

County of Monterey

County of Monterey Government Center
1441 Schilling Place, Salinas, CA 93901



Meeting Agenda - Final

Wednesday, May 1, 2024

8:00 AM

**Government Center
1441 Schilling Place
Salinas, CA 93901**

Administrative Permit

The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the Chief of Planning's alternative actions on any matter before it.

Notice is hereby given that on May 1, 2024 the Chief of Planning of the County of Monterey Housing and Community Development, is considering the project described on the following pages.

Any comments or requests that any of the applications be scheduled for public hearing must be received in writing in the office of the County of Monterey Housing and Community Development by 5:00 pm Tuesday, April 30, 2024. A public hearing may be required if any person, based on a substantive issue, so requests.

Si necesita la traducción de esta agenda, comuníquese con el Departamento de Vivienda y Desarrollo Comunitario del Condado de Monterey ubicado en el Centro de Gobierno del Condado de Monterey, 1441 Schilling Place, segundo piso, Salinas, o por teléfono al (831) 755-5025. Después de su solicitud, la Secretaria asistirá con la traducción de esta agenda.

If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. For information regarding how, to whom and when a person with a disability who requires a modification or accommodation in order to participate in the public meeting may make a request for disability-related modification or accommodation including auxiliary aids or services or if you have any questions about any of the items listed on this agenda, please call the County of Monterey Housing and Community Development at (831) 755-5025.

NOTE: All agenda titles related to numbered items are live web links. Click on the title to be directed to corresponding Staff Report

SCHEDULED MATTERS**1. PLN230134 - W & SMITH CA INC**

Consider remodel of an existing 9,547 square foot single-family dwelling, construction of a 444 square foot first floor addition and a new 1,151 square foot attached garage resulting in a 11,181 square foot single-family dwelling; conversion of an existing attached garage and a portion of conditioned space into a 1,178 attached accessory dwelling unit; conversion of a portion of the single-family dwelling into a 369 square foot attached guesthouse and a 215 square foot art studio; and re-aligning the driveway from Cortez Rd. to Oleada Rd.

Project Location: 3180 Cortez Rd, Pebble Beach CA 93953

Proposed CEQA action: Find the project Categorical Exempt pursuant to Section 15301 of the CEQA Guidelines.

Attachments: [Staff Report](#)
 [Exhibit A - Draft Resolution](#)
 [Exhibit B - Arborist Report \(LIB230305\)](#)
 [Exhibit C - Biology Report \(LIB230306\)](#)
 [Exhibit D - Site Distance Review \(LIB230307\)](#)
 [Exhibit E - Vicinity Map](#)



County of Monterey

Item No.1

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: AP 24-022

May 01, 2024

Introduced: 4/23/2024

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN230134 - W & SMITH CA INC

Consider remodel of an existing 9,547 square foot single-family dwelling, construction of a 444 square foot first floor addition and a new 1,151 square foot attached garage resulting in a 11,181 square foot single-family dwelling; conversion of an existing attached garage and a portion of conditioned space into a 1,178 attached accessory dwelling unit; conversion of a portion of the single-family dwelling into a 369 square foot attached guesthouse and a 215 square foot art studio; and re-aligning the driveway from Cortez Rd. to Oleada Rd.

Project Location: 3180 Cortez Rd, Pebble Beach CA 93953

Proposed CEQA action: Find the project Categorically Exempt pursuant to Section 15301 of the CEQA Guidelines.

RECOMMENDATIONS:

It is recommended that the HCD Chief of Planning adopt a resolution to:

- a. Find the project qualifies for a Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA Guidelines and that there are no exceptions pursuant to Section 15300.2; and
- b. Approve a Coastal Administrative Permit and Design Approval to allow the remodel and of an existing 9,547 square foot single-family dwelling, construction of a 444 square foot first floor addition and a new 1,151 square foot attached garage resulting in a 11,181 square foot single-family dwelling. Associated site improvements include re-aligning the driveway from Cortez Road to Oleada Road;
- c. Approve a Coastal Administrative Permit to allow the conversion of an existing attached garage and a portion of conditioned space into a 1,178 attached accessory dwelling unit;
- d. Approve a Coastal Administrative Permit to allow the conversion of a portion of the single family dwelling into a 369 square foot attached guesthouse; and
- e. Approve a Coastal Administrative Permit to allow the conversion of a portion of the single family dwelling into a 215 square foot art studio.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 14 conditions of approval.

PROJECT INFORMATION:

Agent: Amy Denney

Property Owner: W & Smith CA, Inc.

APN: 008-233-010-000

Parcel Size: 88,383 square feet (2.029 acres)

Zoning: Low Density Residential, 1.5 acres per unit with Design Control Overlay District, Coastal Zone, or “LDR/1.5-D(CZ)”

Plan Area: Del Monte Forest Land Use Plan

Flagged and Staked: Yes

SUMMARY:

Staff is recommending approval of a Coastal Administrative Permit and Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On May 1, 2024, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, April 30, 2024. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors and the California Coastal Commission.

Prepared by: Hya Honorato, Assistant Planner, x5173

Reviewed and Approved by: Anna Ginette Quenga, AICP, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plan, Floor Plans, Elevations, Colors and Materials

Exhibit B - Arborist Report (LIB230305)

Exhibit C - Biology Report (LIB230306)

Exhibit D - Site Distance Review (LIB230307)

Exhibit E - Vicinity Map

cc: Front Counter Copy; PebbleBeach Community Services District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Hya Honorato, Assistant Planner; Anna Ginette Quenga, AICP, Principal Planner; W & Smith, Inc., Property Owner; Amy Denney (IDG, Inc.), Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Planning File PLN230134.



County of Monterey

Item No.1

Administrative Permit

Registrar File Number: AP 24-022

May 01, 2024

Introduced: 4/23/2024

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN230134 - W & SMITH CA INC

Consider remodel of an existing 9,547 square foot single-family dwelling, construction of a 444 square foot first floor addition and a new 1,151 square foot attached garage resulting in a 11,181 square foot single-family dwelling; conversion of an existing attached garage and a portion of conditioned space into a 1,178 attached accessory dwelling unit; conversion of a portion of the single-family dwelling into a 369 square foot attached guesthouse and a 215 square foot art studio; and re-aligning the driveway from Cortez Rd. to Oleada Rd.

Project Location: 3180 Cortez Rd, Pebble Beach CA 93953

Proposed CEQA action: Find the project Categorically Exempt pursuant to Section 15301 of the CEQA Guidelines.

RECOMMENDATIONS:

It is recommended that the HCD Chief of Planning adopt a resolution to:

- a. Find the project qualifies for a Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA Guidelines and that there are no exceptions pursuant to Section 15300.2; and
- b. Approve a Coastal Administrative Permit and Design Approval to allow the remodel and of an existing 9,547 square foot single-family dwelling, construction of a 444 square foot first floor addition and a new 1,151 square foot attached garage resulting in a 11,181 square foot single-family dwelling. Associated site improvements include re-aligning the driveway from Cortez Road to Oleada Road;
- c. Approve a Coastal Administrative Permit to allow the conversion of an existing attached garage and a portion of conditioned space into a 1,178 attached accessory dwelling unit;
- d. Approve a Coastal Administrative Permit to allow the conversion of a portion of the single family dwelling into a 369 square foot attached guesthouse; and
- e. Approve a Coastal Administrative Permit to allow the conversion of a portion of the single family dwelling into a 215 square foot art studio.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 14 conditions of approval.

PROJECT INFORMATION:

Agent: Amy Denney

Property Owner: W & Smith CA, Inc.

APN: 008-233-010-000

Parcel Size: 88,383 square feet (2.029 acres)

Zoning: Low Density Residential, 1.5 acres per unit with Design Control Overlay District, Coastal Zone, or “LDR/1.5-D(CZ)”

Plan Area: Del Monte Forest Land Use Plan

Flagged and Staked: Yes

SUMMARY:

Staff is recommending approval of a Coastal Administrative Permit and Design Approval subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On May 1, 2024, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, April 30, 2024. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors and the California Coastal Commission.

Prepared by: Hya Honorato, Assistant Planner, x5173

Reviewed and Approved by: Anna Ginette Quenga, AICP, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plan, Floor Plans, Elevations, Colors and Materials

Exhibit B - Arborist Report (LIB230305)

Exhibit C - Biology Report (LIB230306)

Exhibit D - Site Distance Review (LIB230307)

Exhibit E - Vicinity Map

cc: Front Counter Copy; PebbleBeach Community Services District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Hya Honorato, Assistant Planner; Anna Ginette Quenga, AICP, Principal Planner; W & Smith, Inc., Property Owner; Amy Denney (IDG, Inc.), Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Planning File PLN230134.

Exhibit A

This page intentionally left blank.

DRAFT RESOLUTION

Before the Housing and Community Development Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of:

W & SMITH CA INC (PLN230134)

RESOLUTION NO. ----

Resolution by the Monterey County HCD Chief of Planning:

- 1) Finding the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301; and
- 2) Approving a Coastal Administrative Permit and Design Approval to allow the remodel of an existing 9,547 square foot single-family dwelling, construction of a 444 square foot first floor addition and a new 1,151 square foot attached garage resulting in a 11,181 square foot single-family dwelling. Associated site improvements include re-aligning the driveway from Cortez Road to Oleada Road;
- 3) Approving a Coastal Administrative Permit to allow the of an existing 1,151 square foot attached garage and a portion of conditioned space into a 1,178 attached accessory dwelling unit;
- 4) Approving a Coastal Administrative Permit to allow the conversion of a portion of the single family dwelling into a 369 square foot attached guesthouse; and
- 5) Approving a Coastal Administrative Permit to allow the conversion of a portion of the single family dwelling into a 215 square foot art studio.

[PLN230134 W & Smith CA Inc., 3180 Cortez Rd, Pebble Beach, Del Monte Forest Land Use Plan (APN: 008-233-010-000)]

The W & SMITH CA INC. application (PLN230134) came for an administrative decision hearing before the Monterey County HCD Chief of Planning on May 1, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Monterey County HCD Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
- EVIDENCE:**
- a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in the:
 - The 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan;
 - Monterey County Coastal Implementation Plan, Part 5; and
 - Monterey County Zoning Ordinance (Title 20).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) The project includes the remodel, addition and partial conversion of a single-family dwelling on an existing lot in the Del Monte Forest, including the following:
 - Remodel of the 9,547 square foot two-story single-family dwelling with a lower level partially below grade.
 - Convert the existing garage and a portion of the home into an attached 1,178 square foot accessory dwelling unit (ADU).
 - Convert a bedroom area into a 369 square foot attached guesthouse with separate exterior access.
 - Convert a bedroom area into a 215 square foot art studio with separate exterior access.
 - Construct an attached 1,151 square foot garage and 444 square feet first floor addition.
 - Realign the driveway from Cortez Road to Oleada Road.
 - c) Allowed Use. The property is located at 3180 Cortez Rd, Pebble Beach (Assessor's Parcel Number [APN]: 008-233-010-000), within the Del Monte Forest Land Use Plan, Coastal Zone. The parcel is zoned as Low Density Residential, 1.5 acres per unit, with Design Control zoning overlay district [LDR/1.5-D], which allows the first single-family dwelling (Title 20 Section 20.14.040.A) and accessory structures (Title 20 Section 20.14.040.W). Therefore, the project is an allowed use for this site.
 - d) Lot Legality. The property is shown in its present size and configuration as Lot 10 in Book 8 of the Assessor's Maps, Page 23, El Pescadero Subdivision. Therefore, the County recognizes it as a legal lot of record.
 - e) Development Standards – Setbacks and Height. Development standards for the LDR zoning district are identified in Title 20 Section 20.14.060.C.1. The required main structure setbacks for the subject property are 30 feet (front), 20 feet (side) and 20 feet (rear). The existing single-family dwelling sits well within the required setbacks on all sides. The proposed attached garage will have a 20-foot side setback on the southwest side. The proposed first floor additions are well within the required front setback of 30 feet. The maximum allowed height for main structures in the LDR zoning district is 30 feet above average natural grade. The existing residence is 30 feet 10 inches above average natural grade and is over the maximum allowed height, therefore it is legal non-conforming. Pursuant to Title 20 Section 20.68.040.A, the

proposed additions shall meet the height requirement and are at 30 feet. The County's standard condition shall be implemented to verify that the height of all proposed development is within the maximum allowed height of 30 feet. The habitable ADU, art studio and guesthouse are all attached to the main dwelling. Therefore, the ADU (see Finding 7 and supporting evidence), the art studio and guesthouse (see Finding 8 and supporting evidence) have the same setback requirements as the main dwelling and are within the same footprint as the existing structure. Therefore, as proposed, the project meets all required development standards.

- f) Development Standards – Impervious Surface Coverage. The subject property is located within the Carmel Bay Area of Special Biological Significance (ASBS) and shall be limited to 9,000 square feet of impervious site coverage pursuant to the Del Monte Forest LUP Policy No. 77. The property is 2.03 acres (88,383 square feet). The property is currently developed with 6,220 square feet of structural coverage and 2,516 square feet of impermeable hardscape, constituting a total of 8,736 square feet of existing impervious coverage. The proposed development includes 1,574 square feet of additional structural coverage, however, the existing impermeable hardscape will be removed and replaced with permeable pavers and decomposed granite pathways, reducing the coverage by 1,397 square feet and totaling in 8,983 square feet of impervious coverage. The remaining developed areas will be converted to landscape.
- g) Development Standards – Lot Coverage and Floor Area Ratio (FAR). Pursuant to Title 20 Section 20.14.060.E and F, the LDR district allows a maximum lot coverage of 15% and FAR of 17.5%. The proposed lot coverage is 8,796 square feet, or 9.9%, within the requirement. The existing FAR is 9,547 square feet, or 10.8%. The proposed FAR development will be 11,159 square feet, or 12.62%, also within the requirement.
- h) Design. The subject parcel and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay) and pursuant to Title 20 Chapter 20.44, the location, size, configuration, materials, and colors of structures and fences are regulated to assure the protection of the public viewshed and neighborhood character. The applicant proposes to match the existing building finishes to include an off-white stucco finish, off-white metal windows and doors, glass block accents, and a Class A terracotta colored tile roof. The primary colors and materials are consistent with the Coastal Implementation Plan (CIP) Section 20.147.070.B.3, and the project site is within the Pt. Lobos viewshed per Figure 3 of the CIP. However, the proposed development is not visible from Pt. Lobos without aided vision due to distance, topography, and existing mature vegetation, including several trees that are surrounding the proposed development. This project will not have a detrimental effect on the existing neighborhood character nor an effect on the public viewshed. The proposed additions to the single-family dwelling will not significantly alter the massing of the existing home as to create an adverse visual impact. The architectural style and massing will be consistent with the surrounding residential development. Prior to

issuance of building permit(s), the landscape plan and exterior lighting shall be approved by HCD Planning pursuant to Title 20 Section 20.14.060 and will be controlled by use of the County's standard conditions.

- i) Cultural Resources. The site is in an area identified in County records as having high archaeological sensitivity. In accordance with CIP Section 20.147.080.B, an archaeological report was prepared to analyze the potential of the project to impact archaeological resources. A Phase 1 Archaeological Report (LIB230296 – see Finding 2, Evidence “b”) was prepared by Archaeological Consulting in 1997 and included with the project application. The report included a records search and a field reconnaissance, both produced negative results. The County reviewed the report and agreed with its conclusions. However, due to the site's high archaeology sensitivity and the proximity of known resources, the County's standard condition has been incorporated, which would require the applicant to stop work if any cultural resources or human remains are identified.
- j) Tree Protection. The proposed project does not include any tree removal, however, there are several trees identified as Monterey pine and Coast live oak trees throughout the parcel. Therefore, the County's standard tree and root protection condition has been applied to the project requiring the Applicant to install protective fencing around nearby trees not being removed during construction. An arborist report (LIB230305 – see Finding 2, Evidence “b”) was included with the project application and noted that additional measures that may be required for protection of the trees. All recommendations included in the arborist report shall be implemented through the County's standard condition for a notice of report.
- k) Biological Resources. A biological report (LIB230306 – See Finding 2, Evidence “b”) was included with the project application. The biological report found that there was evidence of native flora and fauna within the woodland and shrubbery areas of the parcel, however, no endangered species were identified. The project does not pose a risk of diminishing or adversely affecting sensitive habitat, nor would it reduce or harm to sensitive plant or animal species. All recommendations included in the biological report shall be implemented through the County's standard condition for a notice of report and, as recommended and in accordance with the Migratory Bird Treaty Act, the standard condition shall be implemented for a pre-construction nesting survey.
- l) Land Use Advisory Committee (LUAC) Review. The project was not referred to a Land Use Advisory Committee (LUAC) for review because it does not involve a public hearing Design Approval, a Lot Line Adjustment, or preparation of an Initial Study.
- m) The project planner conducted a site inspection on February 6, 2024 to verify that the project on the subject parcel conforms to the plans listed above.
- n) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230134.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.
- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to trees, biological resources, cultural resources and site distancing for the proposed driveway. The following reports have been prepared:
 - “Preliminary Archaeology Report” (LIB230296) prepared by Archaeological Consulting, Salinas, California, March 28, 1997.
 - “Tree Impact Assessment” (LIB230305) prepared by Thompson Wildland Management, Monterey, California, September 19, 2023.
 - “Biological Report” (LIB230306) prepared by Jeffrey Froke, Pebble Beach, California, August 21, 2023.
 - “Site Distance Review” (LIB230307) prepared by Hexagon Transportation Consultants, Inc., San Jose, California, August 31, 2023.County staff independently reviewed these reports and concurs with their conclusions. All development shall be in accordance with these reports.
 - c) Staff conducted a site inspection on February 6, 2024 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230134.
3. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau (EHB), and Pebble Beach Community Services District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities for the existing single-family dwelling exist; public water and sewer connections are provided by CalAm, as managed by the Monterey Peninsula Water Management District, and the Pebble Beach Community Services District, respectively. Service for the project will be provided through the same connections.

- c) Site Distance. The existing driveway is located off Cortez Road. The existing driveway involves a steep uphill sharp turn that poses a health and safety risk for both the residents and oncoming traffic. The proposed development includes relocating the driveway approach to Oleada Road to allow for better sighting in both directions. A Site Distance Review (LIB230307 – see Finding 2, Evidence “b”) has been provided to analyze the site distancing from the proposed driveway approach. The existing driveway will be converted to landscaping with a footpath and gate to allow access. Implementation of the Site Distance Review shall be controlled by the Monterey County HCD-Engineering Services non-standard condition.
- d) Staff conducted a site inspection on February 6, 2024 to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230134.

4. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on February 6, 2024 and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230134.
5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301.e, categorically exempts additions to existing structures provided that the addition will not result in an increase of 2,500 square feet or 10,000 square feet if the project is in an area where all public services and facilities are available to allow for maximum development and the area in which the project is located is not environmentally sensitive.
 - b) The project consists of the remodel, addition and conversion of portions of a single-family residence on an existing residentially zoned property, inclusive of an ADU, guesthouse, and art studio, construction of a new garage and entry, and relocating the driveway, fitting with the intent of this exemption.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project:
 - There is no significant effect on the environment due to unusual circumstances (See Findings 1 and 2, and supportive evidence);

- The proposed development is not visible from any scenic corridor or scenic highway. The closest scenic road is 17 Mile Drive, which is approximately 0.3 miles southwest of the site, and the closest scenic highway is Highway 1, which is approximately 1.8 miles east of the site. The parcel is located within the Pt. Lobos viewshed (see Finding 1, Evidence “i”). The proposed development is not visible from 17 Mile Drive, Highway 1, or Pt. Lobos without aided vision due to distance, topography, and existing mature vegetation, including several trees that are surrounding the proposed development. There is no tree removal proposed for this project and no impacts from the proposed development will damage scenic resources.
 - Successive projects of the same type and in the same place (additions to a single-family dwelling on this lot) would not contribute to a significant cumulative impact. There are no identified construction projects within 0.25 miles of the project that would contribute to a significant cumulative impact; and
 - This project site is not located on or near any hazardous waste sites listed in Section 65962.5 of the Government Code.
- d) Staff conducted a site inspection on February 6, 2024 to verify that the site and proposed project meet the criteria for an exemption.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230134.

6. FINDING:

PUBLIC ACCESS – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights. The project is consistent with the Del Monte Forest LUP Policy No. 125 and Figure 8 and does not interfere with any public access areas including trail access.

EVIDENCE:

- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.147.130 of the Del Monte Forest Coastal Implementation Plan can be demonstrated.
- b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
- c) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access to the shoreline.
- d) The nearest public access trail is 0.25 miles from the project site and no trails or public access areas are located on the parcel. The project planner conducted a site visit on February 6, 2024, to verify that the project, as proposed, would not impact public access.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230134.

7. **FINDING:** **ACCESSORY DWELLING UNIT** – The project meets the established regulations and standards as identified in Title 20, Section 20.64.030.
- EVIDENCE:**
- a) Title 20, Section 20.64.030 establishes regulations and standards for which an accessory dwelling unit, accessory to the main residence on a lot, may be permitted. The project includes the establishment of a 1,178 square foot Accessory Dwelling Unit (ADU) that includes independent living facilities as shown in the attached plans. (See attached plans and Finding 1, Evidence “e”).
 - b) Pursuant to Title 20 Section 20.64.030.E.1, only one ADU per lot shall be allowed. There is an existing guesthouse that was built at the same time as the main dwelling (Monterey County HCD-Planning File PLN970100) that included a kitchenette. The proposed ADU would not be allowed due to the previously approved plans reflecting that a unit already exists. The Applicants are therefore converting the previous unit into a 369 square foot guesthouse (see Finding 8 and supporting evidence), which is consistent with Title 20 Section 20.64.020, and the additional space in the previous unit shall be converted into a 215 square foot art studio.
 - c) The ADU is below the maximum 1,200 square foot floor area. The existing attached garage and a portion of the conditioned space of the main dwelling will be converted into the ADU and will therefore be within the footprint of the single-family dwelling. Since the ADU is attached to the single-family dwelling, main structure setbacks apply. As proposed, the single family dwelling and attached ADU have a side setback (north side) well beyond the required 20 feet.
 - d) As defined in Title 20 Section 20.58.040, the ADU will have one parking space located along the driveway as shown in the attached plans.
 - e) The ADU meets the required site development standards and design criteria as defined in Title 20 Section 20.14.060 and Chapter 20.44 (see Finding 1, Evidence “e” and “h”).
 - f) The application was reviewed by the Environmental Health Bureau (EHB) to ensure adequate sewage disposal and water supply facilities exist and are readily available to serve the ADU. EHB made the determination that the property has adequate public facilities and no further comments or conditions were provided (See Finding 3 and supporting evidence).
 - g) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in HCD-Planning File No. PLN230134.
8. **FINDING:** **GUESTHOUSE** – The project meets the established regulations and standards as identified in Title 20, Section 20.64.020.
- EVIDENCE:**
- a) Title 20, Section 20.64.020 establishes regulations and standards for which a guesthouse, accessory to the main residence on a lot, may be permitted. The project includes the construction of a 369

square foot attached guesthouse with no cooking facilities. (See attached plans and Finding 1, Evidence “e”).

- b) An existing unit as shown on previously approved plans will be converted into a 369 square foot guesthouse to allow for a 1,178 ADU pursuant to Title 20 Section 20.64.030.E.1 (see Finding 7, Evidence “b”). The proposed guesthouse is the only guesthouse proposed for the subject parcel, has no cooking facilities, and shall not be separately rented. A deed restriction applicable to a guesthouse shall be implemented through the County’s standard condition.
- c) The guesthouse is attached to the single-family dwelling and main structure setbacks apply. As proposed, the single family dwelling and attached guesthouse have a side setback (north side) well beyond the required 20 feet.
- d) As defined in Title 20, Section 20.58.040, the guesthouse requires one parking space. Consistent with this requirement, the guesthouse will have one parking space located near the proposed garage.
- e) The guesthouse meets the required site development standards and design criteria as defined in Title 20 Section 20.14.060 and Chapter 20.44 (see Finding 1, Evidence “e” and “h”).
- f) The application was reviewed by the Environmental Health Bureau (EHB) to ensure adequate sewage disposal and water supply facilities exist and are readily available to serve the guesthouse. The guesthouse will share the same utilities with the main residence. EHB made the determination that the property has adequate public facilities and no further comments or conditions were provided (See Finding 3 and supporting evidence).
- g) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in HCD-Planning File No. PLN230134.

9. FINDING:

APPEALABILITY – The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE:

- a) Board of Supervisors. Pursuant to Title 20 Section 20.86.030, the project is subject to appeal to the Board of Supervisors because it requires the Zoning Administrator to make a discretionary decision.
- b) California Coastal Commission. Pursuant to Section 20.86.080.A.3 of Title 20, the project is subject to appeal by/to the California Coastal Commission because the project is located between the sea and the first through public road paralleling the sea.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301; and
2. Approve a Coastal Administrative Permit and Design Approval to allow the remodel of an existing 9,547 square foot single-family dwelling, construction of a 444 square foot first floor addition and a new 1,151 square foot attached garage resulting in a 11,181 square foot single-family dwelling. Associated site improvements include re-aligning the driveway from Cortez Rd. to Oleada Road;
3. Approve a Coastal Administrative Permit to allow the conversion of an existing attached garage and a portion of conditioned space into a 1,178 attached accessory dwelling unit;
4. Approve a Coastal Administrative Permit to allow the conversion of a portion of the single-family dwelling into a 369 square foot attached guesthouse; and
5. Approve a Coastal Administrative Permit to allow the conversion of a portion of the single-family dwelling into a 215 square foot art studio.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 1st day of May, 2024.

Melanie Beretti, AICP
HCD Acting Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

_____.
THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

This page intentionally left blank

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230134

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This Coastal Administrative Permit and Design Approval (PLN230134) allows the remodel of an existing 9,547 square foot single-family dwelling, construction of a 444 square foot first floor addition and a new 1,151 square foot attached garage resulting in a 11,181 square foot single-family dwelling. Associated site improvements include re-aligning the driveway from Cortez Rd. to Oleada Rd. Conversion of an existing attached garage and a portion of conditioned space into a 1,178 attached accessory dwelling unit, and conversion of a portion of the single-family dwelling into a 369 square foot attached guesthouse and a 215 square foot art studio. The property is located at 3180 Cortez Road, Pebble Beach (Assessor's Parcel Number 008-233-010-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Coastal Administrative Permit (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 008-233-010-000 on May 1, 2024. The permit was granted subject to 14 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be shall provide proof of recordation of this notice to the HCD - Planning.
Performed:

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or The Owner/Applicant shall adhere to this condition on an on-going basis.

Monitoring
Action to be Prior to the issuance of grading or building permits and/or prior to the recordation of the
Performed: final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD004 - INDEMNIFICATION AGREEMENT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of the approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the county for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the county harmless. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final/parcel map, whichever occurs first and as applicable:

The Owner/Applicant/Agent shall submit signed and notarized Indemnification Agreement to the Director of HCD – Planning for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to HCD – Planning.

5. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant/Agent shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval. (HCD -Planning)

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant/Agent shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

6. PD012(F) - LANDSCAPE PLAN AND MAINTENANCE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, an electronic copy of a landscaping plan shall be submitted to HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD – Planning)

Compliance or Monitoring Action to be Performed: Owner/Applicant/Agent/Contractor shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

All landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit an electronic copy of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by HCD - Planning, prior to the issuance of building permits. (HCD – Planning)

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit an electronic copy of the lighting plans to HCD - Planning for review and approval prior to the issuance of building or grading permits. Approved lighting plans shall be incorporated into final building plans.

The lighting shall be installed and maintained in accordance with the approved plan prior to occupancy and shall be maintained ongoing.

8. PD016 - NOTICE OF REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A Biological Report (Library No. 230306) has been prepared for this parcel by Jeffrey Froke dated August 21, 2023, and a Tree Impact Assessment (Library No. 230305) Thompson Wildlife Management dated September 19, 2023, and are on record in Monterey County HCD - Planning. All development shall be in accordance with this report." (HCD – Planning)

Compliance or Monitoring Action to be Performed: Owner/Agent shall submit proof that all development has been implemented in accordance with the report to HCD-Planning for review and approval prior to occupancy.

Owner/Agent shall submit proof of recordation of this notice to HCD-Planning.

9. PD019(A) - DEED RESTRICTION - GUESTHOUSE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a deed restriction stating the regulations applicable to a Guesthouse as follows:

- Only one guesthouse shall be allowed per lot.
- Detached guesthouses shall be located in close proximity to the principal residence.
- Guesthouses shall share the same utilities with the main residence, unless prohibited by public health requirements.
- The guesthouse shall not have cooking or kitchen facilities, including but not limited to microwave ovens, hot plates and toaster ovens.
- The guesthouse shall have a maximum of six (6) linear feet of counter space, excluding counter space in a bathroom. There shall be a maximum of eight (8) square feet of cabinet space, excluding clothes closets.
- The guesthouse shall not exceed 600 square feet of livable floor area.
- The guesthouse shall not be separately rented, let or leased from the main residence whether compensation be direct or indirect.
- Subsequent subdivisions which divide a main residence from a guesthouse shall be prohibited.
- The guesthouse shall be designed in such a manner as to be visually consistent and compatible with the main residence on site and other residences in the area.
- The guesthouse height shall not exceed 15 feet nor be more than one story.

(HCD – Planning)

Compliance or Monitoring Action to be Performed: The applicant shall record a deed restriction stating the regulations applicable to a Guesthouse as follows:

- Only one guesthouse shall be allowed per lot.
- Detached guesthouses shall be located in close proximity to the principal residence.
- Guesthouses shall share the same utilities with the main residence, unless prohibited by public health requirements.
- The guesthouse shall not have cooking or kitchen facilities, including but not limited to microwave ovens, hot plates and toaster ovens.
- The guesthouse shall have a maximum of six (6) linear feet of counter space, excluding counter space in a bathroom. There shall be a maximum of eight (8) square feet of cabinet space, excluding clothes closets.
- The guesthouse shall not exceed 600 square feet of livable floor area.
- The guesthouse shall not be separately rented, let or leased from the main residence whether compensation be direct or indirect.
- Subsequent subdivisions which divide a main residence from a guesthouse shall be prohibited.
- The guesthouse shall be designed in such a manner as to be visually consistent and compatible with the main residence on site and other residences in the area.
- The guesthouse is attached to the main dwelling and shall adhere to the same height restrictions as the main dwelling.

(HCD – Planning)

10. PD041 - HEIGHT VERIFICATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor, to the HCD - Building Services and HCD - Planning for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: The Owner/Applicant/Contractor shall have a benchmark placed upon the property and identify the benchmark on the building plans prior to the issuance of grading or building permits. The benchmark shall remain visible onsite until final building inspection.

The Owner/Applicant/Contractor shall provide evidence from a licensed civil engineer or surveyor, to HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit. This is to be done prior to foundation re-pour inspection.

The Owner/Applicant/Contractor shall provide evidence from a licensed civil engineer or surveyor, to HCD - Building Services and HCD - Planning for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit prior to the final inspection.

11. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Contractor shall submit to HCD-Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

12. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

13. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

14. PWSP001 – SIGHT DISTANCE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The project applicant shall follow the sight distance review prepared by Hexagon Transportation Consultants, Inc., dated August 31, 2023, for the proposed driveway at Oleada Road. Hexagon Transportation Consultants Inc. recommends a sight triangle as shown in Figure 4, should be established at the driveway so that exiting vehicles can see bicycles and motor vehicles in the street, and any vegetation taller than three feet should be removed within the sight distance triangle. Also, Hexagon recommends trimming the bushes north of the driveway on Oleada Road to improve driver visibility.

Compliance or Monitoring Action to be Performed: Prior to the issuance of the building permit, the Project Applicant shall implement a site distance improvement plan in accordance with the approved plan.



JUN A. SILLANO, AIA

IDG

ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950

PH: (831) 646-1261
FAX: (831) 646-1260
EMAIL: info@idg.net
WEB: idg.net

DISCLAIMER:
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE OFFICE AND HAVE BEEN CREATED, INVENTED AND DEVELOPED FOR USE ONLY IN CONNECTION WITH THE SPECIFIED PROJECT. NO OTHER USE, REPRODUCTION, OR TRANSMISSION OF ANY KIND OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:
W&SMITH CA, INC.
RESIDENCE

PROJECT ADDRESS:
3180 CORTEZ ROAD
PEBBLE BEACH, CA
93953
APN: 008-233-010

DATE: APRIL 21, 2023
APPLICATION REQUEST

REVISIONS:
MAY 17, 2023
PB ARB SUBMITTAL
JULY 28, 2023
PB ARB SUBMITTAL
SEPTEMBER 27, 2023
PB ARB SUBMITTAL
SEPTEMBER 29, 2023
PLANNING SUBMITTAL

EXISTING/DEMO
SITE PLAN

SHEET NO.
A1.1

731 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950PH: (831) 646-1261
FAX: (831) 646-1290
EMAIL: info@idginc.net
WEB: idginc.net

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN PERMISSION ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ANY ORAL PERMISSION. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ANY SCALE SHALL BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

W&SMITH CA, INC.
RESIDENCE

PROJECT ADDRESS:

3180 CORTEZ ROAD
PEBBLE BEACH, CA
93953

APN: 008-233-010

DATE: APRIL 21, 2023

APPLICATION REQUEST

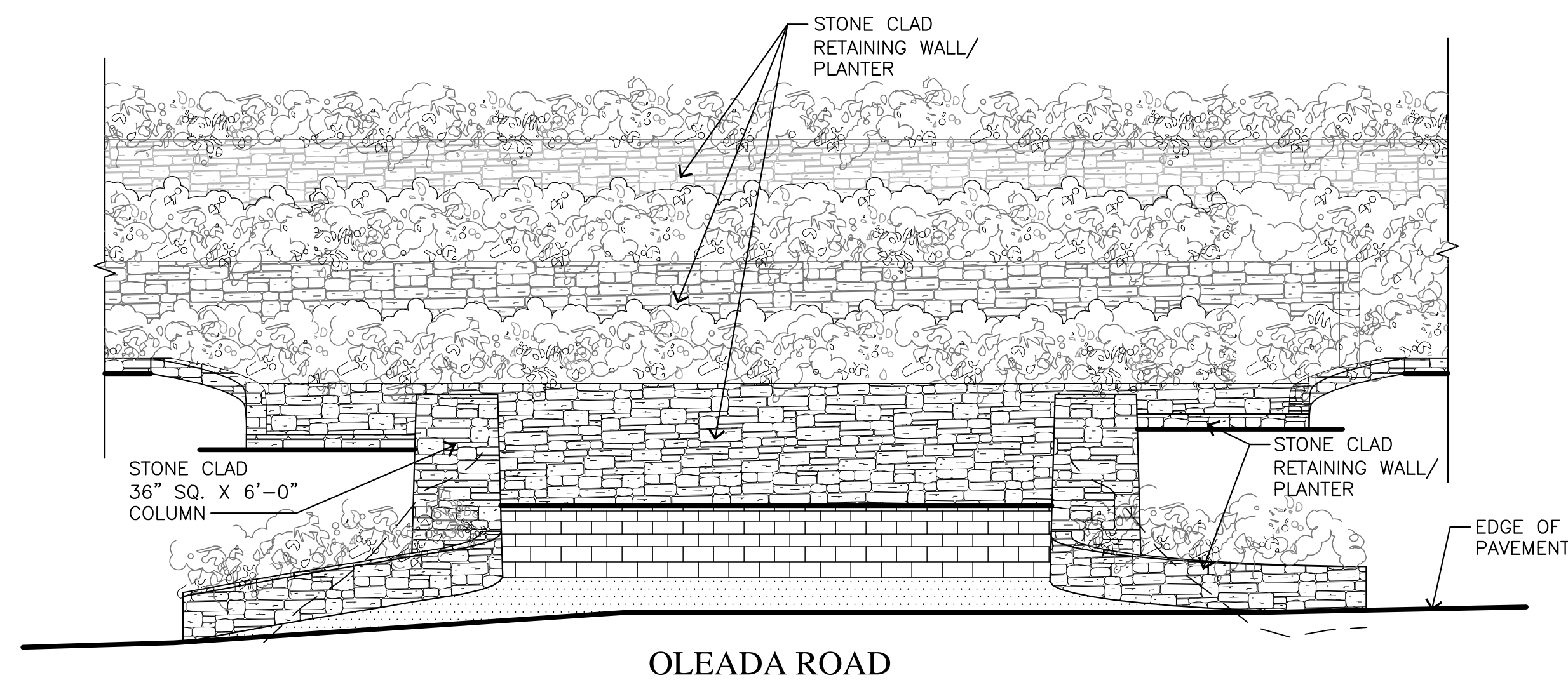
REVISIONS:

△	MAY 17, 2023	
△	PB ARB SUBMITTAL	
△	JULY 28, 2023	
△	PB ARB SUBMITTAL	
△	SEPTEMBER 27, 2023	
△	PB ARB SUBMITTAL	
△	SEPTEMBER 29, 2023	
△	PLANNING SUBMITTAL	
△		
△		

SITE SECTION/
ELEVATION

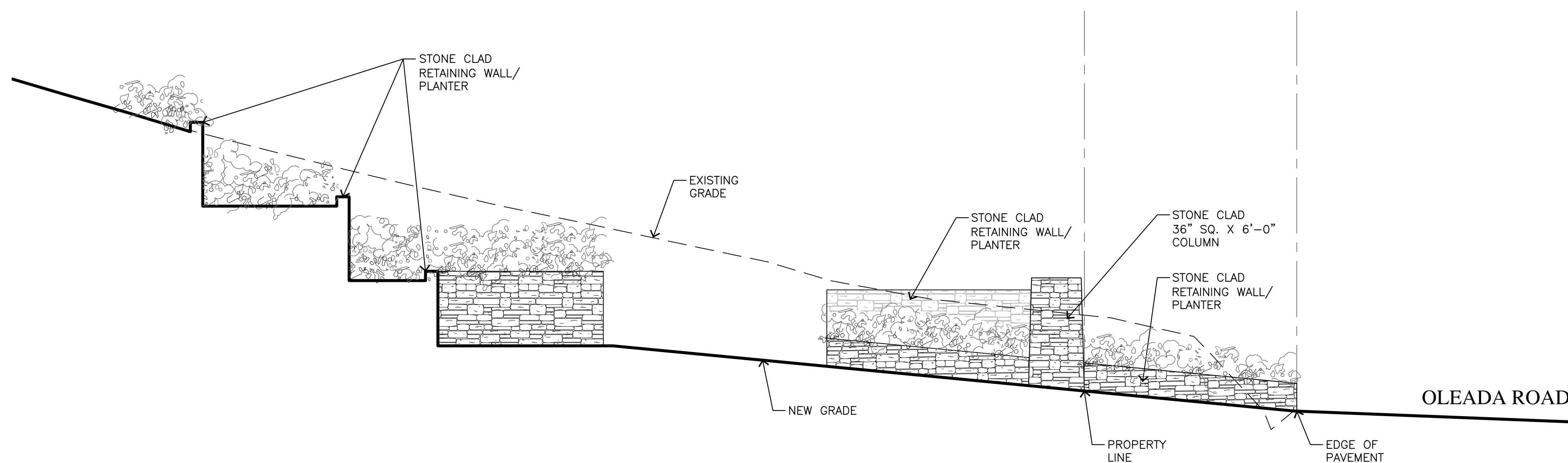
SHEET NO.

A1.2



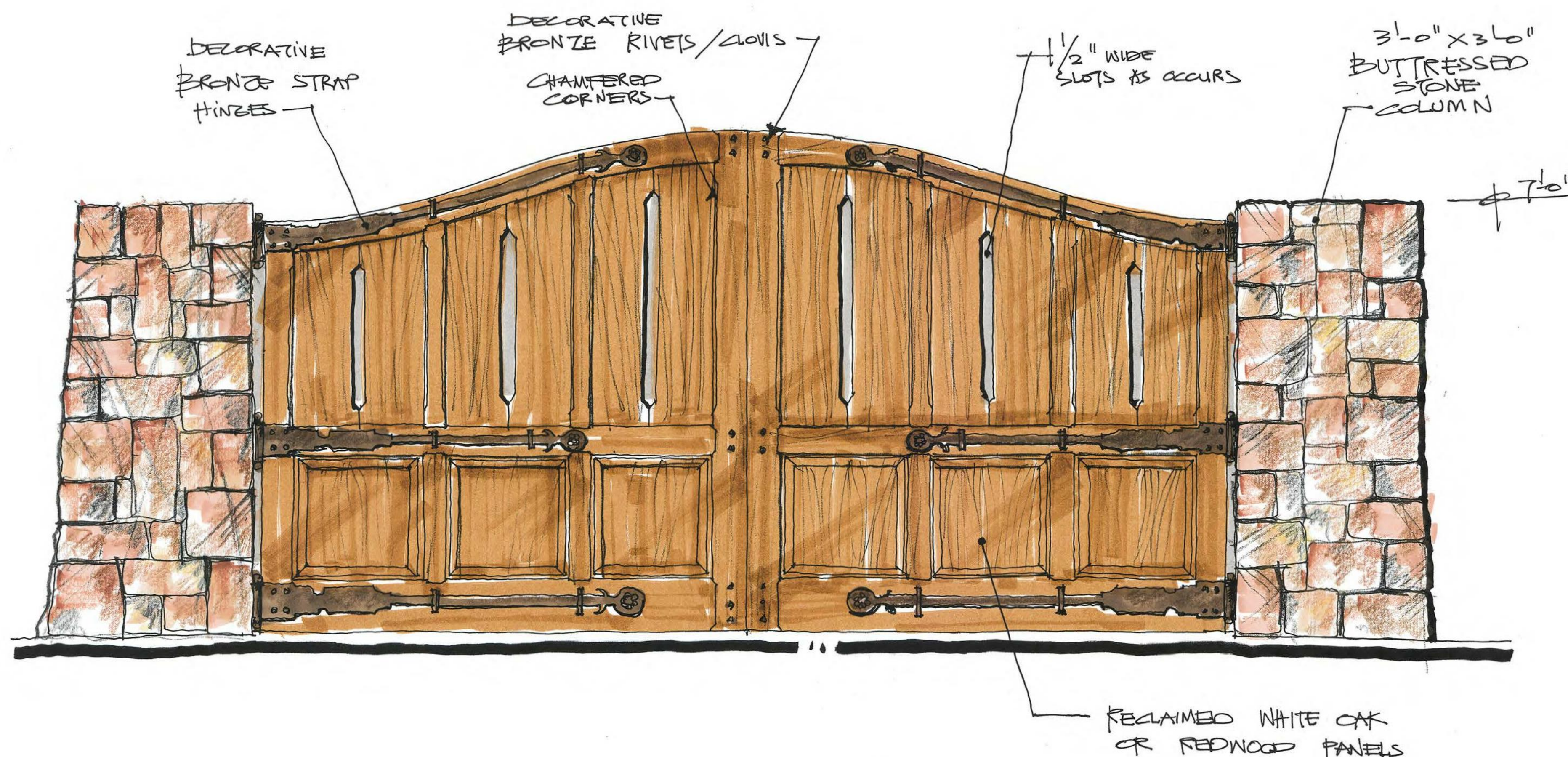
DRIVEWAY ENTRY A-A

1/4"=1'-0"



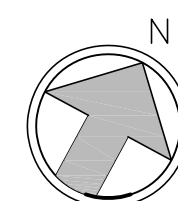
SITE SECTION B-B

1/4"=1'-0"



ENTRY GATE C-C

3/4"=1'-0"



 2X EXISTING WALL TO REMAIN
 2X6 EXTERIOR STUD FRAMED WALL
 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF IDG ARCHITECTURE, PLANNING & INTERIOR DESIGN. IDG ARCHITECTURE, PLANNING & INTERIOR DESIGN SHALL HAVE PRECEDENCE OVER THESE DRAWINGS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

REVISIONS:

△	MARCH 15, 2024
△	PLANNING SUBMITTAL
△	
△	
△	
△	

PROJECT/CLIENT:

W&SMITH CA, INC.
RESIDENCE

PROJECT ADDRESS:

3180 CORTEZ ROAD
PEBBLE BEACH, CA
93953

APN: 008-233-010

DATE: APRIL 21, 2023

APPLICATION REQUEST

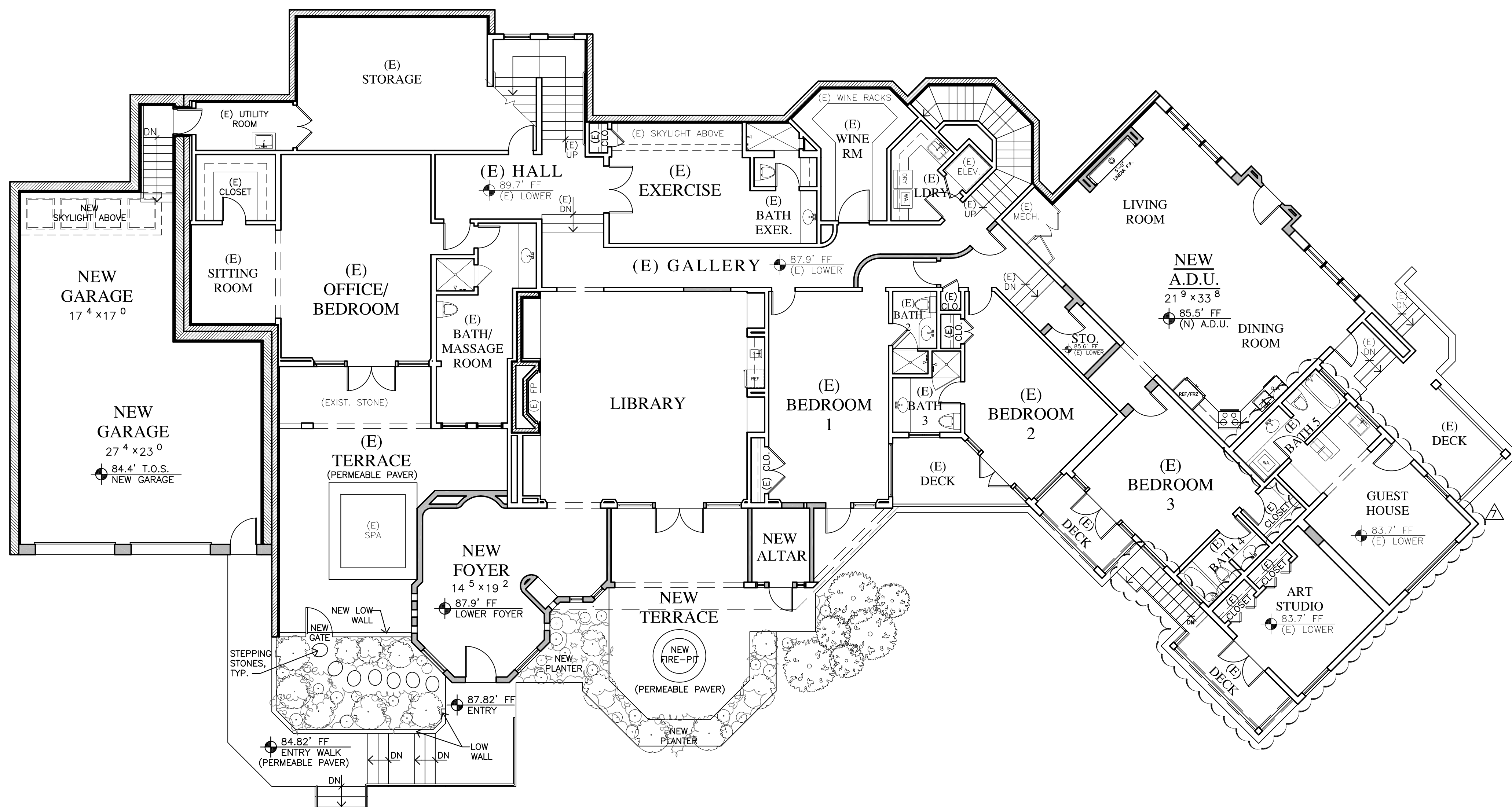
REVISIONS:

△	MAY 17, 2023
△	PB ARB SUBMITTAL
△	JULY 28, 2023
△	PB ARB SUBMITTAL
△	SEPTEMBER 27, 2023
△	PB ARB SUBMITTAL
△	SEPTEMBER 29, 2023
△	PLANNING SUBMITTAL
△	OCTOBER 24, 2023
△	PLANNING SUBMITTAL
△	FEBRUARY 29, 2024
△	CALCULATION CLARIFICATION

LOWER LEVEL
PLAN

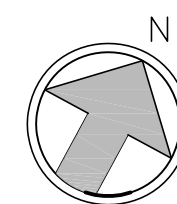
SHEET NO.

A3.0



LOWER LEVEL PLAN

1/8"=1'-0"



WALL LEGEND

—	2X EXISTING WALL TO REMAIN
—	2X6 EXTERIOR STUD FRAMED WALL
—	2X4 INTERIOR STUD FRAMED WALL, U.O.N.

JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950PH: (831) 646-1261
FAX: (831) 646-1260
EMAIL: info@idginc.net
WEB: idginc.net

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DESIGNED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER DIMENSIONS INDICATED BY OTHER MEANS. THE USER SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

REVISIONS:

△	MARCH 15, 2024
△	PLANNING SUBMITTAL
△	
△	
△	
△	
△	

PROJECT/CLIENT:

W&SMITH CA, INC.
RESIDENCE

PROJECT ADDRESS:

3180 CORTEZ ROAD
PEBBLE BEACH, CA
93953

APN: 008-233-010

DATE: APRIL 21, 2023

APPLICATION REQUEST

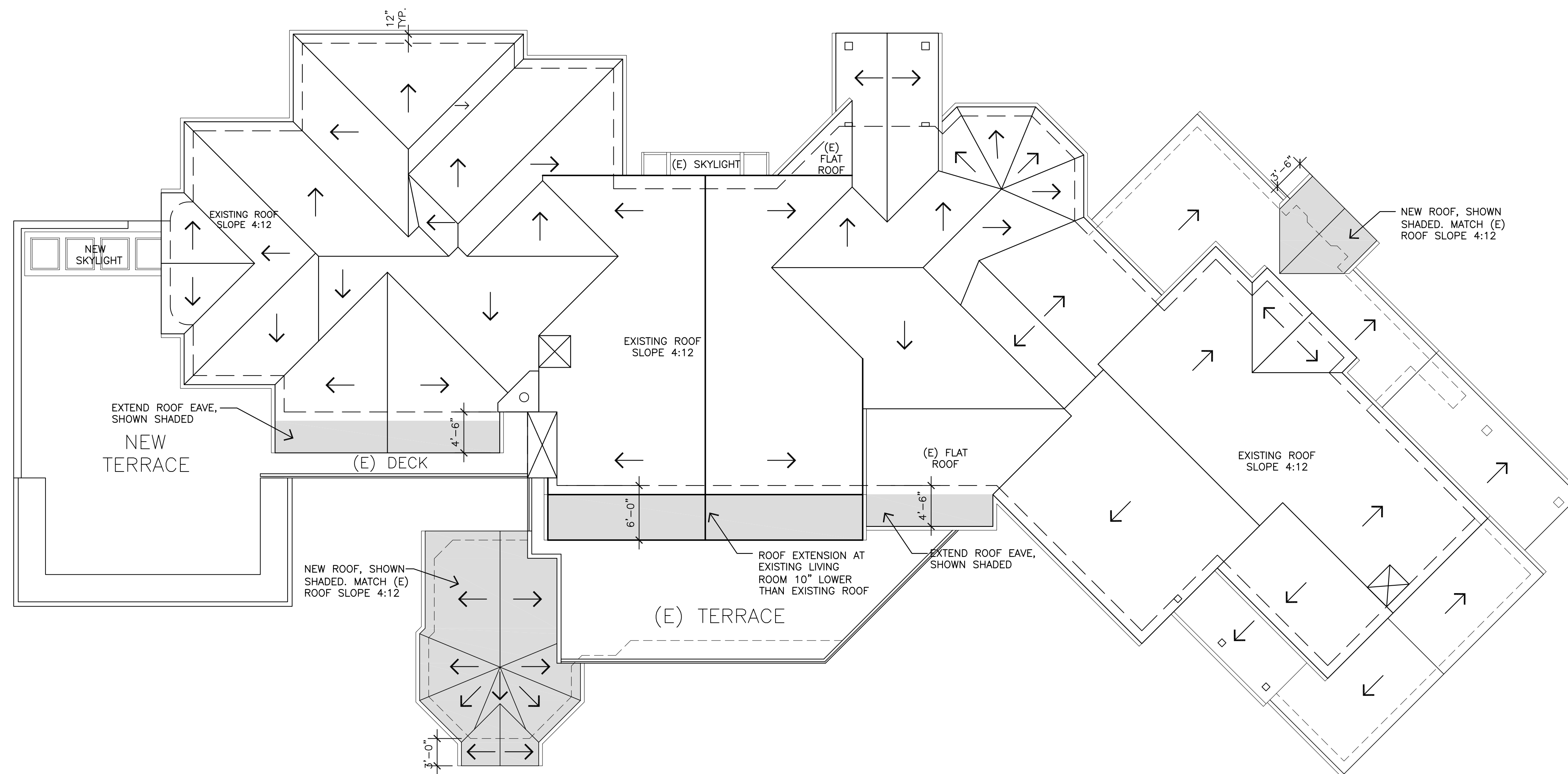
REVISIONS:

△	MAY 17, 2023
△	PB ARB SUBMITTAL
△	JULY 28, 2023
△	PB ARB SUBMITTAL
△	SEPTEMBER 27, 2023
△	PB ARB SUBMITTAL
△	SEPTEMBER 29, 2023
△	PLANNING SUBMITTAL
△	OCTOBER 24, 2023
△	PLANNING SUBMITTAL
△	FEBRUARY 29, 2024
△	CALCULATION CLARIFICATION

ROOF
PLAN

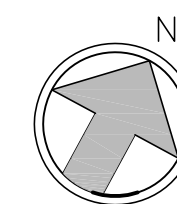
SHEET NO.

A5.0



ROOF PLAN

1/8"=1'-0"



DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE OFFICE AND HAVE BEEN CREATED, DEVELOPED AND DEVELOPED FOR THE USE OF, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. WRITTEN PERMISSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ANY ORAL PERMISSIONS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE ADVISED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL, BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

REVISIONS:

△	MARCH 15, 2024
△	PLANNING SUBMITTAL
△	
△	
△	
△	
△	

PROJECT/CLIENT:

W&SMITH CA, INC.
RESIDENCE

PROJECT ADDRESS:

3180 CORTEZ ROAD
PEBBLE BEACH, CA
93953

APN: 008-233-010

DATE: APRIL 21, 2023

APPLICATION REQUEST

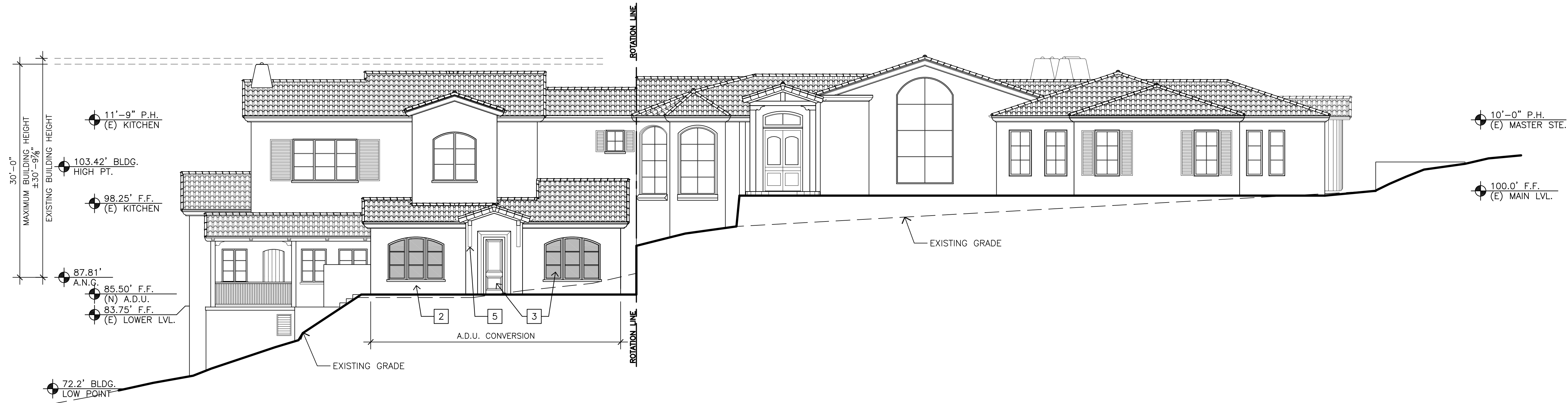
REVISIONS:

△	MAY 17, 2023
△	PB ARB SUBMITTAL
△	JULY 28, 2023
△	PB ARB SUBMITTAL
△	SEPTEMBER 27, 2023
△	PB ARB SUBMITTAL
△	SEPTEMBER 29, 2023
△	PLANNING SUBMITTAL
△	OCTOBER 24, 2023
△	PLANNING SUBMITTAL
△	FEBRUARY 29, 2024
△	CALCULATION CLARIFICATION

ELEVATIONS

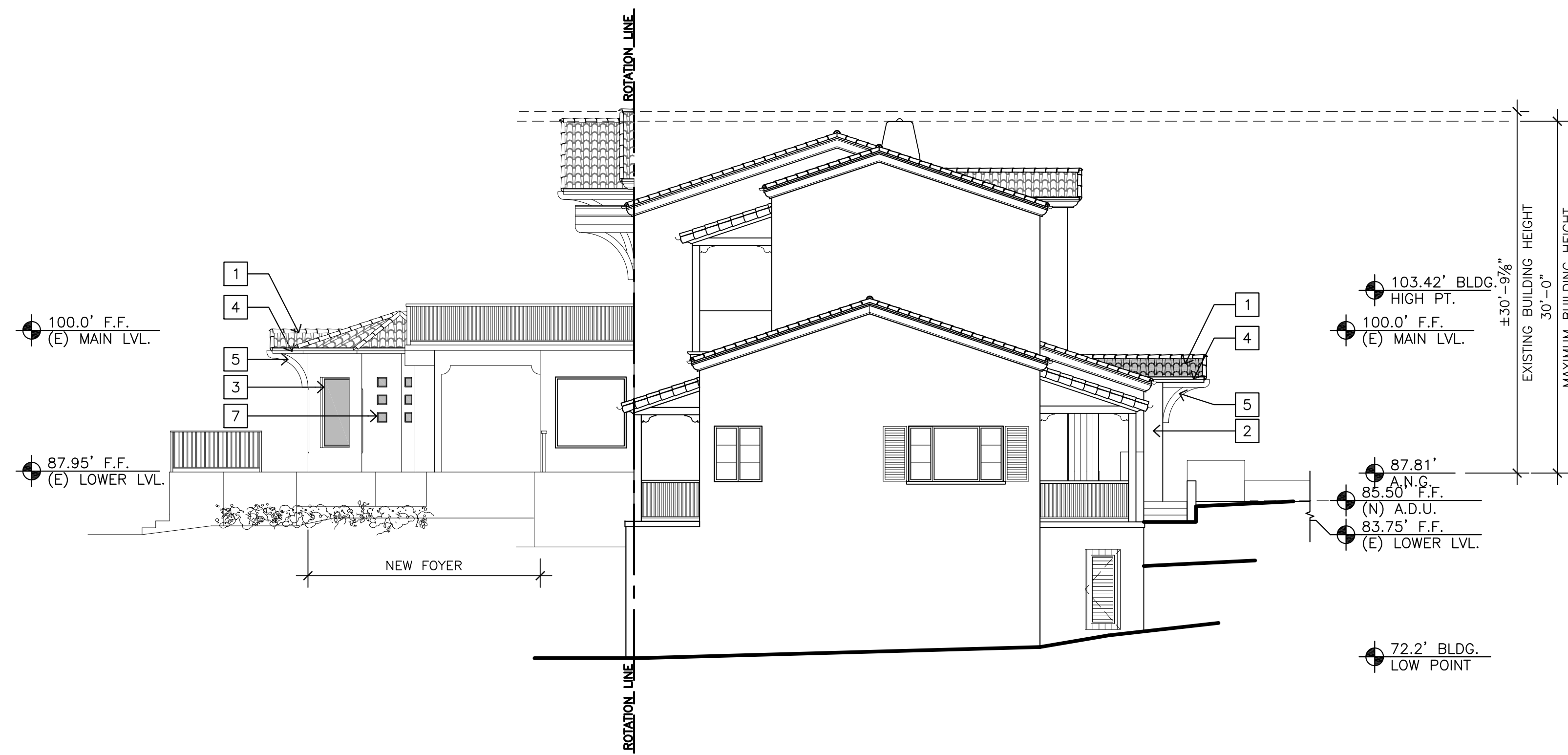
SHEET NO.

A6.0



NORTH ELEVATION

1/8"=1'-0"



EAST ELEVATION

1/8"=1'-0"

EXTERIOR FINISH LEGEND	
1	GLASS 1/2" RIMM CAP AND PIN CLAY TILE ROOF - TO MATCH EXISTING
2	EXTERIOR STUCCO SMOOTH FINISH - TO MATCH EXISTING
3	METAL-CLAD EXTERIOR WOOD DOORS AND WINDOWS - TO MATCH EXISTING
4	5" HALF ROUND COPPER GUTTER & DOWNSPOUTS - TO MATCH EXISTING
5	SHAPED BX CORBELS
6	STAINED WOOD OVERHEAD GARAGE DOOR
7	GLASS BLOCK - TO MATCH EXISTING

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DEVELOPED AND DEVELOPED FOR THE USE OF, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF IDG INC. IDG INC. SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL, BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

REVISIONS:

△	MARCH 15, 2024
△	PLANNING SUBMITTAL
△	
△	
△	
△	
△	

PROJECT/CLIENT:

W&SMITH CA, INC.
RESIDENCE

PROJECT ADDRESS:

3180 CORTEZ ROAD
PEBBLE BEACH, CA
93953

APN: 008-233-010

DATE: APRIL 21, 2023

APPLICATION REQUEST

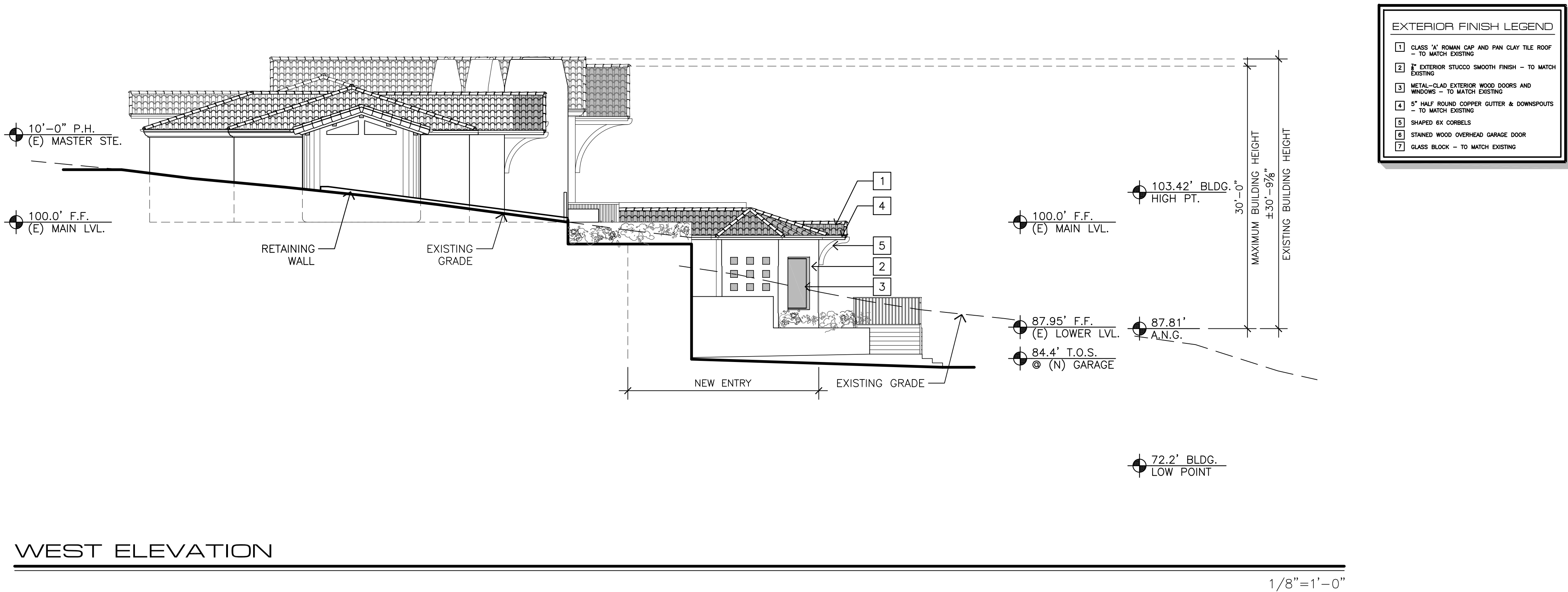
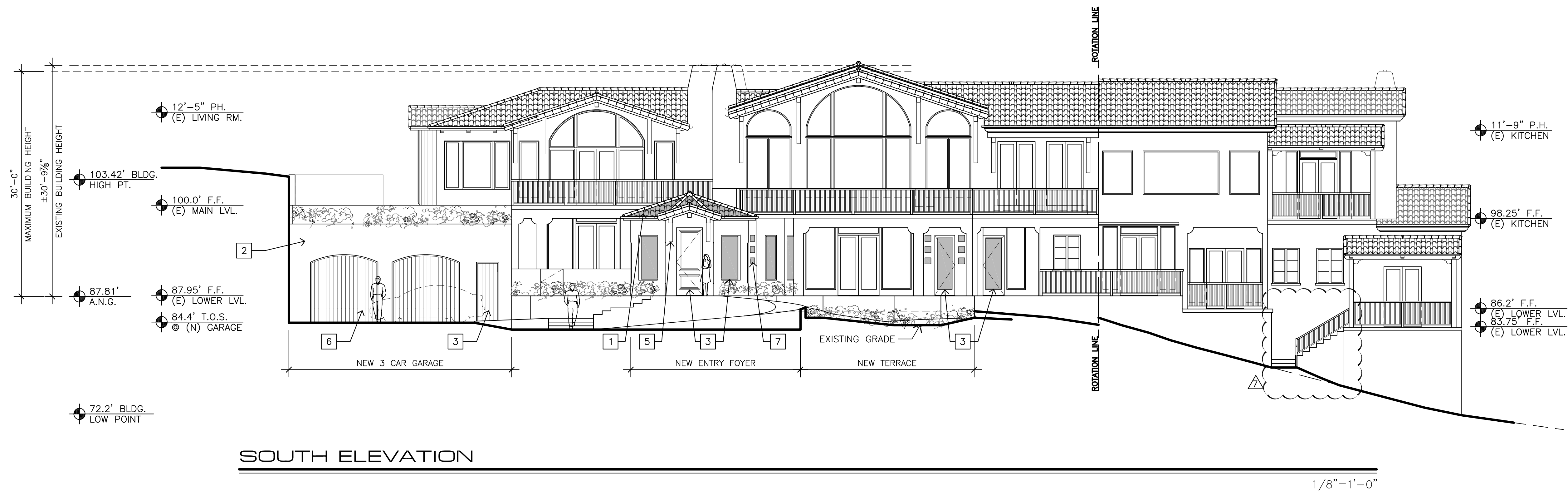
REVISIONS:

△	MAY 17, 2023
△	PB ARB SUBMITTAL
△	JULY 28, 2023
△	PB ARB SUBMITTAL
△	SEPTEMBER 27, 2023
△	PB ARB SUBMITTAL
△	SEPTEMBER 29, 2023
△	PLANNING SUBMITTAL
△	OCTOBER 24, 2023
△	PLANNING SUBMITTAL
△	FEBRUARY 29, 2024
△	CALCULATION CLARIFICATION

ELEVATIONS

SHEET NO.

A6.1



EXTERIOR FINISH LEGEND	
1	CLASS V. ROMAN CLAY AND PAN CLAY TILE ROOF - TO MATCH EXISTING
2	1" EXTERIOR STUCCO SMOOTH FINISH - TO MATCH EXISTING
3	METAL-CLAD EXTERIOR WOOD DOORS AND WINDOWS - TO MATCH EXISTING
4	6" HALF ROUND COPPER GUTTER & DOWNSPOUTS - TO MATCH EXISTING
5	SHAPED RA CORBELS
6	STAINED WOOD OVERHEAD GARAGE DOOR
7	GLASS BLOCK - TO MATCH EXISTING

JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950PH: (831) 646-1261
FAX: (831) 646-1260
EMAIL: info@idginc.net
WEB: idginc.net

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER DIMENSIONS CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE ADVISED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

REVISIONS:

△	MARCH 15, 2024	
△	PLANNING SUBMITTAL	
△		
△		
△		
△		

PROJECT/CLIENT:

W&SMITH CA, INC.
RESIDENCE

PROJECT ADDRESS:

3180 CORTEZ ROAD
PEBBLE BEACH, CA
93953

APN: 008-233-010

DATE: APRIL 21, 2023

APPLICATION REQUEST

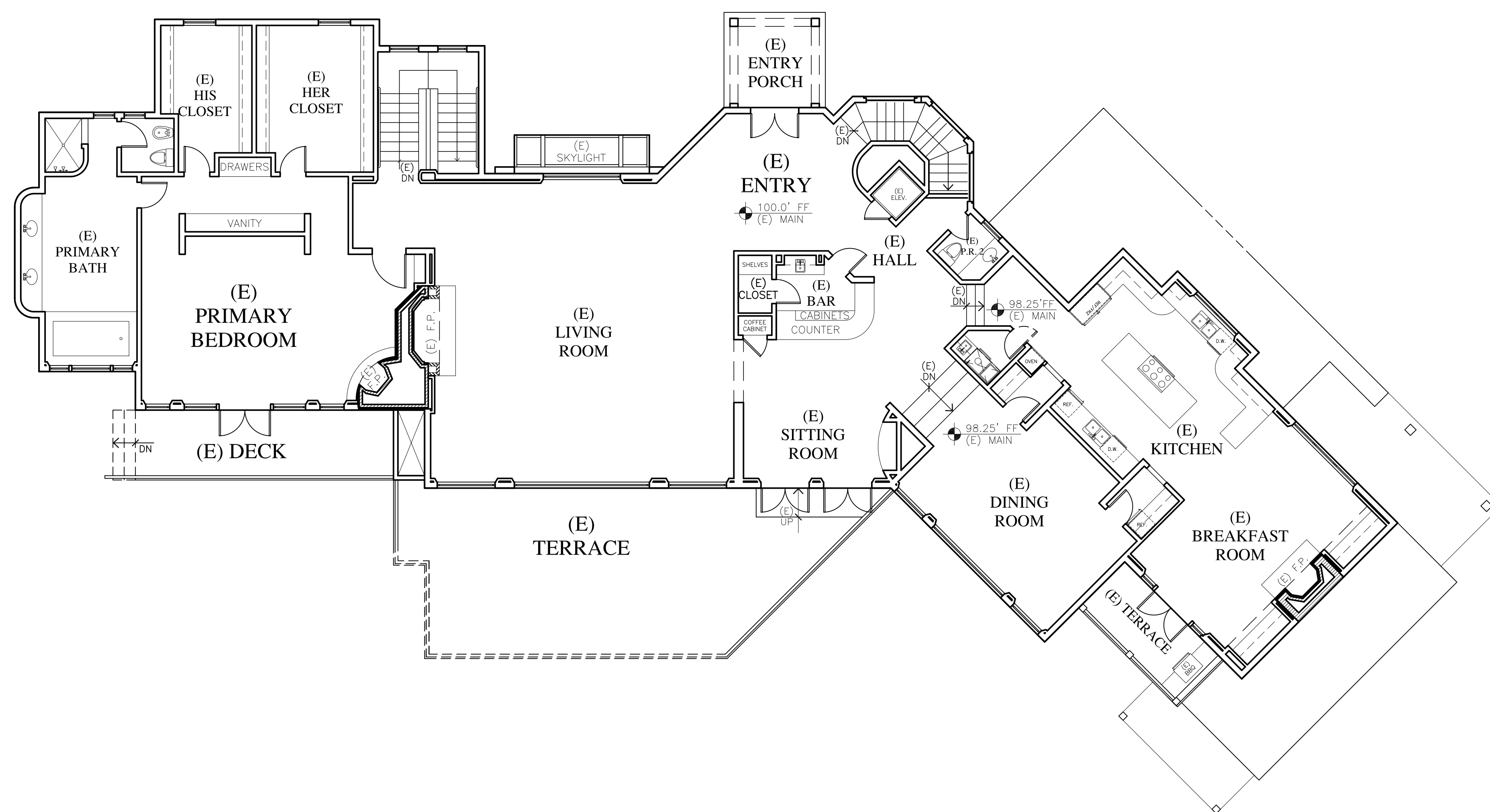
REVISIONS:

△	MAY 17, 2023	
△	PB ARB SUBMITTAL	
△	JULY 28, 2023	
△	PB ARB SUBMITTAL	
△	SEPTEMBER 27, 2023	
△	PB ARB SUBMITTAL	
△	SEPTEMBER 29, 2023	
△	PLANNING SUBMITTAL	
△	OCTOBER 24, 2023	
△	PLANNING SUBMITTAL	
△	FEBRUARY 29, 2024	
△	CALCULATION CLARIFICATION	

MAIN LEVEL
EXIST / DEMO

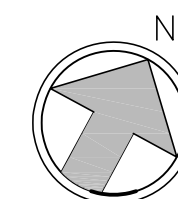
SHEET NO.

D1.0



MAIN LEVEL EXISTING-DEMOLITION PLAN

1/8"=1'-0"



WALL LEGEND

—	2X EXISTING WALL TO REMAIN
- - -	(E) DOOR OR WINDOW TO BE REMOVED
- - - - -	2X EXISTING WALL TO BE REMOVED

JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950
 PH: (831) 646-1261
 FAX: (831) 646-1260
 EMAIL: info@idginc.net
 WEB: idginc.net

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DRAWN, AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE ADVISED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL, BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

REVISIONS:

△	MARCH 15, 2024	
△	PLANNING SUBMITTAL	
△		
△		
△		
△		

PROJECT/CLIENT:

W&SMITH CA, INC.
RESIDENCE

PROJECT ADDRESS:

3180 CORTEZ ROAD
PEBBLE BEACH, CA
93953

APN: 008-233-010

DATE: APRIL 21, 2023

APPLICATION REQUEST

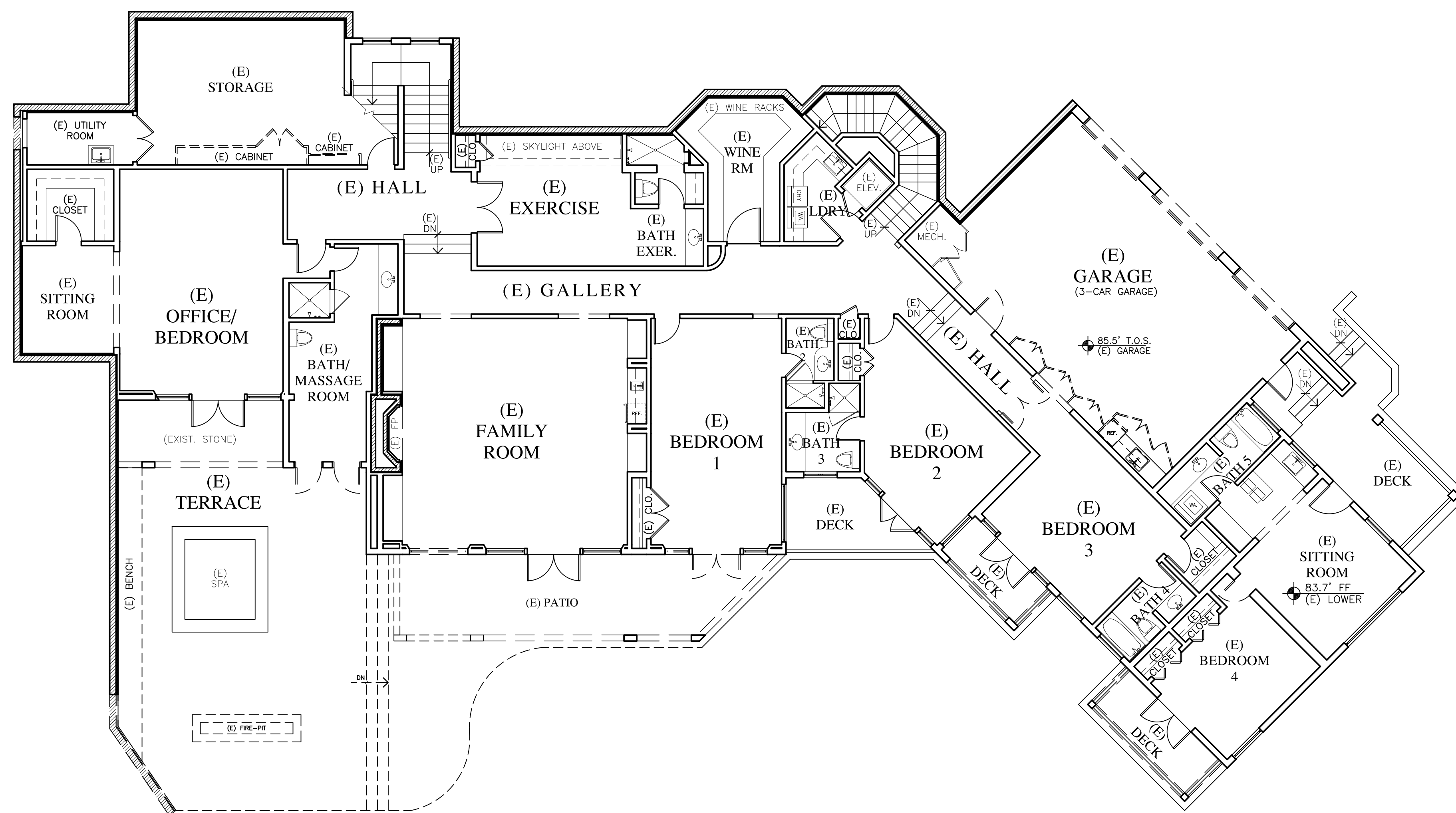
REVISIONS:

△	MAY 17, 2023	
△	PB ARB SUBMITTAL	
△	JULY 28, 2023	
△	PB ARB SUBMITTAL	
△	SEPTEMBER 27, 2023	
△	PB ARB SUBMITTAL	
△	SEPTEMBER 29, 2023	
△	PLANNING SUBMITTAL	
△	OCTOBER 24, 2023	
△	PLANNING SUBMITTAL	
△	FEBRUARY 29, 2024	
△	CALCULATION CLARIFICATION	

LOWER LEVEL
EXIST / DEMO

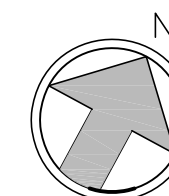
SHEET NO.

D2.0



LOWER LEVEL EXISTING-DEMOLITION PLAN

1/8"=1'-0"



WALL LEGEND

—	2X EXISTING WALL TO REMAIN
- - - -	(E) DOOR OR WINDOW TO BE REMOVED
- - - - -	2X EXISTING WALL TO BE REMOVED

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR COLORED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF IDG INC. IDG INC. SHALL HAVE PRECEDENCE OVER ANY OTHER DIMENSIONS, CONTRACTS, SPECIFICATIONS OR SCALE DRAWINGS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE ADVISED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

REVISIONS:

△	MARCH 15, 2024	PLANNING SUBMITTAL
△		
△		
△		
△		
△		

PROJECT/CLIENT:

W&SMITH CA, INC.
RESIDENCE

PROJECT ADDRESS:

3180 CORTEZ ROAD
PEBBLE BEACH, CA
93953

APN: 008-233-010

DATE: APRIL 21, 2023

APPLICATION REQUEST

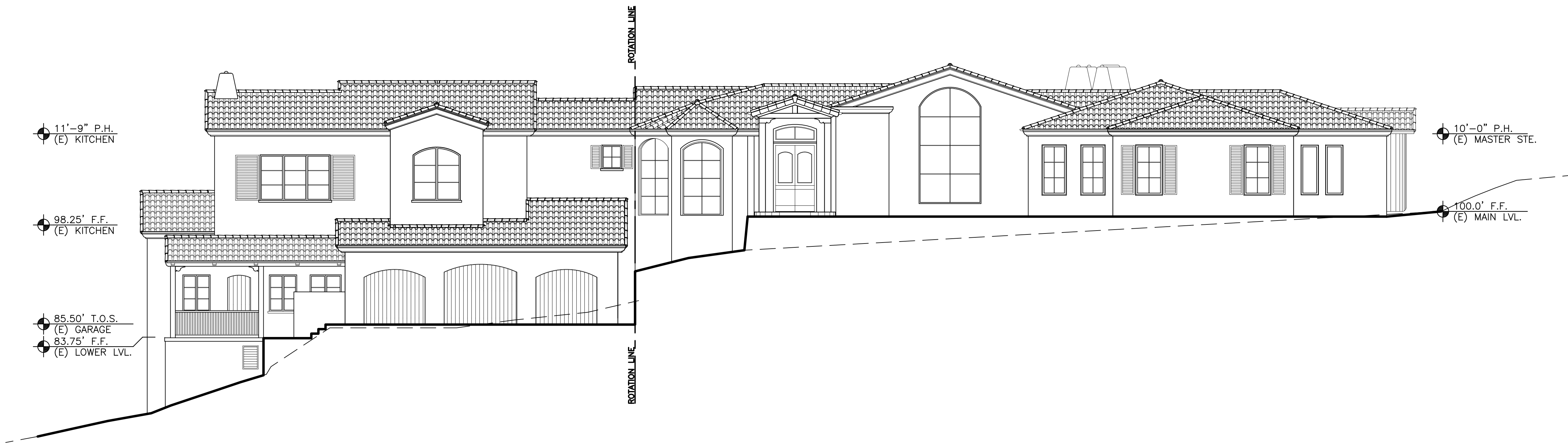
REVISIONS:

△	MAY 17, 2023	PB ARB SUBMITTAL
△	JULY 28, 2023	PB ARB SUBMITTAL
△	SEPTEMBER 27, 2023	PB ARB SUBMITTAL
△	SEPTEMBER 29, 2023	PB ARB SUBMITTAL
△	OCTOBER 24, 2023	PLANNING SUBMITTAL
△	FEBRUARY 29, 2024	CALCULATION CLARIFICATION

EXISTING
ELEVATIONS

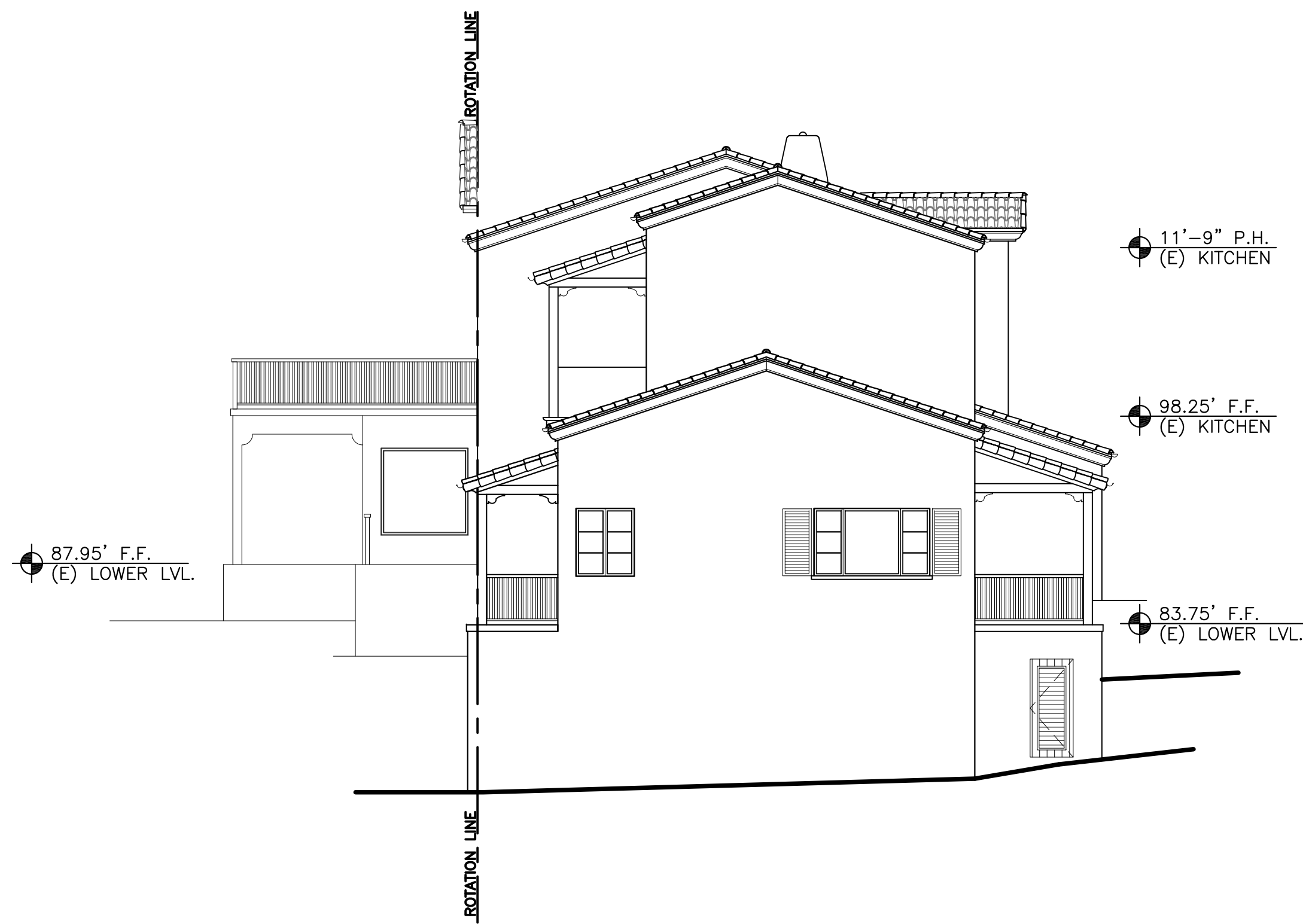
SHEET NO.

D3.0



NORTH ELEVATION - EXISTING

1/8"=1'-0"



EAST ELEVATION - EXISTING

1/8"=1'-0"

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER DIMENSIONS CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

REVISIONS:

△	MARCH 15, 2024	PLANNING SUBMITTAL
△		
△		
△		
△		
△		

PROJECT/CLIENT:

W&SMITH CA, INC.
RESIDENCE

PROJECT ADDRESS:

3180 CORTEZ ROAD
PEBBLE BEACH, CA
93953

APN: 008-233-010

DATE: APRIL 21, 2023

APPLICATION REQUEST

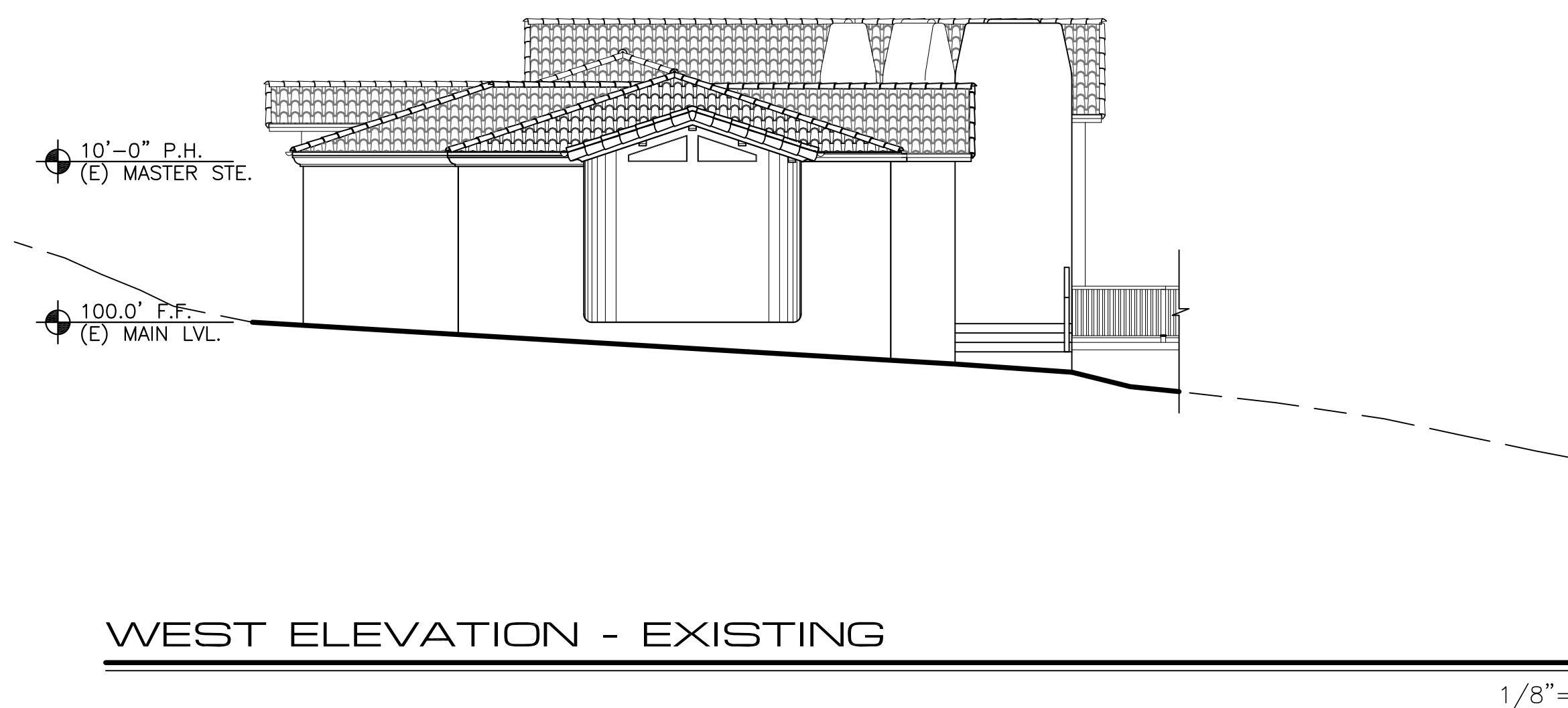
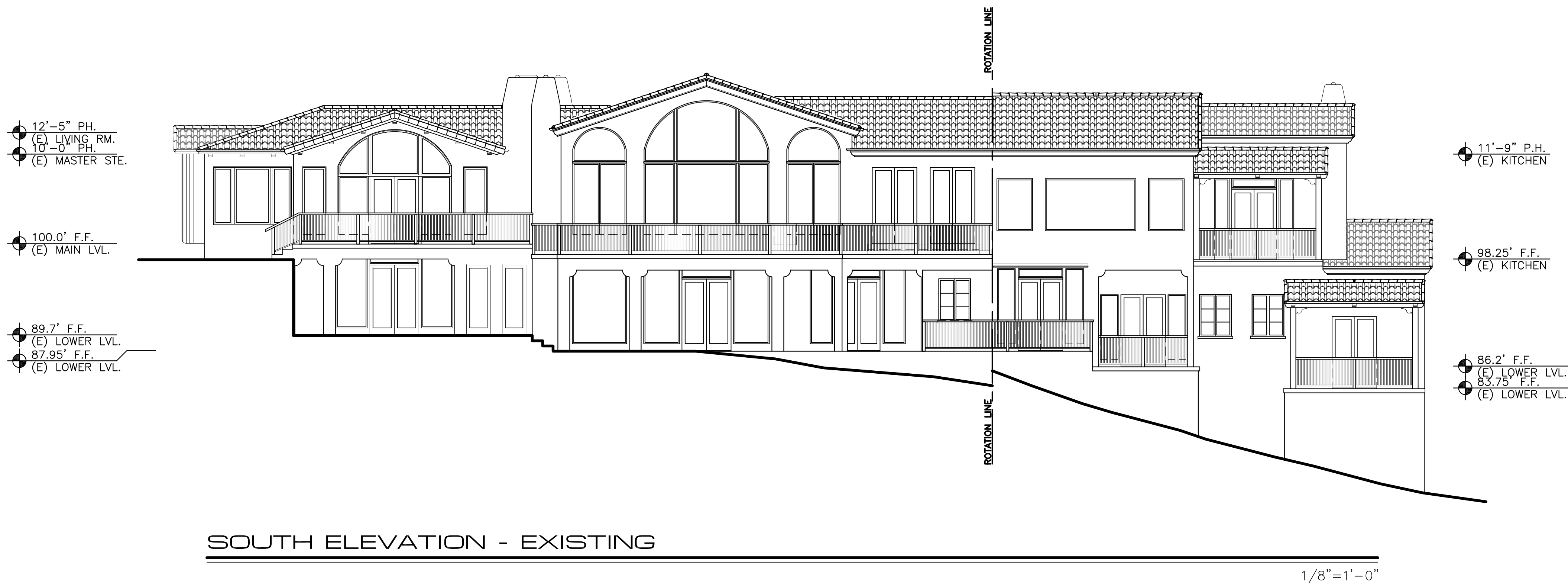
REVISIONS:

△	MAY 17, 2023	PB ARB SUBMITTAL
△	JULY 28, 2023	PB ARB SUBMITTAL
△	SEPTEMBER 27, 2023	PB ARB SUBMITTAL
△	SEPTEMBER 29, 2023	PB ARB SUBMITTAL
△	OCTOBER 24, 2023	PLANNING SUBMITTAL
△	FEBRUARY 29, 2024	CALCULATION CLARIFICATION

EXISTING
ELEVATIONS

SHEET NO.

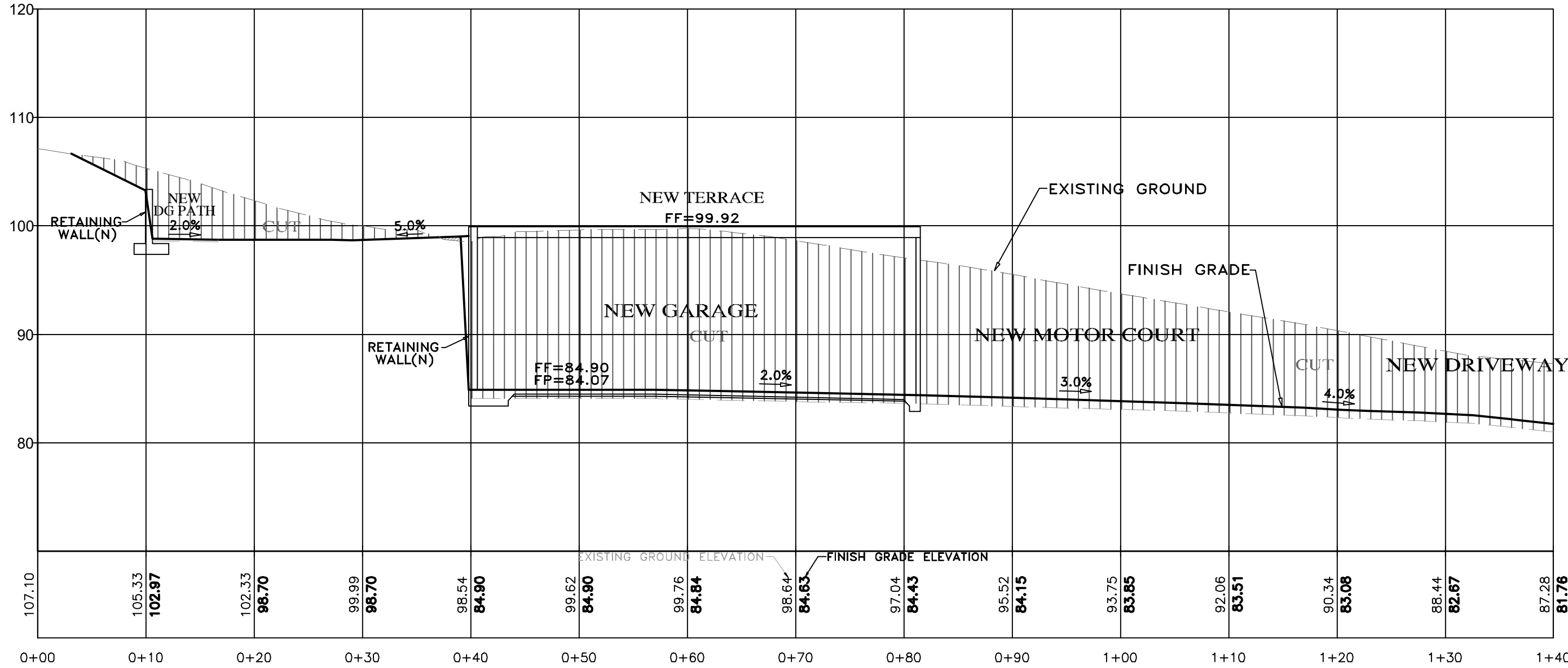
D3.1



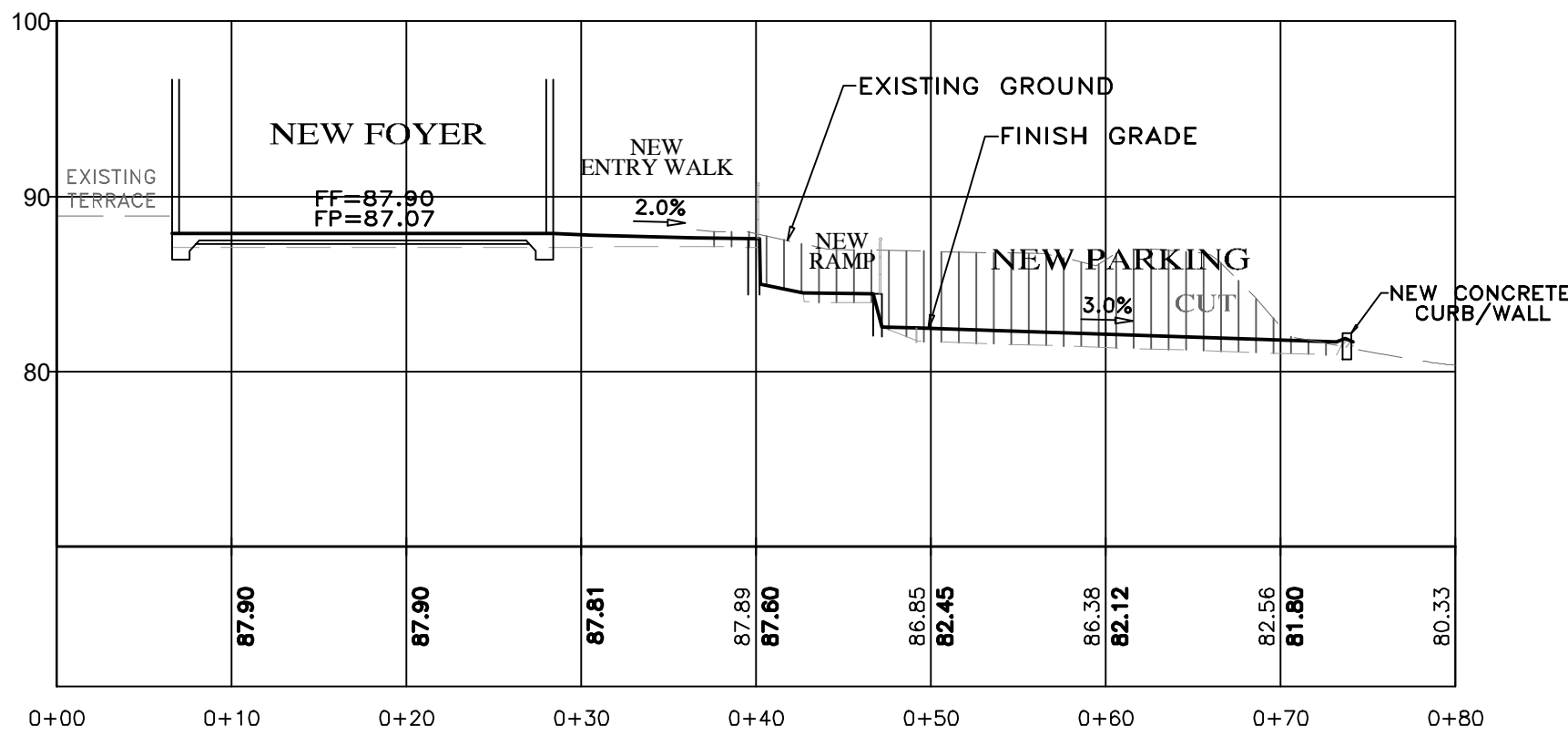
COLOR AND MATERIAL SAMPLES FOR
W&SMITH CA, INC.
3180 CORTEZ ROAD
PEBBLE BEACH, CA.
APN: 008-233-010



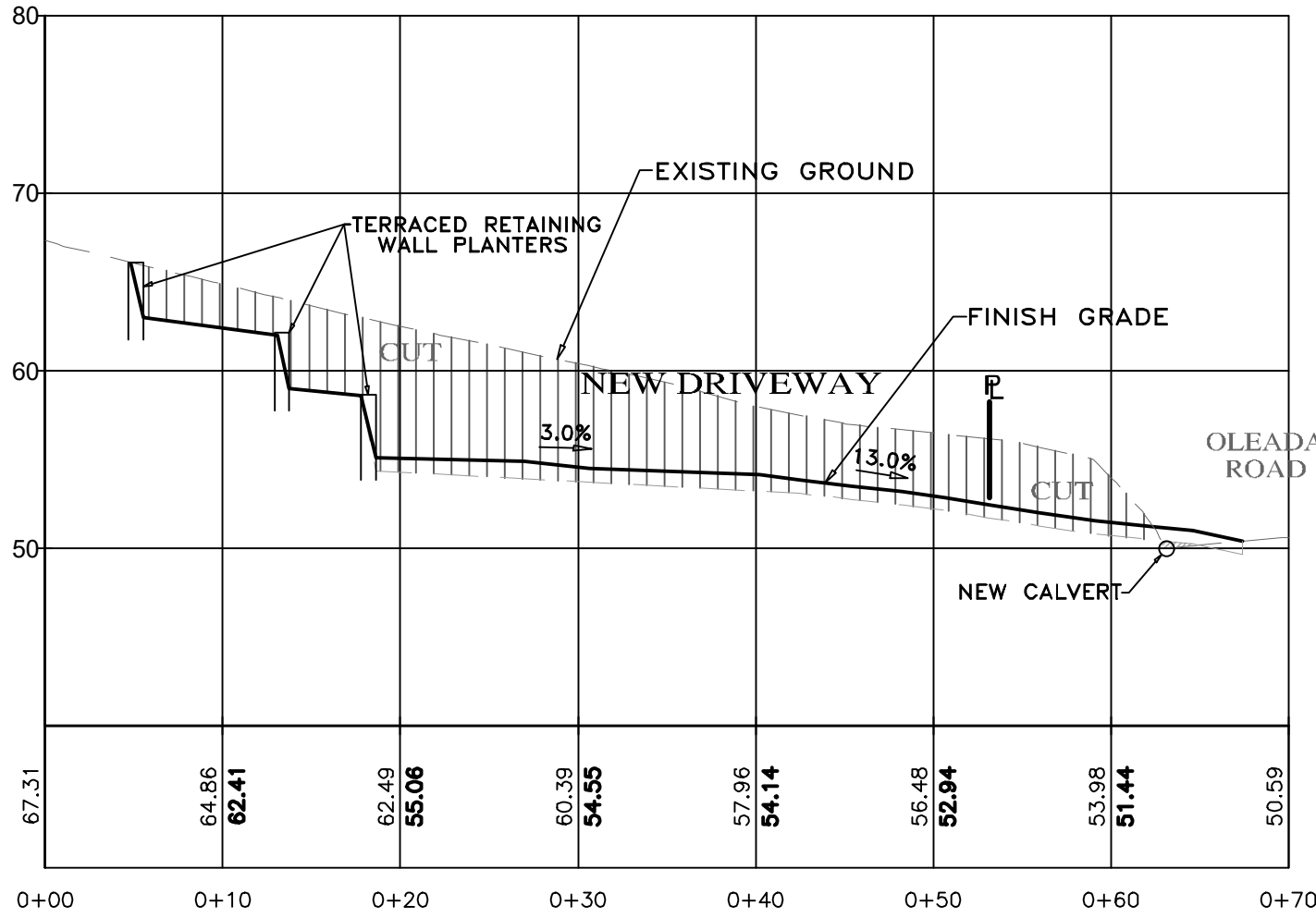
**ALL COLORS AND MATERIALS
TO MATCH EXISTING**



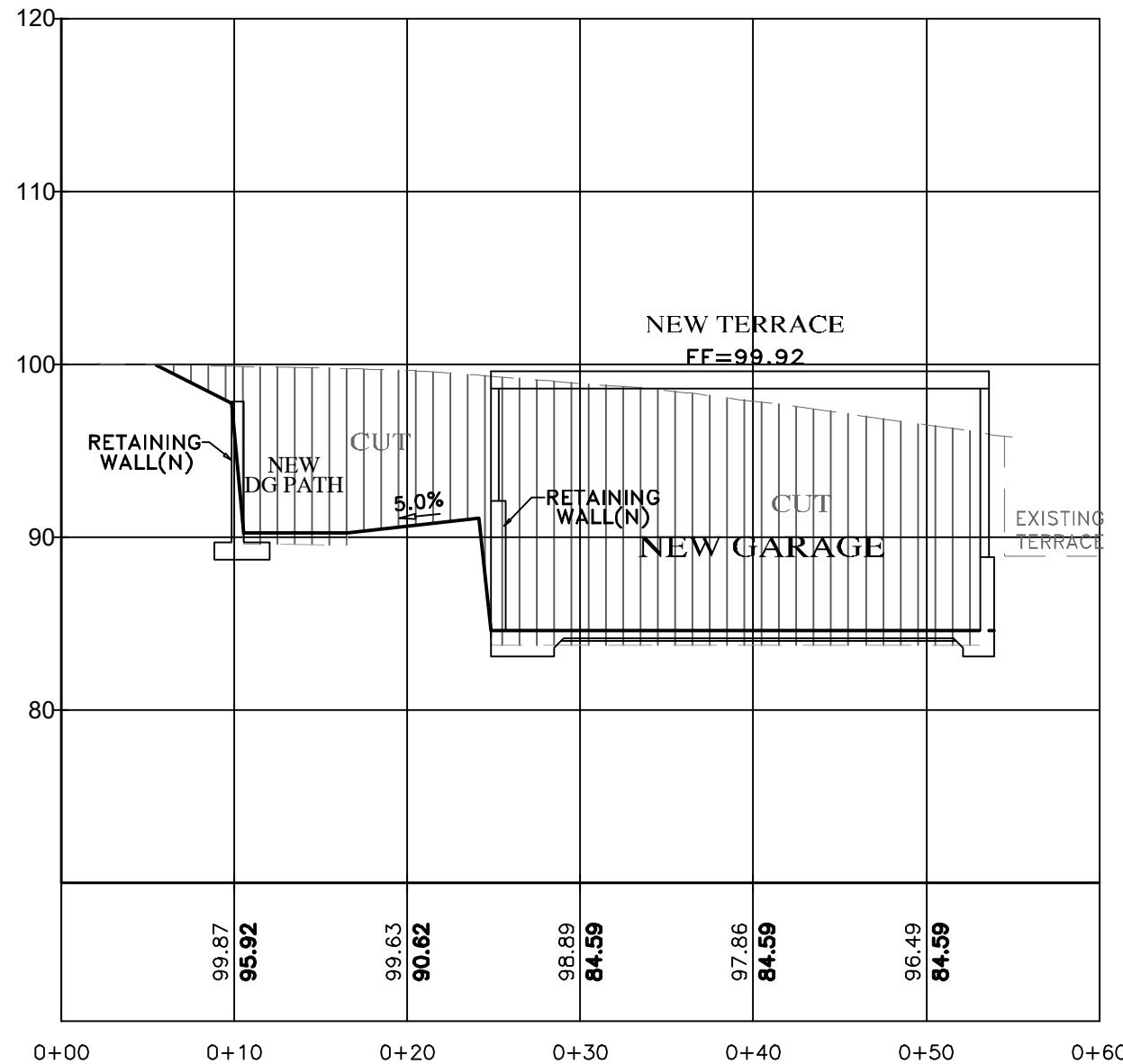
SECTION A-A
SCALE: 1"=10' H&V



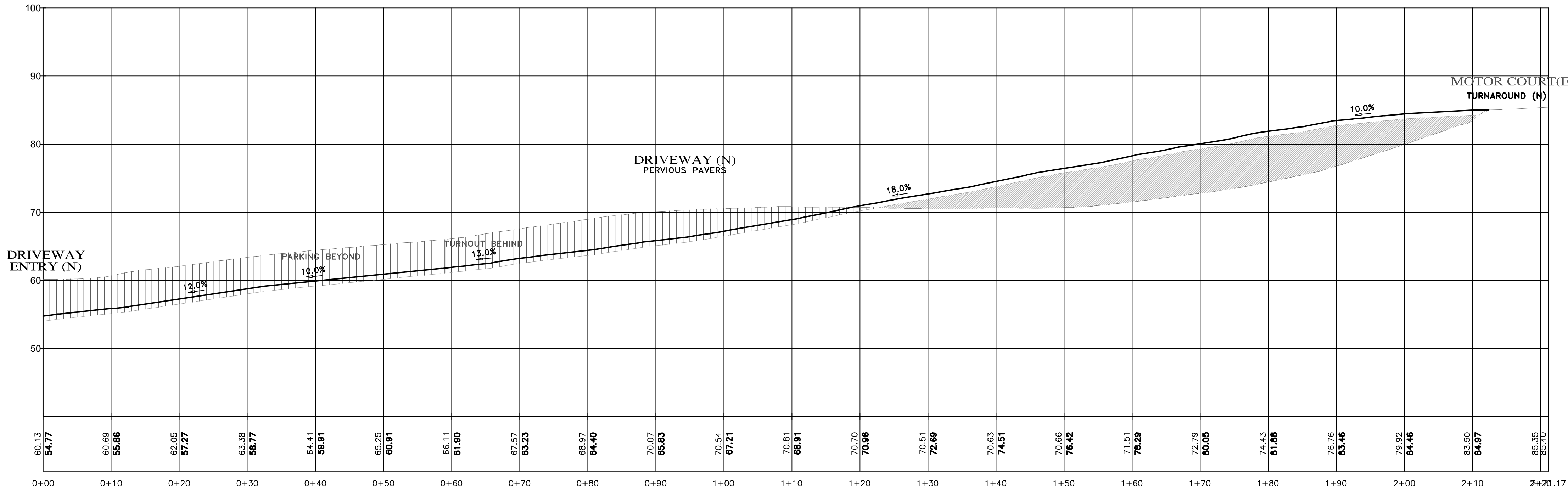
SECTION B-B
SCALE: 1"=10' H&V



SECTION C-C
SCALE: 1"=10' H&V



SECTION D-D
SCALE: 1"=10' H&V



PROFILE DRIVEWAY "A"
SCALE: 1"=10' H&V

" GRADING SECTIONS "

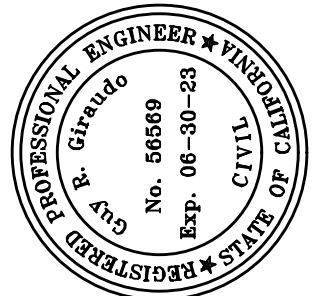
GRADING, DRAINAGE & EROSION CONTROL PLAN

W & SMITH CA, INC. RESIDENCE
A.P.N.: 008-233-010
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR W & SMITH CA INC.

LANDSET
ENGINEERS, INC.
520-B Gray Horse Canyon Road
Office (831) 443-6970 Fax (831) 443-3801
www.landseteng.com

APPROVED BY:

GUY R. GIRAUDO

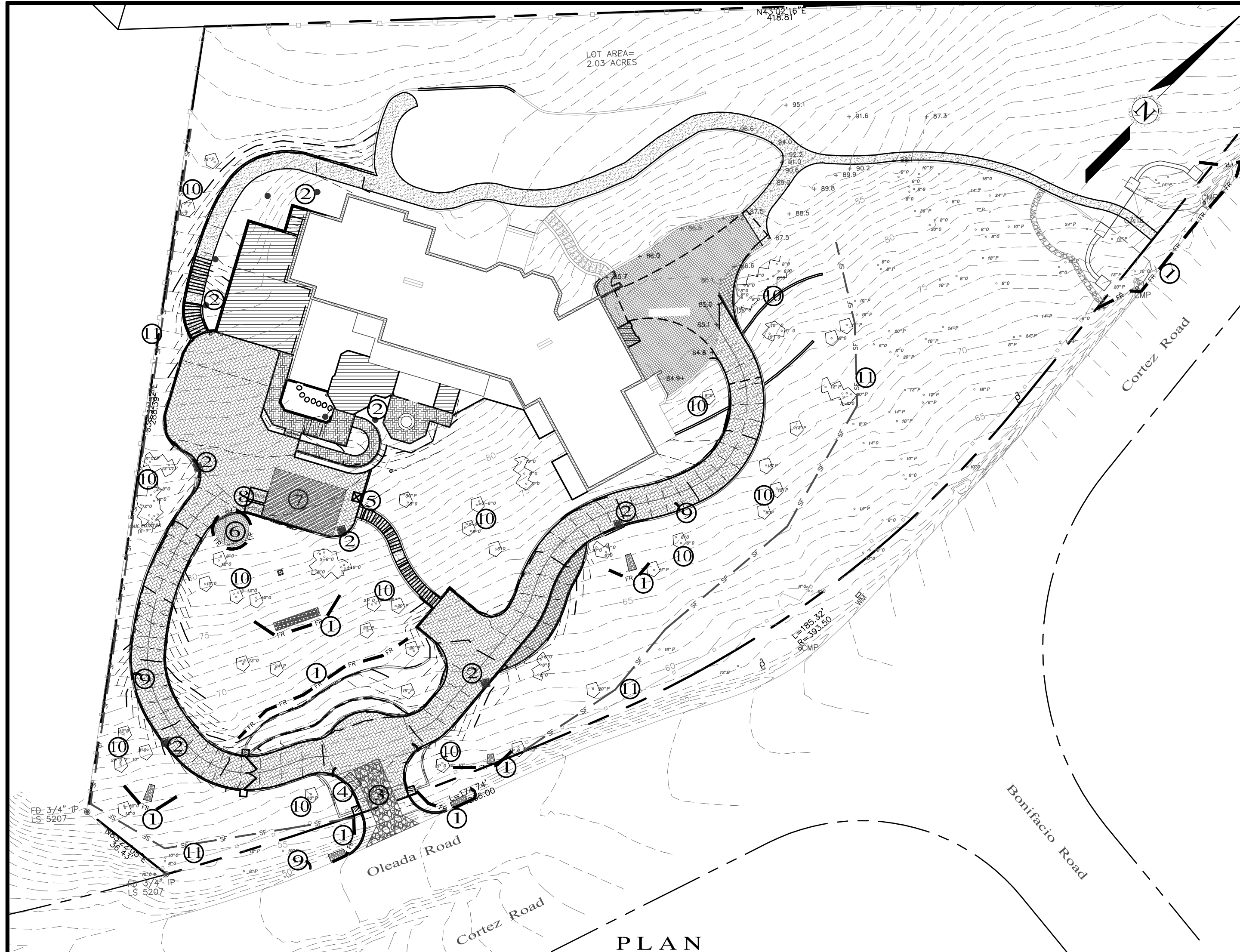


SCALE: 1"=10' H&V
DATE: JULY 2023
JOB NO. 2591-02

SHEET C2

OF 4 SHEETS

No.	DATE	BY	REVISION
	07/06/23	AMS	RELEASED TO CLIENT



LEGEND:

- 1 FR FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
- 2 DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
- 3 STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
- 4 CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- 5 SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
- 6 STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
- 7 CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- 8 WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
- 9 GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 1/2" - 1" CRUSHED ROCK. TIGHTLY BUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
- 10 TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
- 11 SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

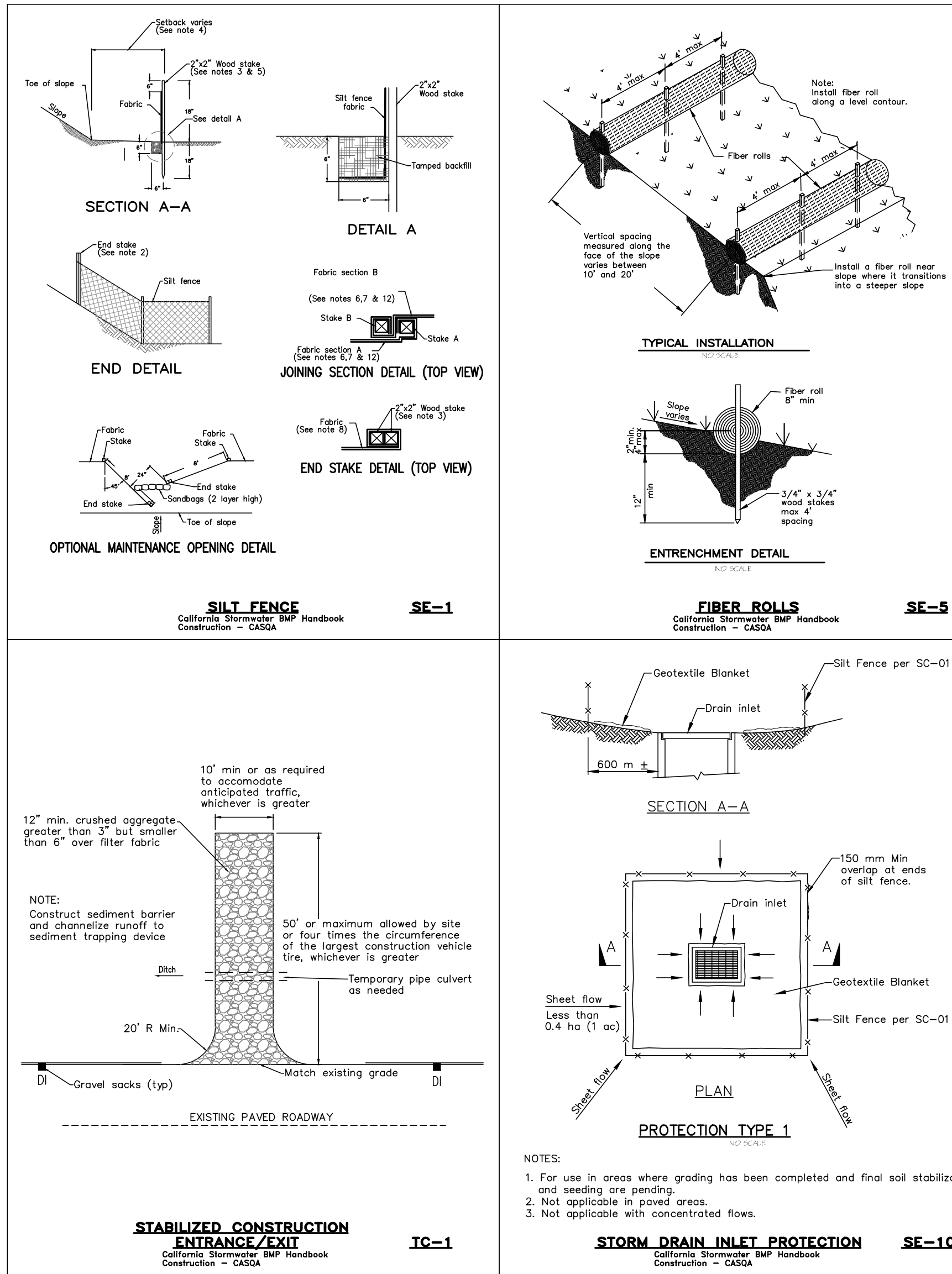


TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	X
2. Verify excavations are extended to proper depth and have reached proper material	--	X
3. Perform classification and testing of compacted fill materials	--	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	--	X

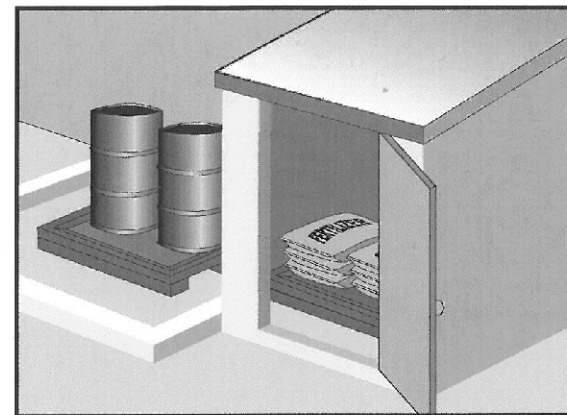
CONSTRUCTION INSPECTION REQUIREMENTS

A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.

B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.

C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

Material Delivery and Storage WM-1



Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or waterbodies by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.
This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMP's in this section.

WM-1

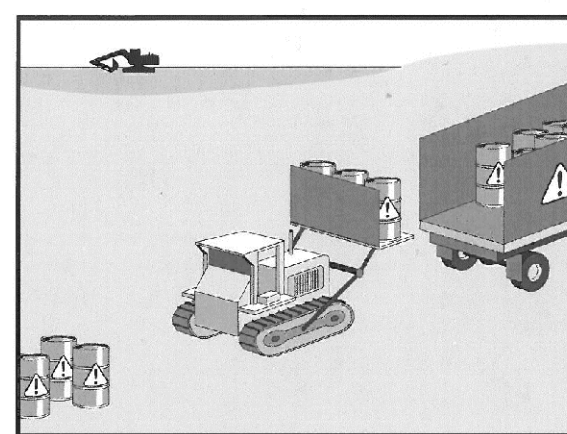
Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

Legend:
☒ Primary Category
☒ Secondary Category

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics

Potential Alternatives
None

Hazardous Waste Management WM-6



Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

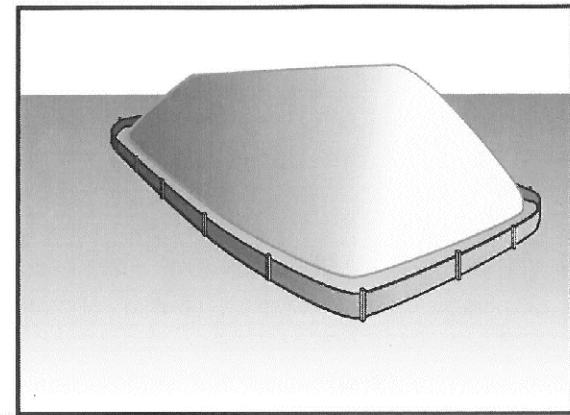
Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

Legend:
☒ Primary Objective
☒ Secondary Objective

Targeted Constituents
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics

Potential Alternatives
None

Stockpile Management WM-3



Description and Purpose
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt binder (so called "cold mix" asphalt), and pressure treated wood.

WM-3

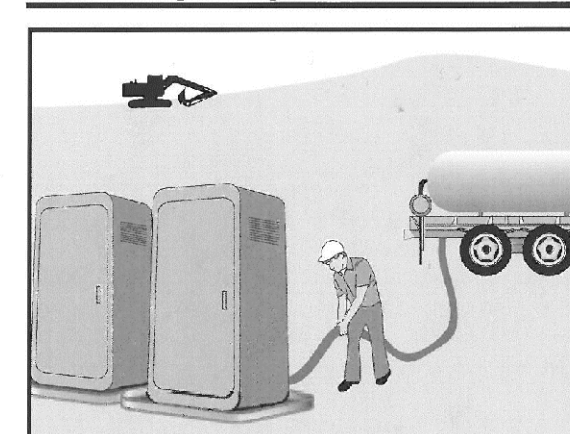
Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

Legend:
☒ Primary Category
☒ Secondary Category

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics

Potential Alternatives
None

Sanitary/Septic Waste Management WM-9



Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

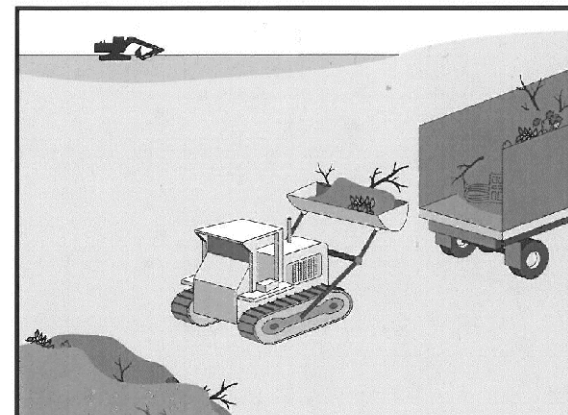
Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

Legend:
☒ Primary Category
☒ Secondary Category

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics

Potential Alternatives
None

Solid Waste Management WM-5



Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

WM-5

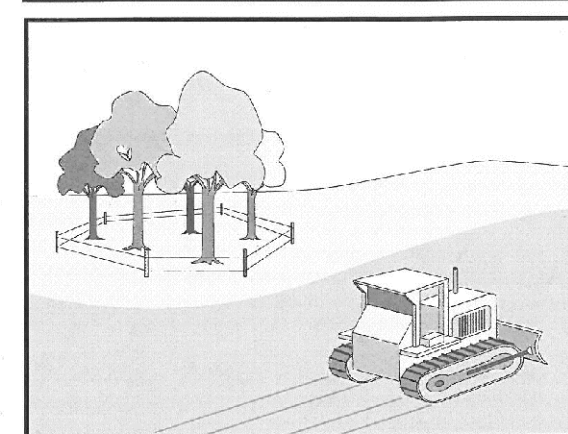
Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

Legend:
☒ Primary Objective
☒ Secondary Objective

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics

Potential Alternatives
None

Preservation Of Existing Vegetation EC-2



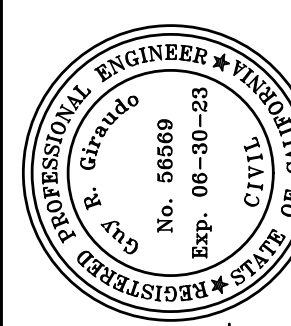
Description and Purpose
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

Legend:
☒ Primary Objective
☒ Secondary Objective

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics

Potential Alternatives
None



APPROVED BY:

GUY R. GIRAUDO



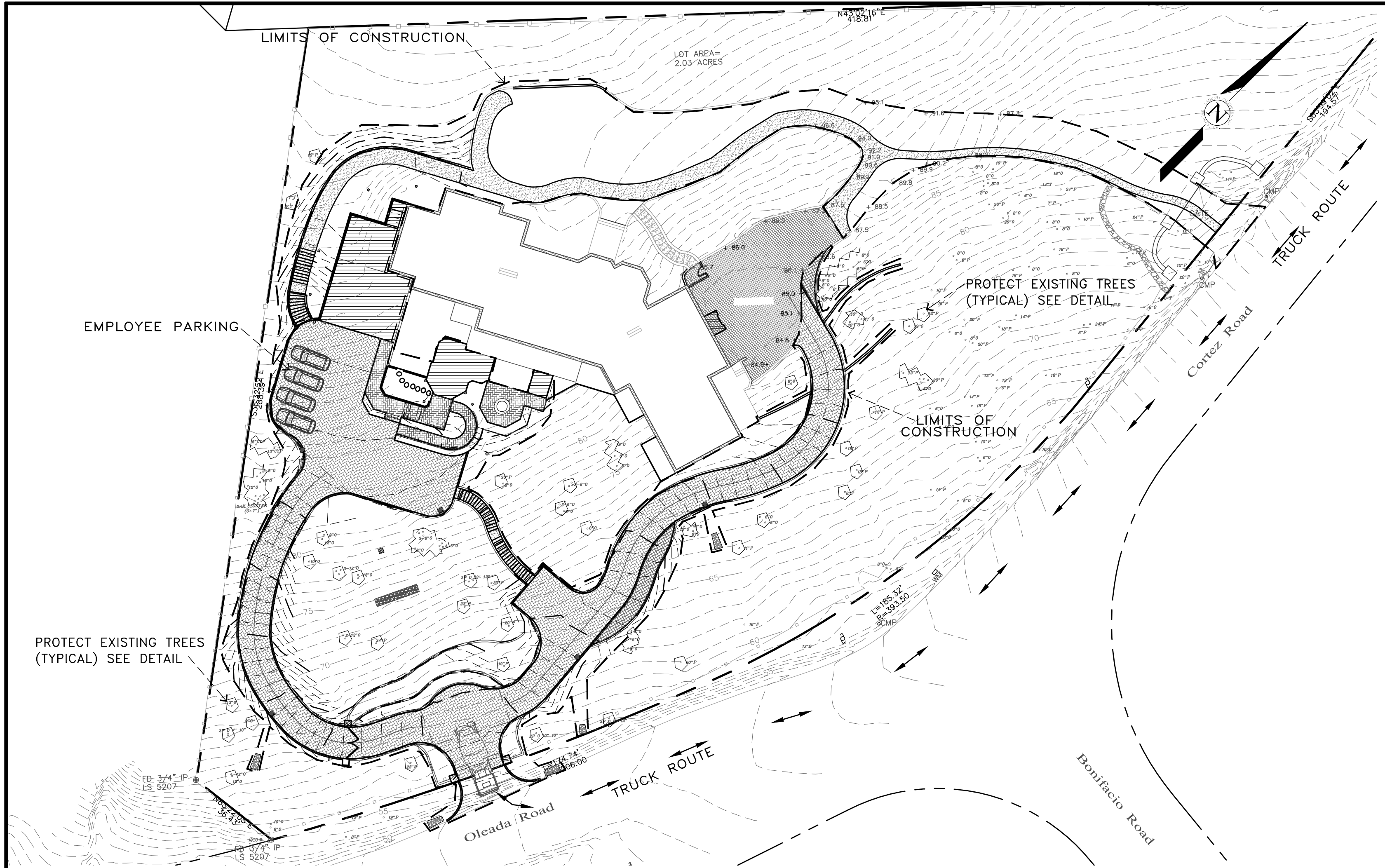
" EROSION & SEDIMENT CONTROL PLAN "

W & SMITH CA, INC. RESIDENCE
A.P.N.: 008-233-010
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR W & SMITH CA, INC.

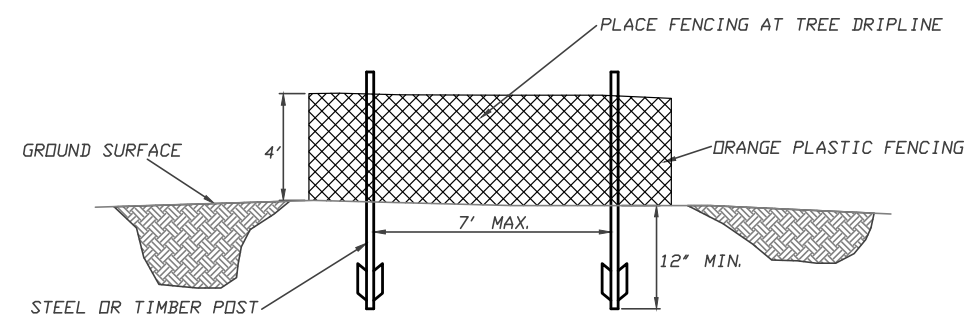
SCALE: AS SHOWN
DATE: JULY 2023
JOB NO. 2591-02

SHEET C3

OF 4 SHEETS



PLAN
SCALE: 1"=30'



FENCING (ESA) DETAIL
Scale: NTS

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
3,010 CY CUT
170 CY FILL

CONSTRUCTION STAGING:
DEMOLISH EXISTING DRIVEWAY & HARDSCAPE AND OFFHAUL DEBRIS. EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM GRADING, CONSTRUCT STRUCTURE ADDITIONS, AND INSTALL UNDERGROUND UTILITIES:
PROPOSED NEW MOTOR COURT AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW PERVIOUS PAVERS DRIVEWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON OLEADA ROAD AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
THE HAUL ROUTE TO THE SITE IS FROM 17 MILE DRIVE TO SUNRIDGE ROAD TO RONDA ROAD TO CORTEZ ROAD TO OLEADA ROAD. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON OLEADA ROAD. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN THE PROPOSED NEW MOTOR COURT AND NEW PARKING AREAS AND IN LEGAL SPACES ALONG OLEADA ROAD, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

A CONSTRUCTION STAGING PLAN
SCALE: 1"=30'

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	8	3
GRADING & SOIL REMOVAL (EXPORT)	142	14
ENGINEERING MATERIALS (IMPORT)	4	4
TOTALS	154	21

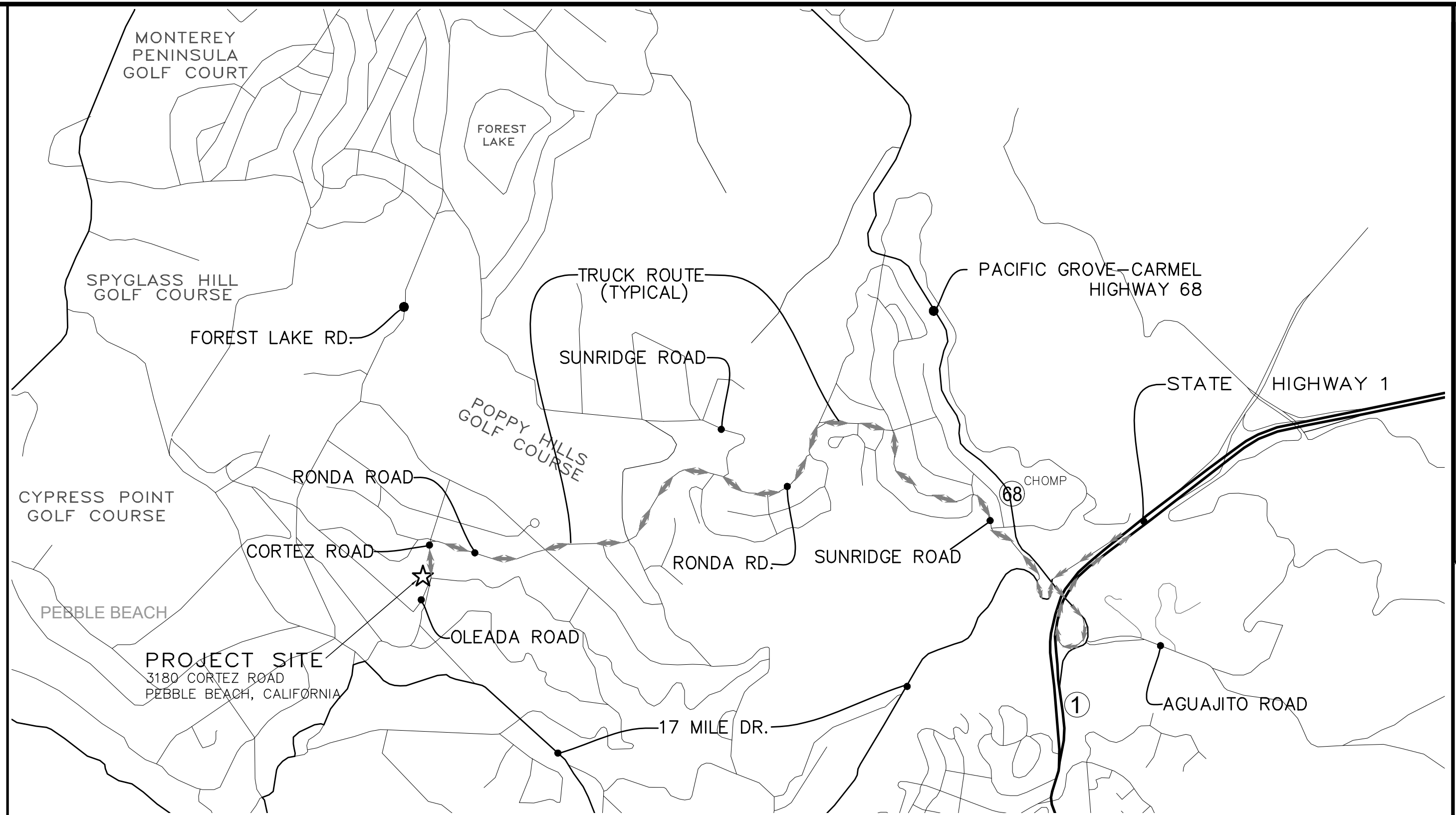
TRUCK TRIP GENERATION NOTES:

- TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 10 TRUCK LOADS PER DAY.
- THERE ARE 2,840 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 7 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 140 & 200 CUBIC YARDS.

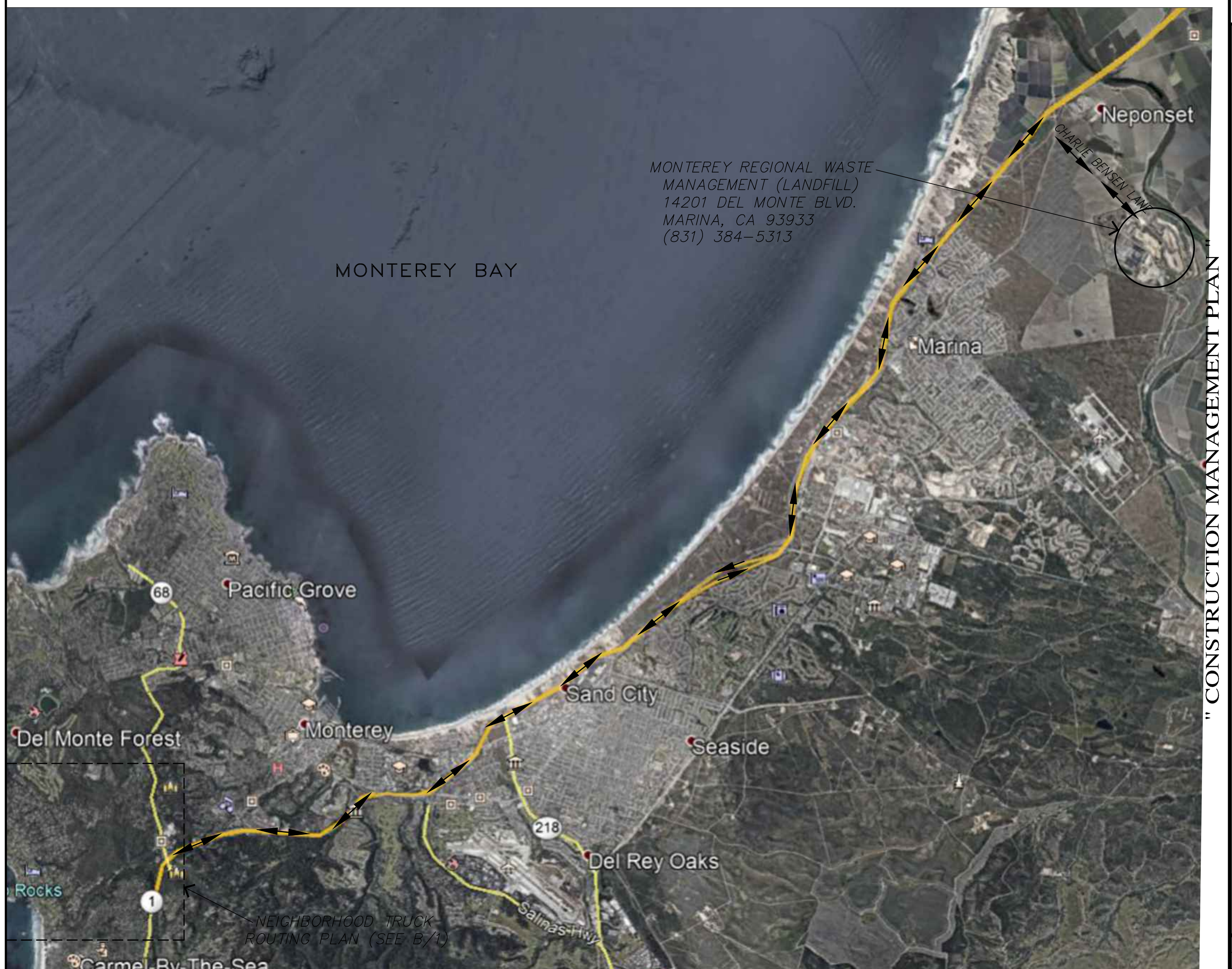
NUMBER OF EMPLOYEES/DAY: 6-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 24 JULY 2023.
7 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 10 MONTHS.



B NEIGHBORHOOD TRUCK ROUTING PLAN



OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

No.	DATE	BY	REVISION
07/06/23	AMS	RELEASED TO CLIENT	

CONSTRUCTION MANAGEMENT PLAN

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

W & SMITH CA, INC. RESIDENCE

A.P.N.: 008-233-010

PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA

W & SMITH CA INC.

SCALE: AS SHOWN

DATE: JULY 2023

JOB NO. 2591-02

SHEET C4

OF 4 SHEETS

APPROVED BY:

GUY R. GIRAUDO

LANDSET ENGINEERS, INC.

520-B Crazy Horse Canyon Road

Salinas, California 93907

Office (831) 443-6970 Fax (831) 443-3801

www.landseteng.com

PROFESSIONAL ENGINEER

CIVIL

STATE OF CALIFORNIA

NO. 56660

EXP. 06-30-23

Exhibit B

This page intentionally left blank.

THOMPSON

WILDLAND MANAGEMENT

Environmental Management & Conservation Services
International Society of Arboriculture Certified Arborist # WE-7468A
Department of Pesticide Regulation Qualified Applicator Lic. #QL50949 B
Environmental & Arborist Assessments, Protection, Restoration, Monitoring & Reporting
Wildland Fire Property Protection, Fuel Reduction & Vegetation Management
Invasive Weed Control, and Habitat Restoration & Management
Soil Erosion & Sedimentation Control
Resource Ecologist

September 19, 2023

W&Smith CA, Inc Residence
3180 Cortez Road
Pebble Beach, CA. 93953
APN: 008-233-010-000

Subject: 3180 Cortez Road Pre-Construction Tree Impact Assessment

Per *Monterey County Housing & Community Development Department-Planning Services* permit requirements, a pre-construction evaluation of trees located on the property at 3180 Cortez Road (APN: 008-233-010) in Pebble Beach was recently conducted to assess tree health, proposed construction related impacts and to provide tree protection recommendations in preparation for the planned construction of a new driveway. This developed parcel is located in a mixed woodland residential community of Del Monte Forest that is dominated by mature and aging Monterey Pine (*Pinus radiata*) and Coast Live Oak (*Quercus agrifolia*) trees. No trees are proposed for removal in preparation for driveway construction activities and nearby pine and oak trees will be retained and protected for the duration of the project.

The location of trees and tree protection measures are identified on the project plans, and examples of trees on the property and in the vicinity of the proposed project site are depicted in photographs located at the end of the report (refer to *Figures 1-12*). Findings and recommendations are provided herein.

A. Construction Tree Impacts & Protection Measures:

As noted above, this developed property is located in a mixed woodland residential community that is dominated by mature and senescing upper-canopy Monterey Pines (*Pinus radiata*) and mid- to lower-canopy Coast Live Oak (*Quercus agrifolia*) trees. There is currently a relatively low density of previously mowed and maintained understory vegetation on the property, which is primarily composed of native and introduced shrubs, grasses and broadleaf forbs.

Per the design plans, no trees that are protected by *Monterey County Housing & Community*

Development Department-Planning Services tree preservation ordinances are proposed for removal in preparation for this project. The proposed new driveway will provide safer and improved ingress and egress to the property off of Oleada Road, and will be constructed of permeable pavers, which will assist in minimizing impacts to trees. Root system impacts are not expected to occur at levels that will significantly compromise or be detrimental to tree health.

Based on the project site plans and a pre-construction tree assessment, several naturally occurring oak and pine trees located in the vicinity of proposed driveway construction activities are not expected to be significantly impacted or adversely affected by driveway construction activities and will be adequately protected with tree protection fencing for the duration of the project. Given the proper implementation of tree protection and preservation measures provided in this report, as well as the routine monitoring and inspection of trees and construction activities, the trees in the vicinity of driveway construction operations are expected to withstand and tolerate grading activities with minimal adverse affects (refer to attached photos, *Figures 1-12*).

In regards to the health of native oak and pine trees occurring on the property, harmful biotic disorders (e.g., pathogens, disease and/or insect pests) appear to be absent in levels that are detrimental to the health and viability of trees and woodland habitat. At this time the overall health and condition of most trees on the lot generally appears to be fair to good. Additionally, natural regeneration and recruitment of native oak and pine seedlings and saplings on the lot appears to be sufficient for supporting and sustaining woodland health and character. Where possible, young oak or pine seedlings located within the proposed construction footprint should be relocated to safe and suitable areas where healthy tree development can occur.

Per Monterey County requirements and resource preservation BMP's, the following tree and resource protection measures shall be implemented for this driveway construction and property improvement project located at 3180 Cortez Road in Pebble Beach. Not all of these tree protection measures may be necessary or applicable to this specific project, but may come in useful at some point during project operations and should be provided in case they are needed. The proper implementation of tree and resource preservation BMP's and regular construction site monitoring will assist in protecting and preserving the health and welfare of trees, habitat and surrounding ecological resources. The location of tree protection measures will be determined on-site by the project arborist and project design team, and tree and resource preservation measures will be regularly inspected and properly maintained for the duration of the project to ensure they are functioning effectively:

1) Prior to commencing with grading and construction activities install high visibility exclusionary fencing that clearly defines the work area, limits unnecessary disturbance to surrounding areas, and protects the critical root zone (i.e., CRZ area defined by the outermost portion of the canopy dripline, 360 degrees around the tree, or a 10 to 12 distance from the base of the tree, whichever is greater) of individual trees and tree groupings. For protecting the canopy dripline and critical root zone (CRZ) areas of trees use a more durable and heavier duty

orange exclusionary fencing (e.g., *Resinet Heavy Duty Square Mesh Access Control Barrier Fence*) anchored in with steel T-posts, or in some cases consideration should be given to using a much stronger and more durable chain link fencing to protect the most valuable and important trees located in the vicinity of proposed construction activities (refer to the project plans that shows the location of tree protection fencing). Where possible, tree protection fencing will be installed along the outer portion of the canopy dripline (i.e., the CRZ area) or beyond the canopy dripline of trees located within and/or adjacent to the project site to avoid impacting critical roots. Perform necessary repairs, modifications and maintenance on a as needed basis for the duration of the project.

2) Install appropriate sedimentation control measures (e.g., silt fence) along downslope perimeter of construction site and, if necessary, apply soil stabilization and source control measures (e.g., rice straw mulch, erosion control blankets, all-weather surfaces) to exposed soil surfaces to prevent erosion problems and sediment runoff during rain events. Perform routine monitoring, as well as the necessary maintenance, modifications and improvements on a as needed basis to ensure that erosion & sedimentation control and resource protection measures are functioning effectively. It should be noted that erosion problems and sediment deposition around trees can adversely affect tree health and stability.

3) If it's necessary to perform grading activities within the canopy dripline and critical root zone (CRZ) area of trees the following practices should be implemented: 1) Try to maintain natural grade as much as possible; 2) Where feasible use permeable surface materials at final grade; and 3) Avoid cut (i.e., lowering grade) and fill (i.e., raising grade with fill material) operations (particularly lowering grade) within the CRZ that could result in significant root loss or damage to large primary roots that are important to supporting and sustaining tree health and structural stability.

4) If it is necessary to perform grading and construction activities within 5 feet of trees install trunk and stem protection measures (e.g., 2x4 lumber forming protective barrier around circumference of trunk and lower stem of tree). Tree protection measures should be securely installed to trees with rope and high visibility exclusionary fencing. If it is necessary to perform any pruning use proper tree pruning practices to minimize impacts and maximize wound healing.

5) If it is necessary to temporarily store construction materials or equipment within the canopy dripline (i.e., critical root zone [CRZ]) of nearby trees (which will be avoided), apply 2 to 4 inches of clean and properly sourced woodchip mulch to limit soil disturbance and prevent soil compaction within the critical root zone area. In some cases a deeper and more protective mulch layer may be necessary.

6) Where possible, avoid damaging or cutting roots located within the critical root zone (i.e., canopy dripline) of trees, especially roots that are 2 inches diameter or larger, and to the extent possible avoid grading or significant soil disturbance within a radius that is a minimum five times (5X) the diameter (DBH) of the subject trees, which is the most sensitive portion of a tree's

critical root zone (CRZ) area. It should be noted that, where possible, root zone disturbance should ideally be avoided within the entire CRZ and canopy dripline area (i.e., the outer most portion of the canopy dripline 360 degrees around the tree) and even expanded to the area beyond the canopy dripline and primary root zone. Construction footings should be designed and excavation activities performed in a manner to minimize impacts to primary roots, or alternative foundation designs (e.g., pier and grade beam) that are less impactful to critical root systems should be considered. If significant roots are encountered efforts should be made to carefully excavate (e.g., tunnel or dig) under or around primary lateral roots. Grading or trenching operations that may occur within the critical root zone of retained trees should be performed under the guidance and monitoring of the project arborist. Tree roots severed or significantly damaged during grading and excavating operations should be cleanly cut and promptly covered with moist burlap fabric or equivalent until roots are permanently covered with backfill material or until the exposed grading cut and soil profile is permanently stabilized and protected. If burlap covered cut roots are exposed to the outside environment for an extended period of time a project attendant shall be assigned the task of regularly wetting burlap covered roots to prevent root desiccation. Additionally, in the absence of rain during the wet season it may be necessary to perform supplemental watering (i.e., regular deep irrigating throughout the remaining portions of the critical root zone) to construction impacted trees. Frequency, quantity and duration of supplemental watering should be determined by the project arborist or a qualified landscape professional or tree care professional with similar experience.

7) Healthy oaks and pines can be fairly tolerant of low to moderate levels of root system impacts; however, they are generally less tolerant to increases (i.e., introduction of fill material) or decreases (i.e., cut slopes) in natural grade. Where possible, avoid altering the natural grade (particularly lowering grade) within the CRZ to reduce the likelihood of causing root loss and tree stress, decline and/or mortality. Lowering natural grade can result in significant root loss or damage and raising the grade (i.e., introducing fill material, particularly around the lower trunk and root crown) can lead to trunk and root decay disorders that are detrimental to the health and structural integrity of trees. Where possible, root loss and root system impacts should be avoided and minimized to the greatest extent possible, and this important factor should be considered when developing a construction design plan. It should be noted that root loss or root system impacts does not always result in an immediate or significant decline in tree health, but instead often occurs slowly and gradually over a period of several years or decades. Per the site assessment and analysis of the project plans, it appears that trees in the vicinity of proposed construction operations will likely tolerate grading activities with minimal to moderate impacts and are suitable for being retained, protected and preserved..

8) Avoid storing construction tools, materials and equipment within the critical root zone (i.e., canopy dripline) of trees, and do not wash out or dispose of excess materials (e.g., paint, plaster, concrete, or other potentially harmful substances) within critical root zone areas. As previously noted, if it is unavoidable and necessary to temporarily store or stockpile materials and equipment within the CRZ of trees, apply 2 to 4 inches of clean and properly sourced woodchip mulch to prevent soil compaction and root zone disturbance.

9) If tree pruning is necessary it is important to utilize proper pruning BMP's that will assist in minimizing harmful impacts to trees. In most cases, tree pruning should ideally be performed during the fall through early winter months when the trees are at a lower level of physiological activity, the exception being deadwood removal or minor pruning, which can occur during any time of year. A general principle to follow is that it is important to make proper pruning cuts, keeping them as small as possible while removing as few living branches as necessary to achieve the objective. Large pruning wounds often do not completely heal over with wound wood callus tissue, which creates a permanently exposed entry point for decay, disease and insect pests. Excessive pruning can stress, injure and harm trees by depleting energy reserves and reducing food making processes (i.e., photosynthesis), which can compromise a trees ability to perform essential physiological functions and to recover and replenish essential reserves during periods of stress (e.g. root disturbance and drought conditions). As noted above, excessive pruning can create an abundance of exposed wounds providing entry points for potentially harmful biotic disorders (e.g., disease, decay and/or insect pests) that can adversely affect the health and structural integrity of trees. It should be noted that pruning involving the removal of 30% or more of living canopy material requires a County permit. Additional pruning BMP's and guidelines are available upon request.

10) The primary objective of pruning operations should be as follows: To remove dead and unhealthy limbs and branches (i.e., deadwood removal); improve canopy balance and symmetry and maintain natural form; thin out overly dense and heavy portions of the canopy; and, if necessary, perform targeted and selective weight reduction pruning of the canopy and large limbs (i.e., end weight reduction pruning) to assist in preventing significant structural failures that could be detrimental to tree health and potentially hazardous to property and areas with human activity. As suggested in the previous sentence, perform necessary pruning to reduce and mitigate hazard concerns to occupied structures and areas with human activity; and perform necessary pruning to reduce wildland fire hazards and combustible fuel loads, and to improve property protection and defensible space around structures.

11) Perform pre-construction meeting with contractor to ensure that tree and resource protection measures are properly located, positioned and installed. Additionally, perform regular construction site inspections for the duration of the project to monitor the condition of tree and resource protection measures, and to determine if any repairs, adjustments or modifications are necessary. Trees impacted by site development should be periodically monitored and assessed during and following the project to determine if any tree care and management actions are necessary, and to make certain trees do not present a hazard to property and/or nearby structures.

In regards to additional tree care and management practices, landscaping activities associated with property development will be designed and implemented in manner that will avoid or minimize impacts to nearby trees. For example, landscaping should be avoided or limited within the critical root zone area (i.e., canopy dripline) of trees, with minimal soil disturbance, grading, irrigation, planting and introduction of soil or other landscaping materials. Landscaping plants

should be drought tolerant and lower combustibility vegetation that is appropriate to oak savanna and woodland habitat. Lower density, lower growing and properly irrigated, spaced and maintained plants and planting configurations should be used that are less flammable and more fire resistant.

Additionally, several oak and pine trees that are located in relatively close proximity to the proposed project site may need to be pruned to maintain and preserve tree health, provide adequate clearance around structures, improve aesthetics, reduce combustible fuel loads (i.e., ladder fuels) and improve defensible space for wildland fire protection. Pruning operations should occur during the proper time of year (preferably fall through early winter) and will utilize proper pruning BMP's to minimize impacts to trees.

As previously noted, during project operations the trees on the property will be routinely monitored and adequately protected, and in the event that large primary roots are encountered the project arborist will be notified and consulted to assist in providing guidance and recommendations to minimize impacts to protected trees. If trees exhibit any signs or symptoms of stress and decline due to possible construction related impacts or any other factors (e.g., biotic and/or abiotic disorders) specific treatments can be performed (e.g., supplemental deep watering, radial or vertical mulching, growth regulator treatments, among others) to assist in mitigating adverse impacts and to aid in the recovery of impacted trees, but none of these treatments are anticipated to be necessary.

Per *Monterey County Housing & Community Development Department-Planning Services* tree preservation ordinances and resource protection best management practices (BMP's), the trees on the property will be retained and protected from construction activities for the duration of the property development project (refer to tree protection BMP's provided in this report, as well as the project site plans that show the location of tree protection fencing). Tree and resource protection measures will assist in preserving and protecting ecological resources and minimizing impacts to trees and oak savanna habitat.

B. Tree Repair & Replacement:

Per tree care and preservation BMP's, if any trees are damaged during construction operations they should be promptly repaired and/or treated per arborist specifications. Remedial or mitigation treatments may vary and will depend largely on the damage or injury sustained, as well as the condition of a specific tree at the time of injury. As previously noted, trees impacted by project operations should be periodically monitored and assessed by the project arborist during and following the project to determine if any tree care and management actions are necessary that will assist in preserving and improving tree health and preventing tree hazards.

C. Conclusion:

In conclusion, given the proper implementation and maintenance of tree and resource protection BMP's provided in this report (e.g., tree protection fencing and erosion & sedimentation control measures) for the proposed driveway construction project located at 3180 Cortez Road in Pebble Beach, as well as regular monitoring and inspections of tree protection measures and tree health by a qualified arborist for the duration of the project, construction related impacts are not expected to be significant or harmful to tree health. No trees are proposed for removal for this project and other than the proper installation and maintenance of tree and resource protection measures, no further mitigation actions should be necessary.

Best regards,

Rob Thompson
ISA Certified Arborist # WE-7468A
Resource Ecologist

September 19, 2023
Date

Thompson Wildland Management (TWM)
57 Via Del Rey
Monterey, CA. 93940
Office (831) 372-3796; Cell (831) 277-1419
Email: thompsonwrm@gmail.com ; Website: www.wildlandmanagement.com

THIS REPORT HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF CLIENT. THOMPSON WILDLAND MANAGEMENT (TWM) ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER INDIVIDUALS OR PARTIES.

CLIENT ACKNOWLEDGES THAT THIS REPORT, AND ANY OPINIONS, ADVICE OR RECOMMENDATIONS EXPRESSED OR GIVEN, ARE BASED ON THE INFORMATION SUPPLIED BY CLIENT AND ON THE DATA, INSPECTIONS, MEASUREMENTS AND ANALYSIS IMPLEMENTED AND OBTAINED BY TWM.

THIS REPORT IS BASED ON A LIMITED VISUAL INSPECTION FOR OBVIOUS DEFECTS AND OF TREE CONDITION FROM GROUND LEVEL. IT IS NOT A COMPLETE HEALTH AND HAZARD EVALUATION, AS SOME HEALTH AND HAZARD CONDITIONS ARE NOT VISIBLE AND CANNOT BE CONFIRMED BY SUCH LIMITED INSPECTION. A COMPREHENSIVE HEALTH AND HAZARD ASSESSMENT WOULD INCLUDE OTHER INVESTIGATION MEASURES INCLUDING, BUT NOT LIMITED TO, CORE SAMPLES, TISSUE ANALYSIS, ROOT COLLAR EXCAVATION, SOIL ANALYSIS, AND VISUAL INSPECTION OF THE ENTIRE TREE VIA CLIMBING. ESTIMATES FOR THIS WORK ARE AVAILABLE UPON REQUEST.

BE ADVISED THAT HEALTHY TREES AND/OR LIMBS MAY FAIL UNDER CERTAIN CONDITIONS, AND THAT THE RECOMMENDATIONS IN THIS REPORT ARE BASED ON GENERAL STANDARDS OF TREE CARE. THIS REPORT IS MADE WITH THE UNDERSTANDING THAT NO REPRESENTATIONS OR WARRANTIES, EITHER EXPRESSED OR IMPLIED, ARE MADE THAT ANY TREES REFERRED TO IN THE REPORT OR LOCATED ON OR ADJACENT TO THE SUBJECT PROPERTY ARE GUARANTEED TO BE SOUND OR SAFE.

ALTHOUGH OPINIONS MAY BE OFFERED REGARDING THE RESULTS OF THE SUBJECT MATTER, TWM CANNOT GUARANTEE ANY PARTICULAR RESULT. CLIENT ACKNOWLEDGES THAT TWM HAS MADE NO PROMISE ABOUT THE OUTCOME AND THAT ANY OPINION OFFERED IN THE FUTURE WILL NOT CONSTITUTE A GUARANTEE.



Figure 1. Proposed new driveway will pass between oaks to the left and right side of photo through previously disturbed landscaped area to connect with existing driveway. Retaining wall will be removed and nearby oaks will receive tree protection measures.



Figure 2. New driveway will continue along existing home through previously disturbed landscaped area. Trees will receive tree protection measures.



Figure 3. Proposed new driveway will continue into wooded area of lot going around mature pine and oak trees in the direction of the red arrow. Trees protection fencing will be installed and properly maintained and no trees are proposed for removal.



Figure 4. Proposed permeable surfaced driveway (i.e., pavers) will pass around pine trees located right of center in the direction of red arrows.



Figure 5. Existing home and mature pine and oak trees are located a safe distance from proposed driveway construction activities and will be retained and protected.



Figure 6. Proposed new driveway will enter property at this location off of Oleada Road.



Figure 7. Proposed driveway continues up gradual slope to area where the new motor court and guest parking area will be located. Oaks and pines will be protected and retained.



Figure 8. Proposed driveway continues up towards backyard area where new motor court and guest parking area is located.



Figure 9. Existing lawn and landscaped area will be the new motor court and guest parking area.



Figure 10. More of the existing lawn and landscaped area that will be the new guest parking and motor court area.



Figure 11. Another view of previously impacted lawn area where motor court and guest parking area will be located. No tree impacts will occur in this area.



Figure 12. Natural oak and pine regeneration and recruitment is sufficient for sustaining woodland health and character.

Exhibit C

This page intentionally left blank.

A BIOLOGICAL RESOURCES REPORT *for the* W&SMITH CA INC. RESIDENTIAL PROPERTY

3180 CORTEZ ROAD, PEBBLE BEACH CA 93953

Monterey County APN 008-233-010

For - Guofeng Wang / W&SMITH CA INC.

Copy - Amy L. Denny, Project Manager / IDG, Inc.

From - Jeffrey B. Froke, Ph.D. / jbfroke@mac.com

Califauna

Mon, 21 August 2023

The Property Owner has planned and designed to shift or flip access points to both the property from the serving roadway and to the main house entryway. The scope of the project, which also includes interior work, is driven by life and safety concerns.

- ▶ Allowable lot coverage = 13,248 ft²
- ▶ Existing coverage = 8,449 ft² //
- ▶ Proposed coverage would equal 8,748 ft².



GEOGRAPHIC BACKGROUND

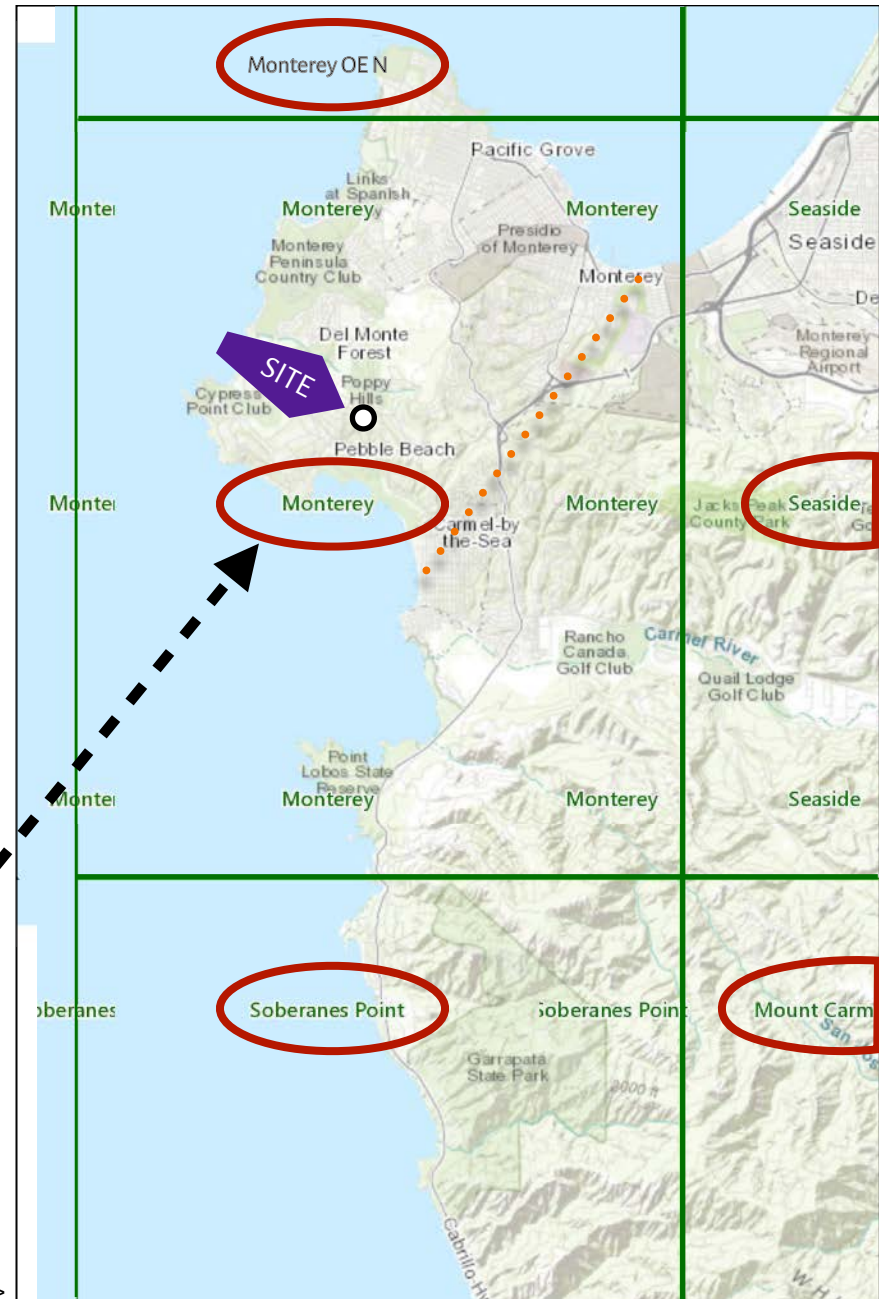
The subject property (2.03 acres at 3180 Cortez Road) is situated within Pebble Beach, which is the only residential community inside the 5,300-acre Del Monte Forest. Del Monte Forest is the single unincorporated residential community on the Monterey Peninsula; representing the balance of the peninsula are the municipalities of Pacific Grove (entirely), Carmel-by-the-Sea (partially), and Monterey (partially).

The two aerial overlays on the front page (Figures A and B) accurately identify the location and developed (low-density) suburban setting of the subject property. For a following discussion, Figure A (left) depicts a 1.0-mile diameter circle pinned to the subject property, i.e., centric-area of 503 acres.

Mapping References

- Property Area: 2.03 acres
- Elevation Range: 55 ft (280 - 335 ft ASL)
- Map Coordinates: 36.575724° lat. | -121.945067° lon.
- USGS 7.5-minute quadrangle: *Monterey, California.*;
(Figure C identifies adjoining 4 quadrangles — per CEQA)
- Triangulation: 1.90 mi f/ Cypress Point @ 68.7°
1.10 mi f/ Pescadero Point @ 21.4°
- Pebble Beach Unit: Pescadero
- Watershed: Stillwater Creek > Pacific Ocean

FIGURE C >>



Biogeographic Data Sources

- Taxonomy and Status
- Principal Floristic Basis
- Secondary Floristic Basis
- Principal Faunistic Basis
- Secondary Faunistic Basis



CDFW¹ Special Animals List and Special Plants List

CALFLORA²

CDFW Natural Diversity Database (CNDDDB)

Personal records, expert knowledge (30 years in Pebble Beach)

CNDDDB

[1] CDFW: California Department of Fish and Wildlife

[2] CALFLORA is an independent 501(c)(3) NGO that is not affiliated with other organizations.

CALFLORA is managed by botanists and governed by an independent Board composed of academic, professional, and government experts. Among CALFLORA's numerous data sources, the Consortium of California Herbaria (CCH) is a vital gateway to information from California vascular plant specimens that are housed in over 30 participating herbaria: the records of several member herbaria date back to the early 1800s. At last count, CCH serves over 2 million specimen records, 70 percent of which are georeferenced with latitude and longitude.

[3] California Natural Diversity Database (CNDDDB). July 2023. Special Animals List. California Department of Fish and Wildlife. Sacramento, CA.

[4] California Natural Diversity Database (CNDDDB). July 2023. Special Vascular Plants, Bryophytes, and Lichens List. California Department of Fish and Wildlife. Sacramento, CA

Circuitous dug burrows of the abundant Botta's Pocket-Gopher (*Thomomys bottae*) are widespread throughout all open-ground areas of the subject property.

STUDY APPROACH

Prior Data

Among the first pro forma tasks made to organize the field work for this project was a review of CDFW's California Natural Diversity Database (CNDDDB). The main aim of the review was to know whether and where there might be registered, vouch-safe plant records for taxa identified within the USGS Sleepy Valley 7.5-minute quadrangle. CNDDDB data for observed and confirmed animal taxa also were evaluated.

As noted above, effort studying botanical records was weighted towards the CALFLORA ecosystem. Besides, all of CNDDDB plant records, once verified, are incorporated within CALFLORA.

In addition to familiarity with external databases and determining suggestible species for the project environment, an important next-step is to chart certain collection locations for taxa that reasonably, or responsibly might be expected to occur within the project setting. In this, and in the field, aerial imagery and maps, e.g., Google Earth Pro, were valuable, or rather invaluable.

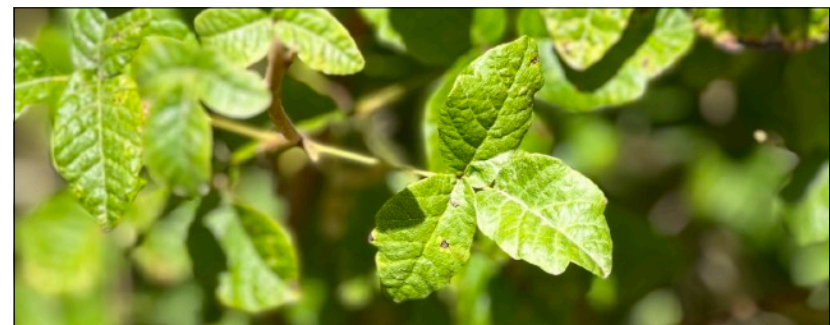
For plants, CALFLORA was run for all life forms of vascular plants, including graminoids. Inquiries were limited to the one-mile diameter circle that is shown by Figure 1. The closed-cone coniferous forest near the seacoast, and the definitive 3-sided formation of Monterey Peninsula are locally exceptional to the degree that screening for taxa outside of the *Monterey* quadrangle was not required.

Afield

The combination of a relatively open site, albeit well treed, with few obstructions to viewing, an extensive series of roads and pathways, and still-cool daily temperatures, made possible a thorough and unimpeded visual assessment of the site and its immediate surroundings. The best description of a field methodology would be a "comprehensive and attentive walkabout of the entire site, punctuated with plentiful opportunities to stop and take stock of the vivid landscape."

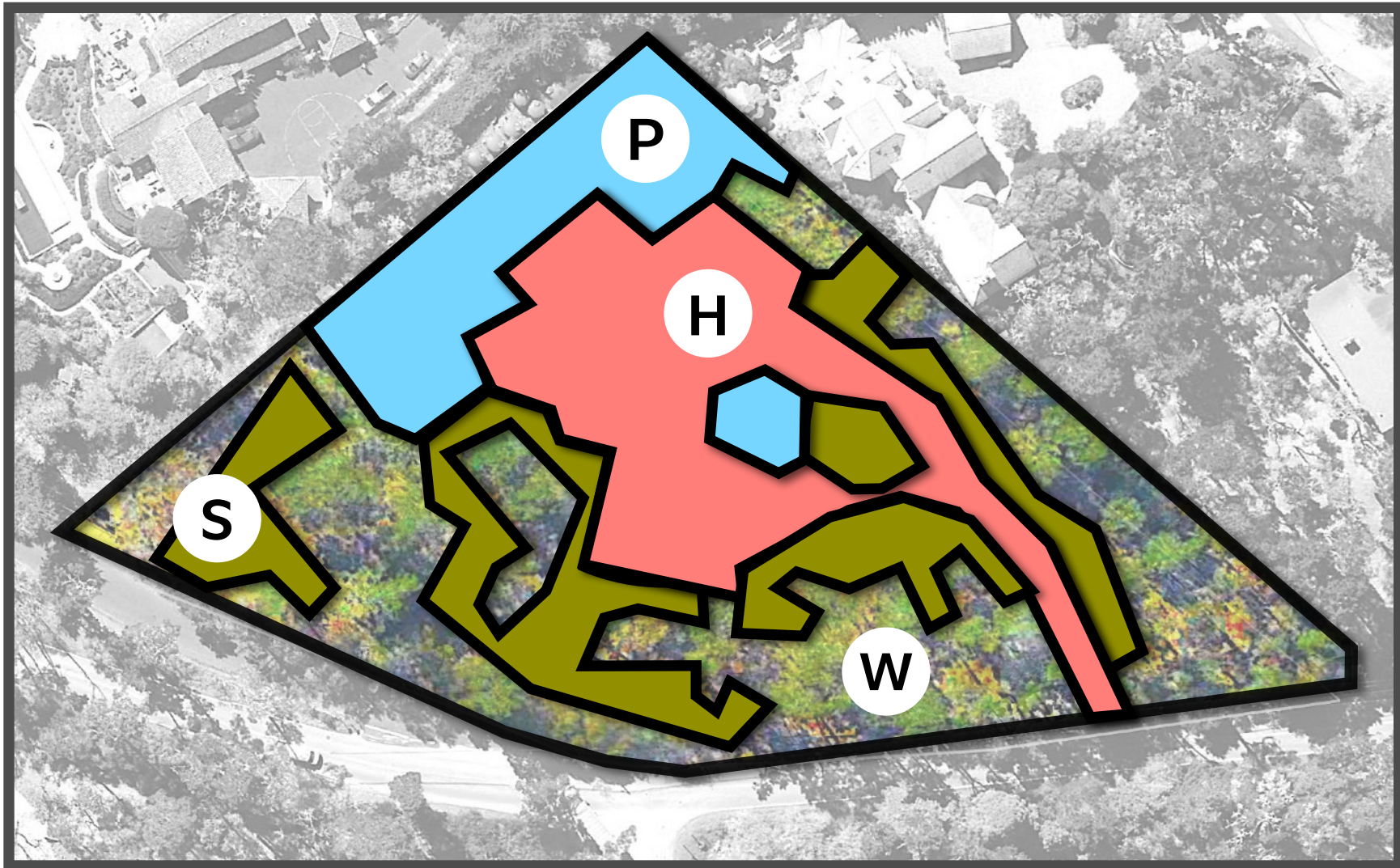
Plantlife was discriminated to species by visual inspection and with using the Munz Flora as a key, if and when necessary: taxonomic puzzles and updates would be attended to afterwords. The Jepson Manual also was at-hand. All observed native and nonnative taxa were included in both field and follow-up assessments, without bias.

Birds were identified to species by sight and sound, or song; mammals by sight plus their respective tracks and various spoor including scrapings, scat, and hair patches. With the exception of species that are identified by very specific and discernible dens or egg-masses, etc., special-status reptiles and amphibians, and for that matter special invertebrates, would be recorded from direct observations, only.



"Leaves of three...". PACIFIC POISON OAK, *Toxicodendron diversilobum*

FIGURE D. GENERAL COVER MAP for the subject property, which is developed (residential) and landscaped. Plant species makeup across the property and inside each cover type, except for “H: (habitation and hardscape) are further described in following text. Areal representation (percent of total for each cover type) is described from gross measurement: Total property = 2.03 ac; Wooded (W) = 1.00 ac (~50 pct.); House and Hardscape (H) = 0.50 ac (25 pct); Shrubbery (S) = 0.28 ac (14 pct); Planted slopes and beds (P) = 0.25 ac (13 pct).



INQUIRY OF EXISTING DATA (Q1): Is there evidence of listed or other *special species* (CDFW 2023) of plant present on or reasonably near the subject property?

DATAPOINTS FROM CALFLORA (D1-4):

- D1 — 1979 rec. of *Allium hickmani* on a forested estate w habitat.
- D2 — 1959 rec. of *Pinus radiata* on a private estate.
- D3 — 1973 rec. of *Paspalum dilatatum* in a roadside ditch.
- D4 — 1940 rec. of *Mimulus auranticus*, roadside.

SINGLE REASONABLE ANSWER (A1) — In reference to plant records, one specimen of a single ranked rare species, Hickman's Onion (RPR 1B.2), has been recorded inside the one mile diameter circle that evenly surrounds the subject property (A = 503 ac). That recorded observation was made in 1979; subsequent plants have been found in numerous Del Monte Forest locations since 1979, and the species is well known across appropriate habitat at Fort Ord.

◆ *Appropriate habitat for Allium hickmani is present neither on nor adjoining the subject property. Species is absent.*



OBSERVED VEGETATION AND PLANT SPECIES, 14 AUG 2023

As a horizontal cover or mantle over the planted and/or naturally occurring vegetated three-quarters of the property, native plantlife is predominant; this is owed to the broad growth of Coast Live Oak and (mostly mature) Monterey Pine.

On an ecological basis, the same mixed woodland is not native in composition given the absence of native understory and groundcover and a predominantly exotic groundcover of Glory Mat , here a popular landscape plant.

Without counting the variety of cultivated and horticultural taxa, which is the greater number, the species diversity of the site is low. With exception of Yarrow, native forbs are absent; Golden Wattle is the principal adventitious species, and from hundreds of densiform shoots is clearly spreading widely and surely successfully.

TABLE 1. DOMINANT plant species detected on the subject property at 3180 Cortez Road, Pebble Beach CA. Local and California native taxa are prioritized. Nonnatives not listed.

Quercus agrifolia, California Live Oak

➡ *Pinus radiata*, Monterey Pine (natural and planted)

Ceanothus gloriosus, Glory Mat (not native)

Toxicodendron diversilobum, Pacific Poison Oak

Achillea millefolium, Yarrow

Hesperocyparis macrocarpa, Monterey Cypress (not native)

Sequoia sempervirens, Coast Redwood (planted to site)

Aristida species, unidentified species of wiregrass

Arctostaphylos tomentosa, Woollyleaf Manzanita



OBSERVED WILDLIFE, 14 AUG 2023

The subject property provides local wildlife with cover that is associated with a broader and coalesced upland habitat across the residential developed portion of the Del Monte Forest. While no native habitat community exists on site, the presence of oaks and pines suits more accommodating species, while others are drawn to the open and planted shrubbery and bare ground. In this setting, the effects of which are amplified by the broader and comparable context of the surrounding suburban neighborhood, special birds, mammals, reptiles and amphibians are with few exceptions likely to be found onsite.

Finally, provided expertise — and evidence, it is reasonable to surmise and predict at least occasional appearances of several native species of the named vertebrate orders. In this case, Gray Fox, Brush Rabbit, Great Horned Owl, several winter warblers, Western Fence Lizard, Pacific Gopher Snake, and Santa Lucia Mountains Slender Salamander — none of which are listed or otherwise special per California Department of Fish and Wildlife — *Special Animals List*, July 2023.

TABLE 2 Native vertebrate animal species visually observed or otherwise positively detected on the subject property at 3180 Cortez Road, Pebble Beach CA.

Aphelocoma californica, California Scrub-Jay

Junco hyemalis, Dark-eyed Junco

Pipilo maculatus, Spotted Towhee

Colaptes auratus, Northern Flicker

Thryomanes bewickii, Bewick's Wren

Lophotryx californica, California Quail

Patagioenas fasciata, Band-tailed Pigeon

Haemorhous mexicana, House Finch

Melanerpes formicivorus, Acorn Woodpecker

Sphyrapicus ruber, Red-breasted Sapsucker

Dryobates nuttallii, Nuttall's Woodpecker

Thomomys bottae, Botta's Pocket Gopher

Mephitis mephitis, Striped Skunk

Procyon lotor, Raccoon

Psuedacris sierrae, Sierran Chorus Frog

APPLICABLE LAWS AND REGULATIONS

PLANTLIFE / *California State Laws Protecting Native Plants*

Certain native plants are protected by California law. Important Among the California laws for native plant protection are two that are potentially applicable to residential lot improvement are California Endangered Species Act (CESA), and the California Environmental Quality Act (CEQA).

■ California Endangered Species Act

CESA was enacted in 1984 to parallel the federal Endangered Species Act and allows the Fish and Game Commission to designate species, including plants, as threatened or endangered. CESA makes it illegal to import, export, “take”, possess, purchase, sell, or attempt to do any of those actions to species that are designated as threatened, endangered, or candidates for listing, unless permitted by CDFW. “Take” is defined as “hunt, pursue, catch, capture, or kill, or attempt to hunt, pursue, catch, capture, or kill.” There are 156 species, subspecies, and varieties of plants that are protected as threatened or endangered under CESA (PDF). Under CESA, CDFW may permit take or possession of threatened, endangered, or candidate species for scientific, educational, or management purposes, and may also permit take of these

species that is incidental to otherwise lawful activities if certain conditions are met. Some of the conditions for incidental take are that the take is minimized and fully mitigated, adequate funding is ensured for this mitigation, and that the activity will not jeopardize the continued existence of the species.

The Native Plant Program coordinates CDFW’s plant listing activities under CESA, prepares evaluation reports, and provides recommendations to the Fish and Game Commission. If you are considering petitioning the Fish and Game Commission to list a plant species pursuant to CESA, please email NativePlants@wildlife.ca.gov.

■ California Environmental Quality Act

CEQA is a law that requires public agencies to analyze and publicly disclose the environmental impacts from projects they approve, and adopt feasible alternatives and mitigation measures to mitigate for the significant impacts they identify. During CEQA review, public agencies must evaluate and disclose impacts to the 220 plant species protected under CESA and the NPPA, and in most cases must mitigate all significant impacts to these species to a level of less than significance. In addition, during the CEQA process, public agencies must also address plant species that may not be listed under CESA or the NPPA, but that may nevertheless meet the definition of rare or endangered provided in CEQA. CDFW works in collaboration

with the California Native Plant Society and with botanical experts throughout the state to maintain an Inventory of Rare and Endangered Plants, and the similar Special Vascular Plants, Bryophytes, and Lichens List (PDF). Species on these lists may meet the CEQA definition of rare or endangered. As the trustee agency for the wildlife of California, which includes plants, ecological communities and the habitat upon which they depend, CDFW advises public agencies during the CEQA process to help ensure that the actions they approve do not significantly impact such resources. CDFW often advises that impacts to plant species with a California Rare Plant Rank in the Inventory be disclosed by the lead agency during project review to ensure compliance with CEQA.

SUMMARY AND CONCLUSION

In summary, the entire property was surveyed for its vegetation, cover conditions, and potential habitat for special plants and animals. All species — native and nonnative were

identified (in a handful of cases, plants to genus, only). Reported findings emphasized native species; this for the purpose of conforming with CEQA conformation, i.e., evaluating the potential effects of the proposed project on sensitive native taxa.

Confidence level was high for detection and sufficiency of detections for making an assessment of the survey objectives.

The project does not pose a risk of diminishing or adversely affecting sensitive habitat, nor would it reduce or harm to sensitive plant or animal species. But for Monterey Pines, none are present or expected. Q: Removal of live Monterey Pines, if any, for the project, would call the question: would doing as much cause an adverse impact to the species, particularly in light of its sensitivity status (Rare Plant Rank 1B.1)? See below.

Special Vascular Plants, Bryophytes, and Lichens List – July 2023

Scientific Name	Common Name	Element Code	Federal Listing Status	State Listing Status	Heritage Rank	Rare Plant Rank	Other Status	Seed Banked	Records in CNDDDB?
<i>Pinus radiata</i>	Monterey pine	PGPIN040V0	None	None	G1/S1	1B.1	IUCN:EN	Yes	Yes

A: Absent essential elements of a legitimate Monterey Pine forest, particularly on a maintained residential property, the actual development of a native habitat and naming the site as such by a qualified biologist are precluded. Missing elements include natural or recoverable soil conditions, native or near-native ground cover, and at least broken sections of evidence of natural seed germination and recruitment. Further indicators include, e.g., predominantly native or recoverable native understory, or a manageable condition that would steer the site toward actual forest conditions, i.e., locally the exclusion of invasive woody plants - shrubs and trees.

Beneficial Project Effects (?)

The proposed project would shift uses and functions of the residence from one side of the house to the opposite; landscaping also would be displaced and replaced. Affirmatively, opening up of the SE quarter of the site — to build the relocated driveway, will serve to open up the over-dense woodland cover of Glory Mat and allow greater sunlight to diversify planting opportunities. This will positively affect by diversifying wildlife use of the landscape, particularly by birds.

WILDLIFE / *California State Laws Protecting Native Animals*

■ California Endangered Species Act, as cited above.

■ State and Federal Laws Specific to Protecting Nesting Birds

➡ *Added message to Monterey County re correctable instructions to applicants re nesting bird conditions.*

The absence of listed or otherwise special animal species, as these defined and identified by CDFW (2023), does not obviate the constant lawful obligations of both the County and the Applicant to protect against harm or loss (take) of nesting native birds in connection with the proposed project. Furthermore, it may be helpful to clarify and underscore where County Planning could update and improve the accuracy of how it presents the nesting bird protection scope and regulations.

In the discussion that follows — regarding the immediate project — the description of a proposed mitigation action with respect to locally nesting birds, if any, emphasizes datelines, species range, and method that are more aligned with actual birds' requirements for actual nesting . First, the background:

■ Federal Law - The Migratory Bird Treaty Act of 1919, as amended.

■ NOTE: California Fish and Game Code §§ 3503 and 3503.5
California laws that are free-standing and separately independently enforceable from the above Federal law are included by this reference in the following discussion, as the purpose and effect of both are encapsulated by the original Act.

Lot developers and homebuilders and the public agencies that advise and provide their terms of compliance are responsible to recognize the importance of MBTA1919, the fundamental objective of which is to ensure the welfare of all native birds of the USA when nesting. The term “nesting” spans the timeframe from early nest-site discovery, nest construction or improvements, the nest itself, and the eggs, hatchlings and young through the period when they are attached to the nest site, until fledged.

Anywhere in coastal Monterey County, e.g., Carmel Valley and the Preserve, Carmel and Big Sur coast, Monterey Peninsula, and Monterey Bay regions, the true and annual nesting period starts around December 1st (Anna’s Hummingbirds, Great Horned Owls, *et al*), and conservatively

runs through July 31st (species of flycatchers, *et al.*). In other words, it is appropriate for the coastal slope of Monterey

County to consistently cite a “*Nesting Period of December 1st through July 31st - of any year*).

Frequently, applicants and their agents misunderstand the County’s intentions when specifying that the nesting bird protection apply to Birds of Prey, whether exclusively or separately from other birds. This is derived from a misunderstanding of California Fish and Game Code, but is point-out here to emphasize that MBTA19 recognizes virtually all species of native bird.

There has been a long-standing but incorrect restatement of a bygone formula for avoiding disturbance of nesting birds while attempting to mitigate or prevent disruption of the nesting birds by construction or land-work that has been authorized to proceed: Citations of, for example, 150 or 350 ft from the nest tree are not helpful. These always should be left entirely to the biologist on the ground to determine at the time, chiefly because the range of variables — human, biological, and physical — affecting whether and for what distance (etc.) are nearly endless.

Finally, the training and expertise of the person who is authorized to observe, interpret, and negotiate the onsite conditions for mitigating the terms for construction to proceed near a active bird nest is imperative. The person needs to be an expert in bird nesting ecology as well as simple identification and location of large and obvious nests, i.e., raptor nests.

It will better serve public and the protected resource when the County specifies expertise and sufficient training such as, at minimum, a B.S. or (better) an M.S. in Wildlife Biology or Ornithology. Requiring a “County-approved biologist” without explicit qualifications, at least for the bird portion of the assignment is valueless, unfortunately.

RECOMMENDED MITIGATION.

➡ Protection of Nesting Birds, Their Nests and Young

In the event that any physical, onsite aspect of construction, e.g., ground-clearing, tree-trimming, or excavation of any sort, etcetera, would start during the nesting period of local birdlife — between December 1st and July 31st of any year, the following steps to mitigate to mitigate the potential disturbance of the birds, their nests, and progeny, would be authorized by applicant and/or applicant’s agent:

1. Enlisting the expertise of a qualified ornithologist or wildlife biologist, who in term would see to the following
2. Conduct an appropriately broad or focused search for evidence of bird nesting behavior and nest-location cues, recording the species and location of each found nest area. And if in jeopardy alerting the contractor of the potential conflict.
3. Unless and until a suitable avoidance program can be worked out - one that 1st addresses the welfare of the bird resources, and 2nd is practicable to the contractor.

NOTE: *When such an agreement cannot be attained, the birds win the argument and construction that in any way would risk harm to the birds will be stalled until the nest effort is completed.*



QUALIFICATIONS

This report was prepared by Jeffrey B. Froke, Ph.D., who has practiced as a wildlife professional, ornithological researcher, college educator, conservation executive, and private consultant for 50 years — working internationally, nationwide, and throughout the period all over California. The past 34 years, he has lived and based his work in Monterey County, particularly Pebble Beach and the Preserve, of which he was a founding partner.

Jeff is sole proprietor of two statewide ecological, policy, and design consulting firms, Califauna and Golfauna.

Education:

B.S., *Wildlife and parks conservation*; M.S. *Wildlife ecology and ornithology* — both, Humboldt State University; Ph.D., *Landscape ecology and ornithology* — UC Los Angeles; *Marine science and deep-sea ecology* — UC Scripps Institute of Oceanography; *Hawaiian geography and Pacific Islands studies* — University of Hawai'i, Manoa; *Plant taxonomy*, CSU Long Beach.

Fellowships:

Harvard University, Advanced Environmental Studies - School of Design;

National Audubon Society, GIS and management of bird populations.



Exhibit D

This page intentionally left blank.



HEXAGON TRANSPORTATION CONSULTANTS, INC.

Memorandum

Date: August 31, 2023

To: W&Smith CA, Inc.

From: Ollie Zhou
Nivedha Baskarapandian

Subject: Sight Distance Review for the Proposed Driveway at 3180 Cortez Road in Pebble Beach, California

Hexagon Transportation Consultants, Inc. has completed a sight distance review for the proposed driveway at 3180 Cortez Road in Pebble Beach, California. The project proposes to relocate the existing driveway which is located 160 feet north of the intersection of Cortez Road and Bonifacio Road (see Figure 1). This report will review the sight distance of the proposed driveway with relation to pedestrian, bicyclist, and motorist safety.

Sight Distance at Cortez Road

The project access points should be free and clear of any obstructions that would materially and adversely affect sight distance, thereby ensuring that exiting vehicles can see pedestrians, bicycles, and other vehicles traveling on adjacent roadways. Landscaping and parking should not conflict with a driver's ability to locate a gap in traffic and see oncoming pedestrians, bicyclists, and vehicles. Sight distance requirements vary depending on the roadway speeds.

The posted speed limit in Pebble Beach is 25 mph. The Caltrans *Highway Design Manual* recommended stopping sight distance for the proposed driveway is 150 feet (based on a design speed of 25 mph). Sight distance was checked for the proposed project driveway at 3180 Cortez Road via a site visit in August 2023. The site visit found that a driver exiting the proposed driveway location could see until the first roadway curve on the right and till the intersection of Cortez Road and Bonifacio Road to the left (see Figure 3), which is about 300 and 205 feet of sight distance respectively. This sight distance would be adequate for speed limits up to 30 mph from the east and 40 mph from the west. There is adequate sight distance at the proposed driveway as the road has low speeds and does not allow for street parking.

Hexagon recommends a sight triangle as shown in Figure 4 should be established at the driveway so that exiting vehicles can see bicycles and motor vehicles in the street and any vegetation taller than three feet should be removed within the sight distance triangle. Also, Hexagon recommends trimming the bushes north of the driveway on Oleada Road to improve driver visibility.

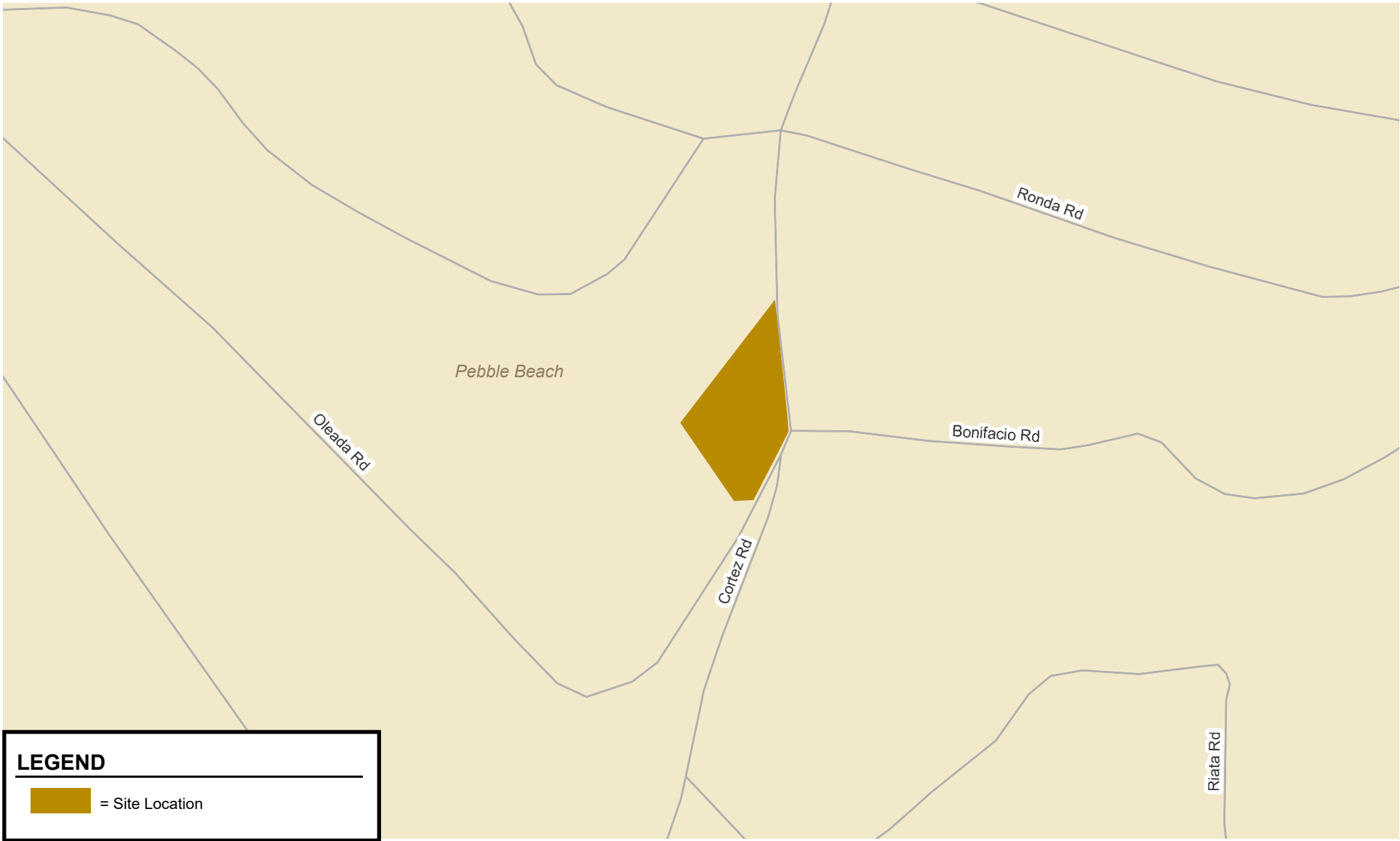


Figure 1
Project Site Location



Looking Left



Looking Right



Figure 3
Proposed Driveway Sight Distance

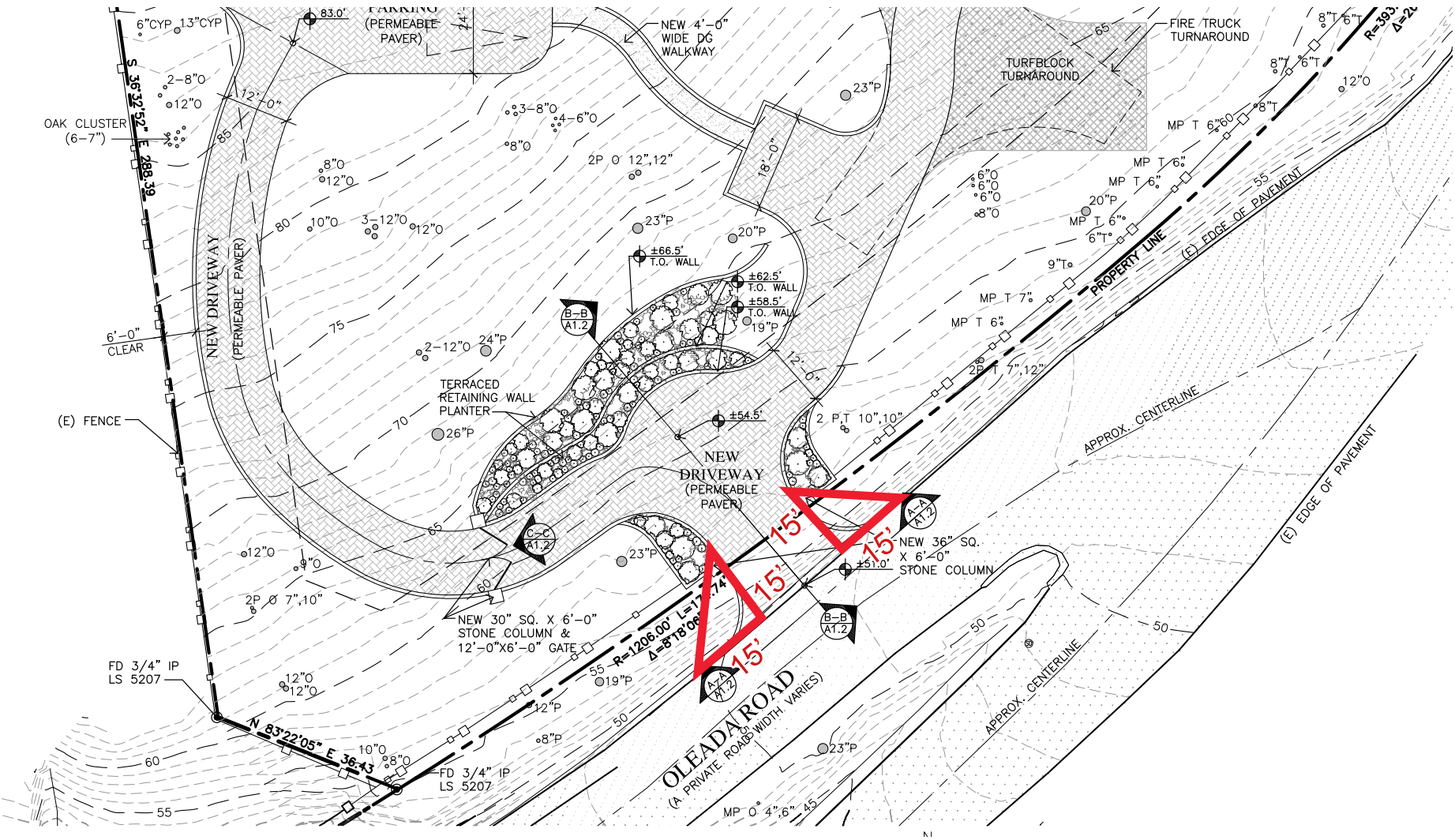


Figure 4
Proposed Driveway Sight Triangle

This page intentionally left blank

Exhibit E

This page intentionally left blank.

GREATER MONTEREY PENINSULA

Palo Corona
Regional Park

San Jose Creek

Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P,
Intermap, USGS, METI/NASA, EPA, USDA

APPLICANT: W & SMITH CA INC

APN: 239021009000

FILE # PLN230134



Project Site



300 FT Buffer



2500 FT Buffer



0 600
Feet



This page intentionally left blank