

Exhibit B

This page intentionally left blank.

DRAFT RESOLUTION

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

FEATHER CYPRESS LLC (PLN210276)

RESOLUTION NO. ---

Resolution by the Monterey County Planning
Commission:

- 1) Adopting a Mitigated Negative Declaration pursuant to Section 15074 of the CEQA Guidelines; and
- 2) Approving a Combined Development Permit consisting of a:
 - a. Coastal Administrative Permit and Design Approval to allow the demolition of an existing 17,992 square foot single-family dwelling with an attached two-car garage, a detached 3,797 square foot gym, a 972 square foot covered walkway, and sheds totaling 433 square feet; and the construction of a 7,767 square foot single-family dwelling with an attached two-car garage, 882 square foot basement, 712 square foot pool house, 1,114 square foot pool, and a 319 square foot spa;
 - b. Coastal Development Permit to allow development within 750 feet of known archaeological resources;
 - c. Coastal Development Permit to allow development within an environmentally sensitive habitat area (indigenous Monterey cypress habitat and coastal bluff scrub);
 - d. Coastal Development Permit to allow development within 50 feet of a coastal bluff; and
 - e. Minor and Trivial amendment to a previously approved permit (PLN200068, Zoning Administrator Resolution No. 21-008), to delete Condition 8 requiring recordation of a Conservation and Scenic Easement; and
- 3) Adopting a Mitigation Monitoring and Reporting Plan.

[PLN210276 FEATHER CYPRESS LLC, 3256 17 Mile Drive, Pebble Beach, Del Monte Forest Land Use Plan (APN: 008-462-008-000)]

The Feather Cypress LLC application (PLN210276) came on for an administrative decision hearing before the Monterey County Planning Commission on January 25, 2023. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Monterey County Planning Commission finds and decides as follows:

FINDINGS

1. FINDING: CONSISTENCY – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 1982 Monterey County General Plan;
- Del Monte Forest Land Use Plan;
- Monterey County Coastal Implementation Plan Part 5, Regulations for Development in the Del Monte Forest Land Use Plan Area; and
- Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

b) Allowed Use. The property is located at 3256 17-Mile Drive, Pebble Beach (Assessor’s Parcel Number 008-462-008-000), Del Monte Forest Land Use Plan, Coastal Zone. The parcel is zoned Low Density Residential, 2 acres per unit, with a Design Control Overlay (Coastal Zone) [LDR/2-D (CZ)], which allows which allows development of single-family dwellings and non-habitable accessory structures such as garages and pool houses as principally allowable uses, subject to a Coastal Administrative Permit. (Title 20 Sections 20.14.040.A. and 20.14.040.F.).

The project proposes:

- demolition of the existing 17,992 square foot single-family home with an attached two-car garage, 3,797 square foot gymnasium, and three sheds; and
- construction of a new 7,767 square foot single-family dwelling with an attached two-car garage, 882 square foot basement, and 712 square foot pool house; and
- site improvements, including new driveways and paths, a 1,114 square foot pool, and a 319 square foot spa.

Therefore, the project is an allowed land use for this site.

c) Lot Legality. The 2.8-acre lot is identified as Parcel 8, within in Assessor’s Map Book 8, Page 46. A Lot Line adjustment (File No. 82-38) was approved in December, 1982 and is recorded in Volume 13 of “Surveys.” The approved Lot Line Adjustment shows the current parcel

boundaries and configuration. Therefore, the County recognizes the subject property as a legal lot of record.

- d) Visual Resources. See Finding No. 5 for discussion of consistency with policies and regulations protecting visual resources.
- e) Development Standards. The site development standards for the base LDR zoning are found in Title 20 section 20.14. The project is consistent with the minimum setback, maximum height, maximum building coverage, and maximum floor area requirements.

The minimum setbacks for main structures are 30 feet (front), 20 feet (side), and 20 feet (rear). The home proposes a front setback of 32 feet, a west side setback of 156 feet, and a rear setback of 94 feet. The east side setback is not dimensioned, however, the home is west of the pool house, meaning that the setback is greater than 36 feet.

The minimum setbacks for accessory structures are 50 feet (front), 6 feet (side), and 1 foot (rear). The pool house proposes a 50 feet front setback, a 36 foot east side setback, and a 79 foot rear setback. The proposed west side setback is not dimensioned, however, the pool house is east of the main home, meaning that the west side setback is greater than 156 feet.

The maximum main structure height is 30 feet and maximum accessory structure height is 15 feet, and the proposed home is 16 feet 6 inches, and proposed pool house is 15 feet.

The maximum allowable building coverage is 15% (18,295 square feet), while the proposed building coverage is 9.5% (11,586 square feet). The maximum allowable floor area is 17.5% (21,344 square feet) while the proposed floor area is 8.2% (9,969 square feet).

- f) Forest Resources. No tree removal is proposed. Measures for the protection of trees and habitat have been incorporated. Mitigation Measure No. 1, including exclusionary fencing, a pre-construction training, and on-going monitoring by a qualified arborist/forester during construction, have been applied to protect.
- g) Hazardous Areas. See Finding No. 3 for discussion of consistency with DMF LUP policies and regulations governing development in hazardous areas.
- h) Historical Resources. DMF LUP Policy 57 encourages timely identification and evaluation of archaeological and historical resources so that they may be given full considering during the conceptual design phase of projects. Consistent with this policy, a historical report (LIB220005) was prepared for the property which evaluated the historicity of the property. The property is developed with an approximately 17,992 square foot single-family home, designed by George Washington Smith in the Spanish Colonial Revival style and constructed in 1924. The association of this style would place it within the period of prominence for Mediterranean revival architecture in the 1919-1945 time period according to the Pebble Beach Historic Context statement. Therefore, should it have retained integrity the home would

have been significant both as a representation of the trend of Spanish Colonial Revival Architecture in pebble beach and as a notable example of the work of George Washington Smith. Neither the gymnasium or accessory dwelling unit were considered significant or contributing to the historical character of the site, due to their more recent modifications.

For a property to be considered a historical resource, it must contain both significance and integrity. The home has undergone numerous alterations, most notable of which beginning the 70's, which compromised its integrity such that it no longer conveys its significance and no longer retains its core historically defining features. As the property does not retain integrity, it cannot be considered a historical resource, and its demolition would not impact historical resources. The project was referred to the Historic Resources Review Board (HRRB) for review. The historical report (LIB220005) prepared by Seth A. Bergstein and concurring opinions that the site had lost its integrity from Kent L. Seavey, Page & Turnbull, and Marc Appleton and Anthony Kirk were provided to the HRRB, as well as a petition opposing the demolition of the home. By a vote of 6-0 with 1 absent, the HRRB adopted a resolution finding the site was not eligible for listing on the Monterey County Register of Historic Resources and recommending approval of the project.

- i) Archaeological Resources. Pursuant to DMF LUP Policy 58, an archaeological report (LIB220001) was prepared by Susan Morley to evaluate the potential of the project to impact archaeological resources. The report included archival research, a field reconnaissance, and subsurface testing for cultural resources. The archival research identified that in 1988, Charles Smith prepared a report for the accessory dwelling (at that time caretaker) unit. That report did not identify any evidence of archaeological resources in proximity to the unit. In 1990, Breschini and Haversat prepared a report for the expansion of the gym, which identified fragmentary abalone shell in the area. The current Archaeological observation of the geotechnical bores did not reveal any evidence of cultural materials. The archaeologist also conducted four hand augers near the area proposed for development. The augers revealed sparse abalone shell fragments. No other cultural constituents were noted.

Mitigation Measure No. 5 is recommended, which would require establishment of an exclusionary fence along the hardscape path to prevent disturbance beyond the limits shown in the plan. Due to the presence of shell in the area, there is the potential for the site to contain resources. Therefore, Mitigation Measure No. 5 also requires cultural awareness training for construction personnel and archaeological monitoring during grading and excavation activities, and the County's standard Condition No. 3 has been applied, requiring work be halted and the coroner be contacted if any human remains are discovered. This Mitigation Measure and condition reduce potential impacts to archaeological resources to a less than significant level.

- j) Environmentally Sensitive Habitat Area (ESHA). See Finding No. 4 for consistency with applicable policies and regulations protecting environmentally sensitive habitat areas.
- k) Land Use Advisory Committee (LUAC) Review. County staff referred the project to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. The LUAC reviewed the project on February 17, 2022 and voted 6-0 with 1 absent and 1 abstention to recommend approval of the project contingent on review and concurrence from the Historic Resources Review Board (HRRB) that the property was not historical.
- l) The project planner conducted a site inspection on October 13, 2021 to verify that the project on the subject parcel conforms to the plans listed above.
- m) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN210276.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (CSD). County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) The following reports were prepared to assess the geological and geotechnical suitability of the site for development; and the potential for the development to impact biological, forest, historical, and archaeological resources:
 - Geologic and Coastal Bluff Recession Assessment Report, dated October 12, 2021 (Monterey County Document No. LIB220003), prepared by Haro, Kasunich and Associates, Inc., Watsonville, California;
 - Geotechnical Investigation, dated October 12, 2021 (Monterey County Document No. LIB220004), prepared by Haro, Kasunich and Associates, Inc., Watsonville, California;
 - Biological Assessment, dated October 28, 2021 (Monterey County Document No. LIB220002), prepared by Fred Ballerini Horticultural Services, Pacific Grove, California;
 - Tree Resource Assessment and Forest Management and Cypress Restoration Plan, dated January 5, 2022 (Monterey County Document No. LIB220026), prepared by Ono Consulting, Pacific Grove, California;
 - Phase 1 Historic Assessment, dated May 5, 2020 (Monterey County Document No. LIB220005), prepared by Past Consultants LLC, Petaluma, California; and

- Preliminary Cultural Resources Reconnaissance and Phase II Auger Testing for the Feather Cypress, LLC property, dated August 8, 2021 (Monterey County Document No. LIB220001), prepared by Susan Morley, M.A., Regist2er of Professional Archaeologists, and Brenna Wheelis, Marina, California.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on October 13, 2021 to verify that the site is suitable for this use.
- d) See also supporting Finding No. 3.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN210276.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (CSD). The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided. The property is and will continue to be served by the California American Water Company (Cal Am) for potable water and the Pebble Beach Community Services District (CSD) for sewer. The applicant submitted a Monterey Peninsula Water Management District (MPWMD) residential release form verifying that the proposed water use, calculated based on MPWMD fixture counts, is less than the existing water use.
 - c) In accordance with DMF LUP Hazards Policy 46 and CIP Section 20.147.060.A.1., geological (LIB220003) and geotechnical (LIB220004) reports were prepared to assess the suitability of the site for development and address geological hazards on the properties. The reports concluded that the site was suitable for development given that the recommendations within them were followed. These included recommendations on site grading, foundation design, and surface drainage. Staff are recommending that the County’s standard notice of report condition be applied for each report (Condition Nos. 8 and 9) to ensure that geological and geotechnical recommendations are followed.
 - d) Pursuant to CIP section 20.147.060.B.6., new development (in this case re-development) is required to avoid the need for shoreline armoring over the development’s lifetime, and habitable structures are required to be sited outside of areas subject to storm wave run-up. The project is

consistent with the CIP section, as discussed in evidence “e” through “g” below.

- e) The County does not have a regulatory standard establishing the lifetime of development for different land uses, however the advisory 2018 Sea Level Rise Policy Guidance document prepared by the California Coastal Commission indicates a minimum of 75 years as the long-range evaluation horizon for the life of a structure.
- f) The project geologist concluded that, based on historical bluff erosion information, bluff retreat would be between 5 and 10 feet over the next 75 years. Climate change and sea level rise accelerates bluff retreat, so an additional 5 feet was added to account for this. Finally, a safety factor of 10 feet was added to account the inherent imprecision of evaluating future coastal erosion, and to create a buffer zone from the bluff edge to proposed building foundations in the future scenario (year 2097). This produced a total recommended setback of 25 feet from the current bluff edge. All proposed structures are outside of this recommended bluff setback, so the development has been sited in a location that is not anticipated to require armoring over the life of development.
- g) The impacts of ocean wave run-up (storm surges) were observed around the 48 – 52 foot elevation above sea level (NAVD 88). The geological report concludes that wave run-up will rise by the amount of sea level rise that occurs within the life of the structures. If the 2018 Sea Level Rise Policy Guidance “Medium – High Risk Aversion” figures are used, the sea level would rise between 5.5 and 6.9 feet by 2100, which would be an elevation between 53.5 to 58.9 feet above sea level. The lowest finish floor (the lower floor/basement of the single-family home) is proposed with a finish floor elevation of 62 feet, higher than both of these figures.
- h) Staff conducted a site inspection on October 13, 2021 to verify that the site is suitable for this use.
- i) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN210276.

4. FINDING: ENVIRONMENTALLY SENSITIVE HABITAT AREA – The project minimizes impacts on environmentally sensitive habitat areas in accordance with the applicable goals, policies, and regulations contained in: the Del Monte Forest Land Use Plan (DMF LUP); Monterey County Coastal Implementation Plan (CIP) Part 5, Regulations for Development in the Del Monte Forest Land Use Plan area; and Monterey County Zoning Ordinance (Title 20).

EVIDENCE: a) The project includes an application for development within 100 feet of Environmentally Sensitive Habitat Areas (ESHA). In the DMF LUP, designation of ESHA is context dependent, relying both on current evaluation of existing resources and the sensitivity of habitats and species at the time of development consideration. The property has two distinct ecosystems, Monterey cypress forest and coastal bluff scrub, which overlap in an “ecotone”, which has biotic characteristics of both habitat areas. The Monterey cypress is designated as ESHA and

protected by DMF LUP Policy 20. North coastal bluff scrub is considered ESHA by the California Coastal Commission, recognized as a threatened plant community by the California Department of Fish and Wildlife, and classified as a community “rare and worthy of consideration” by the California Natural Diversity Database (CNDDDB), and in this case includes individually sensitive species including Sea-cliff Buckwheat, a host plant for the federally endangered Smith’s Blue Butterfly, and a single Ocean bluff milkvetch, a sensitive plant species. Therefore, the coastal bluff scrub on the site is appropriately categorized as ESHA.

- b) The DMF LUP key policy recognizes that the habitats of the Del Monte Forest are unique, limited, and fragile resources that are sensitive and important biologically, and that enrich Del Monte Forest enjoyment for residents and visitors alike. Accordingly, these habitats should be protected, maintained, and, where possible, enhanced and restored. This project conforms with this key policy as: the proposed development has been sited and designed to be within the existing development footprint, minimizing potential impact to habitat areas. Detailed best management practices are incorporated through Mitigation Measures No. 1 and 2 to ensure that the habitats are protected through construction and implementation of Mitigation Measures no. 3 and 4 will ensure that invasive weeds are removed from the property and approximately 33,600 square feet of sensitive habitat area are restored.
- c) Protection of Indigenous Monterey cypress habitat is specifically addressed in DMF LUP policy 20, and in implementing regulations for this policy contained in CIP section 20.147.040.D.2. The project is consistent with this policy and these implementing regulations as the project proposes development that is confined to areas where existing structures and hardscapes exist.
- d) In accordance with CIP section 20.147.040.D.2.(a), coordinated biological (LIB220002) and forest management (LIB220026) reports were prepared to assess the potential of the project to impact sensitive habitat areas and species.
- e) CIP section 20.147.040.D.2.(b) requires that all development in and adjacent to cypress forest be carefully sited and designed to avoid adverse impacts to cypress habitat. This includes measures recommended in the biological/forestry reports to protect and enhance Monterey cypress habitat values. The project incorporates the best management practices recommended in the biological forestry reports to protect and enhance the habitat area:
 - Mitigation Measure No. 1 requires wrapping tree trunks with protective material, establishment of protective exclusionary fencing areas, a pre-construction biological training, on-going monitoring during construction by a qualified arborist or forester, and remediation if any trees are inadvertently harmed during construction.
 - Mitigation Measure No. 3 requires eradication of invasive species onsite; and
 - Mitigation Measure No. 4 requires preparation, execution, and monitoring of a restoration plan, which would restore approximately

33,607 square feet of environmentally sensitive habitat area, inclusive of 14,619 square feet of Monterey Cypress forest habitat and ecotone, and 18,988 square feet of coastal bluff scrub habitat. This is in addition to the approximately 16,783 square feet of restoration from the area required to be restored in Condition No. 8 of Zoning Administrator Resolution No. 21-008 (PLN200068), which allowed alterations to the existing accessory dwelling unit. For this reason, this permit incorporates an amendment to that resolution, deleting Condition No. 8 and replacing and incorporating the conservation easement requirement in Mitigation measure No. 4 of this resolution.

- f) CIP section 20.147.040.D.2.(c) provides detailed development criteria in Monterey cypress forest habitat. Per paragraph one of 20.147.040.D.2.(c)(2), development on already developed lots is allowed if it is also sited within existing legally established structural/hardscape area and outside of the critical habitat, which is the case for this project. New or modified development outside of the existing legally established structure/hardscape area would be allowable if it complies with the findings of 20.147.040.D.2.(c)(2)(a) – (g), however, these findings are not applicable as all development is within the existing structural/hardscape area.
- g) Previous iterations of the design did include impervious native soil paths outside of the development area. However, as indicated in revised plan sheet A0.6 submitted on November 7, 2022, these paths have been removed to assure consistency with the CIP regulations. This sheet is Attachment 2 to the permit resolution, and the other site plans would need be updated for consistency with this sheet prior to building permit issuance for the building permit to be determined to be in substantial conformance with the planning approval.
- h) In accordance with DMF LUP Policies 20 and 13, the project has been conditioned to require a conservation and scenic easement be placed to protect all areas outside of the proposed development footprint.. See Finding No. 6 for further discussion of the easement condition.
- i) DMF LUP Policy 8 indicates that environmentally sensitive habitats shall be protected against significant disruption in habitat values. Addressing this policy in the context of bluff scrub, Mitigation Measure No. 2 is incorporated, which requires that protective fencing be installed around existing Sea Cliff Buckwheat and intact coastal bluff scrub habitat areas to protect them during construction. Additionally, invasive species eradication is required and will be coordinated with the project biologist (Mitigation Measure No. 3). Sediment control devices will also be installed along the perimeter of the building envelope to prevent construction runoff from impacting bluff scrub habitat and the ocean.
- j) To protect coastal habitat areas, DMF LUP Policy 25 requires a setback/buffer of at least 100 feet from the edge of mean high water tide line. While the mean high water tide line is not precisely denoted, all proposed structures appear greater than 120 feet from the pacific ocean, and proposed structures are further from the ocean than the existing structures. Portions of the existing hardscape appear within this 100 foot

buffer, however, these areas are existing and not being modified by the project.

- k) While no tree removal is proposed, the biological report (LIB220002) identified potential from construction activities to impact nesting birds. To address this, Condition No. 12 requiring a bird nesting survey if demolition or ground disturbance commences between February 1 and September 15 is incorporated.
- l) Staff conducted a site inspection on October 13, 2021 to verify ESHA locations and potential project impacts to ESHA.
- m) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN210276.

5. FINDING: **VISUAL RESOURCES** – The project is consistent with the applicable policies to protect Visual Resources in the Del Monte Forest Land Use Plan (DMF LUP) and with implementing regulations in the Monterey County Coastal Implementation Plan (CIP).

- EVIDENCE:**
- a) The project is subject to the Visual Resources protection policies of the Del Monte Forest Land Use Plan (DMF LUP), implementing regulations in Part 5 of the Monterey County Coastal Implementation Plan (CIP), and the Design Control “D” zoning overlay district, which requires a design review of structures and fences to assure protection of the public viewshed and neighborhood character.
 - b) The homes design is consistent with the surrounding neighborhood character:
 - The colors and material palette includes limestone, bronze roofing and window frames, and a cypress soffit, natural materials consistent DMF LUP Policies 52 and 53, that development harmonize with the natural setting and be designed to subordinate and blend into the environment; and
 - The substantial reduction in height and massing from the existing home, from 32 feet and 7 inches to 19 feet and 6 inches, helps subordinate the design to the surrounding forest.
 - c) DMF LUP Land Use and Development Policy 84 indicates that a minimum of a 100 foot setback from the centerline of 17-Mile drive shall be maintained to screen development from public views, unless “otherwise screened by vegetation and/or terrain, and the screening terrain/vegetation is required to be maintained and/or enhanced in perpetuity for screening and public viewshed enhancement purposes.” In this case, the proposed home is approximately 52 feet from the centerline of 17-mile drive at the closest point. However, such encroachment into the setback is appropriate in this case as moving development further from 17 Mile Drive could conflict with bluff and habitat policies. The project is consistent with applicable visual policies as it proposes:
 - A 6 foot tall fence which will screen the proposed project from view from 17-Mile Drive and runs for 420 lineal feet;
 - “Viewshed” fencing along 3 points on 17-Mil drive, totaling 103 feet, which are sited to increase blue ocean views from 17-Mile Drive, enhancing the public viewshed; and

- Approximately 33,600 square feet of habitat restoration. In addition to its ecological value, the cypress forest and scrub habitats will screen the proposed structures and enhance the public viewshed, and be required to be maintained in perpetuity in accordance with Landscaping Restoration Plan Condition No. 6.

- d) Staff conducted a site inspection on October 13, 2021 to assess the potential of the project to impact Visual Resources.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN210276.

6. FINDING: MINOR & TRIVIAL AMENDMENT – The proposed modification to Coastal Development Permit PLN200068 (Zoning Administrator Resolution No. 21-008) to replace Condition No. 8 of that permit with Condition No. 20 attached is generally keeping with the action of the Zoning Administrator and does not create any additional impacts not assessed in the original permit action.

- EVIDENCE:**
- a) On August 14, 2003, the Zoning Administrator approved Resolution No. 020582 allowing construction of a three-car garage attached to an existing caretaker unit on the north of the property. As part of making a finding of consistency within DMF LUP Policy 84, which restricts development within 100 feet of the centerline of 17-Mile Drive to protect the viewshed, PLN020582 required a Scenic Easement by conveyed to the County over areas within 100-feet of the centerline of 17-Mile Drive, excepting existing and approved development. This easement was recorded in Monterey County Recorder document No. 2004087472.
 - b) On February 25, 2021, the Zoning Administrator approved PLN200068 (Zoning Administrator Resolution No. 21-008). Condition No. 8 of this permit requires that the applicant amend the 2004 Scenic Easement to encompass all areas outside of existing and approved development, not just those within 100-feet of the centerline of 17-Mile Drive, excepting existing and approved development, and enumerate that the amended Conservation and Scenic Easement is intended to preserve the indigenous Monterey cypress habitat in addition to protect the viewshed. This was done to ensure consistency with DMF LUP Policy 20. Draft easement language and a diagram depicting the existing and approved development were prepared for PLN200068 Condition No. 8, however, a new easement has not been recorded.
 - c) On December 20, 2021, the applicant submitted for a Combined Development Permit to demolish the main residence and build a new one. DMF LUP Policy 20 requires conservation and scenic easements for all undeveloped areas on the site. As the project involves a reduction in hardscape, a new easement condition is required.
 - d) This permit would delete the conservation and scenic easement condition from the 2021 project (PLN200068) and adds a new condition increasing the size of the easement to encompass the habitat areas being restored as part of this project and incorporating the areas previously

proposed for conservation. This amendment avoids redundancy and consolidates actions following approval.

- e) The timing of Condition No. 20 would allow final recording of the amended easement to be completed prior to final inspection of the home, rather than final inspection of the accessory dwelling unit.
- f) Both conditions would require a Conservation and Scenic Easement over all areas excepting existing and approved development, so the amended condition is still in line with the decision of the Zoning Administrator and would not create any additional environmental impacts.
- g) None of the other conditions of PLN200068 are being modified. PLN200068 remains the operative permit for the accessory dwelling unit and its attached garage.
- h) While the appropriate authority to consider Minor and Trivial Amendments would typically be the Chief of Planning, in accordance with Title 20 Section 20.70.105.A., the Combined Development Permit process allows multiple discretionary entitlements to be considered concurrently.
- i) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN210276.

7. FINDING: CEQA (Mitigated Negative Declaration) – On the basis of the whole record before the Monterey County Planning Commission, there is no substantial evidence that the proposed project as designed, conditioned and mitigated, will have a significant effect on the environment. The Mitigated Negative Declaration reflects the independent judgment and analysis of the County.

- EVIDENCE:**
- a) Pursuant to Public Resources Code Section 21083, and California Environmental Quality Act (CEQA) Guidelines Sections 15063(a) and 15063(b)(2), the Lead Agency shall conduct environmental review in the form of an Initial Study to determine if the project may have a significant effect on the environment and shall prepare a Negative Declaration if there is no substantial evidence that the project or any of its aspects may cause a significant effect on the environment.
 - b) County of Monterey as Lead Agency, through HCD-Planning, prepared an Initial Study pursuant to CEQA. The Initial Study is on file in the offices of HCD-Planning and is hereby incorporated by reference (Planning File No. PLN210276).
 - c) There is no substantial evidence, based upon the record as a whole, that the project may have a significant effect on the environment. The Initial Study identified potentially significant effects to biological, cultural, and tribal cultural resources, but the applicant has agreed to mitigation measures that avoid the effects or mitigate the effects to a point where clearly no significant effects would occur. Based upon the analysis of the Initial Study, HCD-Planning prepared a Mitigated Negative Declaration. Mitigation measures have been made conditions of approval of this project.
 - d) The Draft Initial Study and Mitigated Negative Declaration for HCD-Planning File No. PLN210276 was prepared in accordance with the

CEQA Guidelines; filed with the County Clerk on November 21, 2022; and circulated for public review from November 21, 2022 to December 21, 2022 (SCH No. 2022110478). No public comments were received during the circulation period.

- e) Resource areas that were analyzed in the Draft Initial Study/Mitigated Negative Declaration included: Aesthetics, Air Quality, Biological Resources, Cultural Resources, Geology and Soils, Greenhouse Gas Emissions, Hazards/Hazardous Materials, Hydrology/Water Quality, Land Use Planning, Noise, Tribal Cultural Resources, and Wildfire.
- f) Evidence that has been received and considered includes: the application, technical studies/reports, staff reports that reflect the County's independent judgment, and information and testimony presented during public meetings and hearings. These documents are on file in HCD-Planning (Planning File No. PLN210276) and are hereby incorporated herein by reference.
- g) The County identified less than significant impacts to Aesthetics, Air Quality, Geology and Soils, Greenhouse Gas Emissions, Hazards/Hazardous Materials, Hydrology/Water Quality, Land Use Planning, Noise, and Wildfire.
- h) The County identified potentially significant impacts to Biological Resources. Mitigation measures have been incorporated that reduce the identified impacts to a level of less than significant.
- i) Mitigation Measure No. 1 through 4 would reduce potentially significant impacts to biological resources by:
 - Requiring best management practices to protect Monterey cypress be followed including a pre-construction training, establishment of protective fencing, monitoring by a qualified arborist or forester, and monitoring during construction; and
 - Requiring protective fencing and sediment control to protect Seacliff Buckwheat and Bluff Scrub habitat during construction and requiring coordination between a qualified biologist and the invasive species removal contractor to ensure site work doesn't harm this habitat;
 - Requiring removal of invasive species on the site; and
 - Requiring a restoration plan and five years of monitoring by a qualified biologist for the onsite restoration activities.

Together these will ensure construction doesn't inadvertently harm biological resources and that the post construction habitat restoration efforts are undertaken in a manner that will improve the habitat.

- j) The County identified potentially significant impacts to Cultural and Tribal Cultural Resources.

Mitigation Measures No 5 and 6 reduce impacts to Cultural and Tribal Cultural Resources to a less than significant level by:

- Requiring cultural awareness training for construction personnel, establishment of a protective fence along the south of the property, and archaeological monitoring during grading and excavation; and
- Requiring that a tribal monitor approved by the appropriate tribal authority traditionally and culturally affiliated with the area be onsite to observe all project related grading and excavation. The monitor

shall have the authority to temporarily halt work to examine any potentially significant cultural materials or features.

The exclusionary fence protects this area from disturbance, while the other measures ensure that if any previously unidentified cultural resources are uncovered, construction crews are able to identify them, and that they are treated with appropriate dignity and respect.

- k) Pursuant to Public Resources Code Section 21083.2 et seq., County of Monterey HCD-Planning staff initiated AB52 consultation with local Native American tribes on July 22, 2022. Notice was provided to the Ohlone/Costanoan-Esselen Nation, Esselen Tribe of Monterey County, and KaKoon Ta Ruk Band of Ohlone-Costanoan informing them the project and their ability to request a consultation. None of the notified tribal groups requested a consultation. However, due to the known sensitivity of the site to archaeological resources and overlap between archaeological and tribal cultural resources, Mitigation Measure No. 6 has been applied, which requires that a tribal monitor approved by the appropriate tribal authority traditionally and culturally affiliated with the area be onsite to observe all project related grading and excavation. The monitor shall have the authority to temporarily halt work to examine any potentially significant cultural materials or features.
- l) All project changes required to avoid significant effects on the environment have been incorporated into the project and/or are made conditions of approval. A Condition Compliance and Mitigation Monitoring and/or Reporting Plan has been prepared in accordance with Monterey County regulations, is designed to ensure compliance during project implementation, and is hereby incorporated herein by reference. The applicant must enter into an “Agreement to Implement a Mitigation Monitoring and/or Reporting Plan” as a condition of project approval.
- m) Analysis contained in the Initial Study and the record as a whole indicate the project would have the potential to result in changes to the resources listed in Section 753.5(d) of the California Department of Fish and Wildlife (CDFW) regulations. All land development projects that are subject to environmental review are subject to a State filing fee plus the County recording fee, unless CDFW determines that the project will have no effect on fish and wildlife resources.

In this case, for purposes of the Fish and Game Code, the project may have a significant adverse impact on the fish and wildlife resources upon which the wildlife depends. The Initial Study was sent to CDFW for review, comment, and to recommend necessary conditions to protect biological resources in this area. Therefore, the project will be required to pay the State fee plus a fee payable to the Monterey County Clerk/Recorder for processing said fee and posting the Notice of Determination.

- n) Clarification and Amplification: Cultural Resources. Section VI.5(b) indicates, “an archaeological report (HCD-Planning Library No. LIB220001) prepared for the project identified only scattered archaeological resources in the form of abalone shell fragments and concluded that the proposed development would have a less than

significant potential impact on cultural resources.” This section is being corrected to state: “an archaeological report (HCD-Planning Library No. LIB220001) prepared for the project identified only scattered archaeological resources in the form of abalone shell fragments and sparse burnt animal bone fragments, and concluded that the proposed development would have a less than significant potential impact on cultural resources.”

- o) The above described revisions to the Initial Study/Mitigated Negative Declaration made after the public review period do not change any of the conclusions in the initial study or increase the severity of impacts in any resource category. These revisions clarify and amplify the existing discussion. Therefore, recirculation of the IS/MND is not required in this case.
- p) The County finds that there is no substantial evidence supporting a fair argument of a significant environmental impact.
- q) The County of Monterey Planning Commission considered the Mitigated Negative Declaration, along with the Combined Development Permit, at a duly noticed public hearing held on January 25, 2023.
- r) County of Monterey HCD-Planning, located at 1441 Schilling Place, 2nd Floor, Salinas, California, 93901, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the Mitigated Negative Declaration is based.

- 8. FINDING: PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.147.130 of the Monterey County Coastal Implementation Plan can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property, being in an area with a rocky shoreline and no proposed trail or lateral access way, is not described as an area where the Local Coastal Program requires physical public access (Figure 8, Major Public Access and Recreational Facilities, in the Del Monte Forest Land Use Plan).
 - d) The property is in a location that emphasizes visual public access. Figure 3, Visual Resources of the DMF LUP maps it as being potentially visible from 17-Mile Drive and Point Lobos, and halfway between the designated Pescadero and Midway (Lone cypress) vista points. The project planner conducted site visits on January 20, 2021 and October 13, 2021 and verified that the subject property is not visible from the designated vista points. However, it is visible from both 17-Mile Drive and Point Lobos.
 - e) Del Monte Forest Land Use Plan (DMF LUP) Policy 137 indicates that development shall not adversely impact public views and scenic character, with specific attention given to the 17-Mile Drive Corridor, and DMF

LUP Policy 139 indicates that where safe access to the shoreline is not feasible, visual access should be emphasized.

- f) As discussed in Finding No. 5 Visual Resources, the proposed project is compatible with the scenic character of the forest. The projects inclusion of approximately 103 lineal feet of viewshed with approximately 63% pass through along 17-Mile Drive also opens up additional blue ocean views from 17-Mile Drive, enhancing visual public access.
- g) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN210276.

- 9. FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.
- EVIDENCE:**
- a) Pursuant to Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Pursuant to Section 20.86.080.A of the Monterey County Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea and development that is permitted in the underlying zone as a conditional use (i.e.; development within 100 feet of environmentally sensitive habitat).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Adopt a Mitigated Negative Declaration pursuant to Section 15074 of the CEQA Guidelines; and
2. Approve a Combined Development Permit consisting of:
 - a. Coastal Administrative Permit and Design Approval to allow the demolition of an existing 17,992 square foot single-family dwelling with an attached two-car garage, a detached 3,797 square foot gym, a 972 square foot covered walkway, and sheds totaling 433 square feet; and the construction of a 7,767 square foot single-family dwelling with an attached two-car garage, 882 square foot basement, 712 square foot pool house, 1,114 square foot pool, and a 319 square foot spa;
 - b. a Coastal Development Permit to allow development within 750 feet of known archaeological resources;
 - c. a Coastal Development Permit to allow development within an environmentally sensitive habitat area (indigenous Monterey cypress habitat and coastal bluff scrub);
 - d. Coastal Development Permit to allow development within 50 feet of a coastal bluff; and
 - e. A Minor and Trivial amendment to a previously approved permit (PLN200068, Zoning Administrator Resolution No. 21-008), to delete Condition 8 requiring recordation of a Conservation and Scenic Easement; and
3. Adopt a Mitigation Monitoring and Reporting Plan.

All of which are in general conformance with the attached conditions (attachment 1), lot coverage diagram (Attachment 2), and project plans (Attachment 3), all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 25th day of January, 2023, upon motion of _____, seconded by _____, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Craig Spencer, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN210276

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

**Condition/Mitigation
Monitoring Measure:** This combined development permit (PLN210276) allows:

- a. a Coastal Administrative Permit and Design Approval to allow the demolition of an existing 17,992 square foot single-family dwelling with an attached two-car garage, a detached 3,797 square foot gym, a 972 square foot covered walkway, and sheds totaling 433 square feet; and the construction of a 7,767 square foot single-family dwelling with an attached two-car garage, 882 square foot basement, 712 square foot pool house, 1,114 square foot pool, and a 319 square foot spa;
- b. a Coastal Development Permit to allow development within 750 feet of known archaeological resources;
- c. a Coastal Development Permit to allow development within an environmentally sensitive habitat area (indigenous Monterey cypress habitat and coastal bluff scrub);
- d. Coastal Development Permit to allow development within 50 feet of a coastal bluff; and
- e. A Minor and Trival Amendment to PLN200068, to replace Condition 8.

The property is located at 3256 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-462-008-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Combined Development Permit (Resolution Number _____) was approved by the Monterey County Planning Commission for Assessor's Parcel Number 008-462-008-000 on January 25, 2023. The permit was granted subject to 21 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be shall provide proof of recordation of this notice to the HCD - Planning.
Performed:

3. PD003(B) - CULTURAL RESOURCES POSITIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If archaeological resources or human remains are accidentally discovered during construction, the following steps will be taken:

There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until the coroner of the county in which the remain are discovered must be contacted to determine that no investigation of the cause of death is required.

If the coroner determines the remains to be Native American:

- The coroner shall contact the Native American Heritage Commission and HCD - Planning within 24 hours.
- The Native American Heritage Commission shall identify the person or persons from a recognized local tribe of the Esselen, Salinan, Costonoans/Ohlone and Chumash tribal groups, as appropriate, to be the most likely descendant.
- The most likely descendant may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in Public Resources Code Section 5097.9 and 5097.993, Or

Where the following conditions occur, the landowner or his authorized representatives shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further subsurface disturbance:

1. The Native American Heritage Commission is unable to identify a most likely descendant or the most likely descendant failed to make a recommendation within 24 hours after being notified by the commission.
2. The descendant identified fails to make a recommendation; or
3. The landowner or his authorized representative rejects the recommendation of the descendant, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits or approval of Subdivision Improvement Plans, whichever occurs first, the Owner/Applicant, per the archaeologist, shall submit the contract with a Registered Professional Archaeologist for on-call archaeological services should resources be discovered during construction activities. Submit the letter to the Director of the HCD – Planning for approval.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans, on the Subdivision Improvement Plans, in the CC&Rs, and shall be included as a note on an additional sheet of the final/parcel map.

Prior to Final, the Owner/Applicant, per the Archaeologist, shall submit a report or letter from the archaeologist summarizing their methods, findings, and recommendations if their services are needed during construction or if no resources were found.

4. PD005 - FISH & GAME FEE NEG DEC/EIR

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Pursuant to the State Public Resources Code Section 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Within five (5) working days of project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to the Director of HCD - Planning.

If the fee is not paid within five (5) working days, the applicant shall submit a check, payable to the County of Monterey, to the Director of HCD - Planning prior to the recordation of the final/parcel map, the start of use, or the issuance of building permits or grading permits.

5. PD006 - CONDITION OF APPROVAL / MITIGATION MONITORING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring and/or Reporting Plan (Agreement) in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed Agreement. The agreement shall be recorded. (HCD- Planning)

Compliance or Monitoring Action to be Performed: Within sixty (60) days after project approval or prior to the issuance of building and grading permits, whichever occurs first, the Owner/Applicant shall:

- 1) Enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring Plan.
- 2) Fees shall be submitted at the time the property owner submits the signed Agreement.
- 3) Proof of recordation of the Agreement shall be submitted to HCD-Planning.

6. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, the landscaping plan shall be submitted to the Director of HCD - Planning . The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The project shall also install non-reflective glass and automatic dimmers for the windows in order to prevent offsite glare and light pollution. The applicant shall submit an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture, and include the specifications for the non-reflective glass and automatic lighting dimmers. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan, including the non-reflective glass and automatic dimmers.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

8. PD016 - NOTICE OF REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:
"A(n) Geological and Coastal Bluff Recession Assessment Report (Library No. LIB220003), was prepared by Mark Foxx on October 12, 2021, and is on file in Monterey County HCD - Planning. All development shall be in accordance with this report."
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.
Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

9. PD016 - NOTICE OF REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:
"A(n) Geotechnical Investigation for New Residential Construction (Library No. LIB220004), was prepared by Moses E. Cuprill, P.E. on October, 2021 and is on file in Monterey County HCD - Planning. All development shall be in accordance with this report."
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

10. PD022(B) - EASEMENT-CONSERVATION & SCENIC IN THE DEL MONTE FOREST

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: In accordance with Del Monte Forest Land Use Plan Policies 13, 20, and 84, the scenic easement recorded in Monterey County Recorder Document No. 2004087472 shall be amended and replaced with a new conservation and scenic easement deed which encompasses all areas outside of the approved structural and hardscape coverage. The amended easement deed has the express purpose of protecting environmentally sensitive habitats, including Monterey cypress forest and coastal bluff scrub habitat areas; and the scenic viewshed from 17-Mile Drive. This easement deed shall satisfy the Conservation and Scenic Easement Deed requirements of planning permits PLN200068 and PLN210276.

The amended conservation and scenic easement conveyed to the Del Monte Forest Conservancy with the County as an additional beneficiary in accordance with the procedures in Monterey County Code § 20.64.280.A. The easement conveyance shall include funding adequate to ensure the management and protection of the easement area over time. The easement shall be developed in consultation with a certified professional and the Del Monte Forest Conservancy Inc. A Subordination Agreement shall be required, where necessary. These instruments shall be subject to approval by the County as to form and content, shall provide for enforcement, if need be, by the County or other appropriate agency, and name the County as beneficiary in event the Conservancy is unable to adequately manage these easements for the intended purpose of scenic and visual resource protection. An easement deed shall be submitted to, reviewed, and approved by the Director of HCD - Planning and the Executive Director of the California Coastal Commission, and accepted by the Board of Supervisors prior to recording the parcel/final map or prior to issuance of grading and building permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and building permits for the home or pool house, whichever comes first, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to the to the Del Monte Forest Conservancy for review and approval.

Prior to issuance of grading and building permits for the home or pool house, whichever comes first, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to HCD - Planning for review and approval.

Prior to issuance of grading and building permits for the home or pool house, whichever comes first, whichever comes first, the Owner/Applicant, shall submit a signed and notarized Subordination Agreement, if required, to HCD - Planning for review and approval

Prior to final for the home or pool house, whichever comes first, the Owner/Applicant shall record the deed and map showing the approved conservation and scenic easement. Submit a copy of the recorded deed and map to HCD-Planning.

11. PD047 - DEMOLITION/DECONSTRUCTION (MBUAPCD RULE 439)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: In accordance with Monterey Bay Unified Air Pollution Control District Rule 439, construction plans shall include "Demolition and Deconstruction" notes that incorporate the following work practice standards:

1. Sufficiently wet the structure prior to deconstruction or demolition. Continue wetting as necessary during active deconstruction or demolition and the debris reduction process;
2. Demolish the structure inward toward the building pad. Lay down roof and walls so that they fall inward and not away from the building;
3. Commencement of deconstruction or demolition activities shall be prohibited when the peak wind speed exceeds 15 miles per hour.

All Air District standards shall be enforced by the Air District.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of a demolition permit, if applicable, the Owner/Applicant/Contractor shall incorporate a "Demolition/Deconstruction" note on the demolition site plan that includes, but is not limited to, the standards set forth in this condition.

During demolition, the Owner/Applicant/Contractor shall obtain any required Air District permits and the Air District shall conduct all deconstruction or demolition inspection activities as required by the Air District.

12. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If demolition or ground disturbance for the project commences during the typical bird nesting season (February 1 - September 15), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to demolition or ground disturbance, the Owner/Applicant, the owner/applicant shall submit an updated construction schedule to HCD-Planning indicating if demolition or ground disturbance are scheduled to commence during the typical bird nesting season (February 1 - September 15).

If ground disturbance is scheduled to commence within the typical bird nesting season, no more than 30 days prior to demolition or ground disturbance, the Owner/Applicant shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

13. PDSP001 - MITIGATION MEASURE NO 1 MONTEREY CYPRESS PROTECTION (PART 1)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: In order to ensure that Monterey cypress trees and forest habitat is protected throughout construction, the construction contractor, under the supervision of the Project Tree Consultant (a Monterey County-approved Arborist or Forester) shall ensure the following measures are implemented throughout construction.

Prior to demolition, grading, or construction activity:

- Trees and areas designated for protection located adjacent to the construction area shall be protected from damage by construction equipment using optimal tree root protection zones to include temporary fencing in combination with the wrapping of trunks with protective materials.
- Fencing shall consist of chain link, snowdrift, plastic mesh, hay bales, or field fence. The best form of protection is to use straw bales then erect fencing on top of the bales so they cannot be moved easily.
- Prior to the start of construction, all construction managers, heavy equipment operators and tree services operators/vegetation managers shall attend a pre-demolition and construction meeting to be trained in tree and vegetation protection procedures. The purpose of the meeting is to educate and answer questions as to adequate tree and vegetation protection and what or why habitat protection and restoration efforts are crucial. During this meeting, expectations are to be made clear as to what the responsibilities are by each construction entity for trees and vegetation; this includes but is not limited to areas of exclusion, spoils, etc., and to who and to what extent accountability will be placed. Training will be conducted by a certified professional such as a qualified forester or biologist, or certified arborist consisting of protection standards that are to be implemented as well as procedures common to site restoration.
- Fencing shall not be attached to the tree but shall be free-standing or self supporting so as not to damage trees. Fencing shall be rigidly supported and shall always stand at a minimum height of four feet above grade and with Critical Root Zones fenced to the greatest extent feasible to conduct the construction activities.

Throughout the construction process:

- Soil compaction, parking of vehicles or heavy equipment, stockpiling of construction materials, and/or dumping of materials are not allowed adjacent to trees on the property especially within or near fenced areas. If vehicle access is required in an area outside of the existing hardscaped area, a temporary plywood track may be used between the hardscape and destination point.
- Severe or careless grading in the root zones, compaction of soils, soil contamination, and improper deposition of excavated soils near the base of a Monterey cypress or within critical root zones during project implementation could cause the decline or death of the trees. The above actions, including cleaning of concrete, paint, or plaster, dumping of spoils, stockpiling of construction materials shall not be allowed adjacent to cypress trees on the property especially within or near fenced areas. To avoid soil contamination in critical tree root zones, the Project Tree Consultant shall identify areas on the parcel for construction clean out purposes.
- Operation of heavy equipment and parking of personnel vehicles shall be kept within the construction impact zones. Any operation of heavy equipment, staging, or parking within the edge of the temporary protective fencing established pursuant to this Mitigation Measure shall be prohibited.
- Fenced areas and trunk protection materials shall remain in place during the entire

construction period. If at any time it is discovered that exclusion fencing or tree protection is below standard or non-functional it shall be immediately re-installed and inspected by a Monterey County qualified arborist or forester for compliance.

[CONTINUED IN PART 2]

**Compliance or
Monitoring
Action to be
Performed:** [ACTIONS NEEDED FOR RESOLUTION IN PART 2]

13. PDSP001 - MITIGATION MEASURE NO 1 MONTEREY CYPRESS PROTECTION (PART 2)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: [CONTINUED FROM PART 1]

During grading and excavation:

- Any grading, excavation, trenching or digging activities near critical tree root zones shall require prior approval and observation from the Project Tree Consultant.
- Within the Monterey cypress tree critical root zones, trenching for footings, utilities, landscaping, retaining walls or other ground disturbance actions shall be implemented by hand trenching under the approval and guidance of the Project Tree Consultant. Ground disturbance actions that are expected to encounter tree roots shall be monitored by the Project Tree Consultant to ensure against cutting structural root systems and direct any minor field adjustments that may be needed. Encountered feeder roots shall be flush cut with equipment approved by the Project Tree Consultant.
- All trenching, grading or any other digging or soil removal that is expected to encounter tree roots shall be monitored by the Project Tree Consultant to ensure against drilling or cutting into or through major roots.
- The Project Tree Consultant shall be on-site during excavation activities expected to encounter tree roots to direct any minor field adjustments that may be needed.
- Trenching for footings, driveway, and retaining walls located adjacent to any tree shall be done by hand first to locate roots where practical and any roots found greater than 2-inches diameter shall be bridged or pruned appropriately.
- Any roots discovered that must be cut, shall be first exposed by manually digging a trench, then cut with a saw, vibrating knife, rock-saw, narrow trencher with sharp blades, or other approved root pruning equipment.
- Any cutting of, or impacts to root systems could compromise the structural integrity of the tree to withstand the coastal winds and also impair nutrient uptake of feeder roots. If potentially significant roots are discovered, the Project Tree Consultant shall be authorized to halt excavation, trenching or digging actions until appropriate mitigation measures are formulated and implemented.
- Any roots damaged during grading or excavation shall be exposed to sound tissue and cut cleanly with a saw.
- Tree pruning may be necessary to remove deadwood or structural defects. All proposed pruning shall be conducted under the direction of the Project Tree Consultant.

If at any time potentially significant tree roots are discovered:

- The Project Tree Consultant shall be authorized to halt excavation until appropriate mitigation measures are formulated and implemented.
- If significant roots are identified that must be removed, the Project Tree Consultant will be contacted immediately for recommended treatment approaches of the area that will not risk death, decline, or instability of the tree, such as hand digging, bridging or tunneling under roots, etc. These recommendations shall be followed.

**Compliance or
Monitoring
Action to be
Performed:**

1a: Prior to issuance of demolition, grading, or construction permits, the owner/applicant shall submit an executed contract from a Monterey County qualified arborist or forester, herein after referred to as the "Project Tree Consultant", to HCD-Planning for review for consistency with Mitigation Measure 1. The contract shall identify how training, establishment of protective fencing, monitoring, and follow up reporting required by Mitigation Measure 1 shall occur.

1b: Prior to issuance of a construction permit, the approved Project Tree Consultant shall submit evidence of the Monterey cypress protection fencing installation and implementation of avoidance measures to HCD-Planning for review and approval. Throughout all phases of demolition and construction, the contractor shall maintain, repair, and improve as necessary, the fencing and avoidance measures. Any modifications to the fencing shall be approved by the Project Tree Consultant.

1c: Prior to commencement of demolition, grading, or construction, the Project Tree Consultant shall submit evidence that the required pre-construction meeting took place to HCD-Planning for review and approval. Evidence shall consist of meeting minutes or a letter from the tree consultant and shall include a list of contractors in attendance.

1d: Prior to final of the construction permit, the Project Tree Consultant shall submit a report to HCD-Planning certifying that the Monterey cypress protective fencing and avoidance measures remained intact and functional throughout all construction phases, or if any Monterey cypress were harmed by construction and remediation is required. The owner/applicant shall be responsible for executing any remediation required to restore the health of harmed Monterey cypress trees.

14. MITIGATION MEASURE NO 2 - SEA CLIFF BUCKWHEAT AND BLUFF SCRUB PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The project applicant, or the construction contractor on their behalf, shall ensure the following measures are implemented throughout demolition, grading, and construction in order to protect Sea Cliff Buckwheat (which are habitat for federally endangered species Smith's Blue Butterfly and for sensitive species western bumblebee) and intact coastal bluff scrub sensitive habitat:

- Protective fencing shall be installed around existing Sea Cliff Buckwheat and intact sensitive coastal bluff scrub habitat areas prior to issuance of demolition, grading, or construction permits. Fencing shall remain in place throughout the construction period until final inspection.
- Prior to the start of invasive species eradication activities, a meeting shall occur between the Project Biologist (a Monterey County-approved biologist retained by the applicant) and invasive species removal contractor prior to removal of invasive species to ensure existing plants are protected and site-specific seed-grown Sea Cliff Buckwheat plantings are integrated into the restoration landscape planting plan (see Mitigation Measure 3).
- Sediment control devices shall be installed on the downhill perimeter of the building envelope and along the southerly coastal bluff edge.

Compliance or Monitoring Action to be Performed: 2a: Prior to issuance of demolition, grading, or construction permits, the owner/applicant shall submit an executed contract from a Monterey County qualified biologist, herein after referred to as the "Project Biologist", to HCD-Planning for review for consistency with Mitigation Measure 2. The contract shall identify how establishment of protective fencing, invasive species removal meeting, and follow up reporting required by Mitigation Measure 2 shall occur.

2b: Prior to issuance of a construction permit, the approved Project Biologist shall submit evidence of the installation of Sea Cliff Buckwheat habitat protection fencing to County of Monterey Housing and Community Development (HCD). Throughout all phases of demolition and construction, the contractor shall maintain, and improve as necessary, the fencing and avoidance measures.

2c: Prior to demolition or grading, the Project Biologist shall provide evidence to HCD-Planning, for review and approval, that sediment control measures were installed.

2d: Prior initiating the invasive species removal required by Mitigation Measure No. 3, the Project Biologist shall provide written evidence in the form of meeting minutes to HCD-Planning, for review and approval, detailing the meeting with the invasive species removal contractor regarding sensitive plant avoidance and the implementation of the restoration landscape planting plan.

2e: Prior to final of the construction permit, the Project Biologist shall certify to HCD-Planning that the Sea Cliff Buckwheat and coastal bluff scrub habitat protection measures remained intact and functional throughout all construction phases. If any Sea Cliff Buckwheat or coastal bluff scrub were harmed during the construction process, the Project Biologist shall include recommended remediation measures to restore and sensitive species/habitat which the owner/applicant shall be required to incorporate into the Restoration Landscape Plan required by Mitigation Measure No. 4.

15. MITIGATION MEASURE NO 3 - INVASIVE SPECIES ERADICATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: In order to ensure proper invasive species eradication and protect sensitive biological resources, a qualified invasive species removal and certified pest control applicator contractor, under the supervision of the Project Biologist (a Monterey County-approved biologist retained by the applicant), shall oversee the implementation of invasive species eradication activities, including removal as recommended by the approved restoration landscape planting plan and off-site disposal of invasive species at a designated waste facility during project construction. The Project Biologist shall ensure the invasive species removal contractor conducts the following activities:

- Invasive Karo trees (*Pittosporum crassifolium*) and the Ngaio tree (*Myoporum laetum*) that occur along the property fencing adjacent to 17-Mile Drive and near ancillary structures shall be thoroughly removed from the project area (including stumps).
- Invasive ice plant (*Delosperma cooperi* and *Drosanthemum floribundum*), statice (*Limonium sinuatum*), English ivy (*Hedera helix*), and mirror plant (*Coprosma repens*), along with naturalized aeonium succulents (*Aeonium* sp.), shall be fully eradicated prior to planting and seeding of restoration species (see Mitigation Measure 4).
- Long-term eradication protocols and five-year monitoring shall be included in the final restoration landscape planting plan (see Mitigation Measure 4).

Compliance or Monitoring Action to be Performed: 3a: Prior to issuance of a construction permit, the approved Project Biologist shall submit the restoration landscape planting plan to HCD-Planning for review and approval. Throughout all phases of demolition and construction, the Project Biologist shall confirm the invasive species eradication activities are consistent with the approved landscape planting plan.

3b: Prior to final of the construction permit, the approved Project Biologist shall certify to HCD-Planning that implementation of the invasive species eradication occurred consistent with the activities outlined in Mitigation Measure 3.

16. MITIGATION MEASURE NO 4 - RESTORATION LANDSCAPING PLANTING PLAN & MONITORING

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: To ensure long-term maintenance of sensitive habitat onsite, successful restoration shall occur. Prior to the implementation of the restoration activities, the applicant shall ensure the following measures are incorporated in an approved restoration landscape planting plan and are implemented during restoration activities:

- A restoration landscape planting plan shall be prepared consistent with Del Monte Forest Area Land Use Plan Environmentally Sensitive Habitat Area (ESHA) Policy 1. Specifically, native plant species associated with Monterey cypress forest and coastal bluff scrub habitat shall be required in landscaping materials and invasive plant species shall be removed from the project area.
- The plan shall identify the location of the two distinct habitats to restore: the coastal bluff scrub and Monterey cypress forest, as well as the transitional ecotone between them.
- The plan shall include the following details:
 1. Restoration techniques;
 2. Plant propagation/seeding methods specific to the Del Monte Forest area;
 3. Long-term maintenance activities including invasive species controls;
 4. Restoration success criteria including the following standards:
 - A. Health and vigor: Plants and trees are in good health and exhibit normal flowering and foliage color.
 - B. Exotic weed species: Exotic weed species (ice plant, species in the genus *Genista* [invasive brooms], non-native grasses, etc.) are few in numbers and generally not evident.
 - C. Erosion: Not evident.
 5. Restoration monitoring reporting program, with a minimum of five years of monitoring or until the restoration criteria are met, whichever is longer. The reporting shall be annual for the first three years and then have a final fifth year inspection. If the restoration success criteria cannot be met at the fifth year inspection, reporting would continue annually until the performance criteria can be met. During each monitoring period, the Project Biologist shall prepare a monitoring report which addressed the following:
 - A. Plant composition, density, and percent cover;
 - B. Condition of the plants, paying particular attention to plant mortality or any deficiency in the quality and quantity of the landscape;
 - C. Signs of damage to the plants from natural or human-related causes;
 - D. Status of exotic vegetation;
 - E. Status of species of special concern;
 - F. Photographic records shall be provided with the monitoring reports to provide additional documentation of progress toward meeting the success criteria; and
 - G. Whether any additional remediation or follow up is required to meet the success criteria established in the plan.
 6. Erosion control measures for sloped areas along the coastal bluff; and
 7. Implementation schedule.

• The plan shall include the appropriate species for use in each Habitat Restoration Zone, and shall use the preliminary species list provided in the biological assessment prepared for the project (Monterey County Document No. LIB220002).

**Compliance or
Monitoring
Action to be
Performed:**

4a. Prior to issuance of a demolition, grading, or construction permit, the approved Project Biologist, in conjunction with the project landscape architect, shall submit the restoration landscape planting plan to HCD-Planning for review and approval.

4b: Prior to construction permit final, the approved Project Biologist shall certify to HCD-Planning that initial planting and exotic special eradication activities required by the restoration landscaping plan were executed in accordance with the plan.

4c: After construction, annually for three years, the Project Biologist shall submit monitoring reports to HCD-Planning, for review and approval, on the status of the restoration. The owner/applicant shall be required to implement any recommended remediation or follow up measures required to meet the success criteria within the five-year monitoring period.

4d: Five years after construction, the Project Biologist shall submit a monitoring report to HCD-Planning, for review and approval, on the final success of the restoration, and whether the success criteria of the restoration landscaping plan have been met, or if additional remediation or follow up measures are required. The owner/applicant shall be required to implement any recommended remediation or follow up measures required to meet the final success criteria. If remediation or follow up is required, monitoring and reporting shall continue annually until the final success criteria are met.

17. MITIGATION MEASURE NO 5 - ON-SITE ARCHAEOLOGICAL MONITOR, CULTURAL AWARENESS TRAINING

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: To reduce potential impacts to cultural resources that may be discovered during development onsite, a qualified archaeological monitor (i.e., an archaeologist registered with the Register of Professional Archaeologists [RPA] or a Registered Archaeologist [RA] under the supervision of an RPA) shall conduct a cultural resource awareness and response training for construction personnel prior to the commencement of any grading or excavation activity, and shall be present and observe all soil disturbance for all grading and excavation activities. If at any time, potentially significant archaeological resources or intact features are discovered, the monitor shall temporarily halt work until the find can be evaluated by the archaeological monitor. If the find is determined to be significant, work shall remain halted until a plan of action has been formulated, with the concurrence of HCD-Planning, and implemented. Also, the applicant and qualified archaeological monitor shall install a physical barrier (e.g., construction fencing) along the south of the existing hardscape pathway where the slope it begins to slope downward toward the bluff. The exact location of this fence shall be determined by the project archaeologist in coordination with the construction contractor, and shall not be established within any designated environmentally sensitive habitat area.

**Compliance or
Monitoring
Action to be
Performed:**

5a: Prior to issuance of demolition, grading, or construction permits, the owner/applicant shall include a note on the construction plans encompassing the language contained in Mitigation Measure 5, including all compliance actions. The owner/applicant shall submit said plans to HCD-Planning for review and approval.

5b: Prior to issuance of demolition, grading, or construction permits, the owner/applicant shall submit to HCD-Planning a copy of the contract between the owner/applicant and a qualified archaeological monitor. The contract shall include a pre-construction meeting agenda with specific construction activities that the monitor shall be present for, any construction activities for which the archaeological monitor will not be present, how sampling of the excavated soil will occur, and any other logistical information such as when and how work on the site will be halted. The contract shall include provisions requiring the monitor be present and observe all soil disturbance for all grading and excavation, and authorizing the monitor to stop work in the event resources are found. In addition, the contract shall authorize the monitor to prepare a report suitable for compliance documentation to be prepared within four weeks of completion of the data recovery field work. The contract shall be submitted to HCD-Planning for review and approval. Should HCD-Planning find the contract incomplete or unacceptable, the contract will be returned to the owner/applicant and a revised contract shall be re-submitted for review and approval.

5c: Prior to issuance of demolition, grading, or construction permits, the owner/applicant shall submit an up to date construction schedule indicating when any grading or excavation activities are expected to occur.

5d: Prior to issuance of demolition, grading, or construction permits the owner/applicant or qualified archaeologist shall also submit evidence of installation of a physical barrier (e.g., construction fencing) along the south edge of the existing hardscape walkway. The specific location will be determined by the qualified archaeologist in consultation with the contractor and a qualified biologist. The fencing must be established after the Monterey cypress and bluff scrub fencing required by Mitigation Measures No. 1 and 2, and must be outside of those environmentally sensitive habitat areas.

5e: Prior to commencement of demolition, grading, excavation, or construction activity, the owner/applicant shall submit evidence that a qualified archaeologist conducted a cultural resource awareness and response training for construction personnel. The training shall include a description of the kinds of cultural and tribal cultural resources that are found in the area, protocols to be used in the event of an unanticipated discovery, and the importance of cultural resources to the Native American community.

5f: If archaeological resources are unexpectedly discovered during construction, work shall be halted on the parcel until the find can be evaluated and a plan of action formulated and implemented, with the concurrence of HCD-Planning. Data recovery shall be implemented during the construction and excavation monitoring. If intact archaeological features are exposed, they shall be screened for data recovery using the appropriate method for site and soil conditions. The owner/applicant shall allow the on-site Tribal Monitor (see Mitigation Measure 6 – Section VI.18) an opportunity to make recommendations for the disposition of potentially significant archaeological materials found.

5g: A final technical report containing the results of all analyses shall be completed within one year following completion of the field work. This report shall be submitted to HCD-Planning and the Northwest Regional Information Center at Sonoma State

18. MITIGATION MEASURE NO 6 - ON-SITE TRIBAL MONITOR

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: To ensure that Tribal Cultural Resources incur a less than significant impact if encountered, a Tribal Monitor approved by the appropriate tribe traditionally and culturally affiliated with the vicinity of the subject parcel and that has consulted with the County and designated one lead contact person in accordance with AB 52 requirements, or other appropriately NAHC-recognized representative, shall be on-site and observe all project-related grading and excavation to identify findings with tribal cultural significance. This Tribal Monitor shall have the authority to temporarily halt work in order to examine any potentially significant cultural materials or features. If resources are discovered, the owner/applicant/contractor shall refer to and comply with HCD-Planning Standard Condition PD003(B) as applicable. This mitigation is not intended to alleviate responsibility of the owner or its agents from contacting the County Coroner and complying with State law if human remains are discovered.

Compliance or Monitoring Action to be Performed: 6a: Prior to issuance of construction permits for grading or building, the owner/applicant shall include a note on the construction plans encompassing the language contained in Mitigation Measure 6, including all compliance actions. The owner/applicant shall submit said plans to HCD-Planning for review and approval.

6b: Prior to issuance of a construction permit for grading and/or building, the Applicant/Owner shall submit evidence to the satisfaction of the Chief of HCD-Planning that a monitor approved by the appropriate tribe traditionally and culturally affiliated with the vicinity of the subject parcel and that has consulted with the County and designated one lead contact person in accordance with AB 52 requirements, or other appropriately NAHC-recognized representative, has been retained to monitor the appropriate construction activities. This Tribal Monitor shall be retained for the duration of any project-related grading and excavation.

6c: Any artifacts found that are not associated with a finding of human remains shall be cataloged by both the Tribal Monitor and the qualified archaeological monitor. Once cataloged, the qualified archaeological monitor will take temporary possession of the artifacts for testing and reporting purposes. Upon completion of these testing and reporting activities, all artifacts, at the discretion of the property owner, shall be returned within one (1) year to a representative of the appropriate local tribe as recognized by the Native American Heritage Commission, or the Monterey County Historical Society. A final technical report containing the results of all analyses shall be completed within one year following completion of the field work. This report shall be submitted to HCD-Planning and the Northwest Regional Information Center at Sonoma State University. Artifacts associated with a finding of human remains shall be reburied in accordance with State Law and penalty for violation pursuant to PRC section 5097.994.

6d: Prior to final building inspection, the Tribal Monitor or other appropriately NAHC recognized representative shall submit a letter to HCD-Planning confirming participation in the monitoring and provide a summary of archaeological and /or cultural finds or no finds, as applicable.

19. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management

20. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD - Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning Department and the Department of Public Works for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

21. CALIFORNIA CONSTRUCTION GENERAL PERMIT

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Stormwater Pollution Prevention Plan (SWPPP) including the Waste Discharger Identification (WDID) number, to HCD-Environmental Services. In lieu of a SWPPP, a letter of exemption or erosivity waiver from the Central Coast Regional Water Quality Control Board may be provided. (HCD-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or construction permits, the applicant shall submit a SWPPP including the WDID number certifying the project is covered under the California Construction General Permit or a letter of exemption from the Central Coast Regional Water Quality Control Board.

NOTES - LOT COVERAGE:

EXISTING:	
EXISTING BUILDING COVERAGE:	20,196 sq ft
EXISTING HARDSCAPE:	18,149 sq ft
TOTAL LOT COVERAGE:	38,345 sq ft
PROPOSED:	
PROPOSED BUILDING COVERAGE:	11,586 sq ft
PROPOSED HARDSCAPE:	12,066 sq ft
TOTAL LOT COVERAGE:	23,652 sq ft

KEYNOTES - LOT COVERAGE:

-  EXISTING BUILDING COVERAGE
-  EXISTING HARDSCAPE/DEVELOPED AREA
-  PROPOSED BUILDING COVERAGE
-  PROPOSED BUILDING COVERAGE - ROOF OVERHANGS
-  PROPOSED HARDSCAPE
-  PROPOSED NATIVE SOIL PATHWAY



FEATHER PEBBLE BEACH
 3256 17 MILE DRIVE
 PEBBLE BEACH CA, 93953
 A P N : 0 0 8 - 4 6 2 - 0 0 8

ISSUED:

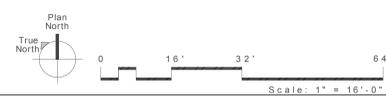
PLANNING SET	2021.12.20
REVISION 	2022.11.06

**PROPOSED HARDSCAPE
REDUCTION**

SCALE: AS NOTED FOR 30"x42" PRINTS

JOB NUMBER: 2020-14

SHEET: **A0.6**



THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF WALKER/WARNER ARCHITECTS. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS IS STRICTLY PROHIBITED.
 © WALKER/WARNER ARCHITECTS

GENERAL NOTES

- COORDINATION**
- IF THESE DRAWINGS ARE NOT 30" x 42" THEY HAVE BEEN REDUCED OR ENLARGED
 - THE STANDARD A.I.A. GENERAL CONDITIONS ARE HEREBY MADE A PART OF THESE DRAWINGS
 - ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED
 - DO NOT SCALE DRAWINGS FOR DIMENSIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS
 - DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK
- CONTRACTOR DUTIES**
- THE CONTRACTOR SHALL:
 - A. FURNISH, PAY FOR, AND FILE ALL NECESSARY PERMITS, FEES, INSPECTIONS, ETC. EXCEPT FOR PLAN CHECK, ZONING, AND SCHOOL FEES WHICH WILL BE PAID FOR BY THE OWNER
 - B. GUARANTEE ALL WORK FOR ONE YEAR AS EVIDENCED BY THE DATE OF THE FINAL CERTIFICATE OF PAYMENT
 - C. PROVIDE RELEASE OF ALL SUBCONTRACTOR AND SUPPLIER LIENS BEFORE FINAL PAYMENT IS MADE
 - D. FILE WORKMAN'S COMPENSATION
 - E. ARRANGE FOR ALL INSPECTIONS AS CALLED FOR IN SECTION 110 OF THE 2019 CBC
 - CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES
 - CONTRACTOR SHALL PROTECT EXISTING VEGETATION AND ADJACENT SITE IMPROVEMENTS FROM DAMAGE DURING THE COURSE OF THE WORK
 - CONTRACTOR SHALL BRACE STRUCTURE AS REQUIRED DURING CONSTRUCTION
 - CONTRACTOR SHALL PROVIDE STRICT CONTROL OF JOB CLEANUP TO REMOVE DUST AND DEBRIS FROM CONSTRUCTION AREA
 - ALL SPECIAL INSPECTION AGENCIES, INDIVIDUALS, AND SHOP FABRICATORS SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO ANY WORK BEING PERFORMED. CONTRACTOR SHALL SUBMIT ALL DOCUMENTATION FOR APPROVAL
 - CONTRACTOR SHALL PROVIDE PLANS OF GAS LINE SIZING TO THE BUILDING INSPECTION OFFICE PRIOR TO CALLING FOR INSPECTION
- GENERAL**
- ALL STAIRS WITH MORE THAN FOUR RISERS SHALL HAVE ONE (1) 1-1/4" - 2" DIAMETER HANDRAIL W/ 1-1/2" CLEARANCE FROM THE WALL. ALL RAILS SHALL BE BETWEEN 34" AND 38" ABOVE NOSING OF THE TREAD AND BE CONTINUOUS FROM THE TOP RISER TO THE BOTTOM RISER -- 2019 CRC SEC. R311.7.9
 - GUARDRAILS SHALL BE A MINIMUM OF 42" IN HEIGHT AND DESIGNED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH ANY OPENING -- 2019 CRC SEC. R312.1.2 & R312.1.3
 - FIREBLOCKING AND DRAFTSTOPPING SHALL BE PROVIDED IN ALL LOCATIONS IN ACCORDANCE W/ 2019 CRC SEC. R302.11 & R302.12
 - HEARTH SHALL EXTEND 20" IN FRONT AND 12" BEYOND EACH SIDE OF FIREPLACE OPENING -- 2019 CRC SEC. R1001.10
 - ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED -- 2019 CBC SEC. 2406.4
 - FOR GYPSUM BOARD USED AS THE BACKER OR BASE FOR CERAMIC TILES OR OTHER NON-ABSORBENT FINISH MATERIALS, PROVIDE FIBER-CEMENT FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM OR FIBER-REINFORCED GYPSUM BACKERS SUCH AS WONDER-BOARD, HARDI-BACKER, DENS SHIELD OR EQUIVALENT. NOTE REQUIREMENT ON PLANS. CRC SECTION R702.4.2.

DIRECTORY

OWNER: FEATHER CYPRESS LLC
215 WEST FRANKLIN, 5TH FLOOR
MONTEREY, CA 93940
TEL: 831-649-8100

ARCHITECT: WALKER WARNER ARCHITECTS
353 FOLSOM STREET
SAN FRANCISCO, CA 94105
TEL: 415-318-8900
EMAIL: G.WARNER@WALKERWARNER.COM

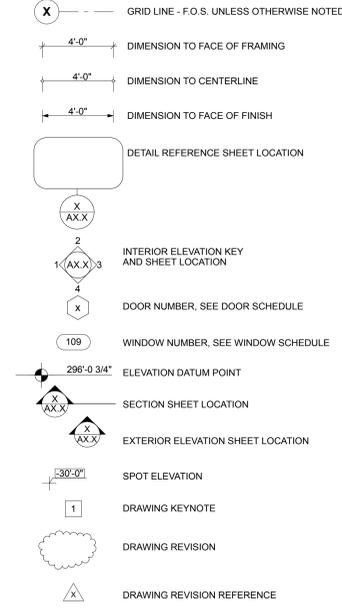
GENERAL CONTRACTOR: STOCKER & ALLAIRE INC
21 MANDEVILLE COURT
MONTEREY, CA 93940
TEL: 831-375-1890
EMAIL: DSTOCKER@STOCKERALLAIRE.COM

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
1511 15th STREET
SAN FRANCISCO, CA 94103
TEL: 415-778-8726
EMAIL: JOYCE@STRANDBERGENG.COM

LANDSCAPE ARCHITECT: JONI L. JANECKI AND ASSOCIATES, INC.
515 SWIFT STREET
SANTA CRUZ, CA 95060
TEL: 831-423-6040
EMAIL: JLJ@JLJA.COM

CIVIL ENGINEER: SHERWOOD DESIGN ENGINEERS
DREW NORTON & CHRISTINA NICHOLSON
625 2ND STREET SUITE 202, PETALUMA, CA
TEL: 415-677-7300
EMAIL: CNICHOLSON@SHERWOODENGINEERS.COM

SYMBOLS



PROJECT DATA

LOCATION: 3256 17 MILE DRIVE
PEBBLE BEACH, CA

APN: 008-462-008

ZONING: LDR/ 2-(D)CZ

LOT SIZE: 2.8 ACRES (121,968 sq. ft.)

BLDG USE: SINGLE FAMILY RESIDENTIAL

OCC. GROUP: R-3

CONST. TYPE: TYPE V

CLIMATE ZONE: 3

BLDG. CODE: BLDG. ENERGY EFFICIENCY STANDARDS - TITLE 24 CALIFORNIA RESIDENTIAL CODE 2019 (CRC) CALIFORNIA BUILDING CODE 2019 (CBC) CALIFORNIA MECHANICAL CODE 2019 (CMC) CALIFORNIA PLUMBING CODE 2019 (CPC) CALIFORNIA ELECTRICAL CODE 2019 (CEC) CALIFORNIA ENERGY CODE 2019 (CEC) 2000 NFPA 101 LIFE & SAFETY CODE ALL OTHER APPLICABLE STATE & LOCAL RULES AND REGULATIONS

PROJECT SCOPE: REPLACE THE EXISTING TRI-LEVEL MAIN RESIDENCE, ATTACHED 2-CAR GARAGE, AND DETACHED GYMNASIUM WITH A NEW MAIN RESIDENCE, ATTACHED LOWER LEVEL 2-CAR GARAGE, A BASEMENT STORAGE AREA (FULLY BELOW GRADE), A NEW POOL HOUSE WITH POOL AND SPA, ALL WITHIN THE DEVELOPED FOOTPRINT OF THE EXISTING APPROVED STRUCTURES AND HARDSCAPE.

WATER SUPPLY: CAL-AM

SEWER PROVIDER: PEBBLE BEACH COMMUNITY SERVICES DISTRICT

SETBACKS

	ALLOWED	APPROVED / PROPOSED
FRONT YARD SETBACK	30'-0"	32'-0"
SIDE YARD SETBACK	6'-0"	158'-0"
REAR YARD SETBACK	6'-0"	94'-0"

	ALLOWED	APPROVED / PROPOSED
FRONT YARD SETBACK	50'-0"	50'-0"
SIDE YARD SETBACK	6'-0"	36'-0"
REAR YARD SETBACK	6'-0"	79'-0"

BUILDING HEIGHT

	LOW POINT:	HIGH POINT:
EXISTING MAIN HOUSE	+61'-0"	+73'-0"
AVERAGE NATURAL GRADE:	+67'-0"	
EXISTING BUILDING HEIGHT:	+103.1 (36.1')	

	LOW POINT:	HIGH POINT:
PROPOSED MAIN HOUSE	+68'-0"	+73'-0"
AVERAGE NATURAL GRADE:	+70'-6"	
PROPOSED BUILDING HEIGHT:	+90'-0" (19'-6")	

EXISTING GYM

	LOW POINT:	HIGH POINT:
EXISTING GYM	+60'-0"	+63'-6"
AVERAGE NATURAL GRADE:	+61'-9"	
EXISTING BUILDING HEIGHT:	+78'-2" (16'-5")	

	LOW POINT:	HIGH POINT:
PROPOSED POOL HOUSE	+61'-0"	+63'-6"
AVERAGE NATURAL GRADE:	+62'-3"	
PROPOSED BUILDING HEIGHT:	+77'-3" (15'-0")	

LOT COVERAGE

EXISTING:	
EXISTING BUILDING COVERAGE:	20,196 sq ft
EXISTING HARDSCAPE:	18,149 sq ft
TOTAL LOT COVERAGE:	38,345 sq ft

PROPOSED:	
PROPOSED BUILDING COVERAGE:	11,586 sq ft
PROPOSED HARDSCAPE:	12,066 sq ft
TOTAL LOT COVERAGE:	23,652 sq ft

(E) FLOOR AREA & BUILDING COVERAGE

FLOOR AREA:	
(E) MAIN HOUSE:	17,992 sq ft
GROUND FLOOR:	11,965 sq ft
2ND FLOOR:	5,440 sq ft
LOWER LEVEL:	987 sq ft
(E) GYM:	3,797 sq ft
CARETAKER (NO CHANGE):	1,551 sq ft
(E) SHEDS:	433 sq ft
(E) ENCLOSED WALKWAY:	972 sq ft
TOTAL FLOOR AREA:	24,745 sq ft

BASEMENT FLOOR AREA:	
(E) MAIN HOUSE:	254 sq ft

BUILDING COVERAGE:	
(E) MAIN HOUSE:	11,965 sq ft
(E) GYM:	3,797 sq ft
CARETAKER (NO CHANGE):	1,551 sq ft
(E) SHEDS:	433 sq ft
(E) ENCLOSED WALKWAY:	972 sq ft
(E) DECKS & TERRACES >24" HIGH:	1,478 sq ft
TOTAL BUILDING COVERAGE:	20,196 sq ft

(N) FLOOR AREA & BUILDING COVERAGE

FLOOR AREA:	
(N) MAIN HOUSE:	7,767 sq ft
GROUND FLOOR:	5,948 sq ft
2ND FLOOR:	0 sq ft
LOWER LEVEL:	1,858 sq ft
(N) POOL HOUSE:	712 sq ft
CARETAKER (NO CHANGE):	1,551 sq ft
TOTAL FLOOR AREA:	9,969 sq ft

BASEMENT FLOOR AREA:	
(N) MAIN HOUSE:	882 sq ft

BUILDING COVERAGE:	
(N) MAIN HOUSE:	8,181 sq ft
(N) POOL HOUSE:	1,670 sq ft
CARETAKER (NO CHANGE):	1,551 sq ft
DECKS & TERRACES >24" HIGH:	184 sq ft
TOTAL BUILDING COVERAGE:	11,586 sq ft

DRAWING INDEX

ARCHITECTURAL	NOT USED EXISTING FLOOR AREA & BUILDING COVERAGE
A0.0	COVER SHEET
A0.1	COLOR & MATERIAL PALETTE
A0.2	PROJECT RENDERING IN LIEU OF STAKING & FLAGGING
A0.3	PROJECT RENDERING IN LIEU OF STAKING & FLAGGING
A0.4	PROJECT RENDERING IN LIEU OF STAKING & FLAGGING
A0.5	SITE SURVEY
A0.6	PROPOSED HARDSCAPE REDUCTION
A0.7	PROPOSED FLOOR AREA & BUILDING COVERAGE
A9.3	ENLARGED FLOOR PLANS & DETAILS
A9.4	ENLARGED STONE SLAB PLANS
AA2.0	MAIN HOUSE - BASEMENT / GROUND FLOOR PLAN
AA2.1	MAIN HOUSE - ROOF PLAN
AA3.1	MAIN HOUSE - ELEVATIONS
AA4.1	MAIN HOUSE - SECTIONS

CIVIL	OVERALL SITE PLAN & COVER SHEET
C0.0	CONCEPTUAL GRADING & DRAINAGE
C1.0	SITE SECTIONS
C2.0	EROSION CONTROL PLAN
C2.1	EROSION CONTROL PLAN DETAILS & NOTES
C3.0	EXISTING SLOPE STUDY

LANDSCAPE	CONCEPT LANDSCAPE PLAN
L1.0	FENCE RENDERINGS
L1.1	FENCE ANALYSIS
L1.2	IRRIGATION PLAN
L2.0	IRRIGATION NOTES AND LEGEND
L2.1	IRRIGATION DETAILS
L2.2	IRRIGATION DETAILS
L2.3	IRRIGATION DETAILS AND WATER CALCULATION
L2.4	IRRIGATION DETAILS
L2.5	IRRIGATION DETAILS AND WATER CALCULATION
L3.0	PLANTING PLAN
L3.1	PLANTING SCHEDULES
L4.0	FUEL MANAGEMENT PLAN
L4.1	IRRIGATION DETAILS NOTES

CONSTRUCTION MANAGEMENT	CONSTRUCTION MANAGEMENT PLAN
CMP	CONSTRUCTION MANAGEMENT PLAN

VICINITY MAP



RENDERING



THESE DRAWINGS ARE THE ORIGINAL WORK OF WALKER WARNER ARCHITECTS. ANY REPRODUCTION OR USE OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

WALKER WARNER ARCHITECTS
353 Folsom Street
San Francisco, California 94105
415.318.8900
www.walkerwarner.com

APN : 008-462-008
FEATHER PEBBLE BEACH
3256 17 MILE DRIVE,
PEBBLE BEACH CA, 93953

ISSUED:	
PLANNING SET	2021.12.20
REVISION	2022.01.28
REVISION	2022.02.17
REVISION	2022.08.05

COVER SHEET

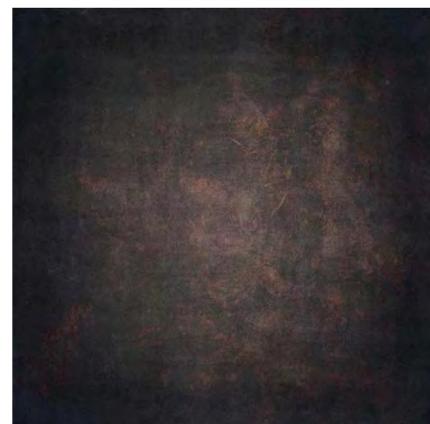
SCALE : AS NOTED FOR 30"x42" PRINTS

JOB NUMBER : 2020-14

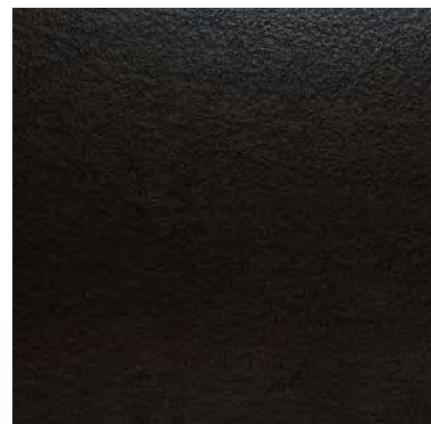
SHEET : **A0.0**



LIMESTONE CLADDING



COPPER ROOFING / TRIM / CHIMNEY CAP



BRONZE FRAMED WINDOWS / DOORS



OPERABLE BRONZE SCREEN



CYPRESS SOFFIT

A P N : 0 0 8 - 4 6 2 - 0 0 8

FEATHER PEBBLE BEACH

3256 17 MILE DRIVE,
PEBBLE BEACH CA, 93953

ISSUED:
PLANNING SET 2021.12.20

**COLOR & MATERIAL
PALETTE**

SCALE : AS NOTED FOR 30"x42" PRINTS

JOB NUMBER : 2020-14

SHEET : **A0.1**



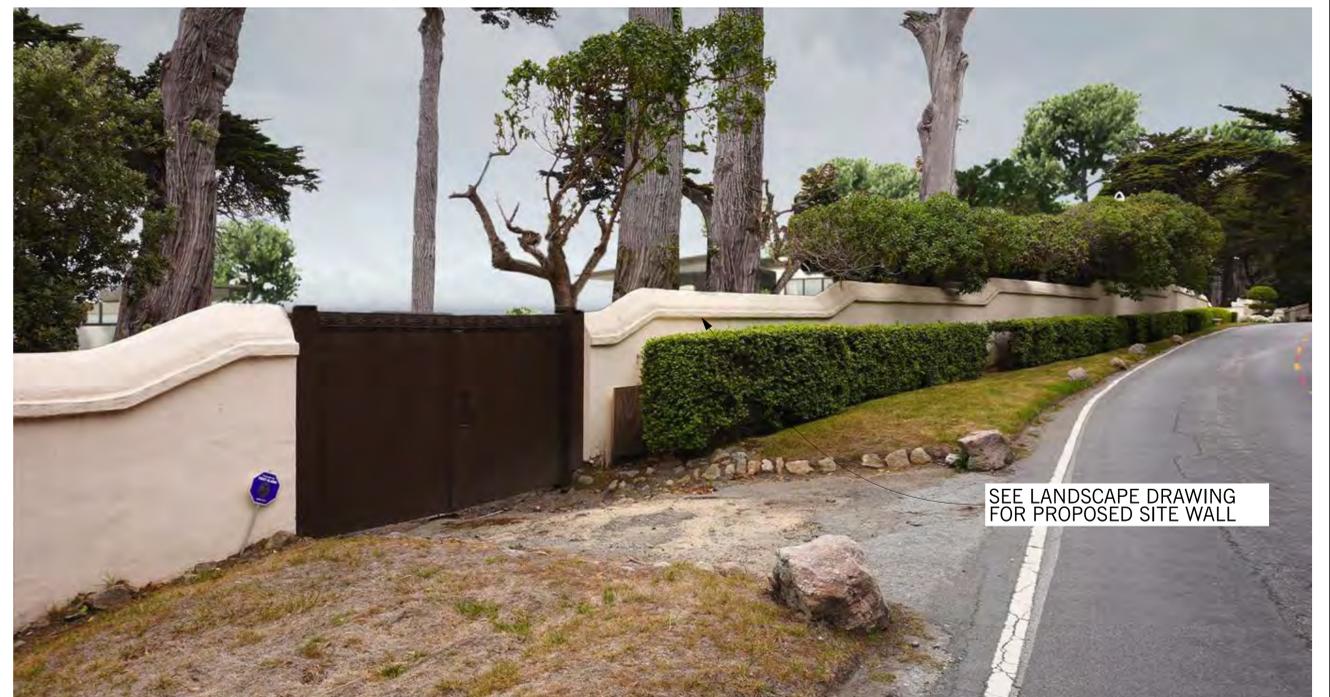
MAIN ENTRY - EXISTING



MAIN ENTRY - PROPOSED



SECONDARY ENTRY - EXISTING



SECONDARY ENTRY - PROPOSED

FEATHER PEBBLE BEACH

A P N : 0 0 8 - 4 6 2 - 0 0 8

3256 17 MILE DRIVE,
PEBBLE BEACH CA, 93953

ISSUED:
PLANNING SET 2021.12.20

PROJECT RENDERING IN
LIEU OF STAKING &
FLAGGING

SCALE : AS NOTED FOR 30"x42" PRINTS

JOB NUMBER : 2020-14

SHEET : **A0.2**

THESE DRAWINGS ARE THE ORIGINAL WORK OF WALKER WARNER ARCHITECTS AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



MAIN HOUSE SOUTH - EXISTING



MAIN HOUSE SOUTH - PROPOSED



MAIN HOUSE SOUTHWEST - EXISTING



MAIN HOUSE SOUTHWEST - PROPOSED

*ICEPLANT TO BE REPLACED WITH DROUGHT-TOLERANT NATIVE PLANTINGS

A P N : 0 0 8 - 4 6 2 - 0 0 8

FEATHER PEBBLE BEACH

3256 17 MILE DRIVE,
PEBBLE BEACH CA, 93953

ISSUED:
PLANNING SET 2021.12.20

PROJECT RENDERING IN
LIEU OF STAKING &
FLAGGING - MAIN HOUSE

SCALE : AS NOTED FOR 30"x42" PRINTS

JOB NUMBER : 2020-14

SHEET : **A0.3**

THESE DRAWINGS ARE THE ORIGINAL UNREVISED WORK OF WALKER WARNER ARCHITECTS AND HAVE NOT BEEN REVISED OR OTHERWISE MODIFIED SINCE THEIR ORIGINAL ISSUANCE. ANY CHANGES TO THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

WALKER WARNER ARCHITECTS



POOL HOUSE SOUTH - EXISTING



POOL HOUSE SOUTH - PROPOSED



POOL HOUSE WEST - EXISTING



POOL HOUSE WEST - PROPOSED

*ICEPLANT TO BE REPLACED WITH DROUGHT-TOLERANT NATIVE PLANTINGS

A P N : 0 0 8 - 4 6 2 - 0 0 8

FEATHER PEBBLE BEACH

3256 17 MILE DRIVE,
PEBBLE BEACH CA, 93953

ISSUED:
PLANNING SET 2021.12.20

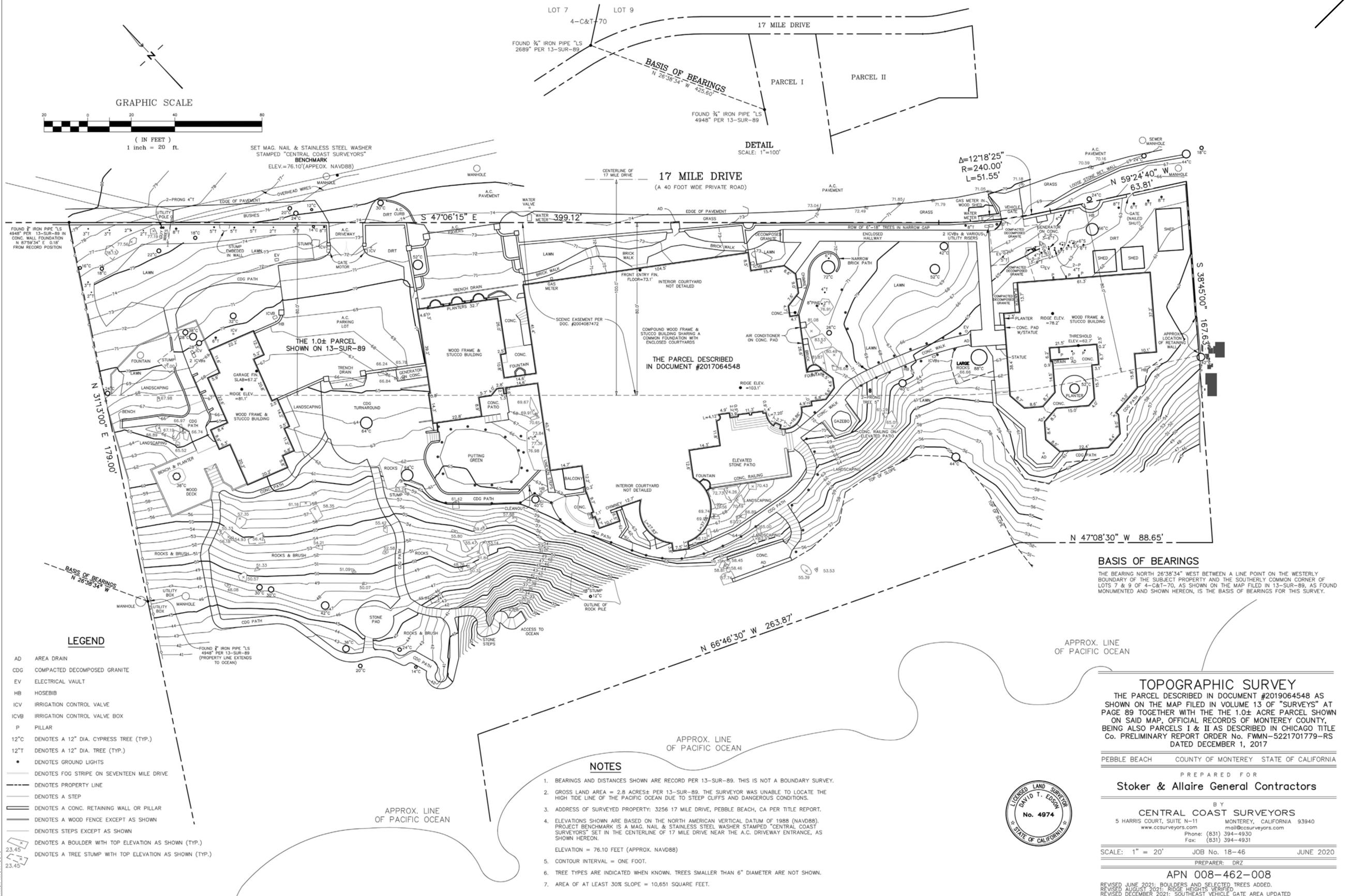
PROJECT RENDERING IN
LIEU OF STAKING &
FLAGGING - POOL HOUSE

SCALE : AS NOTED FOR 30"x42" PRINTS

JOB NUMBER : 2020-14

SHEET : **A0.4**

THESE DRAWINGS ARE THE ORIGINAL PROPERTY OF WALKER WARNER ARCHITECTS AND MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
© WALKER WARNER ARCHITECTS



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

DETAIL
SCALE: 1"=100'

SET MAG. NAIL & STAINLESS STEEL WASHER
STAMPED "CENTRAL COAST SURVEYORS"
BENCHMARK
ELEV.=76.10'(APPDXX NAVD88)

17 MILE DRIVE
(A 40 FOOT WIDE PRIVATE ROAD)

$\Delta=12'18'25"$
 $R=240.00'$
 $L=51.55'$

THE 1.0± PARCEL
SHOWN ON 13-SUR-89

THE PARCEL DESCRIBED
IN DOCUMENT #2017064548

LEGEND

- AD AREA DRAIN
- CDG COMPACTED DECOMPOSED GRANITE
- EV ELECTRICAL VAULT
- HB HOSEBIB
- ICV IRRIGATION CONTROL VALVE
- ICVB IRRIGATION CONTROL VALVE BOX
- P PILLAR
- 12°C DENOTES A 12" DIA. CYPRESS TREE (TYP.)
- 12°T DENOTES A 12" DIA. TREE (TYP.)
- DENOTES GROUND LIGHTS
- DENOTES FOG STRIPE ON SEVENTEEN MILE DRIVE
- DENOTES PROPERTY LINE
- DENOTES A STEP
- DENOTES A CONC. RETAINING WALL OR PILLAR
- DENOTES A WOOD FENCE EXCEPT AS SHOWN
- DENOTES STEPS EXCEPT AS SHOWN
- DENOTES A BOULDER WITH TOP ELEVATION AS SHOWN (TYP.)
- DENOTES A TREE STUMP WITH TOP ELEVATION AS SHOWN (TYP.)

NOTES

1. BEARINGS AND DISTANCES SHOWN ARE RECORD PER 13-SUR-89. THIS IS NOT A BOUNDARY SURVEY.
2. GROSS LAND AREA = 2.8 ACRES± PER 13-SUR-89. THE SURVEYOR WAS UNABLE TO LOCATE THE HIGH TIDE LINE OF THE PACIFIC OCEAN DUE TO STEEP CLIFFS AND DANGEROUS CONDITIONS.
3. ADDRESS OF SURVEYED PROPERTY: 3256 17 MILE DRIVE, PEBBLE BEACH, CA PER TITLE REPORT.
4. ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). PROJECT BENCHMARK IS A MAG. NAIL & STAINLESS STEEL WASHER STAMPED "CENTRAL COAST SURVEYORS" SET IN THE CENTERLINE OF 17 MILE DRIVE NEAR THE A.C. DRIVEWAY ENTRANCE, AS SHOWN HEREON.
- ELEVATION = 76.10 FEET (APPROX. NAVD88)
5. CONTOUR INTERVAL = ONE FOOT.
6. TREE TYPES ARE INDICATED WHEN KNOWN. TREES SMALLER THAN 6" DIAMETER ARE NOT SHOWN.
7. AREA OF AT LEAST 30% SLOPE = 10,651 SQUARE FEET.

BASIS OF BEARINGS

THE BEARING NORTH 26°38'34" WEST BETWEEN A LINE POINT ON THE WESTERLY BOUNDARY OF THE SUBJECT PROPERTY AND THE SOUTHERLY COMMON CORNER OF LOTS 7 & 9 OF 4-C&T-70, AS SHOWN ON THE MAP FILED IN 13-SUR-89, AS FOUND MONUMENTED AND SHOWN HEREON, IS THE BASIS OF BEARINGS FOR THIS SURVEY.

TOPOGRAPHIC SURVEY

THE PARCEL DESCRIBED IN DOCUMENT #2019064548 AS SHOWN ON THE MAP FILED IN VOLUME 13 OF "SURVEYS" AT PAGE 89 TOGETHER WITH THE THE 1.0± ACRE PARCEL SHOWN ON SAID MAP, OFFICIAL RECORDS OF MONTEREY COUNTY, BEING ALSO PARCELS I & II AS DESCRIBED IN CHICAGO TITLE Co. PRELIMINARY REPORT ORDER No. FWMN-5221701779-RS DATED DECEMBER 1, 2017

PEBBLE BEACH COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR
Stoker & Allaire General Contractors

BY
CENTRAL COAST SURVEYORS
5 HARRIS COURT, SUITE N-11 MONTEREY, CALIFORNIA 93940
www.ccsurveyors.com mail@ccsurveyors.com
Phone: (831) 394-4930
Fax: (831) 394-4931

SCALE: 1" = 20' JOB No. 18-46 JUNE 2020
PREPARED BY: DRZ

APN 008-462-008

REVISED JUNE 2021: BOULDERS AND SELECTED TREES ADDED.
REVISED AUGUST 2021: RIDGE HEIGHTS VERIFIED
REVISED DECEMBER 2021: SOUTHEAST VEHICLE GATE AREA UPDATED



ISSUED:
PLANNING SET 2021.12.20

SITE SURVEY

SCALE: AS NOTED FOR 30"x42" PRINTS

JOB NUMBER: 2020-14

SHEET: **A0.5**

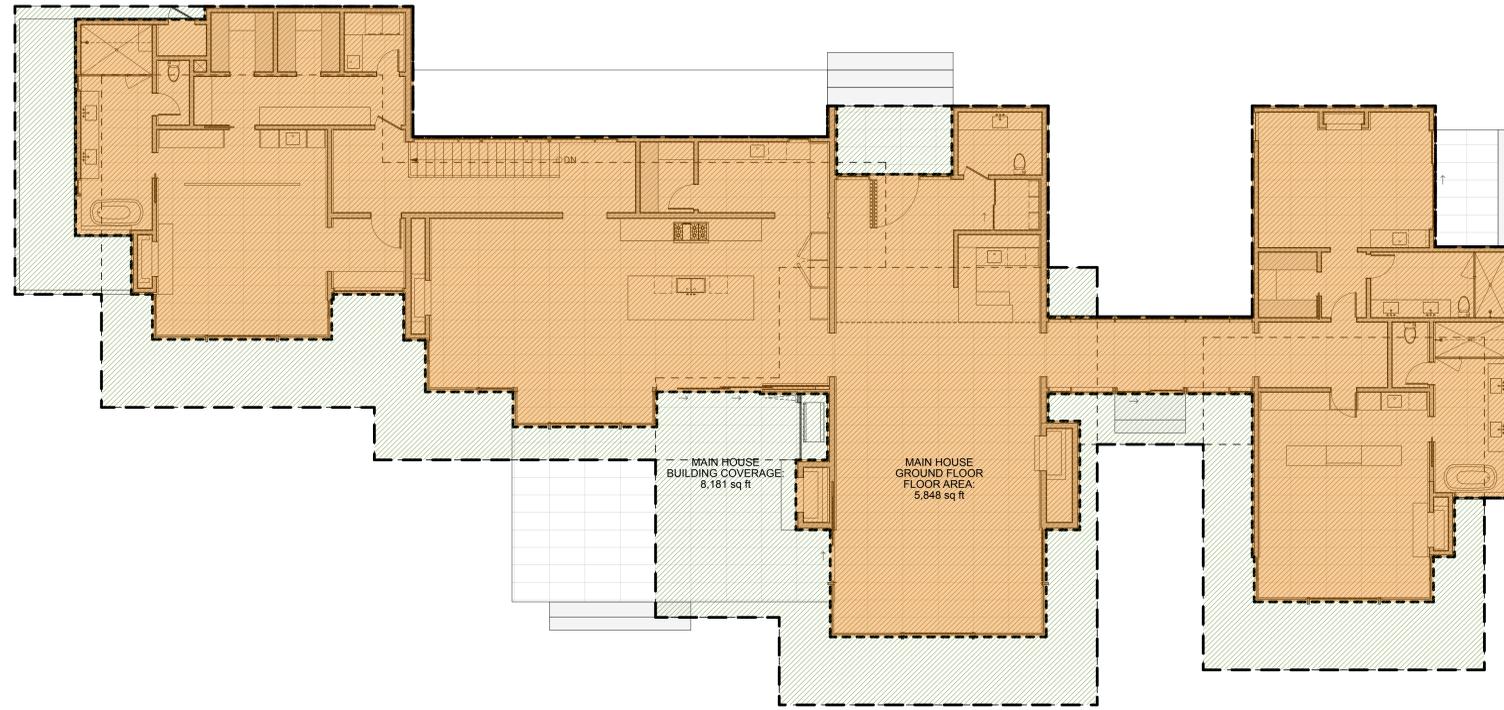
THESE DRAWINGS ARE THE ORIGINAL SURVEYING WORK OF CENTRAL COAST SURVEYORS AND MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

NOTES - PROPOSED FLOOR AREA & BUILDING COVERAGE:

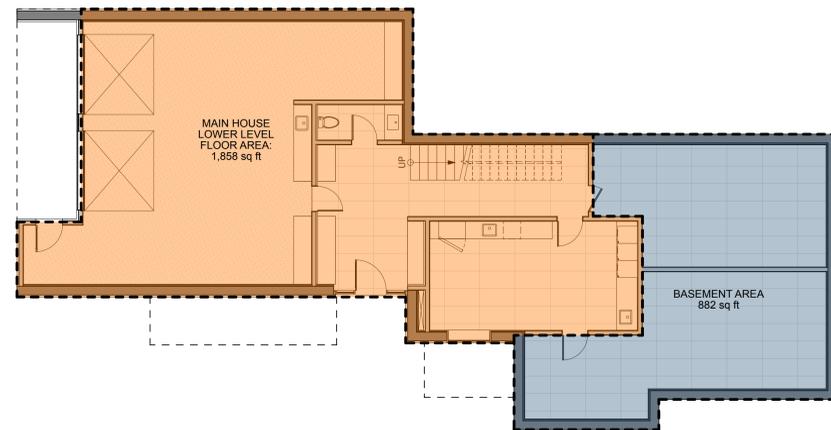
FLOOR AREA:	
(N) MAIN HOUSE:	7,797 sq ft
GROUND FLOOR:	5,848 sq ft
2ND FLOOR:	0 sq ft
LOWER LEVEL:	1,898 sq ft
(N) POOL HOUSE:	712 sq ft
CARETAKER (NO CHANGE):	1,551 sq ft
TOTAL FLOOR AREA:	9,969 sq ft
BASEMENT FLOOR AREA:	
(N) MAIN HOUSE:	882 sq ft
BUILDING COVERAGE:	
(N) MAIN HOUSE:	8,181 sq ft
(N) POOL HOUSE:	1,670 sq ft
CARETAKER (NO CHANGE):	1,551 sq ft
DECKS & TERRACES >24" HIGH:	184 sq ft
TOTAL BUILDING COVERAGE:	11,586 sq ft

KEYNOTES - FLOOR AREA & BUILDING COVERAGE:

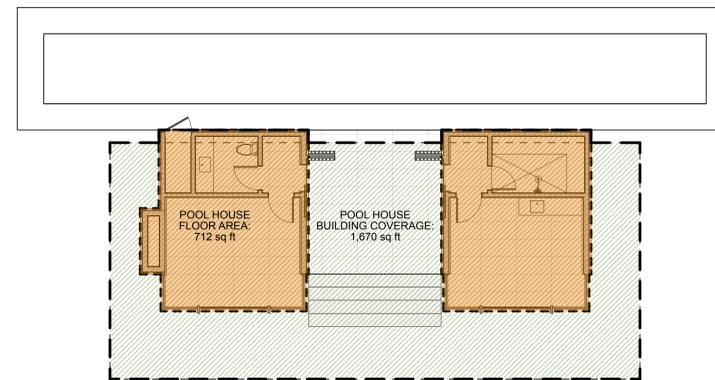
-  FLOOR AREA
-  BUILDING COVERAGE
-  BASEMENT FLOOR AREA



MAIN HOUSE - GROUND FLOOR



MAIN HOUSE - LOWER LEVEL & BASEMENT



POOL HOUSE

A P N : 0 0 8 - 4 6 2 - 0 0 8

FEATHER PEBBLE BEACH

3256 17 MILE DRIVE,
PEBBLE BEACH CA, 93953

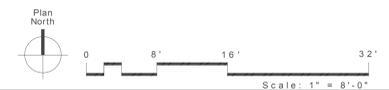
ISSUED:	
PLANNING SET	2021.12.20
REVISION 	2022.01.28

PROPOSED FLOOR AREA & BUILDING COVERAGE

SCALE: AS NOTED FOR 30"x42" PRINTS

JOB NUMBER: 2020-14

SHEET: **A0.7**



NOTES - SITE PLAN:

1. EXISTING CONTOURS ARE SHOWN. S.C.D. FOR PROPOSED FINISH GRADING
2. S.C.D. FOR DRAINAGE INFORMATION
3. S.C.D. FOR SEPTIC INFORMATION
4. NOT USED

LEGEND - SITE PLAN:

- PROPERTY LINE
- SETBACK LINE
- PROPOSED STRUCTURES
- ▨ EXISTING STRUCTURES TO REMAIN (CARETAKER)
- ▨ PROPOSED HARDSCAPE
- PROPOSED NATIVE SOIL PATHWAY
- ROOF OVERHANG
- EXISTING STRUCTURE TO BE REMOVED
- EXISTING HARDSCAPE TO BE REMOVED
- (E) TREE TO REMAIN
- (N) TREE



FEATHER PEBBLE BEACH

A P N : 0 0 8 - 4 6 2 - 0 0 8

3256 17 MILE DRIVE,
PEBBLE BEACH CA, 93953

ISSUED:

PLANNING SET	2021.12.20
REVISION	2022.01.28
REVISION	2022.08.05

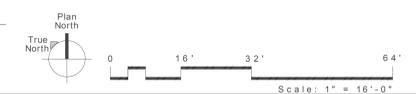
SITE PLAN

SCALE: AS NOTED FOR 30"x42" PRINTS

JOB NUMBER: 2020-14

SHEET: **A1.0**

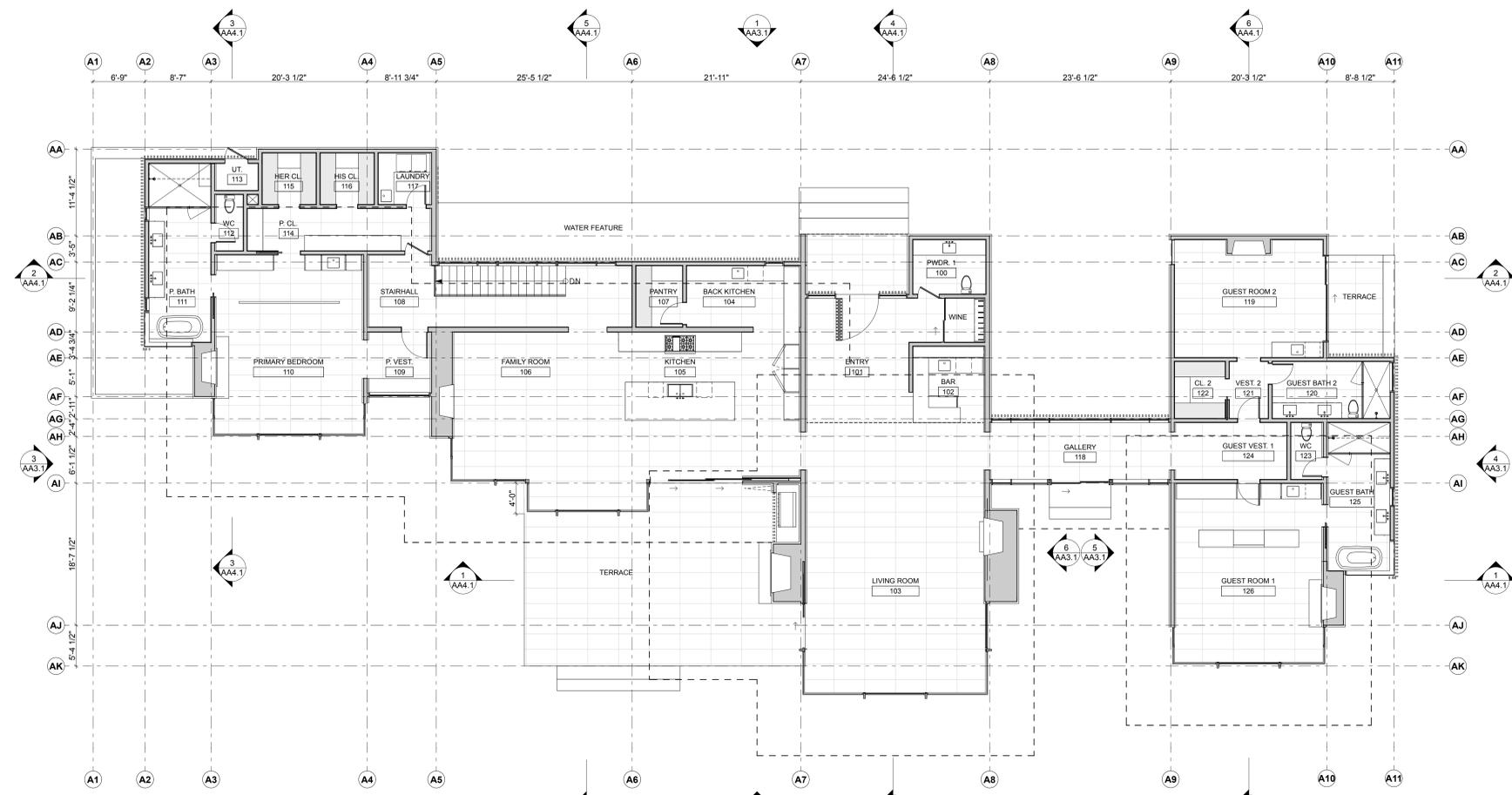
1
A1.0
SITE PLAN
SCALE: 1/16" = 1'-0"



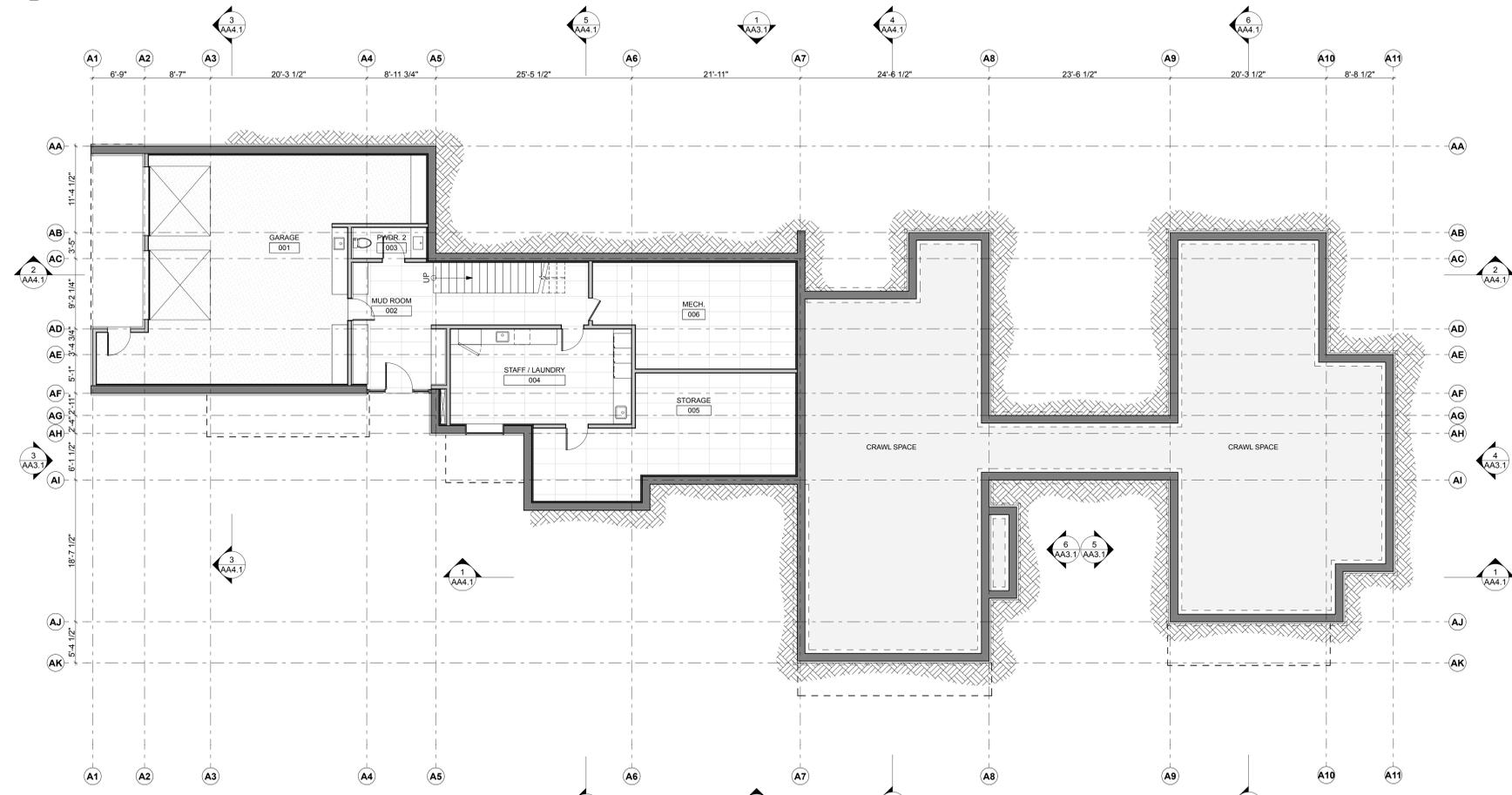
THESE DRAWINGS ARE THE ORIGINAL WORK OF WALKER WARNER ARCHITECTS. ANY REVISIONS, CHANGES, OR MODIFICATIONS TO THESE DRAWINGS MUST BE MADE BY WALKER WARNER ARCHITECTS. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. © WALKER WARNER ARCHITECTS

GENERAL NOTES - LAYOUT PLAN:

- ALL GRIDLINES ARE TO FACE OF STUD, U.O.N.
- ALL DIMENSIONS TO FACE OF STUD, U.O.N. SEE DIMENSION SYMBOLS ON COVER SHEET
- SEE SITE PLANS FOR ADDITIONAL HARDSCAPE INFORMATION
- NOT USED



1
AA2.0 MAIN HOUSE - FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



2
AA2.0 MAIN HOUSE - BASEMENT / FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

FEATHER PEBBLE BEACH
3256 17 MILE DRIVE,
PEBBLE BEACH CA, 93953

A P N : 0 0 8 - 4 6 2 - 0 0 8

ISSUED:
PLANNING SET 2021.12.20

MAIN HOUSE - BASEMENT /
GROUND FLOOR PLAN

SCALE: AS NOTED FOR 30"x42" PRINTS

JOB NUMBER : 2020-14

SHEET: **AA2.0**

THESE DRAWINGS ARE THE ORIGINAL WORK OF WALKER WARNER ARCHITECTS AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



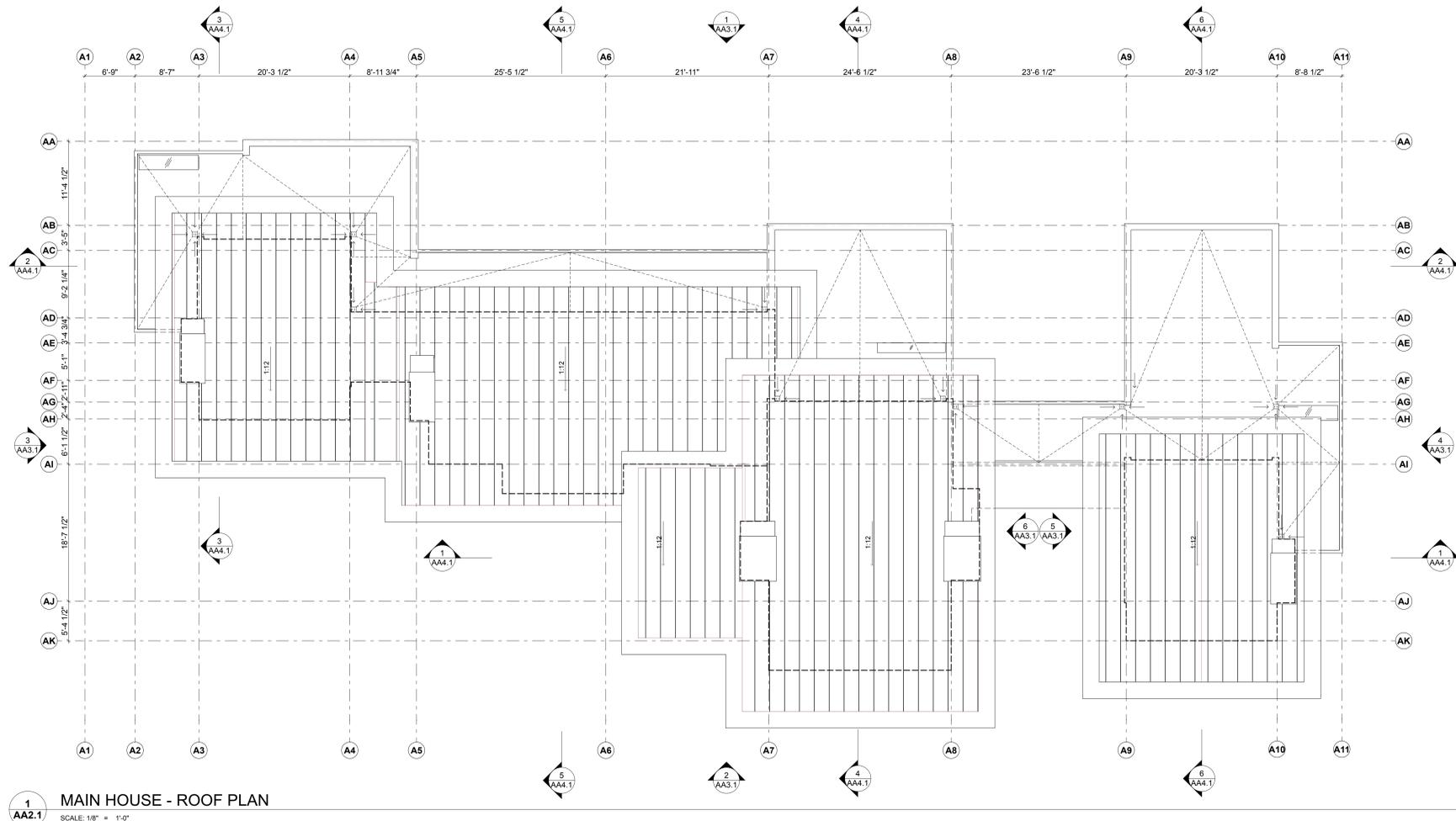
GENERAL NOTES - LAYOUT PLAN:

- ALL GRIDLINES ARE TO FACE OF STUD, U.O.N.
- ALL DIMENSIONS TO FACE OF STUD, U.O.N. SEE DIMENSION SYMBOLS ON COVER SHEET
- SEE SITE PLANS FOR ADDITIONAL HARDSCAPE INFORMATION
- NOT USED

**WALKER
WARNER
ARCHITECTS**

353 Folsom Street
San Francisco, California 94105
415.318.8900
www.walkerwarner.com

A P N : 0 0 8 - 4 6 2 - 0 0 8
FEATHER PEBBLE BEACH
 3256 17 MILE DRIVE,
 PEBBLE BEACH CA, 93953



1
AA2.1 MAIN HOUSE - ROOF PLAN
SCALE: 1/8" = 1'-0"

ISSUED:
PLANNING SET 2021.12.20

MAIN HOUSE - ROOF PLAN

SCALE: AS NOTED FOR 30"x42" PRINTS
JOB NUMBER: 2020-14

SHEET: **AA2.1**



THESE DRAWINGS ARE THE ORIGINAL WORK OF WALKER WARNER ARCHITECTS. ANY REPRODUCTION OR USE OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

NOTES - ELEVATIONS:

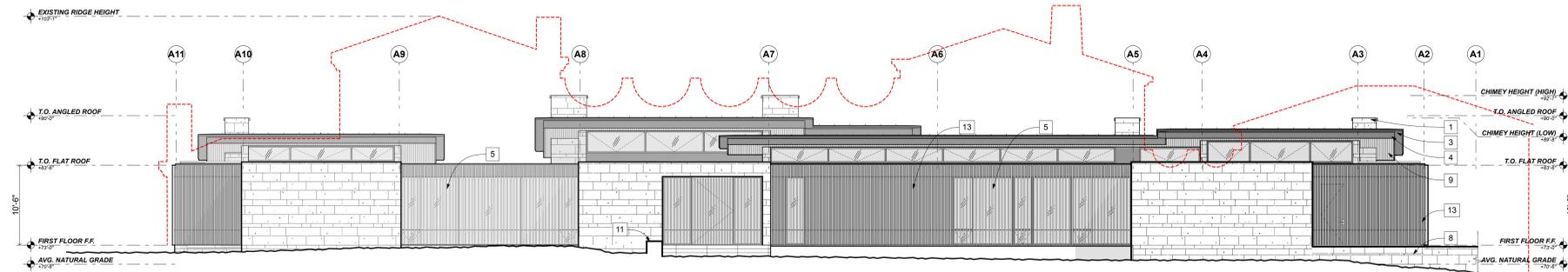
- 1. EXISTING CONTOURS ARE SHOWN. S.C.D. FOR PROPOSED FINISH GRADING
- S.C.D. FOR DRAINAGE INFORMATION
- NOT USED

LEGEND - ELEVATIONS

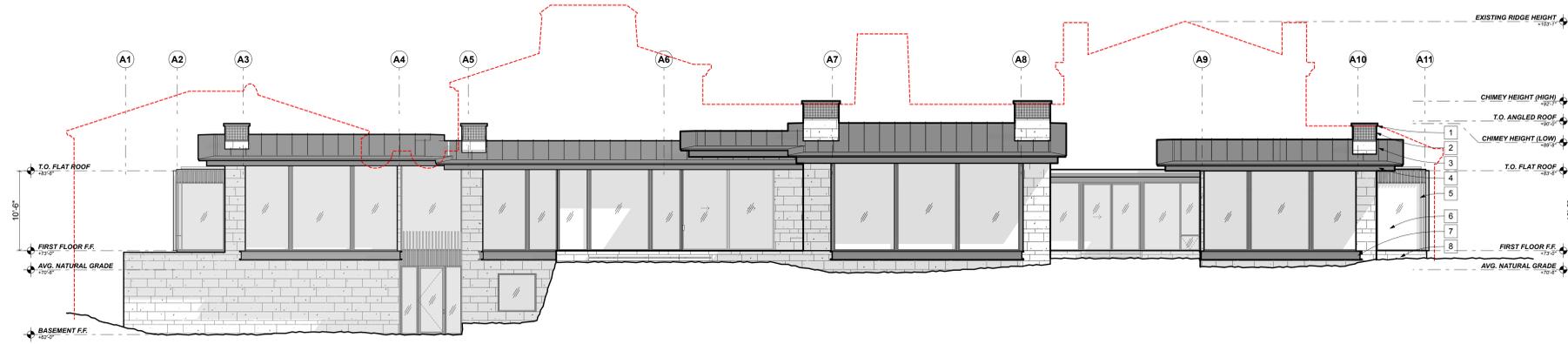
- - - - - OUTLINE OF EXISTING STRUCTURE

KEYNOTES - ELEVATION:

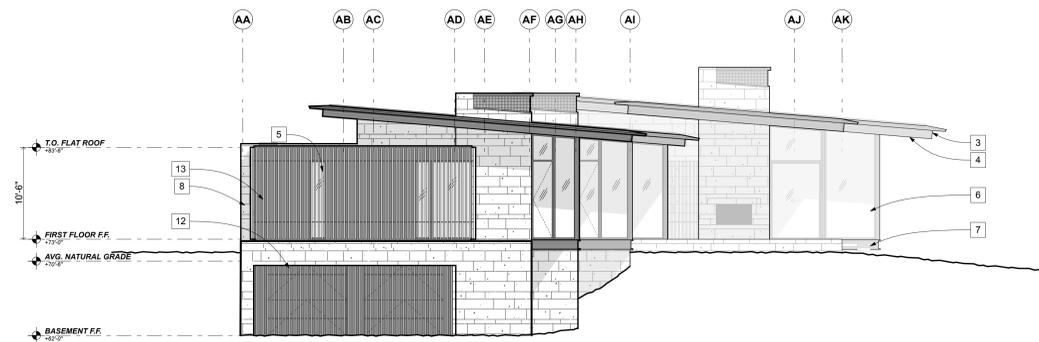
- 1 MTL. CHIMNEY CAP
- 2 MTL. MESH SPARK ARRESTOR
- 3 STANDING SEAM MTL. ROOFING
- 4 MTL. TRIM
- 5 DETACHABLE MTL. SCREEN OI GLAZING
- 6 MTL. DOOR / WINDOW
- 7 MTL. SILL
- 8 STONE CLADDED WALL
- 9 WD. SOFFIT
- 10 SOLID EXT. DOOR
- 11 STONE LANDSCAPE WALL
- 12 DETACHABLE MTL. SCREEN OI OVERHEAD SECTIONAL GARAGE DOOR
- 13 DETACHABLE MTL. SCREEN OI BRAKE MTL. CLADDING



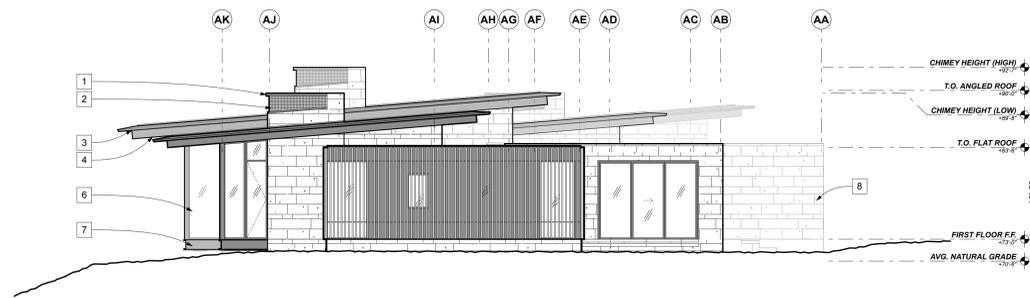
1 NORTH ELEVATION
AA3.1 SCALE: 1/8" = 1'-0"



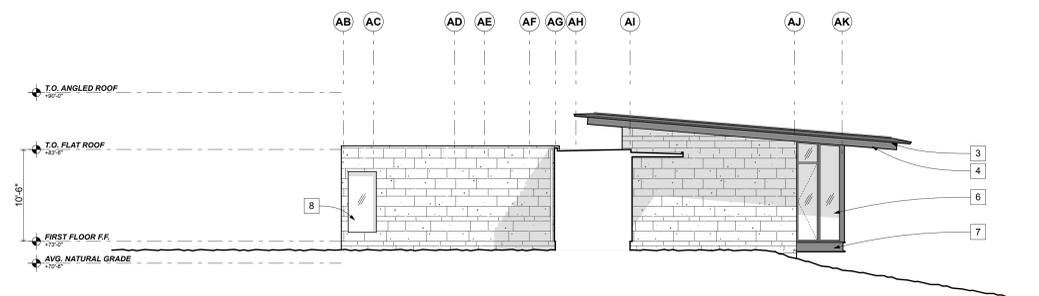
2 SOUTH ELEVATION
AA3.1 SCALE: 1/8" = 1'-0"



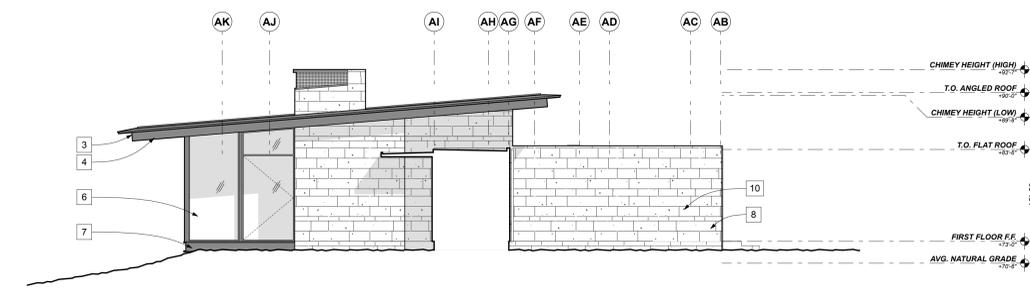
3 WEST ELEVATION
AA3.1 SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
AA3.1 SCALE: 1/8" = 1'-0"



5 MAIN HOUSE - BEDROOM WEST ELEVATION
AA3.1 SCALE: 1/8" = 1'-0"



6 MAIN HOUSE - LIVING ROOM EAST ELEVATION
AA3.1 SCALE: 1/8" = 1'-0"

A P N : 0 0 8 - 4 6 2 - 0 0 8

FEATHER PEBBLE BEACH

3256 17 MILE DRIVE,
PEBBLE BEACH CA, 93953

ISSUED:
PLANNING SET 2021.12.20
REVISION 2022.01.28

MAIN HOUSE - ELEVATIONS

SCALE: AS NOTED FOR 30"x42" PRINTS

JOB NUMBER: 2020-14

SHEET: **AA3.1**

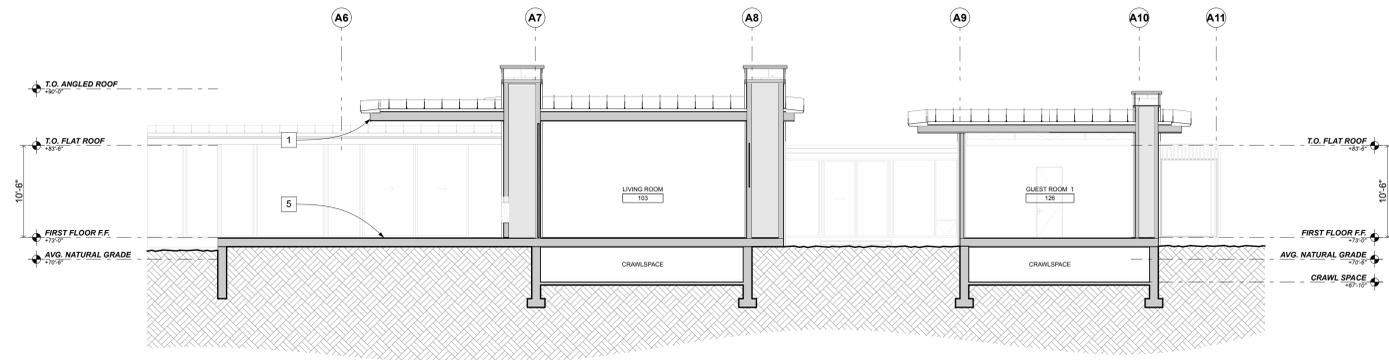
THESE DRAWINGS ARE THE ORIGINAL WORK OF WALKER WARNER ARCHITECTS. ANY REVISIONS OR CHANGES TO THESE DRAWINGS SHALL BE MADE BY WALKER WARNER ARCHITECTS. WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

NOTES - BUILDING SECTIONS:

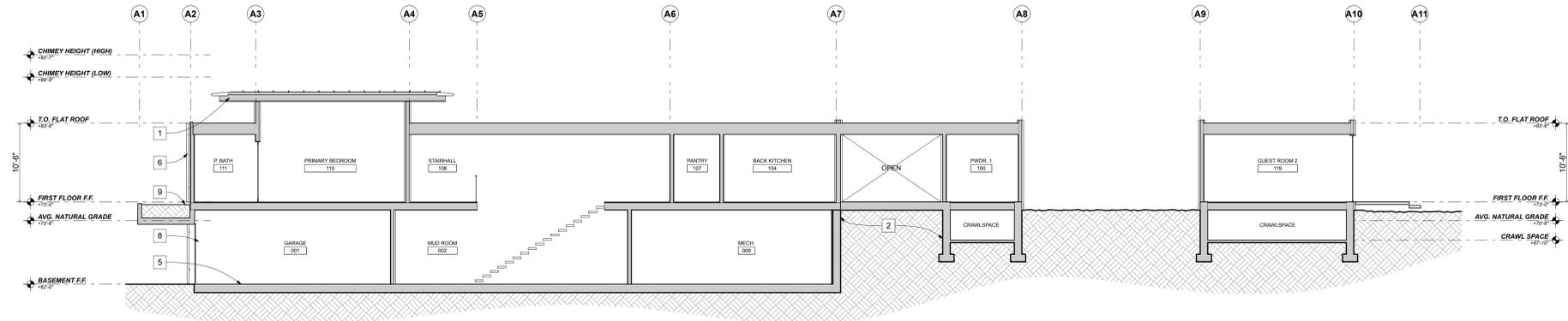
- SEE EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
- NOT USED

KEYNOTES - SECTIONS:

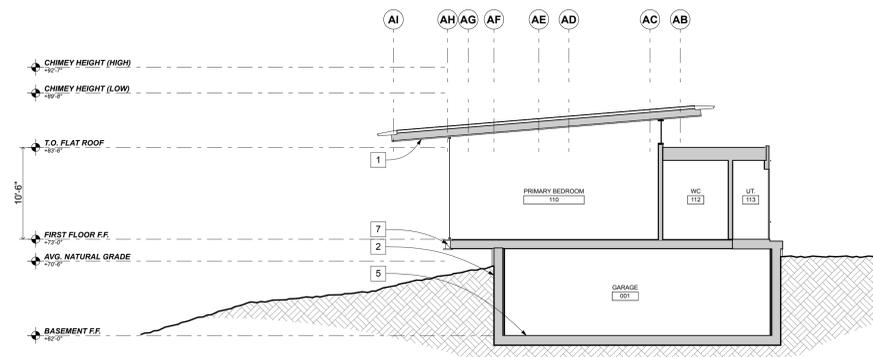
- 1 ROOF STRUCTURE, S.S.D.
- 2 RETAINING WALL
- 3 NOT USED
- 4 SLAB ON GRADE, S.S.D.
- 5 REINFORCED CONCRETE MAT SLAB
- 6 MTL. LOUVERS
- 7 MTL. SILL
- 8 OVERHEAD GARAGE DOOR
- 9 GREEN ROOF



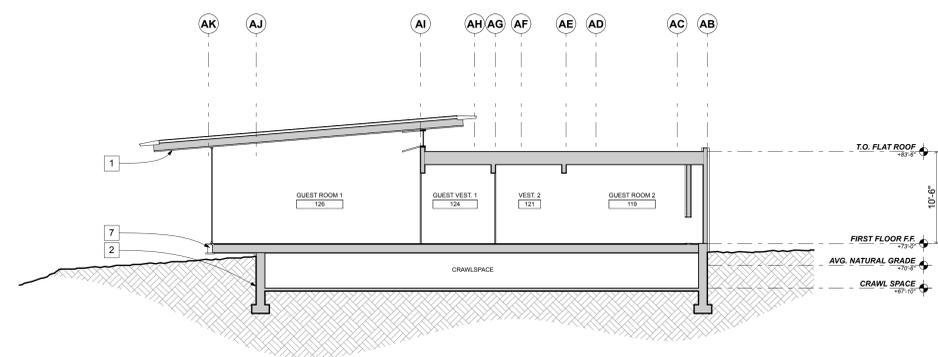
1 MAIN HOUSE - LONG SECTION 1
AA4.1 SCALE: 1/8" = 1'-0"



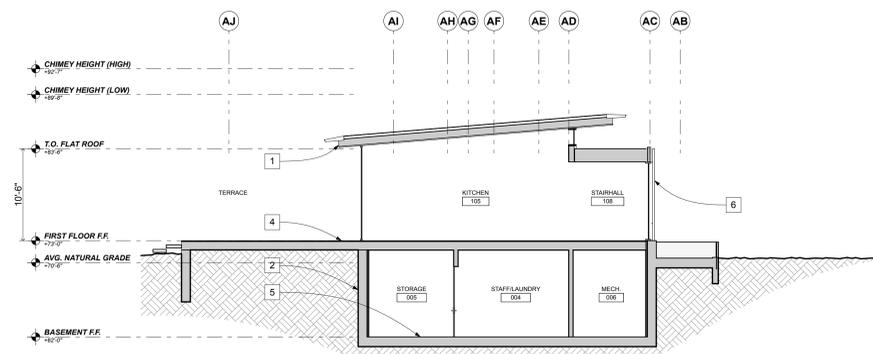
2 MAIN HOUSE - LONG SECTION 2
AA4.1 SCALE: 1/8" = 1'-0"



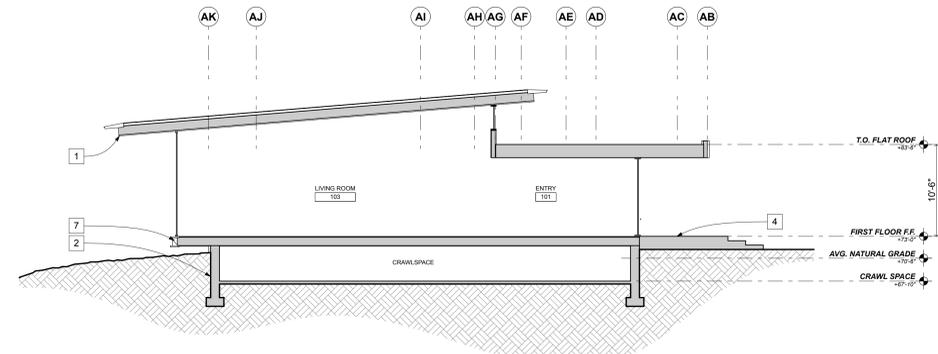
3 MAIN HOUSE - SECTION @ GARAGE
AA4.1 SCALE: 1/8" = 1'-0"



6 MAIN HOUSE - SECTION @ EAST BEDROOM WING
AA4.1 SCALE: 1/8" = 1'-0"



5 MAIN HOUSE - SECTION @ KITCHEN
AA4.1 SCALE: 1/8" = 1'-0"



4 MAIN HOUSE - SECTION @ LIVING ROOM
AA4.1 SCALE: 1/8" = 1'-0"

THESE DRAWINGS ARE THE ORIGINAL WORK OF WALKER WARNER ARCHITECTS. ANY REVISIONS OR CHANGES TO THESE DRAWINGS SHALL BE MADE BY WALKER WARNER ARCHITECTS. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

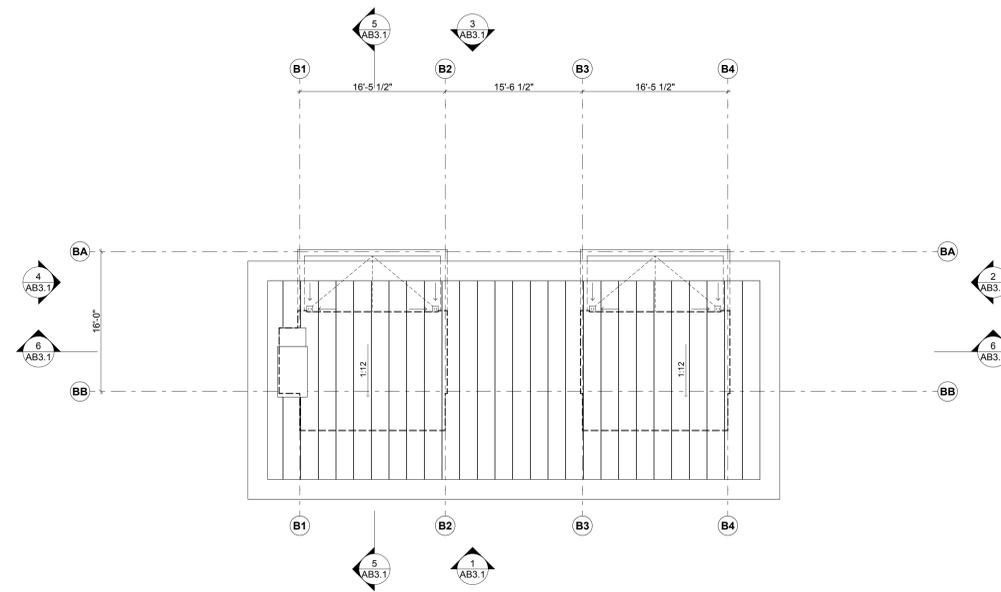
A P N : 0 0 8 - 4 6 2 - 0 0 8
FEATHER PEBBLE BEACH
 3256 17 MILE DRIVE,
 PEBBLE BEACH CA, 93953

ISSUED:
 PLANNING SET 2021.12.20
 REVISION 2022.01.28

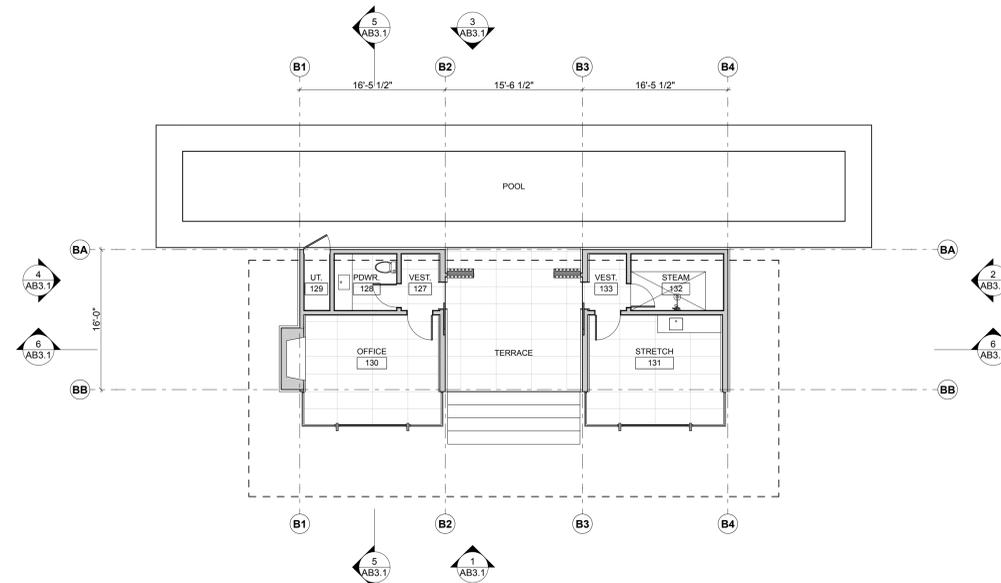
MAIN HOUSE - SECTIONS
 SCALE: AS NOTED FOR 30"x42" PRINTS
 JOB NUMBER: 2020-14
 SHEET: **AA4.1**

NOTES - FOUNDATION PLAN:

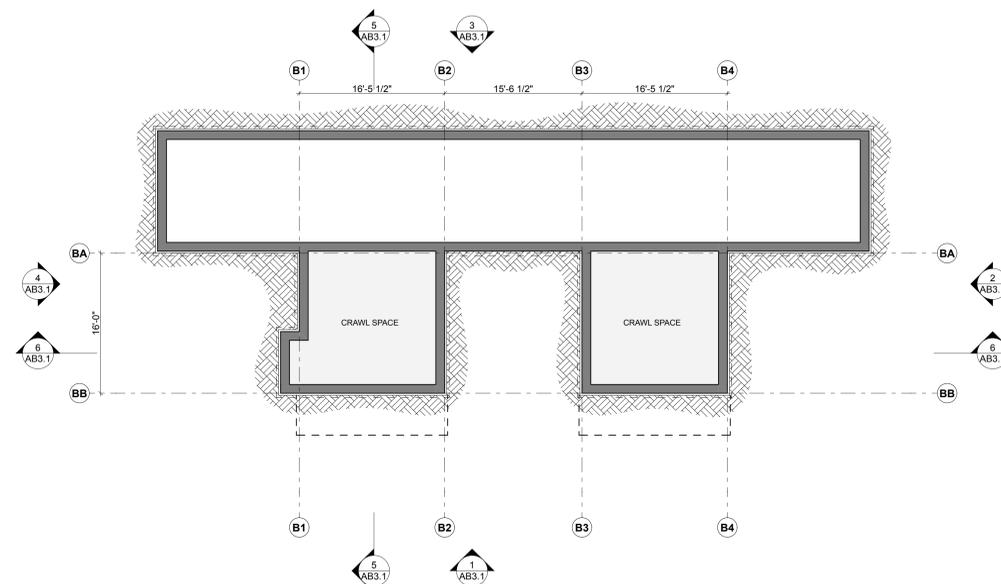
- THIS DRAWING IS USED BY WALKER WARNER ARCHITECTS TO COORDINATE AND CONFIRM ALL TOP OF CONCRETE CONDITIONS. THIS INFORMATION DOES NOT SUPERSEDE ANY INFORMATION SHOWN ELSEWHERE IN ARCHITECTURAL, STRUCTURAL, CIVIL AND LANDSCAPE DRAWINGS. THE CONTRACTOR SHOULD VERIFY ANY DISCREPANCIES FOUND PRIOR TO CONSTRUCTION.
- ALL GRIDLINES ARE TO FACE OF CONCRETE, U.O.N.
- S.C.D. FOR UNDERGROUND DRAINAGE INFORMATION
- NOT USED



1
AB2.1 POOL HOUSE - ROOF PLAN
SCALE: 1/8" = 1'-0"



2
AB2.1 POOL HOUSE - GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"



3
AB2.1 POOL HOUSE - FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

A P N : 0 0 8 - 4 6 2 - 0 0 8

FEATHER PEBBLE BEACH

3256 17 MILE DRIVE,
PEBBLE BEACH CA, 93953

ISSUED:
PLANNING SET 2021.12.20

**POOL HOUSE- FLOOR
PLANS**

SCALE : AS NOTED FOR 30"x42" PRINTS

JOB NUMBER : 2020-14

SHEET: **AB2.1**



NOTES - ELEVATIONS:

- 1. EXISTING CONTOURS ARE SHOWN. S.C.D. FOR PROPOSED FINISH GRADING
- S.C.D. FOR DRAINAGE INFORMATION
- NOT USED

LEGEND - ELEVATIONS

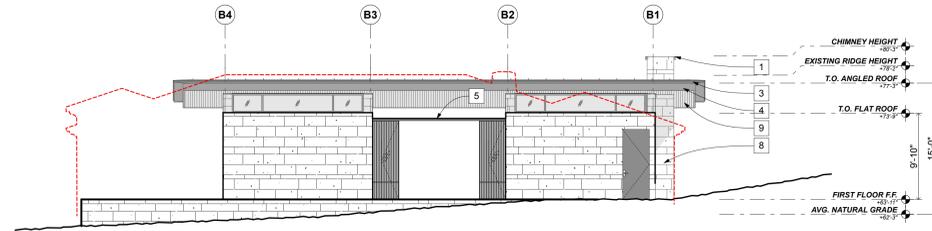
- - - - - OUTLINE OF EXISTING STRUCTURE

KEYNOTES - ELEVATION:

- 1 MTL. CHIMNEY CAP
- 2 MTL. MESH SPARK ARRESTOR
- 3 STANDING SEAM MTL. ROOFING
- 4 MTL. TRIM
- 5 DETACHABLE MTL. SCREEN O/ GLAZING
- 6 MTL. DOOR / WINDOW
- 7 MTL. SILL
- 8 STONE CLADDEN WALL
- 9 WD. SOFFIT
- 10 SOLID EXT. DOOR
- 11 STONE LANDSCAPE WALL
- 12 DETACHABLE MTL. SCREEN O/ OVERHEAD SECTIONAL GARAGE DOOR
- 13 DETACHABLE MTL. SCREEN O/ BRAKE MTL. CLADDING

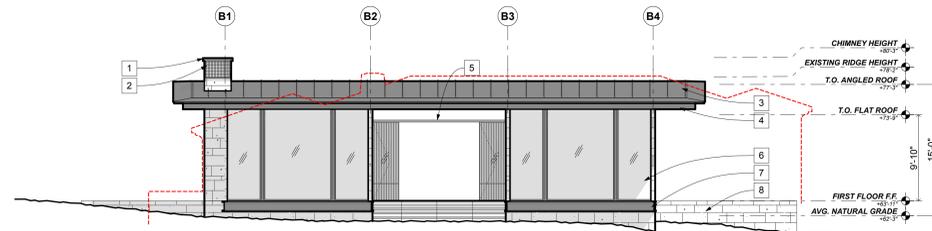
KEYNOTES - SECTIONS:

- 1 ROOF STRUCTURE, S.S.D.
- 2 RETAINING WALL
- 3 NOT USED
- 4 SLAB ON GRADE, S.S.D.
- 5 REINFORCED CONCRETE MAT SLAB
- 6 MTL. LOUVERS
- 7 MTL. SILL
- 8 OVERHEAD GARAGE DOOR
- 9 GREEN ROOF



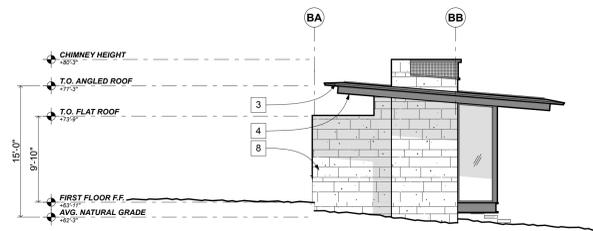
1 POOL HOUSE - NORTH ELEVATION

SCALE: 1/8" = 1'-0"



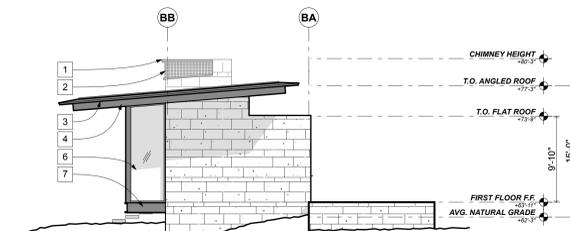
2 POOL HOUSE - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



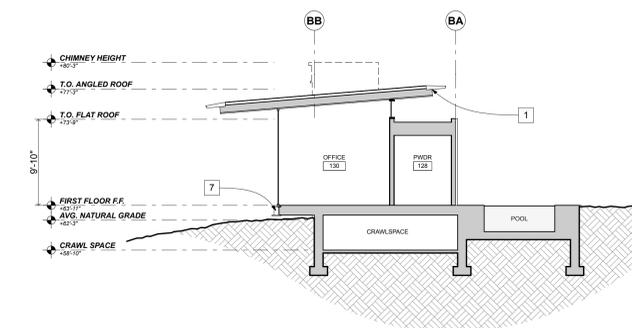
3 POOL HOUSE - WEST ELEVATION

SCALE: 1/8" = 1'-0"



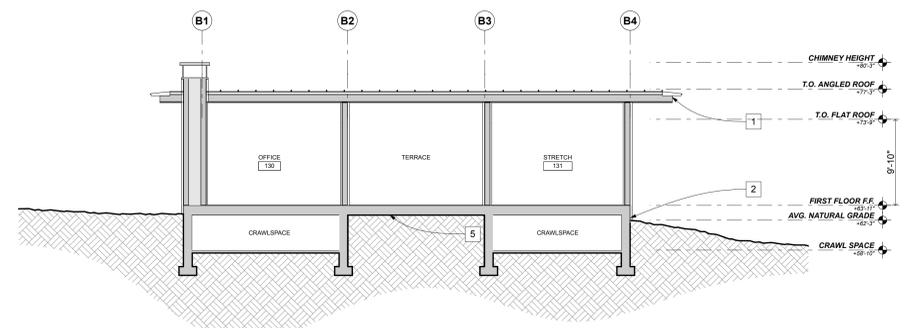
4 POOL HOUSE - EAST ELEVATION

SCALE: 1/8" = 1'-0"



5 POOL HOUSE - SECTION 1

SCALE: 1/8" = 1'-0"



6 POOL HOUSE - SECTION 2

SCALE: 1/8" = 1'-0"

FEATHER RESIDENCE

PEBBLE BEACH, CALIFORNIA

PROJECT DESCRIPTION

THE PROJECT PROPOSES THE REPLACEMENT OF THE EXISTING TRI-LEVEL MAIN RESIDENCE, ATTACHED 2-CAR GARAGE, AND DETACHED GYMNASIUM WITH A NEW MAIN RESIDENCE, ATTACHED LOWER LEVEL 2-CAR GARAGE, A BASEMENT STORAGE AREA (FULLY BELOW GRADE), A NEW POOL HOUSE WITH POOL AND SPA, ALL WITHIN THE DEVELOPED FOOTPRINT OF THE EXISTING APPROVED STRUCTURES AND HARDSCAPE.

CIVIL SCOPE OF WORK

THE CIVIL SCOPE OF WORK INCLUDES: GRADING AND DRAINAGE DESIGN FOR EXTERIOR SITE IMPROVEMENTS, UTILITY IMPROVEMENTS AND STORM WATER PLAN.

SURVEY NOTES

- EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON THE SURVEYS OF CENTRAL COAST SURVEYORS (831) 394-4930 ON JUNE OF 2020, AND JUNE, AUGUST, AND DECEMBER OF 2021.
- BENCHMARK: SET "MAG" NAIL & STAINLESS STEEL WASHER STAMPED "CENTRAL COAST SURVEYORS" SET IN THE CENTERLINE OF 17 MILE DRIVE NEAR THE A.C. DRIVEWAY ENTRANCE.

EARTHWORK ANALYSIS

	CUT ANALYSIS (CUBIC YARDS)	FILL ANALYSIS (CUBIC YARDS)
PROJECT (APN 008-462-008)	1,976	136

NET 1,840 CU. YDS (EXPORT)

OWNER/APPLICANT

FEATHER CYPRESS LLC
215 WEST FRANKLIN, 5TH FLOOR
MONTEREY, CA 93940
831-649-6100

ARCHITECT

WALKER WARNER ARCHITECTS
353 FOLSOM STREET
SAN FRANCISCO, CA 94105
415-318-8500
GWARNER@WALKERWARNER.COM

LAND SURVEYOR

CENTRAL COAST SURVEYORS
5 HARRIS COURT, SUITE N-11
MONTEREY, CA 93940
831-394-4930

GENERAL CONTRACTOR

STOCKER & ALLAIRE INC
21 MANDEVILLE COURT
MONTEREY, CA 93940
831-375-1890
DSTOCKER@STOCKERALLAIRE.COM

ARBORIST

MAUREEN HAMB
849 ALMAR AVE SUITE C #319
SANTA CRUZ, CA 95060
MAUREEN.HAMB@YAHOO.COM

CIVIL ENGINEER

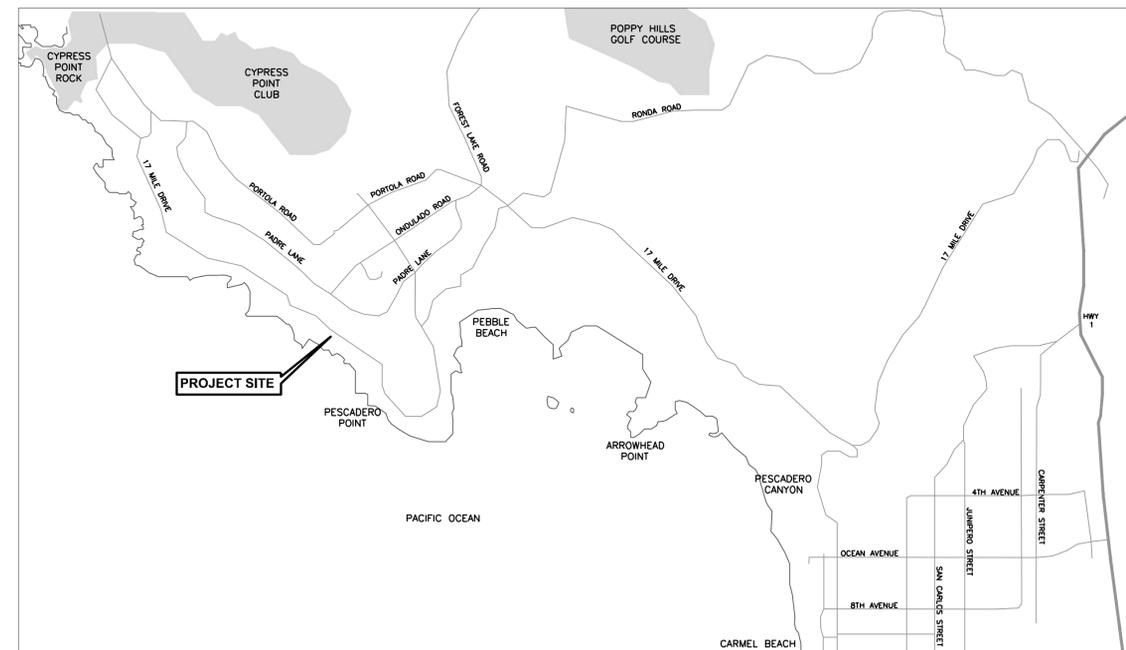
SHERWOOD DESIGN ENGINEERS
DREW NORTON & CHRISTINA NICHOLSON
625 2ND STREET SUITE 202, PETALUMA, CA
415-877-7300

STRUCTURAL ENGINEER

STRANDBERG ENGINEERING
1511 15TH STREET
SAN FRANCISCO, CA 94103
415-778-8726
JOYCE@STRANDBERGENG.COM

LANDSCAPE ARCHITECT

JONI L. JANECKI AND ASSOCIATES, INC.
515 SWIFT STREET
SANTA CRUZ, CA 95060
831-423-6040
JLJ@JLJA.COM



VICINITY MAP

SCALE: ON SHEET 1" = 100'

Note: If this graphic scale does not equal 1", this sheet has been modified from its original size.

NO	DATE	REVISION
1	08/05/2022	Planning Comments

©2021 Sherwood Design Engineers. The design and contents shown are the sole property of Sherwood Design Engineers and may not be used without the prior written consent of Sherwood Design Engineers.

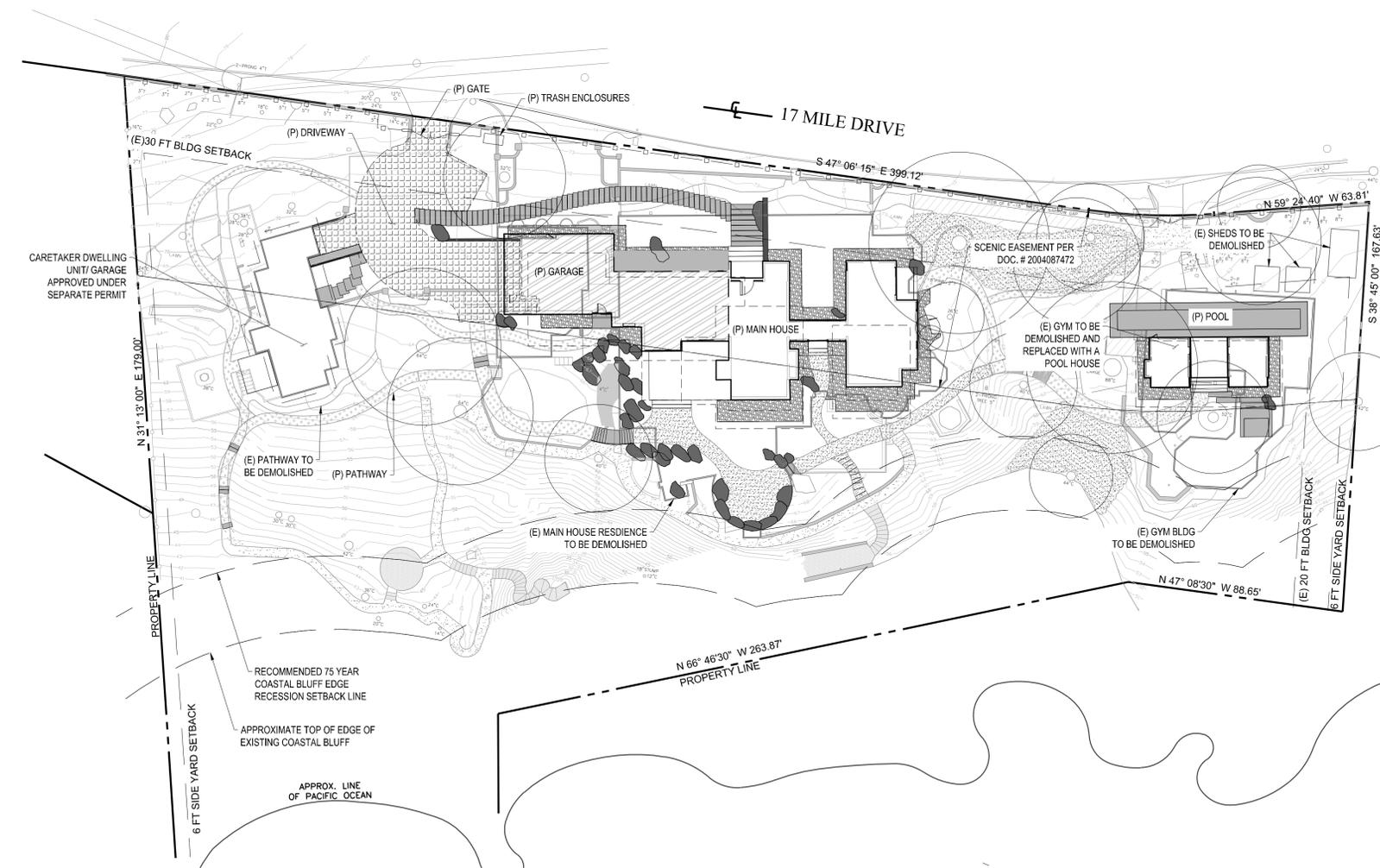
PROJECT NO. 21-312

DATE 11/17/21

DRAWN GF/AJ

DESIGNED CN/FA

CHECKED DN/CN



OVERALL SITE PLAN

SCALE: 1"=30'



ABBREVIATIONS

AD	AREA DRAIN	OC	ON CENTER
APPROX	APPROXIMATE	(P)	PROPOSED
BLDG	BUILDING	PA	PLANTED AREA
BS	BOTTOM OF STAIR	PG&E	PACIFIC GAS AND ELECTRIC
DS	DOWN SPOUT	PL	PROPERTY LINE
E	EAST	POC	POINT OF CONNECTION
(E)	EXISTING	PUE	PUBLIC UTILITY EASEMENT
EC	END CURVE	PVMT	PAVEMENT
EL, ELEV	ELEVATION	R, RAD	RADIUS
ELEC	ELECTRIC	RC	RELATIVE COMPACTION
EP	EDGE OF PAVEMENT	RCP	REINFORCED CONCRETE PIPE
EVA	EMERGENCY VEHICLE ACCESS	REQ'D	REQUIRED
FC	FACE OF CURB	RET	RETAINING
FFE	FINISHED FLOOR ELEVATION	RIM	TOP OF STRUCTURE GRATE/ COVER
FG	FINISH GRADE	S	SLOPE
FH	FIRE HYDRANT	SAP	SEE ARCHITECTURAL PLANS
FL	FLOWLINE	SCO	SOFTSCAPE CLEANOUT
FS	FINISH SURFACE	SD	STORM DRAIN
FT	FEET/FOOT	SDE	SHERWOOD DESIGN ENGINEERS
FW	FIRE WATER	SDCO	STORM DRAIN CLEANOUT
G	GAS	SDMH	STORM DRAIN MANHOLE
GB	GRADE BREAK	SEP	SEE ELECTRICAL PLANS
GM	GAS METER	SF	SQUARE FEET
GV	GATE VALVE	SLP	SEE LANDSCAPE PLANS
HDPE	HIGH-DENSITY POLYETHYLENE	SPRK	FW SPRINKLER LINE
HP	HIGH POINT/ HINGE POINT	SQ	SQUARE
HV	HIGH VOLTAGE	SS	SANITARY SEWER
IN	INCH	SSCO	SANITARY SEWER CLEANOUT
INV	INVERT OF PIPE OR CHANNEL	SSMH	SANITARY SEWER MANHOLE
IRR	IRRIGATION	STD	STANDARD
JB	JUNCTION BOX	SW	SIDEWALK
LA	LANDSCAPE ARCHITECT	TB	TOP OF BANK
LF	LINEAR FEET	TBD	TO BE DETERMINED
LP	LIGHT POLE / LOW POINT	TBM	TEMPORARY BENCHMARK
MAX	MAXIMUM	TBR	TO BE REMOVED
MH	MANHOLE	TC	TOP OF CURB
MIN	MINIMUM	TD	TRENCH DRAIN
N	NORTH	TEL	TELEPHONE
NFC	NOT FOR CONSTRUCTION	TEMP	TEMPORARY
NIC	NOT IN CONTRACT	TS	TOP OF STAIR
NTS	NOT TO SCALE	TW	TOP OF WALL
		TYP	TYPICAL
		W	WEST

SHEET LIST

SHEET NUMBER	SHEET TITLE
C0.0	OVERALL SITE PLAN & COVER SHEET
C1.0	CONCEPTUAL GRADING & DRAINAGE
C1.1	SITE SECTIONS
C2.0	EROSION CONTROL PLAN
C2.1	EROSION CONTROL PLAN DETAILS & NOTES
C3.0	EXISTING SLOPE STUDY

PLANNING SET

FEATHER CYPRESS LLC
FEATHER HOUSE PROJECT
3256 17 MILE DRIVE
PEBBLE BEACH, CA

OVERALL SITE PLAN &
COVER SHEET

DRAWING NO.

C0.0
1 OF 6

EROSION CONTROL LEGEND

-  FIBER ROLLS
-  SILT FENCE
-  CONCRETE WASHOUT
-  MUD PAD
-  TREE PROTECTION
-  INLET PROTECTION

EROSION AND SEDIMENTATION CONTROL

1. SEDIMENT AND EROSION CONTROL MEASURES, AS SPECIFIED IN THIS EROSION CONTROL PLAN AND DETAILS, SHALL BE INSTALLED PRIOR TO START OF DEMOLITION AND MAINTAINED THROUGHOUT THE PROJECT. EROSION CONTROL MEASURES SHALL BE IN PLACE BETWEEN OCTOBER 15TH AND APRIL 15TH, OR WHEN RAIN IS FORECASTED.
2. NO GRADING OR EARTHMOVING ACTIVITIES SHALL TAKE PLACE BETWEEN OCTOBER 15TH AND APRIL 15TH (WINTER SHUT DOWN PERIOD) WITHOUT A WINTER GRADING PERMIT.
3. MONITORING REQUIREMENTS SHALL BE CONDUCTED BY QUALIFIED PERSONNEL.
4. ALL MOVEMENT OF EARTH SHALL COMPLY WITH THE COUNTY OF MONTEREY GRADING REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING SDE AND THE COUNTY OF MONTEREY 48 HOURS PRIOR TO THE COMMENCEMENT OF EARTHMOVING ACTIVITIES (CONSTRUCTION).
5. INLET PROTECTION SHALL BE PROVIDED ON ALL PROPOSED AND EXISTING STORMWATER DRAINAGE INLETS AND CATCH BASINS PER THE DETAILS SHOWN ON C2.1.
6. TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE EROSION CONTROL PLAN THAT INTERFERE WITH THE WORK PERFORMED SHALL BE RELOCATED OR MODIFIED AS DIRECTED BY THE ENGINEER OR INSPECTOR AS WORK PROGRESSES TO MEET "AS GRADED" CONDITIONS.
7. DURING THE COUNTY OF MONTEREY REQUIRED WINTER SHUT DOWN PERIOD (OCTOBER 15TH TO APRIL 15TH), ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY AND FOLLOWING EACH RAIN EVENT THAT PRODUCES RUNOFF.
8. EROSION CONTROL DEVICES SHALL BE STOCKPILED ONSITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN AND COVERED PER THE DETAILS SHOWN ON C2.1. DEVICES SHALL BE READY TO BE PLACED IN POSITION WHEN RAIN IS FORECASTED OR WHEN DIRECTED BY SDE OR INSPECTOR.
9. THE CONTRACTOR SHALL INFORM ALL CONSTRUCTION SITE WORKERS ABOUT THE EROSION CONTROL MEASURES AND DEVICES AS WELL AS SEEK THEIR COOPERATION IN AVOIDING THE DISTURBANCE OF THE EROSION CONTROL MEASURES AND DEVICES.
10. BRUSH AND VEGETATIVE GROUND COVER MAY NOT BE REMOVED MORE THAN 10-FEET ABOVE FILLS DURING THE WINTER SHUT DOWN PERIOD.
11. ALL DISTURBED AREAS AND LIMITS OF GRADING SHALL BE SEEDED IMMEDIATELY AFTER COMPLETION OF GRADING ACTIVITIES IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 - a. AREAS RE-SEEDED AFTER GRADING SHALL COMPLY WITH LANDSCAPE PLANS AND BIOLOGISTS RECOMMENDATIONS FOR HABITAT RESTORATION.
12. IF USING HYDROSEED, A TACKIFIER SUCH AS M-BINDER, SENTINEL, OR APPROVED EQUIVALENT SHALL BE APPLIED AT A RATE OF 75 TO 100 LBS PER ACRE.
13. WHEN MIXING HYDROSEED, SEED SHALL NOT REMAIN IN THE SLURRY LONGER THAN 30 MINUTES. ALL SLURRIES SHALL BE APPLIED IN A UNIFORM MANNER AT NON-EROSIVE RATES THAT MINIMIZES RUNOFF.
14. ALL SEEDED AREAS SHALL BE REPAIRED, RESEEDED, AND MULCHED AS SOON AS POSSIBLE FOLLOWING ANY DAMAGE THAT OCCURS.
15. SEEDED AREAS SHALL BE SCARIFIED TO A DEPTH OF FOUR TO EIGHT INCHES AND DRESSED TO PROVIDE A REASONABLY SMOOTH AND FIRM SURFACE.
16. WHEN USING STRAW MULCH, STRAW SHALL BE ANCHORED TO THE SOIL BY A TACKIFIER. EROSION CONTROL BLANKET, CRIMPING, PUNCH ROLLERS, OR BY TRACK WALKING.
17. NORTH AMERICAN GREEN BIONET C125BN EROSION CONTROL BLANKETS SHALL BE INSTALLED OVER SEED ON ALL DISTURBED AREAS WITH SLOPES STEEPER THAN 4:1.
18. ALL FILLS SHALL BE GRADED TO PROMOTE POSITIVE DRAINAGE AWAY FROM THE EDGES OF THE FILL.
19. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM PAVED AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY SDE OR INSPECTOR TO MINIMIZE SEDIMENT-LADEN RUNOFF.
20. ALL EROSION CONTROL MEASURES INCLUDING LOCATIONS OF THE SILT FENCE SHALL BE VERIFIED BY THE PROJECT BIOLOGIST TO PROTECT SENSITIVE AREAS. ANY DIRECTED CHANGES SHALL BE VERIFIED BY THE CIVIL ENGINEER PRIOR TO INSTALLATION.

SCALE: 1" = 20'

Note: If this graphic scale does not equal 1", this sheet has been modified from its original size.

NO	DATE	REVISION
1	08/05/2022	Planning Comments

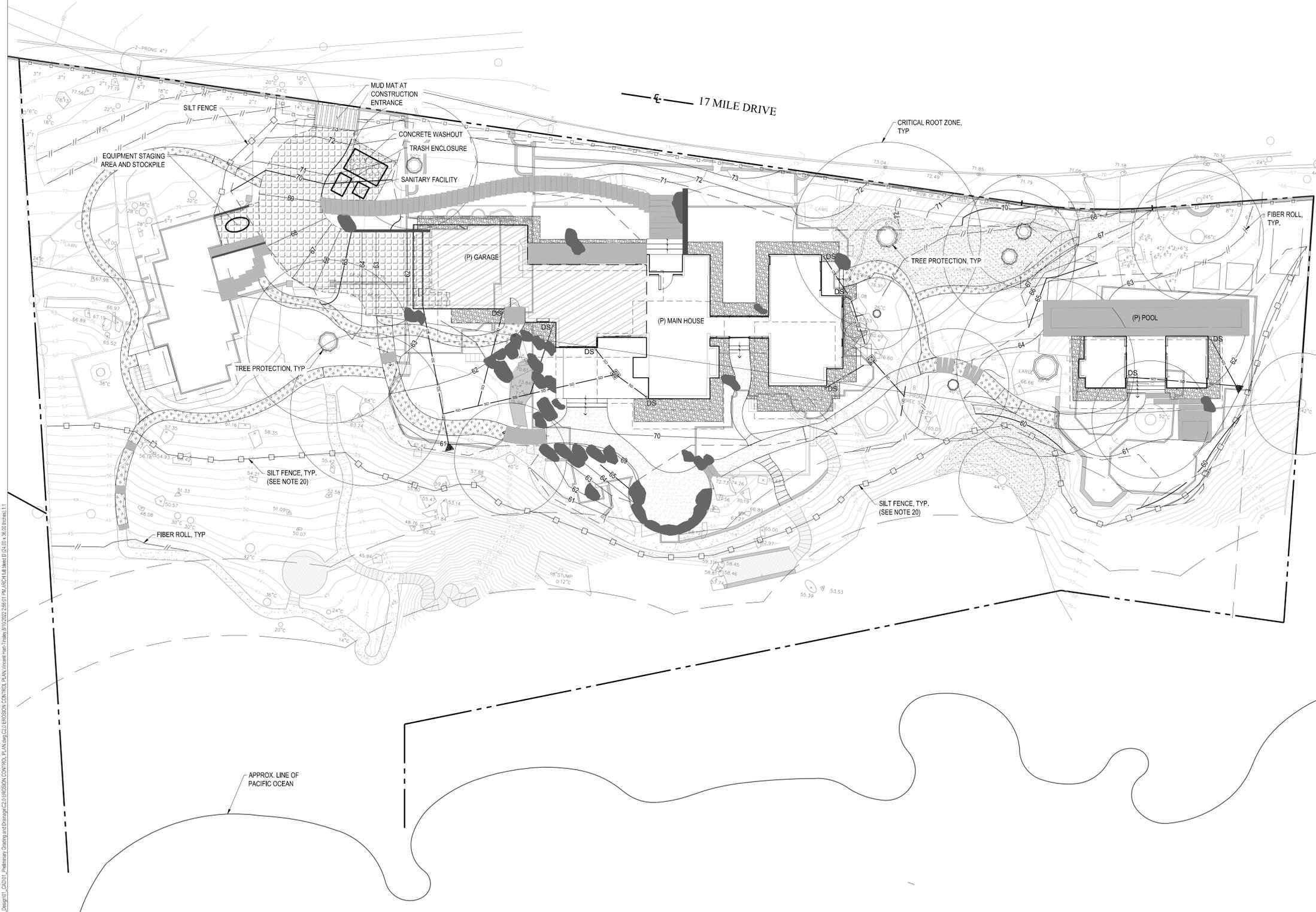
PROJECT NO. 21-312

DATE	11/17/21
DRAWN	MJR
DESIGNED	CN
CHECKED	DN

PLANNING SET

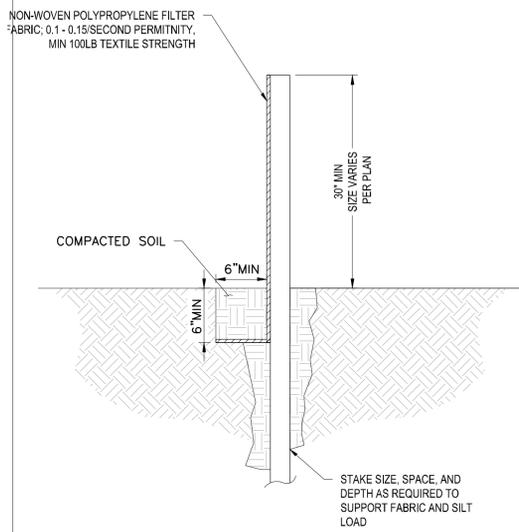
FEATHER CYPRESS LLC
FEATHER HOUSE PROJECT
 3256 17 MILE DRIVE
 PEBBLE BEACH, CA

EROSION CONTROL PLAN



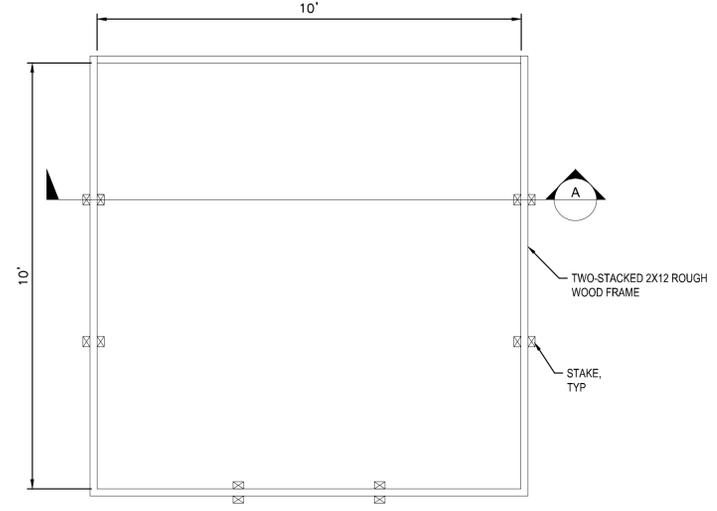
P:\2021\21-312 Feather House\21-312 Erosion Control Plan\21-312 Erosion Control Plan.dwg
 11/17/21 10:00 AM
 MJR
 11/17/21 10:00 AM
 DN





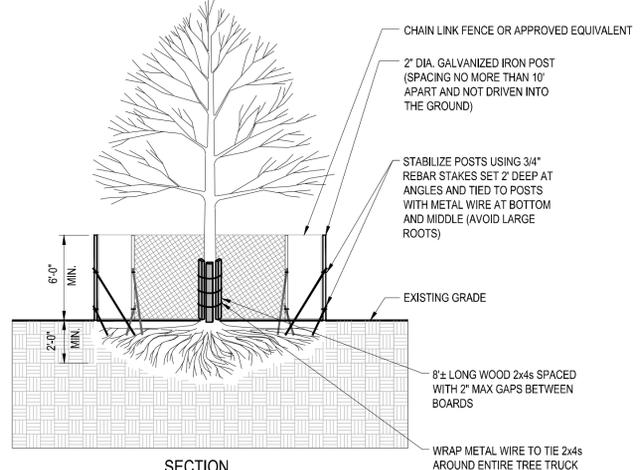
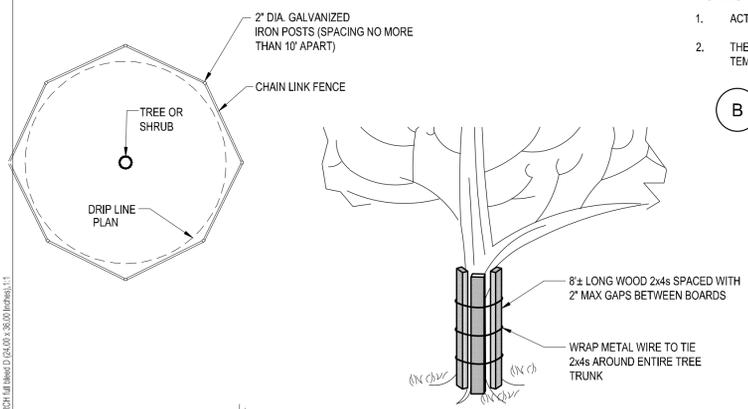
- NOTES**
- REFER TO CASQUA BMP DETAIL SE-1 FOR ADDITIONAL INSTALLATION DETAILS AND MAINTENANCE INSTRUCTIONS.
 - ALTERNATE INSTALLATION: ERTEC S-FENCE, 10 HIGH OR EQUAL BY APPROVED MANUFACTURERS, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

A SILT FENCE SCALE: NTS



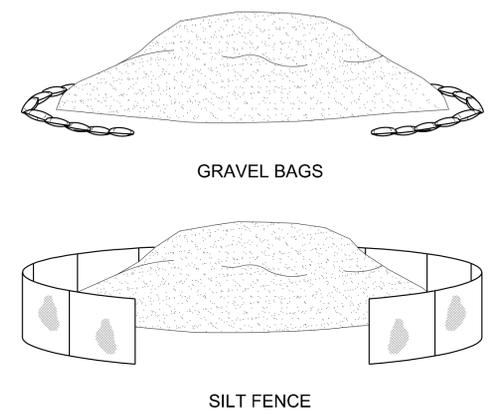
- NOTES**
- ACTUAL LAYOUT DETERMINED IN FIELD
 - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30FT OF THE TEMPORARY CONCRETE WASHOUT FACILITY

B CONCRETE WASHOUT DETAIL SCALE: NTS



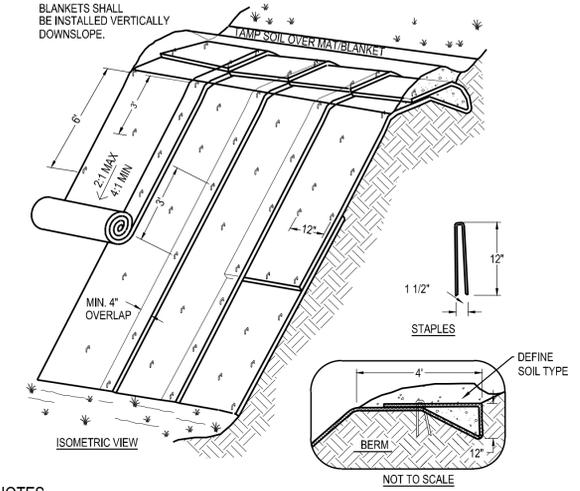
- NOTES**
- PROVIDE SIMILAR INSTALLATION CONTINUOUSLY WHERE NOTED ON DRAWINGS
 - CONTRACTOR AND/OR ARBORIST CAN PROPOSE AN ALTERNATE TREE PROTECTION PLAN TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION

E TREE PROTECTION DETAIL SCALE: NTS



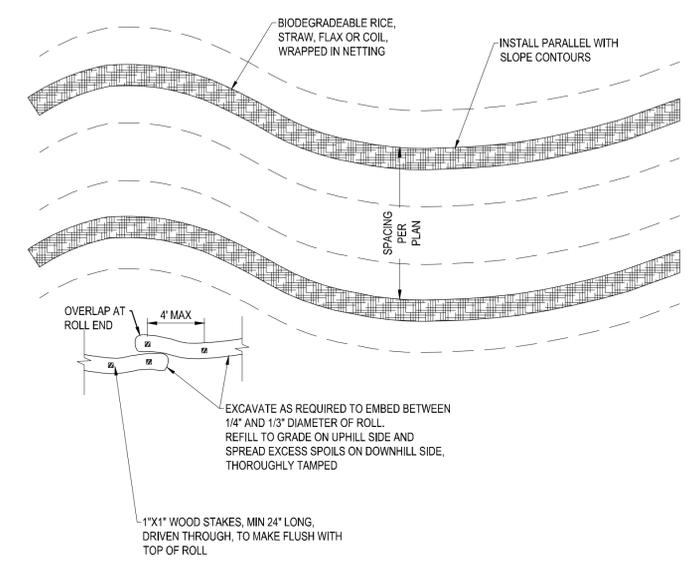
- NOTE**
- INSTALL SILT FENCE (ERTEC S-FENCE OR EQUAL) OR HALF FULL GRAVEL BAGS AT APPROXIMATE 3 FT FROM BASE OF STOCKPILE TO CONTAIN RUNOFF. REPLACE ANY PORTIONS REMOVED FOR ACCESS AT THE END OF WORKING DAY AND PRIOR TO ANY RAINFALL. PLACE AND TIE DOWN TARPS OR PLASTIC SHEETING OVER STOCKPILE IF REQUIRED TO PREVENT WIND EROSION

F STOCKPILE DETAIL SCALE: NTS



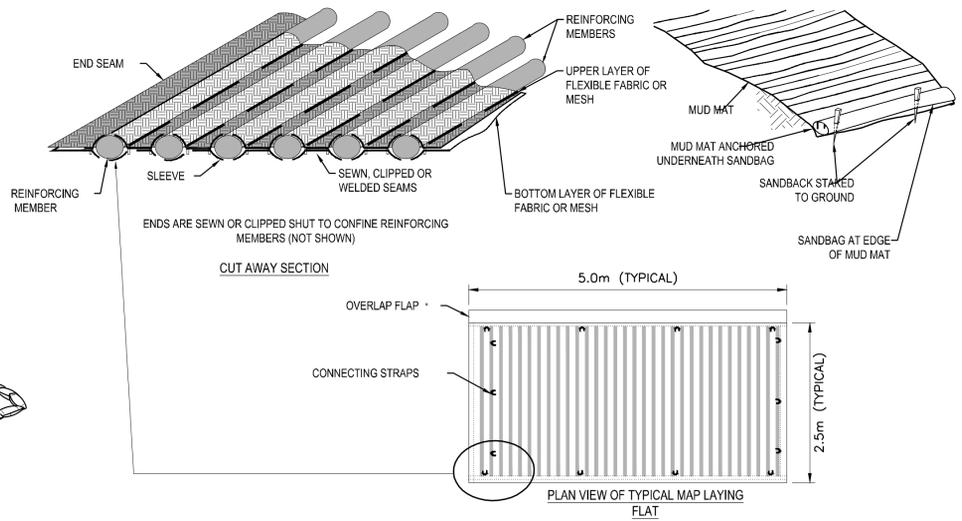
- NOTES**
- FOR EMBANKMENT FACE AND FILL SLOPES, USE DOUBLE-NET STRAW BLANKET. PHOTO DEGRADABLE WITHIN 12 MONTHS.
 - SLOPE SURFACE SHALL BE FREE OF ROCKS AND CLODS LARGER THAN 3 IN AND ORGANIC DEBRIS. BLANKETS SHALL LAY FLAT ON THE SOIL.
 - APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
 - LAY BLANKETS LOOSELY AND STAPLE AS SHOWN TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

C EROSION CONTROL BLANKET SCALE: NTS

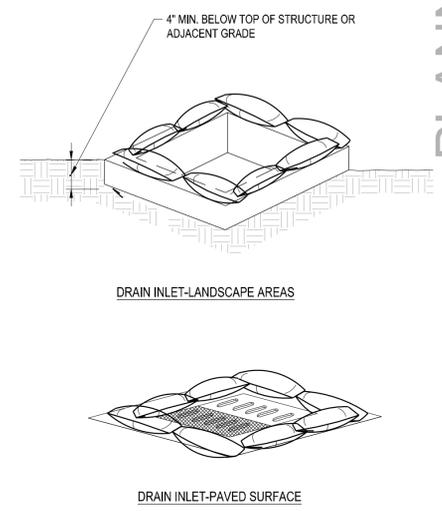


- NOTES**
- FIBER ROLLS SHALL BE MANUFACTURED PRODUCTS CONSISTING OF RICE, STRAW, FLAX, COIL OR SIMILAR BIODEGRADABLE MATERIAL WRAPPED INTO A TUBULAR SHAPE WITH NETTING.
 - REFER TO CASQUA BMP DETAIL SFC-5 FOR ADDITIONAL INSTALLATION DETAILS AND MAINTENANCE INSTRUCTIONS
 - ALTERNATE INSTALLATION: ERTEC

D FIBER ROLLS SCALE: NTS



G AGES MUD MAT SCALE: NTS



- NOTES**
- ENSURE TEMPORARY FILTER BAGS PLACED AROUND PROTECTED INLETS WILL NOT DAMAGE ADJACENT IMPROVEMENTS OR SPILL INTO NEARBY STORM OR SANITARY IMPROVEMENTS OR SPILL INTO NEARBY STORM OR SANITARY FACILITIES.
 - MANUFACTURED PRODUCTS SHOULD BE ERTEC TO GUARD OR APPROVED EQUAL WITH MAX 425Y FILTER OPENINGS.
 - ALTERNATE INSTALLATION AT BY PASS INLETS (NOT AT A LOW POINT; NO INFLOW REQUIRED) PLACE FILTER FABRIC (MAX 140N OR EQUAL) OVER ENTIRE STRUCTURE OPENING, AND INSTALL GRATE TO HOLD IN PLACE. WRAP OVER VERTICAL OPENING AND CURBS INLETS AND HOLD IN PLACE W/ SAND BAGS.

H INLET PROTECTION SCALE: NTS

SCALE: 1" = 10'

Note: If this graphic scale does not equal 1", this sheet has been modified from its original size.

NO	DATE	REVISION
1	08/05/2022	Planning Comments

©2021 Sherwood Design Engineers. The designs and contents shown are the sole property of Sherwood Design Engineers and may not be used without the prior written consent of Sherwood Design Engineers.

PROJECT NO. 21-312

DATE 11/17/21

DRAWN MJR

DESIGNED CN

CHECKED DN

PLANNING SET

FEATHER CYPRESS LLC
FEATHER HOUSE PROJECT
3256 17 MILE DRIVE
PEBBLE BEACH, CA

EROSION CONTROL PLAN
DETAILS & NOTES

GRADING LEGEND

	SPOT ELEVATION
	HARDSCAPE SLOPE
	SOFTSCAPE SLOPE
	FINISH FLOOR ELEVATION
	PAD ELEVATION
	(P) MAJOR CONTOUR
	(P) MINOR CONTOUR
	(E) MAJOR CONTOUR
	(E) MINOR CONTOUR

SLOPE SUMMARY TABLE

Number	Minimum Slope	Maximum Slope	Color
1	30.00%	99.99%	

- GRADING NOTES**
- GRADING IS SHOWN FOR REFERENCE ONLY, REFER TO THE GRADING PLAN FOR DESIGN DETAILS.

SCALE: 1" = 40'

Note: If this graphic scale does not equal 1", this sheet has been modified from its original size.

NO	DATE	REVISION
1	08/05/2022	Planning Comments

©2021 Sherwood Design Engineers. The designs and concepts shown are the sole property of Sherwood Design Engineers and may not be used without the prior written consent of Sherwood Design Engineers.

PROJECT NO. **21-312**

DATE 11/15/21
DRAWN AJ
DESIGNED AJ
CHECKED CN



PLANNING SET

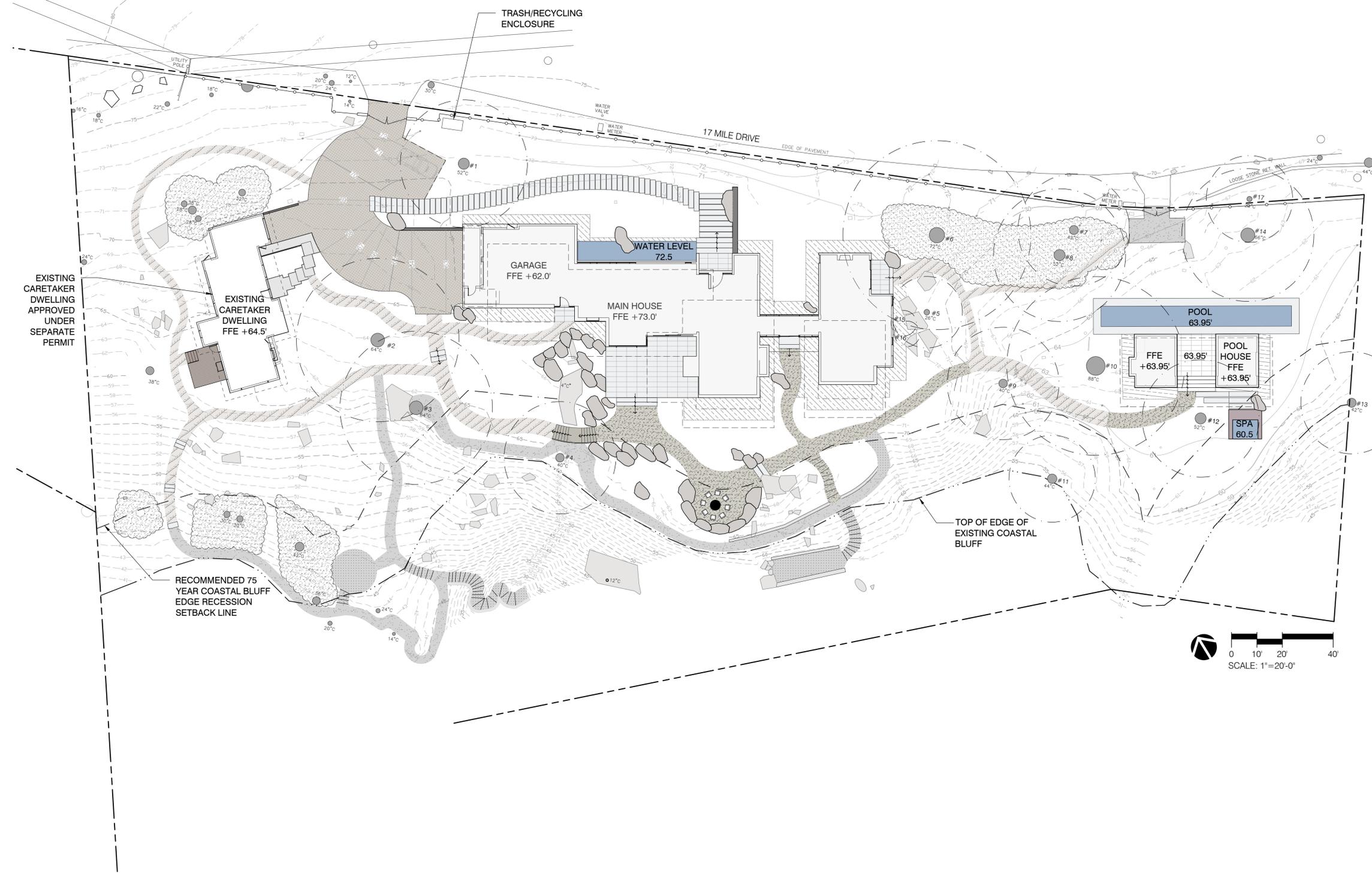
FEATHER CYPRESS LLC
FEATHER HOUSE PROJECT
3256 17 MILE DRIVE
PEBBLE BEACH, CA

EXISTING SLOPE STUDY

DRAWING NO. **C3.0**

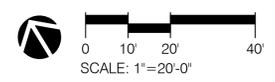
PROJECT: 17 Mile House, Pebble Beach, CA. SHEET: EXISTING SLOPE STUDY. DATE: 11/15/21. DRAWN BY: AJ. CHECKED BY: CN.

\\jcd31\Termination\PROJECTS\RESIDENTIAL\21-210 Feather House\Drawings\Archive\2022-08-05 Feather_Planning Submittal_REV3\CAD\Feather Landscape.dwg, L1.0 Landscape Plan, 08/12/2022 4:15:24 PM, AutoCAD PDF (Smallest File).pc3, ARCH full bleed D (24.00 x 36.00 inches), 1:1



LEGEND

- PROPERTY LINE
- HARO, KASUNICH & ASSOCIATES COASTAL BLUFF SETBACK
- TOP EDGE OF EXISTING COASTAL BLUFF
- VIEWSHED FENCING
- PRIVACY FENCING
- EXISTING DECOMPOSED GRANITE PATHWAY
- EXISTING STONE STAIRS AND TERRACE
- STONE PAVING ON CONCRETE SUB-SLAB (IMPERVIOUS)
- WOOD BOARDWALK
- STONE DRIVEWAY AND PARKING (IMPERVIOUS)
- DECOMPOSED GRANITE PATHWAY
- POOL/WATER FEATURE
- PATIO - SEE ARCHITECTURAL DRAWINGS
- NATIVE SOIL PATHWAY (NOT HARDSCAPE COVERAGE)
- 5'-0" NON-COMBUSTIBLE ZONE (NOT HARDSCAPE COVERAGE)
- EXISTING BOULDER(S)
- PROPOSED BOULDER(S)
- CRITICAL ROOT ZONE
- TREE TAG NUMBER
- EXISTING TREE TO REMAIN AND PROTECT IN PLACE
- MONTEREY CYPRESS FOREST GERMINATION AREAS



- NOTES:
1. EXISTING TREES TO BE PRESERVED AND PROTECTED THROUGHOUT CONSTRUCTION.
 2. REFER TO CIVIL ENGINEER'S DRAWINGS.
 3. REFER TO ARCHITECTURAL DRAWINGS.
 4. REFER TO PLANTING PLAN, SHEET L3.0.
 5. REFER TO ARBORIST REPORT AND BIOLOGICAL REPORT.
 6. 75 YEAR COASTAL BLUFF EDGE RESSION SETBACK LINE BASED ON GEOLOGIC AND COASTAL BLUFF RESSION ASSESSMENT REPORT.

NO.	DATE	DESCRIPTION
1.	12/20/2021	PLANNING SET
2.	01/28/2022	REVISION A
3.	08/05/2022	REVISION B
4.		
5.		
6.		

JONI L. JANECKI
 & ASSOCIATES
515 SWIFT ST. SANTA CRUZ CA 95060
 PHONE 831.423.6040 | WWW.JLJA.COM
 California Landscape Architect License 3163

PROJECT: FEATHER CYPRESS LLC
 3256 17 MILE DRIVE,
 PEBBLE BEACH CA, 93953
 APN: 008-462-008

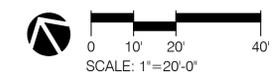
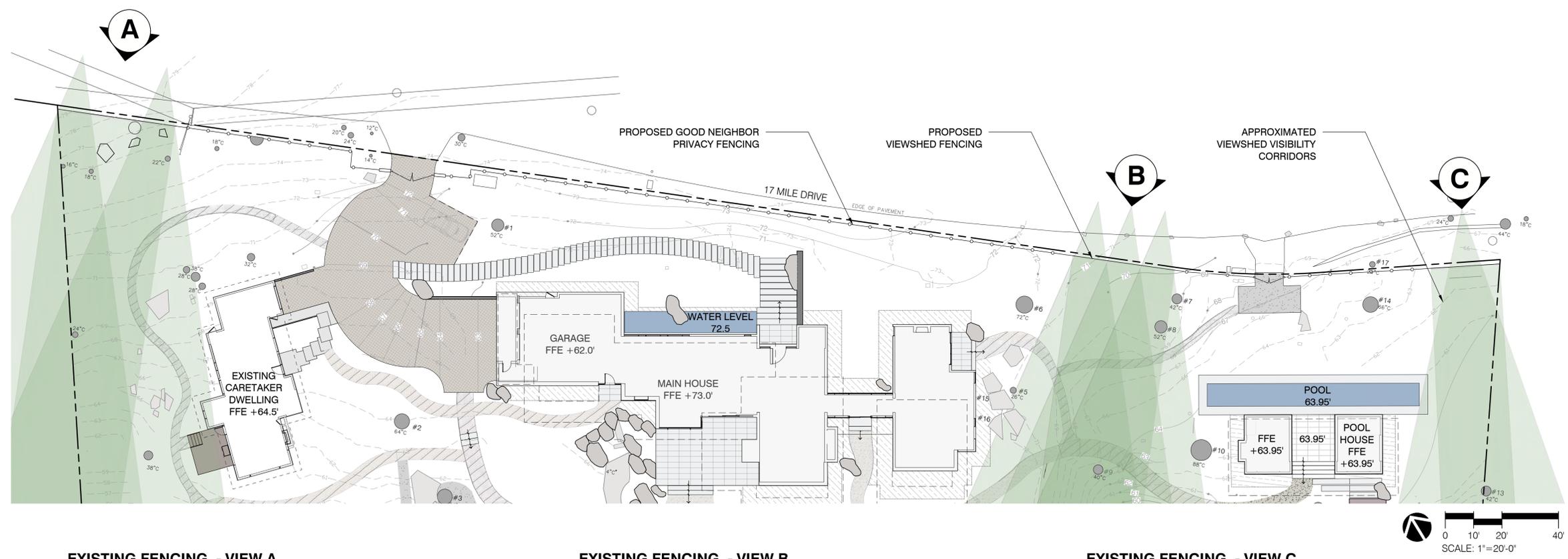
SHEET TITLE: CONCEPT LANDSCAPE PLAN

SCALE: AS SHOWN
DRAWN BY: AZ/PP/MM/MO
DATE: 08/05/2022

NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

L1.0

\\jred31\Termination\PROJECTS\RESIDENTIAL\21-210 Feather House\Drawings\Archive\2022-08-05 Feather_Planning Submittal_REV13\CAD\Feather_Landscape.dwg, L1.1 Fence Renderings, 08/12/2022 4:15:28 PM, AutoCAD PDF (Smallest File).pc3, ARCH Full bleed D (24.00 x 36.00 inches), 1:1



EXISTING FENCING - VIEW A



RENDERED VIEWSHED FENCING - VIEW A



EXISTING FENCING - VIEW B



RENDERED VIEWSHED FENCING - VIEW B



EXISTING FENCING - VIEW C



RENDERED VIEWSHED FENCING - VIEW C



NO.	DATE	DESCRIPTION
1.	12/20/2021	PLANNING SET
2.	01/28/2022	REVISION A
3.	08/05/2022	REVISION A
4.		
5.		
6.		

JONI L. JANECKI & ASSOCIATES
 515 SWIFT ST. SANTA CRUZ CA 95060
 PHONE 831.423.6040 | WWW.JLJA.COM
 California Landscape Architect License 3163

PROJECT: **FEATHER CYPRESS LLC**
 3256 17 MILE DRIVE,
 PEBBLE BEACH CA, 93953
 APN: 008-462-008

SHEET TITLE: **FENCE RENDERINGS**

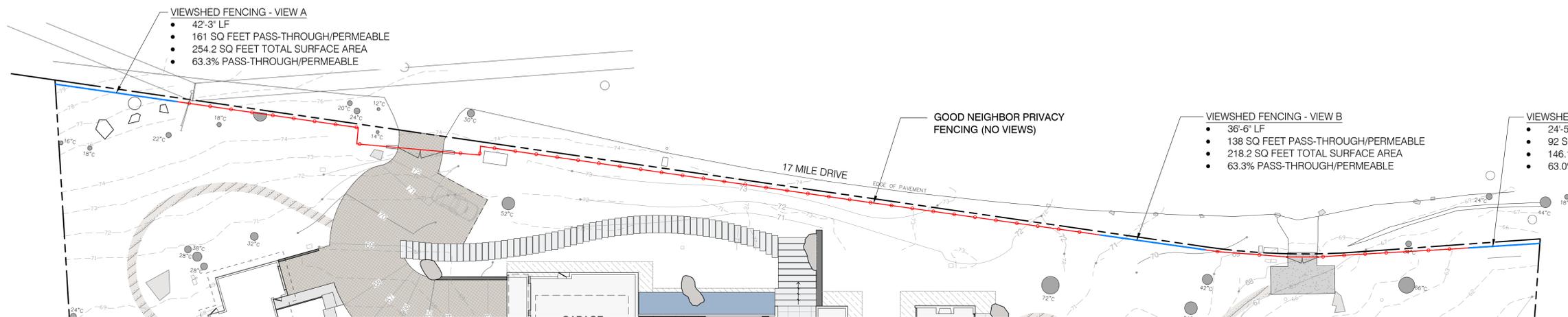
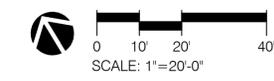
SCALE: AS SHOWN
 DRAWN BY: AZ/PP/M/M/M
 DATE: 08/05/2022



EXISTING CONDITIONS - PLAN VIEW

HEIGHT OF EXISTING WALL: VARIES BETWEEN 4'-6" AND 9'-6";
AVERAGE APPROXIMATELY 6'-2"

TOTAL LENGTH OF EXISTING BARRIER WITH NO VIEWS
(INCLUDING WALL/GATES/BUILDING): 600 LF



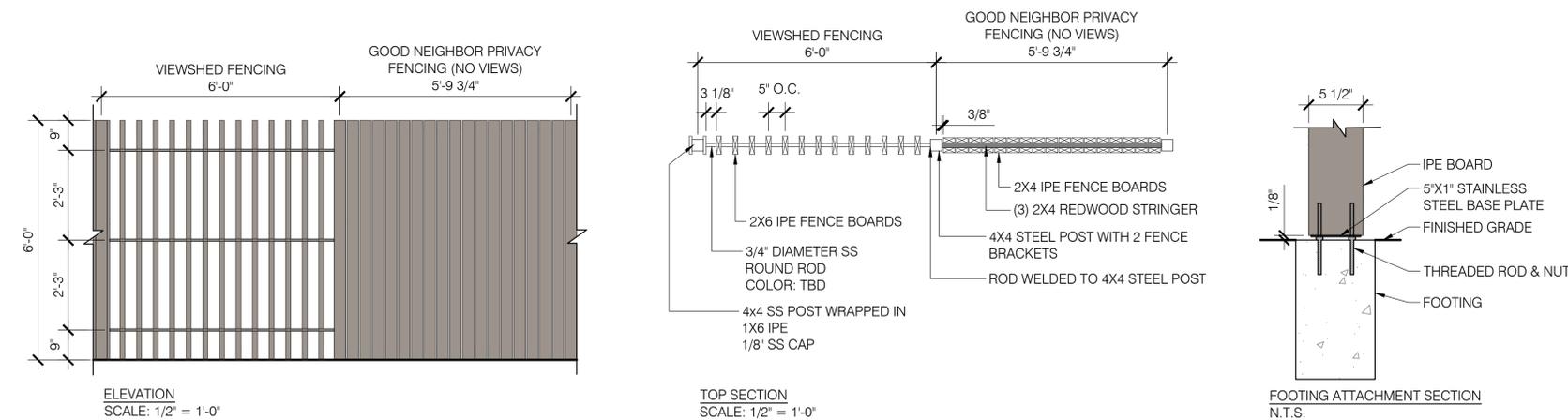
PROPOSED FENCING - PLAN VIEW

HEIGHT OF PROPOSED FENCE: 6'-0"

TOTAL LENGTH OF PROPOSED VIEWSHED FENCE: 103 LF
(20% OF TOTAL)

TOTAL LENGTH OF PROPOSED GOOD NEIGHBOR PRIVACY
FENCE AND GATES: 420 LF (80% OF TOTAL)

TOTAL LENGTH OF PROPOSED FENCE AND GATES: 523 LF



PROPOSED FENCING - DETAIL

	EXISTING WALL/BARRIER (NO VIEWS)	PROPOSED FENCING		
		VIEWSHED FENCING	GOOD NEIGHBOR PRIVACY FENCING (NO VIEWS)	TOTAL
HEIGHT	~6'-2" WALL	6'-0" FENCE	6'-0" FENCE	N/A
LENGTH	600'-0"	103'-2"	420'-0"	523'-0"
PERCENTAGE OF OPENNESS/PERMEABILITY WHEN FACING FENCE HEAD-ON	0%	VARIES - SEE CALLOUTS ON PLAN	0%	N/A

NO.	DATE	DESCRIPTION
1	12/20/2021	PLANNING SET
2	01/28/2022	REVISION A
3	08/05/2022	REVISION A
4		
5		
6		

JONI L. JANECKI & ASSOCIATES
 515 SWIFT ST. SANTA CRUZ CA 95060
 PHONE 831.423.6040 | WWW.JLJA.COM
 California Landscape Architect License 3163

PROJECT: FEATHER CYPRESS LLC
 3256 17 MILE DRIVE,
 PEBBLE BEACH CA, 93953
 APN: 008-462-008

SHEET TITLE: FENCE ANALYSIS

SCALE: AS SHOWN
 DRAWN BY: AZ/PP/MM/MO
 DATE: 08/05/2022

NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

L1.2

\\jled31\Termination\PROJECTS\RESIDENTIAL\21-210 Feather House\Drawings\Archive\2022-08-05 Feather_Planning Submittal_REV13\CAD\Feather Landscape.dwg, L1.2 Fence Analysis, 08/12/2022 4:43:15 PM, DWG To PDF.pc3, ARCH full bleed D (24.00 x 36.00 Inches), 1:1

NO.	DATE	DESCRIPTION
1.	12/20/2021	PLANNING SET
2.	01/28/2022	REVISION A
3.	08/05/2022	REVISION B
4.		
5.		
6.		

JONI L. JANECKI
 & ASSOCIATES
 515 SWIFT ST. SANTA CRUZ CA 95060
 PHONE 831.423.8040 | WWW.JLJA.COM
 California Landscape Architect License 3183

PROJECT: **FEATHER CYPRESS LLC**
 3256 17 MILE DRIVE,
 PEBBLE BEACH CA, 93953
 APN: 008-462-008

SHEET TITLE: **IRRIGATION PLAN**

SCALE: AS SHOWN
 DRAWN BY: AZ/PP/M/M/O
 DATE: 08/05/2022

L2.0

IRRIGATION CONTROLLER "C". WALL MOUNT AT THIS LOCATION AS DETAILED AND AS DIRECTED BY ARCHITECT. CONNECT TO 120 VOLT A.C. ELECTRICAL SERVICE INSTALLED AT THIS LOCATION UNDER ELECTRICAL CONTRACT. IRRIGATION CONTRACTOR SHALL COORDINATE LOCATION OF ELECTRICAL SERVICE PRIOR TO CONSTRUCTION. (2-WIRE CONTROLLER)

WIRELESS WEATHER SENSOR AND RAIN SENSOR. MOUNT ON EYE OF HOUSE. INSTALL SENSOR OPEN TO THE SKY. COORDINATE AND CONFIRM EXACT LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

BACKFLOW FOR IRRIGATION BY LANDSCAPE CONTRACTOR.
 MASTER CONTROL VALVE (LINE SIZE) WIRE TO CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS
 FLOW SENSOR. WIRE TO CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS.

EXISTING RESIDENCE WATER METER
 CONNECT IRRIGATION MAIN LINE TO DOMESTIC WATER LINE FROM RESIDENCE AT THIS APPROXIMATE LOCATION PLUMBER TO PROVIDE 2" STUB-OUT AND GATE VALVE COORDINATE PRIOR TO CONSTRUCTION. MAXIMUM IRRIGATION DEMAND: 12 GPM AT 55 PSI STATIC PRESSURE AT WATER METER LOCATION.
 CONTRACTOR TO FIELD VERIFY THE PRESSURE PRIOR TO CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE IF THE PRESSURE IS DIFFERENT THAN NOTED.

EXISTING PLANTING BOUNDARY

TRASH/RECYCLING ENCLOSURE

CONTRACTOR SHALL PROVIDE 1" PVC MAIN LINE STUB-OUT TO SERVICE ROOF GARDEN. PLUMBER CONTRACTOR TO ROUTE COPPER PIPE FROM MAIN LINE STUB-OUT TO ROOF GARDEN. ELECTRICAL CONTRACTOR TO ROUTE 1" CONDUIT WITH PULL ROPE, TO SERVICE REMOTE CONTROL VALVE AT ROOF GARDEN.

(E) CARETAKER DWELLING
 FFE +64.5'

(N) MAIN HOUSE
 FFE +73.0'

EXISTING CARETAKER DWELLING APPROVED UNDER SEPARATE PERMIT

RECOMMENDED 75 YEAR COASTAL BLUFF EDGE RECESSION SETBACK LINE

TOP OF EDGE OF EXISTING COASTAL BLUFF

NOTES:

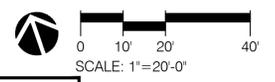
- IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITH SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
- UNSIZE LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE (TYPICAL).
- SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:

0.75"	0-6 GPM
1"	7-12 GPM
1.25"	13-20 GPM
- SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:

0.75"	0-500 FT
1"	501-1100 FT
- EACH DRIP ZONE SHALL RECEIVE A SET OF AIR VENT/VACUUM RELIEF VALVE AT THE HIGHS POINT AND FLUSH VALVES AT FARTHEST ENDS OF EACH SYSTEM AND EACH PLANTER.
- CONTRACTOR TO INSTALL ALL IRRIGATION PIPING TO GO AROUND ALL UTILITY BOX, LIGHTS, SIGNS, ETC. (DRAWINGS ARE DIAGRAMMATIC).
- LOCATE REMOTE CONTROL VALVE BOXES AWAY FROM PROMINENT, HIGHLY VISIBLE LOCATIONS. CONTACT LANDSCAPE ARCHITECT FOR EXACT LOCATIONS.
- IRRIGATION SYSTEM WITHIN NATIVE PLANTS SHALL RECEIVE TEMPORARY IRRIGATION, IRRIGATION SHALL BE REMOVE ONCE PLANTS ARE ESTABLISHED.



RMA
 RUSSELL D. MITCHELL & ASSOCIATES, INC.
 Irrigation Consultant:
 2760 Camino Diablo
 Walnut Creek, CA 94597
 tel 925.939.3985 | fax 925.932.5671
 www.rmairrigation.com



NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

IRRIGATION NOTES

- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITION AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRIC CODE; THE UNIFORM PLUMBING CODE, PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION; AND OTHER STATE OR LOCAL LAWS OR REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR REGULATIONS. THE CONTRACTOR SHALL FURNISH WITHOUT ANY EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED BY THE COMPLIANCE WITH THESE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAYOUT AND INSTALLATION OF THE PLANT MATERIALS TO INSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING IN ACCORDANCE WITH THESE DRAWINGS, AND CONTRACT DOCUMENTS. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
- IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODES.
- INSTALL NEW BATTERIES IN THE IRRIGATION CONTROLLER(S) TO RETAIN PROGRAM IN MEMORY DURING TEMPORARY POWER FAILURES. USE QUANTITY, TYPE AND SIZE REQUIRED AS PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE MAINTENANCE CONTRACTOR, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER. A WRITTEN STATEMENTS SHALL BE PROVIDED BY CONTRACTOR TO THE LANDSCAPE ARCHITECT THAT THE MEETING HAS TAKING PLACE.
- INSTALL 2-WIRE CABLE ALONG THE MAIN LINE. CONTACT CONTROLLER REPRESENTATIVE FOR A PRE-CONSTRUCTION MEETING.
- INSTALL 2-WIRE CABLE WITHIN 1.25" CONDUIT WITH LONG SWEEPS IN AND OUT OF EACH VALVE BOX. SEAL ALL CONDUIT OPENINGS WITH WATERPROOF FOAM.
- INSTALL A 14"x19" GREY ELECTRICAL PULL BOX EVERY 200' AND AT EVERY CHANGE IN DIRECTION. ONLY SPLICE TWO WIRE CABLE AT THREE WAY WIRE CONNECTIONS.
- IRRIGATION CONTROL WIRES: SOLID COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND. SIZE #14AWG WIRE WITH A JACKETED 2-CONDUCTOR. PREFERRED WIRE MAKE AND MODEL IS P7354D. ALL SPLICING SHALL BE MADE WITH 3-M DBR/Y-6 WATERPROOF SPLICE KIT.
- DECODER GROUNDING SHALL BE PROVIDED EVERY (500 FEET OR EVERY 8 DECODERS, WHICHEVER IS SMALLER [RAIN BIRD],600 FEET [BASELINE, RAIN MASTER] ,750 FEET [TORO]), 300 FEET AT THE DECODER ONLY (CALSENSE), AT THE CONTROLLER AND AT THE LAST DECODER OR AT THE END OF THE 2 WIRE PATH. GROUND WITH A 5/8" X 8' COPPER CLAD GROUNDING ROD. #6 COPPER WIRE TO SURGE DEVICE/DECODER. INCLUDE A SURGE ARRESTOR AT EACH GROUNDING LOCATION. A SPLIT BOLT CONNECTION TO BE USED TO CONNECT THE SURGE DEVICE TO THE GROUND WIRE WITH A DBR/Y-6 WATERPROOF CONNECTOR.
- SPLICING OF JACKETED 2-WIRE IS PERMITTED IN VALVE BOXES ONLY. LEAVE A 24" LONG COIL OF WIRE AT EACH SPLICE AND A 24" LONG EXPANSION LOOP IN ALL PULL BOXES.
- INSTALL BLACK PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION CONTROL VALVE". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE NDS, CARSON OR APPROVED EQUAL.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, BUILDING OR LANDSCAPE FEATURE AND PROVIDE 12" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, LAWN, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, LAWN, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE, AND PROVIDE 12" FROM THE WALK, CURB, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE AND INSTALL EACH BOX 12" APART.
- VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS (AVOID LAWN AREAS WHERE POSSIBLE).
- THE CONTRACTOR SHALL LABEL CONTROL LINE WIRE AT EACH REMOTE CONTROL VALVE WITH A 2 1/4" X 2 3/4" POLYURETHANE I.D. TAG, INDICATING IDENTIFICATION NUMBER OF VALVE (CONTROLLER AND STATION NUMBER). ATTACH LABEL TO CONTROL WIRE. THE CONTRACTOR SHALL PERMANENTLY STAMP ALL VALVE BOX LIDS WITH APPROPRIATE IDENTIFICATION AS NOTED IN CONSTRUCTION DETAILS.
- FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF THE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.
- INSTALL A HUNTER HCV SERIES, KBI CV SERIES, OR APPROVED EQUAL SPRING LOADED CHECK VALVE IN SPRINKLER RISER ASSEMBLIES WHERE LOW OUTLET DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.
- WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, USE CAUTION TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATE BY HAND IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR. BACK FILL TRENCHES ADJACENT TO TREE WITHIN TWENTY-FOUR (24) HOURS. WHERE THIS IS NOT POSSIBLE, SHADE THE SIDE OF THE TRENCH ADJACENT TO THE TREE WITH WET BURLAP OR CANVAS.
- NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- IRRIGATION DEMAND: REFER TO PLANS.
- PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.
- WHEN WORK OF THIS SECTION HAS BEEN COMPLETED AND SUCH OTHER TIMES AS MAY BE DIRECTED, REMOVE ALL TRASH, DEBRIS, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLEMENTAL HAND WATERING OF ALL PLANT MATERIAL WITHIN DRIPLINE AREAS UNTIL THE PLANTS ARE SUFFICIENTLY ESTABLISHED.
- VERIFY LOCATIONS OF ALL IRRIGATION COMPONENTS INSTALLED WITHIN A VALVE BOX WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. DO NOT INSTALL UNTIL LANDSCAPE ARCHITECT PROVIDES ACCEPTABLE LOCATIONS.

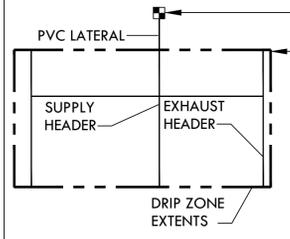
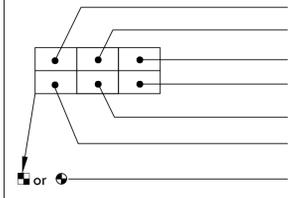
"A Landscape Irrigation Audit is require. This Audit must be completed by a Certified Landscape Irrigation Auditor, not the designer or installer. The Audit must be submitted to the Building Department, with Certificate of Completion (Appendix C) as required by the Department of Water Resources, prior to scheduling a Final Inspection of the Water Efficient Landscape permit."

WATER CONSERVATION STATEMENT
 RUSSELL D MITCHELL AND ASSOCIATES, INC. (RMA) HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

 JOSE L. CRUZ
 IRRIGATION CONSULTANT-PROJECT MANAGER

IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	DESCRIPTION	NOZZLE GPM	OPERATING PSI	OPERATING RADIUS (FEET)
③	HDL-06-12	ON GRADE HDL DRIPLINE WITH 12" O.C. EMITTER DRIP RING FOR TREES (3 RINGS PER TREE) SEE DETAIL	0.10	30	TRICKLE
⊙	PGV-101G	HUNTER REMOTE CONTROL VALVE			
⊠	PCZ-101-40	HUNTER REMOTE CONTROL DRIP KIT WITH 40 PSI REGULATOR			
●+	WLT-0500-T	NDS SCH 40 BALL VALVE OR APPROVED EQUAL			
⊠	ECO-ID	HUNTER ECO-INDICATOR			
⊕	KC OR KSC	NDS KSC SERIES CHECK VALVE FOR UPHILL FLOW DIRECTION OR KC SERIES SPRING CHECK VALVE FOR DOWNHILL FLOW DIRECTION (LINE SIZE)			
✂	LGT-XX-SS	LEEMCO STAINLESS STEEL GATE VALVE (LINE SIZE)-2.5" AND SMALLER			
⊠	975XLSEU-2"/PBB-20	WILKINS REDUCED PRESSURE BACKFLOW ASSEMBLY WITH FREEZE BLANKET.			
⊕	ICV-	HUNTER MASTER VALVE-(LINE SIZE) (NORMALLY CLOSED)			
⊕	HC-100-FLOW	HUNTER 1" FLOW METER (0.3 - 30 GPM)			
⊕	HCC-800-PL	HUNTER HCC (54) STATION CONTROLLER IN A PLASTIC WALL MOUNTED ENCLOSURE WITH A EZ DECODER SYSTEM.			
-	EZ-1	HUNTER SINGLE STATION DECODER (1 PER VALVE)			
-	EZ-DM	HUNTER DECODER OUTPUT MODULE FOR HCC CONTROLLERS			
-	HC-PLAN-ENTHUSIAST	HUNTER HYDRAWISE SOFTWARE			
-	NOT SHOWN ON PLANS	ROUTE TWO WIRE CABLE TO ALL REMOTE CONTROL VALVES. SIZE #14AWG WIRE WITH A JACKETED 2-CONDUCTOR. PREFERRED WIRE MAKE AND MODEL IS PAIGE ELECTRIC WIRE P7072D. ALL SPLICING SHALL BE MADE WITH 3-M DBR/Y-6 WATERPROOF SPLICE KITS OR APPROVED EQUAL. INSTALL 2 WIRE CABLE WITHIN 1.25" SCH 40 ELECTRICAL CONDUIT. PULL BOXES SHALL BE LOCATED EVERY 200' NO SPLICES ARE ALLOWED BETWEEN VALVES. REFER TO DETAIL FOR INSTALLATION INSTRUCTIONS.			
⊠	WR-CLIK	WIRELESS RAIN-CLIK SENSOR AND RECIEVER MOUNTED ON THE CONTROLLER ENCLOSURE.			
		CONTROLLER AND STATION NUMBER			
		REMOTE CONTROL VALVE SIZE (IN INCHES)			
		FLOW (GPM)			
		WATER USE CLASSIFICATION OF ZONE			
		APPLICATION RATE (IN/HR) or DRIPLINE SPACING			
		AREA (SQ. FT.)			
		ASSOCIATED REMOTE CONTROL VALVE			
		MAIN LINE: 2" THROUGHOUT: 1 1/2"-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.			
		LATERAL LINE: 3/4" AND LARGER: 1 1/2"-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.			
		DRIPLINE LATERAL LINE: 3/4" AND LARGER: 1 1/2"-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.			
		SLEEVING: SCHEDULE 40 PVC PLASTIC PIPE. COVER TO BE AS INDICATED IN SPECIFICATIONS OR AS INDICATED ABOVE FOR PIPE DEPTH OF COVER.			
		DRIPLINE REMOTE CONTROL VALVE			
		DRIP ZONE: HUNTER HDL SERIES DRIPLINE WITH BUILT IN PRESSURE COMPENSATION AND CHECK VALVE, PART #HDL-06-12-250-CV. USE PLD FITTINGS. TUBING TO BE INSTALLED 4" BELOW GRADE IN A 12" O.C. GRID ACCORDING TO DETAILS. SIZE EXHAUST HEADERS AS FOLLOWS: 1": 0-10 GPM, 1.25": 11-20 GPM. ALL EXHAUST HEADERS SHALL BE 1" SCH 40 PVC OR 1" SCH 40 FLEXIBLE PVC. USE SCH. 40 PVC SOLVENT WELD FITTINGS. EXTEND PVC HEADERS TO THE ENDS OF ALL DRIP ZONES TO BALANCE FLOW IF REQUIRED. SEE DETAILS FOR FURTHER INFORMATION.			
		DRIPLINE REMOTE CONTROL VALVE APPROXIMATE CONNECTION POINT BETWEEN DRIPLINE TUBING AND PVC SUPPLY WHEN DRIP ZONE IS LESS THAN 3 GPM AND NO PVC SUPPLY/EXHUST HEADERS ARE NEEDED. REFER TO DRIPLINE TUBING CONNECTION DETAIL FOR MORE INFORMATION.			



RMA
 RUSSELL D. MITCHELL & ASSOCIATES, INC.
 Irrigation Consultant
 2760 Camino Diablo
 Walnut Creek, CA 94597
 tel 925.939.3985 t fax 925.932.5671
 www.rmairrigation.com

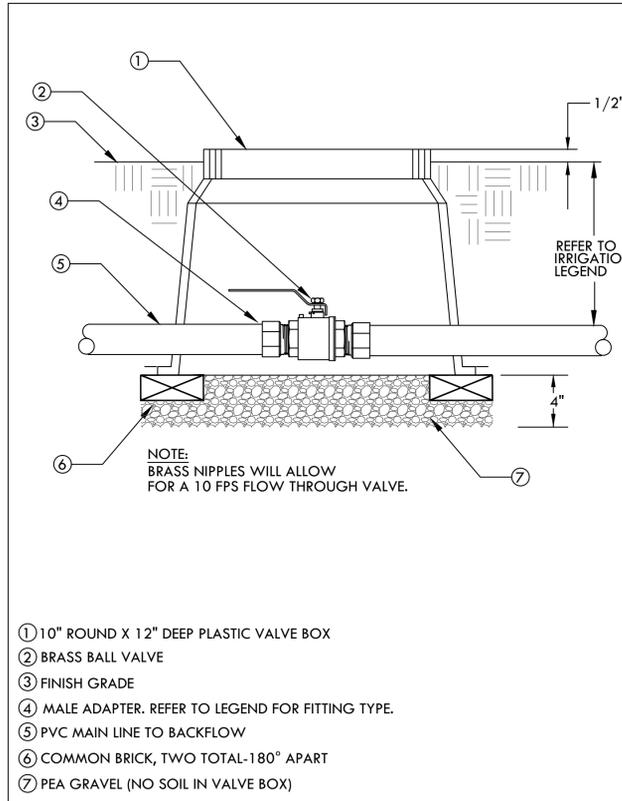
REVISIONS AND RECORD OF ISSUE:	NO.	DATE	DESCRIPTION
	1		
	2		
	3		
	4		
	5		
	6		

JONI L. JANECKI & ASSOCIATES
 515 SWIFT ST. SANTA CRUZ CA 95060
 PHONE 831.423.6040 | WWW.JLJA.COM
 California Landscape Architect License 3163

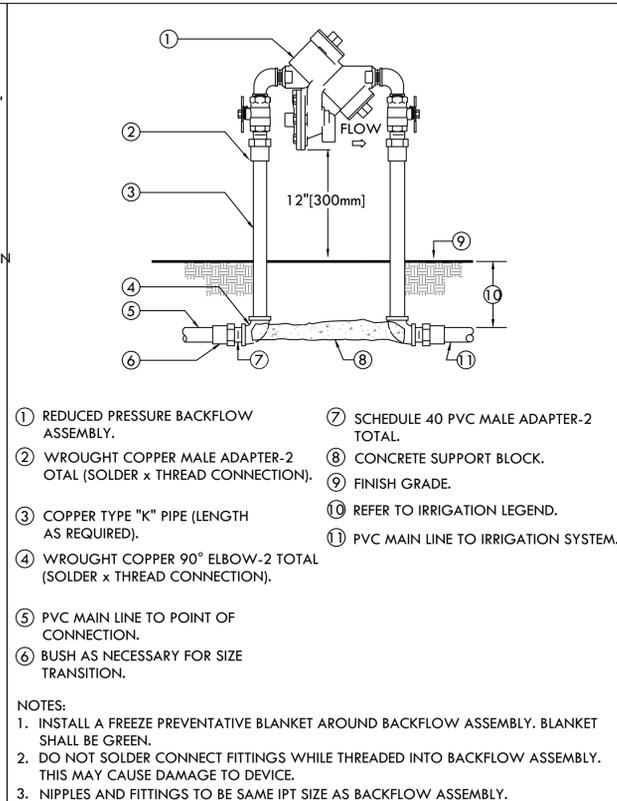
PROJECT:
FEATHER CYPRESS LLC
 3256 17 MILE DRIVE,
 PEBBLE BEACH CA, 93953
 APN: 008-462-008

SHEET TITLE:
IRRIGATION NOTES AND LEGEND

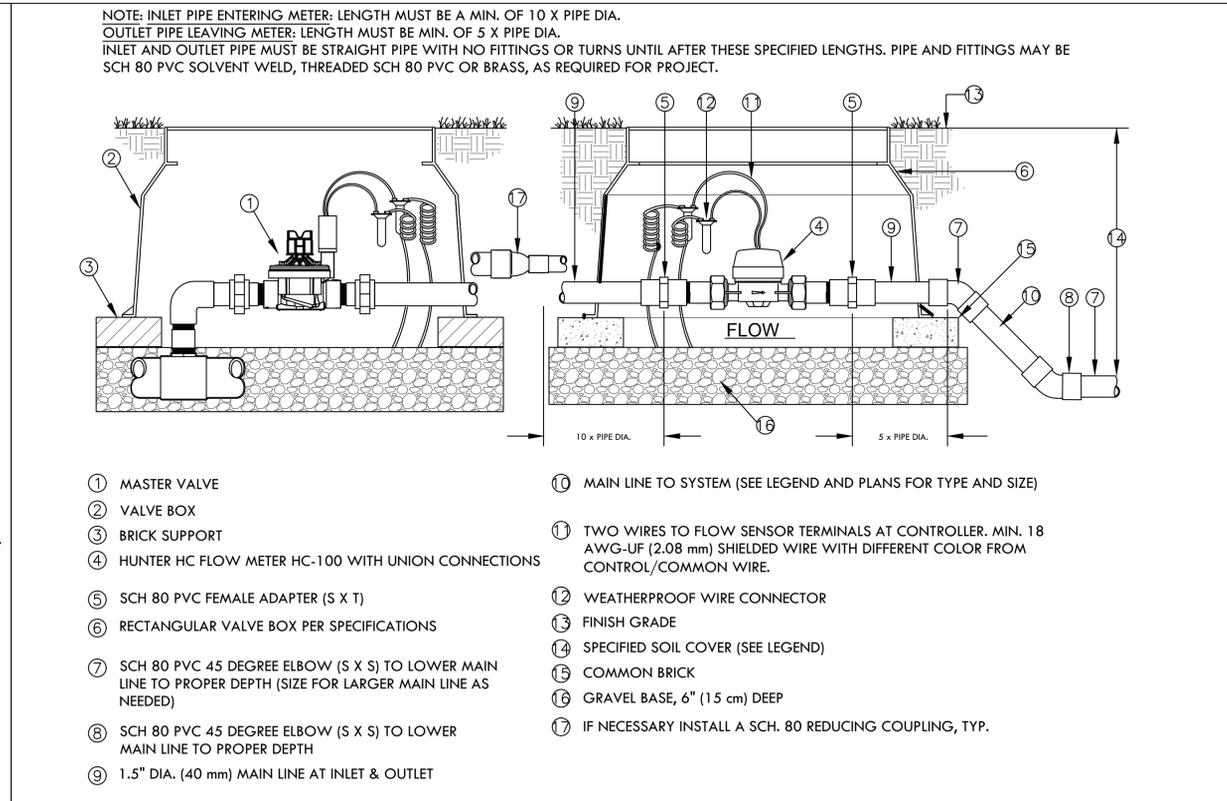
SCALE: AS SHOWN
DRAWN BY: AZ/PP/M/M/O
DATE: 11/16/2021



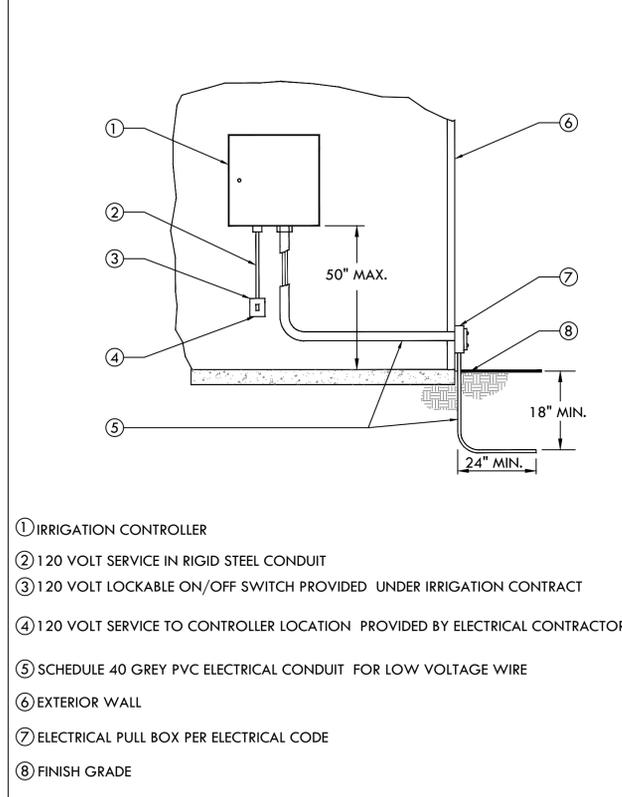
1 BALL VALVE-BRASS
 SCALE: NONE



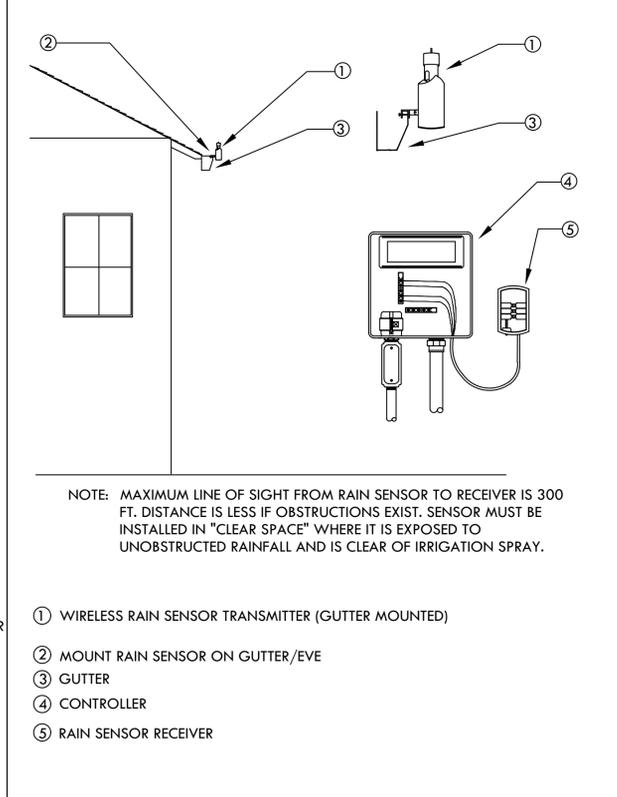
2 REDUCED PRESSURE BACKFLOW ASSEMBLY
 SCALE: NONE



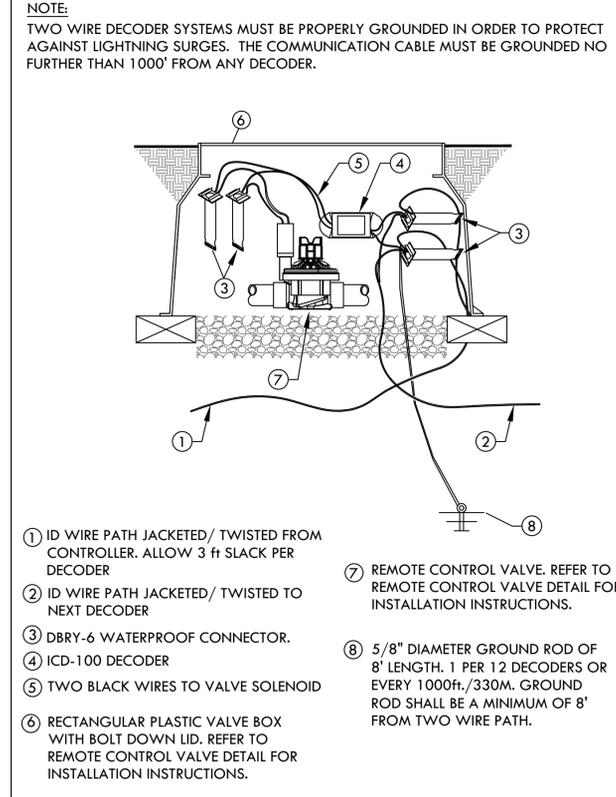
3 HUNTER HC-100 FLOW METER & MASTER VALVE INSTALLATION
 Scale: NONE
 Det:



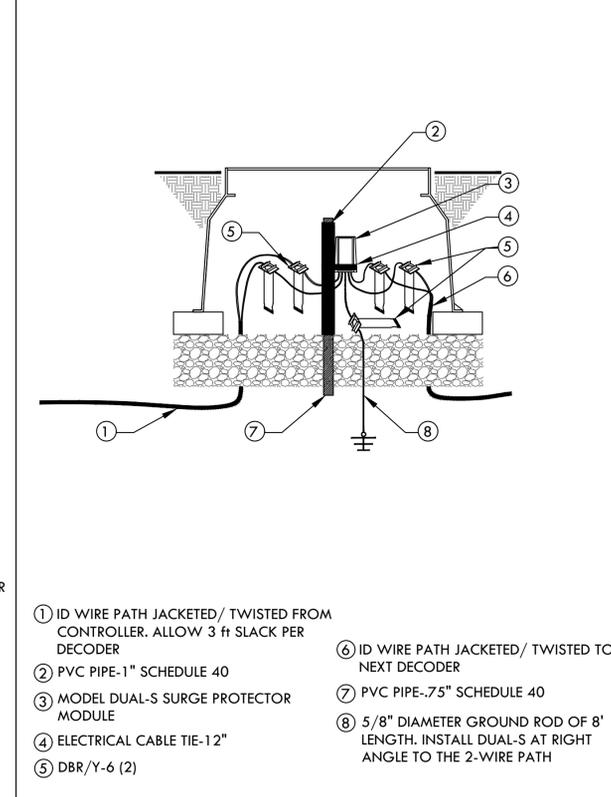
4 INTERIOR MOUNTED CONTROLLER
 SCALE: NONE



5 WIRELESS RAIN SENSOR-GUTTER MOUNT
 SCALE: NONE



6 HUNTER ICD DECODER
 SCALE: NONE



7 HUNTER DUAL-S SURGE DEVICE
 SCALE: NONE

REVISIONS AND RECORD OF ISSUE:	
NO.	DATE
1	
2	
3	
4	
5	
6	

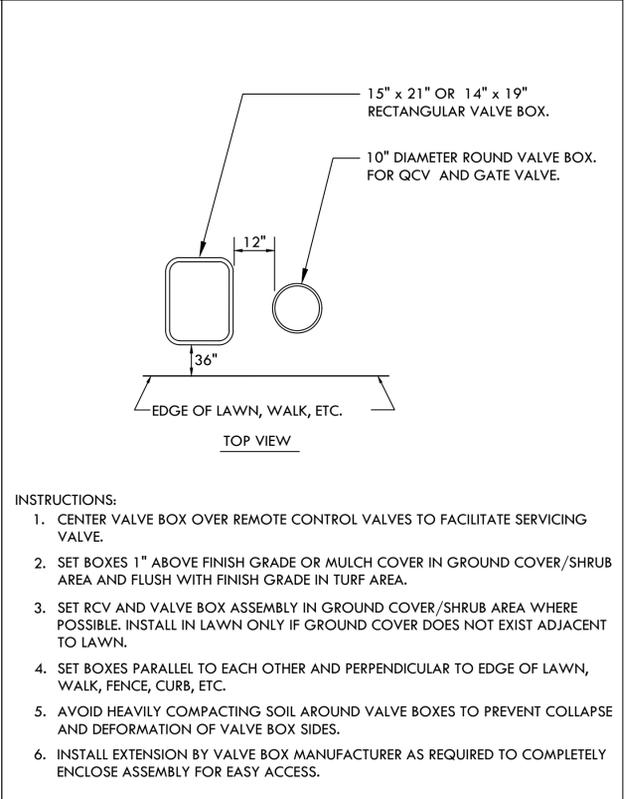
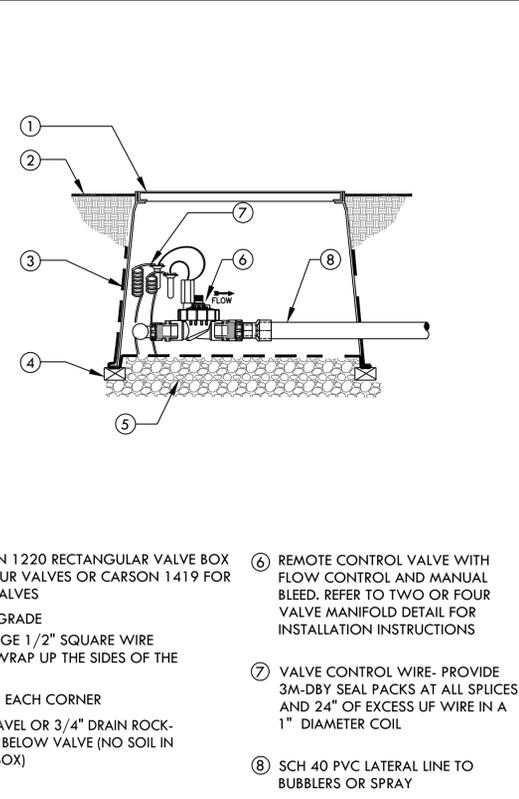
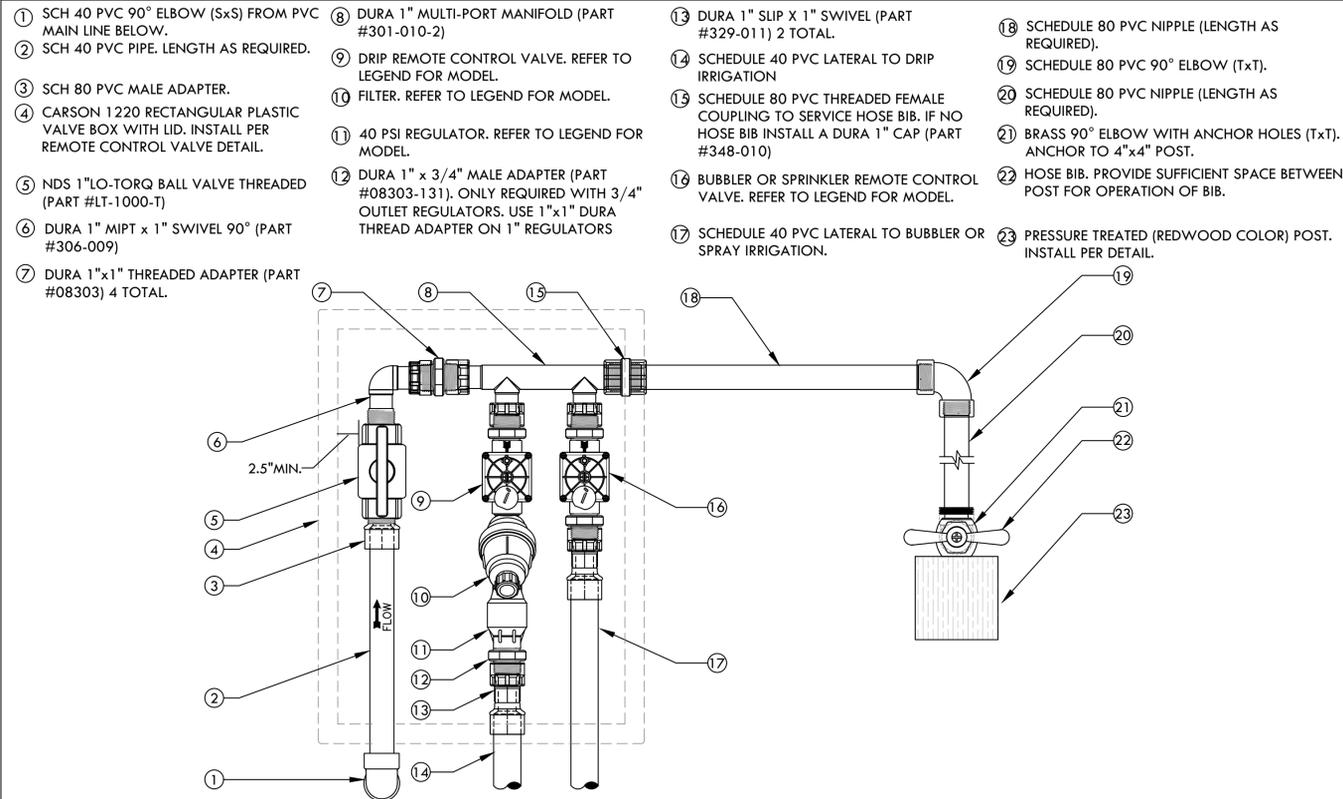
LANDSCAPE ARCHITECT
 No. 3163
 Exp. 9/30/22
 STATE OF CALIFORNIA

JONI L. JANECKI & ASSOCIATES
 515 SWIFT ST. SANTA CRUZ CA 95060
 PHONE 831.423.6040 | WWW.JLJA.COM
 California Landscape Architect License 3163

PROJECT: FEATHER CYPRESS LLC
 3256 17 MILE DRIVE,
 PEBBLE BEACH CA, 93953
 APN: 008-462-008

SHEET TITLE: IRRIGATION DETAILS

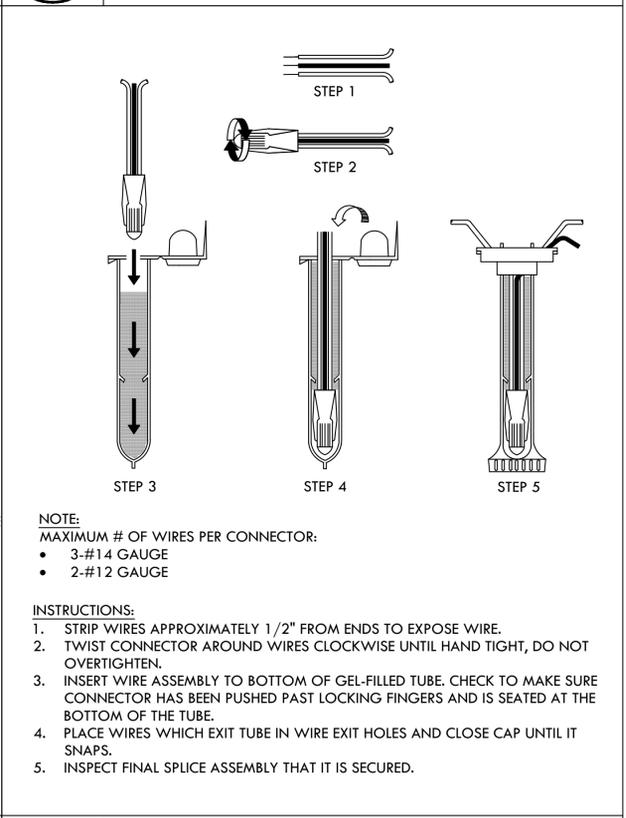
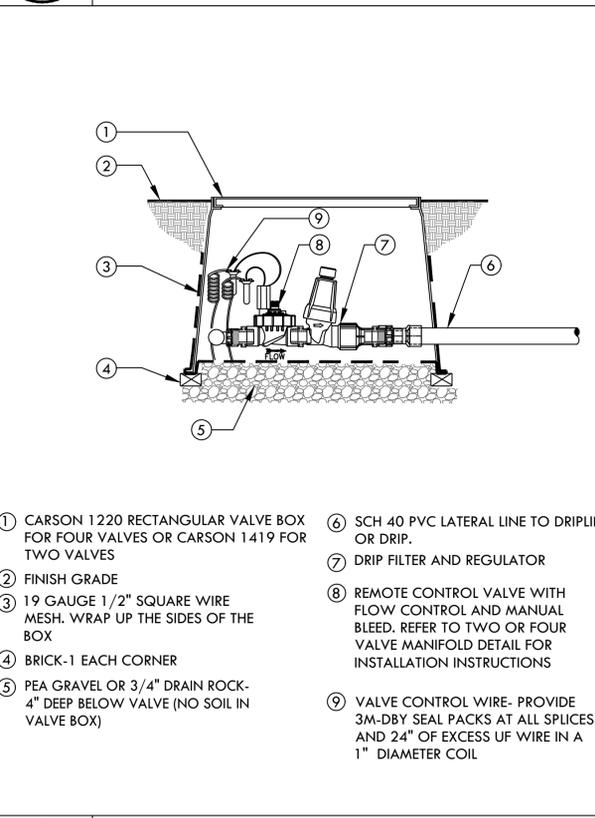
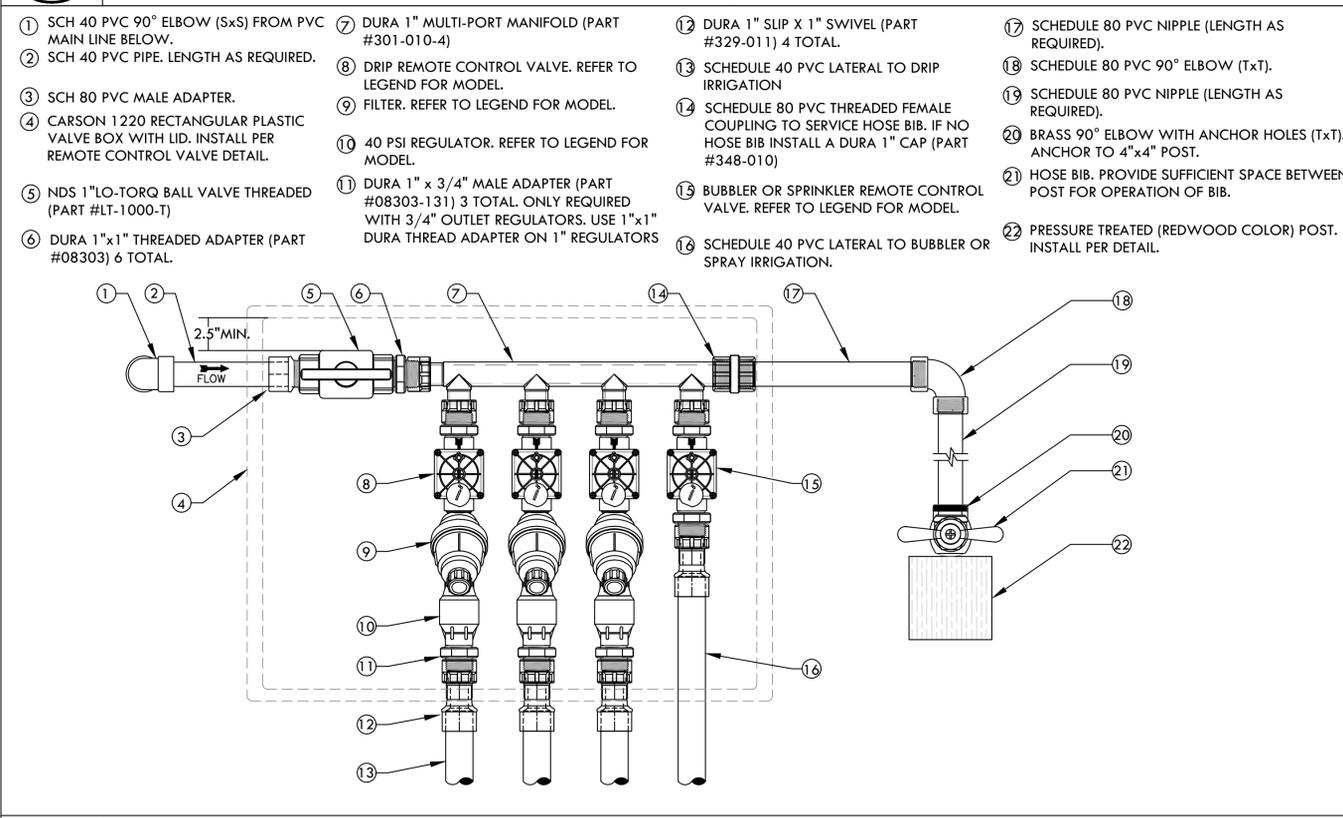
SCALE: AS SHOWN
 DRAWN BY: AZ/PP/MM/MO
 DATE: 11/16/2021



1 TWO REMOTE VALVE MANIFOLD DETAIL WITH HOSE BIB (1" VALVES ONLY)
SCALE: NONE

2 BUBBLER OR SPRAY REMOTE CONTROL VALVE IN TWO OR FOUR VALVE MANIFOLD
SCALE: NONE

3 VALVE BOX INSTALLATION
SCALE: NONE



4 FOUR REMOTE VALVE MANIFOLD DETAIL WITH HOSE BIB (1" VALVES ONLY)
SCALE: NONE

5 DRIP REMOTE CONTROL VALVE IN TWO OR FOUR VALVE MANIFOLD
SCALE: NONE

6 WEATHERPROOF WIRE SPlice ASSEMBLY
SCALE: NONE

REVISIONS AND RECORD OF ISSUE:	
NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	

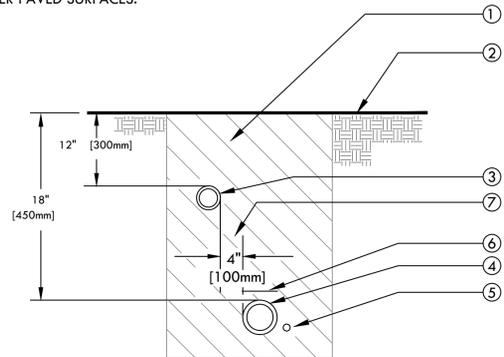
JONI L. JANECKI & ASSOCIATES
 515 SWIFT ST. SANTA CRUZ CA 95060
 PHONE 831.423.6040 | WWW.JLJA.COM
 California Landscape Architect License 3163

PROJECT: FEATHER CYPRESS LLC
 3256 17 MILE DRIVE,
 PEBBLE BEACH CA, 93953
 APN: 008-462-008

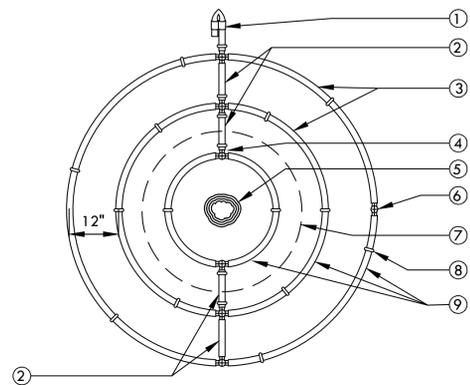
SHEET TITLE: IRRIGATION DETAILS

SCALE: AS SHOWN
 DRAWN BY: AZ/PP/MM/MO
 DATE: 11/16/2021

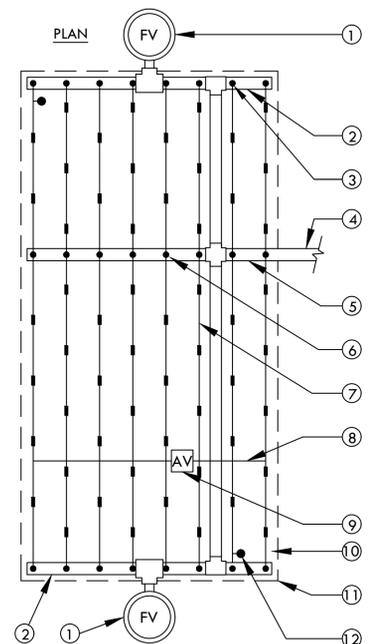
NOTES:
1. ALL MAIN SUPPLY LINES AND LATERAL LINES SHALL BE PLACED IN SLEEVES UNDER PAVED SURFACES. INSTALL LOW VOLTAGE WIRES WITHIN A SEPARATE CONDUIT UNDER PAVED SURFACES.



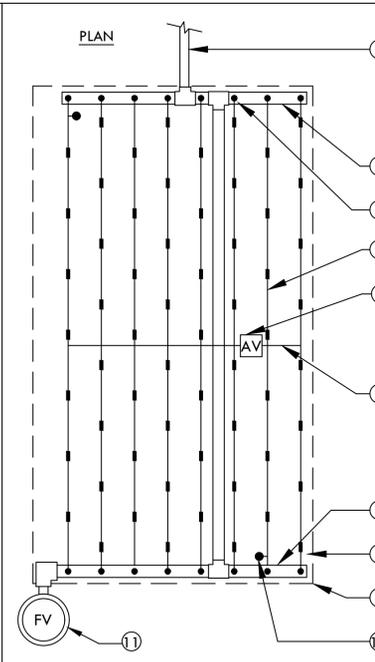
- ① CLEAN BACKFILL MATERIAL.
- ② FINISH GRADE.
- ③ LATERAL LINE.
- ④ MAIN LINE.
- ⑤ 2-WIRE CABLE. CABLE SHALL BE LAID OUT LOOSELY IN THE TRENCH.
- ⑥ 3" DETECTABLE WARNING TAPE OVER MAIN LINE - 3" [75mm] ABOVE PIPE. USE CHRISTY MODEL #TA-DT-3-BIRR FOR POTABLE IRRIGATION SYSTEMS OR #TA-DT-3-PRW FOR RECYCLED IRRIGATION WATER SYSTEMS
- ⑦ TYPICAL DISTANCE BETWEEN PIPES.



- ① FIGURE 8 LINE END
 - ② BLANK TUBING
 - ③ DRIPLINE
 - ④ HUNTER PLD-TEE (PLD-TEE)
 - ⑤ TREE TRUNK
 - ⑥ ADAPTER TEE FROM PVC TO DRIPLINE.
 - ⑦ ROOT BALL
 - ⑧ 6-INCH SOIL STAPLE (TYP) EQUALLY SPACE 4 AROUND EACH TUBE RING
 - ⑨ LOCATE FIRST DRIPLINE RING HALFWAY BETWEEN THE TRUNK AND EDGE OF ROOTBALL. LOCATE THE SECOND DRIPLINE RING AT EDGE OF ROOTBALL. LOCATE THE THIRD RING 12" OUTSIDE THE SECOND RING
- NOTE:
SUGGESTED QUANTITY DRIP RINGS PER TREE SIZE:
• 15 GAL OR 24" BOX = 2 RINGS
• 36 GAL OR 48" BOX = 3 RINGS
• 60 GAL OR LARGER = 4 RINGS



- NOTE:
1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.



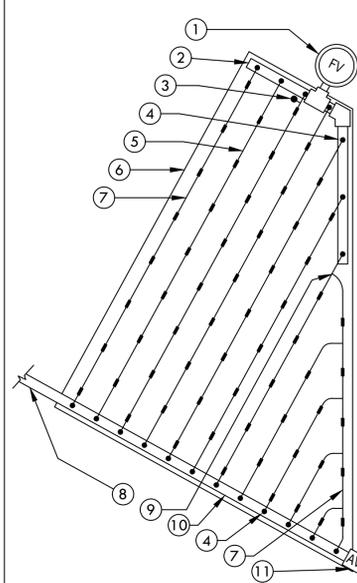
- NOTE:
1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

1 TRENCHING
SCALE: NONE

2 DRIP RINGS AROUND TREE
SCALE: NONE

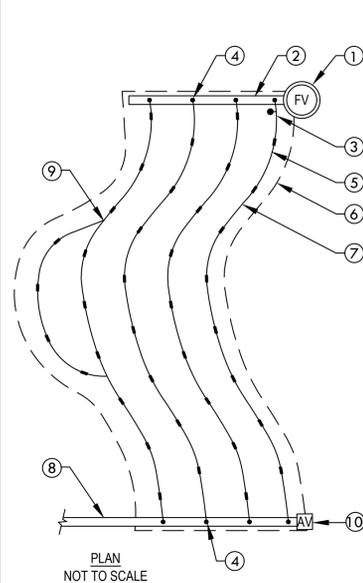
3 HLD DRIPLINE CENTER FEED LAYOUT
SCALE: NONE

4 HLD DRIPLINE END FEED LAYOUT
SCALE: NONE



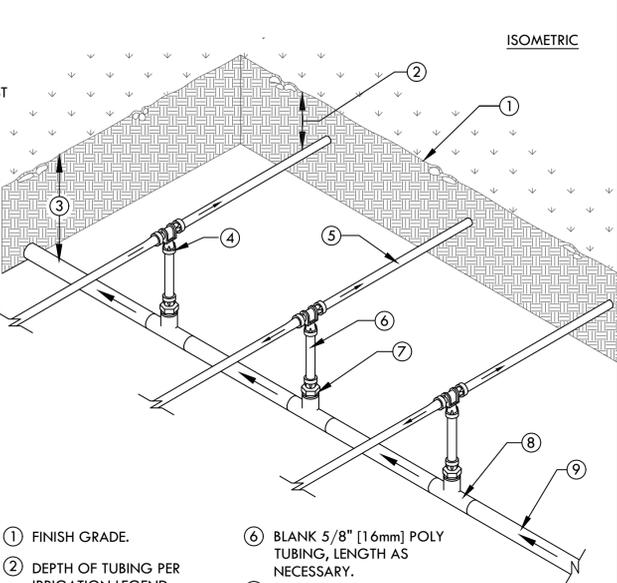
- ① FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT
- ② 1" SCH 40 PVC OR FLEXIBLE PVC IPS HOSE FLUSH MANIFOLD.
- ③ DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.
- ④ MANIFOLD-TO-ELBOW CONNECTION.
- ⑤ DRIPLINE LATERAL.
- ⑥ AREA PERIMETER.
- ⑦ PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
- ⑧ PVC LATERAL LINE FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
- ⑨ HUNTER PLD-TEE (PLD-TEE)
- ⑩ PVC SUPPLY MANIFOLD.
- ⑪ HUNTER PLD AIR/VACUUM RELIEF VALVE (PLD-AVR) PLUMBED TO SUPPLY MANIFOLD AT HIGH POINT.

- NOTE:
1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.



- ① FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT
- ② 1" SCH 40 PVC OR FLEXIBLE PVC IPS HOSE FLUSH/EXHAUST MANIFOLD.
- ③ DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.
- ④ MANIFOLD-TO-ELBOW CONNECTION.
- ⑤ DRIPLINE LATERAL.
- ⑥ AREA PERIMETER.
- ⑦ PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
- ⑧ PVC SUPPLY LINE/HEADER FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
- ⑨ HUNTER PLD-TEE (PLD-TEE)
- ⑩ HUNTER PLD AIR/VACUUM RELIEF VALVE (PLD-AVR) PLUMBED TO SUPPLY MANIFOLD AT HIGH POINT.

- NOTE:
1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.



- ① FINISH GRADE.
 - ② DEPTH OF TUBING PER IRRIGATION LEGEND.
 - ③ DEPTH OF PVC LATERAL LINE PER IRRIGATION LEGEND
 - ④ HUNTER PLD-TEE (PLD-TEE)
 - ⑤ DRIPLINE TUBING.
 - ⑥ BLANK 5/8" [16mm] POLY TUBING, LENGTH AS NECESSARY.
 - ⑦ HUNTER PLD-MPT ADAPTER (PLD-050)
 - ⑧ PVC TEE (SxSxT) WITH 1/2" [13mm] FPT OUTLET.
 - ⑨ PVC LATERAL LINE FROM REMOTE CONTROL VALVE.
- NOTE:
THE TOTAL LENGTH OF A SINGLE DRIP LINE RUN SHALL NOT EXCEED 300 FT.

5 HLD DRIPLINE TRIANGULAR LAYOUT
SCALE: NONE

6 HLD DRIPLINE ODD CURVE LAYOUT
SCALE: NONE

7 HLD DRIPLINE CENTER FEED MANIFOLD
SCALE: NONE

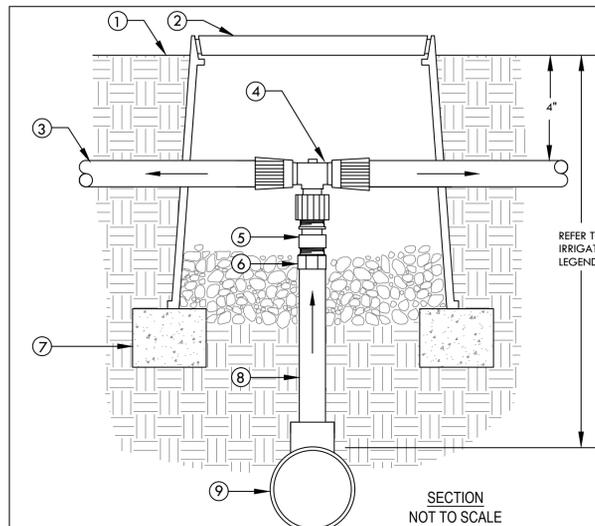
RMA
RUSSELL D. MITCHELL & ASSOCIATES, INC.
Irrigation Consultant:
2760 Camino Diablo
Walnut Creek, CA 94597
tel 925.939.3985 fax 925.932.5671
www.rmairrigation.com

REVISIONS AND RECORD OF ISSUE:	
NO.	DATE
1	
2	
3	
4	
5	
6	

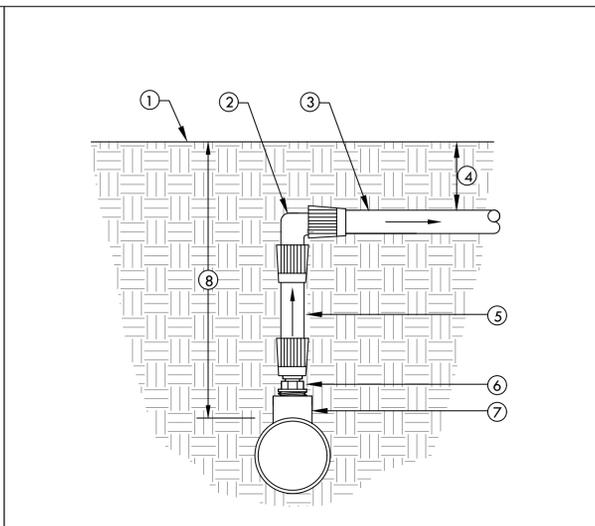
JONI L. JANECKI & ASSOCIATES
515 SWIFT ST. SANTA CRUZ CA 95060
PHONE 831.423.6040 | WWW.JLJA.COM
California Landscape Architect License 3163

PROJECT: FEATHER CYPRESS LLC
3256 17 MILE DRIVE,
PEBBLE BEACH CA, 93953
APN: 008-462-008

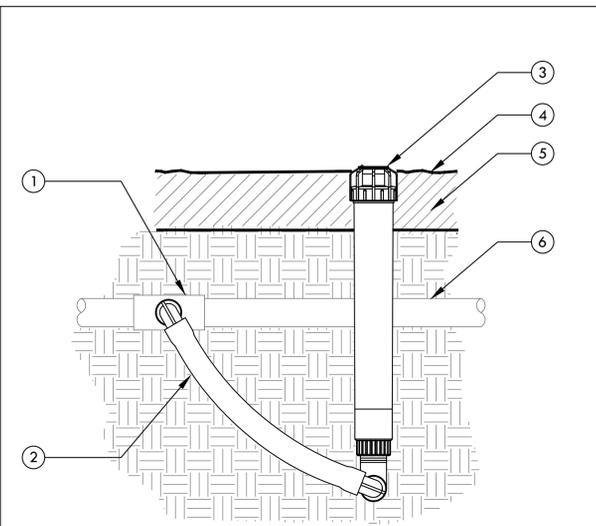
SHEET TITLE: IRRIGATION DETAILS
SCALE: AS SHOWN
DRAWN BY: AZ/PP/MM/MO
DATE: 11/16/2021



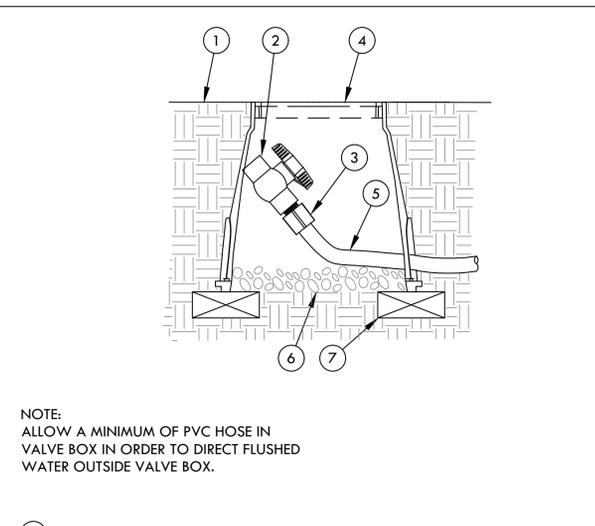
- ① FINISH GRADE
- ② CARSON 708 OR EQUAL. COLOR: BLACK. USE PURPLE FOR RECYCLED WATER SYSTEMS.
- ③ DRIPLINE TUBING
- ④ HUNTER PLD-TEE X 1/2" FPT ADAPTER
- ⑤ TORO 1/2" CHECK VALVE (PCV-500)
- ⑥ 1/2" SCH 40 MALE ADAPTER.
- ⑦ BRICK (1 OF 2)
- ⑧ 1/2" SCH 40 PVC (LENGTH AS REQUIRED)
- ⑨ PVC LATERAL LINE SUPPLY. MINIMUM SIZE TO BE 1" UNLESS SIZED DIFFERENTLY ON DRAWINGS. USE SCH 40 PVC 1"x1"x1/2" TEE OR 90° ELBOW.



- ① FINISH GRADE
- ② HUNTER PLD-ELBOW (PLD-ELB)
- ③ DRIPLINE TUBING
- ④ DEPTH OF TUBING PER IRRIGATION LEGEND.
- ⑤ BLANK 5/8" [16mm] POLY TUBING, LENGTH AS NECESSARY.
- ⑥ HUNTER PLD-MPT ADAPTER (PLD-050)
- ⑦ SCH 40 PVC TEE (5x5xT) WITH 1/2" FPT OUTLET.
- ⑧ DEPTH OF PVC LATERAL LINE PER IRRIGATION LEGEND



- ① UPC APPROVED SCHEDULE 40 PVC TEE, ELBOW OR BARB x THREAD DRIP FITTING TEE OR ELBOW WITH 3/4" OUTLET.
- ② 1/2" X 3/4" X 6" HUNTER SWING JOINT (SJ-7506)
- ③ ECO INDICATOR
- ④ FINISHED GRADE
- ⑤ MULCH
- ⑥ PVC LATERAL PIPE OR DRIPLINE



- ① FINISH GRADE
- ② 1/2" SCH 40 THREADED BALL VALVE.
- ③ 1/2" SCH 40 MALE ADAPTER.
- ④ 6" ROUND PLASTIC VALVE BOX.
- ⑤ 1" IPS PVC HOSE FROM EXHAUST HEADER.
- ⑥ PEA GRAVEL SUMP (6" DEEP).
- ⑦ BRICK (1 OF 2)

1 DRIPLINE TO PVC CONNECTION
SCALE: NONE

2 DRIPLINE MANIFOLD TO ELBOW CONNECTION
SCALE: NONE

3 DRIPLINE OPERATION INDICATOR
SCALE: NONE

4 DRIPLINE-FLUSH POINT
SCALE: NONE

WATER USE ESTIMATION - 17 Mile Drive Feather Main House, Pebble Beach CA

WATER TYPE	POTABLE
SITE ETO#	36
	11/19/2021

HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/ YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
1	COASTAL AND DROUGHT ADAPTED FOUNTAIN PLANTING	LOW	0.3	DRIP	0.81	0.370	1,309	485	10,821	0.03	14.47	3%
2	MONTEREY CYPRESS FOREST UNDERSTORY	LOW	0.3	DRIP	0.81	0.370	18,756	6,946	155,041	0.48	207.27	28%
3	NORTHERN COASTAL BLUFF SHRUB	LOW	0.3	DRIP	0.81	0.370	3,155	1,169	26,081	0.08	34.87	6%
4	BLUFF CYPRESS ECOTONE	LOW	0.3	DRIP	0.81	0.370	25,757	9,540	212,925	0.65	284.66	52%
5	WATER FFATURF	HIGH					351		7,738			1%
6	POOL/SPA	HIGH					675		14,880			1%
TOTALS							50,002	19,153	427,486	1.31	571.51	100%

HYDROZONE #	HYDROZONE NAME	1	0%
TOTALS		0	0%

MAWA	GALLONS/YR	502,220
	ACRE FEET/YR	1.54
	HCF/YR	671.42
ETWU	GALLONS/YR	427,486
	ACRE FEET/YR	1.31
	HCF/YR	571.51

MAWA FORMULA
 MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR
 $MAWA = (ETO)(0.62)[(LA \times 0.45) + (0.55 \times SLA)]$
 ETO = REFERENCE EVAPOTRANSPIRATION
 0.55 = ET ADJUSTMENT FACTOR
 LA = LANDSCAPED AREA (SQUARE FEET)
 0.62 = CONVERSION FACTOR (GALLONS/SQ FT/YR)

ETWU FORMULA
 ESTIMATED TOTAL WATER USE (ETWU) GALLONS PER YEAR
 $ETWU = (ETO)(.62)(ETAF \times LA)$
 ETO = REFERENCE EVAPOTRANSPIRATION
 PF = PLANT FACTOR FOR HYDROZONES
 HA = HYDROZONE AREA (SQ FT)
 0.62 = CONVERSION FACTOR (GALLONS/SQ FT/YR)
 IE = IRRIGATION EFFICIENCY (0.81)-BUBBLER/DRIP
 IE = IRRIGATION EFFICIENCY (0.75)-ROTORS/SPRAY

SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT
81.0%	0.31	YES

ETAF Calculations	
REGULAR LANDSCAPE AREAS	
TOTAL ETAF x AREA	19,153
TOTAL AREA	50,002
AVG. ETAF	38.30%



REVISIONS AND RECORD OF ISSUE:	
NO.	DATE
1.	
2.	
3.	
4.	
5.	
6.	



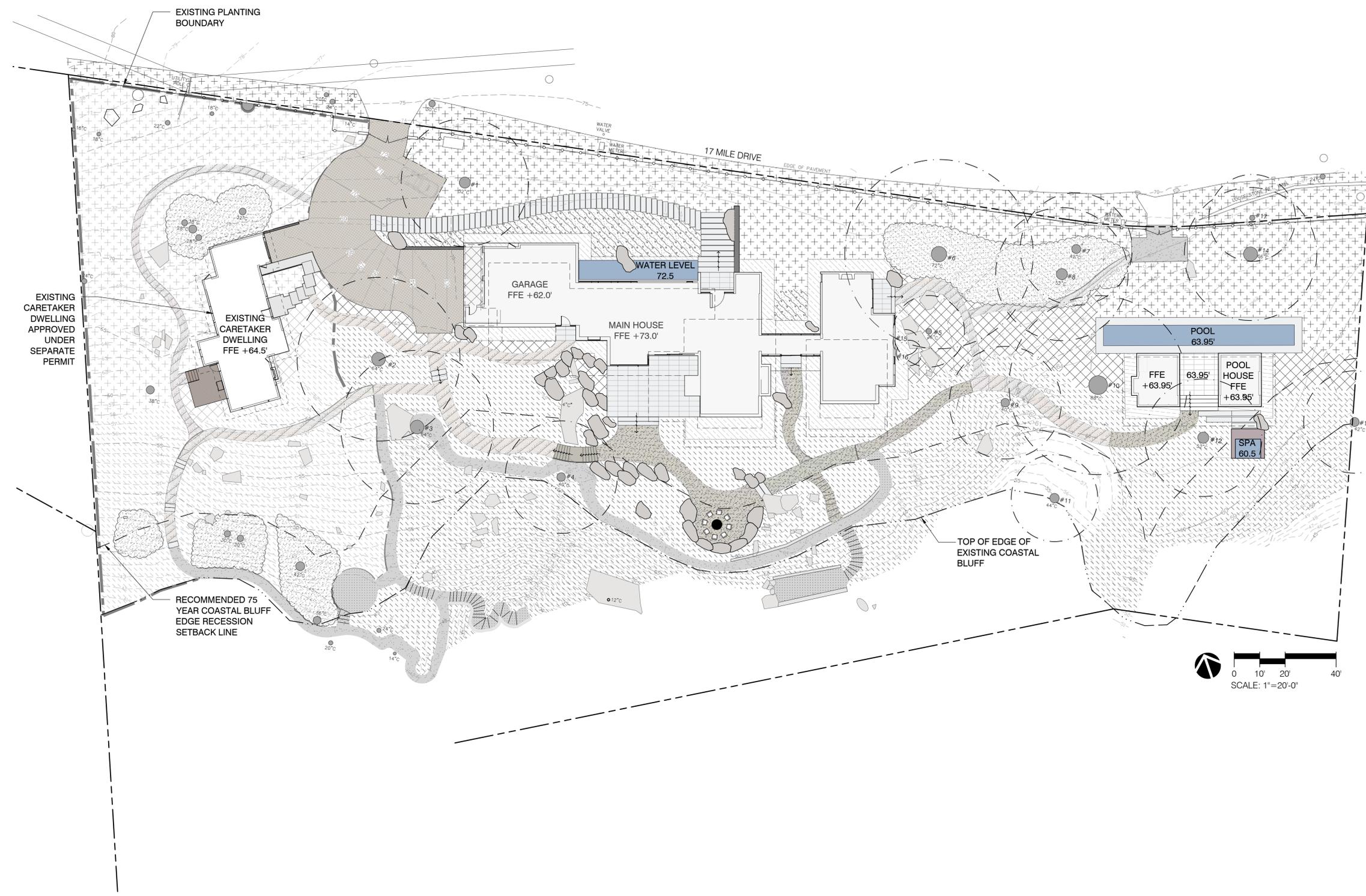
JONI L. JANECKI & ASSOCIATES
 515 SWIFT ST. SANTA CRUZ CA 95060
 PHONE 831.423.6040 | WWW.JLJA.COM
 California Landscape Architect License 3163

PROJECT: **FEATHER CYPRESS LLC**
 3256 17 MILE DRIVE,
 PEBBLE BEACH CA, 93953
 APN: 008-462-008

SHEET TITLE: **IRRIGATION DETAILS AND WATER CALCULATION**

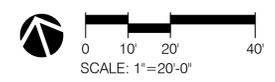
SCALE: AS SHOWN
 DRAWN BY: AZ/PP/M/MO
 DATE: 11/16/2021

\\jred31\Termination\PROJECTS\RESIDENTIAL\21-210 Feather House\Drawings\Archive\2022-08-05 Feather_Planning Submittal_REV13\CAD\Feather_Landscape.dwg, L3.0 Planning Plan, 08/12/2022 4:15:58 PM, AutoCAD PDF (Smallest File).pc3, ARCH full bleed D (24.00 x 36.00 inches), 1:1



- LEGEND**
- PROPERTY LINE
 - COASTAL AND DROUGHT ADAPTED FOUNDATION PLANTING
 - MONTEREY CYPRESS FOREST UNDERSTORY
 - NORTHERN COASTAL BLUFF SCRUB
 - NORTHERN COASTAL BLUFF SCRUB AND MONTEREY CYPRESS FOREST UNDERSTORY ECOTONE

- CRITICAL ROOT ZONE
- TREE TAG NUMBER
- EXISTING TREE TO REMAIN AND PROTECT IN PLACE
- MONTEREY CYPRESS FOREST GERMINATION AREAS



REVISIONS AND RECORD OF ISSUE: <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">NO.</th> <th style="width: 15%;">DATE</th> <th style="width: 80%;">DESCRIPTION</th> </tr> <tr> <td>1.</td> <td>12/20/2021</td> <td>PLANNING SET</td> </tr> <tr> <td>2.</td> <td>01/28/2022</td> <td>REVISION A</td> </tr> <tr> <td>3.</td> <td>08/05/2022</td> <td>REVISION A</td> </tr> <tr> <td>4.</td> <td></td> <td></td> </tr> <tr> <td>5.</td> <td></td> <td></td> </tr> <tr> <td>6.</td> <td></td> <td></td> </tr> </table>	NO.	DATE	DESCRIPTION	1.	12/20/2021	PLANNING SET	2.	01/28/2022	REVISION A	3.	08/05/2022	REVISION A	4.			5.			6.			<div style="text-align: center;"> </div> <p style="text-align: center;"> JONI L. JANECKI & ASSOCIATES <small>515 SWIFT ST. SANTA CRUZ CA 95060 PHONE 831.423.6040 WWW.JLJA.COM California Landscape Architect License 3163</small> </p>
NO.	DATE	DESCRIPTION																				
1.	12/20/2021	PLANNING SET																				
2.	01/28/2022	REVISION A																				
3.	08/05/2022	REVISION A																				
4.																						
5.																						
6.																						
<p>PROJECT: FEATHER CYPRESS LLC 3256 17 MILE DRIVE, PEBBLE BEACH CA, 93953 APN: 008-462-008</p>																						
<p>SHEET TITLE: PLANTING PLAN</p>																						
<p>SCALE: AS SHOWN DRAWN BY: AZ/PP/MMMO DATE: 08/05/2022</p>																						
<p>NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"</p>																						
<p>L3.0</p>																						

\\jded31\Termination\PROJECTS\RESIDENTIAL\21-210 Feather House\Drawings\Archive\2022-08-05 Feather_Planning Submittal_REV\3\CAD\Feather Landscape.dwg, L3.1 Planning Schedule, 08/12/2022 4:16:03 PM, AutoCAD PDF (Smallest File).pc3, ARCH Full bleed D (24.00 x 36.00 inches), 1:1

PLANT SCHEDULE						
COASTAL AND DROUGHT ADAPTED FOUNDATION PLANTING	CODE	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	REMARKS
	ACH MIL	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	ARC SPP	ARCTOSTAPHYLOS SPP.	MANZANITA	5 GAL	LOW	
	CAL NUT	CALAMAGROSTIS NUTKAENSIS	PACIFIC REED GRASS	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	CAR PAN	CAREX PANSA	SANDDUNE SEDGE	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	CEA SPP	CEANOTHUS SPP.	CALIFORNIA LILAC	5 GAL	LOW	
	ERI GLA	ERIGERON GLAUCUS	SEASIDE DAISY	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	FRA CAL	FRANGULA CALIFORNICA	CALIFORNIA BUCKTHORN	5 GAL	LOW	
	IRI DOU	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	POL MUN	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	5 GAL	LOW	
	VAC OVA	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	1 GAL	LOW	
MONTEREY CYPRESS FOREST UNDERSTORY	CODE	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	REMARKS
	CAL NU2	CALAMAGROSTIS NUTKAENSIS	PACIFIC REED GRASS	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	COR FIL	CORETHROGYNE FILAGINIFOLIA	CALIFONIA ASTER	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	ERI GL2	ERIGERON GLAUCUS	BEACH DAISY	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	HIE OCC	HIEROCHLOE OCCIDENTALIS	CALIFORNIA SWEETGRASS	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	IRI DO2	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	PHA CAL	PHALARIS CALIFORNICA	CALIFORNIA CANARY GRASS	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	SAT DOU	SATUREJA DOUGLASII	YERBA BUENA	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	STA BUL	STACHYS BULLATA	HEDGE NETTLE	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
NORTHERN COASTAL BLUFF SCRUB	CODE	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	REMARKS
	ARM MAR	ARMERIA MARITIMA	SEA THRIFT	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	AST NUT	ASTRAGALUS NUTTALLII	NUTTALL'S MILKVETCH	4" POT	LOW	SITE SPECIFIC CONTRACT GROWN
	COR FI2	CORETHROGYNE FILAGINIFOLIA	CALIFONIA ASTER	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	DIS SP1	DISTICHLIS SPICATA	SALTGRASS	4" POT	LOW	SITE SPECIFIC CONTRACT GROWN
	DUD FAR	DUDLEYA FARINOSA	BLUFF LETTUCE	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	ERI GL3	ERIGERON GLAUCUS	SEASIDE DAISY	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	ERI PAR	ERIOGONUM PARVIFOLIUM	CLIFF BUCKWHEAT	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	ERI STA	ERIOPHYLLUM STAECHADIFOLIUM	LIZARD-TAIL	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	IRI DO3	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	LOT HE2	LOTUS HEERMANNII ORBICULARIS	WOOLY LOTUS	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	STA BU2	STACHYS BULLATA	HEDGE NETTLE	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN

PLANT SCHEDULE						
NORTHERN COASTAL BLUFF SCRUB AND MONTEREY CYPRESS FOREST UNDERSTORY ECOTONE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	REMARKS
	ARM MA2	ARMERIA MARITIMA	SEA THRIFT	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	COR FI3	CORETHROGYNE FILAGINIFOLIA	CALIFONIA ASTER	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	DUD FA2	DUDLEYA FARINOSA	BLUFF LETTUCE	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	ERI GL4	ERIGERON GLAUCUS	SEASIDE DAISY	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	ERI PA2	ERIOGONUM PARVIFOLIUM	CLIFF BUCKWHEAT	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	IRI DO4	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN
	SAT DO2	SATUREJA DOUGLASII	YERBA BUENA	1 GAL	LOW	SITE SPECIFIC CONTRACT GROWN

NOTES

1. COASTAL STRAND COLLECTION AREAS WITHIN PEBBLE BEACH SHALL BE LIMITED TO SPANISH BAY THROUGH CYPRESS POINT GOLF CLUB.
2. MONTEREY CYPRESS FOREST UNDERSTORY AREAS SHALL BE LIMITED TO THE CROCKER GROVE AREA.
3. ALL SEED COLLECTION AREAS SHALL BE REVIEWED WITH BIOLOGIST AND LANDSCAPE ARCHITECT PRIOR TO COLLECTING. DOCUMENTATION OF SEED SOURCE LOCATION SHALL BE RECORDED AND REVIEWED WITH BIOLOGIST AND LANDSCAPE ARCHITECT.

REVISIONS AND RECORD OF ISSUE:

NO.	DATE	DESCRIPTION
1.	12/20/2021	PLANNING SET
2.	01/28/2022	REVISION A
3.		
4.		
5.		
6.		

JONI L. JANECKI & ASSOCIATES
 515 SWIFT ST. SANTA CRUZ CA 95060
 PHONE 831.423.6040 | WWW.JLJA.COM
 California Landscape Architect License 3163

PROJECT:

FEATHER CYPRESS LLC
 3256 17 MILE DRIVE,
 PEBBLE BEACH CA, 93953
 APN: 008-462-008

SHEET TITLE:
PLANT SCHEDULE AND NOTES

SCALE:
 DRAWN BY: A2/PP/MMMO
 DATE: 08/05/2022

\\jcd31\Termination\PROJECTS\RESIDENTIAL\21-210 Feather House\Drawings\Archive\2022-08-05 Feather_Planning Submittal_REV3\CAD\Feather_Landscape.dwg, L4.0 Fuel Management Plan, 08/12/2022 4:16:08 PM, AutoCAD PDF (Smallest File).pcg, ARCH full bleed D (24.00 x 36.00 inches), 1:1



- LEGEND**
- PROPERTY LINE
 - NON-COMBUSTIBLE ZONE (0-5')
 - RESTORATION AND LANDSCAPE ZONE (5-30')
 - FUEL REDUCTION ZONE (30-100')
 - COASTAL AND DROUGHT ADAPTED FOUNDATION PLANTING
 - MONTEREY CYPRESS FOREST UNDERSTORY
 - NORTHERN COASTAL BLUFF SCRUB
 - NORTHERN COASTAL BLUFF SCRUB AND MONTEREY CYPRESS FOREST UNDERSTORY ECOTONE
 - EXISTING TREE TO REMAIN AND PROTECT IN PLACE
 - MONTEREY CYPRESS FOREST GERMINATION AREAS

NO.	DATE	DESCRIPTION
1.	12/20/2021	PLANNING SET
2.	01/28/2022	REVISION A
3.	08/05/2022	REVISION B
4.		
5.		
6.		

JONI L. JANECKI & ASSOCIATES
 515 SWIFT ST. SANTA CRUZ CA 95060
 PHONE 831.423.6040 | WWW.JLJA.COM
 California Landscape Architect License 3163

PROJECT: **FEATHER CYPRESS LLC**
 3256 17 MILE DRIVE,
 PEBBLE BEACH CA, 93953
 APN: 008-462-008

SHEET TITLE:
FUEL MANAGEMENT PLAN

SCALE: AS SHOWN
 DRAWN BY: AZ/PP/MMMO
 DATE: 08/05/2022

NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

L4.0

FUEL MANAGEMENT ZONES

I. NON-COMBUSTIBLE ZONE (0 - 5 FEET)

THE NON-COMBUSTIBLE ZONE SHOULD BE MAINTAINED WITHIN A BUFFER OF 5-FEET AROUND THE EDGE OF ALL STRUCTURES.

- HARDSCAPE SURFACES INCLUDING GRAVEL, FLAGSTONE, PAVERS, DECOMPOSED GRANITE, AND BARE SOILS ARE ALL APPROVED NON-COMBUSTIBLE SURFACES.
- NATIVE SUCCULENT DUDLEYA SPECIES FROM THE BIOLOGIST-APPROVED NORTHERN COASTAL BLUFF SCRUB PLANT LIST ARE EXAMPLES OF NON-COMBUSTIBLE PLANT MATERIALS.
- THE FINAL LANDSCAPE PLAN SHALL CONFORM TO A DESIGN STANDARD THAT ENSURES THERE IS ADEQUATE SPACE WITHIN THE STRUCTURE BOUNDARY TO MAINTAIN A 5-FOOT NON-COMBUSTIBLE ZONE.
- NO WOODEN TRELIS, CLIMBING VINES, TREES, OR SHRUB MATERIALS SHOULD BE INTEGRATED AGAINST THE STRUCTURES.

II. RESTORATION/LANDSCAPE ZONES (5 - 30 FEET)

THE RESTORATION AND LANDSCAPE ZONES INCORPORATES FOUR PLANTING TYPES AS DESCRIBED BELOW. ALL ZONES ARE PROPOSED WITH FIRE-APPROPRIATE PLANT MATERIALS AND SPACING, POSING LITTLE HAZARD FOR IGNITION RESISTANT STRUCTURES WITH POTENTIAL FIRE SPREAD EXPECTED TO BE SLOW AND WELL WITHIN CONTAINMENT ABILITIES OF THE PEBBLE BEACH FIRE DEPARTMENT RESPONSE (LOCATED 2.3 MILES FROM THE SUBJECT PARCEL).

- THE PROPOSED NORTHERN COASTAL BLUFF SCRUB RESTORATION ZONE PLANT MATERIALS WILL BE UTILIZED IN RESTORATION AREAS ON THE SOUTHERN, COASTAL BLUFF PORTION OF THE PARCEL. THE RESTORED NATIVE PLANT COMMUNITY CONSTITUENTS ARE LOW-STATURE (<18" TALL) AND MORE PYROPHYTIC TYPES AS THE NORTHERN COASTAL BLUFF SCRUB PLANT TISSUES HAVE MORE SUCCULENT TYPE FOLIAGE. PLANTING GROUPS SHALL BE SPACED APART WITH GAPS BETWEEN GROUPINGS TO FURTHER INCREASE FIRE SAFETY BY REDUCING POTENTIAL FIRE SPREAD RATE.
- THE PROPOSED MONTEREY CYPRESS FOREST UNDERSTORY RESTORATION ZONE PLANT MATERIALS WILL BE UTILIZED IN AREAS ALONG NORTHERN PORTIONS AND AREAS BETWEEN STRUCTURES. THESE NATURALIZED RESTORED PLANTINGS WILL BE A MIX OF LOW-HAZARD FUELS CONSISTING OF HERBACEOUS GROUNDCOVER AND SHRUB COMPONENTS, SPACED TO DECREASE RATE OF POTENTIAL FIRE SPREAD AND SITED AWAY FROM EXISTING CYPRESS TREES TO PREVENT LADDER FUELS.

FUEL MANAGEMENT - INTRODUCTION

THIS FUEL MANAGEMENT PLAN HAS BEEN PREPARED AS A GUIDELINE FOR THE IMPLEMENTATION OF DEFENSIBLE SPACE VEGETATION MANAGEMENT FOR THE FIRE SAFETY AROUND THE RESIDENCE AND ACCESSORY DWELLING UNIT (ADU) ON THE FEATHER CYPRESS, LLC PROPERTY LOCATED AT 3256 SEVENTEEN MILE DRIVE IN PEBBLE BEACH.

CALIFORNIA PUBLIC RESOURCE CODE 4291 REQUIRES LAND OWNERS TO MAINTAIN DEFENSIBLE SPACE OF 100-FEET FROM EACH SIDE OF STRUCTURES, WITH THE AMOUNT OF FUEL MODIFICATION SPECIFIC TO THE FLAMMABILITY OF THE STRUCTURES AS AFFECTED BY BUILDING MATERIAL, BUILDING STANDARDS, LOCATION AND VEGETATION TYPE. FUELS ARE TO BE MAINTAINED IN A CONDITION SO THAT A WILDFIRE BURNING UNDER AVERAGE WEATHER CONDITIONS WOULD BE UNLIKELY TO IGNITE THE STRUCTURE. THE INTENSITY OF FUELS MANAGEMENT VARIES WITHIN THE 100-FOOT PERIMETER OF THE STRUCTURE, WITH MORE INTENSE FUEL REDUCTIONS REQUIRED BETWEEN 5 AND 30 FEET AROUND THE STRUCTURE, AND AN EMBER-RESISTANT ZONE BEING REQUIRED WITHIN 5 FEET OF THE STRUCTURES. SITE SPECIFIC RECOMMENDATIONS FOR THE VARIOUS MANAGEMENT ZONES BASED ON THE RESTORED NATURAL VEGETATION COMMUNITIES OF THE PARCEL AND TREE LOCATIONS ARE INCLUDED BELOW TO COMPLY WITH STATE AND COUNTY DEFENSIBLE SPACE GUIDELINES.

THE FUEL MANAGEMENT ZONES ARE SPECIFIC TO THE AREAS WHERE VEGETATION HAS BEEN REMOVED, RESTORED OR MODIFIED IN A MANNER THAT INCREASES THE LIKELIHOOD THAT STRUCTURES WILL SURVIVE WILD FIRES, IMPROVE THE DEFENSIBLE SPACE AROUND THE STRUCTURE NEEDED FOR FIREFIGHTING ACTIVITIES, AND PREVENTS DIRECT FLAME CONTACT WITH STRUCTURES. FUEL MANAGEMENT ZONES ARE CREATED TO PROTECT STRUCTURES FROM WILDFIRE BY REDUCING THE AMOUNT OF FUEL AVAILABLE FOR A WILDFIRE. THE REDUCTION IN AVAILABLE FUEL AFFECTS THE FLAME LENGTHS AND AMOUNT OF HEAT PRODUCED BY THE FIRE, AS WELL AS ELIMINATING THOSE AREAS IN LANDSCAPE WHERE EMBERS CAN IGNITE VEGETATION.

DRIVEWAY

DRIVEWAY CLEARANCE IS REQUIRED TO MAINTAIN SAFE PASSAGE AND PROVIDE SAFE INGRESS/EGRESS FOR FIRE SAFETY EQUIPMENT AND PERSONNEL.

- ALL TREE BRANCHES EXTENDING OVER DRIVEWAY SURFACE SHOULD BE PRUNED TO A MINIMUM 13 FOOT CLEARANCE TO ENSURE VERTICAL CLEARANCE IS MAINTAINED FOR FIRE TRUCK EQUIPMENT AND PERSONNEL.
- LARGE TREES OR SHRUB SPECIES SHOULD BE EXCLUDED ALONG THE DRIVEWAY EDGES IN ORDER TO MINIMIZE FUEL LOADS ALONG THE ACCESS ROUTE.
- RESTORATION SPECIES AS SPECIFIED ON THE LANDSCAPE PLAN ARE TO BE USED TO RESTORE AREAS ALONG THE DRIVEWAY WHERE INVASIVE SPECIES HAVE BEEN REMOVED.
- MAINTENANCE OF DEAD WOODY DEBRIS/LIMBS FROM SHRUB MATERIALS SHOULD BE FLUSH CUT TO LIVE TISSUES OR PLANT BURLS.
- FALLEN CYPRESS DEBRIS, INCLUDING LIMBS AND TWIGS) FROM EXISTING LANDMARK TREES NEAR THE DRIVEWAY SHOULD BE MAINTAINED AND CLEARED FROM AREAS NEAR THE DRIVEWAY.

- THE PROPOSED COASTAL AND DROUGHT ADAPTED FOUNDATIONAL PLANTING LANDSCAPE ZONE PLANT MATERIALS ARE MIXED DROUGHT TOLERANT SHRUBS AND GROUNDCOVER SPECIES SELECTED FOR LOW HAZARDOUS FUELS AND DESIGNED TO BE INSTALLED IN DISCONTINUOUS GROUPINGS WITH DISTANCE BETWEEN GROUPINGS TO BE AT LEAST 2 TIMES THE HEIGHT OF THE TALLEST SHRUB SPECIES.
- THE PROPOSED NORTHERN COASTAL BLUFF SCRUB AND MONTEREY CYPRESS FOREST UNDERSTORY ECOTONE ZONE IS A HYBRID OF #1 AND #2 ZONES LISTED ABOVE. FUEL REDUCTION AND VEGETATION MANAGEMENT WILL BE TREATED AS LISTED ABOVE.
- MAINTENANCE IN ALL RESTORATION + LANDSCAPE ZONES TO INCLUDE DEAD WOOD REMOVAL AND MAINTENANCE OF SPACING BETWEEN PLANT GROUPINGS.
- IF YOUNG MONTEREY CYPRESS TREES ARE INTEGRATED OR NATURALLY OCCUR WITHIN THE SUBJECT PLANTING ZONES, ALL SHRUBS SHOULD BE REMOVED FROM A DISTANCE OF 3-FEET FROM THE DRIP LINE EDGE IF TREES ARE SHORTER THAN 6 FEET HIGH AND 6 FEET REMOVED FROM THE THE TREE CROWN EDGING IF TREES ARE TALLER THAN 6 FEET IN HEIGHT.
- THE PROPOSED MONTEREY CYPRESS FOREST GERMINATION AREA ZONE WILL BE A DEDICATED AREA FREE OF INTRODUCED PLANTINGS AND DEDICATED FOR NATURAL MONTEREY CYPRESS GERMINATION. NATIVE CYPRESS CONES AND SEEDS FROM EXISTING TREES ON SITE WILL BE BROADCAST ONTO THE DEDICATED ZONES IN AN EFFORT TO RESTORE AND EXPAND THE MONTEREY CYPRESS FOREST ON THE PARCEL. THIS AREA IS ALSO A DEDICATED ZONE FOR TRANSPLANTING OF CYPRESS SEEDINGS THAT ARE GERMINATING ON SITE IN LOCATIONS THAT MAY BE IMPACTED FROM PROPOSED CONSTRUCTION.

III. FUEL REDUCTION ZONE (30-100 FEET)

FUEL REDUCTION ZONES (30 TO 100 FEET) WILL BE EXTENSIONS OF THE RESTORATION ZONES AS DETAILED ABOVE. THE GOAL OF THE FUEL MODIFICATION IN THESE OUTER AREAS IS TO FIND AN EQUILIBRIUM BETWEEN FUEL REDUCTION, HABITAT RESTORATION, AND EROSION CONTROL. THE MAJORITY OF NATIVE SPECIES IN THIS REDUCTION ZONE ARE PASSIVE PYROPHYTIC IN THAT THEIR TISSUES CARRY A HIGH MOISTURE CONTENT WITH SUCCULENT TYPE LEAVES THAT PROVIDE RESISTANCE TO THE EFFECTS OF FIRE DURING FLASH BURNS.

- NORTHERN COASTAL BLUFF SCRUB WITHIN THE FUEL REDUCTION ZONE WILL REMAIN IN PLACE, AS ENVIRONMENTAL CONDITIONS FROM THE FOG-LADEN WINDSWEPT BLUFF AND SALT EXPOSURE KEEP THE NATIVE VEGETATION IN A PROSTRATE CONDITION WITH MYCROPHYLLUS, SUCCULENT-TYPE LEAF STRUCTURES AND HIGHER MOISTURE CONTENT.

TREE PRUNING

MONTEREY CYPRESS TREES ARE FOUND THROUGHOUT THE PARCEL SURROUNDING THE RESIDENCE AN ADU STRUCTURES. THESE NATIVE TREES ARE INDIGENOUS TO THE AREA AND CONSIDERED ENVIRONMENTALLY SENSITIVE HABITAT WITHIN THE DEL MONTE FOREST LAND USE PLAN (LUP). THE MAJORITY OF THE EXISTING TREES ON SITE DO NOT EXHIBIT ANY LOWER BRANCHES AS THE MAIN TRUNKS ARE PRUNED UP TO A HEIGHT (+40 FEET) THAT WELL EXCEEDS THE HEIGHT OF PROPOSED RESIDENCE. RESTORATION SITES WILL INCLUDE NEW TREE PLANTINGS AND NATURALLY OCCURRING SEEDLINGS WILL BE ENCOURAGED FOR ESTABLISHMENT IN SEVERAL 'MONTEREY CYPRESS FOREST GERMINATION AREA' ZONES OF THE PARCEL. (SEE LANDSCAPE PLAN FOR LOCATIONS OF CYPRESS GERMINATION ZONES).

- WITHIN 30 FEET OF THE STRUCTURES, MONTEREY CYPRESS TREE BRANCHES UNDER 3 INCHES IN DIAMETER SHOULD BE REMOVED UP TO 8 FEET ABOVE THE GROUND OR PROVIDE A VERTICAL CLEARANCE OF 3 TIMES THE HEIGHT OF UNDERSTORY PLANTINGS, WHICHEVER IS GREATER TO REDUCE POTENTIALLY HAZARDOUS LADDER FUELS.
- ALL DEAD BRANCHES SMALLER THAN 3 INCHES IN DIAMETER SHOULD BE REMOVED. IF CONES OCCUR ON CUT BRANCH MATERIALS, THE SUBJECT CONES SHOULD BE BROADCAST IN THE 'CYPRESS GERMINATION ZONES' AS IDENTIFIED IN THE LANDSCAPE PLAN.
- DEAD LIMBS GREATER THAN 3 INCHES IN DIAMETER SHALL BE REMOVED AT THE DISCRETION OF THE PROTECT ARBORIST IF SUCH LIMBS ARE DEEMED HAZARDOUS FOR HUMAN SAFETY.

STRUCTURES AND SITE MAINTENANCE

FUEL MANAGEMENT PLANS ARE NOT STATIC AS THE LANDSCAPE AND NATURAL VEGETATION WILL CONTINUE TO CHANGE OVER TIME. LONG-TERM MAINTENANCE IS REQUIRED TO ENSURE THAT DEFENSIBLE SPACE IS MAINTAINED AND SHOULD INCLUDE VEGETATION AND STRUCTURAL MANAGEMENT. IN ADDITION TO THE PRESCRIPTIONS DESCRIBED ABOVE, THE FOLLOWING GUIDELINES WILL ASSIST IN MAINTAINING COMPLIANCE WITH DEFENSIBLE SPACE MANDATES:

- SITE AND BUILDING MAINTENANCE TO DECREASE POTENTIAL FIRE FUELS BY MAINTAINING SURFACE LITTER INCLUDING DEAD/FALLEN CYPRESS TREE LIMBS, AND TWIG DEBRIS. CYPRESS DUFF LAYER SHALL STAY IN PLACE AS A NATURAL MULCHING AND CYPRESS CONES SHALL REMAIN ON SITE AS PART OF THE MULCHING TO ALLOW FOR NEXT GENERATION PIONEERING OF INDIGENOUS CYPRESS TREES.
- REMOVAL OF DEAD, WOODY DEBRIS AND OTHER LANDSCAPE MAINTENANCE TYPE GREEN WASTE PILES.
- RELOCATE STACKED FIREWOOD PILES TO A FIRESAFE LOCATION (NOT UNDER CYPRESS TREE CANOPIES, AGAINST CYPRESS TRUNKS OR WITHIN 5 FEET OF THE ADU OR RESIDENTIAL STRUCTURES)
- PROVIDE SUFFICIENT HORIZONTAL AND VERTICAL SPACING BETWEEN VARIOUS VEGETATION TYPES AND MAINTAINED BY REMOVING DEAD AND UNHEALTHY COMBUSTIBLE MATERIALS.

- TALLER (>18") AND WOODY SUB-SHRUB OR GRASS SPECIES WILL REQUIRE PERIODIC MANAGEMENT THROUGH PRUNING TO REDUCE FUEL LOADS. THE RESTORED SHRUB SPECIES CAN TOLERATE HEAVY PRUNING OF LONGER WOODY OR DEAD LIMBS AND WILL RESPOND WITH VIGOROUS STUMP-SPROUTING. THE RETENTION OF ROOT STRUCTURES IS CRITICAL TO SOIL STABILIZATION.

- GRASS SPECIES SHOULD BE CUT AFTER THE END OF NESTING SEASON (SEPTEMBER 15) TO REMOVE THATCH LAYER OF DRY INFLORESCENCE AND LEAVES.

- REMOVE ALL DEAD LIMBS AND WOODY DEBRIS FROM THE FUEL REDUCTION ZONE.

- REMOVE ALL EXOTIC SPECIES PER THE RECOMMENDATIONS OF THE BIOLOGICAL ASSESSMENT, INCLUDING THE ENGLISH IVY LOCATED ALONG THE EASTERN PROPERTY LINE THAT HAS ENVELOPED 40 FEET OF THE TRUNK OF A LANDMARK MONTEREY CYPRESS TREE. THIS INVASIVE IVY CAN ACT AS A FUEL LADDER TO UPPER CANOPY FUELS.

EXOTIC ICEPLANTS AND STATICE FOUND IN LARGE DISCONTINUOUS PATCHES ACROSS THE COASTAL BLUFF AREA OF THE PARCEL IS IN CONFLICT WITH THE DEL MONTE FOREST LAND USE PLAN (LUP) POLICIES REGARDING MAINTENANCE OF ESHA HABITATS. THIS HIGHLY INVASIVE SPECIES, THOUGH FIRE RESISTANT, WILL BE REMOVED FROM THE BLUFF AREAS OF THE PARCEL AND REPLACED WITH LOW-GROWING RESTORATION SPECIES OF THE NORTHERN COASTAL BLUFF SCRUB NATURAL COMMUNITY. PLANTINGS IN THIS ZONE WILL BE SELECTED TO BE HIGH IN FUEL MOISTURE AND LOW IN AVAILABLE FUEL; THESE PLANT TYPES WILL BE MORE RESISTANT TO FIRE THAN THOSE THAT CONTAIN DEAD MATERIAL, VOLATILE OILS OR RESINS, AND LOW FUEL MOISTURE. RESTORATION SPECIFICATIONS WILL BE INCLUDED ON A PROJECT RESTORATION PLAN AND COORDINATED WITH A FINAL LANDSCAPE PLAN SUBMITTAL, WITH FUEL MANAGEMENT TREATMENT PROTOCOLS IMPLEMENTED AS LISTED ABOVE FOR THE FUEL REDUCTION ZONE.

- INITIAL PRUNING SHOULD BE FOLLOWED WITH A YEARLY INSPECTION AND INTERVAL PRUNING AS NEEDED TO MAINTAIN VERTICAL CLEARANCE AND DEAD LIMB REMOVAL, ESPECIALLY WITH ANY TREE ADJACENT TO THE RESIDENCE THAT OVERHANGS THE ROOF.

- ALL PRUNING SHOULD BE CONDUCTED OUTSIDE OF THE NESTING WINDOW (FEBRUARY 1 - SEPTEMBER 15) IN ORDER TO AVOID IMPACTS TO POTENTIAL NESTING SPECIES THAT MAY INCLUDE MIGRATORY, RAPTORS, OR OTHER LISTED SPECIES.

- MONTEREY CYPRESS FOREST UNDERSTORY RESTORATION PLANTS UNDER THE SHADOW OF CYPRESS CANOPIES ARE GENERALLY A MATRIX OF NATIVE SHRUBS, GRASSES AND GROUNDCOVER HERBACEOUS SPECIES SUCH AS WOOD MINT, SEASIDE DAISY, LIZARD TAIL, DOUGLAS IRIS, CALIFORNIA SAND ASTER, AND NATIVE GRASSES. THESE LOW-GROWING, SITE SPECIFIC INDIGENOUS, GROUNDCOVER PLANTS WILL BE UTILIZED FOR RESTORATION PLANTINGS WITH GROUPINGS OF PLANTS SPACED SO BARE OR MULCHED SOILS ARE DISTANCED AT LEAST 2 TIMES THE HEIGHT OF THE TALLEST SHRUB SPECIES.

- NATURAL PLANT RECRUITMENT SHOULD BE ENCOURAGED BY REMOVING DEAD TREE LIMB OR OTHER ORGANIC DEBRIS ON THE GROUND (EXCLUDING MULCHING), THINNING AND/OR SPACING OF ANY LARGE NATIVE SHRUBS, AND SYSTEMATIC REMOVAL OF ANY INVASIVE SPECIES THAT MAY ENCROACH THE SITE.

- MAINTAIN ROOF AND GUTTERS OF THE STRUCTURES FREE OF LEAVES, CYPRESS DEBRIS, OR OTHER DEAD VEGETATIVE GROWTH.

- MAINTAIN ANY CYPRESS TREE ADJACENT TO OR OVERHANGING THE RESIDENCE OR GUESTHOUSE FREE OF DEAD WOOD.

- TRIM CYPRESS TREE LIMBS THAT EXTEND WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVE PIPE.

- INSTALL AND MAINTAIN AT ALL TIMES A SCREEN OVER THE OUTLET OF EVERY CHIMNEY OR STOVEPIPE THAT IS ATTACHED TO A FIREPLACE, STOVE OR OTHER DEVICE THAT BURNS ANY SOLID OR LIQUID FUEL. THE SCREEN SHALL BE CONSTRUCTED OF NON-FLAMMABLE MATERIAL AND OPENINGS NOT TO EXCEED ON-HALF INCH IN SIZE.

- ENSURE HOUSE NUMBERS ARE POSTED PER FIRE DEPARTMENT REQUIREMENTS.

- ADJACENT PROPERTY OWNERS SHOULD BE APPROACHED TO DISCUSS FUEL MANAGEMENT ON THEIR PROPERTY THAT IS CONSISTENT WITH THE STANDARDS IN THIS FUEL MANAGEMENT PLAN

REVISIONS AND RECORD OF ISSUE:	
NO.	DESCRIPTION
1.	12/20/2021 PLANNING SET
2.	01/28/2022 REVISION A
3.	
4.	
5.	
6.	



JONI L. JANEKKI & ASSOCIATES
515 SWIFT ST. SANTA CRUZ CA 95060
PHONE 831.423.6040 | WWW.JLJA.COM
California Landscape Architect License 3163

PROJECT: FEATHER CYPRESS LLC
3256 17 MILE DRIVE,
PEBBLE BEACH CA, 93953
APN: 008-462-008

SHEET TITLE: FUEL MANAGEMENT PLAN NOTES

SCALE: AS SHOWN
DRAWN BY: AZ/PP/MMMO
DATE: 08/05/2022

NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

L4.1

CONSTRUCTION SITE BEST MANAGEMENT PRACTICES

THE FOLLOWING BMPs MUST BE PROPERLY USED AT ALL CONSTRUCTION SITES TO PROTECT STORM DRAINS AND MINIMIZE POLLUTION.

The Monterey Regional Stormwater Management Program (MRSWMP) prohibits pollutant discharges at work sites from flowing into storm drains and polluting neighborhood creeks, rivers, and the ocean. To comply with the law and keep your project on schedule, make sure proper BMPs are in place and functioning. Sites must be checked and maintained daily. The following BMPs are recommended; they are not all-inclusive. Refer to references indicated on the front of this brochure for additional BMPs.

PAINT AND STUCCO

All paint and stucco material stored on the site must be contained and covered. It is illegal to dump unused paint or stucco in the street or storm drain system. Do not wash out brushes in the street or dump any residues in the storm drain. Paint brushes and spray guns must be washed/cleaned out in a hazardous materials drum or back into the original container and disposed of properly.

PERIMETER CONTROLS

Gravel bags, silt fences and straw wattles (weighted down) are acceptable perimeter controls, and must be used to surround the entire site. Avoid running over perimeter controls with vehicles or heavy equipment as they can damage the materials. Keep extra absorbent materials and/or wet-dry vacuum on site to quickly pick up unintended spills.

BUILDING MATERIALS/STAGING AREAS

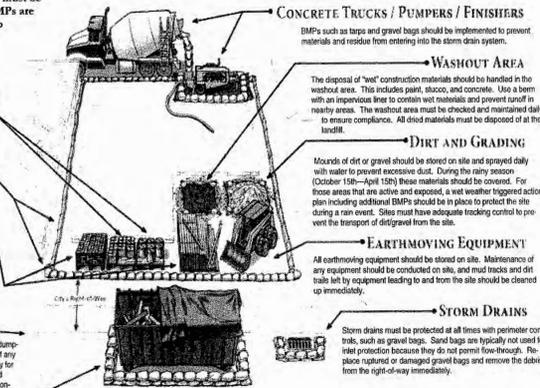
Construction material must be stored on site at all times. Building materials should always be covered when not in use to prevent runoff caused by wind or rain. Flooding must also be prevented by monitoring the site before, during, and after rain events to ensure that BMPs are functioning and that there are no safety issues.

TRAFFIC CONTROL PERMITS

Prior to staging any materials or equipment in the right-of-way (such as dumpsters or trucks), please contact the applicable local jurisdiction to learn of any temporary encroachment permit or traffic control requirements necessary for safety plus reverse requirements. Provide a stabilized vehicle path with controlled access to prevent tracking of dirt offsite. Properly size site entrance BMPs for anticipated vehicles.

DUMPSTERS

Always cover dumpsters with a roll-top tarp. Areas around dumpsters should be swept daily. Perimeter controls around dumpster areas should be provided if pollutants are leaking or discharging from the dumpster.

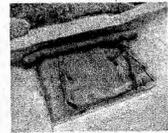


Protecting water resources improves and preserves quality of life for our children and future generations. Questions? Contact the local Public Works Dept. in the jurisdiction your project resides or the MRSWMP Program Manager.

POLLUTION PREVENTION PLANNING

Every construction project must have an erosion and sediment control plan to prevent soil and materials from leaving the site. Basic steps for this plan include:

1. Understand local jurisdictional stormwater management requirements and create your plan to match your construction site and project needs.
2. Identify the storm drains and the conveyance system (s) nearest the construction site area and provide plan to protect them from worksite pollutants.
3. Obtain all local jurisdictional permits, including traffic control permits, if needed.
4. Schedule construction activities so that the soil is not exposed for long period of time. Limit grading to small areas; install key sediment control practices before site grading begins.
5. Contact the inspector assigned to your project to answer any questions and ensure compliance. Modify BMPs as job requires.



PREVENT POLLUTION AND AVOID FINES (3 C's)

Control: The best line of defense is to use good housekeeping practices and sediment/erosion control BMPs to prevent materials and debris from entering the storm drain.

Contain: Isolate your work area to prevent discharges from leaving the site. Store materials out of the rain and in secondary containment, if necessary.

Additional Tips to Support BMPs:

- Schedule site stabilization activities, such as landscaping, to be completed immediately after the land has been graded to its final contour.
- Inspect & maintain silt fences and straw wattles after each rainstorm. Make sure stormwater is not flowing around these devices or other vegetative buffers. Cover all dirt piles to protect from wind and rain.
- Provide a stabilized vehicle path with controlled access to prevent tracking of dirt offsite. Properly size site entrance BMPs for anticipated vehicles.
- Minimize amount of vegetation cleared from the site. Protect and install vegetative buffers along waterbodies to slow and filter stormwater runoff.
- Properly dispose of all waste materials. Never dump unused or waste product on the ground or in a storm drain. Don't hose off surfaces to clean. Sweep and place waste in dumpster.
- Break up long slopes with sediment barriers. Install structural BMPs to trap sediment on downslope sides of the lot.
- When in doubt, contact local jurisdiction for guidance.

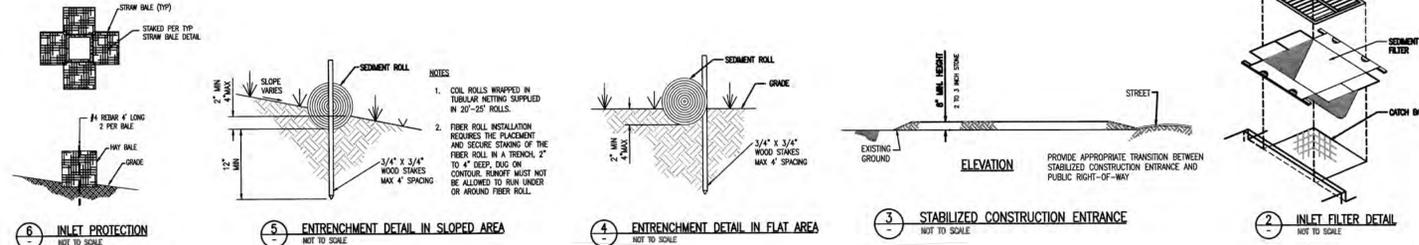
ONLINE RESOURCES
 California Storm Water Quality Association - www.csbqpa.com
 International BMP Database - www.bmpdatabase.org
 California State Water Board - www.waterboards.ca.gov

VICINITY MAP

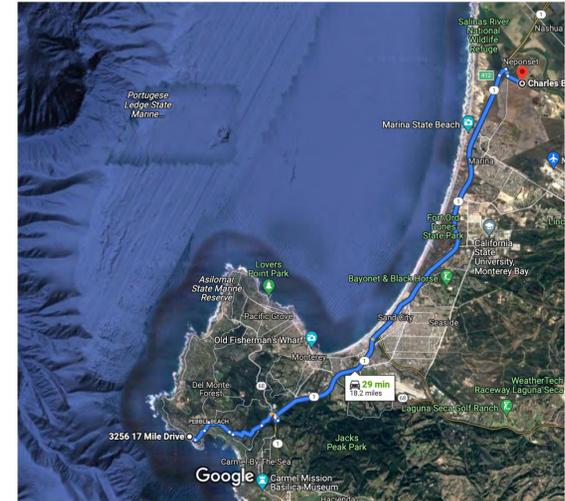


CONSTRUCTION NOTES

1. ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY - FRIDAY, 8 AM TO 5 PM
2. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE PER DAY. FREQUENCY SHOULD BE BASED UPON THE TYPE OF OPERATION, SOIL, AND WIND EXPOSURE
3. ALL GRADING ACTIVITIES SHALL BE HALTED DURING PERIODS OF HIGH WINDS (15 MPH).
4. HAUL TRUCKS SHALL MAINTAIN 2 - FEET FREEBOARD AND BE COVERED.
5. COVER INACTIVE STORAGE PILES.
6. THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES, AND THAT COPIES ARE AVAILABLE FOR AGENCY REVIEW UPON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. EQUIPMENT WASHING, REFUELING AND SERVICING SHALL TAKE PLACE ONLY ONSITE. APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES. SEE THE EROSION CONTROL PLAN FOR FURTHER SPECIFICATIONS.
8. THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES (E.G. : CLEANUP ALL LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY. KEEP MATERIALS COVERED AND OUT OF THE RAIN, INCLUDING COVERING EXPOSED PILES OF SOILS AND WASTES, DISPOSE OF ALL WASTES PROPERLY, PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER).
9. ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION-RELATED RUNOFF AND/OR SEDIMENT FROM LEAVING THE SITE.
10. IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA, AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.



TRUCK HAUL ROUTE



3256 17 Mile Dr
 Pebble Beach, CA 93953

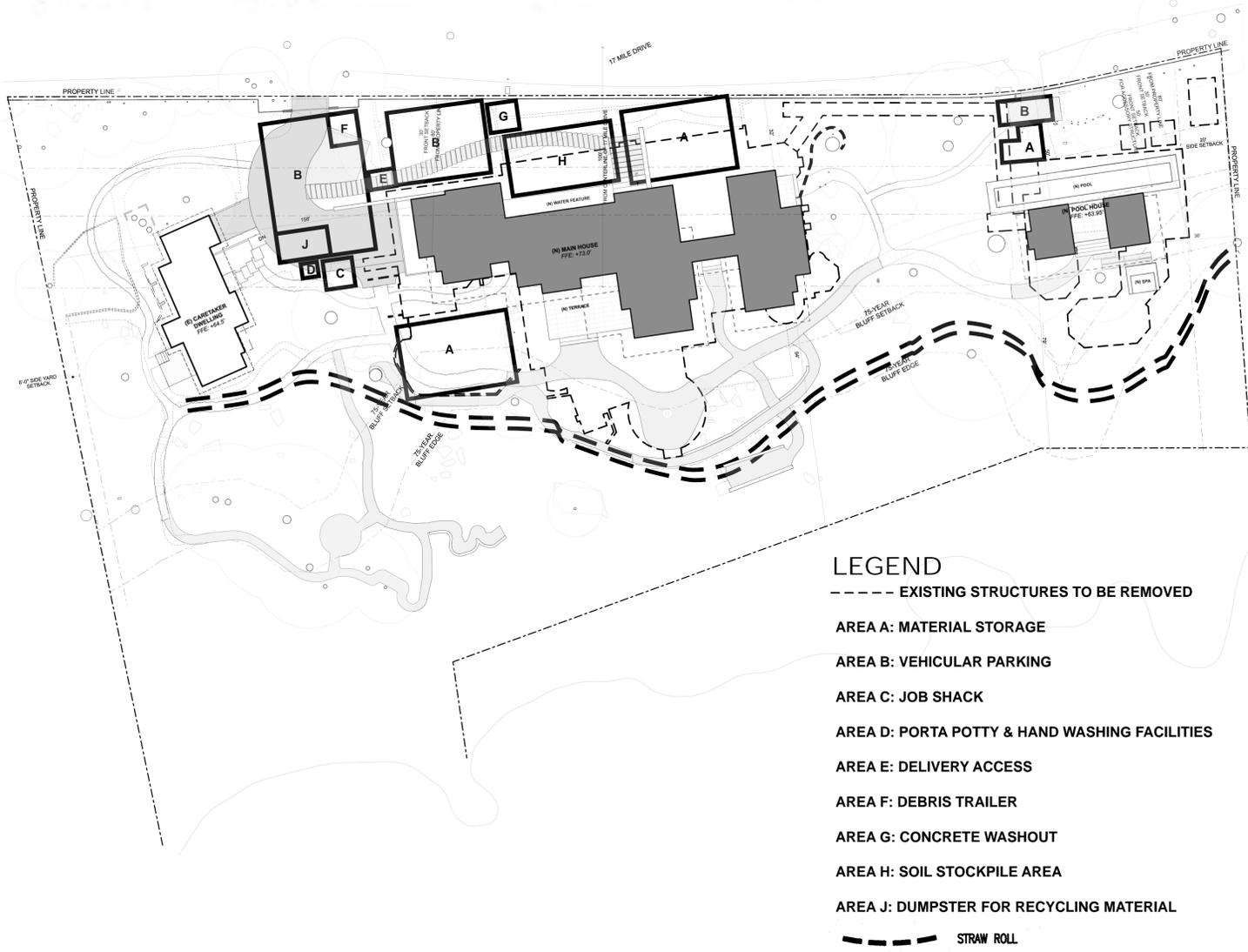
Get on CA-1 N/Cabrillo Hwy from Cypress Dr, 17 Mile Dr, Del Cervo Rd and 17 Mile Dr

1. Head southeast on 17 Mile Dr toward Cabrillo Rd 12 min (4.0 mi)
2. Slight left onto Cypress Dr 0.2 mi
3. Cypress Dr turns left and becomes 17 Mile Dr 0.4 mi
4. Slight right to stay on 17 Mile Dr 0.3 mi
5. Turn left onto Crespi Ln 0.8 mi
6. Turn left onto Del Cervo Rd 0.1 mi
7. Turn left onto 17 Mile Dr 1.1 mi
8. Continue straight 0.6 mi
9. At the traffic circle, take the 1st exit onto CA-68 315 ft
10. Use the right lane to take the ramp onto CA-1 N/Cabrillo Hwy 0.2 mi

Follow CA-1 N/Cabrillo Hwy to Del Monte Blvd. Take exit 412 from CA-1 N/Cabrillo Hwy 13 min (13.5 mi)

11. Merge onto CA-1 N/Cabrillo Hwy 13.2 mi
12. Take exit 412 for Del Monte Blvd 0.3 mi
13. Turn right onto Del Monte Blvd 2 min (0.7 mi)
14. Turn left onto Charles Benson Rd 0.2 mi

Charles Benson Rd
 California 93908



LEGEND

- EXISTING STRUCTURES TO BE REMOVED
- AREA A: MATERIAL STORAGE
- AREA B: VEHICULAR PARKING
- AREA C: JOB SHACK
- AREA D: PORTA POTTY & HAND WASHING FACILITIES
- AREA E: DELIVERY ACCESS
- AREA F: DEBRIS TRAILER
- AREA G: CONCRETE WASHOUT
- AREA H: SOIL STOCKPILE AREA
- AREA J: DUMPSTER FOR RECYCLING MATERIAL
- STRAW ROLL

Stocker & Allaire
 General Contractors, Inc.
 Lic. # 504797
 Ph 831.375.1680 Fax 831.375.4480
 21 Mandeville Court Monterey, CA 93940

3256 17 MILE DR
 PEBBLE BEACH, CA 93953
 APN: 008-462-008-000
 DECEMBER 15, 2021

FEATHER RESIDENCE
 CONSTRUCTION MANAGEMENT PLAN
 Revisions:
 CMP

This page intentionally left blank