

Exhibit A

This page intentionally left blank.

EXHIBIT A

DRAFT RESOLUTION

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

CHRISP (PLN200216)

RESOLUTION NO. 22 -

Resolution by the Monterey County Planning Commission:

- 1) Consider an Addendum together with a previously adopted Negative Declaration; and
- 2) Approve a Use Permit to allow construction of a new 11,939 square foot split-level building consisting of 9,016 square feet of automotive repair shop/warehouse and 2,923 square feet of office, a 242 square-foot trash enclosure, 29 parking stalls, and associated retaining wall(s).

1135 Madison Lane, Salinas, Greater Salinas Area Plan (Assessor's Parcel Number 261-031-002-000)

The Chrisp application (PLN200216) came on for a public hearing before the Monterey County Planning Commission on November 9, 2022. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** - The project and/or use, as conditioned is consistent with the policies of the Monterey County 2010 General Plan, Greater Salinas Area Plan, Monterey County Zoning Ordinance (Title 21), and other County health, safety, and welfare ordinances related to land use development.
EVIDENCE:
 - a) The project has been reviewed for consistency with the text, policies, and regulations in the:
 - 2010 Monterey County General Plan;
 - Greater Salinas Area Plan;
 - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) The project involves the construction of a new 11,939 square foot split-level building consisting of a 9,016 square foot shop/warehouse, and two-story 2,923 square-foot office building; 242 square-foot trash enclosure; and 29 parking stalls that will be used for automotive repair and maintenance and coordination of local services by the company. The Chrisp Company provides pavement markings.

- c) Allowed Uses. The property is located at 1135 Madison Lane, Salinas (Greater Salinas Area Plan) [Assessor's Parcel Number 261-031-002-000]. The parcel is zoned Heavy Commercial, Urban Reserve (HC-UR), which allows trucking operations, including offices and facilities for the repair, servicing, fueling, storage, and dispatching of commercial trucks (21.20.060.G). Therefore, as proposed, the project involves a conditionally allowed land use for this site.
- d) Lot Legality. The subject 0.85279-acre (37,147 square feet) property (Assessor's Parcel Number 261-031-002) is identified in its current configuration as *Subdivision 1, portion of Lot B6, Assessor's Map 1, Rancho el Sausal, Boronda area, fronting on and southerly of Madison Avenue* in the 1964 Assessor's Parcel Map, Book 261, page 3 and under separate ownership at the time. Therefore, the County recognizes the subject property as a legal lot of record.
- e) Development Standards. Development standards for the Heavy Commercial (HC) zoning district are identified in MCC Section 21.20.070. In this case, the project involves only one use on a property that is less than 1 acre in size so the proposed use and development can be approved with a Use Permit and no General Development Plan is required. Where a General Development Plan is not required setbacks in this HC district are established by the Appropriate Authority through the project review process based on surrounding land uses; provision of adequate parking and landscaping, and other site design features. As proposed, the development would have a front setback of 30 feet, and side and rear setbacks of 6-inches. These setbacks are consistent with surrounding development patterns and can accommodate adequate parking and landscaping on-site. The maximum allowed height in this HC zoning district is 35 feet above average natural grade. The proposed project will be constructed to a maximum of 28 feet and 7 inches, meeting the height standard for the zoning district. The site coverage maximum in this HC district is 50 percent. The property is 37,147 square feet, which would allow site coverage of 18,573 square feet. As proposed, the development would result in site coverage of 10,561 square feet (28.4 percent).
- f) The project planner reviewed the project and conducted a virtual site visit on December 22, 2020 and February 11, 2022 to verify that the proposed project conforms to the applicable plans and Monterey County Code.
- g) Cultural Resources. County records identify that the project site is within an area of high sensitivity for cultural resources. A Phase I Archaeological Assessment (Monterey County Document No. LIB200233) prepared for the project determined "...no resources, particularly significant archaeological resources, were identified within the parcel." Therefore, no potentially significant impacts are expected from implementation of the project. However, per standard protocols, the property owner(s), contractor(s), and/or the project archaeologist(s) are required to contact the Coroner's Office in the

event that human remains are disturbed during the course of project-related excavation.

- h) Urban Reserve: The site is located in an “Urban Reserve” (UR) zoning district because it is within the sphere of influence for the City of Salinas. The City was given the opportunity to review and comment on the project. The City submitted comments on design requirements to break up the visual impact of blank walls, trash enclosure requirements, adherence to landscaping and trash enclosure placement regulations, payment of wastewater and other impact fees, and, upon annexation, an additional easement. The applicant updated the building façade design in adherence with the City’s comments. Landscaping was not updated for the City and no proposed agrarian easement is shown on the plans but these can be added as needed at the time of annexation. The requirements of City of Salinas’ ordinances at the subject site within built up area of Boronda are subject to change prior to annexation, as well.
- i) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN200216.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by HCD’s Planning, Engineering Services on behalf of Public Works and Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. County staff reviewed the application materials and plans, as well as the County’s GIS database, to verify that the project conforms to the applicable plans, and that the subject property is suitable for the proposed development. City of Salinas Community Development Department also reviewed the application materials and plans, due to the parcel location within an Urban Reserve area.
 - b) The following technical reports have been prepared:
 - “*Phase I Inventory of Archaeological Resources for 1135 Madison Lane, Salinas, CA 93907, APN 261-031-002-000*” by Archives & Archaeology (Ruben G. Mendoza, PH. D, RPA and Jennifer A. Lucido, CRM), 1645 Beacon Hill Drive, Salinas, CA 93906) (LIB200233);
 - “*Geotechnical Engineering Report and Soil Percolation Rate Test, Chrisp Company Office/Warehouse, 1135 Madison Lane, Salinas, California*” prepared by Earth Systems Pacific, dated September 2, 2020 (LIB200234); and
 - “*Trip Generation and Operations Analysis for the Proposed Chrisp Company Development at 1135 Madison Lane in Monterey County, California*” and “*VMT Assessment for [same]*” prepared by Hexagon Transportation Consultants, Inc. September 6, 2022 (LIB220296).
 - c) County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints

that would indicate that the property is not suitable for the use proposed.

- d) On behalf of Public Works, HCD-Engineering Services recommended conditions on the project related to submitting a utility improvement plan and constructing sewer connection(s) for the development, as well as obtaining a Sewer Permit. These conditions of approval (Nos. 9 and 10) will improve site suitability and the applicant is amenable to fulfilling them.
- e) City of Salinas Community Development Department's review of the application materials and plans led to a comment letter which required various steps to be taken when the property is annexed to the City of Salinas. These requests included design requirements to break up the visual impact of blank walls, trash enclosure landscaping requirements, payment of wastewater and other impact fees, and, upon annexation, an additional easement. In the attached proposed plans, design elements were included on the façade of the building. Landscaping was not updated and no proposed agrarian easement is shown on the plans but these can be added as needed at the time of annexation. There is currently no trail or easement existing or proposed in the area that would warrant an easement on this property. The requirements of City of Salinas' ordinances at the subject site within built-up area of Boronda are subject to change prior to annexation, as well. (No agrarian easement is required for County ordinances.)
- f) The project planner reviewed submitted plans and conducted site visits on December 22, 2020 and February 11, 2022 to verify that the project conforms to the plans listed above and that the project area is suitable for this use.
- g) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN200216.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) HCD's Planning, Engineering Services on behalf of Public Works and Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District reviewed the project. Conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) All necessary public facilities are available to the project site. Public sewer service is available from the City of Salinas sanitary sewer service. Potable water service is available from California Water Service (CWS). The proposed development has received "Can and

Will Serve” letters from both the City of Salinas and California Water Service.

- c) The project planner reviewed submitted plans and conducted a site visit on December 22, 2020 and February 11, 2022 to verify that the project, as proposed and conditioned would not impact public health and safety.
- d) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN200216.

4. **FINDING:**

CEQA (Addendum) – An Addendum to a previously adopted ND was prepared pursuant to Code of Regulations, Title 14, Section 15164 to reflect changes or additions in the project that do not cause substantial changes or new information that would require major revisions to the adopted ND.

EVIDENCE:

- a) A Negative Declaration was prepared and adopted for the Bay Rapid Transit Combined Development Permit (RMA-Planning File PC-7783 by the Board of Supervisors in November 1991 (Resolution No. 91-232).
- b) An Addendum to the Bay Rapid Transit project was prepared for the proposed for this project (Chrisp) pursuant to Code of Regulations, Title 14, Section 15164 (CEQA Guidelines).
- c) The Addendum attached as Exhibit C to the November 9, 2022, Staff Report to the Planning Commission reflects the County’s independent judgment and analysis.
- d) Pursuant to Section 15164 of the CEQA Guidelines, some changes or additions to the project are necessary, but none of the conditions described in Section 15162 calling for preparation of a subsequent EIR have occurred. The project is for a larger building, but the use is limited to one automotive repair facility and office, rather than up to four separate businesses. The use is the same, while the intensity is less. Previously identified effects were not significant and analysis showed that effects will not become significant as the project is conditioned through standard State and County regulations.
- e) Pursuant to Section 15162 of the CEQA Guidelines, there are no substantial changes proposed in the project that would require major revisions to the prior ND. The project analyzed by the IS/ND was a use permit and general development plan for up to four automotive repair shops. The proposed project is a use permit for one vehicle repair operation with an associated office. These uses are substantially similar.
- f) Pursuant to Section 15162 of the CEQA Guidelines, there are no substantial changes with respect to the circumstances under which the project is undertaken that would require major revisions to the prior ND. There has not been a change in the environmental circumstances since the ND for traffic, as shown by the results of the proposed project’s Traffic Study. There has not been a change in Earth, Air, Water, Plant and Animal Life, Natural Resources, Energy, Land Use, Population and Housing, Public Utilities, Public Services, Utilities, Noise, Hazards, Aesthetics, or Cultural Resources in the Boronda area where the subject parcel is located, since 1991.

- g) Pursuant to Section 15162 of the CEQA Guidelines, there is no new information of substantial importance that was not known at the time the ND was adopted. Information that was available for Earth, Air, Water, Plant and Animal Life, Natural Resources, Energy, Land Use, Population and Housing, Public Utilities, Public Services, Utilities, Noise, Hazards, Aesthetics, and Cultural Resources for the Boronda area is the same as at the time of the IS/ND. The potential for new discoveries of Archaeological Resources was researched in the proposed project's Phase 1 Inventory of Archaeological Resources, described below, and no new information was found for the subject area.
- h) A *"Phase 1 Inventory of Archaeological Resources for 1135 Madison Lane, Salinas, CA 93907, APN 261-031-002-000"* by Archives & Archaeology (Ruben G. Mendoza, PH. D, RPA and Jennifer A. Lucido, CRM), 1645 Beacon Hill Drive, Salinas, CA 93906) (LIB200233) was prepared for the project. The report concluded that "...no resources, particularly significant archaeological resources, were identified within the parcel." Therefore, no potentially significant impacts are expected from implementation of the project. However, per standard protocols, the property owner(s), contractor(s), and/or the project archaeologist(s) are required to contact the Coroner's Office in the event that human remains are disturbed during the course of project-related excavation.
- i) A *"Geotechnical Engineering Report and Soil Percolation Rate Test, Crisp Company Office/Warehouse, 1135 Madison Lane, Salinas, California"* was prepared by Earth Systems Pacific, dated September 2, 2020 (LIB200234) for the project. The report involved subsurface exploration consisting of three (3) boring holes drilled at the site on September 11, 2020. The upper soils encountered in the borings were classified as stiff to hard sandy lean clays (CL); the next layers were interbedded layer of very stiff to hard lean clays (CL) to medium dense to very dense clayey sands (SC). Free subsurface water was not encountered within the 15-foot depth of exploration. The report concluded that the site is geotechnically suitable for the proposed project, as the site has no soil expansion potential, and low liquefaction potential. Therefore, no potentially significant impacts are expected from implementation of the project. It is recommended that site development be completed following the standard recommendation found in the geotechnical report, and the project be designed per the standards of California Building Code (CBC).
- j) *"Trip Generation and Operations Analysis for the Proposed Crisp Company Development at 1135 Madison Lane in Monterey County, California"* and *"VMT Assessment for [same]"* was prepared by Hexagon Transportation Consultants, Inc. September 6, 2022 (LIB220296) for the project. This Traffic Study concluded that there are no operational issues under existing or existing with Project. The main intersection/entrance point (Madison Lane at Boronda Road) is operating at Level-of-service of A in both scenarios. The passenger vehicle trip generation is 65, which screens the project out of detailed Vehicle Miles Travelled (VMT) analysis. The project will pay the traffic fees which are in place to address cumulative impacts.

- k) Evidence that has been received and considered includes: the application, technical studies/reports, staff reports that reflect the County's independent judgment, and information and testimony presented during public meetings and hearings. These documents are on file in HCD-Planning (HCD-Planning File No. PLN200216) and are hereby incorporated herein by reference.
- l) The Monterey County Planning Commission considered the Addendum, along with the Use Permit, at duly noticed public hearings held on November 9, 2022.
- m) Monterey County HCD-Planning, located at 1441 Schilling Place, 2nd Floor, Salinas, California, 93901, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the Addendum is based.

5. **FINDING:** **NO VIOLATIONS** - The subject property complies with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) County staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on the subject property.
 - b) Staff conducted a virtual site inspection on December 22, 2020 and February 11, 2022 to assess and confirm that no violations exist on the subject property.
 - c) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN200216.

6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Monterey County Board of Supervisors.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Section 21.80.040.D of the Monterey County Zoning Ordinance (Title 21), the Board of Supervisors is the appeal authority to consider appeals from the discretionary decisions of the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

- A. Consider the Addendum together with a previously adopted Negative Declaration; and
- B. Approve a Use Permit to allow construction of a new 11,939 square foot split-level building consisting of 9,016 square feet of automotive repair shop/warehouse and 2,923 square feet of office, a 242 square-foot trash enclosure, 29 parking stalls, and associated retaining wall(s).

All work must be in general conformance with the attached plans and this approval is subject to nineteen (19) conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 9th day of November, 2022, upon motion of Commissioner _____, seconded by Commissioner _____, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Craig Spencer, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO THE APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES:

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN200216

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Amendment to a Use Permit and graphical General Development Plan (PLN200216) allows construction of a new 11,939 square foot split-level building consisting of a 9,016 square foot shop/warehouse, and two-story 2,923 square-foot office building; 242 square-foot trash enclosure; 29 parking stalls and associated retaining wall(s). The property is located at 1135 Madison Lane, Salinas (Assessor's Parcel Number 261-031-002-000), Greater Salinas Area Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Chief of Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An Amendment to a Use Permit and graphical General Development Plan (Resolution Number _____) was approved by the Planning Commission for Assessor's Parcel Number 261-031-002-000 on July 13, 2022. The permit was granted subject to 19 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Chief of Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management

4. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD- Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Chief of Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

6. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

7. PW0005 – DRIVEWAY IMPROVEMENTS

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Construct commercial driveway connection(s) to Madison Lane. The design and construction is subject to the approval of the HCD-Engineering Services. Encroachment permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the HCD-Engineering Services, obtain an encroachment permit from the HCD prior to issuance of building or grading permits, and construct and complete improvements prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

8. PW0008 – DEDICATION (STREET AND RIGHT-OF-WAY)

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Dedicate to the County of Monterey, frontage to provide 30' from the centerline of Madison Lane for road right-of-way purposes.

Compliance or Monitoring Action to be Performed: Prior to Building/Grading Permits Issuance, the Applicant's surveyor shall prepare the description of area to be dedicated and submit to the County for review, approval, and acceptance.

9. PW0010 - SEWER CONNECTION

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Submit utility improvement plans and construct sewer connection(s). The design and construction is subject to the approval of the Public Works, Facilities and Parks (PWFP). Owner/Applicant shall pay all applicable connection fees. Sewer connection permits are required, and Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the PWFP; obtain a connection permit and encroachment permit, if applicable, from the PWFP prior to issuance of building or grading permits; and construct and complete improvements prior to occupancy or commencement of use. Sewer improvements to be constructed in compliance with approved plans. Applicant is responsible to obtain all permits and environmental clearances, any to pay all applicable fees.

10. PW0011 - SEWER PERMITS

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Obtain sewer permits from the Monterey One Water and Department of Public Works, Facilities and Parks. Pay all applicable fees.

Compliance or Monitoring Action to be Performed: Prior to Building/Grading Permits, Owner/Applicant shall obtain permits from Monterey One Water, then obtain permit from Public Works, Facilities and Park.

11. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

12. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the RMA-Planning Department and the Department of Public Works for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

13. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

14. PWSP002 - NON-STANDARD CONDITION - CITY OF SALINAS TRAFFIC FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay towards the City of Salinas (City) Traffic Fee Ordinance (TFO) program. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, Owner/Applicant shall pay to the City of Salinas the traffic mitigation fee. Owner/Applicant shall submit proof of payment to Monterey County HCD-Engineering Services.

15. CALIFORNIA CONSTRUCTION GENERAL PERMIT

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Stormwater Pollution Prevention Plan (SWPPP) including the Waste Discharger Identification (WDID) number, to HCD-Environmental Services. In lieu of a SWPPP, a letter of exemption or erosivity waiver from the Central Coast Regional Water Quality Control Board may be provided. (HCD-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or construction permits, the applicant shall submit a SWPPP including the WDID number certifying the project is covered under the California Construction General Permit or a letter of exemption from the Central Coast Regional Water Quality Control Board.

16. OPERATION AND MAINTENANCE PLAN (PR 2-4)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an Operation and Maintenance Plan prepared by a registered Professional Engineer that includes, at a minimum, the following:

- A site map identifying all structural Stormwater Control Measures requiring O&M practices to function as designed.
- O&M procedures for each structural Stormwater Control Measure including, but not limited to, LID facilities, retention/detention basins, and proprietary devices.

The O&M Plan shall include short- and long-term maintenance requirements, recommended frequency of maintenance, and estimated cost for maintenance. (HCD – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall submit the O&M Plan to HCD-Environmental Services for review and approval.

17. MAINTENANCE AGREEMENT (PR 2-4)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall enter into a Maintenance Agreement (Agreement) that clearly identifies the responsible party for ongoing maintenance of structural Stormwater Control Measures. The Agreement shall contain provisions for an annual drainage system report, prepared by a registered Professional Engineer, that includes the status of all structural stormwater control measures and maintenance recommendations. The annual report shall be submitted to HCD-Environmental Services, for review and approval, no later than August 15th. All recommended maintenance shall be completed by October 15th of the same year. If maintenance is required, certification shall be provided that all recommended maintenance has been completed before the start of the rainy season. (HCD – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall submit the signed and notarized Agreement to HCD-Environmental Services for review and approval. The approved Agreement shall be recorded, and a copy of the recorded document shall be provided to HCD-Environmental Services.

A copy of the standard Agreement can be obtained at HCD – Environmental Services.

18. STORMWATER CONTROL PLAN (PR2-4)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Stormwater Control Report and a Stormwater Control Plan, prepared by a registered professional engineer, to HCD-Environmental Services for review and approval. The report and plan shall address the Post-Construction Stormwater Management Requirements (PCRs) for Development Projects in the Central Coast Region. The plan shall include the location of the drainage facilities and construction details. The Stormwater Plan shall include the construction inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date. Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed and approved the Stormwater Control Plan for conformance with the geotechnical recommendations. (HCD-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or construction permits, the applicant shall submit a Stormwater Control Report and a Stormwater Control Plan to HCD-Environmental Services for review and approval.

Prior to issuance of any grading or construction permits, the applicant shall submit certification from a licensed practitioner that they have reviewed and approved the stormwater control plan for conformance with the geotechnical recommendations.

19. FIELD VERIFICATION OF POST-CONSTRUCTION STORMWATER CONTROL MEASURES (PR 2-4)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall provide certification from a registered Professional Engineer that the stormwater control facilities have been constructed in accordance with the approved Stormwater Control Plan. (HCD – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall submit a letter to HCD-Environmental Services for review and approval.

NEW 2-STORY OFFICE & WAREHOUSE BUILDING FOR: CHRISP COMPANY

1135 MADISON LANE
SALINAS, CA 93907

PROJECT DATA

PROPERTY OWNER: CHRISP COMPANY ROBERT CHRISP 43650 OSGOOD ROAD FREMONT, CA 94539 510-719-9569 rchrisp@chrispc.com	APN: 261-031-002-000
PROJECT ADDRESS: 1135 MADISON LANE SALINAS, CA 93907	JURISDICTION: MONTEREY COUNTY
PARCEL SIZE: 37,147 SF (0.85 ACRES)	ZONE TYPE: HC-UR
PROPOSED LOT COVERAGE: 12,181 S.F. (29%)	LAND USE DESIGNATION: GENERAL COMMERCIAL
MAX 50%: 18,573 S.F.	MCHRA ZONE 2C: YES
IMPERVIOUS COVERAGE: BUILDINGS: 11,939 S.F. OTHER: 22,450 S.F. TOTAL: 34,389 S.F. (96%)	OCCUPANCY: S-1, B
LANDSCAPING AREA: 5,349 S.F. (11%)	FIRE DISTRICT: MONTEREY COUNTY REGIONAL FPD
TREE REMOVAL: (2) PINE TREES	PARKING PROPOSED: 27
GRADING ESTIMATE: 640 cu.yds (FILL)	ADA PARKING PROPOSED: 1
	PARKING TOTAL: 28
	FLOODWAY: AREA OF MINIMAL FLOOD HAZARD
	IMPORTANT FARMLANDS: URBAN AND BUILT UP LAND
	SEISMIC HAZARD ZONE: II

SCOPE OF WORK:

- NEW 2-STORY OFFICE AND MOTOR VEHICLE REPAIR GARAGE / WAREHOUSE BUILDING
- (N) TRASH ENCLOSURE
- (N) BIOSWALE INTEGRATED INTO LANDSCAPE ALONG MADISON LANE
- (N) WASH STATION

CODES:

2019 CBC - CALIFORNIA BUILDING CODE	2019 CEC - CALIFORNIA ELECTRICAL CODE
2019 CPC - CALIFORNIA PLUMBING CODE	2019 CFC - CALIFORNIA FIRE CODE
2019 CMC - CALIFORNIA MECHANICAL CODE	2019 CALIFORNIA TITLE 24 ENERGY REQUIREMENTS
2019 COUNTY OF MONTEREY	2019 CALIFORNIA AMENDMENTS
	2016 NATIONAL FIRE ALARM CODE (NFPA 72)

PROJECT BUILDING DATA

NEW OFFICE AND WAREHOUSE BUILDING AREA

BLDG	USE DESCRIPTION	(N) OCC.	CONST. TYPE	BLDG. HT.	GROSS S.F.
(A)	(N) OFFICE 1st FLOOR	B	TYPE-IIIB	35'-0"	1,545 S.F.
	(N) OFFICE 2nd FLOOR	B	TYPE-IIIB	35'-0"	1,378 S.F.
TOTAL OFFICE AREA					2,923
(B)	(N) MOTOR VEHICLE REPAIR GARAGE/WAREHOUSE	S-2	TYPE-IIIB	35'-0"	9,016 S.F.
(C)	(N) TRASH ENCLOSURE	N/A		12'-0"	242 S.F.
TOTAL BUILDING AREA					11,939 S.F.

PROJECT TEAM

ARCHITECT
BELLI ARCHITECTURAL GROUP
CONTACT: LINO BELLI
PHONE: (831) 424-4620

CIVIL
C3 ENGINEERING INC.
CONTACT: JENNIFER RUDOPH
PHONE: (831) 647-1192

ELECTRICAL
AURUM CONSULTING ENGINEERS
CONTACT: ELDRIDGE O. BELL
PHONE: (831) 646 3330 ext. 101

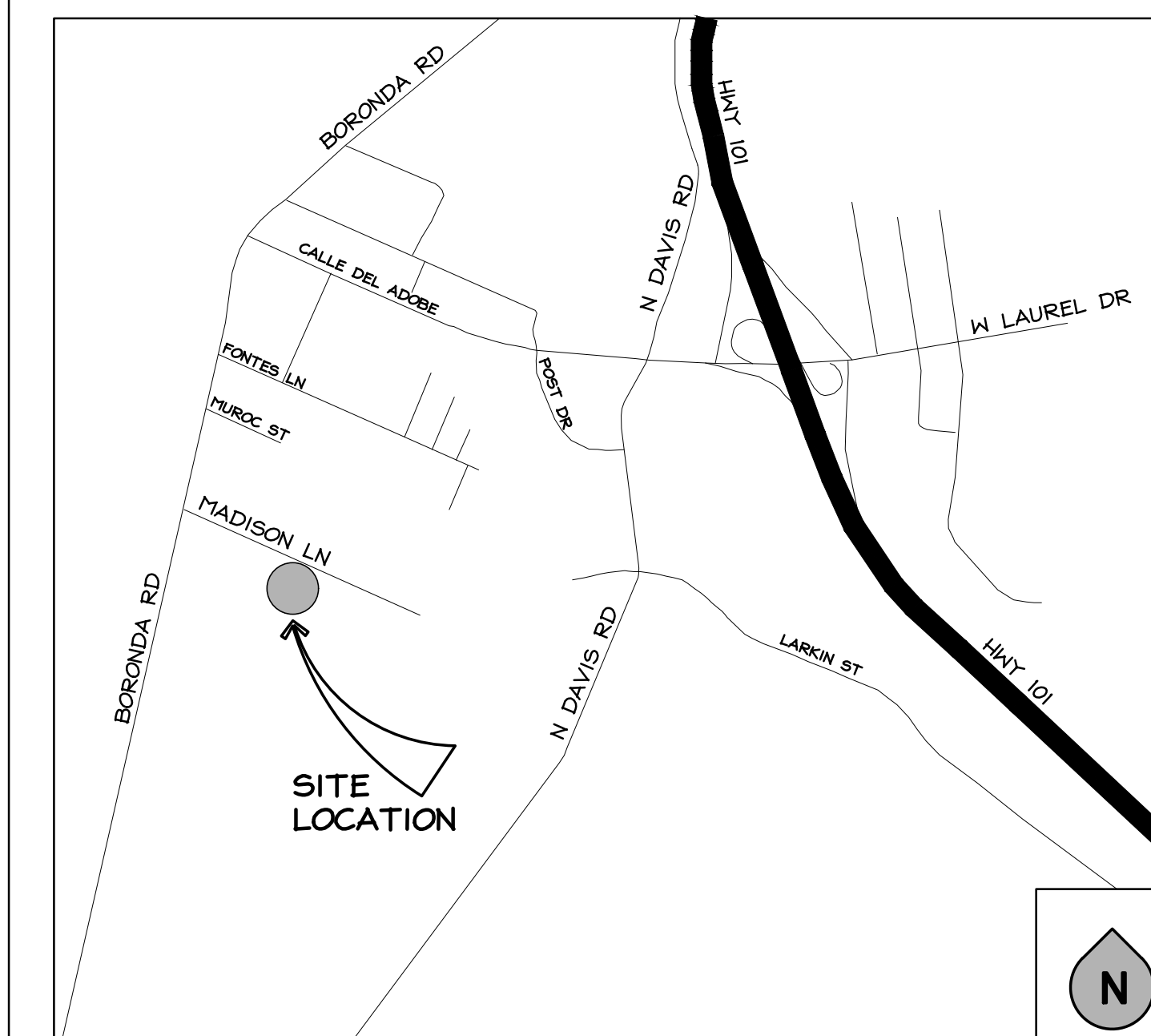
SHEET INDEX

COVER SHEET
TI.1 TITLE SHEET

CIVIL
C1 GRADING AND DRAINAGE PLAN
C2 EROSION CONTROL PLAN

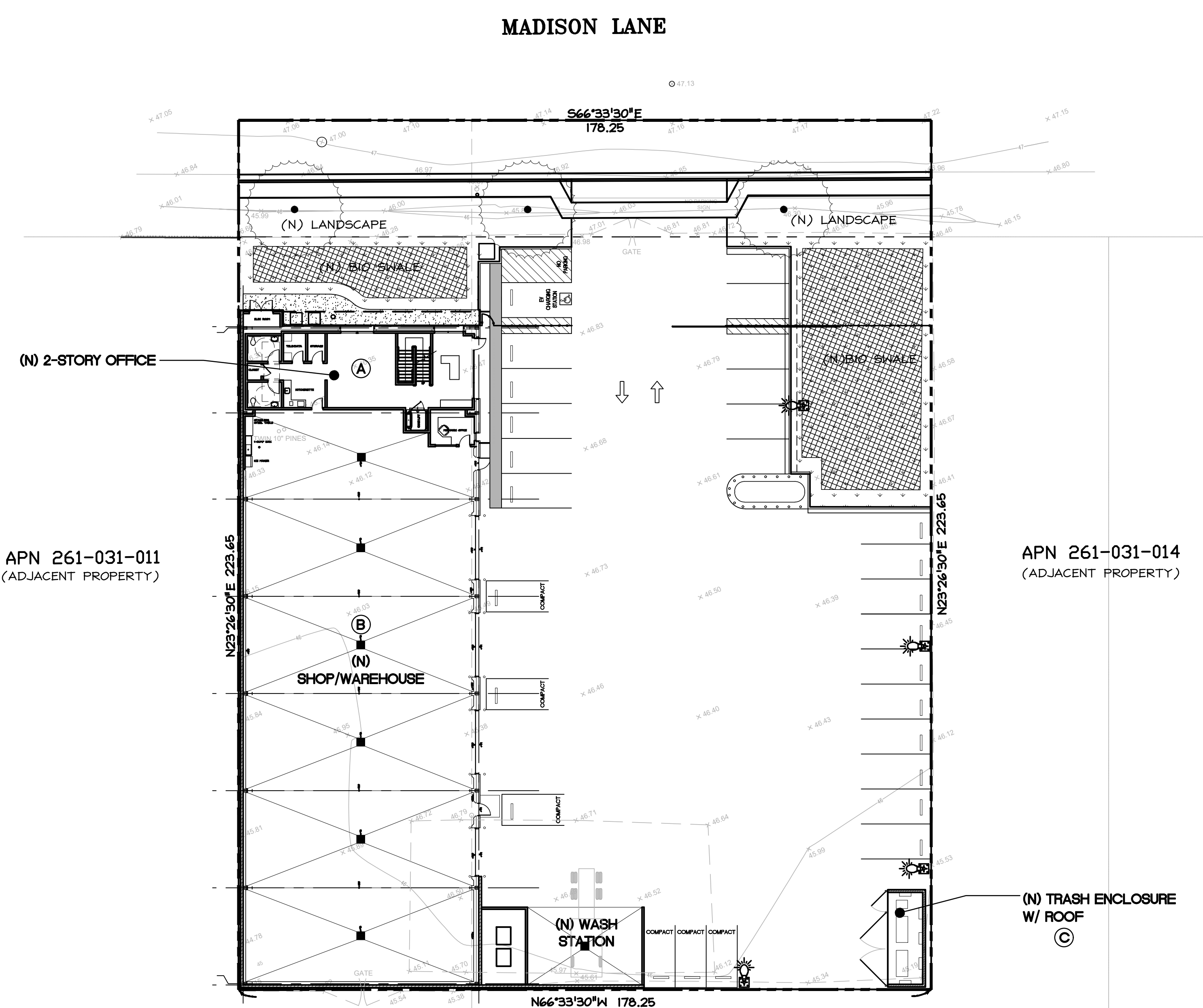
ARCHITECTURAL
A1.0 FIRE ACCESS PLAN
A1.1 SITE PLAN
A2.0 FLOOR PLANS
A4.1 EXTERIOR ELEVATIONS
A4.2 3D RENDERINGS

ELECTRICAL
E0.1 SYMBOLS, ABBREVIATIONS, LIGHT FIXTURES SCHEDULES, CODES, STANDARDS, NOTES & SHEETS INDEX
E2.1 ELECTRICAL SITE PLAN
E2.2 LIGHT FIXTURE CUT SHEETS



VICINITY MAP

NO SCALE



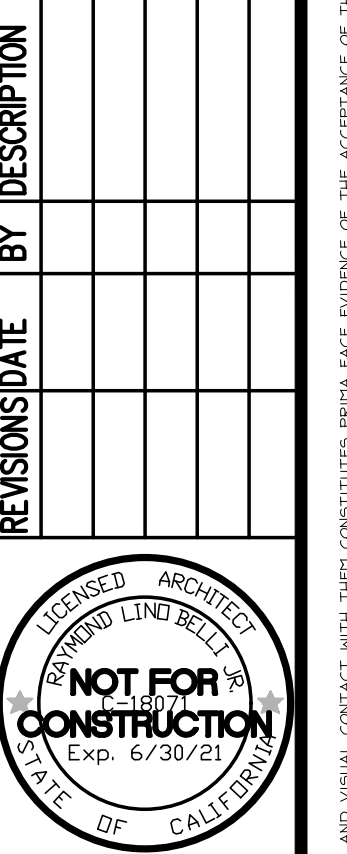
APN 261-031-011
(ADJACENT PROPERTY)

APN 261-031-014
(ADJACENT PROPERTY)

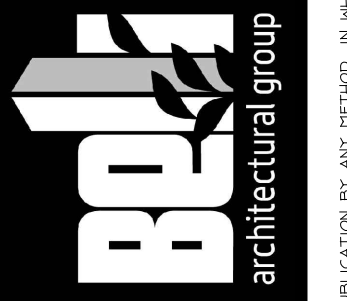
APN 261-031-015
(ADJACENT PROPERTY)



1 EGRESS PLAN
SCALE: 1" = 20'-0"



BELLI ARCHITECTURAL GROUP 831 . 424 . 4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIAAG.COM



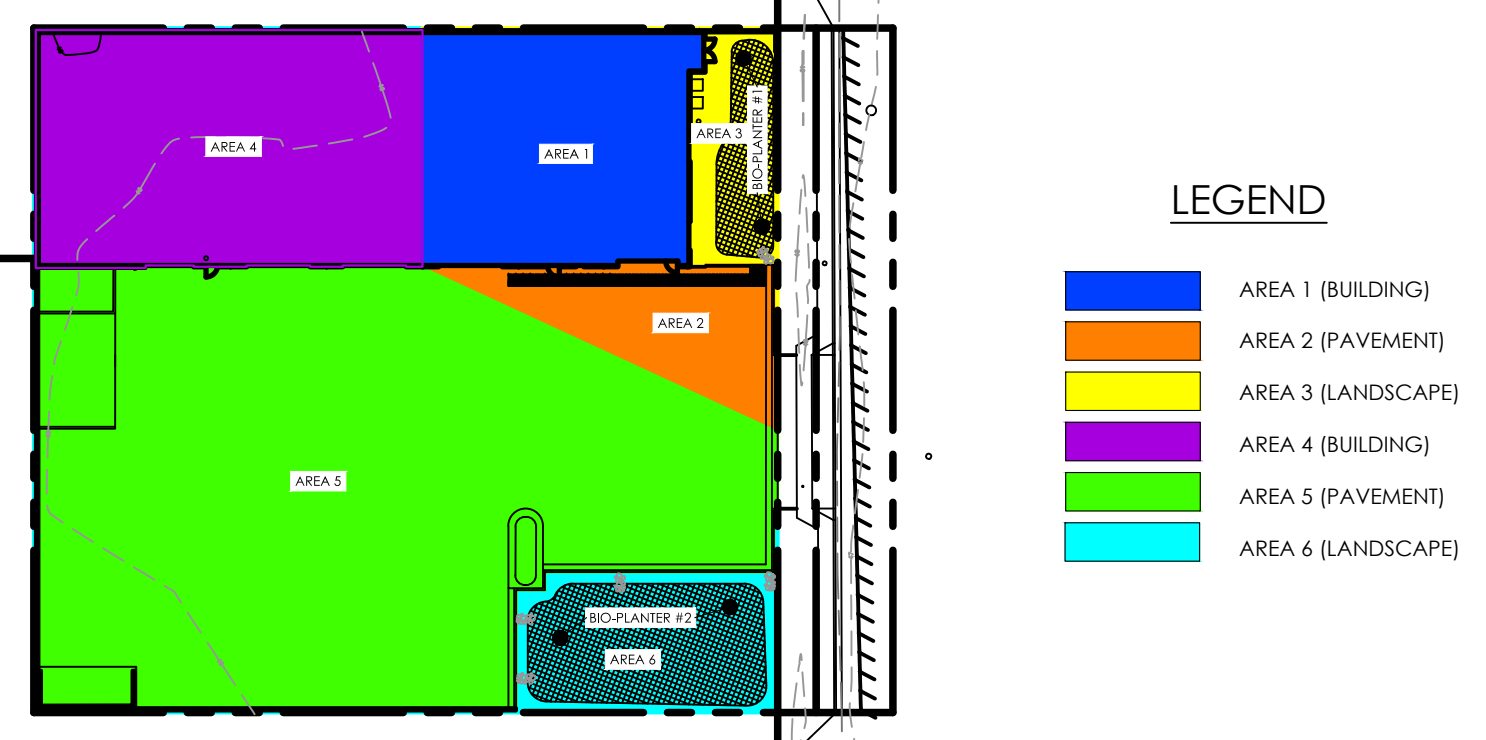
TITLE SHEET
NEW 2-STORY OFFICE & WAREHOUSE BUILDING FOR:
CHRISP COMPANY
1135 MADISON LANE
SALINAS, CA 93907

DATE	12/02/2020
SCALE	AS NOTED
DRAWN	JN
JOB	20033
SHEET	11.1
OF SHEETS	

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THESE DOCUMENTS FROM ANY FACE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

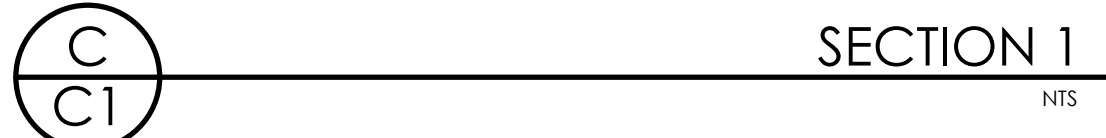
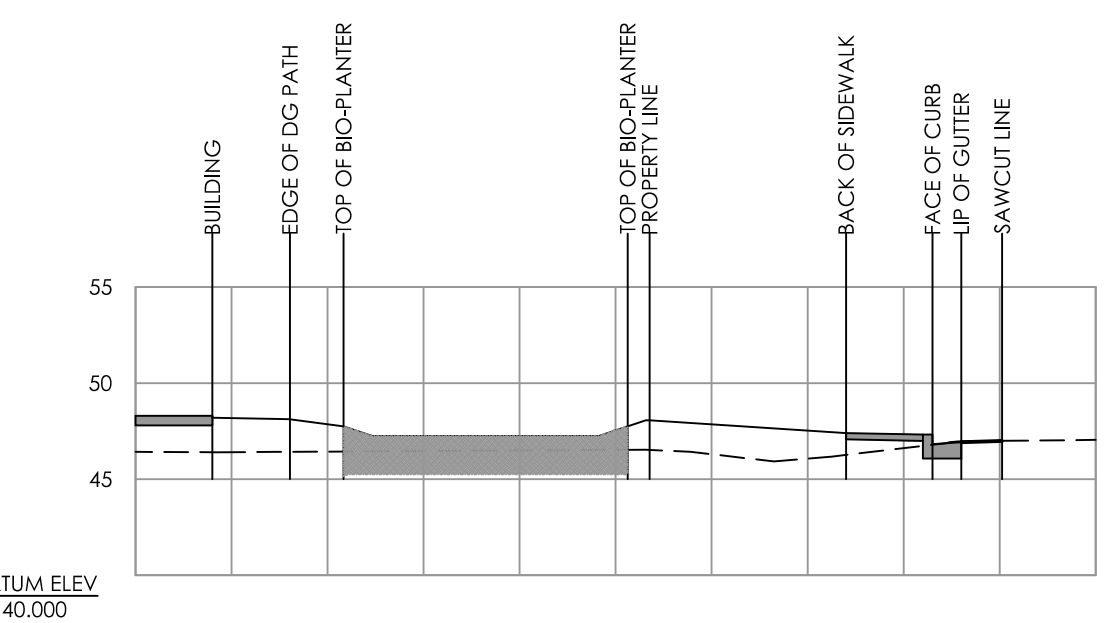
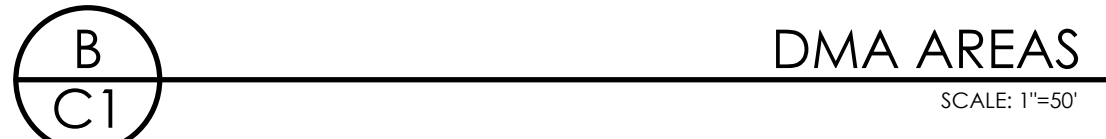
THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE PROHIBITED WITHOUT THE WRITTEN CONSENT OF C3 ENGINEERING.

Drawing file: Z:\Projects\120141 Bell-Madison Lane.dwg | 120141 Grading Plan.dwg
 Plotted: Feb 15, 2021 12:20pm



LEGEND

- AREA 1 (BUILDING)
- AREA 2 (PAVEMENT)
- AREA 3 (LANDSCAPE)
- AREA 4 (BUILDING)
- AREA 5 (PAVEMENT)
- AREA 6 (LANDSCAPE)



Central Coast Region Stormwater Control Measure Sizing Calculator

1. Project Information

Project name:	Madison Lane
Project location:	Salinas, CA
Tier 2/Tier 3:	Tier 3 - Retention
Design rainfall depth (in):	1.1
Total project area (ft2):	34518
Total DMA area (ft2):	34518
Total new impervious area (ft2):	30417
Total replaced impervious within a USA (ft2):	0
Total replaced impervious not in a USA (ft2):	0
Total pervious/landscape area (ft2):	4101
Total SCM area (ft2):	4101

2. DMA Characterization

Name	DMA Type	Area (ft2)	Surface Type	New, Replaced?	Connection
AREA 1	Drains to SCM	4304	Roof	New	BIO PLANTER 1
AREA 2	Drains to SCM	2021	Concrete or asphalt	New	BIO PLANTER 1
AREA 3	Drains to SCM	1429	Landscape	New	BIO PLANTER 1
AREA 4	Drains to SCM	6204	Roof	New	BIO PLANTER 2
AREA 5	Drains to SCM	17888	Concrete or asphalt	New	BIO PLANTER 2
AREA 6	Drains to SCM	2672	Landscape	New	BIO PLANTER 2

DMA Summary Area

Total assigned DMA area (ft2):	34518
New impervious area (ft2):	30417
Replaced impervious within a USA (ft2):	0
Replaced impervious not in a USA (ft2):	0
Total pervious/landscape area (ft2):	4101

3. SCM Characterization

Name	SCM Type	Safety Factor	SCM Soil Type	Infiltr. Rate (in/hr)	Area (ft2)
BIO PLANTER 1	Bioretention	1	HSG C/D	0.25	716
BIO PLANTER 2	Bioretention	1	HSG C/D	0.25	1867

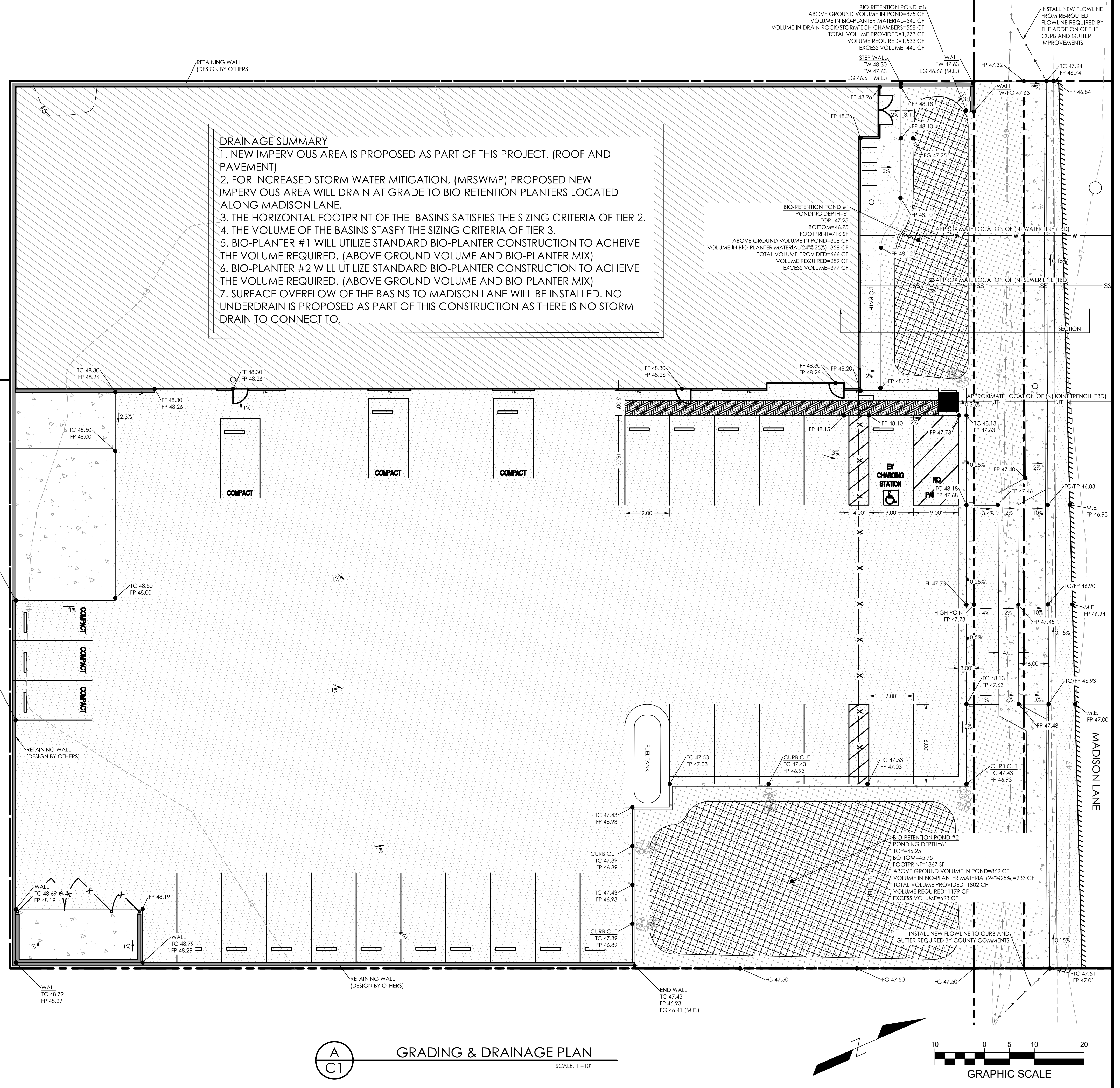
4. Run SBUH Model

5. SCM Minimum Sizing Requirements

SCM Name	Min. Required Storage Vol. (ft3)	Depth Below Underdrain (ft)	Drain Time (hours)	Orifice Diameter (in)
BIO PLANTER 1	286	1.00	16.4	
BIO PLANTER 2	1179	1.58	30.1	

6. Self-Retaining Area Sizing Checks

Self-Retaining DMA Name	Self-Retaining DMA Area (ft2)	Tributary DMA Name(s)	Eff. Tributary DMA Area (ft2)	Effective Tributary / SRA Area Ratio



DRAINAGE SUMMARY

1. NEW IMPERVIOUS AREA IS PROPOSED AS PART OF THIS PROJECT. (ROOF AND PAVEMENT)
2. FOR INCREASED STORM WATER MITIGATION, (MRSWMP) PROPOSED NEW IMPERVIOUS AREA WILL DRAIN AT GRADE TO BIO-RETENTION PLANTERS LOCATED ALONG MADISON LANE.
3. THE HORIZONTAL FOOTPRINT OF THE BASINS SATISFIES THE SIZING CRITERIA OF TIER 2.
4. THE VOLUME OF THE BASINS STAFSY THE SIZING CRITERIA OF TIER 3.
5. BIO-PLANTER #1 WILL UTILIZE STANDARD BIO-PLANTER CONSTRUCTION TO ACHIEVE THE VOLUME REQUIRED. (ABOVE GROUND VOLUME AND BIO-PLANTER MIX)
6. BIO-PLANTER #2 WILL UTILIZE STANDARD BIO-PLANTER CONSTRUCTION TO ACHIEVE THE VOLUME REQUIRED. (ABOVE GROUND VOLUME AND BIO-PLANTER MIX)
7. SURFACE OVERFLOW OF THE BASINS TO MADISON LANE WILL BE INSTALLED. NO UNDERDRAIN IS PROPOSED AS PART OF THIS CONSTRUCTION AS THERE IS NO STORM DRAIN TO CONNECT TO.

GRADING & DRAINAGE PLAN SCALE: 1"=10'



REVISIONS: [Table with columns for DATE, DESCRIPTION, and REVISIONS]
 PROFESSIONAL SEAL: [Professional Engineer Seal]
 BELLI ARCHITECTURAL GROUP 831 424 4620
 235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
 BELLIAG.COM
CC3 ENGINEERING INCORPORATED
 12255 MONTEREY STREET, SUITE 100, SALINAS, CA 93907
 GRADING AND DRAINAGE PLAN
 USE PERMIT FOR:
CHRISP COMPANY
 1135 MADISON LANE
 SALINAS, CA 93907
 DATE: 02-15-2021
 SCALE: AS NOTED
 DRAWN: JPR
 JOB: 120141
 SHEET: C1
 OF 2 SHEETS

GENERAL NOTES

1. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES.
 - B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
2. THE CONTRACTOR SHALL ASSUME LIABILITY FOR DAMAGE RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE CITY, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
3. ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY THE CITY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
4. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
 - A) VEGETATION REMOVAL SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
 - C) RUN-OFF FROM THE SITE SHALL BE FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
 - D) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
5. THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
6. ALL POLLUTANTS AND THEIR SOURCES, INCLUDING SOURCES OF SEDIMENT ASSOCIATED WITH CONSTRUCTION, CONSTRUCTION SITE EROSION AND ALL OTHER ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY ARE CONTROLLED;
7. ALL NON-STORM WATER DISCHARGES ARE IDENTIFIED AND EITHER ELIMINATED, CONTROLLED, OR TREATED;
8. SITE BMPs ARE TO BE EFFECTIVE AND RESULT IN THE REDUCTION OR ELIMINATION OF POLLUTANTS IN STORM WATER DISCHARGES AND AUTHORIZED NON-STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITY
9. STABILIZATION BMPs INSTALLED TO REDUCE OR ELIMINATE POLLUTANTS AFTER CONSTRUCTION IS COMPLETED.
10. BEST MANAGEMENT PRACTICES (BMPs) TO BE IMPLEMENTED BY THE PROJECT ARE LISTED BY CATEGORY, FACT SHEETS, AND DETAILS FOR THE BMPs SELECTED FOR THIS PROJECT. CAN BE FOUND IN THE CASQA STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK.

MONTEREY COUNTY INSPECTIONS

1. PRIOR TO COMMENCEMENT OF LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY REGULATIONS.
2. DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEO-TECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.
3. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL DISTURBED AREAS HAVE BEEN STABILIZED AND ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
4. THE APPLICANT SHALL PROVIDE CERTIFICATION FROM A LICENSED PRACTITIONER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTION IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT.

GOOD SITE MANAGEMENT 'HOUSEKEEPING'

1. POLLUTANTS IN STORM WATER DISCHARGES FROM THE PROJECT DURING CONSTRUCTION MAY ORIGINATE FROM THE DAILY OPERATION OF EQUIPMENT, GRADING OPERATIONS, AND STOCKPIILING OF MATERIALS. DISCHARGERS SHALL IMPLEMENT GOOD HOUSEKEEPING MEASURES ON THE CONSTRUCTION SITE TO CONTROL THE AIR DEPOSITION OF SITE MATERIALS AND FROM SITE OPERATIONS. SUCH PARTICULATES CAN INCLUDE, BUT ARE NOT LIMITED TO, SEDIMENT, NUTRIENTS, TRASH, METALS, BACTERIA, OIL AND GREASE AND ORGANICS.

WASTE MANAGEMENT POLLUTION CONTROL

1. THE DISCHARGER SHALL PREVENT DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PVIOUSLY USE SURFACES OR INTO THE STORM DRAIN SYSTEM.
2. THE DISCHARGER SHALL ENSURE THE CONTAINMENT OF SANITATION FACILITIES (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER. THE SANITATION FACILITIES SHALL BE CLEANED, REPLACED, AND INSPECTED REGULARLY FOR LEAKS AND SPILLS.
3. WASTE DISPOSAL CONTAINERS SHALL BE COVERED AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT. NO DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE ALLOWED.
4. STOCKPILED MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
5. PROCEDURES SHALL BE DEVELOPED THAT EFFECTIVELY ADDRESS HAZARDOUS AND NONHAZARDOUS SPILLS. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE. SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY.
6. CONCRETE WASHOUT AREAS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.
7. DISCHARGER SHALL MAINTAIN VEHICLES TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS. ALL EQUIPMENT OR VEHICLES SHALL BE FUELED, MAINTAINED AND STORED IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs. LEAKS SHALL BE CLEANED IMMEDIATELY AND DISPOSED OF PROPERLY.
8. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE WASTE MANAGEMENT POLLUTION CONTROL WHERE APPLICABLE:
 - WM-1. MATERIAL DELIVERY AND STORAGE
 - WM-2. MATERIAL USE
 - WM-3. STOCKPILE MANAGEMENT
 - WM-4. SPILL PREVENTION AND CONTROL
 - WM-5. SOLID WASTE MANAGEMENT
 - WM-6. HAZARDOUS WASTE MANAGEMENT
 - WM-7. CONTAMINATED SOIL MANAGEMENT
 - WM-8. CONCRETE WASTE MANAGEMENT
 - WM-9. SANITARY/SEPTIC WASTE MANAGEMENT
 - WM-10. LIQUID WASTE MANAGEMENT
9. THE CONTRACTOR SHALL REVIEW CONSTRUCTION ACTIVITIES TO IDENTIFY AND QUANTIFY LIKELY CONSTRUCTION MATERIALS AND WASTES. SPECIAL NOTICE SHALL BE MADE OF MATERIALS AND WASTES WITH SPECIAL HANDLING OR DISPOSAL REQUIREMENTS, SUCH AS LEAD CONTAMINATED SOILS, CONCRETE SAW-CUTTING LIQUIDS, WASTE CHEMICALS AND EMPTY CHEMICAL CONTAINERS. THE CONTRACTOR SHALL FOLLOW ALL MANUFACTURERS' STORAGE AND HANDLING RECOMMENDATIONS AND FOLLOW ALL FEDERAL, STATE, AND LOCAL REGULATIONS, WHERE POSSIBLE. CONTRACTOR SHALL USE SAFER AND LESS POLLUTING PRODUCTS.

EROSION CONTROL (SOIL STABILIZATION)

1. SUFFICIENT EROSION CONTROL MATERIALS WILL BE MAINTAINED ON-SITE TO ALLOW FOR IMMEDIATE DEPLOYMENT BEFORE THE ONSET OF RAIN.
2. DISCHARGERS SHALL PROVIDE EFFECTIVE SOIL COVERS FOR INACTIVE AREAS (MORE THAN 14 DAYS UN-DISTURBED) AND ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL, AND COMPLETED LOTS.
3. DISCHARGERS SHALL LIMIT THE USE OF PLASTIC MATERIALS WHEN MORE SUSTAINABLE, ENVIRONMENTALLY FRIENDLY ALTERNATIVES EXIST. WHERE PLASTIC MATERIALS ARE DEEMED NECESSARY, THE DISCHARGER SHALL CONSIDER THE USE OF PLASTIC MATERIALS RESISTANT TO SOLAR DEGRADATION.
4. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE TEMPORARY AND FINAL EROSION CONTROL DURING CONSTRUCTION WHERE APPLICABLE:
 - EC-1. SCHEDULING
 - EC-2. PRESERVATION OF EXISTING VEGETATION
 - EC-3. HYDRAULIC MULCH
 - EC-4. HYDROSEEDING
 - EC-5. SOIL BINDERS
 - EC-6. STRAW MULCH
 - EC-7. GEOTEXTILES AND MATS
 - EC-8. WOOD MULCHING
 - EC-9. EARTH DIKES AND DRAINAGE SWALES
 - EC-10. VELOCITY DISSIPATION DEVICES
 - EC-11. SLOPE DRAINS
 - EC-12. STREAMBANK STABILIZATION
 - EC-13. POLYACRYLAMIDE
5. SPECIAL CARE SHALL BE TAKEN SO THAT NO FILL MATERIALS SHALL BE PLACED, SPREAD, OR ROLLED DURING UNFAVORABLE WEATHER CONDITIONS.

SEDIMENT CONTROL

1. SUFFICIENT QUANTITIES OF TEMPORARY SEDIMENT CONTROL MATERIALS WILL BE MAINTAINED ON-SITE THROUGHOUT THE DURATION OF THE PROJECT, TO ALLOW IMPLEMENTATION OF TEMPORARY SEDIMENT CONTROLS IN THE EVENT OF PREDICTED RAIN AND FOR RAPID RESPONSE TO FAILURES OR EMERGENCIES.
2. DISCHARGERS SHALL ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE.
3. DISCHARGERS SHALL EFFECTIVELY MANAGE ALL RUN-ON. ALL RUNOFF WITHIN THE SITE AND ALL RUNOFF THAT DISCHARGES OFF THE SITE, RUN-ON FROM OFF-SITE SHALL BE DIRECTED AWAY FROM ALL DISTURBED AREAS OR SHALL COLLECTIVELY BE IN COMPLIANCE WITH THE EFFLUENT LIMITATION OF THIS PERMIT.
4. DISCHARGERS SHALL APPLY LINEAR SEDIMENT CONTROLS ALONG THE TOE OF THE SLOPE, FACE OF THE SLOPE, AND AT THE GRADE BREAKS OF EXPOSED SLOPES.
5. DISCHARGERS SHALL ENSURE THAT CONSTRUCTION ACTIVITY TRAFFIC TO AND FROM THE PROJECT IS LIMITED TO ENTRANCES AND EXITS THAT EMPLOY EFFECTIVE CONTROLS TO PREVENT OFFSITE TRACKING OF SEDIMENT.
6. DISCHARGERS SHALL ENSURE THAT ALL STORM DRAIN INLETS AND PERIMETER CONTROLS, RUNOFF CONTROL BMPs, AND POLLUTANT CONTROLS AT ENTRANCES AND EXITS (E.G. TIRE WASHOFF LOCATIONS) ARE MAINTAINED AND PROTECTED FROM ACTIVITIES THAT REDUCE THEIR EFFECTIVENESS.
7. DISCHARGERS SHALL INSPECT ON A DAILY BASIS ALL IMMEDIATE ACCESS ROADS DAILY.
8. AT A MINIMUM DAILY (WHEN NECESSARY) AND PRIOR TO ANY RAIN EVENT, THE DISCHARGER SHALL REMOVE ANY SEDIMENT OR OTHER CONSTRUCTION ACTIVITY RELATED MATERIALS THAT ARE DEPOSITED ON THE ROADS (BY VACUUMING OR SWEEPING).
9. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE TEMPORARY AND FINAL SEDIMENT CONTROL DURING CONSTRUCTION WHERE APPLICABLE:
 - SE-1. SILT FENCE
 - SE-2. SEDIMENT BASIN
 - SE-3. SEDIMENT TRAP
 - SE-4. CHECK DAMS
 - SE-5. FIBER ROLLS
 - SE-6. GRAVEL BAG BERM
 - SE-7. STREET SWEEPING AND VACUUMING
 - SE-8. SANDING BARRIER
 - SE-9. STRAW BALE BARRIER
 - SE-10. STORM DRAIN INLET PROTECTION
 - SE-11. CHEMICAL TREATMENT

TRACKING CONTROL

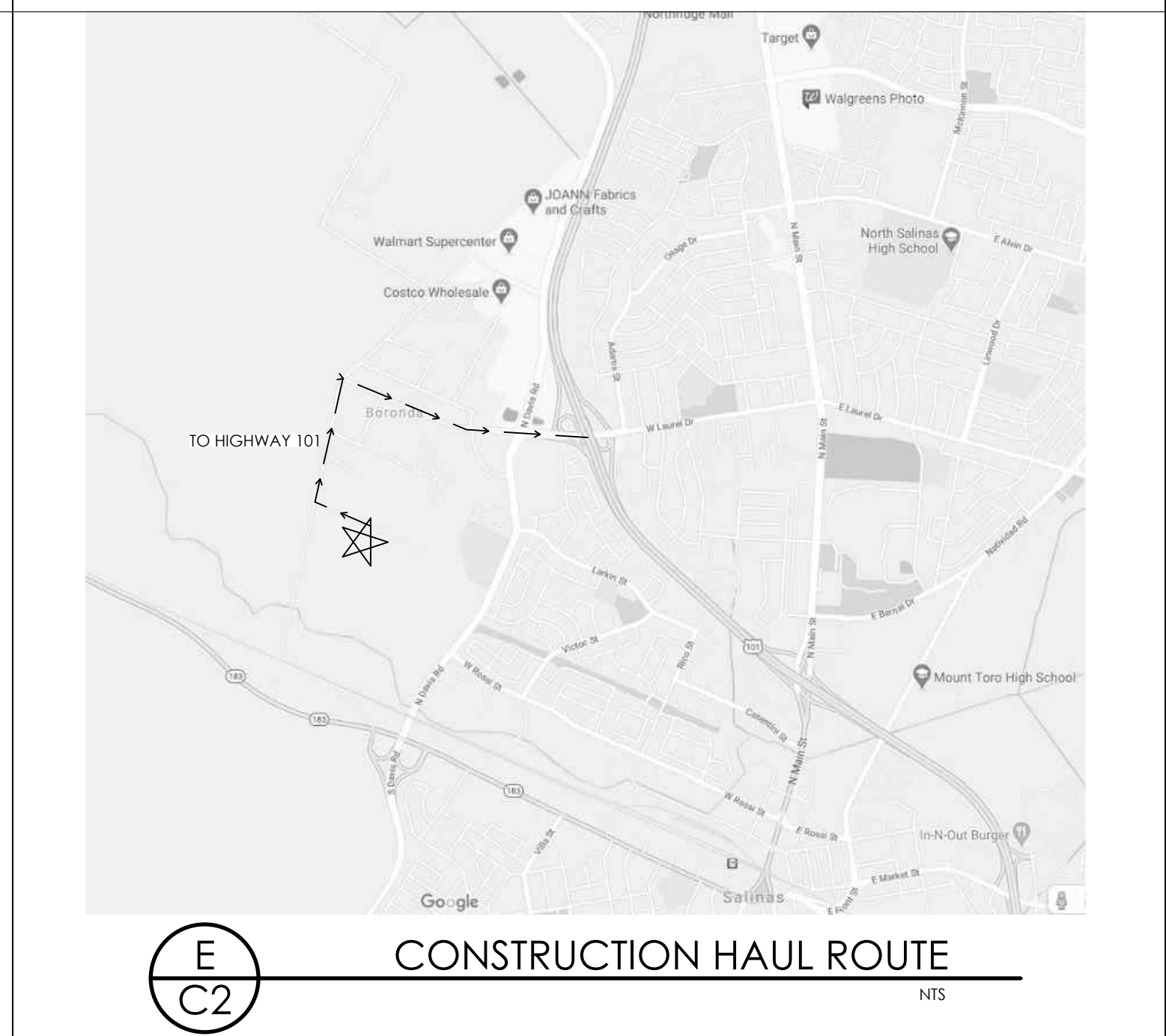
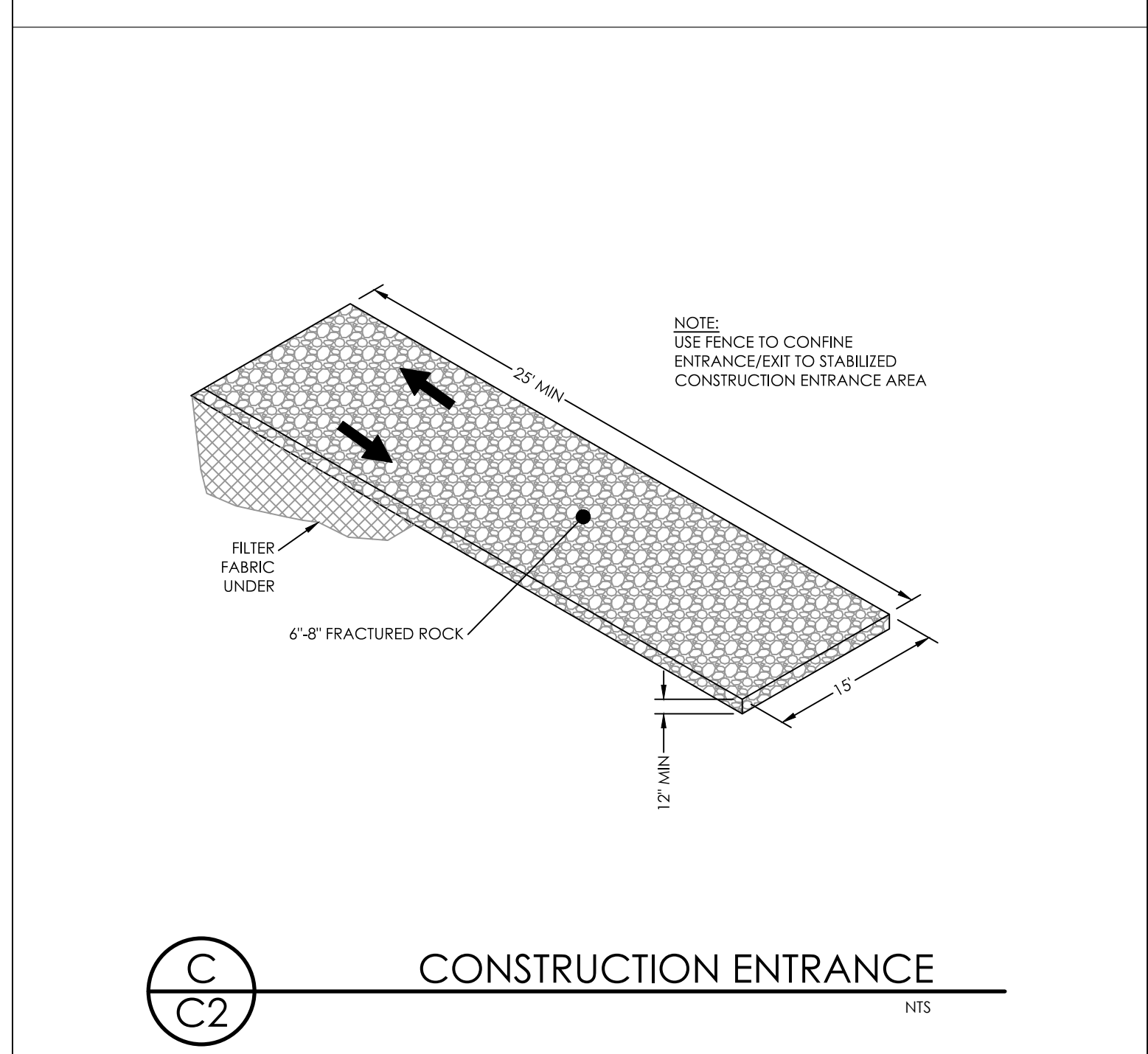
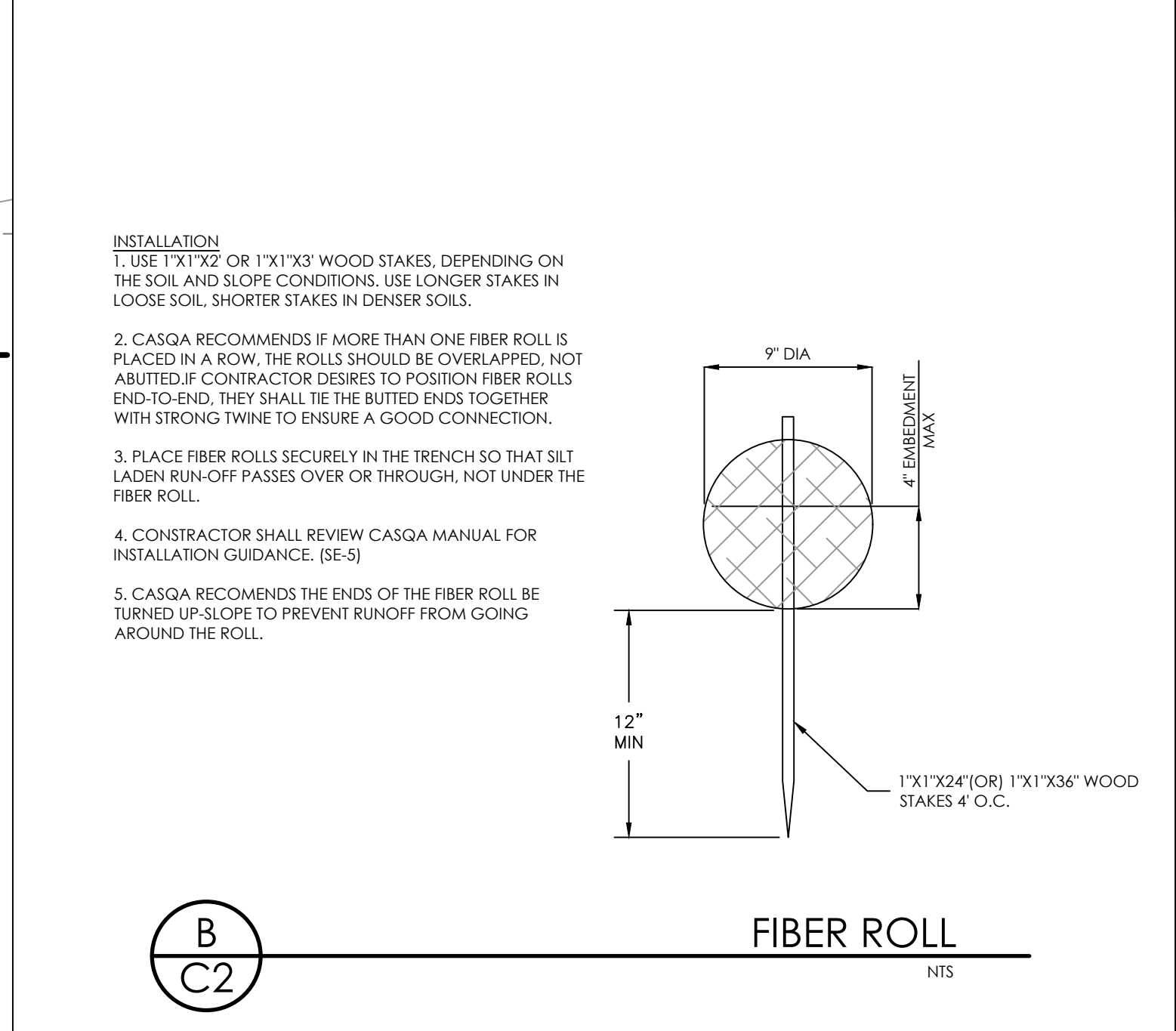
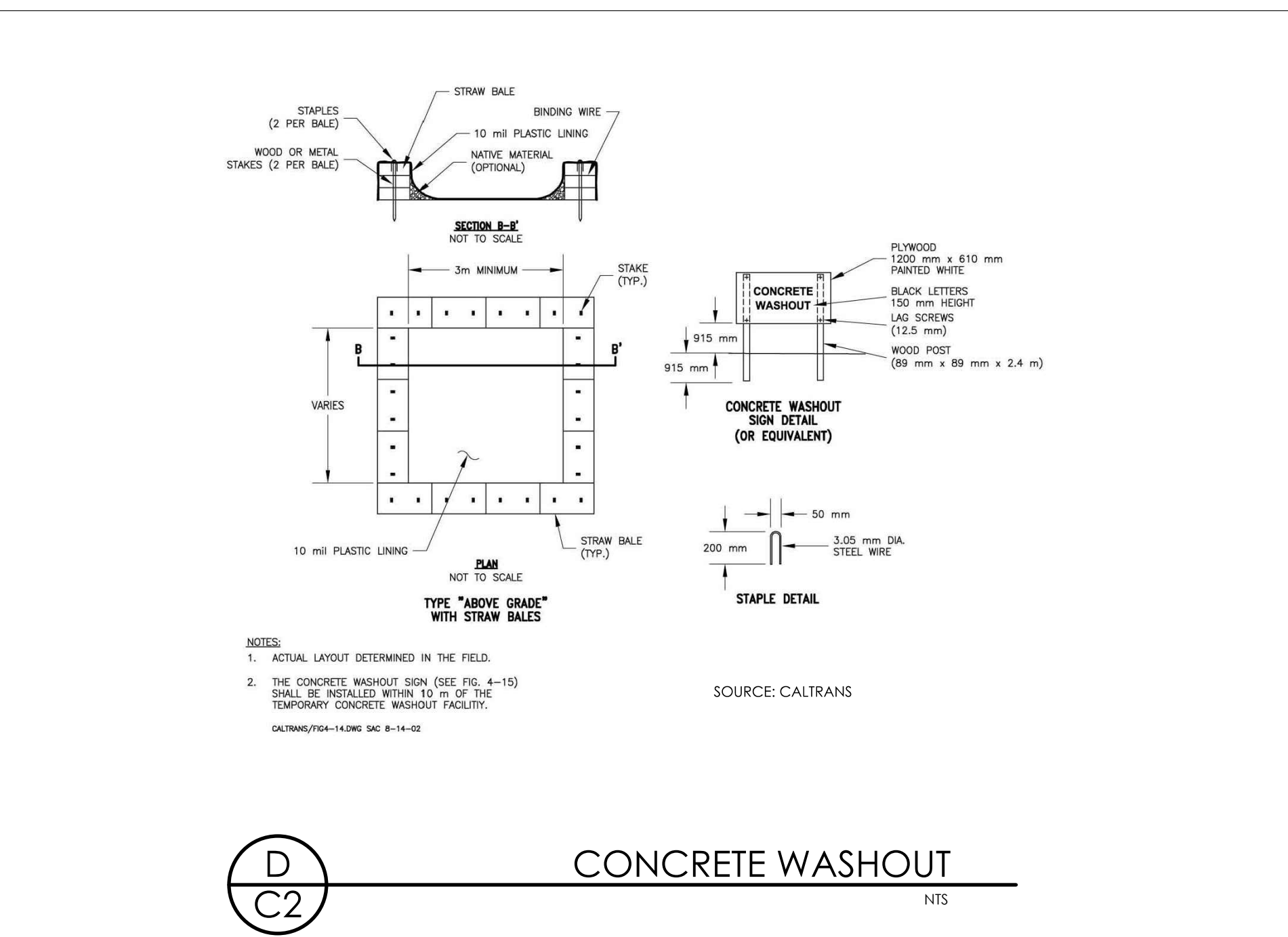
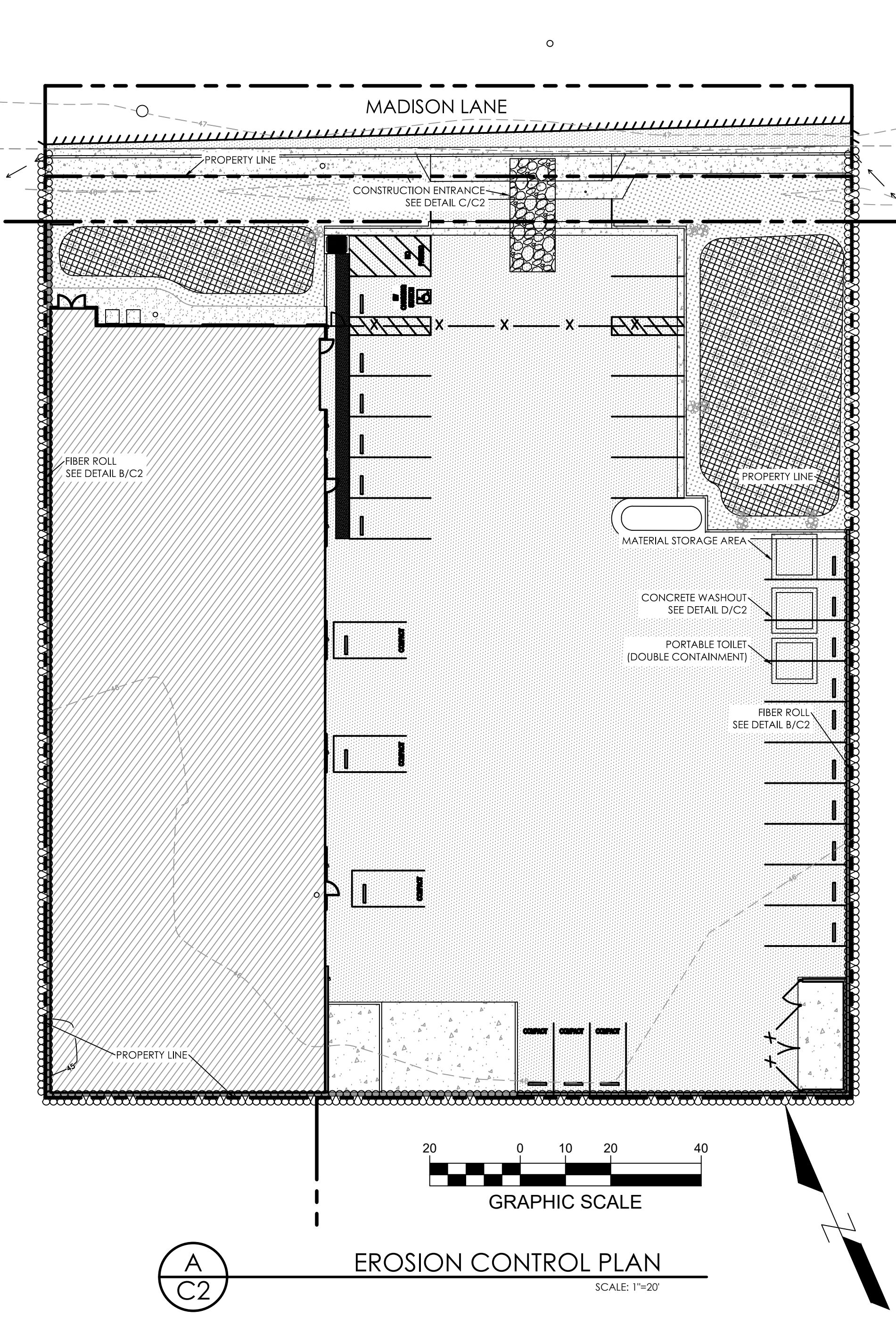
1. TRACKING CONTROLS SHALL BE IMPLEMENTED AND MAINTAINED YEAR-ROUND AND THROUGHOUT THE DURATION OF THE PROJECT, AT ALL ACCESS (INGRESS/EGRESS) POINTS TO THE PROJECT SITE WHERE VEHICLES AND/OR EQUIPMENT MAY TRACK SEDIMENT FROM THE CONSTRUCTION SITE ONTO PUBLIC OR PRIVATE ROADWAYS.
2. IN GENERAL, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE TRACKING CONTROL DURING CONSTRUCTION WHERE APPLICABLE:
 - TC-1. STABILIZED CONSTRUCTION ENTRANCE/EXIT
 - TC-2. STABILIZED CONSTRUCTION ROADWAY
 - TC-3. ENTRANCE/OUTLET TIRE WASH

WIND EROSION CONTROL

1. WIND EROSION CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED YEAR-ROUND AND THROUGHOUT THE DURATION OF THE PROJECT ON ALL DISTURBED SOILS ON THE PROJECT SITE THAT ARE SUBJECT TO WIND EROSION, AND WHEN SIGNIFICANT WIND AND DRY CONDITIONS ARE ANTICIPATED DURING PROJECT CONSTRUCTION. THE OBJECTIVE OF WIND CONTROLS IS TO PREVENT THE TRANSPORT OF SOIL FROM DISTURBED AREAS OF THE PROJECT SITE BY WIND.
2. IN GENERAL, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE WIND EROSION CONTROL DURING CONSTRUCTION WHERE APPLICABLE:
 - WE-1. WIND EROSION CONTROL

NON-STORMWATER MANAGEMENT POLLUTION CONTROL

1. NON-STORM WATER DISCHARGES CONSIST OF ALL DISCHARGES TO/FROM A MUNICIPAL STORM WATER CONVEYANCE, WHICH DO NOT ORIGINATE FROM PRECIPITATION EVENTS (I.E., ALL DISCHARGES FROM A CONVEYANCE SYSTEM OTHER THAN STORM WATER).
2. DISCHARGERS SHALL IMPLEMENT MEASURES TO CONTROL ALL NON-STORM WATER DISCHARGES DURING CONSTRUCTION.
3. DISCHARGERS SHALL WASH VEHICLES IN SUCH A MANNER AS TO PREVENT NON-STORM WATER DISCHARGES.
4. DISCHARGERS SHALL CLEAN STREETS IN SUCH A MANNER AS TO PREVENT UNAUTHORIZED NON-STORM WATER DISCHARGES.
5. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE NON-STORMWATER MANAGEMENT POLLUTION CONTROL WHERE APPLICABLE:
 - NS-1. WATER CONSERVATION PRACTICES
 - NS-2. WATERING OPERATIONS
 - NS-3. PAVING AND GRINDING OPERATIONS
 - NS-4. TEMPORARY STREAM CROSSING
 - NS-5. CLEAR WATER DIVERSION
 - NS-6. ILLICIT CONNECTION/ILLEGAL DISCHARGE DETECTION AND REPORTING
 - NS-7. POTABLE WATER / IRRIGATION
 - NS-8. VEHICLE AND EQUIPMENT CLEANING
 - NS-9. VEHICLE AND EQUIPMENT FUELING
 - NS-10. VEHICLE AND EQUIPMENT MAINTENANCE
 - NS-11. PILE DRIVING OPERATIONS
 - NS-12. CONCRETE CURING
 - NS-13. MATERIALS AND EQUIPMENT USE OVER WATER
 - NS-14. CONCRETE FINISHING
 - NS-15. STRUCTURE DEMOLITION/REMOVAL
 - NS-16. TEMPORARY BATCH PLANTS



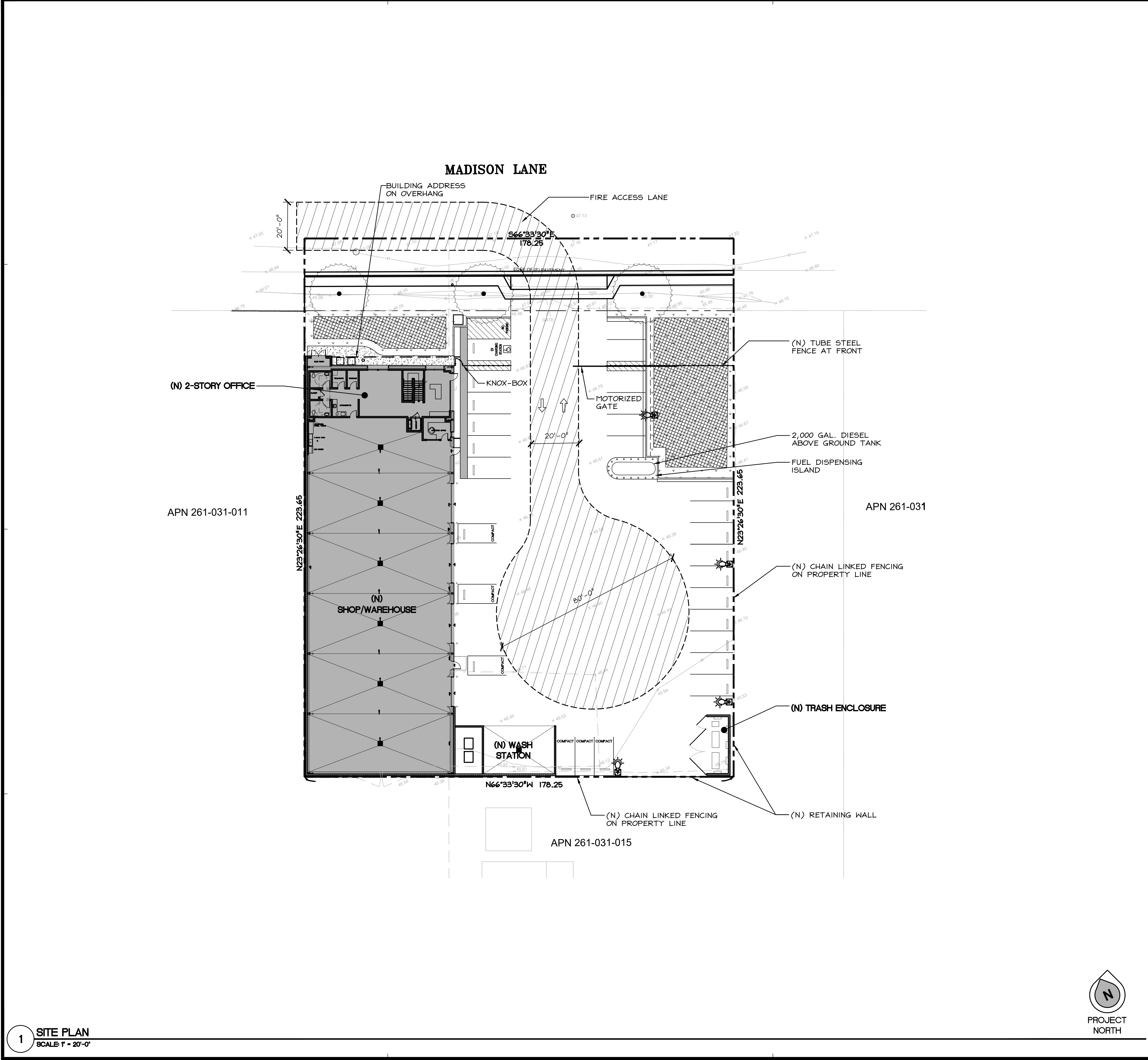
THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. ANY REUSE, REPRODUCTION OR PUBLICATION, IN WHOLE OR IN PART, IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF C3 ENGINEERING.

REVISIONS	DATE	DESCRIPTION

BELLI ARCHITECTURAL GROUP 831 424 4620
 235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
 BELLIAG.COM

C3 ENGINEERING
 INCORPORATED
 12655 MONTEREY AVENUE, SUITE 100, SALINAS, CA 93906
 (831)424-1192 (831)424-1194 fax

EROSION CONTROL PLAN	USE PERMIT FOR:	CHRISP COMPANY
DATE	02-15-2021	1135 MADISON LANE
SCALE	AS NOTED	SALINAS, CA 93907
DRAWN	JPR	
JOB	120141	
SHEET		C2
OF 2 SHEETS		



FIRE DEPARTMENT NOTES

- ROAD ACCESS:** ACCESS ROADS SHALL BE REQUIRED FOR EVERY BUILDING WHEN ANY PORTION OF THE EXTERIOR WALL OF THE FIRST STORY IS LOCATED MORE THAN 15'-0" FROM FIRE DEPARTMENT ACCESS. ALL ROADS SHALL BE CONSTRUCTED TO PROVIDE A MINIMUM WIDTH OF 20'-0" WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15'-0". THE ROADWAY SURFACE SHALL PROVIDE UNOBSTRUCTED ACCESS TO CONVENTIONAL DRIVE VEHICLES INCLUDING SEDANS AND FIRE APPARATUS AND SHALL BE AN ALL-WEATHER SURFACE DESIGNED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS (22 TONS).
- FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM:** THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR TO THE FIRE CODE OFFICIAL AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A CONSTRUCTION PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR AND COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION.
- FIRE ALARM SYSTEM (COMMERCIAL):** THE BUILDING(S) SHALL BE FULLY PROTECTED WITH AN APPROVED CENTRAL STATION, PROPRIETARY STATION, OR REMOTE STATION AUTOMATIC FIRE ALARM SYSTEM AS DEFINED BY NFPA 72. PLANS AND SPECIFICATIONS FOR THE FIRE ALARM SYSTEM SHALL BE SUBMITTED BY A CALIFORNIA LICENSED C-10 CONTRACTOR TO THE FIRE CODE OFFICIAL AND APPROVED PRIOR TO REQUESTING A ROUGH SPRINKLER OR FRAMING INSPECTION.
- DEFENSIBLE SPACE REQUIREMENTS:** MANAGE COMBUSTIBLE VEGETATION FROM WITHIN 100'-0" OF STRUCTURE, OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. TRIM TREE LIMBS TO A MINIMUM OF 6'-0" FROM THE GROUND. REMOVE TREE LIMBS FROM WITHIN 10'-0" OF CHIMNEYS. ADDITIONAL AND/OR ALTERNATE FIRE PROTECTION OR FIREBREAKS APPROVED BY THE FIRE CODE OFFICIAL MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATE FIRE PROTECTION TO BE DETERMINED BY THE FIRE CODE OFFICIAL AND THE DIRECTOR OF THE RESOURCE MANAGEMENT AGENCY.
- ADDRESSES FOR BUILDINGS:** ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF 4-INCH HEIGHT, 1/2-INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF A NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THE SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.
- GATES:** ALL GATES PROVIDING ACCESS FROM THE ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST 30'-0" FROM THE ROADWAY AND SHALL OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THE ROAD. GATE ENTRANCES SHALL BE AT LEAST THE WIDTH OF THE TRAFFIC BUT IN NO CASE LESS THAN 12'-0" WIDE. WHERE A ONE-WAY ROAD WITH A SINGLE TRAFFIC LANE PROVIDES ACCESS TO A GATED ENTRANCE, A 40'-0" TURNING RADIUS SHALL BE USED. WHERE GATES ARE TO BE LOCKED, THE INSTALLATION OF A KEY BOX OR OTHER ACCEPTABLE MEANS FOR IMMEDIATE ACCESS BY EMERGENCY EQUIPMENT MAY BE REQUIRED.
- EMERGENCY ACCESS KEY BOX:** EMERGENCY ACCESS KEY BOX ("KNOX BOX") SHALL BE INSTALLED AND MAINTAINED. THE TYPE AND LOCATION SHALL BE APPROVED BY THE FIRE DEPARTMENT. THE FIRE DEPARTMENT SHALL BE NOTIFIED WHEN LOCKS ARE CHANGED SO THAT EMERGENCY ACCESS KEY BOX CAN BE UPDATED WITH CURRENT KEYS.

LEGEND

- (E) PROPERTY LINE
- (N) TUBE STEEL FENCE
- (N) BUILDING AREA
- FIRE ACCESS ROUTE



PROJECT NORTH

REVISION	DATE	DESCRIPTION

NOT FOR CONSTRUCTION
Exp. 6/30/21

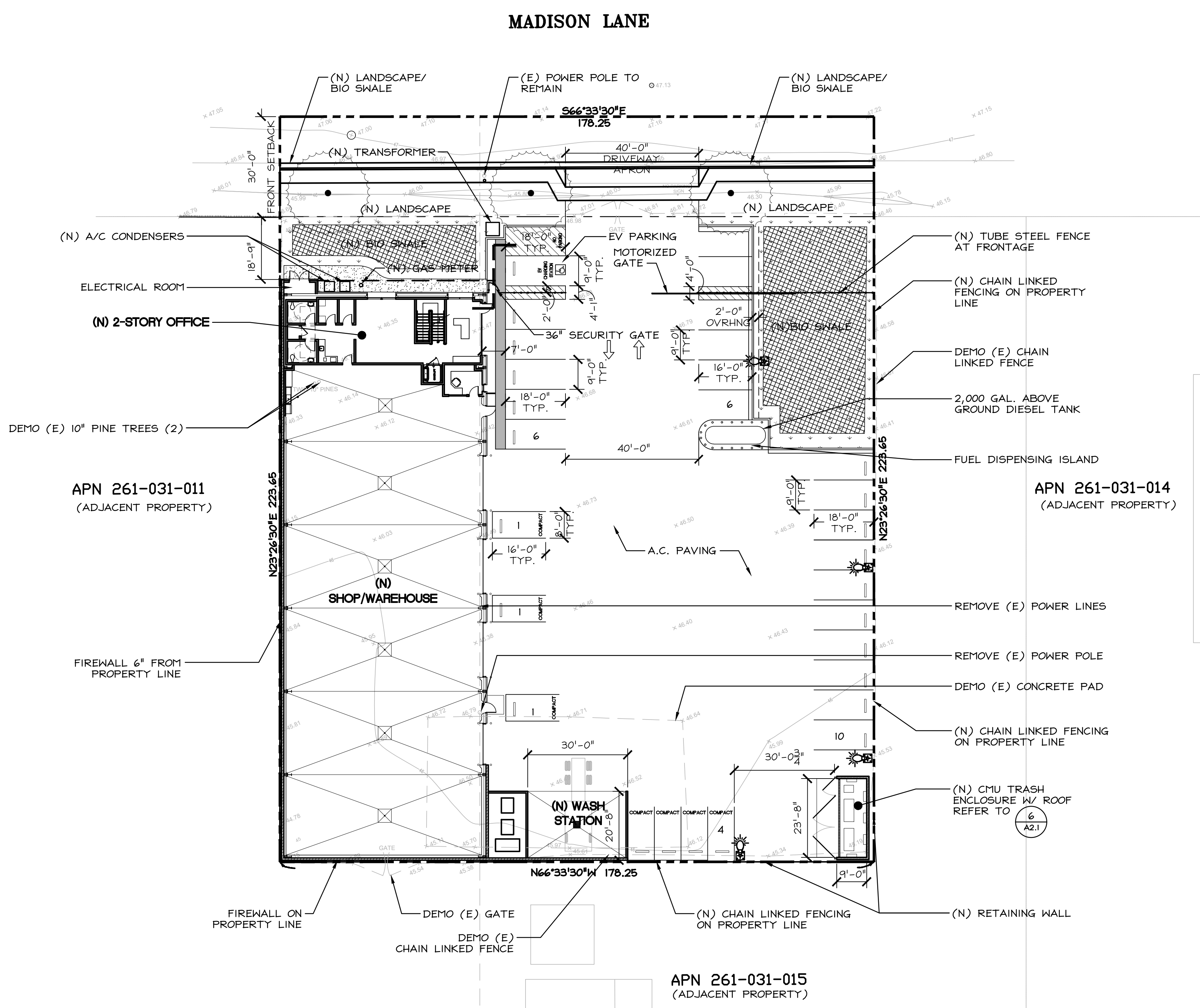
Belli Architectural Group
Belli Architectural Group 831 . 424 . 4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIAAG.COM

CHRISP COMPANY
1135 MADISON LANE
SALINAS, CA 93907

DATE	12/02/2020
SCALE	AS NOTED
DRAWN	JN
JOB	20033
SHEET	A10

OF SHEETS

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PIRACY. FACE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



LEGEND

- (E) PROPERTY LINE
- (N) TUBE STEEL FENCE
- (N) BUILDING AREA
- (N) TREES AT 60' INTERVAL

HAZARDOUS MATERIALS MANAGEMENT SERVICES NOTES:

THE OWNER OF THE PROPERTY IS RESPONSIBLE TO ENSURE THAT ALL USES ARE IN COMPLIANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. ANY LEASE AGREEMENT BETWEEN THE PROPERTY OWNER AND THE TENANT SHALL INCLUDE THE FOLLOWING INFORMATION:

"NO HAZARDOUS MATERIAL HANDLING OR STORAGE OR HAZARDOUS WASTE GENERATION IS ALLOWED ONSITE WITHOUT PROPER PERMITS FROM ENVIRONMENTAL HEALTH. ALL NEW TENANTS SHALL CONTACT ENVIRONMENTAL HEALTH BUREAU PRIOR TO COMMENCEMENT OF OPERATIONS TO ENSURE ALL PROPER HEALTH PERMITS ARE OBTAINED. NO USES THAT INVOLVE ANY OF THE FOLLOWING WILL BE ALLOWED WITHOUT A HAZARDOUS MATERIALS FACILITY OPERATING PERMIT FROM ENVIRONMENTAL HEALTH:

- STORAGE AND HANDLING OF HAZARDOUS MATERIALS
- GENERATION OF HAZARDOUS WASTE
- ABOVE GROUND PETROLEUM STORAGE TANK(S)
- UNDERGROUND STORAGE TANK(S)
- STORAGE AND HANDLING OF ACUTELY HAZARDOUS MATERIALS OR EXTREMELY HAZARDOUS SUBSTANCES

THE TENANT/APPLICANT SHALL PAY ALL APPLICABLE FEES TO EHB PRIOR TO COMMENCEMENT OF OPERATIONS."

PROJECT BUILDING DATA

NEW OFFICE AND WAREHOUSE BUILDING AREA

BLDG	USE DESCRIPTION	(N) OCC.	CONST. TYPE	BLDG. HT.	GROSS S.F.
A	(N) OFFICE 1st FLOOR	B	TYPE-IIB	35'-0"	1,545 S.F.
	(N) OFFICE 2nd FLOOR	B	TYPE-IIB	35'-0"	1,378 S.F.
TOTAL OFFICE AREA					2,923
B	(N) MOTOR VEHICLE REPAIR GARAGE/WAREHOUSE	S-1	TYPE-IIB	35'-0"	9,016 S.F.
C	(N) TRASH ENCLOSURE	N/A		12'-0"	242 S.F.
TOTAL BUILDING AREA					11,999 S.F.

PARKING CALCULATION

PER CHAPTER 21.58 OF TITLE 21 ZONING CODE

GARAGE/WAREHOUSE 9,016 SF /500 = 18.03 OR 19 STALLS
OFFICE 2,923 SF /300 = 9.74 OR 10 STALLS

TOTAL = 29 STALLS

STANDARD PARKING SPACES	28
ACCESSIBLE PARKING SPACES REQUIRED: 1 TOTAL (ONE TO BE VAN)	
STANDARD ACCESSIBLE SPACES/VAN ACCESSIBLE	1
TOTAL PARKING SPACES PROVIDED	29



PROJECT NORTH

REVISIONS/DATE	BY	DESCRIPTION

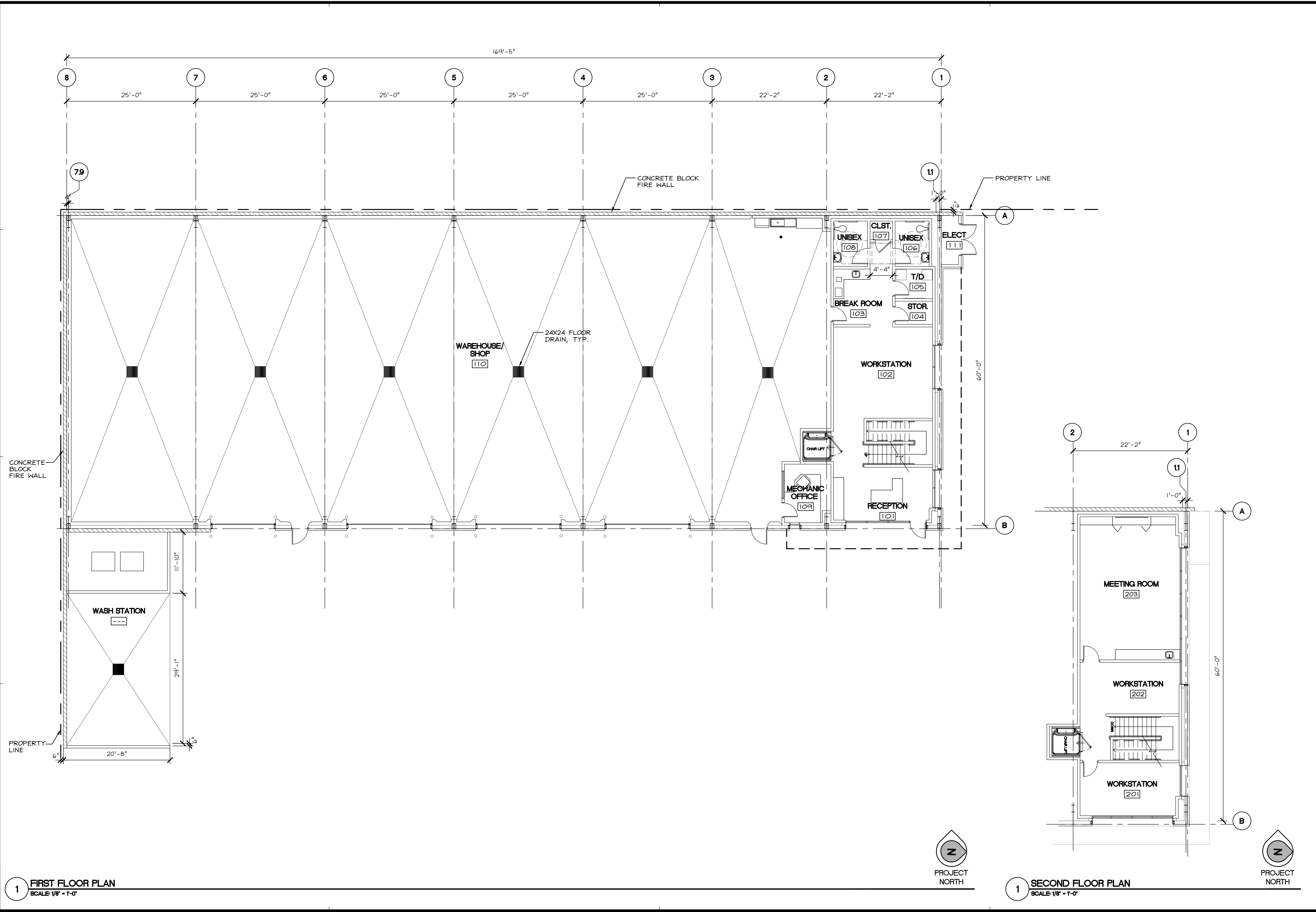
NOT FOR CONSTRUCTION
Exp. 6/30/21

BELLI ARCHITECTURAL GROUP 881-424-4820
285 MONTEREY STREET, SUITE B, SALINAS, CA 95901
BELLIAG.COM

SITE PLAN
NEW 2-STORY OFFICE & WAREHOUSE BUILDING FOR:
CHRISP COMPANY
1135 MADISON LANE
SALINAS, CA 95907

DATE	06/21/2021
SCALE	AS NOTED
DRAWN	JN
JOB	20033
SHEET	A11
OF SHEETS	

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEIR CONSTITUTES NEITHER FACE NOR INVERSE OF THESE RESTRICTIONS.



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

REVISIONS	DATE	DESCRIPTION

BELLI ARCHITECTURAL GROUP 831 . 424 . 4620
 235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
 BELLIAG.COM

PROPOSED FLOOR PLAN
 NEW 2-STORY OFFICE & WAREHOUSE BUILDING FOR:
CHRISP COMPANY
 1135 MADISON LANE
 SALINAS, CA 93907

DATE	12/02/2020
SCALE	AS NOTED
DRAWN	JN/YP
JOB	20033
SHEET	A2.0

OF SHEETS

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRAVE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

COLOR LEGEND



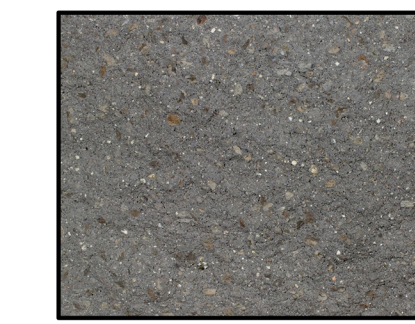
1
VALSPAR:
SANDSTONE



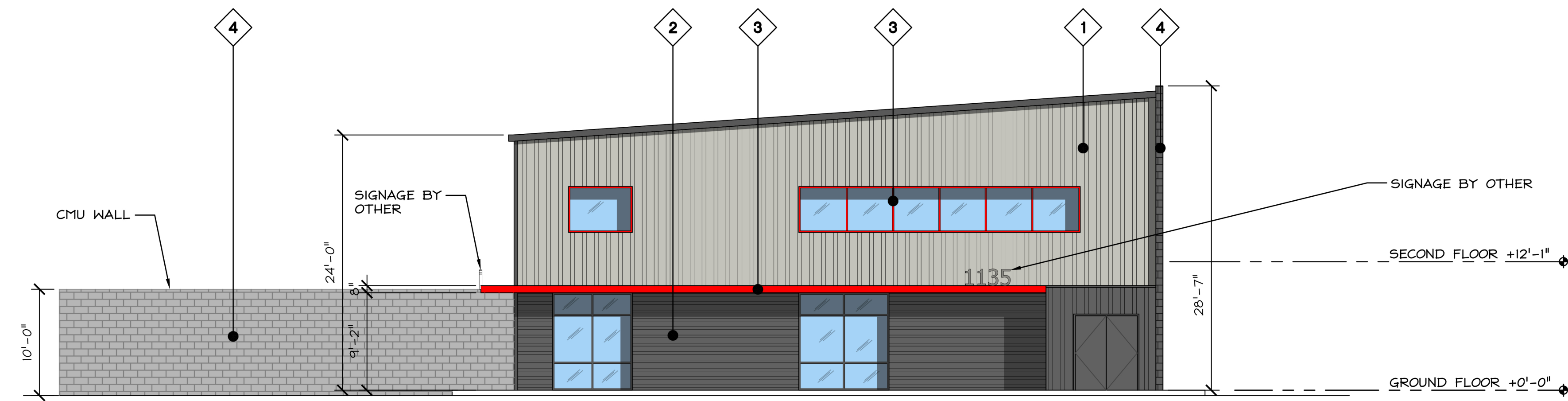
2
VALSPAR:
SPARTAN BRONZE



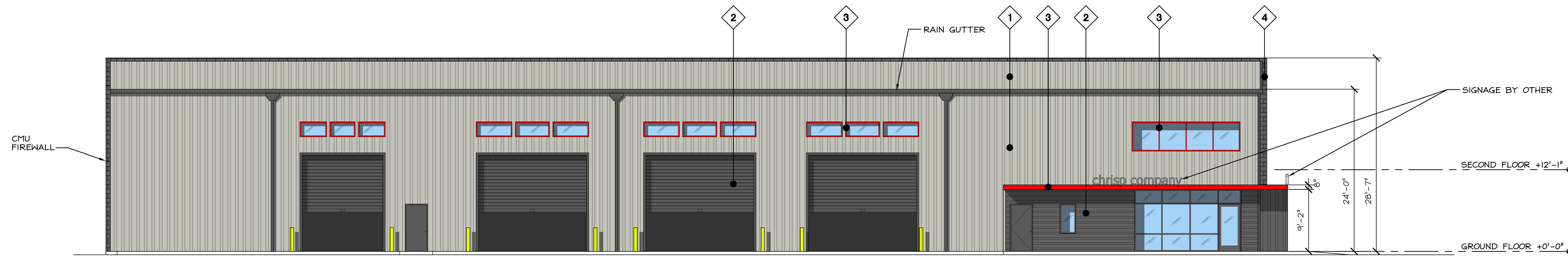
3
SHERWIN WILLIAMS
SH 6866
HEARTTHROB



4
ORCO
SPLIT FACE
BLACK - LIGHT WEIGHT



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

REVISIONS	DATE	DESCRIPTION

Belli Architectural Group
 BELLI ARCHITECTURAL GROUP 831 . 424 . 4620
 235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
 BELLIAG.COM

EXTERIOR ELEVATIONS
 NEW 2-STORY OFFICE & WAREHOUSE BUILDING FOR:
CHRISP COMPANY
 1135 MADISON LANE
 SALINAS, CA 93907

DATE	12/02/2020
SCALE	AS NOTED
DRAWN	JN
JOB	20033
SHEET	A4.1

OF SHEETS

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THESE COPIES DOES NOT CONSTITUTE A RELEASE OF THE ARCHITECT FROM LIABILITY.



FRONT VIEW



FRONTAGE VIEW ALONG MADISON LANE - TOWARDS WEST



FRONTAGE VIEW ALONG MADISON LANE - TOWARDS EAST



VIEW LOOKING TOWARDS BACK OF PROPERTY

REVISIONS	DATE	BY	DESCRIPTION

LICENSED ARCHITECT
 BRYAN LIND BELL
NOT FOR CONSTRUCTION
 Exp. 6/30/21
 STATE OF CALIFORNIA

BELLI ARCHITECTURAL GROUP 831 . 424 . 4620
 285 MONTEREY STREET, SUITE B, SALINAS, CA 93901
 BELLIAG.COM

Belli
 architectural group

3D RENDERINGS
 NEW 2-STORY OFFICE & WAREHOUSE BUILDING FOR:
CHRISP COMPANY
 1135 MADISON LANE
 SALINAS, CA 93907

DATE 12/02/2020
 SCALE AS NOTED
 DRAWN JN
 JOB 20033
 SHEET
A4.2
 OF SHEETS

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES BREACH. FACE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS. MATERIALS AND EQUIPMENT SHALL BE U.L. LISTED AND LABELED FOR THE APPLICATION.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSES AND INSPECTION FEES REQUIRED BY THIS CONTRACT WORK.
- CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING AND ALLOW FOR ALL FIELD CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ELECTRICAL WORK NOTED AND CALLED OUT ON ALL CONTRACT DOCUMENTS. THE CONTRACTOR SHALL OBTAIN INFORMATION AND BE FAMILIAR WITH ALL OTHER TRADES WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN OTHER TRADES ON PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF PERSONS AND PROPERTY AND SHALL PROVIDE INSURANCE COVERAGE AS NECESSARY FOR LIABILITY AND PERSONAL, PROPERTY DAMAGE, TO FULLY PROTECT THE OWNER, ARCHITECT AND ENGINEER FROM ANY AND ALL CLAIMS RESULTING FROM THIS WORK.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS AT THE PROJECT SITE INDICATING ALL MODIFICATIONS TO ELECTRICAL SYSTEMS. THE CONTRACTOR SHALL AT THE CONCLUSION OF THE PROJECT PROVIDE ACCURATE "AS-BUILT" DRAWINGS ACCEPTABLE TO THE ARCHITECT.
- ALL MATERIALS PROVIDED TO THE PROJECT SHALL BE NEW. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND INSTALL ALL INCIDENTAL MATERIALS REQUIRED FOR A COMPLETE INSTALLATION.
- CONTRACTOR SHALL PROVIDE TO THE ARCHITECT A CONSTRUCTION SCHEDULE OF ELECTRICAL WORK. THE CONSTRUCTION SCHEDULE SHALL IDENTIFY ALL SIGNIFICANT MILESTONES WITH COMPLETION DATES.
- CONTRACTOR SHALL PROVIDE ALL REQUIRED "CUTTING, PATCHING, EXCAVATION, BACKFILL AND REPAIRS" NECESSARY TO RESTORE DAMAGED SURFACES TO EQUAL OR BETTER THAN ORIGINAL CONDITIONS EXISTING AT START OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PAINTING ALL EXPOSED CONDUITS AND ELECTRICAL EQUIPMENT. REFER TO ARCHITECT'S PAINTING SECTION FOR REQUIREMENTS.
- ALL ELECTRICAL EQUIPMENT INSTALLED OUTDOORS SHALL BE WEATHERPROOF. EXTERIOR CONDUITS RUN INTO BUILDINGS SHALL BE INSTALLED WITH FLASHING, CAULKED AND SEALED. CONDUITS FOR EXTERIOR ELECTRICAL DEVICES SHALL BE RUN INSIDE BUILDING UNLESS OTHERWISE NOTED ON DRAWINGS.
- ALL CONDUITS UNLESS OTHERWISE NOTED ON DRAWINGS SHALL HAVE AS A MINIMUM TWO (2) #12s WITH ONE (1) #12 GROUND. "TICK" MARKS SHOWN ON CIRCUITRY ARE FOR ROUGH ESTIMATING ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WIRES AND WIRE SIZES REQUIRED BY LATEST CODE.
- ALL BRANCH CIRCUITS SHALL HAVE INDIVIDUAL NEUTRALS. SHARED NEUTRALS ON MULTIWIRE CIRCUITS IS NOT ALLOWED.
- ALL 120/277V LIGHT SWITCHES AND WALL OCCUPANT SENSORS SHALL HAVE A NEUTRAL INSTALLED TO THE DEVICE BOX EXCEPT WHERE A CONDUIT OR SURFACE RACEWAY SYSTEM IS INSTALLED.
- COORDINATE ALL CONDUIT RUNS, ELECTRICAL EQUIPMENT AND PANELS WITH ALL OTHER WORK TO AVOID CONFLICTS.
- SEE ARCHITECTURAL DOCUMENTS FOR EXACT PLACEMENT OF LIGHTING FIXTURES AND DEVICES. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF CEILING TYPES FROM ARCHITECTURAL DOCUMENTS AND PROVIDE AND INSTALL ALL REQUIRED FIXTURE MOUNTING HARDWARE. PROVIDE AND INSTALL U.L. LISTED FIRE STOP ENCLOSURES FOR ALL RECESSED FIXTURES IN FIRE RATED CEILING.
- FROM ALL NEW FLUSH MOUNT PANELS; THE CONTRACTOR SHALL STUB UP INTO ACCESSIBLE CEILING SPACE A MINIMUM OF FOUR (4) 3/4" CONDUITS FOR FUTURE USE.
- CONTRACTOR SHALL, PRIOR TO BID, FIELD VERIFY ALL REQUIREMENTS FOR MODIFYING THE EXISTING CLOCK, DATA, AND INTERCOM SYSTEMS TO ACCOMMODATE ADDITIONS NOTED. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS NEEDED TO MAKE A FULLY OPERATIONAL SYSTEM AT THE CONCLUSION OF PROJECT WORK.
- CONTRACTOR SHALL PROVIDE IN EVERY NEW EMPTY CONDUIT A DRAW STRING FOR USE IN FUTURE CONSTRUCTION.
- ALL CONDUIT SHALL BE CONCEALED WHERE POSSIBLE. WHERE IT IS NECESSARY TO CUT OR BORE STRUCTURAL WALLS FOR ELECTRICAL WORK OBTAIN PERMISSION FROM THE ARCHITECT PRIOR TO STARTING WORK.
- EXTENSION RINGS OR RESET BOXES TO BE FLUSH WITH NEW WALL THICKNESS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING UNDERGROUND SYSTEMS (GAS, WATER, TELEPHONE, ELECTRICAL, SEWER, ETC.). THE CONTRACTOR SHALL REPAIR & PAY ALL EXPENSES FOR DAMAGE TO EXISTING UNDERGROUND SYSTEMS AS A RESULT OF NEW WORK. REPAIR TO DAMAGED UNDERGROUND SYSTEMS SHALL BE TO THE OWNERS SATISFACTION WITHOUT EXTRA EXPENSE TO THE OWNER.
- ALL INSTALLATION OF EXPOSED SURFACE MOUNTED RACEWAY IN PUBLIC AREAS SHALL BE REVIEWED BY ARCHITECT BEFORE ROUGH-IN. CONTRACTOR IS TO DETERMINE THE ACCESSIBILITY OF ATTIC, FURRED SPACE, HOLLOW MULLIONS, ETC. IN EACH AREA AND REVIEW WITH ARCHITECT. IF SYSTEM CAN BE ROUTED CONCEALED EITHER BY FISHING OR ACCESSIBILITY, CONTRACTOR IS TO DO SO. IF INACCESSIBILITY IS DETERMINED, CONTRACTOR SHALL INSTALL SURFACE MOUNTED RACEWAY IN THE MOST AESTHETICALLY PLEASING MEANS AS DETERMINED BY THE ARCHITECT. NO ALLOWANCE FOR ADDITIONAL COMPENSATION DUE TO ROUTING AS DIRECTED BY THE ARCHITECT WILL BE MADE.
- CONTRACTOR SHALL COORDINATE WITH PG&E, AT&T & PAY ALL CHARGES FOR TEMPORARY CONSTRUCTION POWER & TELEPHONE.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES AND OBTAIN UTILITY COMPANY CONSTRUCTION DOCUMENTS. UTILITY COMPANY CHARGES SHALL BE PAID BY OWNER.

ELECTRICAL SYMBOLS & ABBREVIATIONS

SYMBOLS & ABBREVIATIONS SHOWN ARE FOR GENERAL USE. DISREGARD THOSE WHICH DO NOT APPEAR ON THE PLANS.

FLUORESCENT OR LED LUMINAIRE - SEE SCHEDULE EMERGENCY OR NIGHT LIGHT STRIP FLUORESCENT OR LED LUMINAIRE - SEE SCHEDULE RECESSED WALL WASHER LUMINAIRE - SURFACE MOUNTED - SEE SCHEDULE LUMINAIRE - POLE OR POST MOUNTED - SEE SCHEDULE LUMINAIRE - WALL MOUNTED SEE SCHEDULE BOLLARD OR PATH LIGHT - SEE SCHEDULE EXIT LIGHT - DIRECTIONAL ARROWS AS INDICATED - SEE SCHEDULE TRACK LIGHTING - SEE SCHEDULE EMERGENCY LIGHT DIGITAL DUAL TECHNOLOGY OCC. SENSOR LIGHTING CONTROL OCCUPANCY SENSOR CORNER MOUNTED DIMMER ROOM CONTROLLER PLUG LOAD CONTROLLER ROOM LIGHTING CONTROLLER LIGHTING CONTROL PANEL DIGITAL DAYLIGHT SENSOR SINGLE POLE SWITCH ** SINGLE POLE SWITCH, ** THREE WAY SWITCH ** FOUR WAY SWITCH ** MANUAL MOTOR STARTER KEY OPERATED SWITCH ** LIGHTING DIMMER ** DIGITAL ON/OFF SWITCH ** DIGITAL DIMMER SWITCH ** DIGITAL MULTI SCENE LIGHTING SWITCH ** DIGITAL DUAL TECHNOLOGY WALL OCC. SENSOR ** WALL OCCUPANCY SENSOR ** DOUBLE SWITCHED WALL OCCUPANCY SENSOR ** DIMMING DUAL TECHNOLOGY WALL SWITCH OCCUPANCY SENSOR ** 2-BUTTON DIMMING DUAL TECHNOLOGY WALL SWITCH OCCUPANCY SENSOR **	SECURITY DOOR CONTACTS SECURITY MOTION DETECTOR CCTV CAMERA SECURITY SYSTEM KEYPAD DOOR BELL PUSHBUTTON DOOR CHIME WITH LED RECEPTACLE - DUPLEX * DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT GFCI CONVENIENCE RECEPTACLE - DUPLEX * GFCI CONVENIENCE DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT RECEPTACLE DOUBLE DUPLEX * HALF SWITCHED DUPLEX RECEPTACLE * SINGLE RECEPTACLE * DUPLEX RECEPTACLE - CEILING MOUNTED LETTER INDICATES DUPLEX HALF CONTROLLED RECEPTACLE * LETTER INDICATES DUPLEX FULLY CONTROLLED RECEPTACLE * FLOOR MOUNTED DUPLEX RECEPTACLE FLOOR MOUNTED BOX POWER OUTLET - SEE PLANS FOR NEMA TYPE * POWER POLE WALL TELEPHONE OUTLET ** VOICE/DATA WALL OUTLET * VOICE/DATA OUTLET MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT SURFACE MOUNTED VOICE/DATA WALL OUTLET MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT WIRELESS ACCESS POINT (WAP) - CEILING MOUNTED WIRELESS ACCESS POINT (WAP) - WALL MOUNTED - FIELD VERIFY HEIGHT VOICE/DATA OUTLET - FLOOR MOUNTED TV OUTLET * VOICE/DATA OUTLET - CEILING MOUNTED INTERIOR SPEAKERS CEILING MOUNTED INTERIOR SPEAKERS WALL MOUNTED CLOCK *8" 0" AFF U.O.N. VERIFY BEFORE INSTALLATION	PANELBOARD - FLUSH MOUNTED EQUIPMENT PANEL - FLUSH MOUNTED PANELBOARD - SURFACE MOUNTED EQUIPMENT PANEL - SURFACE MOUNTED METER W/ CURRENT TRANSFORMER JUNCTION BOX - CEILING OR WALL MOUNTED, SIZE PER CODE, TAPE AND TAG WIRES MOTOR CONNECTION NON-FUSED DISCONNECT SWITCH FUSED DISCONNECT SWITCH; FUSED WITH DUAL-ELEMENT FUSES SIZED PER EQUIPMENT MFG'S NAMEPLATE DATA COMBINATION STARTER/FUSED DISCONNECT SWITCH; FUSED DISCONNECT SWITCH ELEMENT FUSES SIZED PER EQUIPMENT MFG'S NAMEPLATE DATA MAGNETIC STARTER - NEMA SIZE INDICATED NEMA 3R ENCLOSURE UNLESS OTHERWISE SPECIFIED CIRCUIT BREAKER GROUND ROD WITH GROUNDWELL BOX GROUND ELECTRODE NORMALLY OPEN CONTACT NORMALLY CLOSED CONTACT TRANSFORMER - SEE SINGLE LINE FOR SIZE PULLBOX FLEX CONDUIT WITH CONNECTION CONDUIT - UP CONDUIT - DOWN CONDUIT EMERGENCY SYSTEM LOW VOLTAGE WIRING SURFACE METAL OR NON-METALLIC RACEWAY CONDUIT - CONCEALED IN WALLS OR CEILING CONDUIT - EXISTING CONDUIT - BELOW SLAB OR UNDERGROUND: 3/4" MIN. CAPPED OR STUB-OUT CONDUIT CONDUIT CONTINUATION CONDUIT - HOME RUN TO PANEL TERMINAL CABINET, ETC. RUNS MARKED WITH CROSSHATCHES INDICATE NUMBER OF #12 AWG WIRES WHEN MORE THAN TWO. SIZE CONDUIT ACCORDING TO SPECIFICATIONS AND APPLICABLE CODE. CROSS HATCHES WITH NUMBER ADJACENT INDICATES WIRE SIZE OTHER THAN #12 AWG. SHEET NOTE REFERENCE SYMBOL. SEE ASSOCIATED NOTE ON SAME SHEET SCHEDULE SYMBOL. SEE ASSOCIATED NOTE ON SAME SHEET	DETAIL NOTE REFERENCE SYMBOL. SEE ASSOCIATED NOTE ON SAME DETAIL FEEDER DESIGNATION. SEE ASSOCIATED NOTE ON SAME DETAIL DETAIL NUMBER. DETAIL OR SECTION REFERENCE SHEET NUMBER INDICATES QUANTITY OF TELEPHONE OUTLETS INDICATES QUANTITY OF DATA OUTLETS
---	--	---	--

ABBREVIATIONS A AMPERE AFF ABOVE FINISHED FLOOR ALUM/AL ALUMINUM ARCH ARCHITECT AWG AMERICAN WIRE BKR BREAKER CATV CABLE TV CB CIRCUIT BREAKER CCTV CLOSED CIRCUIT TV CKT CIRCUIT CL CENTER LINE CLG CEILING C.O. CONDUIT ONLY CTR DIMMER DIM DIMENSION DIST DISTRIBUTION (E) EXISTING EC ELECTRICAL CONTRACTOR (EL) EVENING LIGHT EM EMERGENCY EMT ELECTRICAL METALLIC TUBING EQUIP EQUIPMENT EV ELECTRICAL VEHICLE FA FIRE ALARM FACP FIRE ALARM CONTROL PANEL FC FOOT CANDLE FIN FINISH FL FLOOR FLA FULL LOAD AMPS FLUOR FLUORESCENT (F) FUTURE GC GENERAL CONTRACTOR GFCI GROUND FAULT INTERRUPTING GND, G GROUND GRS GALVANIZED RIGID HT HEIGHT IC INTERCOM IDF INTERMEDIATE DISTRIBUTION FRAME INCAND INCANDESCENT JB JUNCTION BOX KV KILOVOLT KVA KILOVOLT AMPERES KW LIGHTING CONTROL PANEL LCP LIGHTING CONTROL PANEL LTG LIGHTING LV LOW VOLTAGE THOUSAND THOUSAND CIRCULAR MILS CIRCULAR MILS M.B. MAIN CIRCUIT BREAKER MCA MINIMUM CIRCUIT AMPS MDF MAIN DISTRIBUTION FRAME MECH MECHANICAL MH METAL HALIDE MLO MAIN LUGS ONLY MPOE MAIN POINT OF ENTRANCE MTD MOUNTED MTG MOUNTING MOCPP MAXIMUM OVER CURRENT PROTECTION (N) NEW NIC NOT IN CONTRACT NIEC NOT IN ELECTRICAL CONTRACT (NL) NIGHT LIGHT NO NUMBER NOM NOMINAL	NTS NOT TO SCALE OAH OVERALL HEIGHT OC ON CENTER OH OVERHEAD PA PUBLIC ADDRESS PB PULL BOX PF POWER FACTOR PH PHASE PIR PASSIVE INFRARED PNL PANEL PV PHOTOVOLTAIC PVC POLYVINYL CHLORIDE PWR POWER (R) EXISTING TO BE REMOVED (RP) REMOVABLE POLE RECTPS RECEPTACLES REQD REQUIRED REQMTS REQUIREMENT(S) SHT SHEET SLD SINGLE LINE DIAGRAM STC SYSTEMS TERMINATION SW SWITCH SWBD SWITCHBOARD TTB TELEPHONE TERMINAL BACKBOARD TYP TYPICAL UNON UNLESS OTHERWISE NOTED UG UNDERGROUND V VOLT VD VOLTAGE DROP W WATT W WITH WP WEATHERPROOF XFMR TRANSFORMER
--	--

FIRE ALARM MANUAL PULL STATION STROBE ONLY HORN ONLY MINI HORN HORN/STROBE CHIME/STROBE HEAT DETECTOR SMOKE DETECTOR CARBON MONOXIDE ALARM	DUCT SMOKE DETECTOR TAMPER SWITCH FLOW SWITCH POST INDICATING VALVE FIRE SMOKE DAMPER BELL (GONG) FIRE ALARM CONTROL PANEL	AUXILIARY POWER SUPPLY FIRE SYSTEM ANNIUNCIATOR FIRE ALARM TRANSPONDER OR TRANSMITTER ELEVATOR STATUS/RECALL FIRE ALARM COMMUNICATOR REMOTE ANNIUNCIATORS END OF LINE
--	--	---

NOTE: SEE FIRE ALARM DRAWINGS FOR QUANTITIES AND MOUNTING HEIGHTS.

* +15" A.F.F. TO BOTTOM OF BOX, U.O.N.
** +48" A.F.F. TO TOP OF BOX, U.O.N.
NUMBER IN BRACKETS DENOTES NUMBER OF CABLE DROPS WHEN MORE THAN (2).

LIGHT FIXTURE SCHEDULE

FIXTURE NOTES:

- ALL LED LIGHT FIXTURE DRIVERS SHALL BE ELECTRONIC TYPE, 10% TOTAL HARMONIC DISTORTION MAXIMUM.
- ALL LED LIGHT MODULES SHALL BE ENERGY SAVING 3000" K, 70 CRI MINIMUM, U.O.N. (SEE SPECIFICATIONS FOR MORE INFORMATION).
- ALL LED DRIVERS (AND ASSOC. FIXTS.) SHALL HAVE MANUFACTURER'S CERTIFICATION OF COMPLIANCE WITH CALIFORNIA ENERGY COMMISSION STANDARDS AND REQUIREMENTS, WHERE SUCH ARE USED IN CONDITIONED SPACES.
- EXIT SIGNS - EMERGENCY LIGHTS AND LIGHT FIXTURES WITH EMERGENCY BATTERY BACK-UP SHALL SUPPLY A MINIMUM DURATION OF 90 MINUTES OF POWER IN THE EVENT OF A POWER OUTAGE/FAILURE.
- ALL RECESSED LIGHT FIXTURES SHALL BE U.L. APPROVED FOR ZERO CLEARANCE INSULATION COVER WHEN INSTALLED IN INSULATED CEILING.

TYPE	DESCRIPTION	LAMPS	MANUFACTURER
XA	15" W X 28" D POLE MOUNT LED LIGHT FIXTURE, 15' POLE, TYPE 3 DISTRIBUTION, MOTION RESPONSE, ELECTRONIC DRIVER, 120V.	56W LED	GARDCO BY SIGNIFY ECF-S SERIES
XA1	SAME AS LIGHT FIXTURE TYPE "XA" EXCEPT WITH HOUSESIDE SHIELD.	56W LED	GARDCO BY SIGNIFY ECF-S SERIES
XB	15" X 29" WALL MOUNT LED LIGHT FIXTURE, TYPE 3 DISTRIBUTION MOTION RESPONSE, ELECTRONIC DRIVER, 120V.	56W LED	GARDCO BY SIGNIFY ECF-S SERIES
XC	13" SQUARE SURFACE MOUNT LIGHT FIXTURE, IP66 RATING, TYPE 3 DISTRIBUTION, ELECTRONIC DRIVER, 120V.	36 LED	H.E. WILLIAMS VG1 SERIES

APPLICABLE CODES & STANDARDS

- CODES:**
- 2019 CALIFORNIA ADMINISTRATIVE CODE C.C.R., TITLE 24, PART 1.
 - 2019 CALIFORNIA BUILDING CODE (CBC) C.C.R., TITLE 24, VOL. 1 & 2 BASED ON THE 2018 INTERNATIONAL BUILDING CODE (IBC) WITH CALIFORNIA AMENDMENTS.
 - 2019 CALIFORNIA ELECTRICAL CODE (CEC) C.C.R., TITLE 24, PART 3 BASED ON THE 2017 NATIONAL ELECTRICAL CODE (NEC) WITH CALIFORNIA AMENDMENTS.
 - 2019 CALIFORNIA MECHANICAL CODE (CMC) C.C.R., TITLE 24, PART 4 BASED ON THE 2018 UNIFORM MECHANICAL CODE (UMC) WITH CALIFORNIA AMENDMENTS.
 - 2019 CALIFORNIA PLUMBING CODE (CPC) C.C.R., TITLE 24, PART 5 BASED ON THE 2018 UNIFORM PLUMBING CODE (UPC) WITH CALIFORNIA AMENDMENTS.
 - 2019 CALIFORNIA ENERGY CODE C.C.R., TITLE 24, PART 6.
 - 2019 CALIFORNIA FIRE CODE (CFC) C.C.R., TITLE 24, PART 9 BASED ON THE 2018 INTERNATIONAL FIRE CODE (IFC) WITH CALIFORNIA AMENDMENTS.
 - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE C.C.R., TITLE 24, PART 11.
 - 2019 CALIFORNIA REFERENCED STANDARDS CODE C.C.R., TITLE 24, PART 12.
 - TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.
 - NATIONAL FIRE ALARM CODE (NFPA 72) 2016.
 - CITY OF SALINAS ORDINANCES, CODES, AND REGULATIONS.
- STANDARDS:**
- AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
 - ELECTRONICS INDUSTRIES ASSOCIATION (EIA)
 - INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS (IEEE)
 - NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA)
 - NATIONAL ELECTRICAL TESTING ASSOCIATION (NETA)
 - UNDERWRITER LABORATORIES (UL)
 - CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT STANDARDS (CAL/OSHA)

SHEET INDEX

- | | |
|------|--|
| E0.1 | SYMBOLS, ABBREVIATIONS, LIGHT FIXTURE SCHEDULE, CODES, STANDARDS, NOTES & SHEET INDEX. |
| E2.1 | ELECTRICAL SITE PLAN. |
| E2.2 | LIGHT FIXTURE CUT SHEETS. |



Project No. 20-372.00

60 Garden Court • Suite 210 • Monterey, CA 93940
T.831.646.3330 • F.831.646.3336 • www.acemb.com

These drawings are instruments of service and are the property of AURUM CONSULTING ENGINEERS MONTEREY BAY, INC. All designs and other information in the drawings are for use on the specified project and shall not be used otherwise without the expressed written permission of AURUM CONSULTING ENGINEERS MONTEREY BAY, INC.

ELECTRICAL COVER SHEET
NEW 2-STORY OFFICE & WAREHOUSE BUILDING FOR:
CHRISP COMPANY
1135 MADISON LANE
SALINAS, CA 93907

DATE	09/08/2020
SCALE	AS NOTED
DRAWN	CADD
JOB	20033
SHEET	E0.1
OF	SHEETS

REVISION DATE	DESCRIPTION

REGISTERED ARCHITECT
BELLI
NOT FOR CONSTRUCTION
Exp. 6/30/21
STATE OF CALIFORNIA

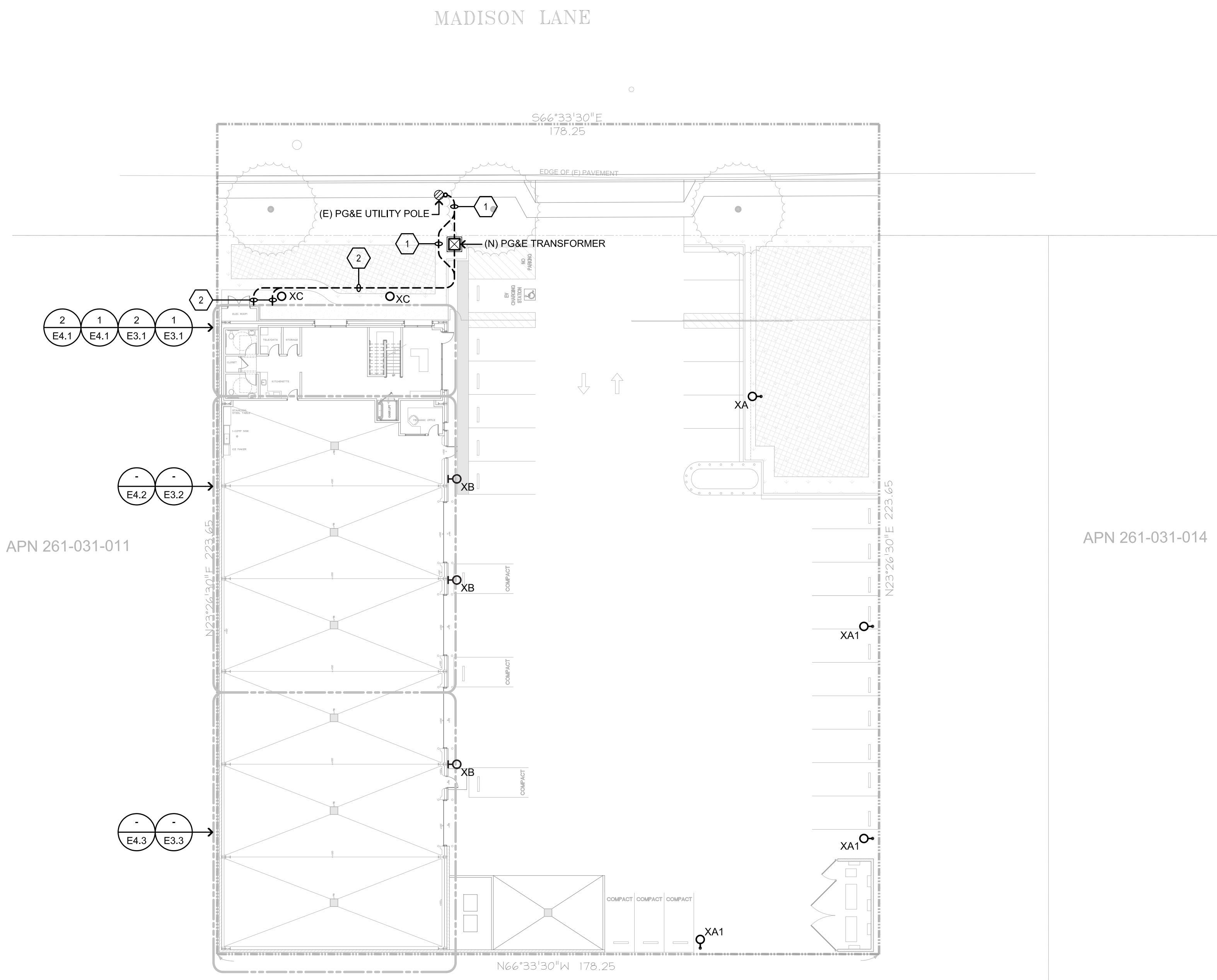
BELLI ARCHITECTURAL GROUP 831.424.4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIA.COM

Belli architectural group

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRAK FACE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

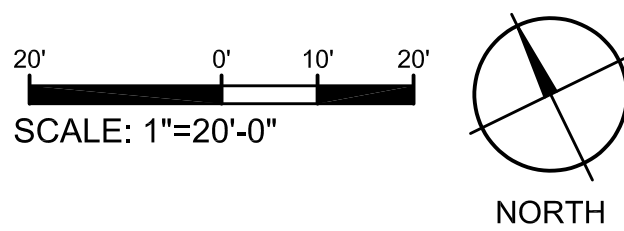
SHEET NOTES

- PG&E PRIMARY; SEE 1/E1.1 FOR REQUIREMENTS.
 - AT&T - (1) 4"C.O.
 - COMCAST - (1) 2"C.O.
- PG&E SECONDARY; SEE 1/E1.1 FOR REQUIREMENTS.
 - AT&T (1) 4"C.O.
 - COMCAST - (1) 2"C.O.



NOTES:

- CONTRACTOR SHALL LOCATE ALL (E) UNDERGROUND UTILITIES PRIOR TO TRENCHING AND TAKE CAUTION TO AVOID DAMAGE DURING TRENCHING. HAND TRENCH IF NECESSARY. CONTRACTOR SHALL MAKE ALL REPAIRS TO DAMAGED UTILITIES AT NO CHARGE TO OWNER.
- ALL WIRING FOR SITE LIGHTING SHALL BE #10 AWG MINIMUM, U.O.N.
- ALL UTILITIES (PG&E, AT&T AND CATV) ARE SHOWN IN SCHEMATIC FORM ONLY. CONTRACTOR SHALL VERIFY EXACT REQUIREMENTS WITH UTILITY COMPANY ENGINEERED DRAWINGS PRIOR TO START OF CONSTRUCTION AND PROVIDE FACILITIES ACCORDINGLY.



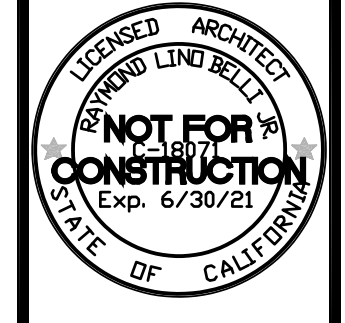
AURUM CONSULTING ENGINEERS
MONTEREY BAY, INC.

Project No. 20-372.00

60 Garden Court • Suite 210 • Monterey, CA 93940
T.831.646.3330 • F.831.646.3336 • www.acemb.com

These drawings are instruments of service and are the property of AURUM CONSULTING ENGINEERS MONTEREY BAY, INC. All designs and other information in the drawings are for use on the specified project and shall not be used otherwise without the expressed written permission of AURUM CONSULTING ENGINEERS MONTEREY BAY, INC.

REVISIONS	DATE	BY	DESCRIPTION



Belli Architectural Group
Belli Architectural Group, 831.424.4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIA.G.COM



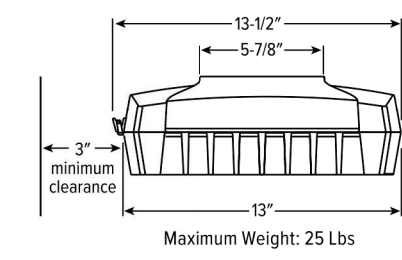
PLANNING & SUBMITTAL

ELECTRICAL SITE PLAN
NEW 2-STORY OFFICE & WAREHOUSE BUILDING FOR:
CHRISP COMPANY
1135 MADISON LANE
SALINAS, CA 93907

DATE	09/08/2020
SCALE	AS NOTED
DRAWN	CADD
JOB	20033
SHEET	E2.1
OF	SHEETS

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRAK FACE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

LIGHT FIXTURE TYPES "XC"



CATALOG #:
TYPE:
PROJECT:

FEATURES

- Rugged and durable housing with IP66 rating
- Quick and easy installation with hinged two-piece enclosure
- Made Right Here® in the USA

SPECIFICATIONS

- HOUSING** – Two-piece hinged die-cast aluminum enclosure.
- THERMAL MANAGEMENT** – Integral die-cast aluminum heat sink and LED module provide passive thermal management. Rated ambient operating temperature 30°C to 50°C (86°F, 30°C to 40°C (65, 100).
- OPTICAL SYSTEM** – Precision, injection-molded, reflective optics available in standard IES distributions. Clear tempered glass lens.
- LED MODULE** – ANSI 3000K, 4000K, or 5000K CCT, minimum 70 CRI LEDs.
- LED DRIVER** – Class 1 constant-current driver, 0-10V dimming.
- ELECTRICAL** – 120-277, 347, and 480 VAC input range; 50-60Hz, power factor > 90; THD < 20% at full load, FCC Class A compliant; 10A/10W surge protection standard. Quick-disconnect wiring provided; 170-460,000 hours per IES TM-21. Conduit/power entry must be sealed to prevent moisture or water intrusion.
- FINISH** – Super durable polyester powder coat bonded to phosphatized-steel, multi-stage pretreated metal, meets and exceeds AAMA 2604 specifications for outdoor durability.
- Mounting** – Surface or pendant mount. Maximum weight: 25 lbs.
- LISTINGS** –
 - CSAs certified as luminaire suitable for wet locations, suitable for dry or damp locations when specified with PM mounting configuration.
 - DesignLights Consortium qualified product. Not all versions of this product may be DLC qualified, see the DLC Qualified Products List at www.designlights.org/DLC.
 - Meets the American National Standard for Roadway Lighting Equipment – Luminaire Vibration (ANSI C87.31-2001), CT direct surface mounting configuration only.
 - ISX Dark Sky approved.
 - RoHS compliant.
 - BUG classified per IES TM-15-11.
- WARRANTY** – 5-year limited warranty, see [hew.com/warranty](http://www.hew.com/warranty).

ORDERING EXAMPLE: VG1 - L100/740 - TS - SM - DBZ - OPTIONS - DIM - UNV

ORDERING INFO

SERIES	LUMENS ¹⁾	CRI	CCT	DISTRIBUTION ²⁾
VG1	L30 3,000lm	7	70	Type III
	L65 6,500lm	40	4000K	Type V
	L10 11,000lm	50	5000K	TFL Type Flood

Mounting CONFIGURATION

- SM** Surface-mount to 4" maximum J-box (by others)³⁾
- PM** Rigid pendant mount (pendant by others)⁴⁾
- CT** Closed top for direct surface mounting.⁵⁾

FINISH OPTIONS⁶⁾

- BLK** Black (RAL #9004)
- DBZ** Dark bronze
- DBR** Medium bronze
- GRY** Standard gray
- SLV** Satin aluminum (RAL #9006)
- WHT** White (RAL #9003)

OPTIONS

- SF** Single fuse⁷⁾
- DF** Double fuse⁷⁾
- WG** Wireguard, chrome, 10"
- EM/CEC** 6-watt emergency, low temperature battery⁸⁾
- OC/WS FSP-211** 10-watt emergency CEC qualified battery⁹⁾
- WG-VG** Wireguard kit, chrome, field-installed, 4x 10-24 screws included
- F5IR-100** Remote controller for occupancy sensor¹⁰⁾
- PMVG-.....** Rigid pendant stem and canopy kit

DRIVER

- DM** Dimming driver provided for 0-10V low voltage applications
- 120** 120V
- 120V** 120V
- 208** 208V
- 240V** 240V
- 277** 277V
- UNV** 120-277V
- 347** 347V¹¹⁾
- 480** 480V¹¹⁾

NOTES

- Lumen output based on 4000 CCT. Actual lumens may vary +/-5%, see page 2 for FIXTURE PERFORMANCE DATA.
- See page 2 for DISTRIBUTION DETAILS.
- See page 4 for FINISH OPTIONS.
- Two 1/2" M5 threaded and plugged conduit side entry points provided.
- Two 1/2" M5 threaded and plugged conduit side entry points provided.
- 120V, 277V, or 347V only, must specify voltage.
- 208V, 240V, or 480V only, must specify voltage.
- Factory-installed.
- Not available with 1500 lumen package; 38°C maximum ambient temperature; 120-277V only.
- Not available with 1500 lumen package; 40°C maximum ambient temperature; 120-277V only.
- Must specify lens. Optional F5IR-100 remote controller available, ordered separately. See page 4 for OCCUPANCY SENSOR DETAILS.
- Must specify quantity required per project. See page 4 for OCCUPANCY SENSOR DETAILS.
- Includes stepdown transformer.
- Available only in 120 or 277V.
- Not available in 347 or 480V.
- Must specify input voltage.
- Dimming will not be connected to NEMA receptacle if ordering with other control options.
- Not available with 480V. Order photocell separately with TLR07/17.
- Not available with DCC.
- Not available with SP and WS. RPAs provided with black finish standard.
- HIS not available with Type 5 and SW optics.
- Not available with DD, DCC, and FAMS dimming control options.
- Not available with DD, DCC, FAMS and LLC dimming control options.
- Must specify a motion sensor lens.



H. E. Williams, Inc. • Carthage, Missouri • www.hew.com • 417-358-4065 • Designed and Manufactured in the USA
Information contained herein is subject to change without notice. HEW/04491A REV04/4/20

LIGHT FIXTURE TYPES "XA", "XA1" & "XB"



Site & Area

EcoForm

ECF-S small area light



Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 27,800 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings. Includes Service Tag, our innovative way to provide assistance throughout the life of the product.

Project:
Location:
Cat. No.:
Type:
Lamps: Qty:
Notes:

Ordering guide

example: ECF-S-64L-900-NW-G2-AR-S-120-HIS-MGY

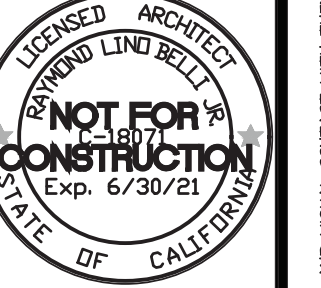
Info	Number of LEDs	Drive Current	LED Color-Generation	Mounting	Distribution	Voltage	Options	Dimming controls	Motion sensing lens	Photo-sensing	Electrical	Luminaire	Finish
ECF-S	32L 32 LEDs (2 modules)	365 365mA	NW-G2 Warm White 5000K, 70 CRI Generation 2	AR Arm Mount (standard)	Type 2 2 Type 2 2-90 Rotated left 90°	100 100V 208 208V 240 240V 277 277V 480 480V UNV 120-277V (50/60Hz)	DD 0-10V External dimming (by others) ¹⁾ DCC Dual Circuit Control ²⁾ FAMS Field Adjustable Wattage Selection ³⁾ SW Interface module for StarWire ⁴⁾ LLC LLC Integral wireless IP-level functionality ⁵⁾ BL	DM Integral with F5IR ⁶⁾ IMB7 Integral with F5IR ⁶⁾	IMB3 Integral with F5IR ⁶⁾ IMB7 Integral with F5IR ⁶⁾	PCB Photocell ⁷⁾ TLR05 Twist Lock Photocell ⁷⁾ TLR07 Twist Lock Photocell ⁷⁾ TLR07 Twist Lock Photocell ⁷⁾	F5IR Single (100, 277, 347VAC) ⁸⁾ F2 Double (208, 240, 480VAC) TS Terminal Block ⁹⁾ PM Pole Mount Fitting ¹⁰⁾ RP Round Pole Adapter (208, 240, 480VAC) FR2 Double Double Pole (208, 240, 480VAC) ¹¹⁾ TLRPC Twist Lock Round Pole (208, 240, 480VAC) ¹¹⁾ SP2 Surge Protection (10A standard, increased 20A) ¹²⁾	Square Pole included in standard product TS Terminal Block RP Round Pole Adapter CC Custom color (must supply color chip for required factory quote) HIS Internal Housing Side Shield ¹³⁾	BLK Black WHT White BZ Bronze DBZ Dark Gray DBR Medium Gray GRY Standard Gray SLV Satin Aluminum WHT White

- BL-IMB3/7 equipped with out-boarded sensor housing when voltage is HV (347-480V)
- Mounts to a 4" round pole with adapter included for square poles.
- Limited to a maximum of 45 degree arm angle above horizontal.
- Not available with other dimming control options.
- Not available with other dimming control options.
- Not available with DCC.
- Not available with SP and WS. RPAs provided with black finish standard.
- Not available in 347 or 480V.
- Must specify input voltage.
- Dimming will not be connected to NEMA receptacle if ordering with other control options.
- Not available with 480V. Order photocell separately with TLR07/17.
- Not available with DCC.
- Not available with SP and WS. RPAs provided with black finish standard.
- HIS not available with Type 5 and SW optics.
- Not available with DD, DCC, and FAMS dimming control options.
- Not available with DD, DCC, FAMS and LLC dimming control options.
- Must specify a motion sensor lens.

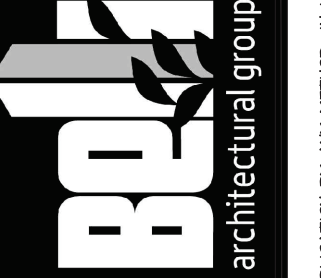


ECF-S_EcoForm_area_small 06/20 page 1 of 8

REVISION	DATE	DESCRIPTION



BELLI ARCHITECTURAL GROUP 891 . 424 . 4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIA.COM



Project No. 20-372.00
60 Garden Court • Suite 210 • Monterey, CA 93940
T.831.646.3330 • F.831.646.3336 • www.acemb.com

These drawings are instruments of service and are the property of AURUM CONSULTING ENGINEERS MONTEREY BAY, INC. All designs and other information in the drawings are for use on the specified project and shall not be used otherwise without the expressed written permission of AURUM CONSULTING ENGINEERS MONTEREY BAY, INC.

LIGHT FIXTURE CUT SHEETS
NEW 2-STORY OFFICE & WAREHOUSE BUILDING FOR:
CHRISP COMPANY
1135 MADISON LANE
SALINAS, CA 93907

DATE: 09/08/2020
SCALE: AS NOTED
DRAWN: CADD
JOB: 20033
SHEET: E2.2
OF SHEETS

This page intentionally left blank