Exhibit A

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DRAFT RESOLUTION

Before the Historic Resources Review Board in and for the County of Monterey, State of California

Resolution No. 24-XXX

PLN220327 - RIVERA STEVEN A & JUNE M TRS

Resolution by the County of Monterey Historic Resources Review Board (HRRB) recommending that the Zoning Administrator 1) Find the project qualifies for a class 3 exception pursuant to section 15303 of the CEQA guidelines; and 2) approve a Combined Development Permit consisting of: a) Coastal Administrative Permit and Design Approval to allow construction of an 856 square foot accessory dwelling unit; and b) a Coastal Development Permit to allow the removal of two protected trees including a 10 inch Coast live oak and a 33 inch Landmark Monterey Pine.

WHEREAS, this matter was heard by the Historic Resources Review Board (HRRB) of the County of Monterey on March 7, 2024, pursuant to Title 18 Section 18.25.170 of the Monterey County Code.

WHEREAS, the project is located at 4161 Sunridge Road, Pebble Beach (Assessor's Parcel Numbers 008-071-011-000 & 008-071-012-000), Del Monte Forest Land Use Plan, Coastal Zone, and the Ferris Bagley House has been listed on the Monterey County Register of Historic resources and is under a Mills Act Contract.

WHEREAS, the property contains a single family dwelling which is referred to as the “Ferris Bagely House”, which was listed on the Monterey County Register of Historic Resources on December 15, 2023 (Exhibit D, Board of Supervisors Resolution No. 23-224), and is subject to an approved Historic Property (Mills Act) contract. The home an example of post WWII Second Bay Region architectural design, was designed by San Francisco architect John E. Dinwiddie, and was constructed in 1948. The property is historically significant at the local level under California Register criterion 3 as a good example of the Post World War Two Second Bay Region style, is listed on the Monterey County Register of Historic Resources, and is under a Mills Act Contract. Its defining characteristics include its rather cubist like footprint, vertical, flush redwood board exterior wall cladding, flat roof with a slight lift toward the south and fully glazed walls in the main living area that lead outdoors emphasizing indoor-outdoor living.

WHEREAS, Cristo Staedler (applicants agent) filed with the County of Monterey, an application for a Combined development Permit consisting of: an Administrative Permit to allow the construction of a 856 square foot detached accessory dwelling unit; and a Coastal Development Permit to allow the removal of two protected trees (one Coast live oak and one Landmark Monterey Pine).

WHEREAS, the new accessory dwelling unit and site improvements will not remove any historical features and will be compatible with the Secretary of the Interior's Standards for the treatment of Historic Properties, including Rehabilitation Standards #9 and #10. Standard #9 states that new additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment. The proposed colors and materials for the ADU include vertical panel siding painted to match the existing main structure, copper painted aluminum fascia, metal framed glass sliding doors, off-white stucco for the exterior staircase, black metal cable railing, metal framed windows with a white finish, with decorative black posts and a stacked stone chimney to match the existing structure. These design choices will be compatible with the architecture of the main home while not copying or mimicking its character-defining features. Standard #10 states that new additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. If the ADU was removed in the future, it would not impact the existing historical integrity of the Ferris Bagley House or the property. The ADU will be detached with ample space between the structures, and if removed would not physically impact the Ferris Bagley house as the two structures are 12 feet apart.

WHEREAS, the project qualifies for a class 3 exemption pursuant to section 15303 of the CEQA Guidelines with no exceptions to section 15300.2. The project includes new construction of a small structure and is not located in an environmentally sensitive habitat and will not have an adverse impact on any significant resources nearby. Additionally, future additions to, or demo/rebuilds of the structure, will not have a cumulative impact on the environment, there are no unusual circumstances regarding this project that will cause a significant impact to the environment, the project is not visible from any scenic highways, the project is not located on a hazardous waste site and the proposed project will not cause a substantial change to any historical resources.

THEREFORE, BE IT RESOLVED, that having considered all the written and documentary information submitted, oral testimony, and other evidence presented before the HRRB, the HRRB recommends approval of the Coastal Administrative Permits and Design Approval, subject to the following findings:

Finding: The project qualifies as categorically exempt from CEQA pursuant to section 15303, New Structures, of the CEQA Guidelines.

Finding: The proposed work is found to be consistent with the purposes of Monterey County Code Chapter 18.25 and will neither adversely affect the significant architectural features of the designated resource nor adversely affect the character of historical, architectural, or aesthetic interest or value of the designated resource and its site.

Finding: The use and exterior of the proposed improvements will not adversely affect and will be compatible with the use and exterior of existing designated historical resources, improvements, buildings, natural features, and structures on such site.

Evidence:

1. Regulations for the Preservation of Historic Resources as contained in Monterey County Code Chapter 18.25.
2. Board of Supervisors Resolution No. 23-224
3. Phase I Historic Assessment (LIB140306) prepared by Kent L. Seavey.
4. Phase II Historical Report (LIB240046) prepared by Kent L. Seavey.
5. Secretary of the Interior Standards for the Treatment of Historic Properties.
6. The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN220327.
7. Oral testimony and HRRB discussion during the public hearing and the administrative record.

Passed and adopted on this **7th day of March, 2024**, upon motion of _____, seconded by _____, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Attest

Philip Angelo, HRRB Secretary
March 7, 2024

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Exhibit B

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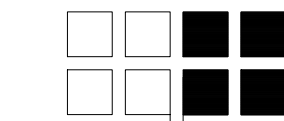
RIVERA A.D.U.

4161 Sunridge Rd.

Pebble Beach, CA 93953

GENERAL NOTES		PROJECT DATA		PROJECT TEAM																																										
<div>1. CONTRACTOR LICENSE: THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.</div> <div>2. SCOPE: THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.</div> <div>3. QUALITY CONTROL: IT IS THE DIRECT INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE OWNER AND ARCHITECT SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.</div> <div>4. WARRANTY: THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.</div> <div>5. PERMITS: UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.</div> <div>6. LEGAL/NOTICE/CODE COMPLIANCE: THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (2019 C.B.C.)</div> <div>7. CONSTRUCTION RESPONSIBILITY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.</div> <div>8. JOB SITE SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.</div> <div>9. INSURANCE: LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY, INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRE CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.</div> <div>10. INDEMNIFICATION: THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT FROM AND AGAINST ALL CLAIMS/ DAMAGES/ LOSSES/ AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.</div> <div>11. CLEANING UP: THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.</div> <div>12. EXISTING CONDITIONS: CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS, CONDITION AND EXISTING, AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.</div> <div>13. CONSTRUCTION NOTES: ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.</div> <div>14. BUILDING CODES: THIS PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA FIRE CODE (CFC), CALIFORNIA GREEN BUILDING CODE (CGBC) AND CALIFORNIA TITLE-24 ENERGY CODE.</div>		<div>ADDRESS:</div> <div>4161 Sunridge Rd. Pebble Beach, CA 93953</div> <div>LOT DATA</div> <div>LOT SIZE:</div> <div>APN 012= 0.27022942 (12,120 S.F.) APN 011=0.31055450 (13,016 S.F.) TOTAL= 25,996 S.F.</div> <div>ZONING:</div> <div>MDR/4-D(CZ)</div> <div>A.P.N.:</div> <div>008-071-011-000 & 008-071-012</div> <div>BUILDING HEIGHT:</div> <div>16 FT. MAX</div> <div>OCCUPANCY GROUP:</div> <div>GROUP R-3</div> <div>TYPE OF CONSTRUCTION:</div> <div>(V-B)</div> <div>SETBACKS</div> <div>MDR/4-D(CZ)</div> <div>REQUIRED</div> <div>PROPOSED</div> <div>FRONT</div> <div>50'</div> <div>9'-3 1/2"</div> <div>REAR</div> <div>10'</div> <div>11'-5 1/2"</div> <div>SIDE</div> <div>10'</div> <div>10'-1/2"</div> <div>ACCESSORY/ MAIN STRUCTURE</div> <div>10'</div> <div>12'-10 3/4"</div> <div>REQUIRED</div> <div>PROPOSED</div> <div>BUILDING HEIGHT</div> <div>16' MAX</div> <div>15'-10"</div> <div>(E) LOW GRADE</div> <div>606'-5"</div> <div>(E) HIGH GRADE</div> <div>607'-5"</div> <div>(E) AVERAGE NATURAL GRADE</div> <div>606'-11"</div> <div>MAXIMUM BUILDING HEIGHT</div> <div>622'-11"</div> <div>622'-9"</div> <div>ZONING</div> <div>MDR/4-D(CZ)</div> <div>ALLOWED</div> <div>PROPOSED</div> <div>BUILDING SITE COVERAGE</div> <div>9,099 S.F. (35%)</div> <div>5,133 (20%)</div> <div>LOT COVERAGE</div> <div>BUILDING LOT COVERAGE</div> <div>EXISTING MAIN RESIDENCE</div> <div>3,376 S.F. (13%)</div> <div>EXISTING EAVES OVER 30"</div> <div>037 S.F. (3.2%)</div> <div>PROPOSED A.D.U.</div> <div>056 S.F. (3.3%)</div> <div>PROPOSED A.D.U. EXTERIOR STAIRS</div> <div>64 S.F. (0.002%)</div> <div>TOTAL BUILDING SITE COVERAGE</div> <div>5,133 S.F. (20%)</div> <div>PROPOSED FLOOR AREA</div> <div>EXISTING MAIN HOUSE FLOOR AREA</div> <div>3,376 S.F.</div> <div>PROPOSED A.D.U. FLOOR AREA</div> <div>056 S.F.</div> <div>TOTAL BUILDING FLOOR AREA</div> <div>4,232 S.F.</div> <div>SITE COVERAGE- IMPERVIOUS</div> <div>ALLOWED</div> <div>9,000 S.F.</div> <div>BUILDING SITE COVERAGE</div> <div>5,002 S.F.</div> <div>PATIOS & STAIRS</div> <div>1,351 S.F.</div> <div>DRIVEWAY</div> <div>669 S.F.</div> <div>SITE WALLS</div> <div>62 S.F.</div> <div>TOTAL IMPERVIOUS COVERAGE</div> <div>7,084 S.F.</div> <div>SITE COVERAGE- PERVIOUS</div> <div>PATHS & WALKWAYS</div> <div>2,081 S.F.</div> <div>GRAVEL DRIVEWAY</div> <div>2,482 S.F.</div> <div>TOTAL PERVIOUS COVERAGE</div> <div>4,563 S.F.</div> <div>TOTAL SITE COVERAGE</div> <div>11,647 S.F.</div>		<div>OWNER:</div> <div>STEVEN RIVERA 4161 SUNRIDGE RD. PEBBLE BEACH, CA, 93953 PH: 925-922-5563</div> <div>ARCHITECT:</div> <div>ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVE. MONTEREY, CA 93940 PH: 831-372-0410 CONTACT: CRISTO STAEDLER</div> <div>SURVEYOR:</div> <div>NEAL DICKEY LAND SURVEYING 9670 Pollock Lane Fremont, CA 93907 PH: 831-320-1064 CONTACT: NEAL DICKEY</div> <div>PROJECT DESCRIPTION:</div> <div>CONSTRUCTION OF A NEW 856 S.F. ACCESSORY DWELLING UNIT, CONSISTING OF A LIVING ROOM, KITCHEN, TWO BEDROOMS, ONE BATHROOM, MECHANICAL ROOM AND ROOF DECK.</div> <div>CUT AND FILL CALCULATIONS</div> <div>CUT:</div> <div>75 CY</div> <div>FILL:</div> <div>0 CY</div> <div>NET:</div> <div>-75 CY</div> <div>WATERSHED</div> <div>PESCADERO WATERSHED</div> <div>UTILITIES</div> <div>GAS</div> <div>PACIFIC GAS & ELECTRIC</div> <div>ELECTRIC</div> <div>PACIFIC GAS & ELECTRIC</div> <div>WATER</div> <div>CALIFORNIA AMERICAN WATER</div> <div>SEWER</div> <div>PEBBLE BEACH COMMUNITY SERVICES</div>		<div>SHEET INDEX</div> <table><thead><tr><th>SHEET NUMBER</th><th>SHEET NAME</th><th>SCALE</th></tr></thead><tbody><tr><td>A-0.1</td><td>COVER SHEET</td><td></td></tr><tr><td>A-0.2</td><td>TOPOGRAPHIC MAP</td><td>N.T.S.</td></tr><tr><td>A-1.1</td><td>SITE PLAN</td><td>1/8"=1'-0"</td></tr><tr><td>A-2.1</td><td>FLOOR PLANS</td><td>1/4"=1'-0"</td></tr><tr><td>A-3.1</td><td>SOUTH / WEST ELEVATIONS</td><td>1/4"=1'-0"</td></tr><tr><td>A-3.2</td><td>NORTH / EAST ELEVATION</td><td>1/4"=1'-0"</td></tr><tr><td>A-4.1</td><td>WALL SECTION</td><td>1"=1'-0"</td></tr><tr><td>A-7.1</td><td>MATERIAL SAMPLES</td><td></td></tr><tr><td>A-7.2</td><td>RENDERINGS</td><td></td></tr><tr><td>A-7.3</td><td>REVISION DIAGRAMS</td><td></td></tr><tr><td>A-7.4</td><td>CONTEXT PHOTOS</td><td></td></tr><tr><td>EL-1.1</td><td>EXTERIOR LIGHTING</td><td>1/4"=1'-0"</td></tr></tbody></table>		SHEET NUMBER	SHEET NAME	SCALE	A-0.1	COVER SHEET		A-0.2	TOPOGRAPHIC MAP	N.T.S.	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CONSULTANT:

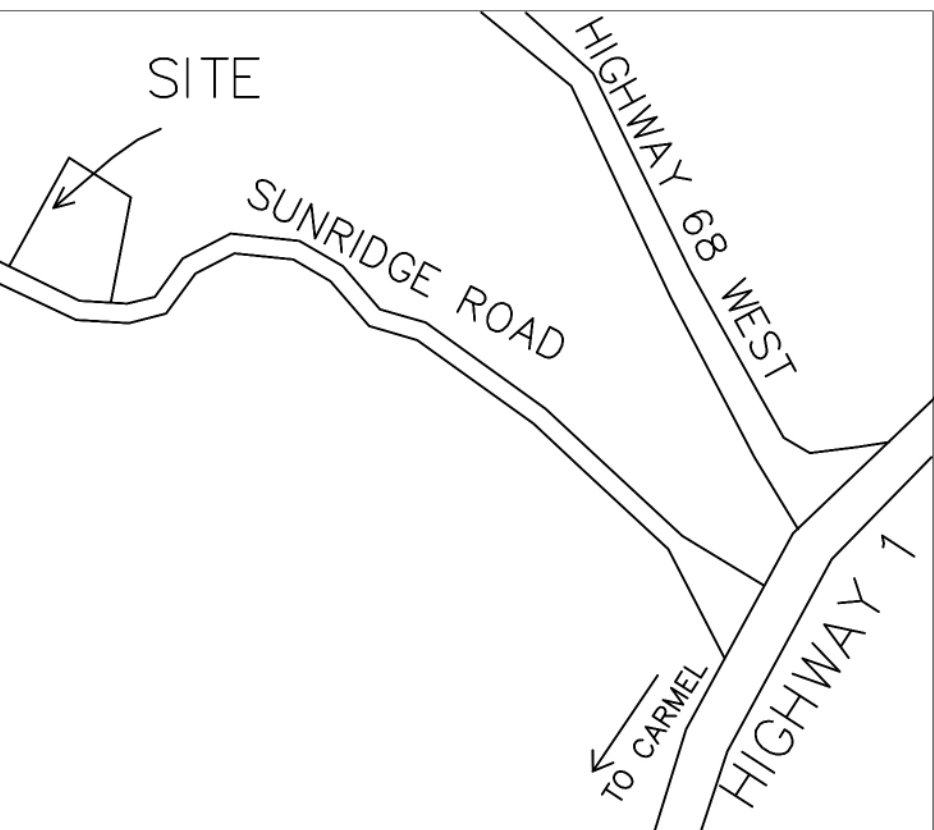
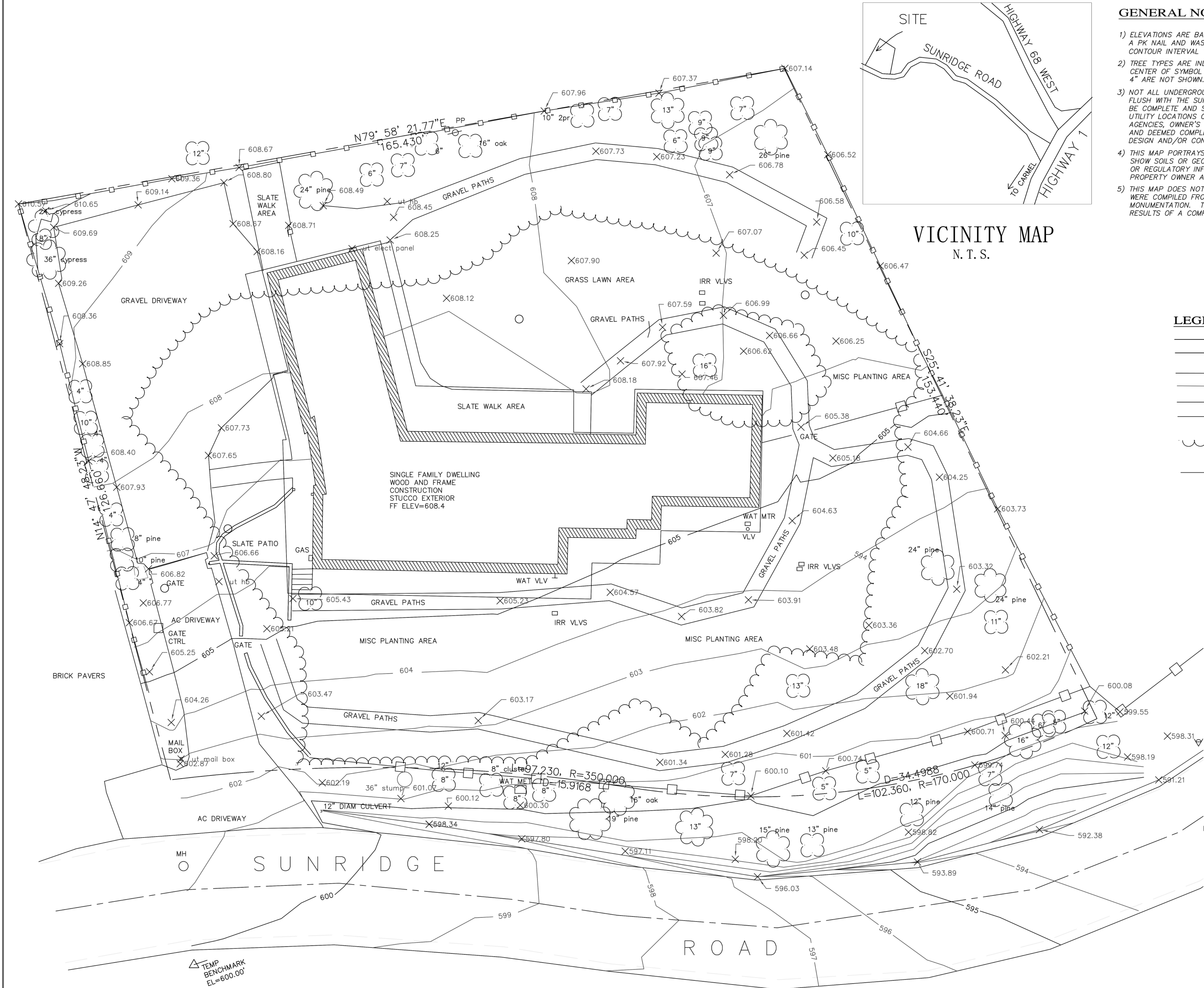


ARCHITECT:
ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

COVER SHEET
Job Name:
Rivera A.D.U.
4161 Sunridge Rd.
Pebble Beach, CA 93953
A.P.N. 008-071-011 & 012-000

DATE: 9/11/23
SCALE:
DRAWN: C.S.
JOB NO.: 22.09

A-0.1
SHEET OF



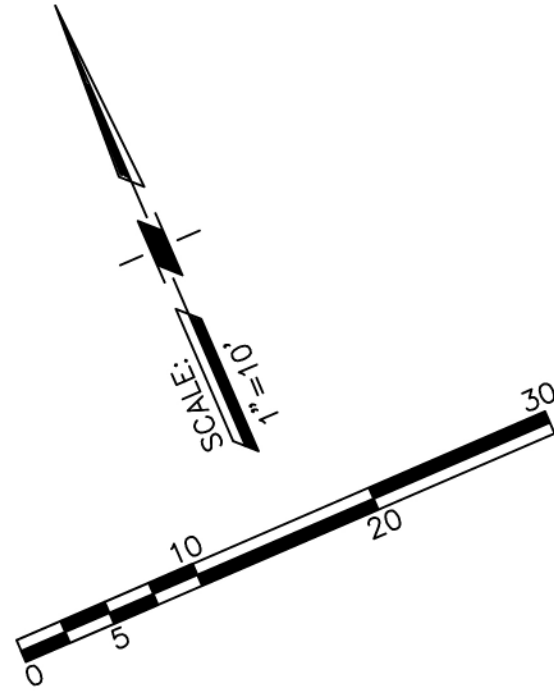
VICINITY MAP
N. T. S.

GENERAL NOTES

- 1) ELEVATIONS ARE BASED ON ARBITRARY ELEVATION OF 600' AT CONTROL POINT #100 A PK NAIL AND WASHER SET IN AC ROADBED ON EASTBOUND SIDE SUNRIDGE ROAD CONTOUR INTERVAL 1'.
- 2) TREE TYPES ARE INDICATED WHEN KNOWN. TREES ARE LABELED IN INCHES. CENTER OF SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 4" ARE NOT SHOWN.
- 3) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- 4) THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (6/11/22) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- 5) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

LEGEND:

- DOUBLE YELLOW STRIPE CL ROAD
- PROPERTY BOUNDARY LINE
- MAJOR CONTOUR LINE (5' INTERVAL)
- MINOR CONTOUR LINE (1' INTERVAL)
- ASPHALT EDGE
- CONCRETE EDGE
- TREE CANOPY AND TREES
- FENCE LINE
- SPOT ELEVATION
- SET TEMPORARY CONTROL POINT
- STRUCTURES



TOPOGRAPHIC MAP
OF
4161 SUNRIDGE ROAD, PEBBLE BEACH, CA

SCALE: 1"=10'
DATE: JUNE 14, 2022
PREPARED: NCD

No.	DATE	BY	REVISION

SHEET 1
OF 1 SHEETS

NEAL DICKEY
LAND SURVEYING
LAND SURVEYING - ELEVATION CERTIFICATES
AERIAL PHOTOGRAPHY ALTA SUBDIVISIONS
9070 POLLOCK LANE, SALINAS, CA 93907
nealdsurvey@gmail.com 831-320-1864

APPROVED BY:
Neal Dickey
NEAL DICKEY
P.L.S. No. 8296



REVISION	No.

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NY 7116

Rivera A.D.U.

4161 Sunridge Rd.

Pebble Beach, CA 93953

A.P.N. 008-071-011 & 012-000

TE: 9/11/23

ALE: $1/8'' = 1'-0''$

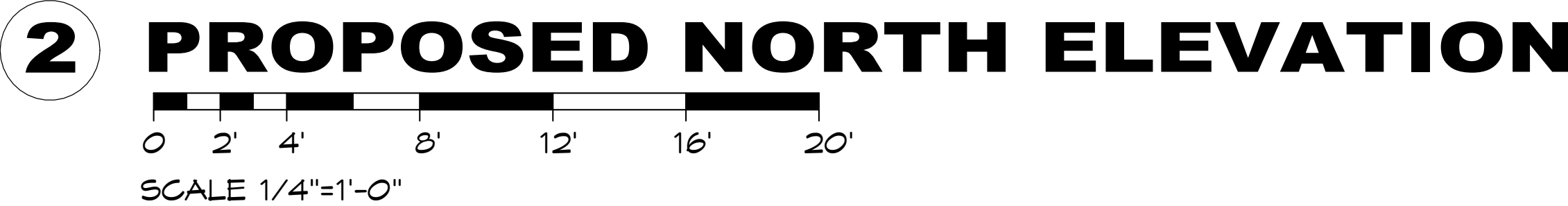
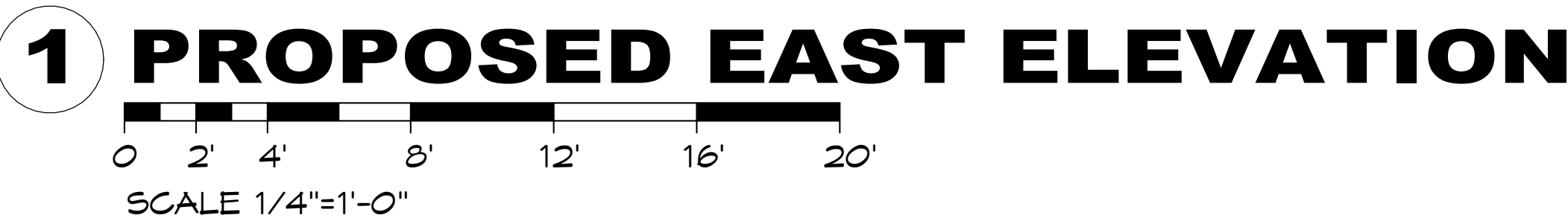
AWN C.S.

B NO. 22.08

A-1.1



MAIN FLOOR AREA	856 SF
PATIO	163 SF
ROOF DECK (USABLE AREA)	240 SF



A-3.2

9/11/2023 10:46:53 AM C:\Users\erica\OneDrive\Work Files\Green\Green 24 submittal
THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN ANY MANNER, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. TITLE TO THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



WAC LED STEP LIGHT-2 WATTS

TAPER LED WALL SCONCE BY HINKLEY LIGHTING-8 AND 11 WATTS

10 EXTERIOR LIGHTING



OFF-WHITE STUCCO

11 SMOOTH PLASTER



FLUTED WOOD SLAT PANEL CEILING AND SOFFIT

12 SOFFIT



COPPER PAINTED ALUMINUM FASCIA TO MATCH EXISTING

7 FASCIA (MATCH EXISTING)



BLACK METAL CABLE RAILING

8 RAILING

DURO-LAST® 50-MIL MEMBRANE

Advantages:
Duro-Last® 50-Mil (DL50) is an excellent choice for projects requiring a long lasting, energy efficient roofing membrane. The membrane is available in custom-fabricated sections or as roll goods. A complete line of custom-fabricated accessories and parapets are available for use with DL50.

Description:
DL50 is composed of PVC film laminated to both sides of a reinforcement fabric (well-inserted scrim).

Duro-Last membranes must not be used with Duro-Last EV membranes.

PVC Film - Proprietary thermoplastic PVC formulation of resins, plasticizers, stabilizers, biocides, flame retardants, and U.V. absorbers.

- PVC film above well-inserted scrim - 28 mil, nominal

Well-Inserted Scrim - An 18 x 14 polyester fabric construction with well insertion, composed of 840 x 1000 denier threads, provides superior tear and puncture resistance. The polyester thread is treated to prevent wicking.

Total Thickness - 50 mil, nominal.



Cool Roof Rating Council (CRRC)							
	CRRC ID	Solar Reflectance	Thermal Emittance	Solar Reflectance Index (SRI)			
White	0610-0001a	Initial	3-yr	Initial	3-yr	Initial	3-yr
		0.86	0.74	0.89	0.89	108	91
Tan	0610-0005	Initial	3-yr	Initial	3-yr	Initial	3-yr
		0.39	0.33	0.89	0.89	43	35
Gray	0610-0004	Initial	3-yr	Initial	3-yr	Initial	3-yr
		0.47	0.40	0.89	0.89	54	45
Dark Gray	0610-0006	Initial	3-yr	Initial	3-yr	Initial	3-yr
		0.26	0.25	0.87	0.89	25	25
Terra Cotta	0610-0009	Initial	3-yr	Initial	3-yr	Initial	3-yr
		0.26	0.24	0.89	0.88	26	23



9 ROOFING



PAINT TO MATCH EXISTING MAIN HOUSE



HARDIE® PANEL VERTICAL SIDING
SIERRA 8

This combination of texture and linear detail adds dimension without getting too fussy.

4 EXTERIOR SIDING



MATCH EXISTING SLATE PAVERS

5 PATIO/ DECK (MATCH EXISTING)



PAINTED BLACK POSTS TO MATCH EXISTING BLACK ACCENTS ON MAIN RESIDENCE



EXISTING BLACK ACCENTS ON MAIN RESIDENCE

6 POSTS



METAL FRAME GLASS SLIDING DOOR WITH WHITE FINISH

1 FRONT ENTRY DOOR



MATCH COLOR OF EXISTING WHITE TRIM WINDOWS AND DOORS



METAL FRAME WINDOWS WITH WHITE FINISH

2 FRAMED GLASS/ WINDOWS



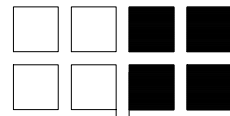
STACKED STONE TO MATCH EXISTING CHIMNEY



3 STONE (MATCH EXISTING)

REVISION	No.

CONSULTANT:



ARCHITECT:
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MATERIAL SAMPLES

Job Name:

Rivera A.D.U.

4161 Sunridge Rd.

Pebble Beach, CA 94953

A.P.N. 008-071-011 & 012-000

DATE:	9/11/23
SCALE:	
DRAWN	C.S.
JOB NO.	22.08

A-7.1
SHEET OF

CONSULTANT:

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REFERENCES

Job Name: **Rivera A.D.U.**

4161 Sunrise Rd.
Pebble Beach, CA 93953

A.P.N. 008-071-011 & 012-000

DATE: 9/11/23

RAWN C.S.

IB NO. 22.08

A-7.2



ENTRY PERSPECTIVE FROM MAIN RESIDENCE BACKYARD



AERIAL PERSPECTIVE OF VIEW DECK



AERIAL PERSPECTIVE OF MAIN RESIDENCE AND ADULT CHILDREN'S RESIDENCES



PERSPECTIVE OF SOUTH FACADE FACING SUNRIDGE RD

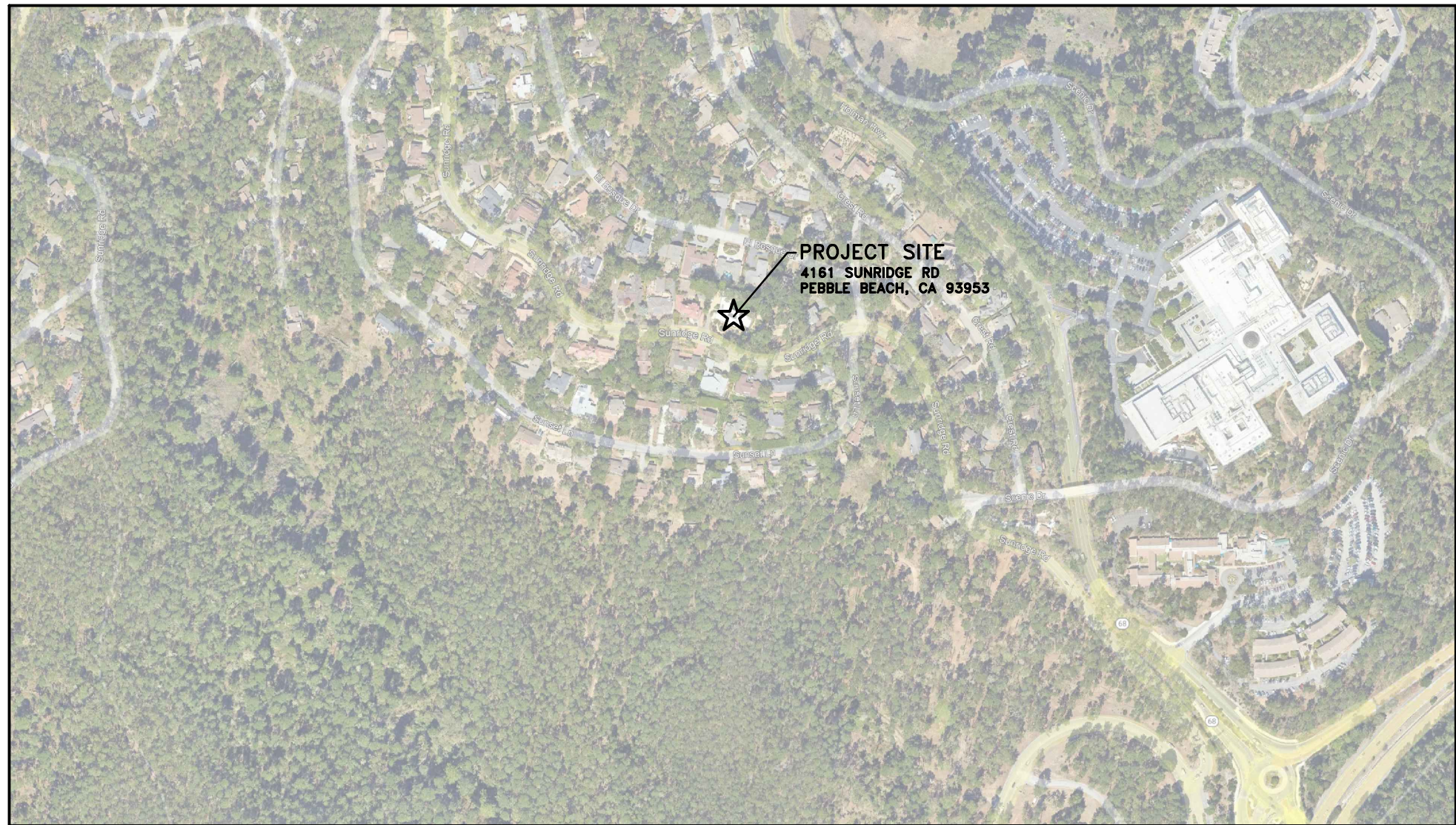
GRADING, DRAINAGE, & EROSION CONTROL PLAN

OF

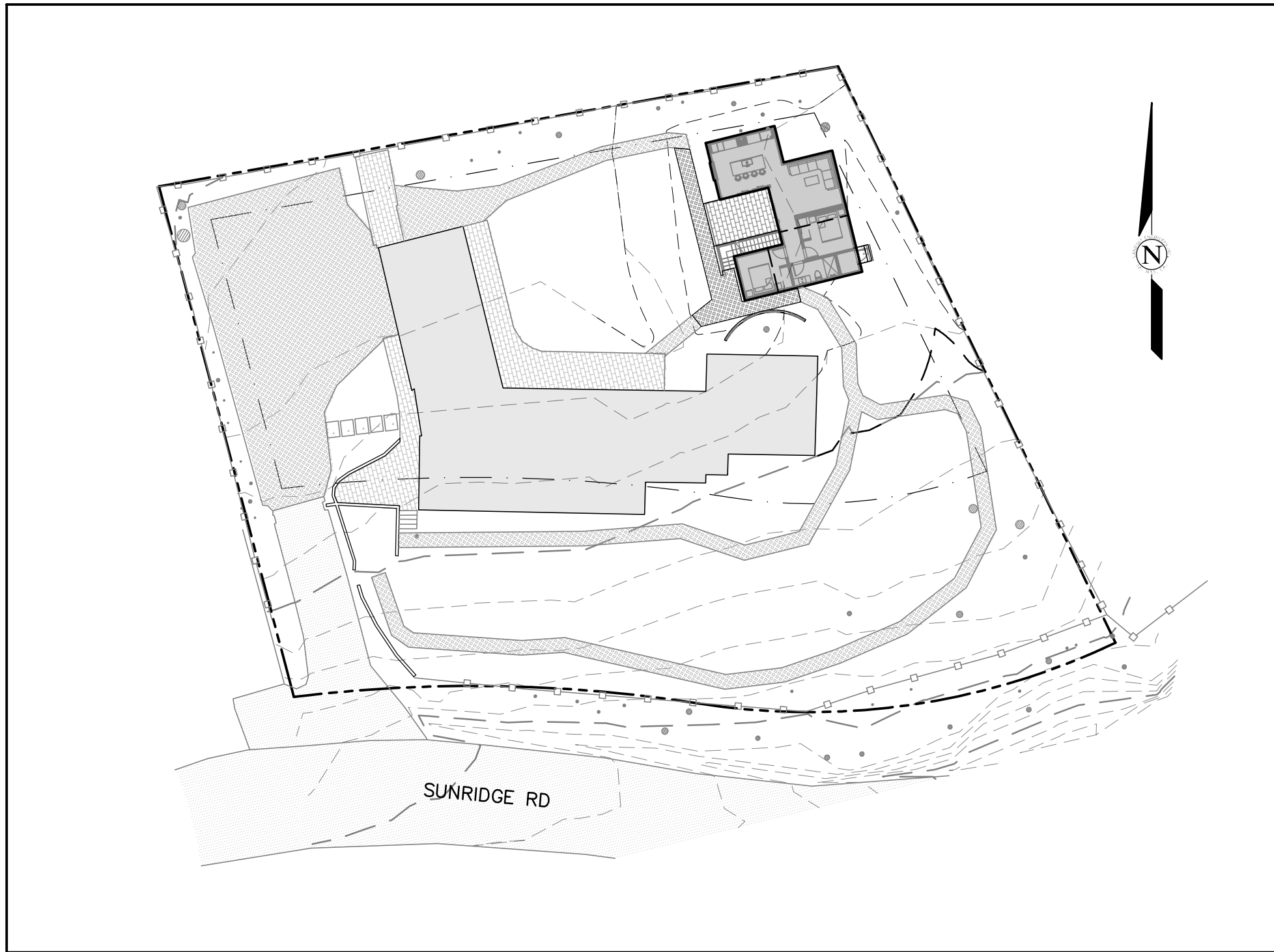
THE RIVERA RESIDENCE

APN: 008-071-012

PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA



VICINITY MAP
NOT TO SCALE



LOT OVERVIEW
SCALE: 1" = 30'

GENERAL NOTES:

- PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE RIVERA RESIDENCE (SHEET A-1.1 PREPARED BY ERIC MILLER ARCHITECTS) & THE BASE TOPOGRAPHIC INFORMATION PREPARED BY NEAL DICKEY LAND SURVEYING, DATED JUNE 2022.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUBSURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE LATEST MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE; THE RECOMMENDATIONS FOUND IN THE PROJECT'S SOIL ENGINEERING INVESTIGATION PREPARED BY THE SOIL ENGINEER; THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS; THE GOVERNING PUBLIC AGENCIES; THE LATEST REVISION OF THE CALIFORNIA BUILDING CODE (CBC); AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 75 CUBIC YARDS OF CUT AND 0 CUBIC YARDS OF FILL TOTAL WITH A NET EXCESS OF 75 CUBIC YARDS. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. ARE NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOILS REPORT AND BE APPROVED BY THE SOIL ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10' PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO DO SO AND FOR USE IN GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND THE FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10'. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10' OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 2% WHERE LOCATED WITHIN 5' OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE ACCOMPLISHED BY THE USE OF GUTTERS AND DOWNSPOUTS. THE UPPER DECK SHALL BE SLOPED AT A MINIMUM OF 1% AND AREA DRAINS SHALL BE INSTALLED AT THE LOW POINTS. THESE AREA DRAINS SHALL THEN CONNECT TO DOWNSPOUTS (SEE ARCHITECTURAL PLANS FOR DETAILS). THE DOWNSPOUTS SHALL BE CONNECTED TO RAINWATER LEADERS AND TIED INTO THE STORM DRAIN SYSTEM AS SHOWN ON THE SITE UTILITY PLAN. DOWNSPOUTS THAT ARE NOT CONNECTED TO A RAINWATER LEADER SHALL OUTLET ONTO SPLASH BLOCKS. RAINWATER LEADERS SHALL BE CONSTRUCTED WITH 4" SDR35 PVC PIPE. UNDER NO CIRCUMSTANCES SHALL A RAINWATER LEADER BE CONNECTED TO A SUBDRAIN LINE.
- SURFACE RUNOFF SHALL BE COLLECTED BY A SYSTEM OF SWALES AND DRAINS. CAPTURED STORMWATER SHALL BE PIPED TO A DRY WELL AS SHOWN ON THE SITE UTILITY PLAN. STORM DRAIN LINES SHALL DRAIN BY GRAVITY AND BE SLOPED AT A MINIMUM OF 2% TO AN OUTLET. WHERE A 2% SLOPE IS IMPRACTICAL, PIPES SHALL BE SLOPED AT NO LESS THAN 1%. STORM DRAIN LINES SHALL HAVE A MINIMUM COVER OF 12" AND SHALL BE CONSTRUCTED WITH SDR35 PVC PIPE, SIZED AS INDICATED.
- TRENCH DRAINS SHALL BE NDS CHANNEL DRAINS, SIZED AS INDICATED ON THE SITE UTILITY PLAN. FLAT-BOTTOMED CHANNELS SHOULD BE SLOPED AT A MINIMUM OF 0.5% TO AN OUTLET IN ORDER TO ENSURE PROPER DRAINAGE AND PREVENT STANDING WATER IN THE TRENCH. ANY CHANNEL SLOPED AT LESS THAN 0.5% SHALL HAVE OUTLETS SPACED AT NO MORE THAN 10'. GRATES AND CHANNELS SHALL HAVE A LOAD RATING GREATER THAN OR EQUAL TO THE EXPECTED LOADING IN THE INSTALLATION AREA. ALL TRENCH DRAINS SHALL BE SURROUNDED BY A MINIMUM OF 4" OF CONCRETE. TRENCH DRAINS SHOULD BE SIZED TO HANDLE THE PEAK RUNOFF RATE PRODUCED BY A 10-YEAR DESIGN STORM.
- SUBSURFACE WATER BEHIND ANY RETAINING WALLS SHALL BE CONTROLLED BY THE INSTALLATION OF SUBDRAINS. SUBDRAIN LINES SHALL BE CONSTRUCTED WITH PERFORATED 4" SDR35 PVC PIPE PLACED WITH THE HOLES FACING DOWNWARD. COLLECTED WATER SHALL DRAIN TO DAYLIGHT AT A MINIMUM SLOPE OF 1% AS SHOWN ON THE SITE UTILITY PLAN. PIPES CARRYING SURFACE WATER OR ROOF WATER SHALL NOT UNDER ANY CIRCUMSTANCES OUTLET INTO A SUBDRAIN LINE. THE SYSTEM OF SUBDRAINS SHOULD REMAIN INDEPENDENT OF THE SURFACE STORM DRAIN SYSTEM.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- SPECIAL INSPECTIONS BY A SPECIAL INSPECTOR ARE REQUIRED DURING FILL PLACEMENT TO ENSURE PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT, AND PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- STOP WORK WITHIN 50 METERS (165') OF UNCOVERED RESOURCE AND CONTACT THE MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

LEGEND:

---	PROPERTY BOUNDARY		EXISTING RESIDENCE FOOTPRINT		CATCH BASIN
- - -	SETBACK		PROPOSED BUILDING FOOTPRINT		AREA DRAIN
---	MAJOR CONTOUR (5' INTERVAL)		ASPHALT CONCRETE		ENERGY DISSIPATOR
- - -	MINOR CONTOUR (1' INTERVAL)		PORTLAND CEMENT CONCRETE		DRY WELL
---	RETAINING WALL		GRAVEL		TREE
---	SWALE FLOW LINE		IMPERVIOUS PAVERS		TREE TO BE REMOVED
- - - - -	STORM DRAIN PIPE				
- - - - -	RAINWATER LEADER				

ABBREVIATIONS:

Ø	= DIAMETER	EX	= EXISTING	PVC	= POLYVINYL CHLORIDE
AB	= AGGREGATE BASE	FC	= FLUSH CURB	RC	= RELATIVE COMPACTION
ABAN	= ABANDON	FD	= FIRE DEPARTMENT	RES	= RESIDENCE
AC	= ASPHALT CONCRETE	FF	= FINISHED FLOOR	RM	= ROOM
AD	= AREA DRAIN	FG	= FINISHED GRADE	RND	= ROUND
ADD	= ADDITION	FL	= FLOWLINE	RW	= RETAINING WALL
ADU	= ACCESSORY DWELLING UNIT	FM	= FORCE MAIN	RWL	= RAINWATER LEADER
BC	= BEGINNING OF CURVE	FP	= FINISHED PAD	SD	= STORM DRAIN
B.E.	= BUILDING ENVELOPE	GAR	= GARAGE	SF	= SQUARE FEET
BLDG	= BUILDING	GB	= GRADE BREAK	SG	= SUBGRADE
BOT	= BOTTOM	GR	= GRATE	SO	= SQUARE
BSMT	= BASEMENT	HDPE	= HIGH-DENSITY POLYETHYLENE	SS	= SANITARY SEWER
BVC	= BEGINNING OF VERTICAL CURVE	HP	= HIGH POINT	STA	= STATION
CB	= CATCH BASIN	HT	= HEIGHT	STN	= STONE
CF	= CUBIC FEET	INV	= PIPE INVERT	STP	= STEP
CL	= CENTERLINE	JB	= JUNCTION BOX	SUBD	= SUBDRAIN
CO	= CLEANOUT	JT	= JOINT TRENCH	TBR	= TO BE REMOVED
CONC	= CONCRETE	LF	= LINEAR FEET	TD	= TRENCH DRAIN
CY	= CUBIC YARDS	LP	= LOW POINT	TW	= TOP OF WALL
DG	= DECOMPOSED GRANITE	MAX	= MAXIMUM	TYP	= TYPICAL
DK	= DECK	MIN	= MINIMUM	U.N.O.	= UNLESS NOTED OTHERWISE
DS	= DOWNSPOUT	OC	= ON-CENTER	VC	= VERTICAL CURB
DWY	= DRIVEWAY	OUT	= OUTLET	VIF	= VERIFY IN FIELD
EC	= END OF CURVE	PCC	= PORTLAND CEMENT CONCRETE	W/	= WITH
EG	= EXISTING GROUND	PERF	= PERFORATED	W/O	= WITHOUT
ESMT	= EASEMENT	PERM	= PERMEABLE	WD	= WOOD
EVC	= END OF VERTICAL CURVE	PL	= PROPERTY LINE		
EW	= EACH WAY	POC	= POINT OF CONNECTION		

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	GRADING & DRAINAGE PLAN
SHEET C3	CONSTRUCTION DETAILS
SHEET C4	EROSION & SOURCE CONTROL PLAN
SHEET C5	CONSTRUCTION MANAGEMENT PLAN

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection Item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	SOIL ENGINEER	Beginning of Project		
Subexcavation, fill placement, and compaction	SOIL ENGINEER	Throughout grading operations		
Foundation Excavations	SOIL ENGINEER	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	SOIL ENGINEER	Prior to trench backfill		
Utility trench compaction	SOIL ENGINEER	During backfill operations		
Retaining wall backfill compaction	SOIL ENGINEER	During backfill operations		
Baserock subgrade compaction	SOIL ENGINEER	Prior to pavement installation		

STORMWATER CONTROL NOTES:

- THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- THIS PROJECT SHALL IMPLEMENT THE FOLLOWING STRATEGIES: MINIMIZE COMPACTION OF HIGHLY PERMEABLE SOILS; LIMIT CLEARING AND GRADING OF NATIVE VEGETATION; MINIMIZE IMPERVIOUS SURFACES AND LEAVE THE REMAINING LAND IN A NATURAL UNDISTURBED STATE; MINIMIZE STORMWATER RUNOFF BY DIRECTING RUNOFF FROM PATIOS, PORCHES, AND DRIVEWAYS ONTO VEGETATED AREAS AND DIRECTING ROOF RUNOFF INTO AN INFILTRATION SYSTEM SAFELY AWAY FROM BUILDING FOUNDATIONS AND FOOTINGS, CONSISTENT WITH THE CALIFORNIA BUILDING CODE.

CONTACT INFORMATION:

OWNER:
STEVEN RIVERA
4161 SUNRIDGE RD
PEBBLE BEACH, CA 93953

ARCHITECT:
CRISTO STAEDLER
ERIC MILLER ARCHITECTS
211 HOFFMAN AVE
MONTEREY, CA 93940

SITE LOCATION:
4161 SUNRIDGE RD
PEBBLE BEACH, CA 93953

	07/27/23	JAN	RELEASED TO CLIENT		
No.	DATE	BY	REVISION		

"COVER SHEET"

GRADING, DRAINAGE, & EROSION CONTROL PLAN

OF

THE RIVERA RESIDENCE

APN: 008-071-012

PEBBLE BEACH, CALIFORNIA

FOR

STEVEN RIVERA

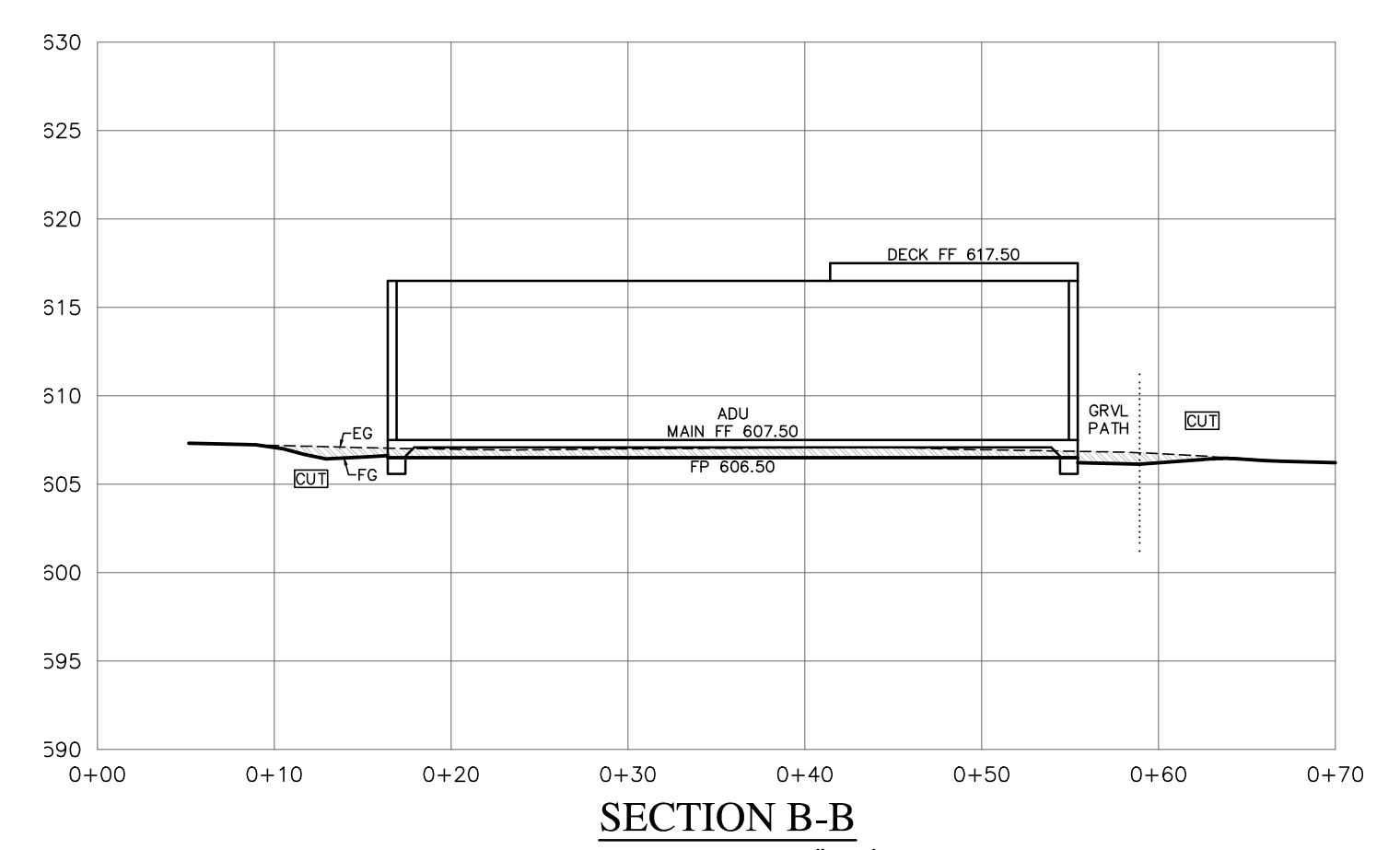
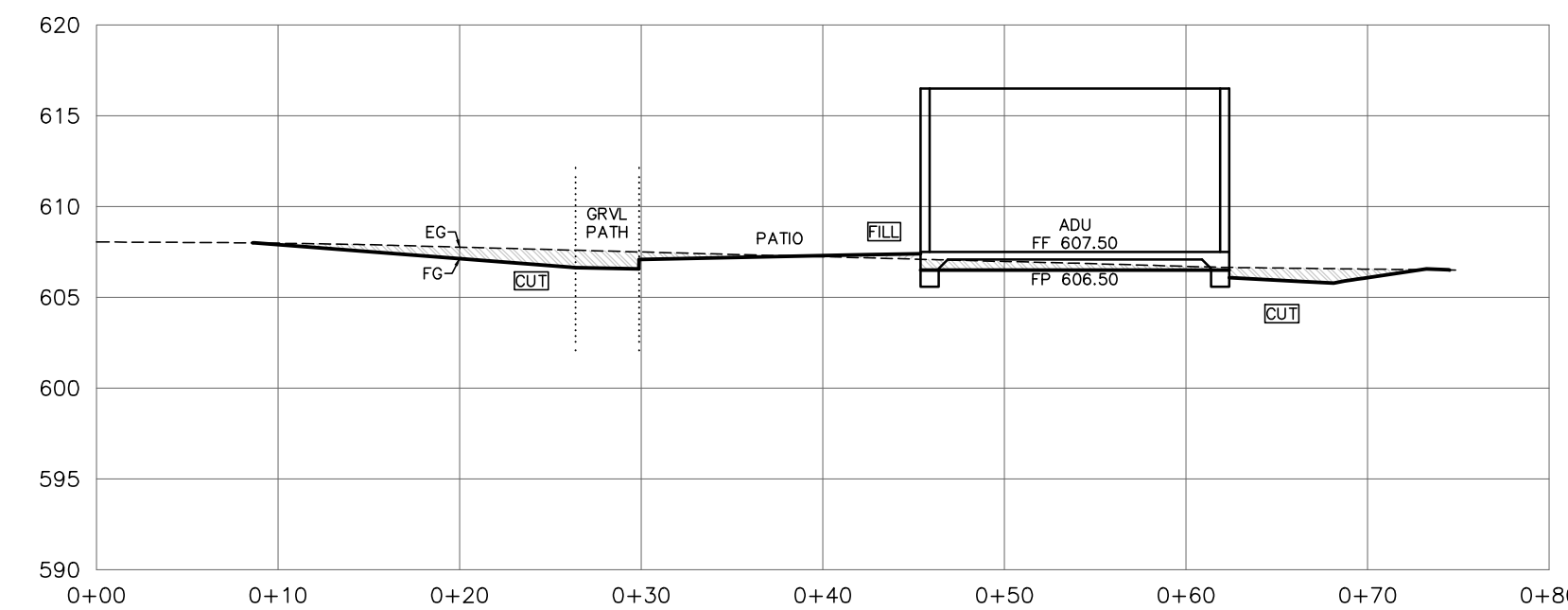
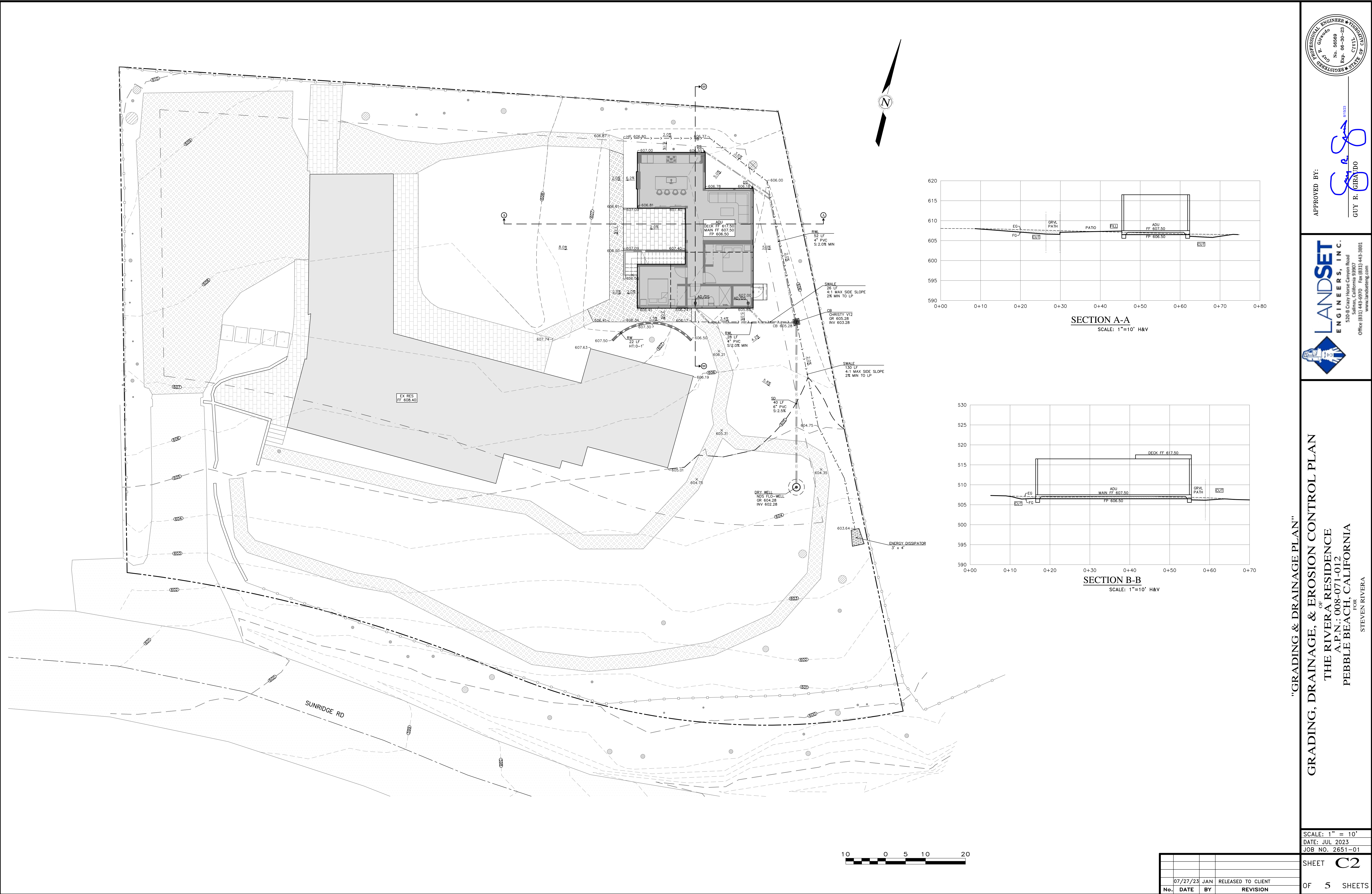
SCALE: AS SHOWN

DATE: JUL 2023

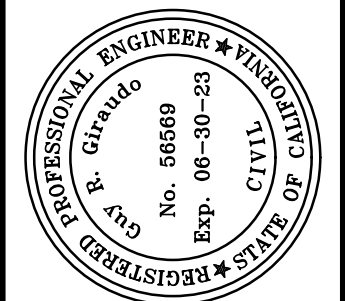
JOB NO. 2651-01

SHEET C1

OF 5 SHEETS



"GRADING & DRAINAGE PLAN"
GRADING, DRAINAGE, & EROSION CONTROL PLAN
OF
THE RIVERA RESIDENCE
A.P.N.: 008-071-012
PEBBLE BEACH, CALIFORNIA
FOR
STEVEN RIVERA

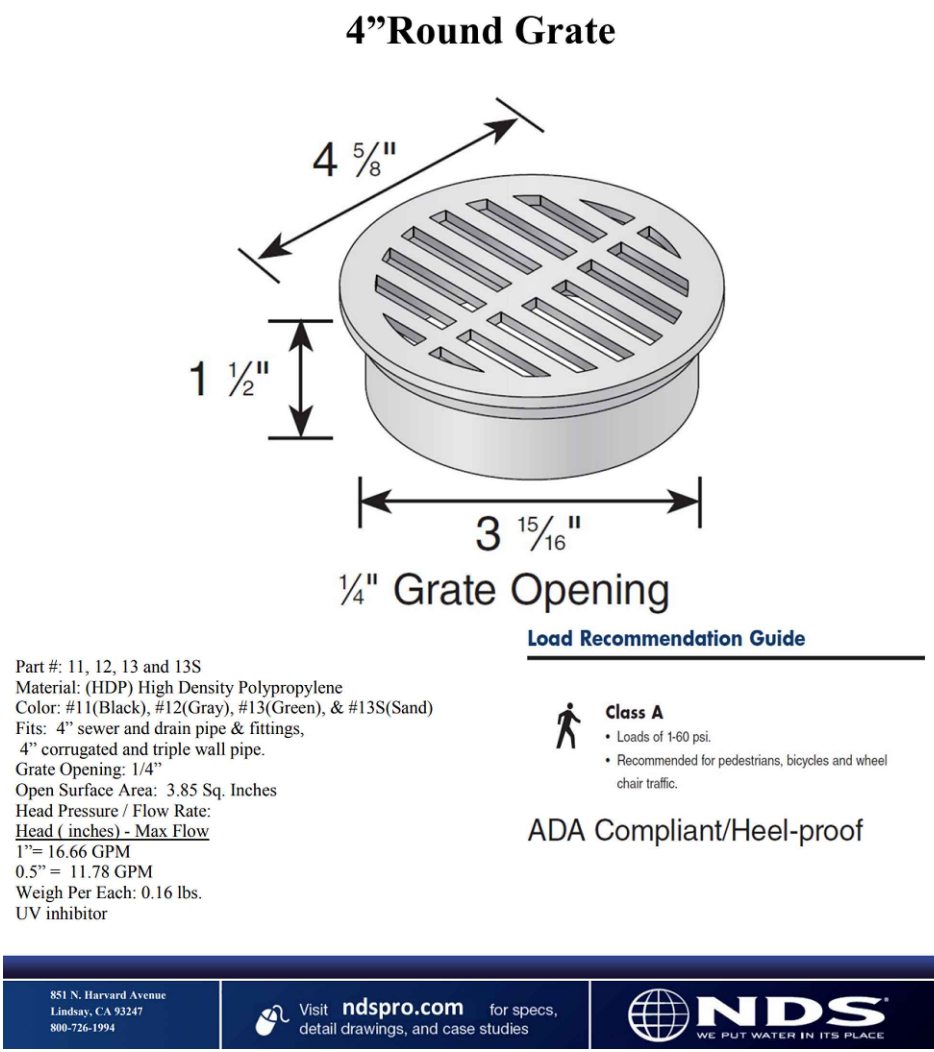


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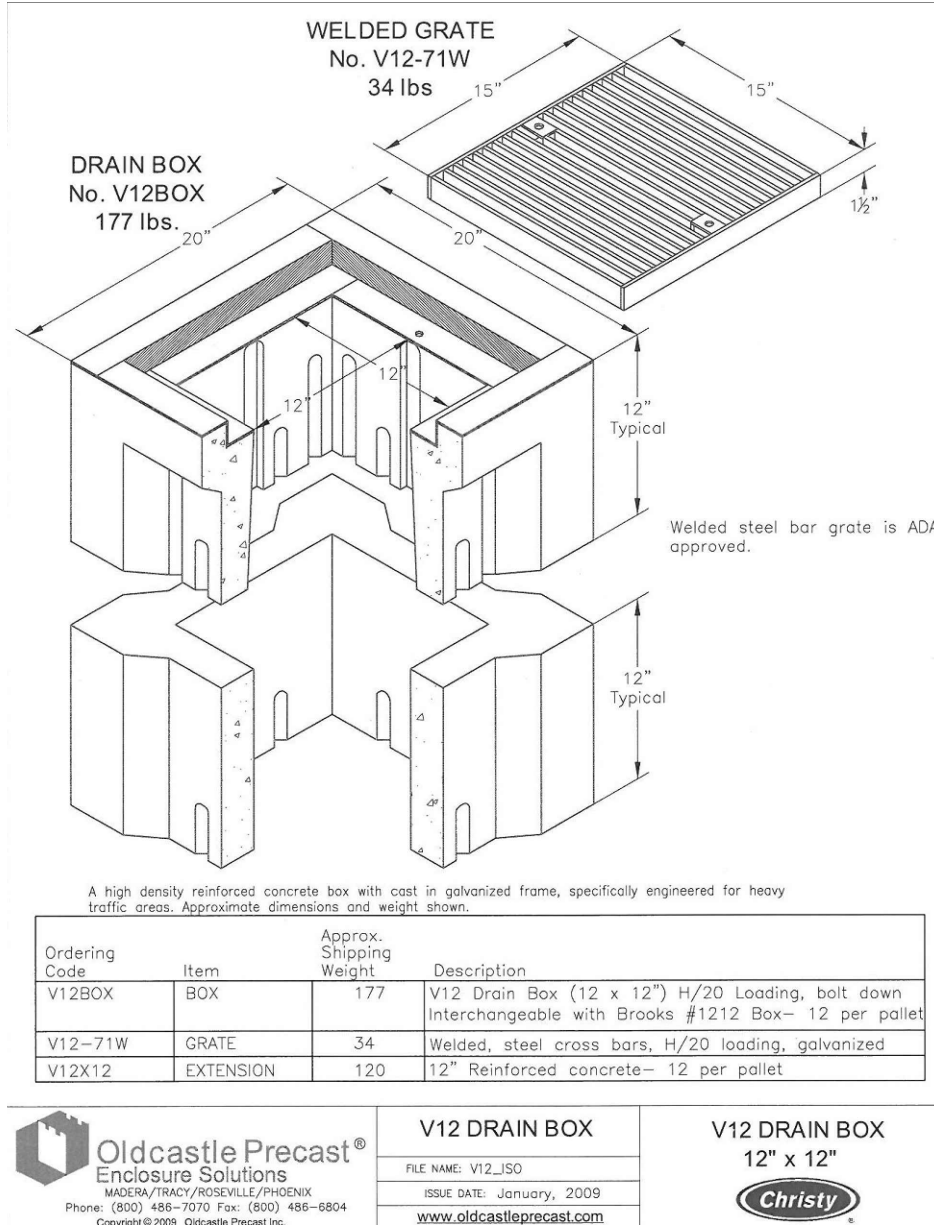
GUY R. GIRARDO



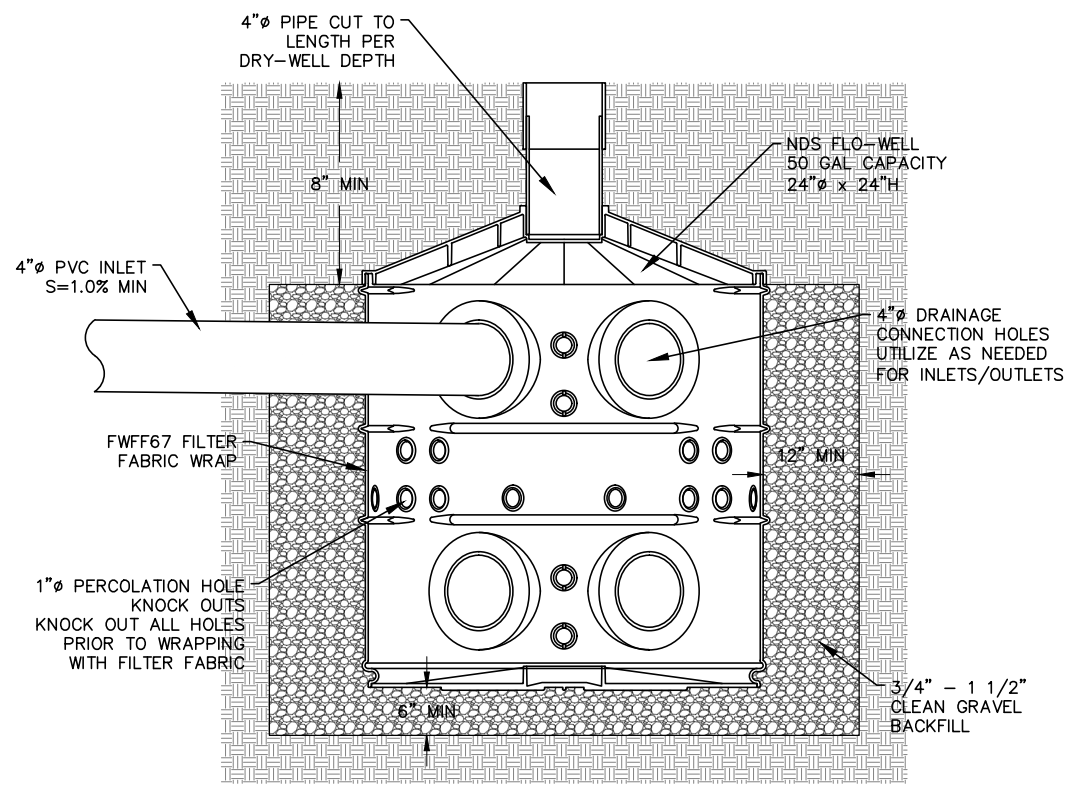
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DATE: JUL 2023			
JOB NO. 2651-01			
SHEET		C2	
OF		5 SHEETS	
No.	DATE	BY	REVISION
	07/27/23	JAN	RELEASED TO CLIENT



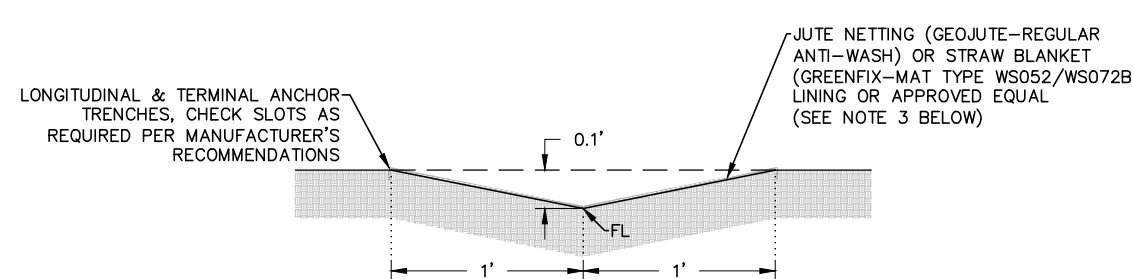
1 NDS 4" ROUND GRATE



2 CHRISTY V12 CATCH BASIN

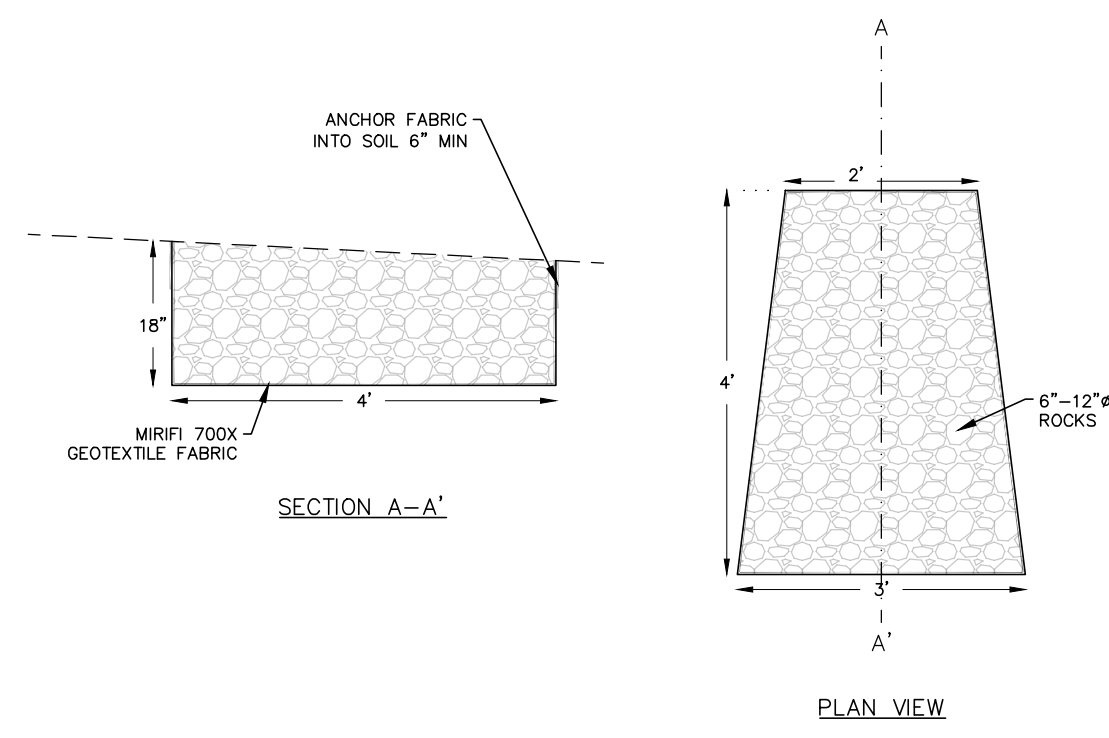


3 DRY WELL SYSTEM



1. LONGITUDINAL SLOPE SHALL NOT BE LESS THAN 1% OR GREATER THAN 20%.
2. THE SWALE SHALL BE REVEGETATED WITH NATIVE GRASSES BY A HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER UNTIL GROWTH IS ESTABLISHED.
3. IF THE SWALE DOES NOT HAVE ADEQUATE GROWTH ESTABLISHED PRIOR TO THE ONSET OF THE WINTER SEASON, OCTOBER 15, IT SHALL BE LINED WITH JUTE NETTING OR STRAW BLANKETS AND PROPERLY SECURED (ANCHORED AND FASTENED) AS OUTLINED PER THE MANUFACTURER'S GUIDELINES AND SPECIFICATIONS IN ORDER TO FUNCTION PROPERLY AND PREVENT ACCELERATED EROSION.
4. IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO REGULARLY MAINTAIN THE SWALE AS NEEDED FROM EXCESSIVE GROWTH AND/OR SILTATION.
5. GRADED SWALE SHALL BE PROOF-ROLLED AND/OR MECHANICALLY COMPACTED TO MINIMUM 85% RELATIVE COMPACTION.

4 EARTH SWALE



5 ENERGY DISSIPATOR

6 NOT USED

7 NOT USED

8 NOT USED

9 NOT USED

10 NOT USED

11 NOT USED

12 NOT USED

13 NOT USED

14 NOT USED

"CONSTRUCTION DETAILS"

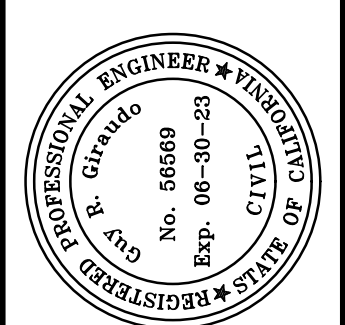
GRADING, DRAINAGE, & EROSION CONTROL PLAN
OF
THE RIVERA RESIDENCE
A.P.N.: 008-071-012
PEBBLE BEACH, CALIFORNIA
STEVEN RIVERA

SCALE: AS SHOWN
DATE: JUL 2023
JOB NO. 2651-01

SHEET C3

OF 5 SHEETS

No.	DATE	BY	REVISION
07/27/23	JAN	RELEASED TO CLIENT	



APPROVED BY:
#10223
GUY R. GIRARDINO



"EROSION & SOURCE CONTROL PLAN"

GRADING, DRAINAGE, & EROSION CONTROL PLAN
OF
THE RIVERA RESIDENCE
A.P.N.: 008-071-012
PEBBLE BEACH, CALIFORNIA
STEVEN RIVERA

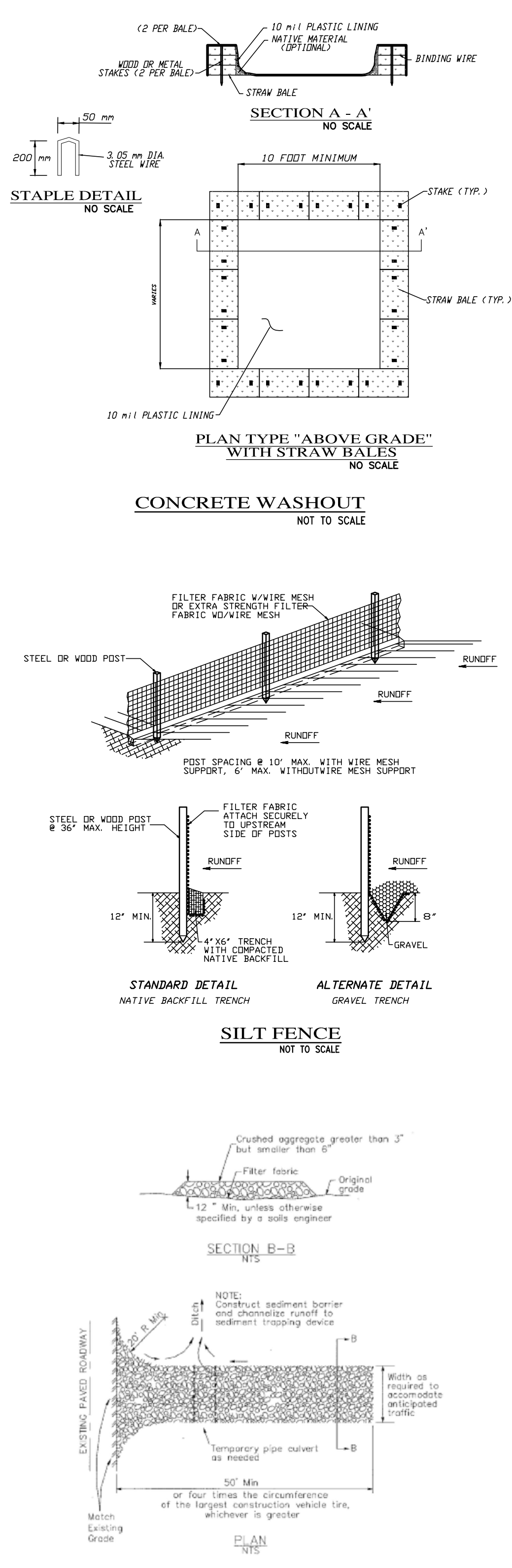
SCALE: AS SHOWN
DATE: JUL 2023
JOB NO. 2651-01
SHEET C4
OF 5 SHEETS

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 3) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 4) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK. ACCESS ROADS SHALL BE CLEANED DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN EVENT.
- 5) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 6) CONTRACTOR SHALL PROVIDE WATERING FOR DUST CONTROL DURING ALL GROUND DISTURBANCE OPERATIONS.
- 7) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 8) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 9) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (MUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 10) SEEDING AREAS SHALL BE RETAINED ON-SITE AND SHALL BE PREVENTED FROM FLOWING INTO THE STORM DRAINAGE SYSTEM. SEDIMENT CATCHMENT BARRIERS SHALL BE INSPECTED BY THE APPLICANT IMMEDIATELY AFTER ANY SIGNIFICANT RAINFALL AND AT LEAST DAILY DURING ANY PERIOD OF PROLONGED RAINFALL.
- 11) PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- 12) DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- 13) PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION. COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE. ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- 14) THE APPLICANT SHALL SCHEDULE WEEKLY INSPECTIONS WITH RMA-ENVIRONMENTAL SERVICES DURING THE RAINY SEASON, OCTOBER 15th TO APRIL 15th, TO ENSURE CONTAMINANTS ARE NOT DISCHARGED INTO THE AREAS OF SPECIAL BIOLOGICAL SIGNIFICANCE.

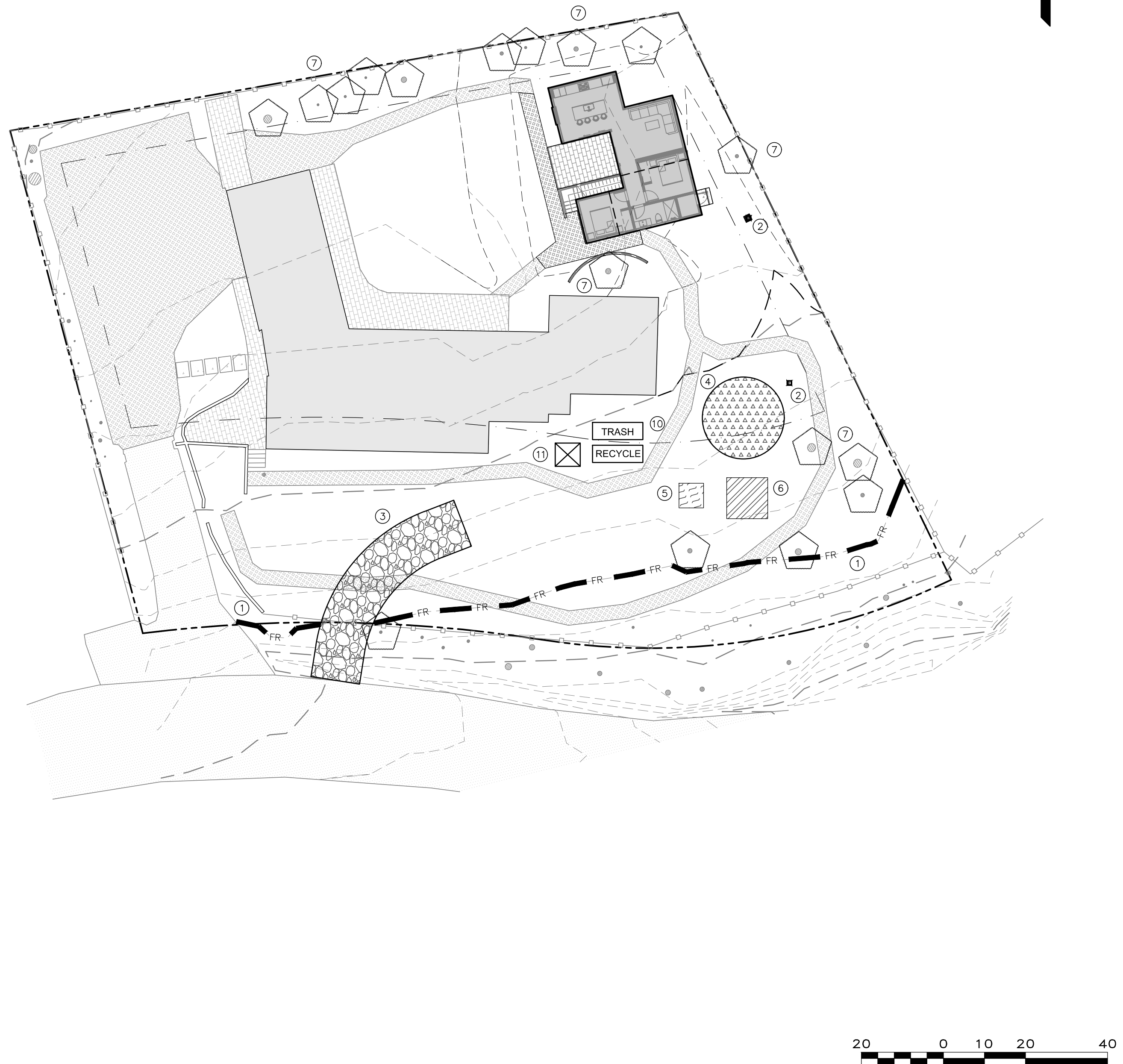
BMP LEGEND:

- 1) FR FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER), SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
- 2) DI DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
- 3) STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (IF NECESSARY FOR THIS APPLICATION, SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
- 4) STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
- 5) CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- 6) CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- 7) TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
- 8) SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEVED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.
- 9) GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 0.5" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
- 10) WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ON-SITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
- 11) SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.



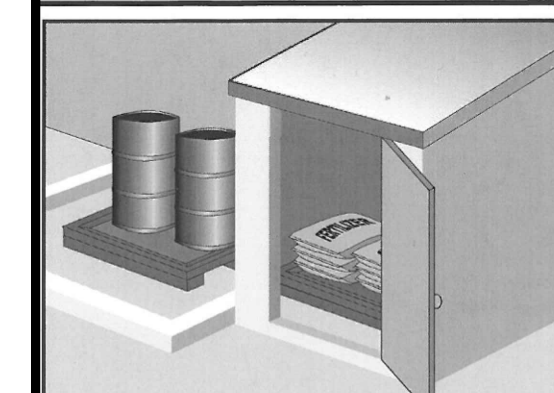
STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE

FIBER ROLL NOT TO SCALE



DETAILS NOT TO SCALE

Material Delivery and Storage WM-1



Categories

EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control

Legend:

☑	Primary Category
☒	Secondary Category

Targeted Constituents

Sediment	☑
Nutrients	☑
Trash	☑
Metals	☑
Bacteria	☑
Oil and Grease	☑
Organics	☑

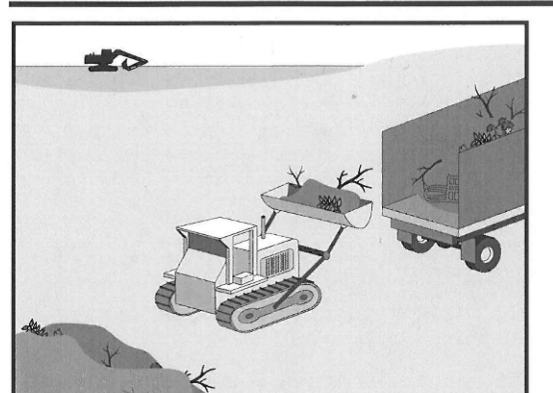
Potential Alternatives

None	
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Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

Solid Waste Management WM-5



Categories

EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control

Legend:

☑	Primary Objective
☒	Secondary Objective

Targeted Constituents

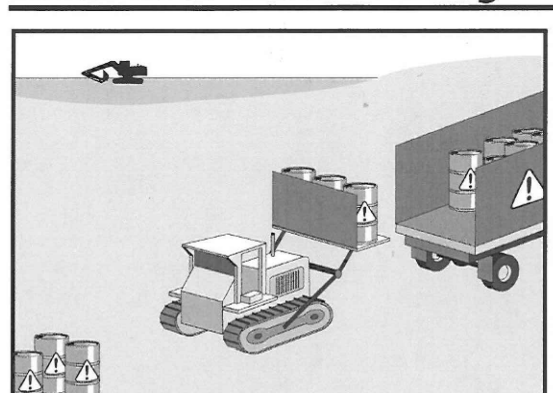
Sediment	☑
Nutrients	☑
Trash	☑
Metals	☑
Bacteria	☑
Oil and Grease	☑
Organics	☑

Potential Alternatives

None	
------	--

Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Hazardous Waste Management WM-6



Categories

EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control

Legend:

☑	Primary Objective
☒	Secondary Objective

Targeted Constituents

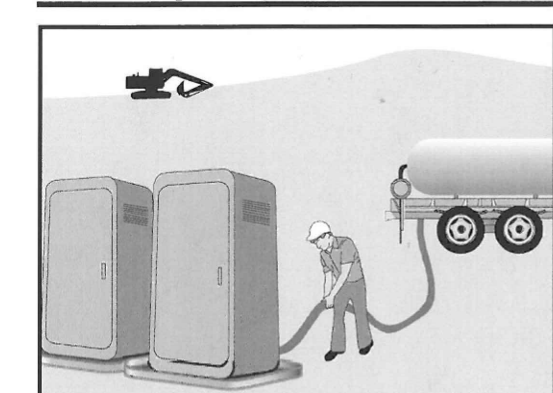
Sediment	☑
Nutrients	☑
Trash	☑
Metals	☑
Bacteria	☑
Oil and Grease	☑
Organics	☑

Potential Alternatives

None	
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Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Sanitary/Septic Waste Management WM-9



Categories

EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control

Legend:

☑	Primary Category
☒	Secondary Category

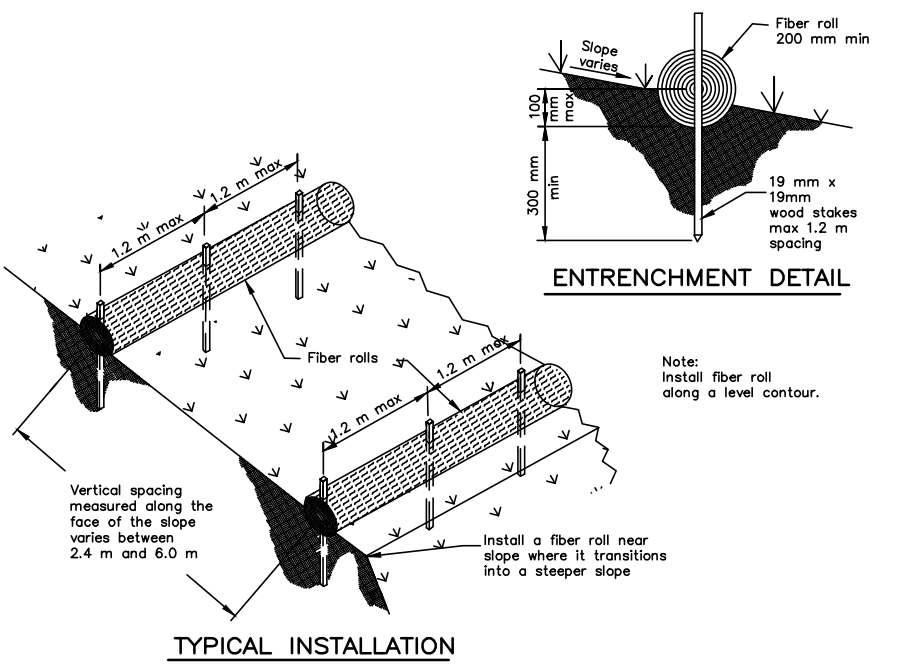
Targeted Constituents

Sediment	☑
Nutrients	☑
Trash	☑
Metals	☑
Bacteria	☑
Oil and Grease	☑
Organics	☑

Potential Alternatives

None	
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Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.



FIBER ROLL NOT TO SCALE

SITE GRADING:
THE PROPOSED GRADING INCLUDES APPROXIMATELY 75 CY OF CUT & 0 CY OF FILL.

- CONSTRUCTION STAGING:**
- A. MOBILIZE, CLEAR AND GRUB
 - B. SITE GRADING
 - C. UTILITY INSTALLATION
 - D. CONSTRUCT STRUCTURE
 - E. INSTALL PAVERS AND LANDSCAPING
 - F. SITE CLEANING, PUNCH LIST

MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY. SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

HAUL ROUTES:
HAUL TRUCKS SHALL BACK ONTO THE SITE FROM SUNRIDGE RD USING A TEMPORARY CONSTRUCTION ENTRANCE. HAUL TRUCKS WILL EXIT THE SITE, HEADING SOUTHEAST ON SUNRIDGE RD. THEY WILL THEN FOLLOW THE ROUTE SHOWN IN DETAIL B, FROM SUNRIDGE RD TO 1.7 MILE DR TO CA HWY 68 TO CA HWY 1. FLAGGERS SHALL BE STATIONED ON SUNRIDGE RD AS TRUCKS BACK FROM THE PUBLIC RIGHT-OF-WAY ONTO THE SITE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE EASEMENT/DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

TRUCK STAGING AREA:
VEHICLES OR TRUCKS SHALL NOT QUEUE ON SUNRIDGE RD. TRUCKS SHALL QUEUE ON SITE.

EMPLOYEE PARKING:
EMPLOYEES SHALL PARK ON SITE WHENEVER POSSIBLE. EMPLOYEES SHALL CARPOOL WHENEVER POSSIBLE. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL. A TEMPORARY CONSTRUCTION PARKING AREA MAY BE CREATED IN THE FRONT YARD OF THE RESIDENCE PROVIDED THAT THE AREA IS PROPERLY COMPACTED/STABILIZED BEFOREHAND.

LIMITS OF CONSTRUCTION:
ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

NUMBER OF EMPLOYEES ONSITE PER DAY: APPROXIMATELY 10-20

NUMBER OF TRUCK TRIPS/DAY: 4

AMOUNT OF GRADING/DAY: 80 C.Y.

HOURS OF OPERATION/DAY: 8

DAYS OF OPERATION: MONDAY THROUGH FRIDAY

TIME OF OPERATION: 8:00 AM - 4:30 PM

PROJECT SCHEDULING: PROJECTED START DATE IS OCTOBER 1, 2023. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

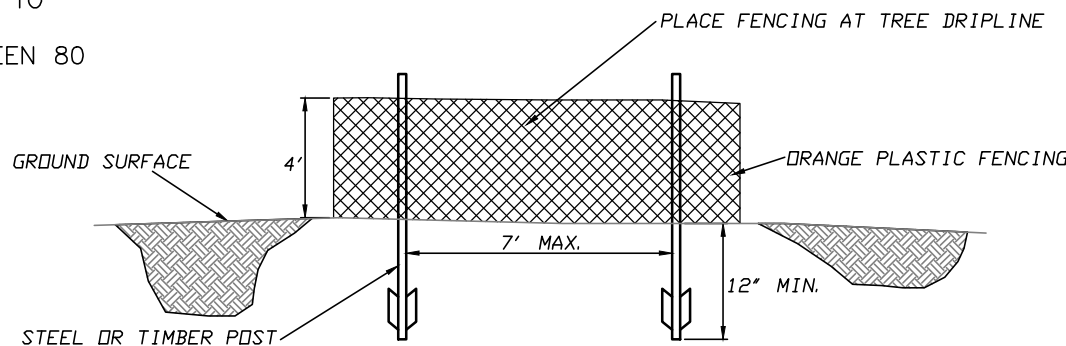
A PLAN
SCALE: 1" = 20'

TRUCK TRIP GENERATION CHART:

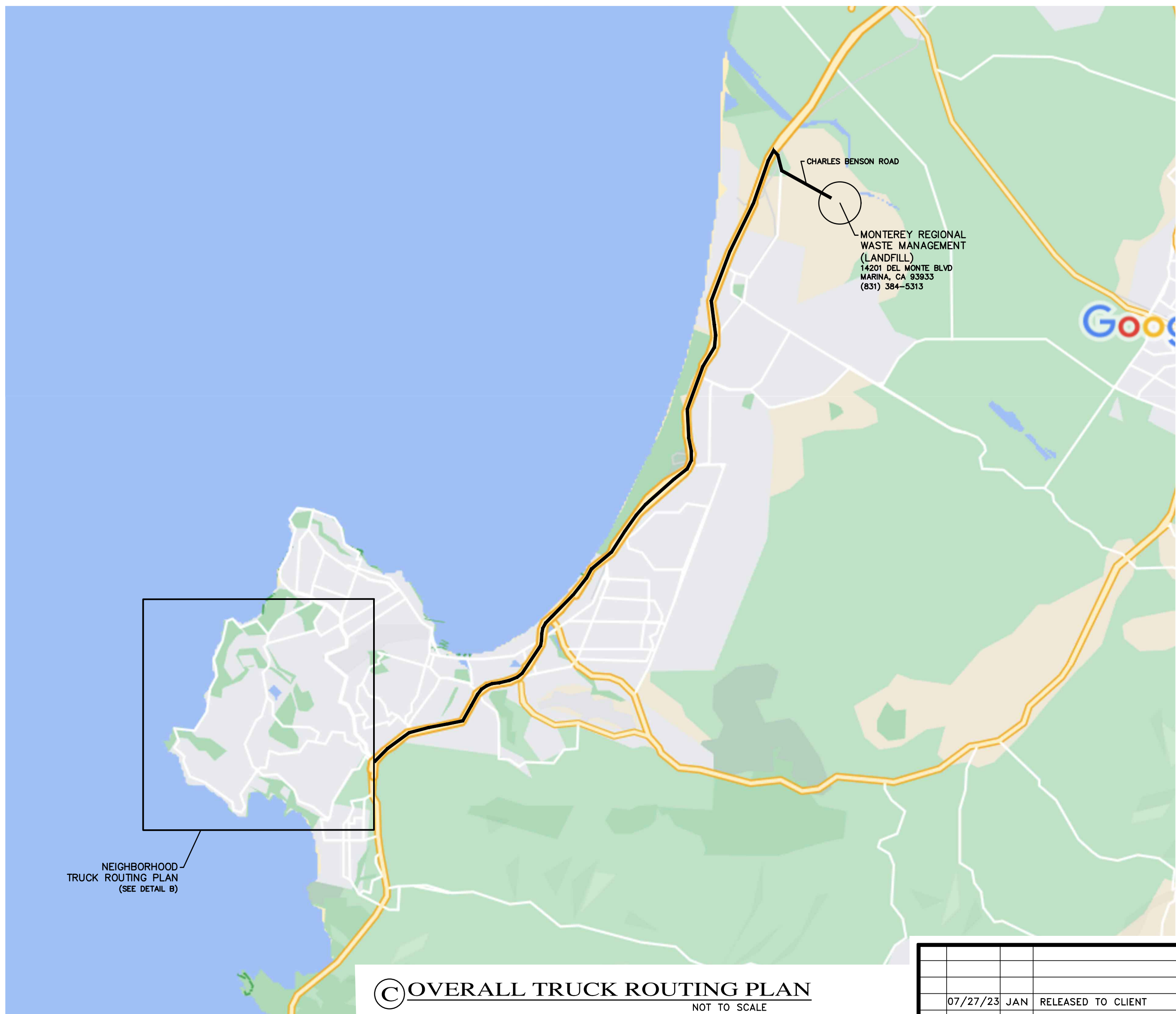
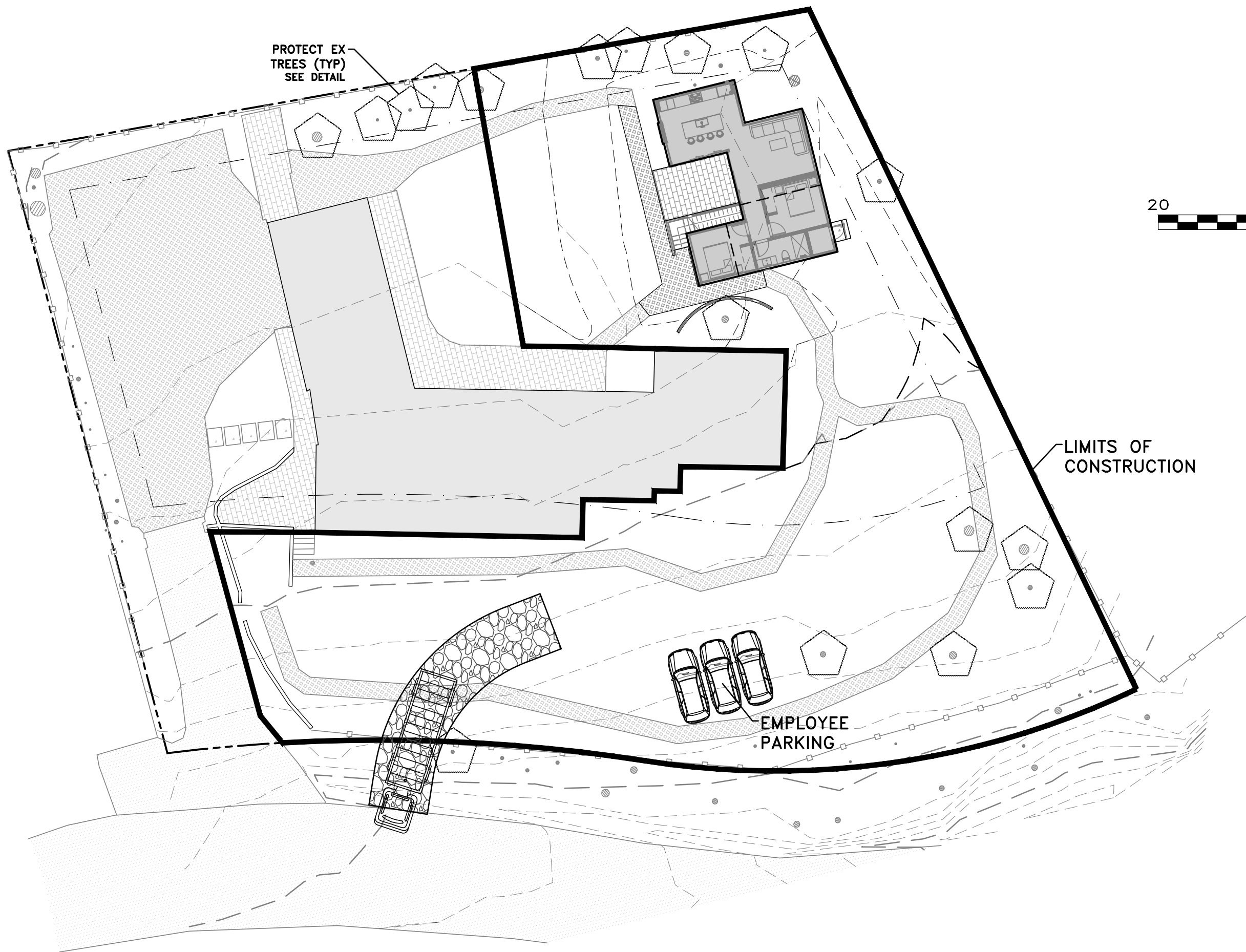
CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	4	5
GRADING & SOIL REMOVAL (EXPORT)	4	1
ENGINEERING MATERIALS (IMPORT)	-	-
TOTALS	8	6

TRUCK TRIP GENERATION NOTES:

- TRUCK TRIPS FOR THE GRADING/SOIL IMPORT IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 4 TRUCK LOADS PER DAY.
- THERE ARE APPROXIMATELY 75 CUBIC YARDS OF SOIL MATERIAL TO BE EXPORTED FROM THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 6 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 100 CUBIC YARDS.



ESA FENCING
NOT TO SCALE

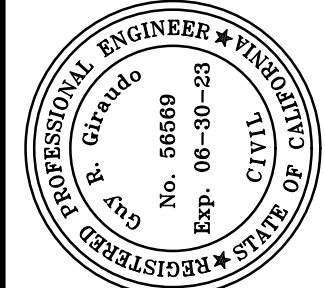


"CONSTRUCTION MANAGEMENT PLAN"
GRADING, DRAINAGE, & EROSION CONTROL PLAN
OF
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A.P.N.: 008-071-012
PEBBLE BEACH, CALIFORNIA
STEVEN RIVERA

SCALE: AS SHOWN
DATE: JUL 2023
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SHEET **C5**

OF 5 SHEETS



APPROVED BY:

GUY R. GIRARDO



No.	DATE	BY	REVISION
	07/27/23	JAN	RELEASED TO CLIENT

SHEET INDEX

SHEET NO:	CONTENTS:
L-1.0	FUEL MANAGEMENT PLAN
L-2.0	PLANTING PLAN
L-3.0	IRRIGATION PLAN

LEGEND

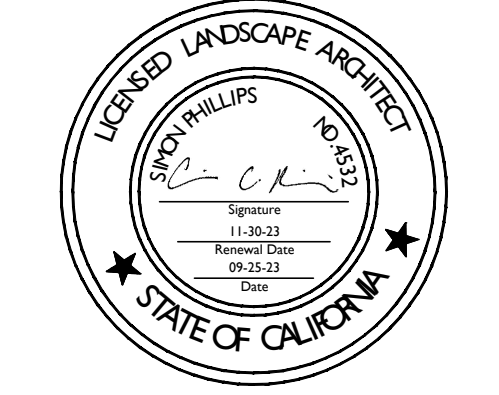
- GREEN ZONE: ZONE EXTENDS 0 - 30' FROM BUILDINGS, STRUCTURES DECKS, ETC. OR TO THE PROPERTY LINE, WHICHEVER IS GREATER.

 - REMOVE ALL DEAD AND DYING WEEDS, GRASS, PLANT, SHRUBS, TREES, BRANCHES AND VEGETATIVE DEBRIS (LEAVES, NEEDLES, CONES, BARK, ETC.); CHECK YOUR ROOFS, GUTTERS, DECKS, PORCHES, STAIRWAYS, ETC.
 - REMOVE ALL BRANCHES WITHIN 10 FEET OF ANY CHIMNEY OR STOVEPIPE OUTLET.
 - RELOCATE FIREWOOD AND LUMBER TO OUTSIDE THIS ZONE.
 - CONSIDER RELOCATING GARBAGE AND RECYCLING CONTAINERS OUTSIDE THIS ZONE.
 - CONSIDER RELOCATING BOATS, RVS, VEHICLES AND OTHER COMBUSTIBLE ITEMS OUTSIDE THIS ZONE.
 - REGULARLY CLEAN ALL ROOF GUTTERS.
- MANAGEMENT ZONE: ZONE EXTENDS 100' FEET FROM ALL SIDES OF BUILDINGS, STRUCTURES, DECKS, ETC OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. WITHIN THIS ZONE, THE FOLLOWING CONDITIONS SHALL BE MAINTAINED:

 - REMOVE ALL DEAD PLANTS, GRASS, AND WEEDS (VEGETATION)
 - REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES FROM YARD, ROOF, AND RAIN GUTTERS.
 - TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10 FEET FROM OTHER TREES.
 - REMOVE BRANCHES THAT HANG OVER ROOFS AND KEEP DEAD BRANCHES A MINIMUM OF 10 FEET AWAY FROM CHIMNEYS AND STOVEPIPES.
 - REMOVE VEGETATION AND ITEMS THAT COULD CATCH FIRE FROM AROUND AND UNDER DECKS, BALCONIES, AND STAIRS.
 - CREATE A SEPARATION BETWEEN TREES, SHRUBS, AND ITEMS THAT COULD CATCH FIRE, SUCH AS PATIO FURNITURE, WOOD PILES, SWING SETS, ETC.
 - MAINTAIN A TREE, SHRUB OR OTHER PLANT ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.
 - MAINTAIN THE ROOF OF A STRUCTURE FREE OF LEAVES, NEEDLES OR OTHER VEGETATIVE MATERIALS.
 - CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
 - REMOVE ALL DEAD TREES.
 - REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF 3 INCHES.

SEVEN
SPRINGS
STUDIO
LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:
**4161 SUNRIDGE RD.
RESIDENCE**

PROJECT ADDRESS:
4161 SUNRIDGE RD.
CARMEL, CA 93921
APN: 008-071-012-000

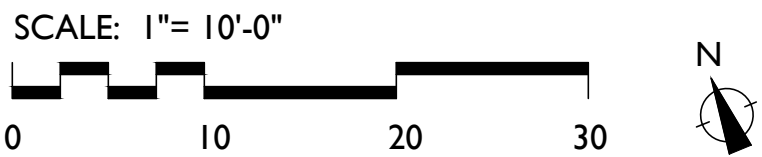
ISSUANCE:
PLANNING SUBMITTAL

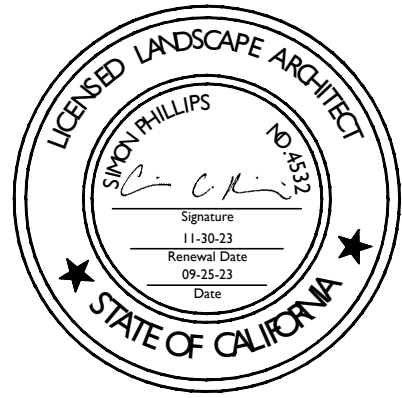
PROJECT NO: 2023-18
DATE: 09/29/2023

REVISIONS:	DATE	DESCRIPTION

SHEET NAME:
**FUEL
MANAGEMENT
PLAN**

SHEET NO:





PROJECT NAME:

4161 SUNRIDGE RD.
RESIDENCE

PROJECT ADDRESS:

4161 SUNRIDGE RD.
CARMEL, CA 93921

APN: 008-071-012-000

ISSUANCE:

PLANNING SUBMITTAL

PROJECT NO: 2023-18

DATE: 09/29/2023

REVISIONS:

DATE	DESCRIPTION
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SHEET NAME:

PLANTING PLAN

SHEET NO:

PLANT LEGEND

*WUC CODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
TREES				
L Co	CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL	
L Pr	PINUS RADIATA	MONTEREY PINE	5 GAL	
L Qa	QUERCUS AGRIFOLIA	COAST LIVE OAK	5 GAL	
SHRUBS				
M Ah	ANEMONE 'HONORINE JOBERT'	JAPANESE ANEMONE	1 GAL	
L Ap	ARCTOSTAPHYLOS 'PACIFIC MIST'	PACIFIC MIST MANZANITA	1 GAL	
L Cs	CALANDRINIA SPECTABILIS	ROCK PURSLANE	1 GAL	
L Cf	CALAMAGROSTIS FOLIOSA	MENDOCINO REED GRASS	1 GAL	
Jp	JUNCUS PATENS	CALIFORNIA GREY RUSH		
L Lp	LOMANDRA 'PLATINUM BEAUTY'	PLATINUM BEAUTY LOMANDRA	1 GAL	
M Po	PODOCARPUS GRACILIOR	FERN PINE	24" BOX 15' TALL - MIN.	
MISCELLANEOUS				
		MULCH		
		CRUSHED GRAVEL: FOR PEDESTRIAN AREAS 2" OVER 4" COMPACTED CLASS II BASE.		
		MTL METAL EDGING: WELD ALL JOINTS AND PRIME AND PAINT ONCE WELDED.		

* WATER USE CATEGORY (WUC) KEY

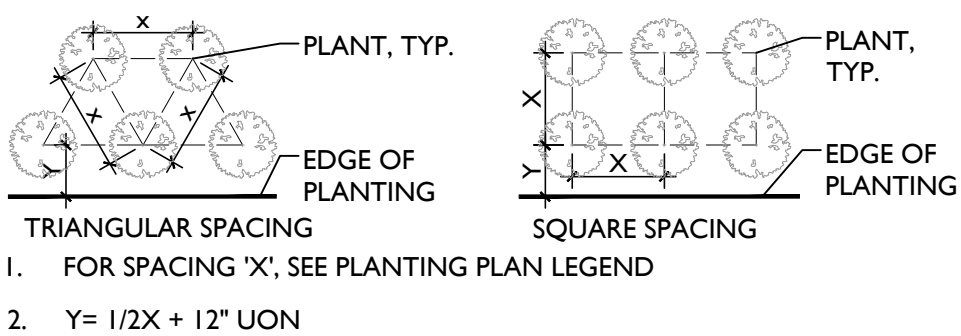
GENERAL NOTES

- ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
- CONTRACTOR TO TAKE SAMPLES OF PLANTING AREA SOIL, FROM 0"-12" DEEP FROM AT LEAST THREE SEPARATE LOCATIONS FROM PLANTING AREAS ON THE SITE, MIXED TO FORM A SINGLE COMPOSITE SAMPLE. COMBINED VOLUME OF COMPOSITE SAMPLE SHALL BE AT LEAST 1-QUART. SAMPLE LOCATIONS SHALL BE MARKED ON THE PLANTING PLAN AND SHALL BE REPRESENTATIVE OF SITE CONDITIONS AND PROPOSED PLANTING TYPES.
- FORWARD THE COMPOSITE SAMPLES TO THE TESTING LABORATORY FOR TESTING AND THEIR RECOMMENDATIONS AS TO EXACT FERTILIZERS AND SOIL AMENDMENTS TO BE USED IN PLANTING. WAYPOINT ANALYTICAL A05-2 COMPLETE ANALYSIS.
LAB REPORT TO INCLUDE RECOMMENDATION LETTER AND TESTING RESULTS.
LAB REPORT TO INCLUDE AN ESTIMATED INFILTRATION RATE FOR SOIL TESTED.
LAB REPORT TO NOTE THE PROPOSED PLANTING TYPES SPECIFIC TO THE PROJECT, GROUNDCOVERS, NATIVE GRASSES AND TREES.
- AMENDMENT AND FERTILIZER RECOMMENDATIONS BY THE TESTING LAB SHALL BE SPECIFIC TO THE PROPOSED AMENDMENTS TO BE USED AND INCLUDE THE AMENDMENT LAB TEST / SAMPLE ID NUMBER AND TESTING DATE AS REFERENCE. GENERIC RECOMMENDATIONS WILL BE REJECTED AND WILL REQUIRE SPECIFIC RECOMMENDATIONS TO BE OBTAINED FROM THE TESTING LAB.
FOR BIDDING PURPOSES ASSUME SOIL AMENDMENT FERTILIZER TO BE COMMERCIAL FERTILIZER, 16-6-8 (N-P-K) UNIFORM PELLET, EXACT FERTILIZER TO BE DETERMINED BY TESTING LAB ANALYSIS.
- INSTALL COMMERCIAL PLANT FERTILIZER PACKETS / TABLETS, TWO-YEAR CONTROLLED -RELEASE 20-10-05 (N-P-K), BEST TABS BY SIMPLOT PROFESSIONAL PRODUCTS, AGRIFORM BY THE SCOTTS COMPANY.
- SOIL AMENDMENTS TO BE MINERALIZED AND NITRIFIED BARK OR SAWDUST, WITH WETTING AGENT AND PROPERLY PULVERIZED, CONTAINING A MINIMUM OF 270LBS. PER CUBIC YARD OF ORGANIC MATTER. SUBMIT SAMPLE ANALYSIS FOR APPROVAL.
- AMENDMENT CHEMISTRY - SUITABILITY CONSIDERATIONS
1. NITROGEN (DRY WEIGHT BASIS): 0.4 TO 0.6%
2. IRON (MINIMUM): 0.08%
3. ORGANIC CONTENT: ABOVE 17%
4. CARBON-NITROGEN RATIO: BELOW 25
5. PH: BELOW 8.0
6. SALINITY (ECE): A VALUE SUCH THAT WHEN COMBINED WITH THE EXISTING SITE SOIL AT A USE RATE DETERMINED BY THE TESTING LAB ANALYSIS, THE SALINITY OF THE AMENDED SOIL SHALL NOT EXCEED 4.0 DSM (MMHOS/CM).
- GYPSUM (IF REQUIRED BY EXISTING SOILS TEST): AGRICULTURAL GRADE, OMRI LISTED.
1. CAL-SUL PELLETTIZED GYPSUM BY NORTH PACIFIC, PORTLAND OR
2. ULTRA FINE AG GYPSUM BY WESTERN MINING & MINERALS
3. APPROVED EQUAL.
- SULFUR (IF REQUIRED BY EXISTING SOILS TEST): GRANULAR DEGRADABLE SULFUR PRODUCT, TIGER 90CR ORGANIC 0-0-0-90 SULFUR BY TIGERSUL.COM, OR APPROVED EQUAL.
- ALL PLANTING AREAS TO BE CULTIVATED TO A MINIMUM DEPTH OF 10". SOIL AMENDMENTS AND COMMERCIAL FERTILIZERS TO BE APPLIED AT THE RATES SPECIFIED IN THE TESTING LAB ANALYSIS.
CROSS-RIP OR CULTIVATE SUB-GRADE TO THE 10" MINIMUM DEPTH, ADD WATER IF NECESSARY AND CONTINUE RIPPING OR CULTIVATION UNTIL THE ENTIRE SPECIFIED DEPTH IS LOOSE AND FRABLE. CROSS RIPPING SHALL INCLUDE AREAS IN BETWEEN TREE AND PLANT PITS. UPON COMPLETION OF CROSS RIPPING APPLY THE AMENDMENTS AS SPECIFIED IN THE TESTING LAB ANALYSIS. SETTLE THE SOIL WITH WATER AS NEEDED AND REGRADE HIGH/LOW AREAS TO CREATE A SMOOTH FINISH GRADE.
UNIFORMLY SPREAD AND INCORPORATED THE MATERIALS TO OBTAIN A HOMOGENEOUSLY BLENDED SOIL, 6-INCHES IN DEPTH. IF GYPSUM AND/OR SULFUR ARE REQUIRED TO BE ADDED AS PART OF AMENDMENTS PER SOILS REPORT FROM THE TESTING LAB, MANUALLY WATER THE AMENDED SOILS USING IMPACT SPRINKLERS OR HOSE-END SPRINKLERS - TO APPLY 1/2-INCH OF WATER OVER ALL PLANTING AREAS. EXISTING SOILS WITH HIGH ALKALINITY AS DETERMINED BY THE SOILS REPORT FROM THE TESTING LAB WILL BE REQUIRED TO BE SIMILARLY MANUALLY WATERED TO LEACH THE SALTS DEEPER INTO THE SOIL. AMOUNT OF WATER TO BE DETERMINED BY THE TESTING LAB.
- PRE-MIX AMENDMENTS INTO SOIL BEFORE BACKFILLING PLANT PITS - DO NOT MIX INSIDE PITS. BREAK LARGE CLODS INTO SMALL PIECES. ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
- INSTALL 3" MULCH TO ALL PLANTING AREAS. MULCH TO BE SHREDDED CEDAR BARK OR SIMILAR. SUBMIT A SAMPLE OF MULCH FOR OWNER & LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION.
- COMPOST: COMPOST MINIMUM OF 4 CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA TILLED TO A DEPTH OF 6".

REFERENCE NOTES

- INSTALL METAL HEADER AT EDGE OF EXISTING LAWN AT LINE OF CONSTRUCTION ACCESS IMPACT.
- EXISTING PLANTING: TO REMAIN
- EXISTING TREE: TO REMAIN, PRESERVE AND PROTECT.
- EXISTING TRASH ENCLOSURE: TO REMAIN.

PLANT SPACING AND PLANTING SETBACK DIAGRAM



MWELO COMPLIANCE STATEMENT

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

Signed	Simon Phillips	4532	09-22-2023
Name	CLA#	Date	

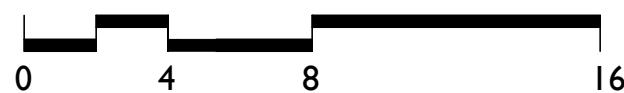
MONTEREY COUNTY COMPLIANCE STATEMENT

I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES, LIMITED TURF, AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

Signed	Simon Phillips	4532	09-22-2023
Name	CLA#	Date	

SEE ARCHITECTURAL DRAWINGS
FOR PROPOSED TREE REMOVAL.

SCALE: 3/16"= 1'-0"



4161 SUNRIDGE RD.
RESIDENCE

APN: 008-071-012-000

L-3.0



Exhibit C

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State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 5S2
Other Listings
Review Code _____ Reviewer _____ Date _____

Page 1 of 3

Resource Name or #: (Assigned by recorder) *The Ferris Bagley House*

P1. Other Identifier:

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Monterey*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad _____ Date _____ T _____ ; R _____ ; 1/4 of _____ 1/4 of Sec _____ ; B.M. _____

c. Address: *4161 Sunridge Drive* City *Pebble Beach* Zip *93953*

d. UTM: (Give more than one for large and/linear resources) _____ ; _____ mE/ _____ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. 008-071-012

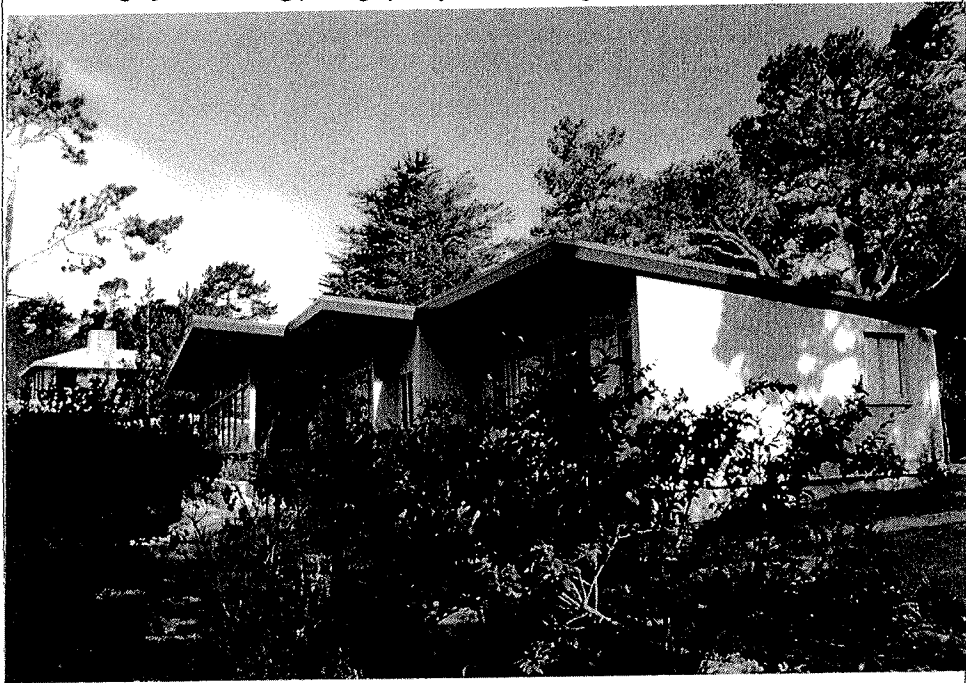
P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A one-story, wood and glass-framed Second Bay Region Modern Style residence, irregular in plan, resting on a concrete foundation. The exterior wall cladding is a combination of vertical, flush redwood board siding and full-height, fixed, and sliding, plate-glass windows. The roof has a lift towards the south, to take advantage of the natural views, and remove water from the 1B polyvinyl roof covering, added in 2013. The wide, overhanging eaves express a somewhat skewed geometry with three setbacks along the south facing facade, to capture arresting views of the Pacific and Pt. Lobos. There is also a slight ellipse on the eave line above the recessed main entry on the west side-elevation, as it carries the straight line of the garage wing just below the roof pitch of the main building block. The wide eaves have closed soffits with a wide, but plain fascia. The roof overhang above the recessed entry is supported by simple, steel poles. Similar support is found on the rear (north) elevation where the roof extends over a wide, open concrete verandah. There is one interior flagstone chimney present, as part of a partial-width, bearing north/south wall at the east end of the living area. This feature separates the private family rooms from the public space, with its powerful glass enclosure capturing arresting views of the Pacific and Pt. Lobos.

P3b. Resource Attributes: (List attributes and codes) *HP2 - Single Family Property*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)
Looking NW at the east side-elev., and south facing facade, Kent Seavey, 8/26/2014

P6. Date Constructed/Age and Sources

☐ Prehistoric ☒ Historic ☐ Both

Construction date-1948-49 Mo. Co. Assessor's records

P7. Owner and Address

*Paul & Mary Doble
4161 Sunridge Drive
Pebble Beach, CA 93953*

P8. Recorded by: (Name, affiliation, and address)

*Kent L. Seavey
Preservation Consultant
310 Lighthouse Ave.
Pacific Grove, CA 93950*

P9. Date Recorded: *9/1/2014*

P10. Survey Type: (Describe)

Intensive-required CEQA review

P11. Report Citation: (Cite survey report and other sources, or enter "none")

None

Attachments

☐ NONE ☒ Continuation Sheet ☐ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☒ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☐ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # _____

HRI # _____

Page 2 of 3

NRHP Status Code

552

Resource Name or #: (Assigned by recorder) *The Ferris Bagley House*

B1. Historic Name:

B2. Common Name:

B3. Original Use: *residence*

B4. Present Use: *residence*

B5. Architectural Style: *Second Bay Region Style*

B6. Construction History: (Construction date, alterations, and date of alterations)

Constructed 1948-49 (Mo. Co. Assessor's records); minor additions and alterations, 1972 (MCBP#23756).

B7. Moved? ☒ No ☐ Yes ☐ Unknown Date :

Original Location:

B8. Related Features:

B9a. Architect: *John E. Dinwiddie*

b. Builder: *Unknown*

B10. Significance: Theme: *Pebble Beach-Post-War (1946-1969)*

Area: *Pebble Beach*

Period of Significance: *1948*

Property Type: *single family residence*

Applicable Criteria: *CR3*

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

The Farris Bagley House is significant under California Register Criterion 3, in the area of architecture, as an excellent and early expression of post WWII Second Bay Region design, found on the Monterey Peninsula, by noted modernist San Francisco architect, John E. Dinwiddie.

Architect John Dinwiddie (1902-1959), was a native of Tennessee who took his degree in architecture from the University of Michigan, Ann Arbor in 1925, where he worked with the Finnish architect Eliel Saarinen. Dinwiddie worked briefly in New York before relocating to San Francisco in 1927, where he entered the office of Lewis P. Hobart. He later worked for Charles W. McCall until establishing his own practice in 1931. About 1938 Dinwiddie brought Albert Henry Hill into the firm as a partner, continuing that association until 1947. In 1945 Erich Mendelsohn entered the firm, establishing his own office in 1947. Dinwiddie taught architecture at U.C. Berkeley in 1952, then at M.I.T. and later, the University of Pennsylvania in Philadelphia. He became the Dean of the School of Architecture at Tulane University, in New Orleans in 1953, relocating his own office to that city. Several of his bay area designs were published in professional magazines between 1941 and 1947. Both he and Henry Hill were included in the seminal 1949 exhibit that saw the emergence of the name Bay Region Style, introduced in by art critic Lewis Mumford in "Domestic Architecture of the San Francisco Bay Region", at the San Francisco Museum of Art. Mumford noted that the bay region architects had "absorbed the universal lessons of science and the machine, and have reconciled them with human wants and human desires, with full regard for the setting of nature, the climate and topography and vegetation...Bay Region architecture both belongs to the region and transcends the region: it embraces the machine and it transcends the machine.

B11. Additional Resource Attributes: (List attributes and codes) *HP2 - Single Family Property*

B12. References:

Bagley, F., California Death Records.

Dinwiddie, John, Pacific Coast Architecture Data Base,

<http://digital.lib.washington.edu/architect/architects/282/>.

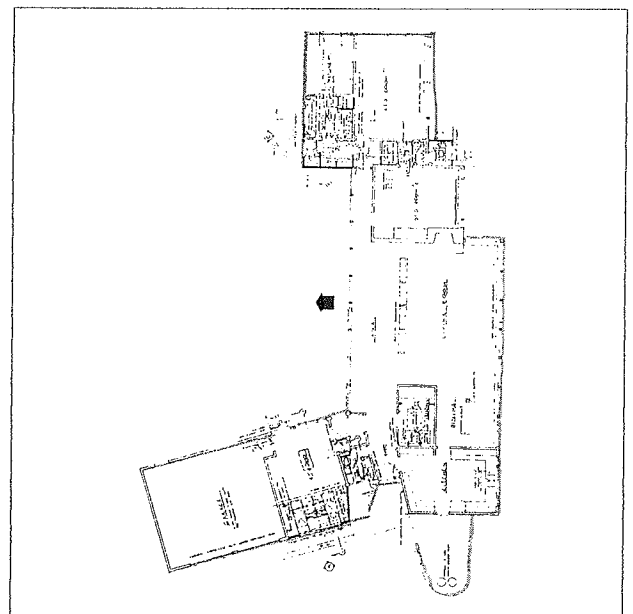
Page & Turnbull, Inc., Pebble Beach Historic Context Statement, Monterey, County of Monterey, 2013.

B13. Remarks: *Zoning-MDR/4-D (CZ)*

B14. Evaluator: *Kent Seavey*

Date of Evaluation: *9/1/2014*

(This space reserved for official comments.)



CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 3 of 3

Resource Name or #: (Assigned by recorder) The Ferris Bagley House

Recorded by: Kent L. Seavey

Date 9/1/2014

☒ Continuation ☐ Update

P3 (Cont.) Fenestration is irregular, with a combination of the fixed and sliding-glass bands of tall wood windows above wood louvered vents below, on the north and south sides of the main living area, and a series of smaller, horizontal tripartite windows found in the kitchen area at the west end of the residence and the private family quarters at the east end. Secondary windows on the side-elevations and rear of the building include metal casement types in varying sizes and shapes. The south facing banded windows of the facade are united by a horizontal mullion detail near their tops that runs the full width of the elevation. The recessed principal entry, toward the south on the west side-elevation has a solid-core flush wood door with four small sidelights adjacent to the south. The recessed entry was partially in filled in the 1972 alterations and additions, as was a small corner on the south elevation and a slightly larger corner on the east side of the glazed portion of the rear (north) elevation. These changes have not significantly affected the quality of the building's original design.

The residence is sited on the north side of Sunridge Drive, slightly above the roadway and screened by a high wood fence adjacent to the road. It is in an informal landscape setting of low shrubbery, framed by mature pines to the north. It is located at Pebble Beach, a gated recreational resort community, in a wooded neighborhood with homes of varying ages, sizes and styles.

B10 (Cont.) It does not ignore particular needs, customs, conditions, but translates them into the common form of our civilization. These qualities are what makes the work of the Bay Region architects so significant..."

The Second Bay Region Style was, in effect, a unique combination of the "Less is More" dictum of the International Style and the so called regional "Soft Modernism" that drew from the vernacular architecture of ranches, barns and low-cost homes. It was a bridge between the original Maybeckian "Simple House" designs of the turn of the 20th century, and the International Style. Local redwood board siding, exposed interior roof structure and low-pitched roofs were mixed with International Style influences, like flat roofs, simple geometric forms, large expanses of glass and, particularly, open plans. Glass walls and the open plan provided both intimacy with the nature at hand, and what architect William Wurster called "the long view", nature at a distance made accessible. Architect John Dinwiddie's design for the original owner, Mr. Ferris Bagley, a retired production manager for Golden State Milk Products Company, incorporates most of the salient features of the Second Bay Region Style. Character-defining features include the rather cubist-like footprint; vertical, flush redwood board exterior wall cladding; a flat roof with a slight lift towards the south; fully glazed walls in the main living area that seem to lead outdoors and to take advantage of both the intimate and far views of nature afforded by the hill-top siting of the residence.

According to the original plans, located in the Pebble Beach Co. Real Estate office, the exterior was left natural, with two coats of Cabots # 325 Stain. The exterior is presently painted white, also typical of the immediate post-WWII period of construction. The 1972 alterations of the residence appear on the recessed west facing entry, between the bedrooms on the east side of the south facing facade, and toward the east on the rear (north) elevation. They are minor, and generally consistent with the character-defining features of the residence. They do not detract from the original design intent of the residence (see copies of original plans provided). The Ferris Bagley House is significant under California Register Criterion 3, in the area of architecture, as an excellent and early expression of post WWII Second Bay Region design, found on the Monterey Peninsula, by noted San Francisco architect, John E. Dinwiddie. In his design program, Dinwiddie responded with originality to the particular and the individual—a special site—an intimate relationship with the out of doors, functional living, flexibility and freshness, all contributing features of the Second Bay Region Style. Aside from minor alterations and additions, all in keeping with the historic character of the residence, most original features and finishes are still in place. The residence at 4161 Sunridge Dr., in Pebble Beach, clearly retains most of its historic integrity as constructed and evokes a strong sense of time and place, and of feeling and association with post-WWII modernist expression. It is an important example of residential design during its period of significance, 1948, and consistent with the Theme of Pebble Beach Post-War (1946-1969), found in the Monterey County 2013 Pebble Beach Historic Context Statement. It clearly qualifies for listing at the local level of significance, in the Monterey Historic Resource Inventory.

B12 (Cont.)

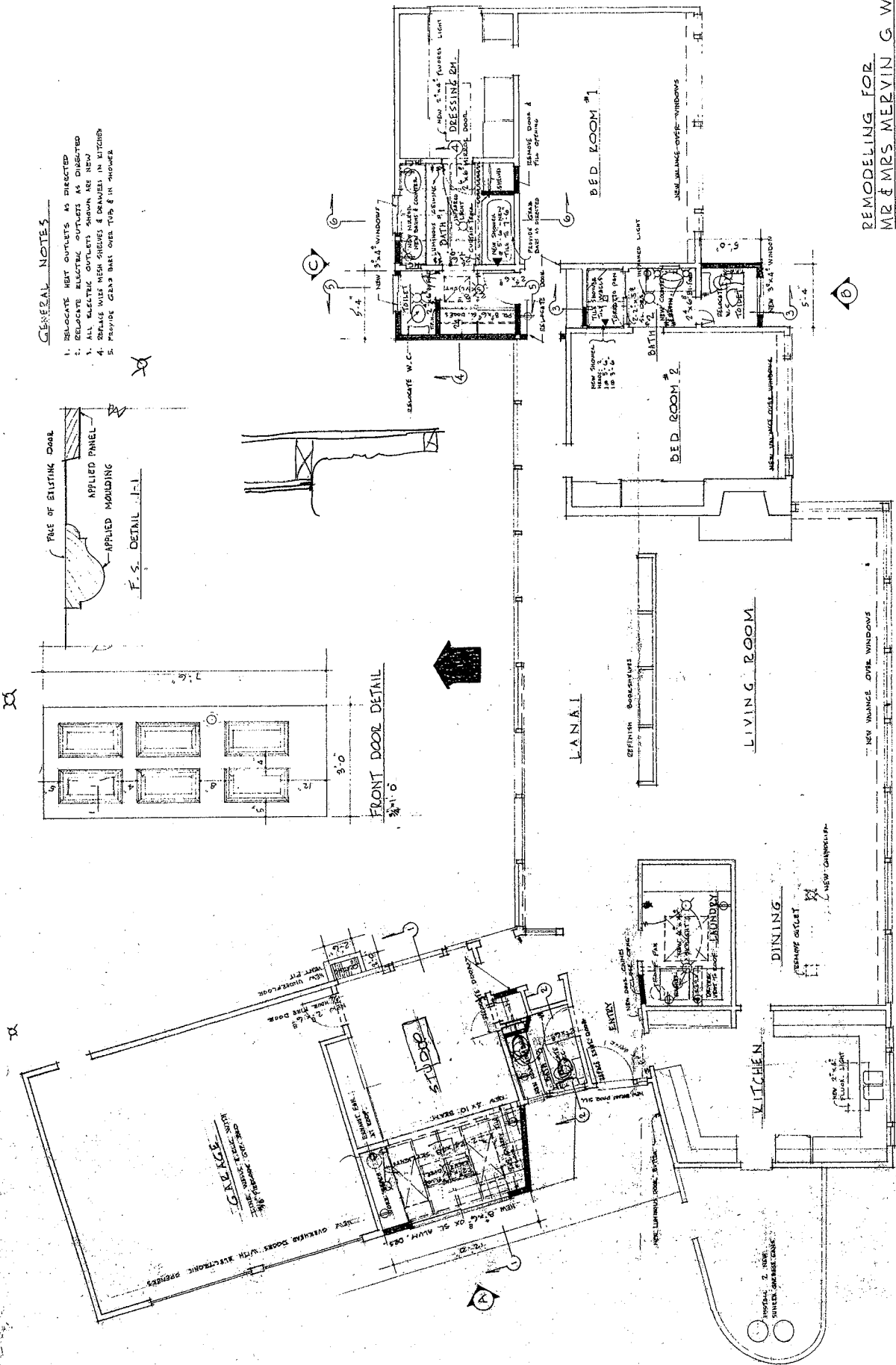
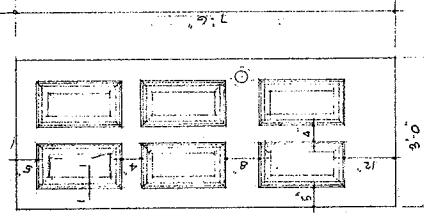
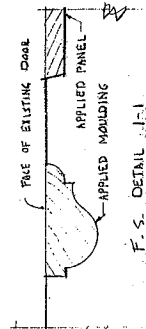
Pebble Beach Co. Real Estate Office, Pebble Beach, CA.

Rifkind, C., *Contemporary American Architecture*, Dutton: New York, 1998.

San Francisco Museum of Art, *"Domestic Architecture of the San Francisco Bay Region"*, 1949.

GENERAL NOTES

1. RELOCATE HEAT OUTLETS AS DIRECTED
2. RELOCATE ELECTRICAL OUTLETS AS DIRECTED
3. ALL ELECTRICAL OUTLETS SHOWN ARE NEW
4. BREAKS WITH NEW SINKS & DRAWERS IN KITCHEN
5. PROVIDE GRAB BARS OVER TUB & IN SHOWER



REMODELING FOR

MR & MRS MERVIN G WIENER

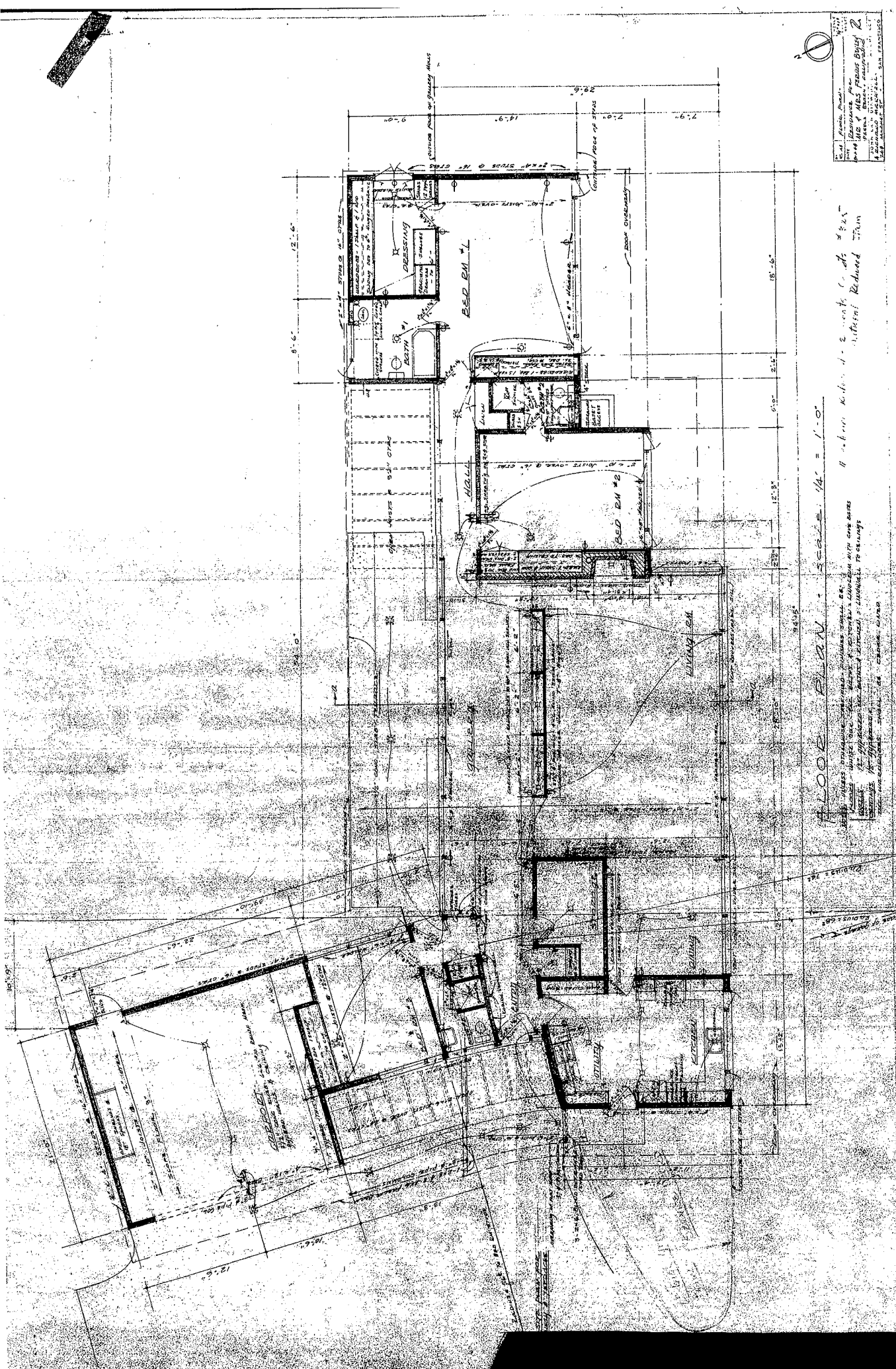
4151 SUDBURY RD. PEBBLE BEACH, CAL

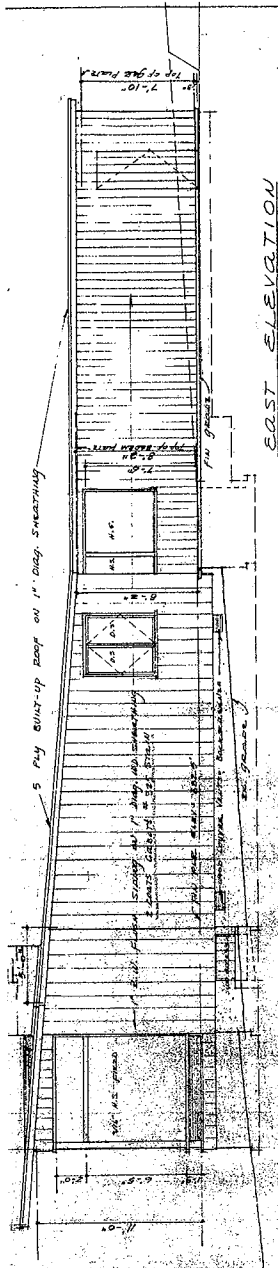
EDWARD M. HICKS - ARCHITECT

4TH & LOPEZ - CARMEL CAL. 93021

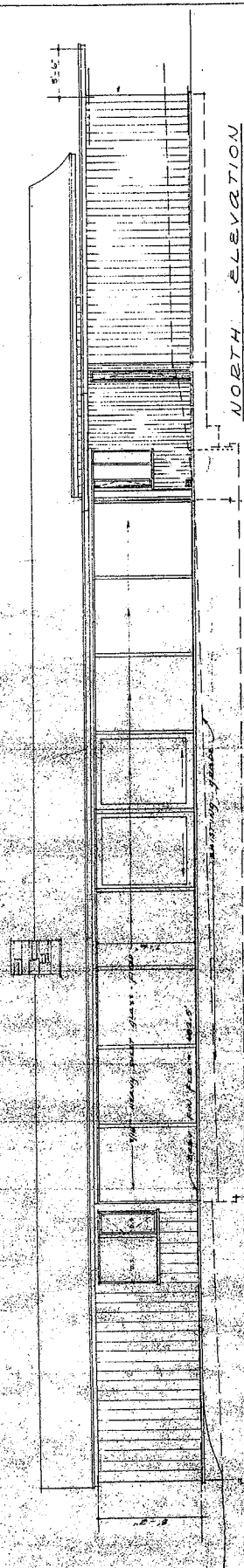
624-5949

AUG 10, 1972

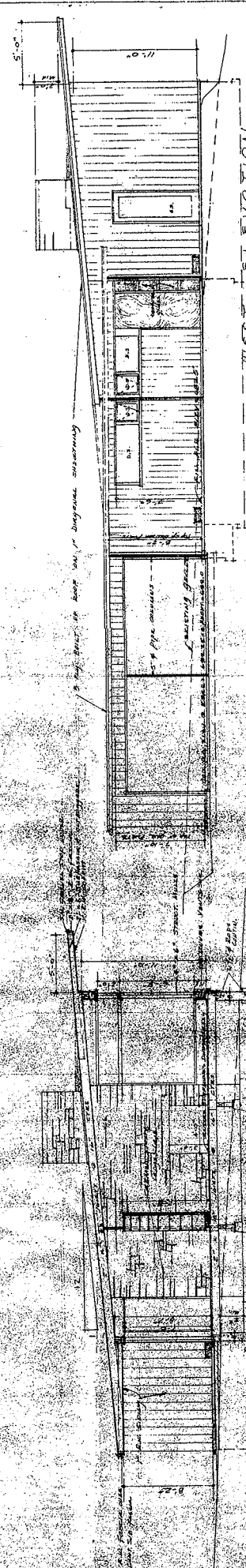




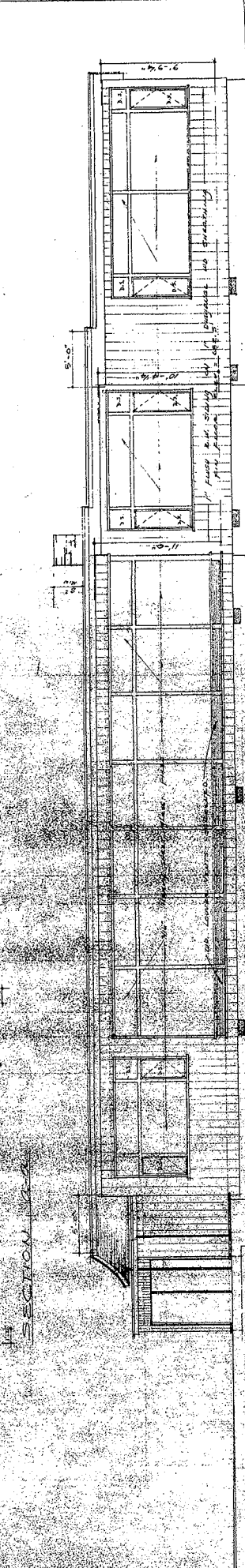
EAST ELEVATION



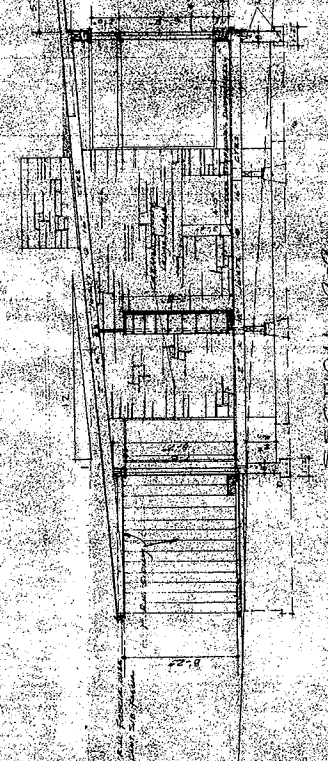
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



SECTION 1-1

24 ELEVATION 2
 25 ELEVATION 3
 26 ELEVATION 4
 27 ELEVATION 5
 28 ELEVATION 6
 29 ELEVATION 7
 30 ELEVATION 8
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 106 ELEVATION 84
 107 ELEVATION 85
 108 ELEVATION 86
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 120 ELEVATION 98
 121 ELEVATION 99
 122 ELEVATION 100

Exhibit D

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KENT L. SEAVEY
310 LIGHTHOUSE AVENUE
PACIFIC GROVE, CALIFORNIA 93950
(831) 375-8739

January 17, 2024

Mr. Luyen Vu
Eric Miller Architects inc.
211 Hoffman Ave.
Monterey, CA 93940

Dear Mr. Vu:

Introduction:

This Focused Phase II Historic Assessment has been prepared on behalf of Mr. Stephen Rivera, as part of an application for a Detached Accessory Dwelling Unit (ADU), for his residential property, located at 4161 Sunridge Dr. (APN# 008-071-011-000 and 008-071-012-000), at Pebble Beach in Monterey County (see photos, plans & drawings provided).

Historical Background & Description

The subject property is a wood & glass framed Second Bay Region Modern Style, residence, irregular in plan, resting on a concrete foundation. The exterior wall-cladding is a combination of vertical, flush redwood board siding & full-height fixed & sliding plate-glass windows. The flat roof is slightly tilted toward the SW, to take in views of the Monterey County coastline. It is sited in a rural landscape setting. Constructed in 1948, the architect of record is noted San Francisco designer John E. Dinwiddie (see full description & significance in the 2014 DPR523 provided).

Proposed Project Description

The owners propose to add an 856 S.F. Accessory Dwelling Unit approx. 13ft. NE of the SE terminus of the main building envelope. The proposed project will not be visible from a public right-of-way (see photos, plans & drawings provided).

HISTORIC PRESERVATION MUSEUM INTERPRETATION

The proposed detached addition is to be consistent with the intent of National Parks Service 2010 Preservation Brief #14, which emphasizes, preservation of the character of the historic buildings. The above described treatment has been designed to do so. The subject property is identified as an example of post WWII Second Bay Region architectural design in Monterey (see modified documentation and, plans & drawings provided).

Evaluation for Significance

The California Environmental Quality Act (CEQA), PRC Sec.21084.1 requires all properties fifty years of age or older to be reviewed for potential historic significance. Criteria for that significance is addressed in PRC Sec. 5024.1 (a). It asks, did any event important to the region, state or nation occur on the property. Did anyone important to the region, state or nation occupy the property during the productive period of their lives. Does the building represent an important architectural type, period or method of construction, or is it a good example of the work of a noted architect or master-builder. The criteria also asks if the property is likely to yield information significant to the understanding of the areas history.

Eligibility for historic listing of buildings, structures, objects, sites and districts, i.e., rests on the twin factors of historic significance and integrity to be considered for listing in the National Register of Historic Places, the California Register of Historical Resources, & the City of Monterey Historic Resource Inventory. Loss of integrity, if sufficiently great, will overwhelm the historic significance a resource may possess and render it ineligible for historic listing. Likewise, a resource can have complete integrity, but if it lacks significance, it must also be considered ineligible.

Integrity is measured by the application of seven aspects, defined by the National (NR) & California (CR) registers criteria for Evaluation. They include: Location, the place where the historic property was constructed, or an historic event occurred;

Design, the combination of elements that create the form, plan, space, structure, and style of a building; Setting, the physical environment of the historic property; Materials, the physical elements that were combined during a particular period of time and in a particular pattern or configuration to form a historic property; Workmanship, the physical evidence of the crafts of a particular culture or people during any given period in history; Feeling & Association are subjective elements that assess a resources ability to evoke a sense of time and place.

Monterey County Historic Preservation Ordinance

The criteria employed by Monterey County for designation of historic resources are the same general standards by which the significance of a historic property is judged for inclusion in the National (NR) and/or California Register (CR), and are included in the Monterey County Historic Preservation Ordinance.

The subject property is not included in the California Office of Historic Preservation-maintained “Historic Data File for Monterey County” (updated August, 2022). It is not listed in the California Register, or the National Register of Historic Places, but has been listed in the attached DPR523 as NRHP Status Code as 5S2.

Regarding the necessary seven aspects of integrity, the historic residence retains its location and setting, and the majority of its original materials and workmanship. The residence is a good example of it’s type. In its present neighborhood context, which contains a variety of architectural periods and styles, the property continues to evoke a strong sense of time and place, and of feeling and association with its 1948 documented date of construction.

IMPACTS OF THE PROPOSED PROJECT

Introduction

The *Secretary of the Interior’s Standards for the Treatment of Historic Properties (standards)* provides the framework for evaluating the impacts of additions and alterations to historic buildings.

The *Standards* describe four treatment approaches: preservation, rehabilitation, restoration and reconstruction. The *Standards* require that the treatment approach be determined first, as a different set of *Standards* apply to each approach. For the subject property, the treatment approach is rehabilitation. The *Standards* describe *Rehabilitation* as, “historic building materials and character-defining features are protected and maintained as they are in the treatment for Preservation, however, an assumption is made prior to the work that existing historic fabric has become damaged or deteriorated over time and, as a result more repair and replacement will be required”.

Thus, latitude is given in the *Standards for Rehabilitation and Guidelines for Rehabilitation* to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials. Of the four treatments, only *Rehabilitation* includes an opportunity to make possible an efficient contemporary use through alterations and additions. (see *The Secretary of the interior’s Standards for Treatment of Historic Properties* (Washington, D.C.: National Park Service, 1995).

Project Impacts

The proposed detached ADU use should not be visually detectable from any public right-of-way. It will employ design characteristics of the Second Bay Region Style outlined in the 2013 Pebble Beach Historic Context Statement by Page & Turnbull, Inc of San Francisco, outlined on Page 120 of the Context Statement

As described in the said document:

The style has no standardize appearance, but frequently simple or vernacular with a horizontal orientation. The emphasis is on volume over ornamentation.

It has wood siding, including boards, board-and-batten & shingles.

Flat, shed or canted roof forms, overhang eaves with exposed rafters. The emphasis is on indoor-outdoor living. Spaces include the use of large window openings, and an open plan of flexible plan interior spaces.

The proposed detached ADU design addresses the general characteristics described, without copying, or trying to match the existing features of the original 1948 adjacent historic property.

Proposed Project Description

The proposed detached ADU will make possible for a more efficient contemporary use of the property, while preserving those portions and features of the adjacent historic residence which are significant to its historic, architectural, and cultural use. All new work will be undertaken in conformance with the *The Secretary of the Interior's Standards for the Treatment of Historic Properties, under the Standard for Rehabilitation*.

The 1992 National Park Service *Illustrated Guidelines for Rehabilitating Historic Buildings*, states that “The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.”

The proposed new wood-framed building envelope is essentially “U” shaped in plan, with an open partial roof deck above (see plans and drawings provided).

The exterior wall cladding is a Green Hard-board vertical siding, differentiated from the white painted redwood siding on the 1948 building envelope.

The tall, fixed and sliding windows on the proposed ADU have a copper painted ribbed aluminum fascia running around the building envelope breaking up the verticality of the fenestration, and high, narrow white metal windows on the side-elevation facing the historic residence for privacy.

The slightly flared SW facing roof eaves will be ribbed beneath.

Posts and railings throughout will be painted black

An exterior eave wall chimney will be finished in an assorted block Carmel stone.

While respectful of the character-defining features of the Second Bay Region Style, called out in the 2012 Pebble Beach Historic Context Statement, the proposed ADU will in no way attempt to “match” in kind the specific character-defining features of its immediate neighbor, architect John E. Dinwiddie’s Ferris Bagley House, at 4161 Sunridge Dr. in Pebble Beach.

5

Conclusion

As proposed, the detached Accessory Dwelling Unit, (ADU) adjacent to the 1948 John E. Dinwiddie's Second Bay Region style residence, at 4161 Sunridge Dr., in Pebble Beach, has been designed to reflect the descriptor of the architectural form, identified in the 2012 Pebble Beach Historic Context Statement. It is also consistent with the Secretary of the Interior's Standards for the treatment of Historic Properties, especially Rehabilitation Standards #9 & #10. In that:

(#9) "as related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion and massing to protect the integrity of the property and its environment."

(#10) "In that new additions and adjacent or related construction will be undertaken in such a manner that, if removed in future, the essential form & integrity of the historic property and its environment would be unimpaired".

The proposed work on the subject property is consistent with the *Secretary's Standards for Rehabilitation* and will not cause an adverse effect on the environment.

Mitigation

The proposed project appears to be in conformance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties* under the *Standard for Rehabilitation* (see documentation, photos and plans & drawings provided). No mitigation is required.

Respectfully Submitted,

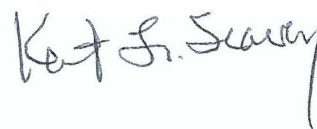
A handwritten signature in dark ink, appearing to read "K. J. Seavey". The signature is written in a cursive, flowing style with a long, sweeping tail on the last letter.

Exhibit E

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*Before the Board of Supervisors County of
Monterey, State of California*

Resolution No. 23-492

**PLN230067 – RIVERA STEVEN A & JUNE M
TRS**

Resolution by the County of Monterey Board of Supervisors adding the “Ferris Bagley House” at 4161 Sunridge Road, Pebble Beach to the Monterey County Register of Historic Resources.

[The property is located at 4161 Sunridge Road, Pebble Beach (Assessor’s Parcel Number 008-071-011-000 and 008-071-012-000), Del Monte Forest Land Use Plan, Coastal Zone.]

WHEREAS, this matter was heard by the County of Monterey Board of Supervisors on December 5, 2023, pursuant to the regulations for the preservation of Historic Resources in County of Monterey contained in Monterey County Code Chapter 18.25.

WHEREAS, the property is located at 4161 Sunridge Road, Pebble Beach (Assessor’s Parcel Number 008-071-011-000 and 008-071-012-000), Del Monte Forest Land Use Plan, Coastal Zone.

WHEREAS, on February 7, 2023, the owners Steven and June Rivera submitted a request that their property be listed on the Monterey County Register of Historic Resources.

WHEREAS, the site is a property with a one-story, wood framed single-family home constructed between 1948 and 1949 in the “Second Bay Region Style” in a residential neighborhood in Pebble Beach.

WHEREAS, a Phase I historic report was prepared by Kent L. Seavey (LIB140306) evaluating the historical significance of the home.

WHEREAS, the Phase I report describes the home as significant under the California Register of Historic Resources Criterion 3, “*Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values*”, in the area of architecture, as an excellent and early example of Post World War Two Second Bay Region design, found on the Monterey Peninsula, by noted modernist architect John E. Dinwiddie. Additionally, state Criteria 3 corresponds with Monterey County Code section 18.25.070.B “*Historical, Architectural, and Engineering Significance*,” which includes resources that exemplify a particular architectural style important to the County.

WHEREAS, The Second Bay Region style is described in the historic report as a combination of the less is more philosophy of the International Style and “Soft Modernism”, which drew from vernacular architecture of ranches, barns, and low cost homes. Local cordwood siding, exposed interior roof structure, and low-pitched roofs were mixed with international style influences like

flat roofs, simple geometric forms, large expanses of glass, and particularly, open plans. This style is also mentioned in the Pebble Beach Historic Context Statement. The construction date places it within the post war theme of residential development in Pebble Beach between 1946 and 1969 according to the Pebble Beach Historic Context Statement. This period was the greatest period of sustained growth in the history of the Pebble Beach/Del Monte Forest area and was mostly marked by the construction of single-family properties of a variety of styles, including the Second Bay Region Style. The Pebble Beach Historic Context Statement list the defining characteristics of this style as:

- No standardized appearance, but frequently simple or vernacular with a horizontal orientation;
- Emphasis on volume over ornamentation;
- Wood siding, including boards, board-and batten and shingles Flat, shed or canted roof forms;
- Overhanging eaves with exposed rafters;
- Emphasis on indoor-outdoor living spaces, including the use of large window openings; and
- Open plan of flexible plan interior spaces.

WHEREAS, the home demonstrates many of these. It has a simple ornamentation with architectural relief provided by volumetric transitions. Its primary exterior finish is a redwood siding. It has a large overhanging eave, and it has large window openings and fully glazed walls which emphasize indoor-outdoor living space.

WHEREAS, John Dinwiddie earned his degree in architecture from the University of Michigan, Ann Arbor in 1925. He worked briefly in New York before re-locating to San Francisco in 1927, where he worked until establishing his own practice in 1931. Several of his bay area designs were published in professional magazines between 1941 and 1947, and Lewis Mumford introduced John E. Dinwiddie and Henry Hill at a 1949 exhibit on “Domestic Architecture of the San Francisco Bay Region” that saw the emergence of the name “Bay Region Style” at the San Francisco Museum of Modern Art.

WHEREAS, the Phase I report describes the character defining features of the residence as:

- Cubist like footprint;
- Vertical, flush redwood board exterior wall cladding;
- A flat roof with a slight lift toward the south; and
- Fully glazed walls in the main living area that seem to lead outdoors and to take advantage of both the intimate and far views of nature afforded by the hill-top siting of the residence.

WHEREAS, according to the historic report alterations since construction consist of painting the house (which was originally a stained wood) an off-white; and minor additions constructed in 1972 on the plan east and plan west sides of the home, as shown in the building plans attached to the historical report (LIB140306). The report concludes that the residence retains integrity: most of its original features and finishes are in place, and it evokes a strong sense of time, place, and feeling.

WHEREAS, the County's Historic Resources Review Board (HRRB), adopted a resolution on July 6, 2023, recommending that the property be listed on the Monterey County Register of Historic Resources, 6-0 with one member absent.

THEREFORE, BE IT RESOLVED THAT, having considered all the written and documentary information submitted, oral testimony, and other evidence presented before the County of Monterey Board of Supervisors, the Board of Supervisors hereby decides to add the "Ferris Bagley House" to the Monterey County Register of Historic Resources.

This resolution is additionally supported by the following finding and evidence:

Finding: The "Ferris Bagley House" is eligible for listing on the Monterey County Register of Historic Resources under California Register of Historic Resources Criterion 3, *"Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values"*, in the area of architecture, as an excellent and early example of Post World War Two Second Bay Region design, found on the Monterey Peninsula, by noted modernist architect John E. Dinwiddie.

Evidence:

1. Application materials in the file PLN230067, including letter requesting the property be listed on the historic register;
2. Procedures and Criteria for listing on the Monterey County Register of Historic Resources contained in Chapter 18.25 of the Monterey County Code;
3. Phase I Historic Resources Assessment (LIB140306) prepared by Kent Seavey, Pacific Grove, CA, September 1, 2014;
4. The Pebble Beach Historic Context Statement;
5. Historic Resources Review Board Resolution No. 23-006; and
6. Oral testimony and Board of Supervisors discussion during the public hearing and the administrative record.

PASSED AND ADOPTED on this 5th day of December 2023, by roll call vote:

AYES: Supervisors Alejo, Church, Lopez, Askew, and Adams

NOES: None

ABSENT: None

I, Valerie Ralph, Clerk of the Board of Supervisors of the County of Monterey, State of California, hereby certify that the foregoing is a true copy of an original order of said Board of Supervisors duly made and entered in the minutes thereof of Minute Book 82 for the meeting December 5, 2023.

Dated: December 15, 2023

File ID: RES 23-224

Agenda Item No.: 9

Valerie Ralph, Clerk of the Board of Supervisors
County of Monterey, State of California



Vicente Ramirez, Deputy

Exhibit F

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