

Exhibit B

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DRAFT RESOLUTION

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

DAVIS KELLY TR (PLN210191)

RESOLUTION NO. 22 -

Resolution by the Monterey County Planning
Commission:

1. Finding that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the California Environmental Quality Act and none of the exceptions under Section 150300.2 apply; and
2. Approval Coastal Administrative Permit & Design Approval to allow construction of an approximately 4,122 square foot single family dwelling inclusive of an attached 476 square foot garage and associated site improvements; a Coastal Administrative Permit & Design Approval to allow construction of an attached 344 square foot guesthouse over a 398 square foot storage area; and a Coastal Administrative Permit to allow less than 120 square feet of development on slopes exceeding 30%.

1458 Riata Road, Pebble Beach, Del Monte Forest
Land Use Plan, Coastal Zone (APN: 008-332-019-
000)

The Davis Kelly TR application (PLN210191) came on for a public hearing before the Monterey County Planning Commission on August 24, 2022 and September 14, 2022. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, including the conditions of approval (Attachment 1) and project plans (Attachment 2), the Monterey County Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The project, as proposed, conforms with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) The project has been reviewed for consistency with the text, policies, and regulations in the:
 - 1982 Monterey County General Plan (General Plan);
 - Del Monte Forest Land Use Plan (DMF LUP);
 - Monterey County Coastal Implementation Plan, Part 5 (DMF CIP); and
 - Monterey County Coastal Zoning Ordinance (Title 20).

No communications were received during the course of review of the project from the public. The subject property is located within the Coastal Zone; therefore, the 2010 Monterey County General Plan does not apply.

- b) The project involves the construction of a 3,646 square foot one-story singly family dwelling, an attached 476 square foot garage, attached 344 square foot guesthouse over a 398 square foot storage area, and associated site improvements. The project includes trellis roof overhangs and an arbor totaling 1,350 square feet. The subject property is currently developed with a 3,099 square foot single-family dwelling, attached garage, and various hardscapes. Demolition of this residence was approved under Resolution No. 21-026 (PLN210002) and therefore is not included in the proposed project's scope of work or analyzed in this resolution.
- c) Allowed Use. The subject property is located at 1458 Riata Road, Pebble Beach, within the Del Monte Forest Land Use Plan area, Coastal Zone (Assessor's Parcel Number [APN]: 008-332-019-000). The parcel is zoned Low Density Residential, 1.5 acres per unit, with a Design Control overlays in the Coastal Zone or "LDR/1.5-D (CZ)." Pursuant to Monterey County Code (MCC) Section 20.14.040, LDR zoning allows for the development of the first single-family dwelling as a principal use, subject to the granting of a Coastal Administrative Permit in each case. The project involves the construction of a 4,122 square foot one-story singly family dwelling inclusive of an attached 476 square foot garage, construction of an attached 344 square foot guesthouse over a 398 square foot storage area, and associated site improvements including 1,350 square feet of trellises and an arbor, and the removal of 10 non-native trees. The project also requires approximately 62 square feet of development on slopes exceeding 30% and therefore is subject to the granting of a Coastal Administrative Permit pursuant to MCC 20.64.230.C.2.
- d) Lot Legality. The subject property (approximately 30,785 square feet), APN:008-332-019-000, is identified in its current configuration and under separate ownership as Lot 13, within Block 160-A of the El Pescadero Rancho, in both the 1964 (Volume 1) and 1972 (Volume 3) Assessor's Map Book 8, Page, 33. Therefore, the County recognizes the subject property as a legal lot of record.
- e) Development Standards. The development standards for the Low-Density Residential Zoning District are identified in MCC Section 20.14.060. The maximum allowed height for main structures in the LDR zoning district is 30 feet above average natural grade. The proposed main dwelling would have a top ridge height of approximately 25 feet 2 inches above average natural grade. Pursuant to MCC 20.62.030.d, because the guesthouse is attached to the main residence via an arbor, it shall subject to the same height requirements as the main structure. The proposed guesthouse would have a top ridge height of approximately 17 feet above average natural grade.

The minimum required setbacks for main structures are 30 feet (front), 20 feet (sides), and 20 feet (rear). The proposed guesthouse

and storage structure will be attached to the main residence via an arbor and therefore pursuant to MCC 20.62.040.k, it shall subject to the same setback requirements as the main structure. The subject property qualifies as a corner lot and therefore the front setback applies along Riata Road (northeast) and Alvarado Lane (southeast), and the side and rear setbacks shall be measures from the adjoining property lines (northwest and southwest). The proposed residence and guesthouse will have front setbacks of setback 36.14 feet and 30 feet. side and rear setbacks 20.91 feet (northwest) and 31.04 feet (southwest). The proposed development meets all minimum setback requirements.

The allowed maximum floor area ratio (FAR) and building site coverage is 17.5% and 15%, respectively. The subject property is 30,785 square feet, which allows a FAR of 5,387.37 square feet and a site coverage of 4,615.75 square feet. The property is currently developed with a 3,099 square foot single family dwelling and attached garage resulting in a FAR and site coverage of 10%. Although this demolition was approved under Resolution No. 21-026, demolition not occurred as of date. The project results in FAR of 4,864 square feet (15.8%) and site coverage of 4,612 square feet (14.98%). The site coverage calculation includes the proposed residence (3,646 square feet), attached garage (476 square feet), the guesthouse/storage structure (407 square feet), and eaves over 30 inches (83 square feet). Inclusive of the trellises, the property would be over the maximum allowable coverage limitations. The Planning Commission found the proposed project to be appropriately designed for the site and its surroundings in this case. The proposed single-family dwelling is one story, maintaining a low profile and the new structures have been designed to be subordinate to the site and surroundings. Despite including trellises, accessory structures, that may exceed the lot coverage, this project, inclusive of the trellises and arbor will have minimal massing and adequate open spaces surrounding the residence making for an appropriate design.

- f) Design. Pursuant to Title 20, Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District (“D” zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The colors of the proposed development consist of a white smooth stucco and red cedar horizontal wood siding, black steel windows and doors, and grey metal roofing. The proposed colors and materials, and bulk and mass are consistent and compatible with residences in the surrounding area which consists of electric architectural styles. Therefore, as proposed, the project is inconsistent with the Design Approval criteria contained in MCC Chapter 20.44.
- g) Combined Structural and Impervious Surface Coverage. The subject property is located within the Pescadero Watershed, a designated watershed as shown on the DMF LUP Figure 2b. Therefore, site structural and impervious surface coverage is limited to 9,000 square

feet per DMF LUP Policy 77. As proposed, the project has an impervious surface coverage of 8,130 square feet.

- h) Visual Resources. The project is consistent with DMF LUP policies for the protection of scenic and visual resources. As depicted on DMF LUP Figure 3, Visual Resources, the subject property is located within the public viewshed. As proposed, residence will not be visible from 17 Mile Drive, Point Lobos, or any other public viewing area due to existing topography, distance and siting. Condition No. 7 has been applied to ensure all exterior lighting is downlit, unobtrusive and harmonious with the surrounding area. Also see Finding No. 2, evidence “f.”
- i) Cultural Resources. DMF CIP Section 20.147.080.B.1 states that an archaeological survey report shall be required for all development within a known or potential archaeological resource area. According to the Monterey County Geographic Informational System (GIS), the subject property has a high archaeological sensitivity and is not within 750 of a known archeological resource. The Preliminary Cultural Resources Reconnaissance (LIB210071) concluded that there is no surface evidence of potentially significant archaeological resources. In addition, the subject lot has been previously disturbed by structures, hardscape, and landscape development. Therefore, there is no evidence that any cultural resources would be disturbed, and the potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County’s standard project condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during demolition.
- j) Development on Slopes in Excess of 30%. MCC Section 20.64.230.C.2.d allows additions to existing structures on natural or man-made slopes, provided the addition does not exceed 120 square feet on the slope area and that a Coastal Administrative Permit is obtained. As proposed, the project involves 62 square feet hardscape and landscaping walls on slopes in excess of 30%. Although this development is not an addition to the existing residence as that residence is slated to be demolished under Resolution No. 21-026, the proposed development on slopes meets the intent of this policy. The proposed development on slopes will be in addition to the proposed replacement residence. The portions in excess of 30% are anticipated to be man-man slopes because they are adjacent to Riata Road and the existing driveway and are therefore likely the sluff of the existing developments grading. As proposed, the project limits the required development on slopes in excess of 30%.
- k) Environmentally Sensitive Habitat Area. According to the Monterey County Geographic Information System, the subject property is located in an area with a known occurrence of a special status species, Yadon’s Piperia, which is federally protected. Therefore, pursuant to Section 20.147.040 of the Del Monte Forest Coastal Implementation Plan, a biological report was prepared. This Biological Resource Report (LIB220076) concluded that Yadon’s

Piperia had a moderate potential to occur on the project site and therefore recommended that a focused botanical survey for Yadon's Piperia be conducted within the project site during the appropriate blooming period to determine if the species is present. A Special Status Survey (LIB220208) was conducted on March 28, 2022 and determined that no special-status plant species, including Yadon's Piperia, were identified on the property. As such, no further actions were recommended by the biologist and the project will have no impact on Environmentally Sensitive Habitat Area or special status species.

- l) Public Access. As demonstrated in Finding 6, the development is consistent with public access policies of the DMF LUP.
- m) Tree Removal. Upon completion of a site visit, staff identified two Monterey Pine trees (16 inches in diameter at breast height) which had been removed without the benefit of a Coastal Development Permit. According to the prepared arborist report, Pacific Gas & Electric Company (PG&E) removed these trees. Staff worked with PG&E and has confirmed that these trees were removed because they were in a dead or dying condition and posed an immediate threat to the nearby utility line. In this case, a Coastal Development Permit was not required for such removal pursuant to DMF CIP Section 20.145.050.A.3 and MCC Sections 20.70.120.O, and R, relating to hazardous trees posing a threat to public services, vegetation removal and maintenance activities. Additionally, Public Resources Code section 4293) administered by Cal Fire requires the removal of dead, diseased, defective and dying trees that could fall into the lines. The project also involves the removal of 10 non-native trees, which is not regulated under applicable MCC. Condition No. 5 has been applied to ensure that near by trees are protected from construction related activities.
- n) Guesthouse. The project includes a Coastal Administrative Permit and Design Approval to allow construction of a 344 square foot guesthouse over a 398 square foot storage area. As designed and conditioned, the guesthouse conforms to MCC Section 20.64.020. See Finding No. 8 and supporting evidence.
- o) Land Use Advisory Committee (LUAC). Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application was referred to the Del Monte Forest LUAC because the project is subject to review by the Planning Commission. At the August 4, 2022 Del Monte Forest LUAC public meeting, the LUAC voted 7 to 0 to support the project with the change that the County of Monterey and Applicant resolve the issue regarding lot coverage and trellises. Per the Planning Commission's August 24, 2022 direction, the proposed trellis and arbor do not constitute lot coverage in this case.
- p) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in HCD-Planning File No. PLN210191.

2. **FINDING:** **SITE SUITABILITY** - The site is physically suitable for the proposed use.

- EVIDENCE:**
- a) The project includes the construction of a single-family dwelling with an attached garage and guesthouse and associated improvements.
 - b) The following technical report has been prepared:
 - Construction Impact Tree Assessment (LIN220075) prepared by Frank Ono, Pacific Grove, CA on June 19, 2021;
 - Preliminary Cultural Resources Reconnaissance (LIB210071) prepared by Susan Morley, Marina, CA in March 2021;
 - Geotechnical Investigation (LIB210253) prepared by Philip Edwards, Freedom, CA on February 19, 2021; and
 - Biological Resources Report (LIB220076) prepared by Denise Duffy & Associates, Monterey, CA in February 2022 and supplemental special status species survey (LIB220208).

Upon independent review, staff concurs with conclusions of the report. There are no physical or environmental constraints that render the site unsuitable for the use proposed.

- c) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN210191.

3. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, Pebble Beach CSD, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau, and conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) All necessary public facilities are available to the subject property. Sewer service will provided by the Pebble Beach Community Services District (PBCSD). Potable water will be provided by the California American Water Company.
 - c) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in HCD-Planning File No. PLN210191.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on the subject property.
 - b) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN210191.

5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts the construction of single-family residence and accessory structures.
 - b) As proposed, the project includes the construction of a one-story single-family dwelling and an attached guesthouse and storage structure. Therefore, the proposed project meets this exemption.
 - c) No adverse environmental effects were identified during staff review of the development application during a site visit on February 24, 2022.
 - d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. Project location is not within a sensitive environment. There is no cumulative impact without any prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered on a hazardous waste site. No known historical resources are found in the geotechnical or archaeological reports which may cause a substantial adverse change in the significance of a historical resource. It is not visible from an officially designated scenic highway.
 - e) Staff conducted a site inspection on February 24, 2022 to verify that the site is suitable for this use.
 - f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN210191.

6. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in DMF CIP, Section 20.147.130 can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 8, Major Public Access and Recreational Facilities, in the DMF LUP).
 - d) The subject project site is not identified as an area where the Local Coastal Program requires visual public access (Figure 3, Visual Resources, in the DMF LUP).
 - e) Based on the project scope, construction of the existing single-family dwelling will not interfere with visual access along 17-Mile Drive or from Point Lobos. Consistent with DMF LUP Policies 123 and 137, the

proposed project will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity.

- f) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN210191.

7. **FINDING:** **GUESTHOUSE** – The project meets the established regulations and standards as identified in Title 20, Section 20.64.020.

- EVIDENCE:**
- a) Title 20, Section 20.64.020 establishes regulations and standards for which a guesthouse, accessory to the main residence on a lot, may be permitted. The project includes the construction of a 344 square foot guesthouse with no cooking facilities over a 398 square foot storage area. These two units have no internal circulation and function separately from the proposed main residence.
 - b) The proposed guesthouse would share utilities with the main dwelling and would not be separately rented.
 - c) The proposed guesthouse and storage structure will be attached to the main residence via a arbor and therefore pursuant to MCC 20.62.040.k, it shall subject to the same setback requirements as the main structure. As such, the guesthouse meets the required site development standards and design criteria as defined in MCC Sections 20.14.060, and 20.44. Condition No. 8 requires the applicant to record a deed restriction states the regulations applicable to a guesthouse in the Coastal Zone.
 - d) As defined in Title 20, section 20.58.040, a guesthouse requires one parking space. Consistent with this requirement, the site plan provides for a parking space adjacent the garage.
 - e) Environmental Health Bureau (EHB) staff reviewed the application to confirm adequate wastewater treatment and water supply facilities will serve the guesthouse. The guesthouse will share the same utilities with the main residence. EHB staff determined the property has adequate facilities and no further comments or conditions have been applied or recommended (see also Finding No. 4 and supporting evidence).
 - f) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN210191.

8. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20, Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Coastal Commission. Pursuant to Title 20, Section 20.86.080.A, the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea (i.e., State Route/Highway 1).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Monterey County Planning Commission does hereby:

1. Find that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the California Environmental Quality Act and none of the exceptions under Section 150300.2 apply; and
2. Approve Coastal Administrative Permit & Design Approval to allow construction of an approximately 4,122 square foot single family dwelling inclusive of an attached 476 square foot garage and associated site improvements; a Coastal Administrative Permit & Design Approval to allow construction of an attached 344 square foot guesthouse over a 398 square foot storage area; and a Coastal Administrative Permit to allow less than 120 square feet of development on slopes exceeding 30%.

All in general conformance with the attached plans and subject to the no conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 14th day of September, 2022.

Craig Spencer
Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a construction permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no construction permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted

or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services offices in Salinas.

1. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN210191

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Coastal Administrative Permit & Design Approval to allow construction of an approximately 3,646 square foot single family dwelling with an attached 476 square foot garage & associated site improvements; Coastal Administrative Permit & Design Approval to allow construction of an attached 344 square foot guesthouse over a 398 square foot storage area; and a Coastal Administrative Permit to allow less than 120 square feet of development on slopes exceeding 30%. The property is located at 1458 Riata Road, Pebble Beach (Assessor's Parcel Number 008-332-019-000), Del Monte Forest Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Coastal Administrative Permit and Design Approval (Resolution Number _____) was approved by the Monterey County Planning Commission for Assessor's Parcel Number 008-332-019-000 on September 14, 2022. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD - Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project. CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning Department and the Department of Public Works for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

5. PD011 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

6. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

8. PD019(B) - DEED RESTRICTION-GUESTHOUSE (COASTAL)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a deed restriction stating the regulations applicable to a Guesthouse (Coastal) as follows:

- Only 1 guesthouse shall be allowed per lot.
- Detached guesthouses shall be located in close proximity to the principal residence.
 - Guesthouses shall share the same utilities with the main residence, unless prohibited by public health requirements.
 - The guesthouse shall not have cooking or kitchen facilities, including but not limited to microwave ovens, hot plates and toaster ovens.
 - The guesthouse shall have a maximum of 6 linear feet of counter space, excluding counter space in a bathroom. There shall be a maximum of 8 square feet of cabinet space, excluding clothes closets.
 - The guesthouse shall not exceed 425 square feet of livable floor area.
 - The guesthouse shall not be separately rented, let or leased from the main residence whether compensation be direct or indirect.
 - Subsequent subdivisions which divide a main residence from a guesthouse shall be prohibited.
 - The guesthouse shall be designed in such a manner as to be visually consistent and compatible with the main residence on site and other residences in the area.
 - The guesthouse height shall not exceed 12 feet nor be more than one story.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall submit a signed and notarized document to the Director of HCD-Planning for review and signature by the County.

Prior to occupancy or commencement of use, the Owner/Applicant shall submit proof of recordation of the document to the Director of the HCD-Planning.



PEBBLE BEACH RETREAT

1458 RIATA RD. PEBBLE BEACH, CA 93953

05/09/2022 planning update

ABBREVIATIONS

Table of abbreviations and their corresponding full names, organized in two columns.

DIRECTORY

Civil Engineering
L&S Engineering and Surveying
2460 Garden Road, Suite G
Monterey, CA 93940
Contact: Mark Sterner
Phone: (831) 655-2723
Email: mark@landsengineers.com

Landscape Architects
Bliss Landscape Architecture, P.C.
2400 Robinson Canyon Road
Carmel, California 93923
Contact: Michael Bliss
Phone: (831) 298-0990
Email: michael@blisslandscapearch.com

Structural Engineering
Strandberg Engineering
1511 15th Street
San Francisco, CA 94103
Contact: David Strandberg
Phone: (415) 778-8726
Email: david@strandbergeng.com

MEP Engineering
Monterey Energy Group, Inc.
26465 Camel Rancho Blvd. Ste. 8
Carmel, CA 93923
Contact: David Knight
Phone: (831) 372-8328
Email: dave@meg4.com

Lighting
Byrdwaters Design
Contact: Steven Byrd
Phone: (214) 240-3369
Email: steven@byrdwaters.com

PROJECT DATA

PROJECT: PEBBLE BEACH RETREAT
PROJECT ADDRESS: 1458 RIATA RD, PEBBLE BEACH, CA 93953
OWNER: DAVIS FAMILY TRUST DATED JULY 10, 2001, AS AMENDED
SCOPE OF WORK: CONSTRUCTION OF A NEW 4,914 SQ FT SINGLE FAMILY RESIDENCE, AN ATTACHED GARAGE, AND A NEW DRIVEWAY.

ZONING DATA

PLANNING AREA: DEL MONTE FOREST LUP
ASSESSOR'S PARCEL #: 008-332-019-000
LOT / PARCEL SIZE: 30,785 SQ FT (0.707 ACRES)
BUILDING SITE COVERAGE: ALLOWED: 4,617.75 SQ FT (15% OF LOT SIZE)

PESCADERO WATERSHED, NON-PERMEABLE COVERAGE: ALLOWED: 9,000 SQ FT
PROPOSED: 8,130 SQ FT
INCLUDES: 3,518 SQ FT DRIVEWAY & ARBOR
4,612 SQ FT HOUSE

GENERAL LAND USE DESIGNATION: 1C
LDR/1.5-D(CZ)
1.5AU

HEIGHT & SETBACK REGULATIONS: SETBACKS: FRONT 30'-0", REAR / SIDE 20'-0", MAX HEIGHT 30'-0".

GRADING: YES, REFER TO CIVIL PLANS
TREES TO BE REMOVED: REFER TO LANDSCAPE DRAWINGS
WASTE WATER SYSTEM: PBCSD (PEBBLE BEACH COMMUNITY SERVICES DISTRICT)
WATER SERVICE: CAL AM (CALIFORNIA AMERICAN WATER)

Table of plumbing fixtures with columns for Type of Fixture, Fixture, Value, and Count. Includes items like Washbasin, Toilet, Urinal, Shower, etc.

PARKING: 2 GARAGE SPACES AND 2 GUEST PARKING SPOTS
COASTAL ZONE: YES
SRA FIRE HAZARD ZONE: VERY HIGH / HIGH
FLOOD ZONE; FLOODWAY: X: AREA OF MINIMAL FLOOD HAZARD

BUILDING DATA

STORIES: 2
TYPE OF CONSTRUCTION: VB
OCCUPANCY GROUP: R-1

DRAWING INDEX

GENERAL

G001 PROJECT INFORMATION SHEET
G001-8 Unnamed
G502 REVISIONS
G003 CODE COMPLIANCE

CIVIL

C1 TITLE SHEET
C2 SITE DEMOLITION PLAN
C3 SITE GRADING PLAN
C4 SITE STORM DRAIN AND UTILITY PLAN
C5 STORMTECH UNDERGROUND INFILTRATION SYSTEM DETAILS

LANDSCAPE

L0.1 TREE PROTECTION PLAN
L0.2 FUEL MANAGEMENT PLAN
L1.0 LANDSCAPE SITE PLAN
L3.0 PLANTING PLAN
L3.1 PLANTING DETAILS
L4.0 IRRIGATION PLAN
L5.0 LIGHTING PLAN

ARCHITECTURAL

A100 SITE PLAN
A200 FLOOR PLAN - OVERALL
A201 FLOOR PLAN - WEST
A202 FLOOR PLAN - EAST
A240 ROOF PLAN - OVERALL
A260 DOOR SCHEDULE
A261 WINDOW SCHEDULE
A262 WINDOW & ROOM SCHEDULE

STRUCTURAL

S1.0 GENERAL NOTES
S1.1 TYPICAL CONCRETE DETAILS
S1.2 TYPICAL CONCRETE DETAILS
S1.3 TYPICAL WOOD DETAILS
S1.4 TYPICAL WOOD DETAILS
S1.5 TYPICAL STEEL DETAILS
S1.6 TYPICAL STEEL DETAILS
S1.7 TYPICAL CMU DETAILS
S2.0 CRAWL SPACE FOUNDATION PLAN - WEST
S2.1 FLOOR FRAMING & FOUNDATION PLAN - WEST

MECHANICAL

M0.1 NOTES
M0.2 MECH NOTES
M0.3 ENERGY COMPLIANCE
M0.4 2019 LOW-RISE RESIDENTIAL MEASURES
M2.1 MAIN FLOOR RADIANT PANEL LAYOUT
M2.2 MAIN FLOOR RADIANT TUBING LAYOUT
M2.3 MAIN FLOOR HVAC LAYOUT
M2.4 CASITA HVAC PLAN
M6.1 PIPING SCHEMATIC
M6.2 SCHEDULES & DETAILS
M6.3 HEAT SOURCE VENTING
M6.4 ECO-WARM INSTALLATION DETAILS

PLUMBING

P0.1 LEGENDS, SCHEDULES, NOTES & DETAILS
P2.1 WASTE & VENT PLAN
P2.2 DOMESTIC WATER & GAS PLAN
P2.3 CASITA WASTE & VENT PLAN
P2.4 CASITA DOMESTIC WATER & GAS PLAN

ELECTRICAL

E1201 ELECTRICAL PLAN - WEST
E1202 ELECTRICAL PLANS - EAST

LIGHTING

L0100 FLOOR PLAN - OVERALL
LD201 LIGHTING PLAN - WEST
LD202 LIGHTING PLAN - EAST ARBOR & BEDROOM 2

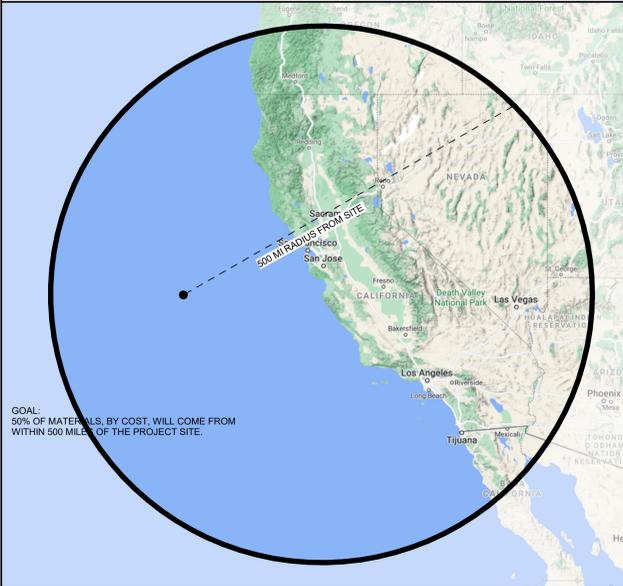
ABBREVIATION SYMBOLS

Table of abbreviation symbols including ANGLE, CENTERLINES, CHANNEL, PENNY, PLATE, DIAMETER, and WIDE FLANGE BEAM.

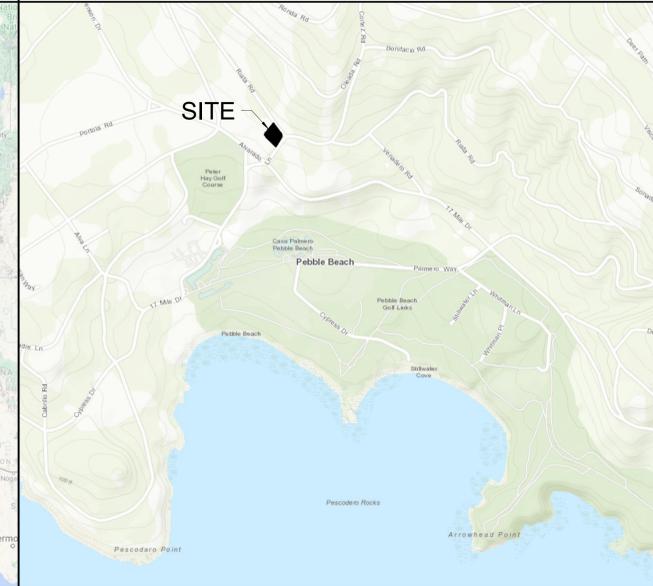
DRAWING SYMBOLS

Table of drawing symbols including DOOR NUMBER, WINDOW NUMBER, ELEVATION MARK, REVISION NUMBER, ROOM NAME & NUMBER, INTERIOR ELEVATION NUMBER & SHEET NUMBER, DETAIL NUMBER, SHEET NUMBER, and SECTION NUMBER.

VICINITY MAP



VICINITY MAP



ARCHITECTS INC.
LAKE FLATO
311 THIRD STREET
SAN ANTONIO, TEXAS 78205
P.210.227.3336 F.10.224.9515
www.lakeflato.com



PEBBLE BEACH RETREAT

1458 Riata Rd. Pebble Beach, CA 93953

05/03/2022 LIF PROJ. NO. 20154
PROJ. ARCHITECT SR DRAWN BY: Author

Table of issue dates including DATE, ISSUE, and BUILDING PERMIT.

REVISIONS

Table for recording revisions with columns for NO., DATE, and DESCRIPTION.

BUILDING PERMIT

PROJECT INFORMATION SHEET

G001

General Public Use: All information contained herein is for informational purposes only. It is not to be used for any other purpose without the express written consent of the author.



**PEBBLE
 BEACH
 RETREAT**

1458 Riata Rd. Pebble
 Beach, CA 93953

02/18/2022 LIF PROJ. NO. 20154
 PROJ. ARCHITECT SR DRAWN BY: Author

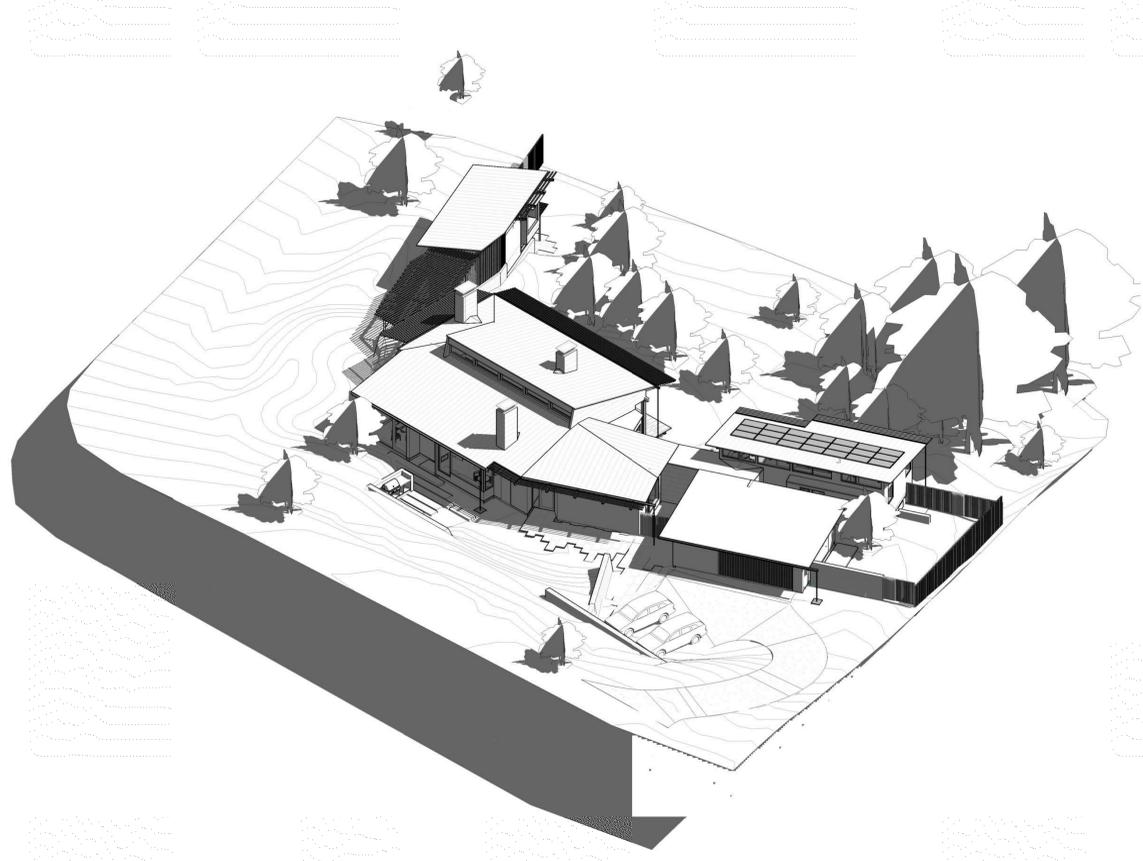
SET ISSUE DATES	
DATE	ISSUE
06/23/21	PLANNING AND BUILDING
08/27/21	DD PRICING
10/07/21	PLANNING AND BUILDING UPDATE
02/18/22	BUILDING PERMIT

REVISIONS		
NO.	DATE	DESCRIPTION

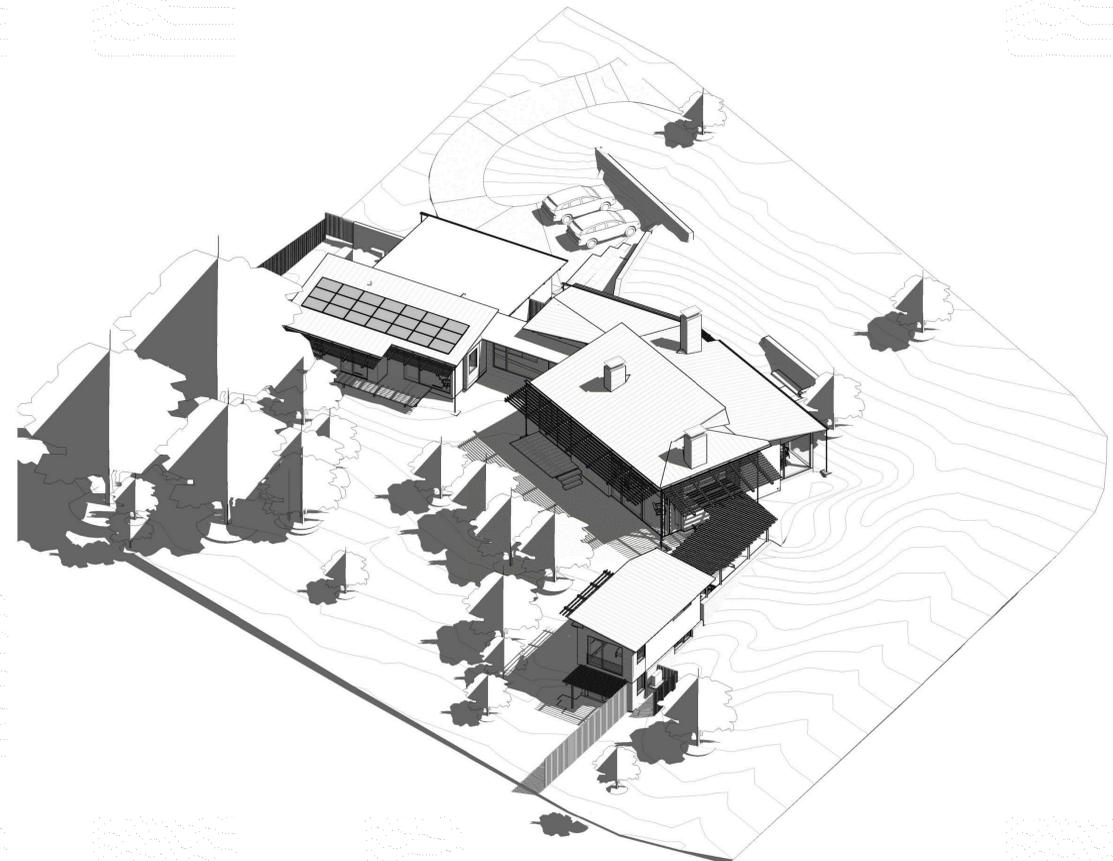
BUILDING PERMIT

RENDERINGS

G002



2 OVERALL AXON - NORTH



1 OVERALL AXON - SOUTH

APPLICABLE CODES AND REGULATIONS

CALIFORNIA CODE OF REGULATIONS, TITLE 24, PUBLISHED BY THE CALIFORNIA BUILDING STANDARDS COMMISSION.
 PART 2.5, 2019 CALIFORNIA RESIDENTIAL BUILDING CODE (2019 IRC)
 PART 3, 2019 CALIFORNIA ELECTRICAL CODE (2017 NEC)
 PART 4, 2019 CALIFORNIA MECHANICAL CODE (2018 UMC)
 PART 5, 2019 CALIFORNIA PLUMBING CODE (2018 UPC)
 PART 6, 2019 CALIFORNIA ENERGY CODE
 PART 9, 2019 CALIFORNIA FIRE CODE (2018 IFC)
 PART 11, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
 PART 12, 2019 CALIFORNIA RECYCLING STANDARDS CODE
 THIS PROJECT FALLS IN A HIGH FIRE HAZARD SEVERITY ZONE AND MUST FOLLOW WILDLAND URBAN INTERFACE REQUIREMENTS, CALIFORNIA BUILDING CODE CHAPTER 7A.

AGENCIES

COUNTY OF MONTEREY RESOURCE MANAGEMENT AGENCY
 PLANNING
 1441 SCHILLING PLACE
 SALINAS, CA 93901
 831.755.5025
<https://www.co.monterey.ca.us/government/departments-i-2/resource-management-agency/planning/>

COUNTY OF MONTEREY RESOURCE MANAGEMENT AGENCY
 BUILDING SERVICES
 1441 SCHILLING PLACE
 SALINAS, CA 93901
 831.755.4800
<https://www.co.monterey.ca.us/government/departments-i-2/resource-management-agency/building-services/>

MONTEREY COUNTY REGIONAL FIRE DISTRICT
 1900 PORTOLA DRIVE
 SALINAS, CA 93908
 831.455.1828
<http://www.mcrfd.org/>

DEL MONTE FOREST
 PLANNING AREA
 3101 FOREST LAKE ROAD
 PEBBLE BEACH, CA 93953TX
 831.373.1616
office@dmfo.org
<https://dmfo.org/>

CALIFORNIA COASTAL COMMISSION
 45 Fremont St, Suite 2000
 San Francisco, CA 94105-2219
 415.804.5200
<https://www.coastal.ca.gov/>

PACIFIC GAS & ELECTRIC
 2311 GARDEN RD
 MONTEREY, CA
 831.648.3231
www.pge.com

FIRE NOTES

FIRE007-DRIVEWAYS
 DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15 PERCENT. WHERE THE GRADE EXCEEDS 8 PERCENT, A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FEET OF ASPHALTIC CONCRETE ON 0.34 FEET OF AGGREGATE BASE SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS (22 TONS), AND BE ACCESSIBLE BY CONVENTIONAL-DRIVE VEHICLES, INCLUDING SEDAN FOR DRIVEWAYS WITH TURNS 90 DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 25 FEET. FOR DRIVEWAYS WITH TURNS GREATER THAN 90 DEGREES, THE MINIMUM HORIZONTAL INSIDE RADIUS CURVATURE SHALL BE 20 FEET. FOR ALL DRIVEWAYS WITH AN ADDITIONAL SURFACE OF 4 FEET SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150 FEET IN LENGTH, BUT LESS THAN 800 FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 800 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400-FOOT INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12 FEET WIDE AND 30 FEET LONG WITH A MINIMUM 0.25-FOOT TAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FEET OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50 FEET OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A DRIVEWAY SHALL BE 40 FEET FROM THE CENTER LINE OF THE DRIVEWAY IF A HAMMERHEAD IS USED. THE TOP OF THE "S" SHALL BE A MINIMUM OF 60 FEET IN LENGTH.

ADDRESSES FOR BUILDINGS
 ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS, AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF 4-INCH HEIGHT, 3/8 INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.

DEFENSIBLE SPACE REQUIREMENTS – (STANDARD)
 REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 30 FEET OF STRUCTURES. LIMB TREES 6 FEET UP FROM GROUND. REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS. ADDITIONAL AND/OR ALTERNATE FIRE PROTECTION OR FIREBREAKS APPROVED BY THE FIRE AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.

FIRE PROTECTION EQUIPMENT & SYSTEMS – FIRE SPRINKLER SYSTEM – (STANDARD)
 THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-10 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR PRIOR TO REQUESTING A FRAMING INSPECTION.

FIRE ALARM SYSTEM – SINGLE FAMILY DWELLING
 THE RESIDENCE SHALL BE FULLY PROTECTED WITH AN APPROVED HOUSEHOLD FIRE WARNING SYSTEM AS DEFINED BY NFPA STANDARD 72. PLANS AND SPECIFICATIONS FOR HOUSEHOLD FIRE WARNING SYSTEM SHALL BE SUBMITTED BY A CALIFORNIA LICENSED C-10 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. HOUSEHOLD FIRE WARNING SYSTEMS INSTALLED IN LIEU OF SINGLE-STATION SMOKE ALARMS REQUIRED BY THE UNIFORM BUILDING CODE SHALL BE REQUIRED TO BE PLACED AS PERMANENT BUILDING EQUIPMENT.

ROOF CONSTRUCTION – CYPRESS FPD & PEBBLE BEACH CSD
 ALL NEW STRUCTURES AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 50 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE YEAR PERIOD, SHALL REQUIRE A MINIMUM OF IBCO CLASS A ROOF CONSTRUCTION.

DEFERRED SUBMITTALS

PRIOR TO INSTALLATION OF THE FOLLOWING SYSTEMS, THE CONTRACTOR SHALL SUBMIT TO THE MONTEREY CO. BUILDINGS DEPT THE REQUIRED DOCUMENTATION FOR REVIEW AND APPROVAL. REVIEW BY THE ARCHITECT SHALL BE PERFORMED PRIOR TO SUBMITTING DOCUMENTS TO THE COUNTY.

1. AUTOMATIC FIRE SPRINKLER SYSTEM. COORDINATE DESIGN FOR THE LOCATION OF SPRINKLER HEADS WITH ARCHITECT. SPRINKLER HEADS TO BE CONCEALED / POP UP TYPE. COLOR OF COVER OR VISIBLE HEADS TO MATCH ADJACENT FINISH, COORDINATE WITH ARCHITECT.
2. FIRE ALARM SYSTEM SHALL CONFORM WITH 2019 CBC. COORDINATE LOCATION OF VISIBLE COMPONENTS WITH ARCHITECT.

CALGREEN RESIDENTIAL CHECKLIST

2019 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST					
SECTION A4.602					
Effective January 1, 2020					
HCD SHL 615C (New 01/20)					
FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD	
	Mandatory	Tier 1	Tier 2	Enforcing Agency	Installer or Designer / Third Party
PLANNING AND DESIGN					
AA.106.1 A site which complies with at least one of the following characteristics is selected:					
1. An infill site is selected.					
2. A greenfield site is selected.					
3. An EPA-recognized brownfield site is selected.					
AA.106.2 Facilitate community connectivity by one of the following methods:					
1. Locate project within a 1/4-mile true walking distance of at least 4 transit services.					
2. Locate project within 1/2-mile true walking distance of at least 4 transit services.					
3. Other methods increasing access to additional resources.					
Site Preservation					
AA.104.1 An individual with oversight responsibility for the project has participated in an educational program promoting environmentally friendly design and development and has provided training or education to appropriate contractors and/or residents.					
Discontinuation and Reuse of Existing Materials					
AA.105.2 Existing buildings are demolished for reuse or recycling of building materials. The proposed structure utilizes at least one of the following materials which can be easily reused:					
1. Light fixtures					
2. Plumbing fixtures					
3. Doors and trim					
4. Masonry					
5. Electrical devices					
6. Appliances					
7. Foundations or portions of foundations.					
Site Development					
4.106.2 A plan is developed and implemented to manage storm water drainage during construction.					
4.106.3 Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.					
4.106.4 Provide capability for electric vehicle charging for one and two-family dwellings, townhouses with attached garage, multifamily dwellings and other structures in accordance with Section 4.106.4.1, 4.106.4.2, or 4.106.4.3, as applicable.					

¹ Open building measures listed in this table may be mandatory if adopted by a city, county, or city and county as specified in Section 101.7.

2019 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST					
SECTION A4.602					
Effective January 1, 2020					
HCD SHL 615C (New 01/20)					
FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD	
	Mandatory	Tier 1	Tier 2	Enforcing Agency	Installer or Designer / Third Party
AA.106.1 Reserved.					
AA.106.2.1 Soil analysis is performed by a licensed design professional and the findings are utilized in the structural design of the building.					
AA.106.2.2 Soil disturbances and erosion are minimized by at least one of the following:					
1. Natural drainage patterns are evaluated and erosion controls are implemented to minimize erosion during construction and after occupancy.					
2. Site access is accomplished by minimizing the amount of cut and fill needed to install access roads and driveways.					
3. Underground construction activities are coordinated to utilize the same trench, minimize the amount of time the disturbed soil is exposed and the soil is replaced using accepted compaction methods.					
Low-Rise Residential					
AA.106.2.3 Topsoil shall be protected or saved for reuse as specified in this section.					
Tier 1. Displaced topsoil shall be stockpiled for reuse in a designated area and covered or protected from erosion.					
Tier 2. The construction area shall be identified and delineated by fencing or flagging to limit construction activity to the construction area.					
High-Rise Residential, Hotels and Motels					
AA.106.1 Reserved.					
AA.106.2 Reserved.					
AA.106.3 Postconstruction landscape designs accomplish one or more of the following:					
1. Areas disrupted during construction are restored to be consistent with native vegetation species and patterns.					
2. Sites at least 75% native California or drought-tolerant plant and tree species appropriate for the climate zone region.					

¹ Required prerequisite for Tier 2.

2019 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST					
SECTION A4.602					
Effective January 1, 2020					
HCD SHL 615C (New 01/20)					
FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD	
	Mandatory	Tier 1	Tier 2	Enforcing Agency	Installer or Designer / Third Party
AA.106.4 Permeable paving is utilized for the parking, walking or patio surfaces in compliance with the following:					
Tier 1. Not less than 20% of the total parking, walking or patio surfaces shall be permeable.					
Tier 2. Not less than 30% of the total parking, walking or patio surfaces shall be permeable.					
Low-Rise Residential					
AA.106.5 Roofing materials shall have a minimum 3-year aged solar reflectance and thermal emittance or a minimum Solar Reflectance Index (SRI) equal to or greater than the values specified in the applicable tables.					
High-Rise Residential, Hotels and Motels					
AA.106.5 Roofing materials shall meet or exceed the values contained in Table A4.106.5.1(1).					
Tier 2. Roof covering shall meet or exceed the values contained in Table A4.106.5.1(2).					
High-Rise Residential, Hotels and Motels					
Tier 1. Roof covering shall meet or exceed the values contained in Table A4.106.5.1(3).					
Tier 2. Roof covering shall meet or exceed the values contained in Table A4.106.5.1(4).					
AA.106.6 Install a vegetated roof for at least 50% of the roof area. Vegetated roofs shall comply with requirements for roof gardens and landscaped roofs in the California Building Code, Chapters 15 and 16.					
AA.106.7 Reduce rooftop heat islands for 50% of sidewalks, patios, driveways or other paved areas by using one or more of the following:					
1. Areas disrupted during construction are restored to be consistent with native vegetation species and patterns.					
2. Sites at least 75% native California or drought-tolerant plant and tree species appropriate for the climate zone region.					
AA.106.8.1 Tier 1 and Tier 2. For one- and two-family dwellings and townhouses with attached private garages, install a dedicated 200-amp, wet branch circuit, including an overcurrent protective device rated at 40 amperes minimum per Section 4.106.8.2.					
AA.106.8.2 Provide capability for future electric vehicle charging in new multifamily dwellings, as specified.					
Tier 1. In 15% of total parking spaces.					
Tier 2. In 20% of total parking spaces.					

2019 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST					
SECTION A4.602					
Effective January 1, 2020					
HCD SHL 615C (New 01/20)					
FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD	
	Mandatory	Tier 1	Tier 2	Enforcing Agency	Installer or Designer / Third Party
AA.106.8.3 Provide electric vehicle charging spaces for new houses and motels.					
Tier 1. Install EV spaces per Table A4.106.8.3.1.					
Tier 2. Install EV spaces per Table A4.106.8.3.2.					
AA.106.9 Provide bicycle parking facilities as noted below or meet a local ordinance, whichever is more stringent. Number of bicycle parking spaces may be reduced, as approved by the enforcing agency, due to building site characteristics, including but not limited to, isolation from other development.					
1. Provide short-term bicycle parking, per Section A4.106.9.1.					
2. Provide long-term bicycle parking for multifamily buildings, per Section A4.106.9.2.					
3. Provide long-term bicycle parking for hotel and motel buildings, per Section A4.106.9.3.					
AA.106.10 (HR) Outdoor lighting systems shall be designed and installed to comply with:					
1. The minimum requirements in the California Energy Code for Lighting Zones 1-4, and					
2. Backlight, Light and Glare (BLG) ratings as defined in IES TM-11-11, and					
3. Allowable BLG ratings not exceeding those shown in Table A4.106.10, or					
Comply with a locally enacted local ordinance, whichever is more stringent.					
Innovative Concepts and Local Environmental Conditions					
AA.106.1 Items in this section are necessary to address innovative concepts or local environmental conditions.					
Item 1					
Item 2					
Item 3					
ENERGY EFFICIENCY (LOW-RISE RESIDENTIAL)					
General					
4.201 Building meets or exceeds the requirements of the California Building Energy Efficiency Standards. ¹					

¹ These measures are currently required elsewhere in statute or in regulation.

2019 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST					
SECTION A4.602					
Effective January 1, 2020					
HCD SHL 615C (New 01/20)					
FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD	
	Mandatory	Tier 1	Tier 2	Enforcing Agency	Installer or Designer / Third Party
Performance Approach for Newly Constructed Buildings					
AA.203.1.1.1 Tier 1 and Tier 2. Total Energy Design Rating (Total EDR) and Energy Efficiency Design Rating (Efficiency EDR) for the Proposed Design Building is included in the Certificate of Compliance documentation.					
AA.203.1.1.2 Tier 1 and Tier 2. Quality Installation (Quality Insulation) and Energy Efficiency (Energy Efficiency Standards Reference Appendices RA3.5) are completed.					
AA.203.1.2 Tier 1 and Tier 2 prerequisite options. One of the following options is required:					
• Roof deck insulation or ducts in conditioned space.					
• High performance walls.					
• IER-verified compact hot water distribution system.					
• IER-verified drain water heat recovery.					
AA.203.1.3 Tier 1. Buildings complying with the first level of advanced energy efficiency shall have additional integrated efficiency and onsite renewable energy generation to achieve a Total EDR for Tier 1 as specified in Table A4.203.1.1.1 or lower as calculated by Tier 2 as specified in Table A4.203.1.1.1 or lower as calculated by Tier 2, Part 6 Compliance Software approved by the Energy Commission. This Total EDR is in addition to meeting the Efficiency EDR.					
AA.203.1.3.2 Tier 2. Buildings complying with the second level of advanced energy efficiency shall have additional integrated efficiency and onsite renewable energy generation to achieve a Total EDR for Tier 2 as specified in Table A4.203.1.1.1 or lower as calculated by Tier 2, Part 6 Compliance Software approved by the Energy Commission. This Total EDR is in addition to meeting the Efficiency EDR.					
AA.203.1.4 Local jurisdictions adopting Tier 1 or Tier 2, or considering community shared solar or storage options as specified, shall consult with the local electric service for compliance.					
Water Efficiency and Conservation					
Indoor Water Use					
4.303.1 Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4.303.1.1 through 4.303.1.4.					

¹ Required prerequisite for Tier 2.

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SECTION A4.602					
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FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD	
	Mandatory	Tier 1	Tier 2	Enforcing Agency	Installer or Designer / Third Party
4.303.1 Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards.					
AA.303.1.1 The maximum flow rate of kitchen faucets shall not exceed 1.5 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must return to a maximum flow rate of 1.5 gallons per minute at 60 psi.					
Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.					
AA.303.1.4.1 Misting faucets in residential buildings shall not deliver more than 0.2 gallons per cycle.					
AA.303.2 Alternate water source for portable applications. Alternate nonpotable water sources are used for indoor potable water reduction. Alternate nonpotable water sources shall be installed in accordance with the California Plumbing Code.					
AA.303.3 Water at least one qualified ENERGY STAR dishwasher or clothes washer.					
AA.303.4 Nonwater urinals or waterless toilets are installed.					
AA.303.5 One- and two-family dwellings shall be equipped with a demand hot water recirculation system.					
Outdoor Water Use					
4.304.1 Residential developments shall comply with a local water efficient landscaping ordinance or the current California Department of Water Resources' Model Water Efficient Landscaping Ordinance (MWELO), whichever is more stringent.					
AA.304.1 A rainwater capture, storage and re-use system is designed and installed.					
AA.304.2 Landscape design is installed, which does not utilize potable water.					
AA.304.3 For new water service connections, landscaped irrigated areas less than 5,000 square feet shall be provided with separate submeters or metering devices for outdoor potable water use.					
Water Reuse Systems					
AA.305.1 Piping is installed to permit future use of a graywater reclamation system served by the clothes washer or other fixtures.					
AA.305.2 Recycled water piping is installed.					

¹ Required prerequisite for Tier 2.

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SECTION A4.602					
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FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD	
	Mandatory	Tier 1	Tier 2	Enforcing Agency	Installer or Designer / Third Party
AA.305.3 Recycled water is used for landscape irrigation. Innovative Concepts and Local Environmental Conditions.					
AA.306.1 Items in this section are necessary to address innovative concepts or local environmental conditions.					
Item 1					
Item 2					
Item 3					
ENVIRONMENTAL CONSERVATION AND RESOURCE EFFICIENCY					
Foundation Systems					
AA.403.1 Frost-Protected Shallow Foundation (FPSF) is designed and constructed.					
AA.403.2 Current use in foundation soil design is reduced.					
Tier 1. Not less than a 20% reduction in current use.					

GRADING, DRAINAGE, & EROSION CONTROL PLANS

GENERAL NOTES

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS HERE ON. IN ADDITION ALL WORK SHALL ALSO COMPLY WITH TITLE 24 AND 2019 CALIFORNIA BUILDING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA ELECTRICAL CODE AND THE CALIFORNIA ENERGY CODE AS THEY MAY APPLY.
2. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
4. IN THE EVENT THAT THE CONTRACTOR FINDS A CONFLICT OR A DEFICIENCY IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, THE OWNER, AND OR THE OWNER'S REPRESENTATIVE(S) IMMEDIATELY.
5. ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER PRIOR TO THEIR CONSTRUCTION, AND SHALL BE ACCURATELY SHOWN ON DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.
6. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE EXISTING TOPOGRAPHY SHOWN, NOR THE ACCURACY OF THE DELINEATION OF SAID UNDERGROUND UTILITIES NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED AND ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS HEREBY NOTICED THAT PRIOR TO COMMENCING CONSTRUCTION HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THEIR UNDERGROUND UTILITIES AND FACILITIES. REPAIR OF DAMAGE TO ANY UNDERGROUND UTILITY OR FACILITY SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
7. THE CONTRACTOR SHALL NOTIFY UNDERGROUND UTILITY SERVICE ALERT AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
8. THE CONTRACTOR SHALL LEAVE A 24-HOUR EMERGENCY TELEPHONE NUMBER WITH THE SHERIFF, FIRE DEPARTMENT, AND PRIVATE SECURITY COMPANY (IF APPLICABLE), AND KEEP THEM INFORMED DAILY REGARDING ANY CONSTRUCTION RELATED ACTIVITY IN THE PUBLIC RIGHT-OF-WAY.
9. EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED SHALL BE REPLACED AS DIRECTED BY THE COUNTY AND OR THE ENGINEER AT THE CONTRACTOR'S EXPENSE WHETHER SHOWN ON THE PLANS OR NOT, EVEN IF DAMAGE OR DISPLACEMENT WAS NOT CAUSED BY ACTUAL WORK PERFORMED BY THE CONTRACTOR.
10. THE CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL MANHOLES, VALVE AND MONUMENT COVERS WITHIN THE WORK AREA UNLESS NOTED OTHERWISE.
11. THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT AND SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER AND THE ENGINEER FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
12. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.
 - B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
13. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL AND PROPER DISPOSAL OF ALL DEBRIS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: DEBRIS FROM THE SITE, TREES, ROOT BALLS AND FENCING.
15. ALL CUT AND FILL SLOPES DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY PUBLIC WORKS DEPARTMENT, THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
16. CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO THE HOURS OF 7:00 AM TO 5:00 PM.
17. CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED IN GOOD CONDITION.
18. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT STATE OF CALIFORNIA DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, SALINAS, CA. PHONE (811) 443-3200.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND TRAFFIC CONTROL WITHIN THE CONSTRUCTION AREA.
20. FOR ALL TRENCH EXCAVATIONS FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, 21 WEST LAUREL DRIVE, SUITE 405, SALINAS CALIFORNIA 93908, PHONE (831) 443-3200, PRIOR TO ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
21. AT COMPLETION OF THE CONSTRUCTION, THE CONTRACTOR SHALL FURNISH REPRODUCIBLE AS-BUILT PLANS TO THE ENGINEER AND TO THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OF PUBLIC WORKS. SAID PLANS SHALL SHOW ALL CHANGES AND ADDITIONS/DELETIONS IN RED ON THE REPRODUCIBLE PLANS.
22. PAYMENT SECTION TO BE DETERMINED AS SHOWN ON THESE PLANS.
23. A SEPARATE PERMIT IS REQUIRED FOR THE CONSTRUCTION OF ALL RETAINING WALLS.
24. TREES WHICH ARE LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.

GRADING NOTES

1. REFER TO GENERAL NOTES AND DETAILS AS SHOWN ON THESE PLANS.
2. ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE #2535, EROSION CONTROL ORDINANCE #2806, THE CALIFORNIA BUILDING CODE AND GEOTECHNICAL REPORT ENTITLED:

"GEOTECHNICAL INVESTIGATION DESIGN PHASE FOR PROPOSED RESIDENCE
1458 RIATA ROAD, PEBBLE BEACH, MONTEREY, CALIFORNIA"

PREPARED BY: BUTANO GEOTECHNICAL ENGINEERING, INC.
231 GREEN VALLEY ROAD, SUITE E
FREEDOM, CA 95019
(831) 724-2612

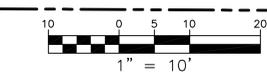
DATED: FEBRUARY 19, 2021

3. ALL GRADING AND COMPACTION SHALL BE DONE IN THE PRESENCE OF AND TESTED BY THE SOILS ENGINEER AND/OR SOILS TESTING CONSULTANT, WHO WILL PROVIDE THE ENGINEER WITH COPIES OF ALL TEST RESULTS. THE CONTRACTOR SHALL SUBMIT TESTS AND REPORT FROM SOILS ENGINEER TO THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT PRIOR TO SCHEDULING ANY INSPECTIONS.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO GRADING.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS TO THE SATISFACTION OF THE SOILS ENGINEER AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY BY THE SOILS ENGINEER.
6. WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS DIRECTED IN THE FIELD BY THE SOILS ENGINEER.
7. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE DIRECTED IN WRITING BY THE ENGINEER OR SOILS ENGINEER AND APPROVED BY THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT.
8. ALL CUT SLOPES SHALL BE SLOPED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER AND LANDSCAPE MAINTENANCE WILL BE REQUIRED UNTIL GROUND COVER IS ESTABLISHED.
9. ELEVATION BENCHMARK SEE SHEET C3.
10. CONTRACTOR SHALL USE CAREFUL GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.
11. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CONTROL OF WIND BLOWN MATERIAL IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE. THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
12. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST TWO (2) DAYS IN ADVANCE OF COMMENCING WORK, INCLUDING SITE STRIPPING AND GRADING OPERATIONS. THIS WORK SHALL BE OBSERVED AND TESTED BY THE SOILS ENGINEER.
13. STRIPINGS TO BE USED AS TOPSOIL SHALL BE STOCKPILED IN APPROVED AREAS FOR FUTURE USE IN LANDSCAPED AREAS.
14. IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED DURING CONSTRUCTION WORK SHALL BE STOPPED IMMEDIATELY WITHIN THE LIMITS OF THE FIND UNITS. A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE MONTEREY COUNTY PMA-PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY RETURN THE SITE TO DETERMINE THE EXTENT OF RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.
15. ALL HALL ROADS SHALL BE RETURNED TO ORIGINAL CONDITION AND RESEDED WHEN GRADING IS COMPLETE. NO HALL ROADS SHALL BE ALLOWED IN AREAS WHICH ARE NOT SHOWN TO BE GRADED WITHOUT PRIOR APPROVAL OF THE ENGINEER.
16. RESTORATION OF HALL ROADS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
17. EARTHWORK QUANTITIES ARE SHOWN ON SHEET C3.
18. ALL GRADES TO BE A MINIMUM OF 5% AWAY FROM FOUNDATIONS FOR 10 FEET UNLESS SPECIFIED OTHERWISE ON PLANS.
19. TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOTBALLS. THE REMAINING CAVITY SHALL BE LEAKED OF ALL ROOTS LARGER THAN 2" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE ORIGINAL GROUND.
20. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
 - A) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
 - C) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
21. MONTEREY COUNTY GRADING ORDINANCE (200, 200-1-16.1(L)(2)).
22. PAD ELEVATIONS SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
23. GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPACTING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS SCRAPING TO PROVIDE A BOND WITH THE NEW FILL, AND WHERE SLOPES ARE STEEPER THAN 5 TO 1, AND THE HEIGHT IS GREATER THAN 6 FT, BY BENCHING INTO SOUND BEDROCK OR OTHER COMPETENT MATERIAL AS DETERMINED BY THE GEOTECHNICAL ENGINEER.
24. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH, NO ROCK OVER 12" IN ITS MAXIMUM DIMENSION MAY BE USED IN A FILL.
25. PRIOR TO FINAL INSPECTION, THE GEOTECHNICAL CONSULTANT SHALL PROVIDE CERTIFICATION THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
26. ALL FILL SOILS SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
27. OVER EXCAVATION SHOULD BE CONDUCTED BELOW THE FOUNDATIONS AND FLOOR SLABS IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
28. A COPY OF ALL FIELD REPORTS/COMPACTION TESTS, AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.

PROJECT SITE

NOTE:
X ALL TREES TO BE PROTECTED IN PLACE UNLESS SHOWN OTHERWISE
X TREE TO BE REMOVED

█ SLOPE EQUAL TO OR GREATER THAN 30%



GEOTECHNICAL INSPECTION WITH TIMING OF INSPECTION

DESCRIPTION OF THE REQUIRED INSPECTION:	WHEN INSPECTION IS TO BE COMPLETED:	WHO WILL CONDUCT THE INSPECTION:	INSPECTOR NAME:	COMPLETION DATE:
INSPECT AND TEST KEYWAY/SUBEXCAVATION/OVEREXCAVATION:	1) PRIOR TO BACKFILLING	GEOTECHNICAL ENGINEER		
INSPECT AND TEST KEYWAY/SUBEXCAVATION/OVEREXCAVATION:	2) DURING BACKFILL PLACEMENT - ONGOING	GEOTECHNICAL ENGINEER		
INSPECT AND TEST BUILDING PAD SUBGRADE:	1) PRIOR TO EXCAVATION FOOTINGS OR PLACEMENT OF SLAB-ON-GRADE MATERIALS	GEOTECHNICAL ENGINEER		
INSPECT SLAB-ON-GRADE INSTALLATION:	1) PRIOR TO CONCRETE PLACEMENT	GEOTECHNICAL ENGINEER		
INSPECT FOUNDATION AND/OR RETAINING WALL FOOTING EXCAVATIONS:	1) PRIOR TO REINFORCEMENT PLACEMENT	GEOTECHNICAL ENGINEER		
INSPECT AND TEST RETAINING WALL BACKFILL:	1) DURING BACKFILL PLACEMENT	GEOTECHNICAL ENGINEER		
INSPECT AND TEST DRIVEWAY FILL, SUBGRADE, AND BASEROCK PLACEMENT:	1) DURING FILL PLACEMENT	GEOTECHNICAL ENGINEER		
INSPECT AND TEST DRIVEWAY FILL, SUBGRADE, AND BASEROCK PLACEMENT:	2) SUBGRADE, PRIOR TO BASEROCK PLACEMENT	GEOTECHNICAL ENGINEER		
INSPECT AND TEST DRIVEWAY FILL, SUBGRADE, AND BASEROCK PLACEMENT:	3) BASEROCK PRIOR TO AC, CONCRETE, OR PAVEMENT	GEOTECHNICAL ENGINEER		
INSPECT AND TEST DRAINAGE INSTALLATION:	1) AFTER PIPE PLACEMENT, PRIOR TO BACKFILL PLACEMENT	GEOTECHNICAL ENGINEER		
INSPECT AND TEST DRAINAGE INSTALLATION:	2) DURING BACKFILL PLACEMENT - ONGOING	GEOTECHNICAL ENGINEER		

ABBREVIATIONS

AB	AGGREGATE BASE	K	CURVE COEFFICIENT
AC	ASPHALT CONCRETE	LF	LINEAR FEET
AD	AREA DRAIN	MIN	MINIMUM
BS	BOTTOM OF STEP	N/A	NOT APPLICABLE
CB	CATCH BASIN	(N)	NEW
CL	CENTERLINE	N/S	NOT TO SCALE
DIA	DIAMETER	PG&E	PACIFIC GAS & ELECTRIC
DWY	DRIVEWAY	PVC	POLYVINYL CHLORIDE
E	ELECTRICAL SERVICE	SD	STORM DRAIN
(E)	EXISTING	S	SLOPE
EC	END CURVE	SS	SANITARY SEWER
ELEV	ELEVATION	SSCO	SEWER CLEAN-OUT
ED	EDGE OF PAVEMENT	FM	FORCE MAIN
FC	FACE OF CURB	TC	TOP OF CURB
FP	FINISHED PAVEMENT	TD	TRENCH DRAIN
FF	FINISHED FLOOR ELEVATION	TS	TOP OF STEP
FL	FLOW LINE	TW	TOP OF WALL
G	GAS SERVICE	TYP	TYPICAL
HDPE	HIGH DENSITY POLYETHYLENE	W	WATER
JT	JOINT UTILITY TRENCH		

LEGEND

---	(E) CURB
---	(E) EDGE OF PAVEMENT
---	(E) MAJOR CONTOUR
---	(E) MINOR CONTOUR
---	PROPERTY LINE
---	(E) GAS LINE
---	(E) STORM DRAIN
---	(E) SANITARY SEWER
---	(E) WATER LINE
---	(N) CURB
---	(N) EDGE OF PAVEMENT
---	(N) GAS LINE
---	(N) STORM DRAIN
---	(N) SANITARY SEWER
---	(N) WATER LINE
---	(N) WALL
---	(N) SAWCUT LINE
---	DESIGN MAJOR CONTOUR
---	DESIGN MINOR CONTOUR
---	(N) BUILDING FOOTPRINT

SHEET INDEX

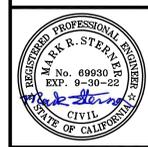
C1	TITLE SHEET
C2	SITE DEMOLITION PLAN
C3	SITE GRADING PLAN
C4	SITE STORM DRAIN & UTILITY PLAN
C5	STORMTECH UNDERGROUND INFILTRATION SYSTEM DETAILS
C6	SITE CROSS SECTIONS & DETAILS
C7	EROSION CONTROL PLAN
C8	CONSTRUCTION MANAGEMENT PLAN

STATEMENT OF PURPOSE

THESE PLANS WERE PRODUCED TO PROVIDE FOR GRADING, DRAINAGE, AND EROSION CONTROL FOR AND DURING THE CONSTRUCTION OF A SINGLE FAMILY RESIDENCE AT 1458 RIATA ROAD, PEBBLE BEACH CA 93953

FIRE DEPARTMENT NOTES

1. FIRE007-DRIVEWAYS SHALL NOT BE LESS THAN 12 FT WIDE UNOBSTRUCTED, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FT. ALL DRIVEWAYS SHALL EXCEED 10% WHERE THE GRADE EXCEEDS 6 PERCENT. A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FT OF AC OR 0.34 FT OF AB SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING APPROXIMATELY 22 TONS, AND BE ACCESSIBLE BY CONVENTIONAL-DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS 90° AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS CURVATURE SHALL BE 25 FT. FOR DRIVEWAYS WITH TURNS GREATER THAN 90°, THE MINIMUM HORIZONTAL INSIDE RADIUS CURVATURE SHALL BE 28 FT. FOR ALL DRIVEWAY TURNS AN ADDITIONAL SURFACE OF 4 FT SHALL BE ADDED. BURNING LANS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FT OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50 FT OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40 FT FROM THE CENTER LINE OF A SINGLE DRIVEWAY. IF A HAMMERHEAD T IS USED, THE TOP OF THE T SHALL BE A MINIMUM OF 6 FT IN LENGTH, OR AS APPROVED BY THE FIRE CHIEF.
2. CROSS-ALL GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST 30 FT FROM THE ROADWAY AND SHALL OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THE ROAD. GATE ENTRANCES SHALL BE AT LEAST THE WIDTH OF THE TRAFFIC LANE AND SHALL BE 10 FT WIDE WHERE A ONE WAY ROAD WITH A SINGLE TRAFFIC LANE PROVIDES ACCESS TO A GATED ENTRANCE. A 40 FT TURNING RADIUS SHALL BE USED, WHERE GATES ARE TO BE LOCKED, THE INSTALLATION OF A KEY BOX OR OTHER ACCEPTABLE MEANS FOR IMMEDIATE ACCESS BY EMERGENCY EQUIPMENT MAY BE REQUIRED.
3. FIRE011-ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE N01241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS, LETTERS, NUMBERS AND SYMBOLS, WITH A MINIMUM OF 4 IN HEIGHT. THE ADDRESS SHALL BE PLACED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. ADDRESS SIGNS SHALL BE PLACED AT A SINGLE DRIVEWAY. THEY SHALL BE MOUNTED ON A SINGLE SIGN, WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY. THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING ROAD CLEARANCE.
4. FIRE020-REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 100 FT OF STRUCTURES. LIMB TREES 6 FT UP FROM GROUND, REMOVE LIMBS WITHIN 10 FT OF CHIMNEYS, ADDITIONAL FIRE PROTECTION OR FIREBREAKS APPROVED BY THE REVIEWING AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
5. FIRE022-FIRE PROTECTION EQUIPMENT & SYSTEMS-FIRE SPRINKLER SYSTEMS-(HAZARDOUS CONDITIONS). THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD, A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-15 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR AND COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION. DUE TO SUBSTANDARD ACCESS, OR OTHER MITIGATING FACTORS, SMALL BATHROOMS AND OPEN ATTACHED PORCHES, CARPORTS, AND SIMILAR STRUCTURES SHALL BE PROTECTED WITH FIRE SPRINKLERS.

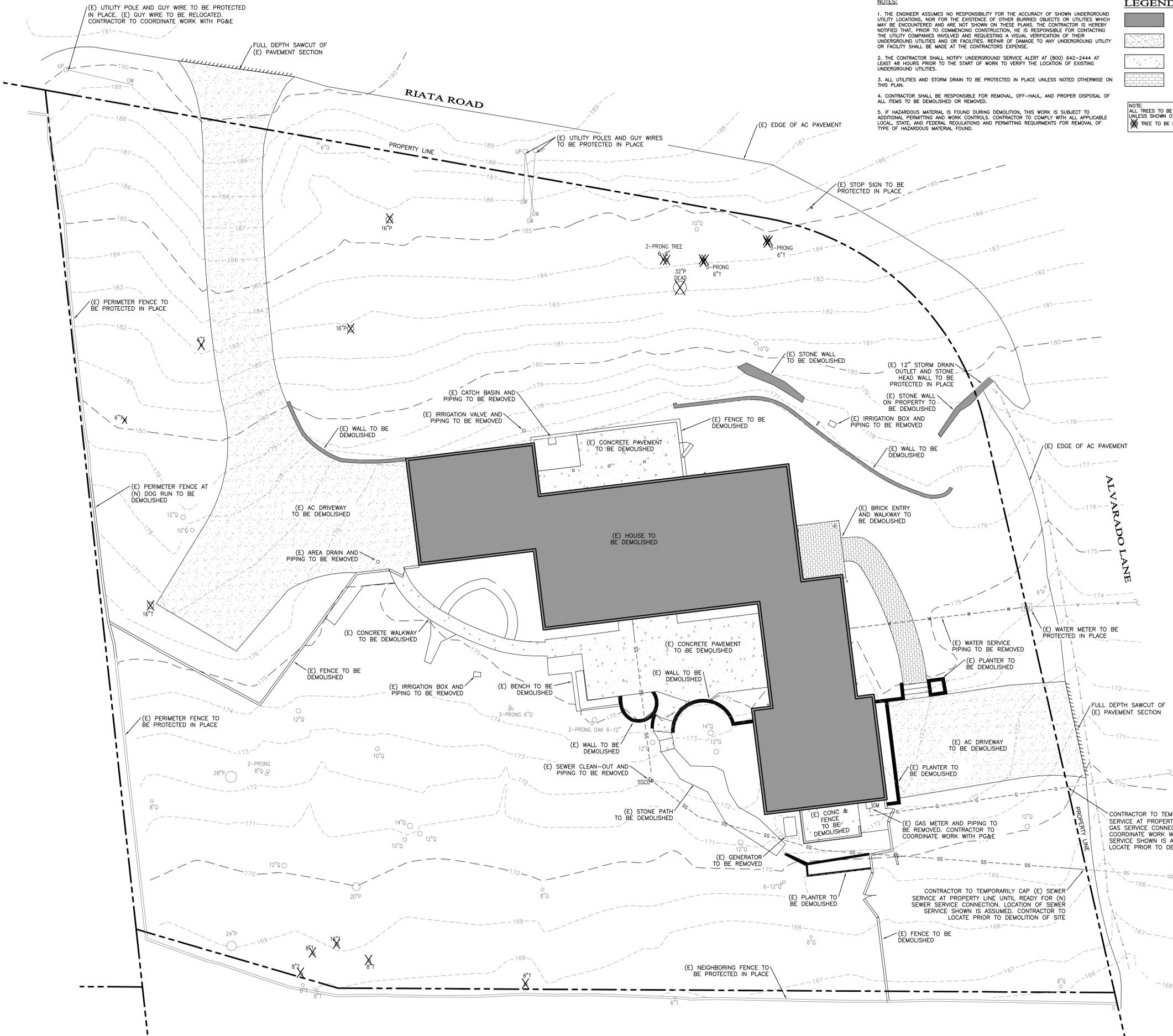


DRAWN BY: MRS
DESIGNED BY: MRS
DATE: 03-17-2022
AS SHOWN
SCALE:
JOB NUMBER: 21-53
LAST REVISED: 05-02-2022
REVISED BY: MRS

TITLE SHEET

DAVIS RESIDENCE
1458 RIATA ROAD
PEBBLE BEACH, CA 93953
APN 008-332-019

SHEET C1
OF



NOTES:

1. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SHOWN UNDERGROUND UTILITY LOCATIONS, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED AND ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS HEREBY NOTIFIED THAT, PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THEIR UNDERGROUND UTILITIES AND/OR FACILITIES. REPAIR OF DAMAGE TO ANY UNDERGROUND UTILITY OR FACILITY SHALL BE MADE AT THE CONTRACTORS EXPENSE.
2. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
3. ALL UTILITIES AND STORM DRAIN TO BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE ON THIS PLAN.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL, AND PROPER DISPOSAL OF ALL ITEMS TO BE DEMOLISHED OR REMOVED.
5. IF HAZARDOUS MATERIAL IS FOUND DURING DEMOLITION, THIS WORK IS SUBJECT TO ADDITIONAL PERMITTING AND WORK CONTROLS. CONTRACTOR TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND PERMITTING REQUIREMENTS FOR REMOVAL OF TYPE OF HAZARDOUS MATERIAL FOUND.

LEGEND

	(E) BUILDING TO BE DEMOLISHED
	(E) AC DRIVEWAY TO BE DEMOLISHED
	(E) CONCRETE PAVEMENT TO BE DEMOLISHED
	(E) BRICK PAVEMENT TO BE DEMOLISHED

NOTE:
 ALL TREES TO BE PROTECTED IN PLACE UNLESS SHOWN OTHERWISE
 TREE TO BE REMOVED

ENGINEERING AND SURVEYING, INC.
 2460 Garden Road, Suite G, Monterey, California 93940
 P. 031 656-1723 F. 031 656-3425
 Email: info@engsurv.com

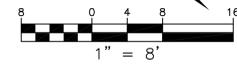
REGISTERED PROFESSIONAL ENGINEER
 M. M. R. STERN, M.S.E.
 No. 69930
 EXP. 9-30-28
 CIVIL
 STATE OF CALIFORNIA

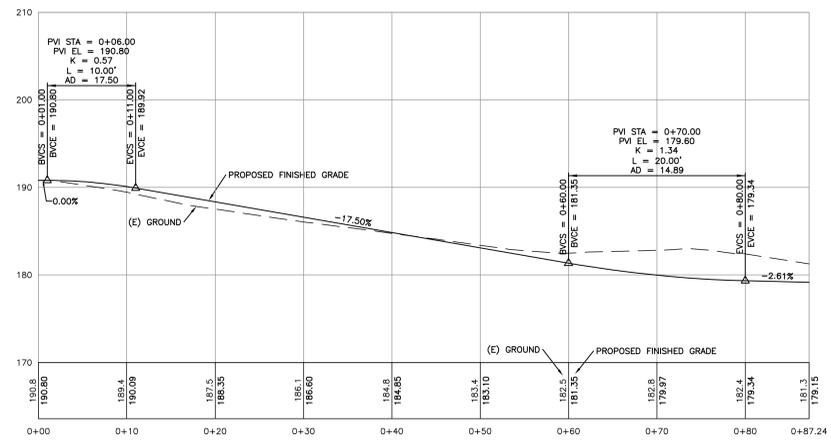
DRAWN BY:	MRS
DESIGNED BY:	MRS
DATE:	03-17-2022
SCALE:	AS SHOWN
JOB NUMBER:	2153
LAST REVISED:	N/A
REVISED BY:	N/A

SITE DEMOLITION PLAN

DAVIS RESIDENCE
 1458 RIATA ROAD
 PEBBLE BEACH, CA 93953
 APN 008-332-019

SITE DEMOLITION PLAN
 SCALE: 1" = 8'





EARTHWORK
 CUT=1000 CY
 FILL=340 CY
 NET=660 CY CUT

EARTHWORK QUANTITIES AS CALCULATED BY THE ENGINEER ARE TO SUB GRADE IN PAVED AREAS AND ARE ESTIMATES ONLY. AN 11" SECTION WAS ASSUMED FOR THE DRIVEWAY, AN 11" SECTION WAS ASSUMED FOR THE AUTO COURT, A 7" SECTION WAS ASSUMED FOR CONC SITE WORK, AND AN 8" SECTION WAS ASSUMED FOR GRAVEL PAVEMENT. A 10% COMPACTION RATIO WAS ASSUMED FOR FILL LOCATIONS. SPOILS FROM UTILITY TRENCHING AND RETAINING WALL BACKFILL WERE NOT INCLUDED IN THESE CALCULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE QUANTITIES BY PERFORMING HIS OWN CALCULATIONS.

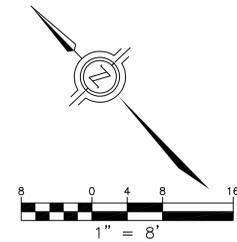
- LEGEND**
- (N) BUILDING SEE ARCHITECTURAL PLANS
 - (N) AC DRIVEWAY APRON, SEE DETAIL E/C6
 - (N) STONE PAVING OVER CONCRETE BASE. DRIVEWAY/AUTO COURT, SEE DETAIL F/C6 PATIO/BUILDING ENTRIES, SEE DETAIL G/C6
 - (N) WOOD DECK SEE ARCHITECTURAL PLANS
 - (N) GRAVEL PAVEMENT, SEE DETAIL J/C6
 - CONTRACTOR TO CREATE FLOW LINE AS SHOWN

- AD AREA DRAIN
- BR BOTTOM OF RAMP
- BS BOTTOM OF STEP
- CB CATCH BASIN
- E EXISTING
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOW LINE
- FP FINISHED PAVEMENT
- ME MATCH EXISTING
- N NEW
- TD TRENCH DRAIN
- TR TOP OF RAMP
- TS TOP OF STEP
- TW TOP OF WALL

DRIVEWAY LINE AND CURVE ANNOTATION

LINE TABLE			
LINE	LENGTH	DIRECTION	
L1	12.59'	N 79°55'47" E	
L2	26.59'	N 10°29'10" W	

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	27.32'	50.84'	30°46'57"
C2	20.74'	19.93'	99°38'00"
C3	40.83'	44.59'	52°27'30"
C4	18.28'	13.68'	76°34'31"
C5	8.95'	13.00'	39°27'20"
C6	29.22'	57.09'	29°19'22"
C7	30.51'	26.18'	66°45'59"
C8	10.56'	16.37'	36°56'41"



(E) UTILITY POLE AND GUY WIRE TO BE PROTECTED IN PLACE. (E) GUY WIRE TO BE RELOCATED, CONTRACTOR TO COORDINATE WORK WITH PG&E

(E) UTILITY POLES AND GUY WIRES TO BE PROTECTED IN PLACE

(E) WATER METER PROTECTED IN PLACE. CONTRACTOR TO CONNECT (N) WATER SERVICE TO (E) METER. CONTRACTOR TO COORDINATE WORK WITH CAL-AM, WATER UTILITY PROVIDER

CONTRACTOR TO CONNECT (N) GAS SERVICE TO TEMPORARILY CAPPED (E) GAS SERVICE AT PROPERTY LINE. CONTRACTOR TO COORDINATE WORK WITH PG&E. LOCATION OF GAS SERVICE SHOWN IS ASSUMED. CONTRACTOR TO LOCATE PRIOR TO DEMOLITION OF SITE

CONTRACTOR TO CONNECT (N) SEWER SERVICE TO TEMPORARILY CAPPED (E) SEWER SERVICE AT PROPERTY LINE. LOCATION OF SEWER SERVICE AND DEPTH ARE ASSUMED. CONTRACTOR TO LOCATE AND VERIFY DEPTH PRIOR TO DEMOLITION OF SITE. NOTIFY ENGINEER IF DEPTH AND LOCATION VARY FROM WHAT IS SHOWN. INSTALL CLEAN-OUT AT CONNECTION. SEE DETAIL M/C6. 4" SS INV=164.67

KEYNOTES:

- 1 (N) GAS METER LOCATION. CONTRACTOR TO COORDINATE METER SIZE AND WORK WITH PG&E. GAS SERVICE PIPING TO MATCH (E) SERVICE PIPE CAPPED AT PROPERTY LINE.
- 2 (N) 2" PVC SCHEDULE 40 WATER SERVICE
- 3 (N) WATER SERVICE POINT OF CONNECTION. CONTRACTOR TO INSTALL SHUT-OFF GATE VALVE ABOVE GRADE PRIOR TO CONNECTING TO BUILDING
- 4 (N) SANITARY SEWER CLEAN-OUT AT CONNECTION TO HOUSE. SEE DETAIL M/C6. 4" SS INV=173.17
- 5 (N) SANITARY SEWER CLEAN-OUT AT CONNECTION TO HOUSE. SEE DETAIL M/C6. 4" SEWER TO BE SLEAVED THROUGH FOUNDATION STEM WALL. 4" SS INV=174.67
- 6 45° WYE FITTING AT PIPE INTERSECTION, 4" SS INV=172.25
- 7 45° WYE FITTING AT PIPE INTERSECTION WITH (N) CLEAN-OUT. SEE DETAIL M/C6. 4" SS INV=165.75
- 8 (N) SANITARY SEWER CLEAN-OUT AT CONNECTION TO HOUSE. SEE DETAIL M/C6. 4" SS INV=165.57
- 9 45° WYE FITTING AT PIPE INTERSECTION, 4" SS INV=165.35
- 10 (N) ROOF DRAINAGE RAIN CHAIN ANCHOR AND ROCK DISSIPATOR TO BE SPECIFIED BY ARCHITECT (TYPICAL). STORM WATER TO FLOW INTO LANDSCAPING AND BE COLLECTED BY STORM DRAIN SYSTEM SHOWN
- 11 (N) ROOF DRAINAGE RAIN CHAIN ANCHOR AND ROCK DISSIPATOR TO BE SPECIFIED BY ARCHITECT. STORM WATER TO FLOW INTO LANDSCAPING
- 12 (N) 4" ACC 1/100 SLOPED CHANNEL TRENCH DRAIN W/ IRON MOSAIC DECORATIVE GRATE (ACC 4/90 TRAFFIC RATED), OR EQUIVALENT. GRATE=179.15, 4" SD INV=176.32
- 13 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 DEEP HOUSING ADAPTER (NDS-931), OR EQUIVALENT. GRATE=178.65, 6" SD INV=175.50
- 14 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 DEEP HOUSING ADAPTER (NDS-931), OR EQUIVALENT. GRATE=178.65, 6" SD INV=174.15
- 15 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 DEEP HOUSING ADAPTER (NDS-931), OR EQUIVALENT. GRATE=177.20, 4" SD INV=174.87
- 16 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 DEEP HOUSING ADAPTER (NDS-931), OR EQUIVALENT. GRATE=177.20, 6" SD INV=174.70
- 17 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 DEEP HOUSING ADAPTER (NDS-931), OR EQUIVALENT. GRATE=177.20, 6" SD INV=174.70
- 18 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 CATCH BASIN (NDS-900-4), OR EQUIVALENT. GRATE=176.00, 6" SD INV=172.93
- 19 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 DEEP HOUSING ADAPTER (NDS-931), OR EQUIVALENT. GRATE=175.50, 6" SD INV=172.50
- 20 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 DEEP HOUSING ADAPTER (NDS-931), OR EQUIVALENT. GRATE=171.75, 6" SD INV=169.25
- 21 (N) 30" NYLOPLAST DRAIN BASIN W/ STANDARD GRATE, OR EQUIVALENT. GRATE TO ACT AS OVERFLOW ONCE SYSTEM IS FULL AND SURROUNDING SOIL IS SATURATED. LID=168.00, 6" INV IN=166.00, 24" INV OUT=164.00, SLUMP=163.33
- 22 (N) 12"X12" JENSEN PRECAST CONCRETE CATCH BASIN W/ TRAFFIC RATED GRATE, OR EQUIVALENT. GRATE=178.50, 6" SD INV=175.68
- 23 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 DEEP HOUSING ADAPTER (NDS-931), OR EQUIVALENT. GRATE=175.50, 6" SD INV=173.00
- 24 (N) SUBSURFACE ENERGY DISSIPATER. SEE DETAIL H/C6. GRATE=173.50
- 25 (N) 9" SQUARE GRATE (GREEN NDS-990) W/ 9X9 DEEP HOUSING ADAPTER (NDS-931), OR EQUIVALENT. GRATE=168.25, 6" SD INV=165.75
- 26 (N) SUBSURFACE ENERGY DISSIPATER. SEE DETAIL H/C6. GRATE=166.50



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 DESIGNED BY: MRS
 DATE: 03-17-2022
 SCALE: AS SHOWN
 JOB NUMBER: 2153
 LAST REVISED: N/A
 REVISED BY: N/A

SITE STORM DRAIN AND UTILITY PLAN

DAVIS RESIDENCE
1458 RIATA ROAD
PEBBLE BEACH, CA 93953
APN 008-332-019

SHEET C4
 OF
 8 SHEETS

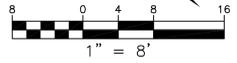
LEGEND

	(N) AREA DRAIN/CATCH BASIN (AD OR CB)
	(N) ROOF DRAINAGE RAIN CHAIN
	(N) CLEAN-OUT
	(N) RETAINING WALL DRAIN STUB
	(N) GRAVITY SANITARY SEWER
	(N) STORM DRAIN
	(N) WATER SERVICE
	(N) GAS SERVICE
	(E) GRAVITY SANITARY SEWER
	(E) STORM DRAIN
	(E) WATER SERVICE
	(E) GAS SERVICE

UTILITY NOTES:

1. ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND AND INSTALLED WITH PIPE MANUFACTURER'S RECOMMENDED BENDING RADIUS
2. STORM DRAIN AND SANITARY SEWER INVERTS TO GOVERN UTILITY LINE INSTALLATIONS
3. ALL ELECTRICAL, TV, COMMUNICATION, AND GAS LINES TO BE COORDINATED BY GENERAL CONTRACTOR
4. ALL WALLS AND DRAINAGE BEHIND WALLS TO BE DESIGNED BY OTHERS. WALL DRAINS AND FOUNDATION DRAINS ARE NOT TO BE CONNECTED TO THE STORM DRAIN SYSTEM SHOWN AND ARE TO DRAIN ONTO DOWNHILL SLOPE AS SHOWN
5. ALL STORM DRAIN LATERALS ARE 4" PVC OR HDPE AND HAVE A MINIMUM SLOPE OF 2.0% UNLESS NOTED OTHERWISE.
6. ALL STORM DRAIN PIPE TO BE SDR-35 PVC (OR STRONGER) OR ADS N-12 HDPE PIPE (OR EQUIVALENT).
7. REDUCER TO BE USED TO CONNECT GRATES AND HOUSING TO PVC PIPE SHOWN. WYE FITTING TO BE USED AT AREA DRAIN LOCATIONS WITH NO BOX.
8. SEE DETAIL 1/C6 FOR TRENCH DETAIL.

SITE STORM DRAIN AND UTILITY PLAN
 SCALE: 1"=8'

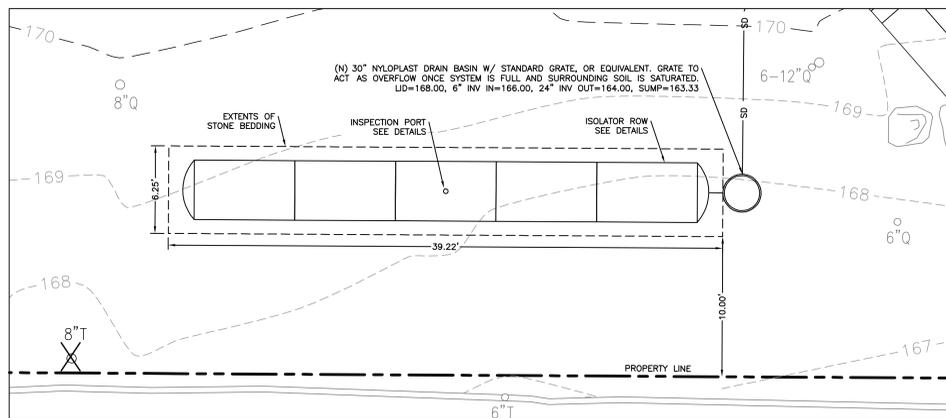


NEW AREA OF WORK CONTRIBUTING TO INFILTRATION SYSTEM
 ROOF AREA = 2650 SFT, RUNOFF COEF=0.95
 AUTO COURT = 1017 SFT, RUNOFF COEF=0.95
 PAVEMENT AREA = 1164 SFT, RUNOFF COEF=0.95
 TOTAL CONTRIBUTING AREA = 4831 SFT

RAINFALL DATA USED TO ESTIMATE STORAGE VOLUME
 65 PERCENTILE RAINFALL EVENT = 0.8 INCHES

85% RAINFALL EVENT = 0.8/12 X 4831 SFT = 322 CFT
 RETENTION VOLUME PROVIDED = 5 CHAMBERS X 74.9 CFT/CHAMBER = 375 CFT

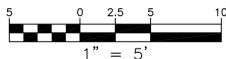
NOTE:
 STORMTECH UNDERGROUND INFILTRATION SYSTEM
 CONSISTS OF 5 SC-740 CHAMBERS
 W/ 6" OF GRAVEL BEDDING



UNDERGROUND INFILTRATION SYSTEM

A
C5

SCALE: 1"=5'

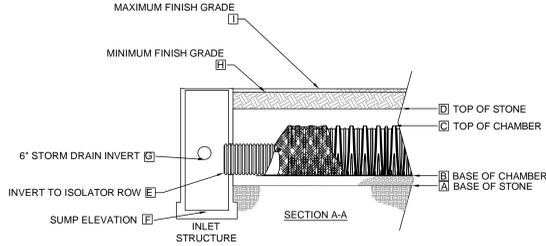
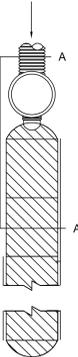


1

PLAN VIEW LAYOUT

	A	B	C	D	E	F	G	H	I	J	KK	L	LL	M	MM	N	O	P
INF SYS	163.50	164.00	166.50	167.00	164.00	163.33	166.00	168.00	169.00	N/A								

REPRESENTATIVE OF PARTS ONLY.
 SEE PLAN VIEW LAYOUT
 FOR ACTUAL CONFIGURATION.



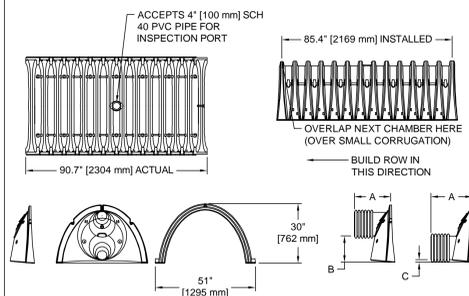
2

SC-740 ELEVATIONS

- ALL DESIGN SPECIFICATIONS FOR STORMTECH SC-740 CHAMBERS SHALL BE IN ACCORDANCE WITH THE STORMTECH SC-740 DESIGN MANUAL.
- THE INSTALLATION OF STORMTECH SC-740 CHAMBERS SHALL BE IN ACCORDANCE WITH THE LATEST STORMTECH SC-740 INSTALLATION INSTRUCTIONS.
- THE CONTRACTOR IS ADVISED TO REVIEW AND UNDERSTAND THE INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION. CALL 1-888-892-2694 OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF THE LATEST STORMTECH SC-740 INSTALLATION INSTRUCTIONS.
- CHAMBERS SHALL MEET THE DESIGN REQUIREMENTS AND LOAD FACTORS SPECIFIED IN SECTION 12.12 OF THE LATEST EDITION OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS.

3

SC-740 NOTES



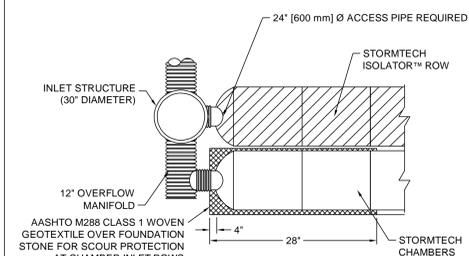
NOMINAL CHAMBER SPECIFICATIONS
 SIZE (W x H x INSTALLED LENGTH) 51.0' x 30.0' x 85.4' [1295 mm x 762 mm x 2169 mm]
 CHAMBER STORAGE 45.9 CUBIC FEET [1.30 m³]
 MINIMUM INSTALLED STORAGE 74.9 CUBIC FEET [2.12 m³] (6" GRAVEL BEDDING)
 88.4 CUBIC FEET [2.5 m³] (18" GRAVEL BEDDING)
 WEIGHT 75 lbs. [33.6 kg]

PARTS	STUB	A	B	C
SC740EPE06T	6" [150 mm]	10.90' [277 mm]	18.50' [470 mm]	N/A
SC740EPE06B	6" [150 mm]	10.90' [277 mm]	N/A	0.50' [13 mm]
SC740EPE08T	8" [200 mm]	12.20' [310 mm]	16.50' [419 mm]	N/A
SC740EPE08B	8" [200 mm]	12.20' [310 mm]	N/A	0.60' [15 mm]
SC740EPE10T	10" [250 mm]	13.40' [340 mm]	14.50' [368 mm]	N/A
SC740EPE10B	10" [250 mm]	13.40' [340 mm]	N/A	0.70' [18 mm]
SC740EPE12T	12" [300 mm]	14.70' [373 mm]	12.50' [318 mm]	N/A
SC740EPE12B	12" [300 mm]	14.70' [373 mm]	N/A	1.20' [30 mm]
SC740EPE15T	15" [375 mm]	18.40' [467 mm]	9.00' [229 mm]	N/A
SC740EPE15B	15" [375 mm]	18.40' [467 mm]	N/A	1.30' [33 mm]
SC740EPE18T	18" [450 mm]	19.70' [500 mm]	5.00' [127 mm]	N/A
SC740EPE18B	18" [450 mm]	19.70' [500 mm]	N/A	1.60' [41 mm]
SC740EPE24B	24" [600 mm]	18.50' [470 mm]	N/A	0.10' [3 mm]

ALL STUBS, EXCEPT FOR THE SC740EPE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.
 *FOR THE SC740EPE24B THE 24" [600 mm] STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" [44 mm]. BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.
 NOTE: ALL DIMENSIONS ARE NOMINAL.

4

SC-740 TECHNICAL SPEC.



5

SC-740 MANIFOLD DETAIL

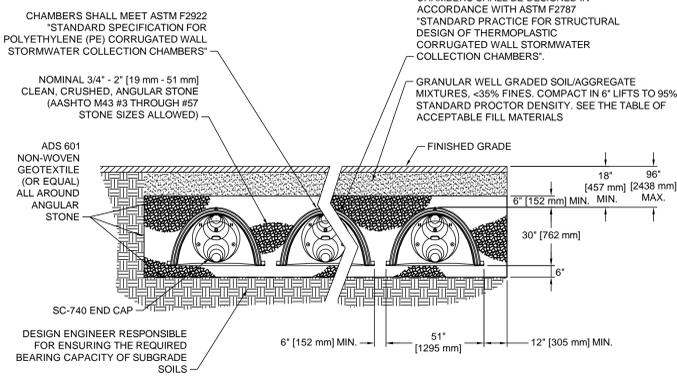
ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 AND SC-310 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO M33 DESIGNATION:	COMPACTION/DENSITY REQUIREMENT
FILL MATERIAL FOR LAYER D STARTS FROM THE TOP OF THE CLAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FRESH GRADE ABOVE THIS PAVEMENT SURFACE MAY BE PART OF THIS LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR FILL ENGINEERS PLANS. CHECK PLANS AND REQUIREMENTS.	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRENGTH, MATERIAL, AND PREPARATION REQUIREMENTS.
FILL MATERIAL FOR LAYER C STARTS FROM THE TOP OF THE PRELAYERMENT STONE BLENDS TO 18" ABOVE THE TOP OF THE CHAMBERS. STONE THAT PREVIOUSLY EXISTED MAY BE A PART OF THIS LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES. MOST PAVEMENT SUB-BASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	3.107, 4.407, 5.96, 97, 6.07, 68, 7, 78, 8, 9, 10	BEFORE COMPACTION AT PER 1" [25 mm] OF MATERIAL, OVER THE CHAMBERS IS REQUIRED. COMPACT ADDITIONAL LAYERS BY 4" [102 mm] LIFTS TO A MIN. 95% STANDARD PROCTOR DENSITY. HIGHER GRADE GRADE HEIGHT NOT TO EXCEED 12.00' [3658 mm] AND DYNAMIC FORCE NOT TO EXCEED 1000 LB [454 kg].
EMERGENCY EROSION PROTECTING THE CHAMBERS FROM THE EXHAUSTION STONE (A LAYER) TO THE CLAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE. NOMINAL SIZE DISTRIBUTION BETWEEN 3/4" - 2" [19 - 51 mm]	3.107, 4.407, 5.96, 97	NO COMPACTION REQUIRED.
FOUNDATION STONE BELOW CHAMBERS FROM THE SURFACE UP TO THE FOOTING OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE. NOMINAL SIZE DISTRIBUTION BETWEEN 3/4" - 2" [19 - 51 mm]	3.107, 4.407, 5.96, 97	PLATE COMPACTION METHOD TO ACHIEVE A MIN. STANDARD PROCTOR DENSITY.

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M33) STONE."
 2. AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR A LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 4" [102 mm] (MAX) LIFTS USING TWO FULL COVERS WITH AN APPROPRIATE COMPACTOR.

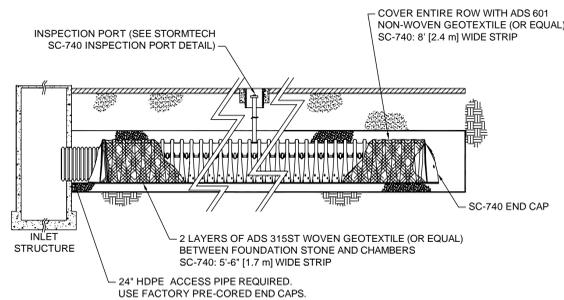
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STORMTECH ACCEPTABLE FILL MATERIALS



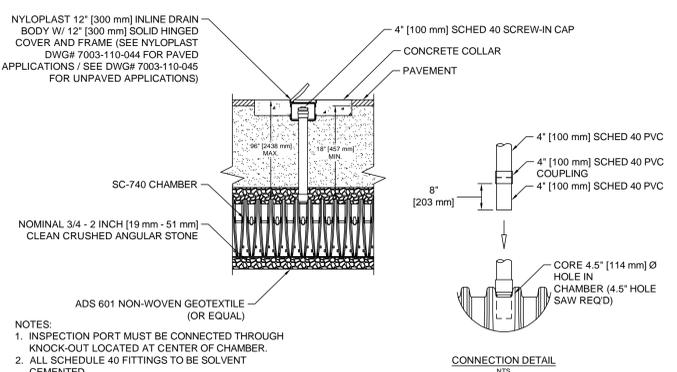
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SC-740 STANDARD CROSS SECTION



8

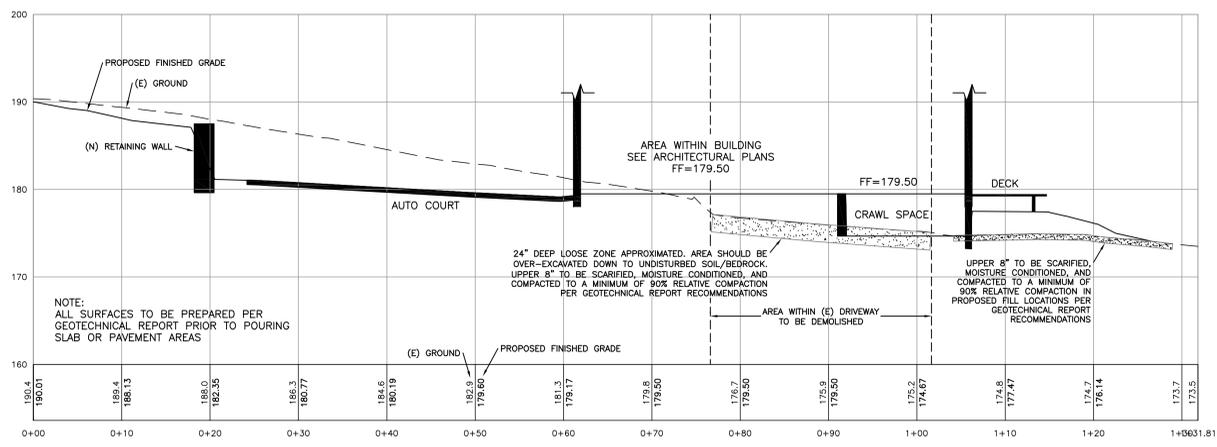
SC-740 ISOLATOR ROW™ DETAIL



NOTES:
 1. INSPECTION PORT MUST BE CONNECTED THROUGH KNOCK-OUT LOCATED AT CENTER OF CHAMBER.
 2. ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.

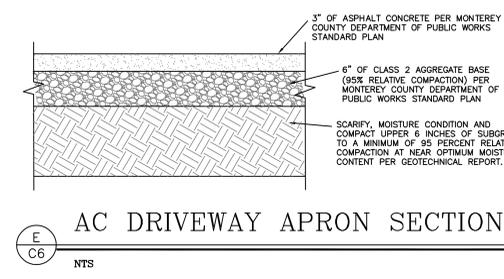
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SC-740 INSPECTION PORT DETAIL

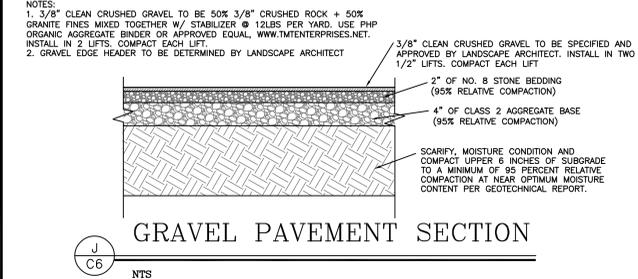


SITE CROSS SECTION - AT MAIN HOUSE

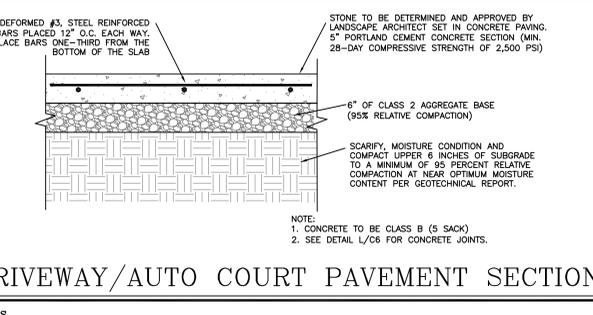
SCALE: 1"=8'



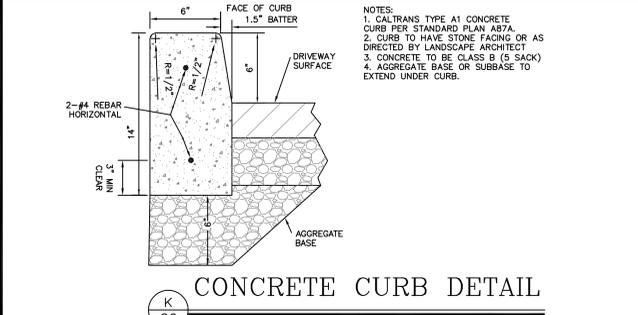
AC DRIVEWAY APRON SECTION



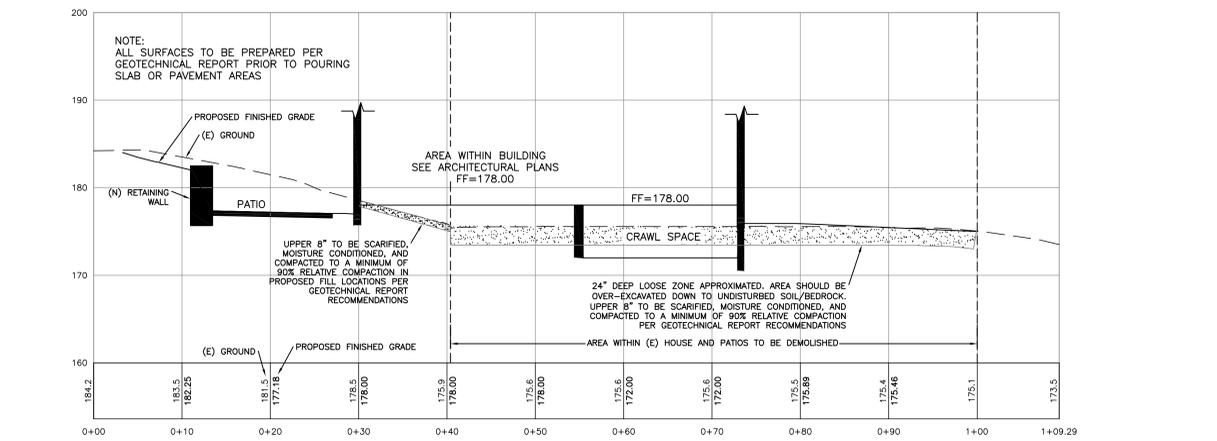
GRAVEL PAVEMENT SECTION



DRIVEWAY/AUTO COURT PAVEMENT SECTION

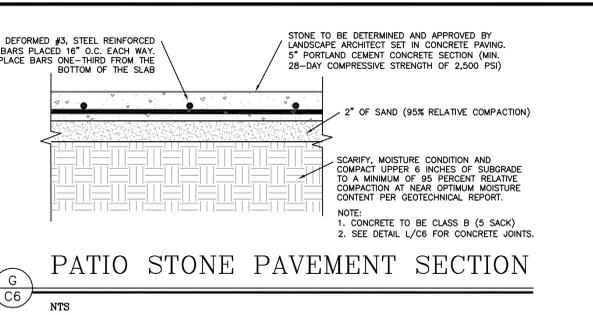


CONCRETE CURB DETAIL

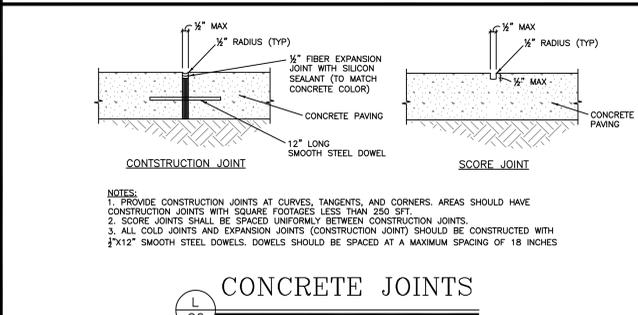


SITE CROSS SECTION - AT MAIN HOUSE

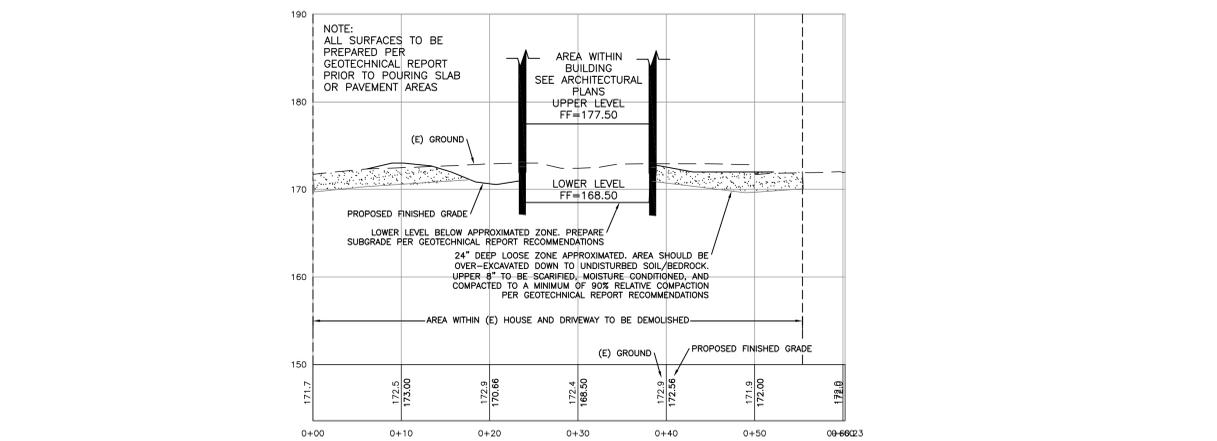
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PATIO STONE PAVEMENT SECTION

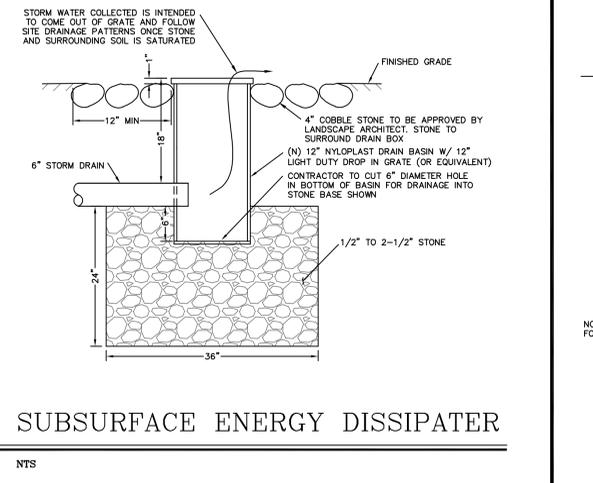


CONCRETE JOINTS

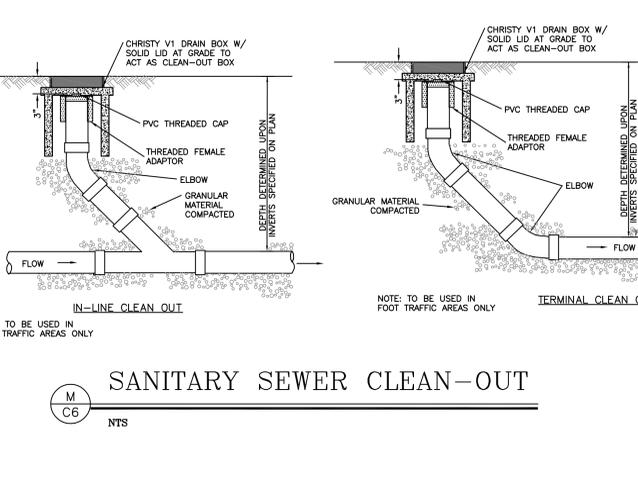


SITE CROSS SECTION - AT BEDROOM #2

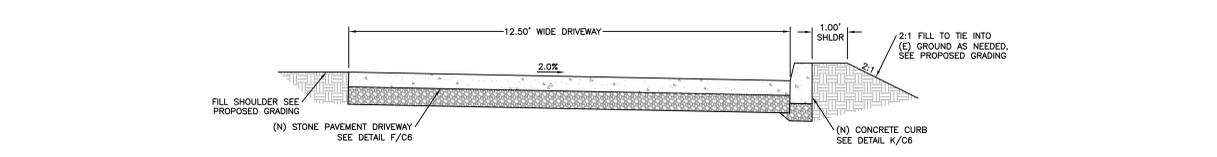
SCALE: 1"=8'



SUBSURFACE ENERGY DISSIPATER

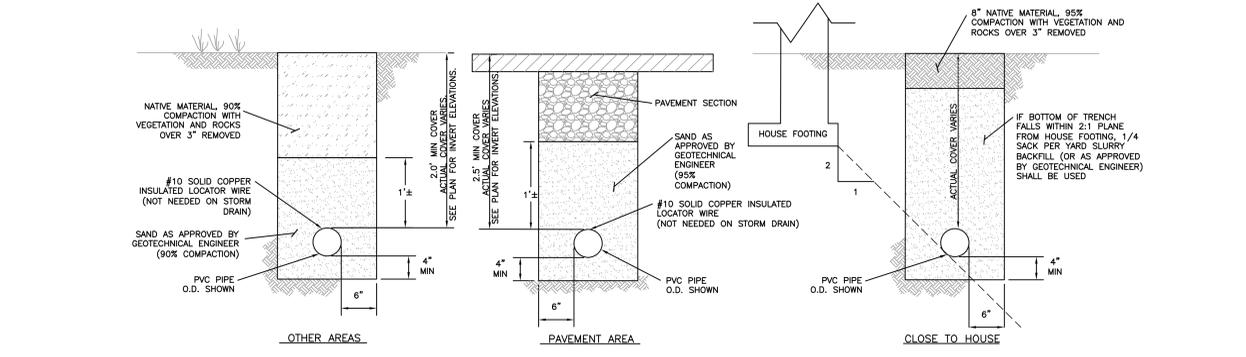


SANITARY SEWER CLEAN-OUT



TYPICAL DRIVEWAY SECTION

SCALE: 1"=4'



UTILITY AND STORM DRAIN TRENCHING DETAIL



MRS. ASHLEY M. STEINBERG			
DESIGNED BY:	DATE: 03-17-2022	SCALE: AS SHOWN	JOB NUMBER: 2153
DRAWN BY:	LAST REVISED BY:	REVISIONS:	N/A

SITE CROSS SECTIONS AND DETAILS

**DAVIS RESIDENCE
1458 RIATA ROAD
PEBBLE BEACH, CA 93953
APN 008-332-019**

EROSION/DUST CONTROL NOTES

- VEGETATION REMOVAL BETWEEN OCTOBER 15th AND APRIL 15th SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE.
- DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
 - DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DRIVEWAY.
 - DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT (MONTEREY COUNTY GRADING/EROSION ORD. 2806-16.12.090)
- RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
- ALL CUT AND FILL SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEEDDED, OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING SUBJECT TO THE APPROVAL OF THE DIRECTOR OF RMA-PLANNING AND RMA-BUILDING SERVICES. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
- THE DIRECTOR OF THE BUILDING INSPECTION DEPARTMENT MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - PROVIDE EQUIPMENT AND MACHINERY REQUIRING AN EXPOSED OR DISTURBED EARTH.
 - COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - LANDSCAPE SEEDS OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
- CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL, IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE. THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE EROSION AND PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM. ACCEPTABLE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: INSTALLATION OF SILT FENCES, FIBER ROLLS, INSTALLATION OF STORM DRAIN INLET PROTECTION, AND INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCES. AT THE CONTRACTOR'S DISCRETION, ANY ONE OR A COMBINATION OF THESE MEASURES MAY BE USED ABOVE AND BEYOND WHAT IS SHOWN ON THE PLANS.

- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

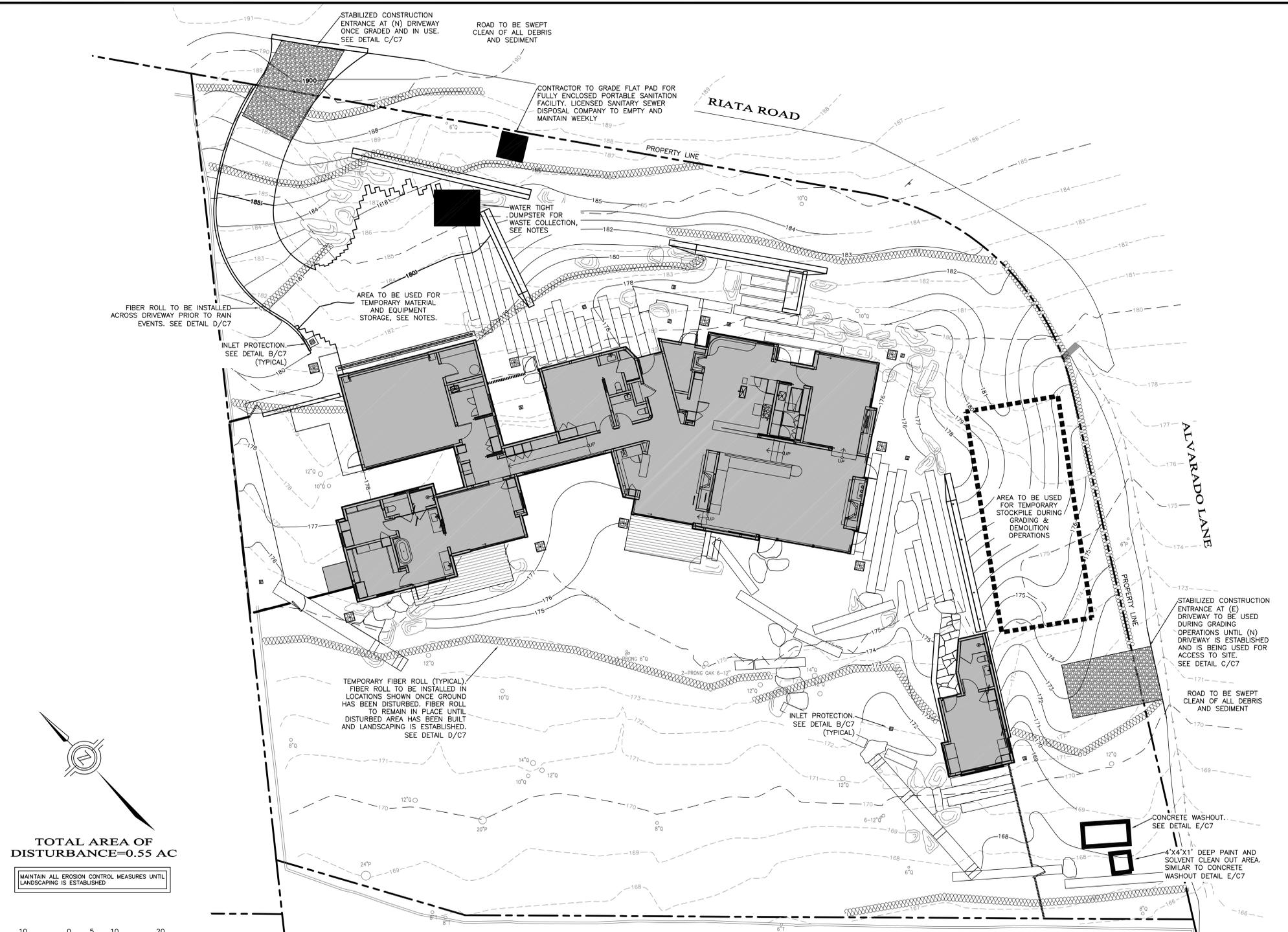
- ### STORM DRAIN INLET PROTECTION
- STORM DRAIN INLET PROTECTION SHALL BE INSTALLED AROUND EXISTING AND NEW STORM DRAIN INLETS AS REQUIRED TO PREVENT ANY SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM.
 - INSTALL STORM DRAIN INLET PROTECTION AS SHOWN ON DETAIL B/C7.
 - STORM DRAIN INLET PROTECTION SHALL BE INSPECTED MONTHLY DURING DRY PERIODS AND IMMEDIATELY AFTER EACH RAINFALL. REPAIRS SHALL BE MADE IMMEDIATELY TO ANY DAMAGED PORTION OF THE BARRIER. SEDIMENT AND DEBRIS SHOULD BE REMOVED FROM THE PERIMETER OF THE BARRIER.
- ### FIBER ROLL
- FIBER ROLLS WILL BE INSTALLED AT LOCATIONS SHOWN ON THIS PLAN AND PER DETAIL D/C7. CONTRACTOR MAY USE SILT FENCE AS AN ALTERNATE/Supplemental EROSION CONTROL/SEDIMENT BARRIER.
- ### TYPICAL CONSTRUCTION ENTRANCE
- CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER DETAIL C/C7 AT THE LOCATION SHOWN ON THE PLANS.
 - RUN-OFF FROM CONSTRUCTION ENTRANCE SHALL BE DIVERTED SO AS TO PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING DIRECTLY INTO THE STORM DRAINAGE SYSTEM.
 - ALL VEHICLES LEAVING THE PROJECT SITE SHOULD PASS OVER THE CONSTRUCTION ENTRANCE AND BE CLEARED OF DIRT, MUD, OR ANY DEBRIS BEFORE ENTERING THE MAIN ROAD.
 - ANY DIRT, MUD, OR DEBRIS DEPOSITED IN THE MAIN ROAD ADJACENT TO THE CONSTRUCTION SITE SHOULD BE CLEANED IMMEDIATELY.
 - THE CONSTRUCTION ENTRANCE SHOULD BE INSPECTED AND MAINTAINED PERIODICALLY TO ENSURE PROPER FUNCTION.
 - THE CONSTRUCTION ENTRANCE MAY BE FIELD MODIFIED TO MEET SITE CONDITIONS.

- ### CONCRETE WASHOUT
- TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OF TRAFFIC.
 - A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
 - TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
 - TEMPORARY WASHOUT FACILITIES SHOULD HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
 - WASHOUT OF CONCRETE TRUCKS SHOULD BE PERFORMED IN DESIGNATED AREAS ONLY.
 - ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT.
 - CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFF-SITE.
 - ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF PER PROPER WASTE MANAGEMENT PROCEDURES. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.

- ### MATERIAL DELIVERY AND STORAGE
- LIQUIDS, PETROLEUM PRODUCTS, AND SUBSTANCES LISTED IN 40 CFR PARTS 110, 117, OR 302 SHOULD BE STORED IN APPROVED CONTAINERS AND DRUMS AND SHOULD NOT BE OVERFILLED. CONTAINERS AND DRUMS SHOULD BE PLACED IN TEMPORARY CONTAINMENT FACILITIES FOR STORAGE.
 - TEMPORARY CONTAINMENT FACILITY SHOULD PROVIDE FOR A SPILL CONTAINMENT VOLUME ABLE TO CONTAIN PRECIPITATION FROM A 25 YEAR STORM EVENT, PLUS THE AGGREGATE VOLUME OF ALL CONTAINERS OR 100% OF THE CAPACITY OF THE LARGEST CONTAINER WITH ITS BOUNDARY, WHICHEVER IS GREATER.
 - A TEMPORARY CONTAINMENT FACILITY SHOULD BE IMPERVIOUS TO THE MATERIALS STORED THEREIN FOR A MINIMUM CONTACT TIME OF 72 HOURS.
 - A TEMPORARY CONTAINMENT FACILITY SHOULD BE MAINTAINED FREE OF ACCUMULATED RAINWATER AND SPILLS. IN THE EVENT OF SPILLS OR LEAKS, ACCUMULATED RAINWATER SHOULD BE COLLECTED AND PLACED INTO DRUMS. THESE LIQUIDS SHOULD BE HANDLED AS A HAZARDOUS WASTE UNLESS TESTING DETERMINES THEM TO BE NON-HAZARDOUS. ALL COLLECTED LIQUIDS OR NON-HAZARDOUS LIQUIDS SHOULD BE SENT TO AN APPROVED DISPOSAL SITE.
 - SUFFICIENT SEPARATION SHOULD BE PROVIDED BETWEEN STORED CONTAINERS TO ALLOW FOR SPILL CLEANUP AND EMERGENCY RESPONSE ACCESS.
 - INCOMPATIBLE MATERIALS, SUCH AS CHLORINE AND AMMONIA, SHOULD NOT BE STORED IN THE SAME TEMPORARY CONTAINMENT FACILITY.
 - THROUGHOUT THE RAINY SEASON, EACH TEMPORARY CONTAINMENT FACILITY SHOULD BE COVERED DURING NON-WORKING DAYS, PRIOR TO, AND DURING RAIN EVENTS.
 - MATERIALS SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS AND THE ORIGINAL PRODUCT LABELS SHOULD BE MAINTAINED IN PLACE IN A LEGIBLE CONDITION. DAMAGED OR OTHERWISE ILLEGIBLE LABELS SHOULD BE REPLACED IMMEDIATELY.
 - BAGGED AND BOXED MATERIALS SHOULD BE STORED ON PALLETS AND SHOULD NOT BE ALLOWED TO ACCUMULATE ON THE GROUND. TO PROVIDE PROTECTION FROM WIND AND RAIN THROUGHOUT THE RAINY SEASON, BAGGED AND BOXED MATERIALS SHOULD BE COVERED DURING NON-WORKING DAYS AND PRIOR TO AND DURING RAIN EVENTS.
 - STOCKPILES SHOULD BE PROTECTED IN ACCORDANCE WITH CALIFORNIA STORM WATER QUALITY HANDBOOK PRACTICES WM-3, STOCKPILE MANAGEMENT.
 - MATERIALS SHOULD BE STORED INDOORS WITHIN EXISTING STRUCTURES OR SHEDS WHEN AVAILABLE.
 - PROPER STORAGE INSTRUCTIONS SHOULD BE POSTED AT ALL TIMES IN AN OPEN AND CONSPICUOUS LOCATIONS.
 - AN AMPLIFIED SUPPLY OF APPROPRIATE SPILL CLEAN MATERIAL SHOULD BE KEPT NEAR STORAGE AREAS.
 - KEEP AN ACCURATE, UP-TO-DATE INVENTORY OF MATERIAL DELIVERED AND STORED ONSITE.
 - ARRANGE FOR EMPLOYEES TRAINED IN EMERGENCY SPILL CLEANUP PROCEDURES TO BE PRESENT WHEN DANGEROUS MATERIALS OR LIQUID CHEMICALS ARE UNLOADED.

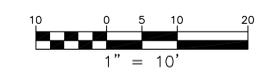
- ### WASTE COLLECTION AREA
- WATER TIGHT DUMPSTERS OF SUFFICIENT SIZE AND NUMBER SHALL BE PROVIDED TO CONTAIN THE SOLID WASTE GENERATED BY THE PROJECT AND SHALL BE PROPERLY SERVICED.
 - LITTERING ON THE PROJECT SITE SHALL BE PROHIBITED.
 - TRASH RECEPTACLES SHALL BE PROVIDED IN FIELD TRAILER AREAS AND IN LOCATIONS WHERE WORKERS CONGREGATE FOR LUNCH AND BREAK PERIODS.
 - CONSTRUCTION DEBRIS AND LITTER FROM WORK AREAS WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT SITE SHALL BE COLLECTED AND PLACED IN WATER TIGHT DUMPSTERS AT LEAST WEEKLY. COLLECTED LITTER OR DEBRIS SHALL NOT BE PLACED IN OR NEXT TO DRAIN INLETS, STORM WATER DRAINAGE SYSTEMS OR WATERCOURSES.
 - FULL DUMPSTERS SHALL BE REMOVED FROM THE PROJECT SITE AND THE CONTENTS SHALL BE DISPOSED OF AT A LEGALLY APPROVED LAND FILL LOCATION.
 - ALL DUMPSTERS SHALL BE HANDLED AND DISPOSED OF BY TRASH HAULING CONTRACTOR.
 - CONSTRUCTION DEBRIS AND WASTE SHALL BE REMOVED FROM THE SITE EVERY TWO WEEKS OR SOONER IF NEEDED.
 - STORM WATER RUN ON SHALL BE PREVENTED FROM CONTACTING STOCKPILED SOLID WASTE THROUGH THE USE OF BERMS OR OTHER TEMPORARY DIVERSION STRUCTURES OR THROUGH THE USE OF ELEVATE WASTE FROM SURFACE.
 - WASTE STORED IN STOCKPILES SHALL BE SECURELY COVERED FROM WIND AND RAIN BY COVERING WASTE WITH TARPS OR PLASTIC SHEETING WHILE WAITING FOR OFF HAUL OR TRANSFER TO DUMPSTER.
 - SEGREGATE HAZARDOUS WASTE FROM NON-HAZARDOUS WASTE. FOR DISPOSAL OF HAZARDOUS WASTE SEE BMP WM-6. HAVE HAZARDOUS WASTE HAULED TO AN APPROPRIATE DISPOSAL FACILITY IMMEDIATELY AFTER DEMOLITION OR USE.
 - MAKE SURE THAT TOXIC LIQUID WASTES AND CHEMICALS ARE NOT DISPOSED OF IN DUMPSTERS BUT ARE REMOVED OFF SITE APPROPRIATELY.

NOTE:
ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15 THROUGH APRIL 15).



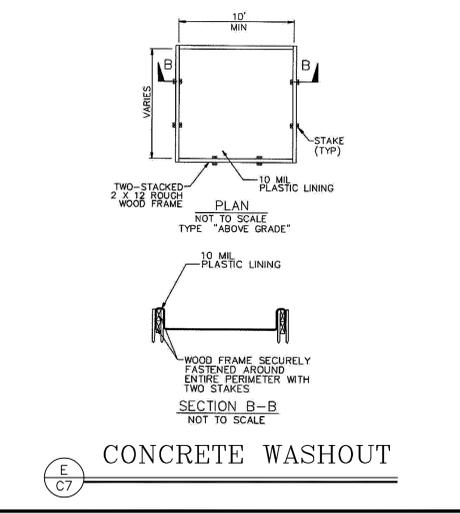
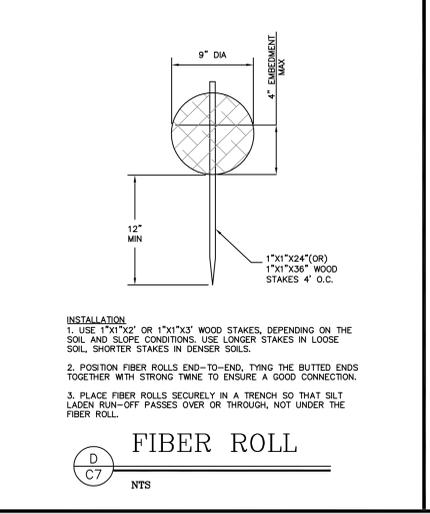
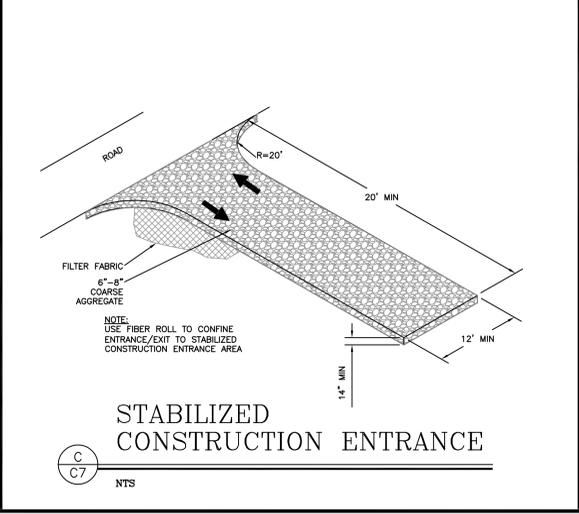
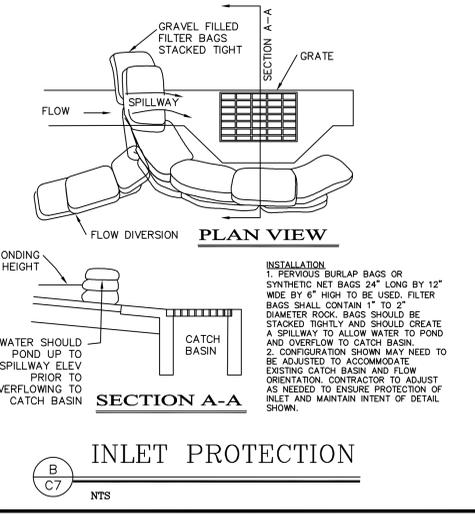
TOTAL AREA OF DISTURBANCE=0.55 AC

MAINTAIN ALL EROSION CONTROL MEASURES UNTIL LANDSCAPING IS ESTABLISHED



EROSION CONTROL PLAN

SCALE: 1"=10'



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Luis@engsurvey.com

REGISTERED PROFESSIONAL ENGINEER
M.A.S. R. STERNBERG
No. 69930
EXP. 9-30-2025
CIVIL
STATE OF CALIFORNIA

MRS
DRAWN BY: MRS
DESIGNED BY: MRS
DATE: 03-17-2022
AS SHOWN
SCALE: AS SHOWN
JOB NUMBER: 21-53
LAST REVISED: N/A
REVISED BY: N/A

EROSION CONTROL PLAN

DAVIS RESIDENCE
1458 RIATA ROAD
PEBBLE BEACH, CA 93953
APN 008-332-019



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials
Hern and securing cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.

Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
Arrange for appropriate disposal of all hazardous wastes.

Construction Entrances and Perimeter

Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.



EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking
Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.

Spill Prevention and Control
Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Acceptance Criteria).
Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill, Dial 911.



EARTHWORK & CONTAMINATED SOILS

Erosion Control
Schedule grading and excavation work for dry weather only.
Stabilize all denuded areas, install and maintain temporary erosion controls such as erosion control fabric or bonded fiber matrix) until vegetation is established.
Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control
Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filter, berms, etc.
Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
Keep excavated soil on the site where it will not collect into the street.
Transfer excavated materials to dump trucks on the site, not in the street.
If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspectors:
• Unusual soil conditions, discoloration, or odor
• Abandoned underground tanks
• Abandoned wells
• Buried barrels, debris, or trash.



PAVING/ASPHALT WORK

Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
Do not use water to wash down fresh asphalt or concrete pavement.

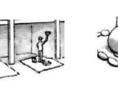
Sawcutting & Asphalt Concrete Removal
Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filter, berms, etc.
Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
If sawcut slurry enters a catch basin, clean it up immediately.



CONCRETE, GROUT & MORTAR APPLICATION

Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
Wash out concrete equipment (trucks, wheelbarrows, etc.) in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

Landscaping Materials
Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



PAINTING & PAINT REMOVAL

Painting Cleanup
Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
For water-based paints, paint out brushes on the exterior of the container. For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvent as hazardous waste.
Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

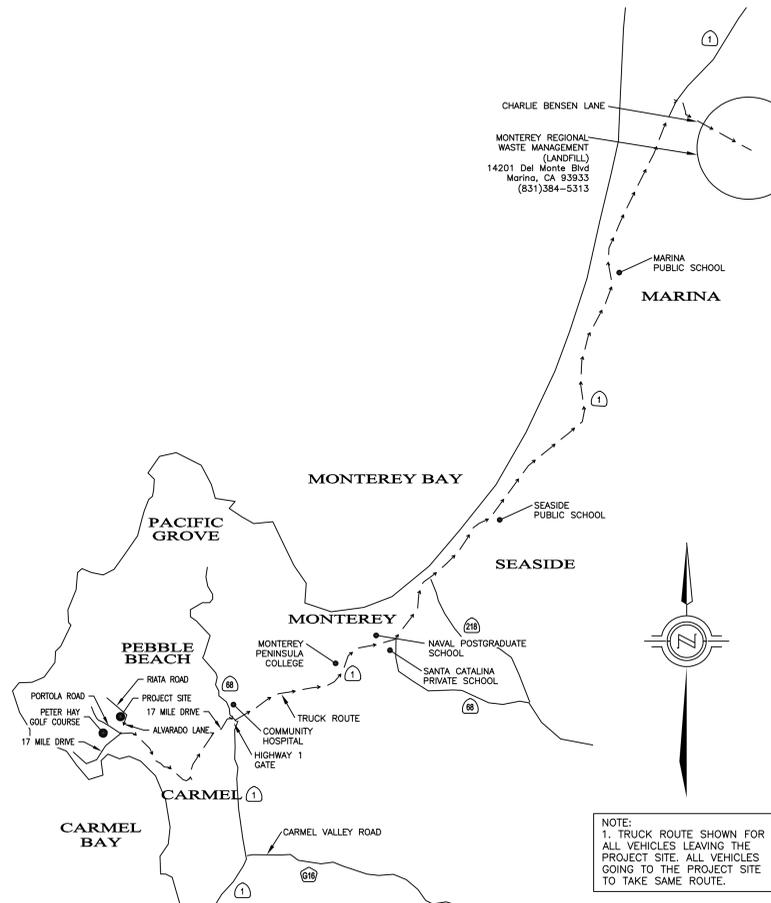
Paint Removal
Chemical paint stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



DEWATERING

Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or discharge through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program



OVERALL TRUCK ROUTING PLAN
SCALE: 1"=8000'

CONSTRUCTION NOTES

- 1. ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY - SATURDAY, 8AM TO 6PM (EXCLUDING NATIONAL HOLIDAYS)
- 2. THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES, AND THAT SUCH COPIES ARE AVAILABLE FOR AGENCY REVIEW ON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 3. IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE SOCIETY OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.
- 4. EQUIPMENT WASHING AND SERVICING SHALL TAKE PLACE ONLY IN APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES.
- 5. THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES (E.G. CLEANUP ALL LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY. KEEP MATERIALS COVERED AND OUT OF THE RAIN, INCLUDING COVERING EXPOSED PILES OF SOIL AND WASTES; DISPOSE OF ALL WASTES PROPERLY. PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER). SEE BMP HANDOUT ON THIS SHEET.
- 6. ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION-RELATED RUNOFF AND/OR SEDIMENT FROM LEAVING THE SITE.
- 7. THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING MEASURES TO CONTROL FUGITIVE DUST EMISSIONS DURING CONSTRUCTION (MM AQ C1 - DUST CONTROL):
 - 1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. FREQUENCY SHOULD BE BASED ON THE TYPE OF OPERATION, SOIL, AND WIND EXPOSURE. - NOT APPLICABLE TO SITE.
 - 2. PROHIBIT ALL GRADING ACTIVITIES DURING PERIODS OF HIGH WIND MORE THAN 15 MILES PER HOUR.
 - 3. APPLY CHEMICAL SOIL STABILIZERS ON INACTIVE CONSTRUCTION AREAS SUCH AS DISTURBED LANDS WITHIN CONSTRUCTION PROJECTS THAT ARE UNUSED FOR AT LEAST FOUR CONSECUTIVE DAYS. - NOT APPLICABLE TO SITE.
 - 4. APPLY NON-TOXIC BRIDGES LIKE LIQUID POLYMER TO EXPOSED AREAS AFTER CUT AND FILL OPERATIONS AND HYDROSEED AREA. - NOT APPLICABLE TO SITE.
 - 5. MAINTAIN AT LEAST 2 FEET OF FREEBOARD ON HAUL TRUCKS.
 - 6. COVER ALL TRUCKS HAULING DIRT SAND OR LOOSE MATERIAL.
 - 7. PLANT TREE WINDBROWS ON THE WINDWARD PERIMETER OF CONSTRUCTION PROJECTS IF ADJACENT TO OPEN LAND, PRIOR TO CONSTRUCTION-NOT APPLICABLE TO SITE.
 - 8. PLANT VEGETATIVE GROUND COVER IN DISTURBED AREAS AS SOON AS POSSIBLE.
 - 9. COVER INACTIVE STORAGE PILES.
 - 10. INSTALL WHEEL WASHERS AT THE ENTRANCE TO CONSTRUCTION SITES FOR ALL EXITING TRUCKS - NOT APPLICABLE TO SITE.
 - 11. PAVE ALL ROADS ON CONSTRUCTION SITES PRIOR TO USE BY CONSTRUCTION EQUIPMENT - NOT APPLICABLE TO SITE.
 - 12. SWEEP STREETS IF VISIBLE SOIL MATERIAL IS CARRIED OUT FROM THE CONSTRUCTION SITE.
 - 13. POST A PUBLICLY VISIBLE SIGN THAT SPECIFIES THE TELEPHONE NUMBER AND PERSON TO CONTACT REGARDING DUST COMPLAINTS. THIS PERSON WILL RESPOND TO COMPLAINTS AND TAKE IMMEDIATE ACTION WITHIN 48 HOURS. THE PHONE NUMBER OF THE MESSAGES WILL BE VISIBLE TO ENSURE COMPLIANCE WITH RULE 402 SIGNAGE.
 - 14. LIMIT THE AREA UNDER CONSTRUCTION AT ANY ONE TIME.
- 8. THE CONTRACTOR SHALL ENSURE THESE MEASURES ARE IMPLEMENTED DURING CONSTRUCTION AS VERIFIABLE UPON COUNTY INSPECTION.
- 9. THE CONTRACTOR WILL ENSURE THAT ALL STATIONARY NOISE GENERATING EQUIPMENT, SUCH AS PUMPS AND GENERATORS ARE LOCATED AS FAR AS POSSIBLE FROM NEARBY NOISE SENSITIVE RECEPTORS AS PRACTICABLE. WHERE POSSIBLE, NOISE GENERATING EQUIPMENT WILL BE SHELDED FROM NEARBY NOISE SENSITIVE RECEPTORS BY NOISE ATTENUATING BARRIERS SUCH AS STRUCTURES OR HAUL TRUCK TRAILERS. STATIONARY NOISE SOURCES LOCATED CLOSER THAN 500 FEET FROM NOISE SENSITIVE RECEPTORS WILL BE EQUIPPED WITH NOISE REDUCING ENGINE HOUSINGS, PORTABLE ACOUSTIC BARRIERS WILL BE PLACED AROUND NOISE GENERATING EQUIPMENT LOCATED WITHIN 200 FEET OF RESIDENCES, WATER TANKS AND EQUIPMENT STORAGE, STAGING, AND WARM-UP AREAS WILL BE LOCATED AS FAR FROM NOISE SENSITIVE RECEPTORS AS POSSIBLE.
- 10. THE CONTRACTOR WILL ENSURE ALL CONSTRUCTION EQUIPMENT POWERED BY GASOLINE OR DIESEL ENGINES HAS SOUND CONTROL DEVICES AT LEAST AS EFFECTIVE AS THOSE ORIGINALLY PROVIDED BY THE MANUFACTURER. NO EQUIPMENT WILL BE PERMITTED TO HAVE AN UNMUFFLED EXHAUST.
- 11. THE APPLICANT WILL ENSURE THE CONSTRUCTION SPECIFICATIONS SPECIFY THAT ANY MOBILE NOISE-GENERATING EQUIPMENT OR MACHINERY IS SHUT OFF WHEN NOT IN USE. THESE REQUIREMENTS WILL BE INCLUDED IN ALL RELEVANT CONSTRUCTION CONTRACTS AND SHOWN ON CONSTRUCTION PLANS, AND WILL BE IMPLEMENTED DURING CONSTRUCTION.
- 12. THE CONTRACTOR TO ENSURE THAT CONSTRUCTION VEHICLES ACCESSING THE SITE USE THE SHORTEST POSSIBLE ROUTE TO AND FROM LOCAL FREEWAYS, PROVIDED THE ROUTES DO NOT EXPOSE ADDITIONAL RECEPTORS TO NOISE. SEE APPROVED TRUCK ROUTE ON THIS SHEET.
- 13. THE APPLICANT AND THE CONTRACTOR WILL ENSURE THAT RESIDENTS WITHIN 500 FEET OF THE CONSTRUCTION AREA ARE NOTIFIED OF THE CONSTRUCTION SCHEDULE IN WRITING BEFORE CONSTRUCTION BEGINS.

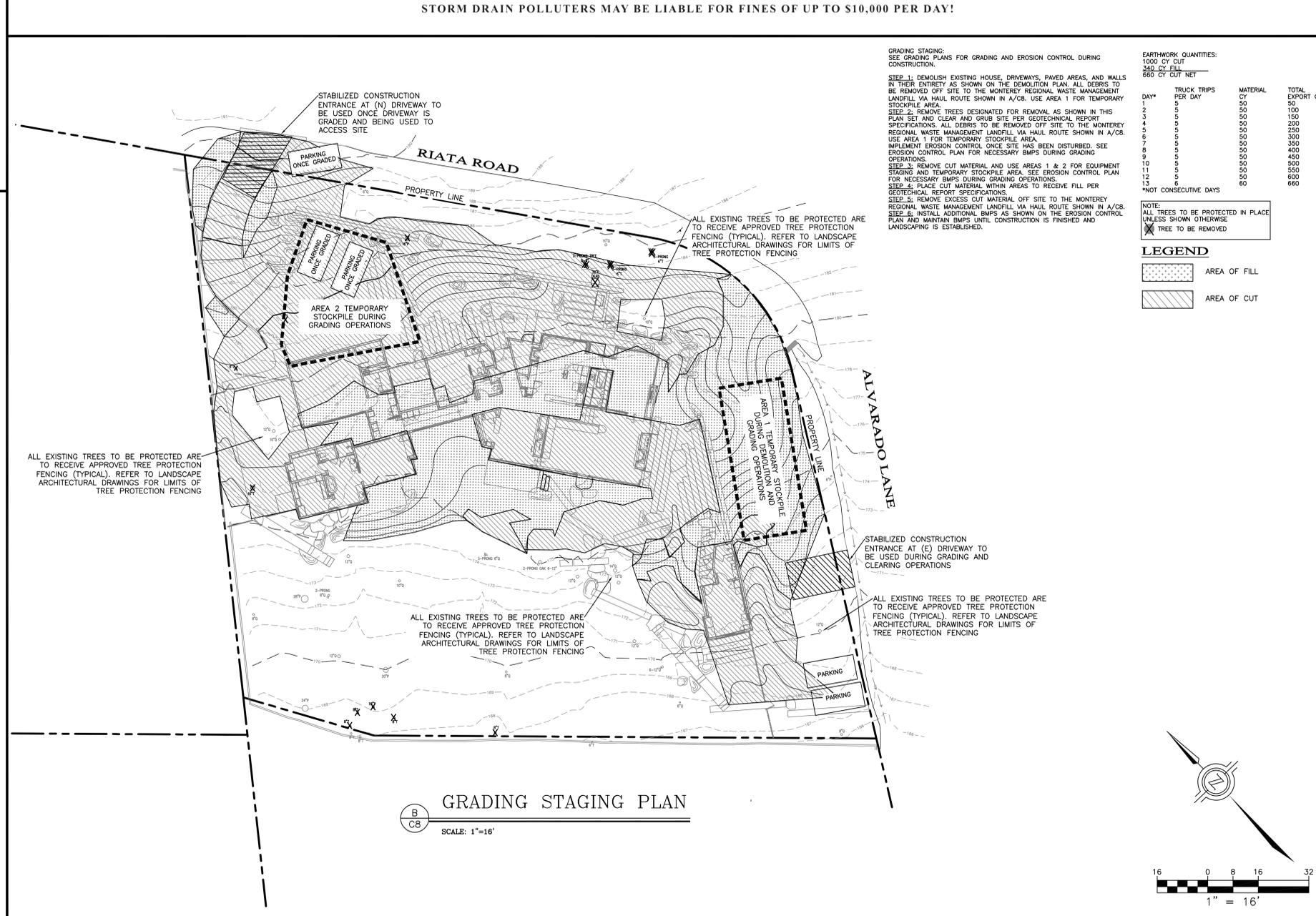
TREE PROTECTION

- 1. AROUND EACH TREE OR GROUP OF TREES TO BE PRESERVED ADJACENT TO CONSTRUCTION SITES, A BOUNDARY OF ORANGE FENCING SUPPORTED BY WOOD OR METAL STAKES OR FUNCTIONAL EQUIVALENT WILL BE ERRECTED ALONG THE APPROXIMATE DRIP LINES OF SUCH PROTECTED TREES OR CLOSER WHERE SPECIFICALLY APPROVED BY A QUALIFIED FORESTER, ARBORIST, OR THE COUNTY OF MONTEREY, WHERE GUIDANCE OF A TREE PROFESSIONAL IS USED, ENCRICHMENT INTO THE DRIP LINE OF RETAINED TREES MAY OCCUR IN ORDER TO MINIMIZE TREE REMOVALS.
- 2. NO EXCAVATION, STORAGE OF EXCAVATED FILL, EQUIPMENT, OR CONSTRUCTION MATERIALS, NOR PARKING OF VEHICLES WILL BE PERMITTED WITHIN THE DRIP LINES OF THESE FENCE PROTECTED TREES.
- 3. NO SOIL MAY BE REMOVED FROM WITHIN THE DRIP LINE OF ANY TREE AND NO FILL OF ADDITIONAL SOIL WILL EXCEED TWO INCHES WITHIN THE DRIP LINES OF TREES, UNLESS IT IS PART OF APPROVED CONSTRUCTION AND IS REVIEWED BY A QUALIFIED FORESTER.
- 4. BARK INJURY TO ANY TREE FROM EQUIPMENT OR MATERIALS WILL BE PREVENTED BY FAITHFULLY RESPECTING THE TREE PROTECTION FENCING REQUIRED ABOVE.
- 5. ROOTS EXPOSED BY EXCAVATION WILL BE PRUNED TO PROMOTE CALLUSING, CLOSURE, AND REGROWTH, AND WILL BE RECOVERED AS SOON AS POSSIBLE IF TREE HEALTH IS TO BE REASONABLY MAINTAINED.

CONSTRUCTION COORDINATOR

CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION, SHOULD QUESTIONS ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBER) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF ALL COMPLAINTS (IF ANY) RECEIVED DURING CONSTRUCTION, AND SHALL INVESTIGATE COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24-HOURS OF RECEIPT OF THE COMPLAINT OR INQUIRY.

- ADDITIONAL NOTES:
 - 1. THIS PROJECT SITE WILL EXPECT 2-8 WORKERS PER DAY.
 - 2. THIS PROJECT SITE WILL EXPECT NO MORE THAN 1 TRUCK DELIVERY PER DAY.
 - 3. CONSTRUCTION PARKING WILL BE AT THE SITE WITHIN PROPOSED AREA.



GRADING STAGING PLAN
SCALE: 1"=16'

GRADING STAGING: SEE GRADING PLANS FOR GRADING AND EROSION CONTROL DURING CONSTRUCTION.

STEP	DESCRIPTION	TRUCK TRIPS PER DAY	MATERIAL	TOTAL EXPORT CY
1	DEMOLISH EXISTING HOUSE, DRIVEWAYS, PAVED AREAS, AND WALLS IN THEIR ENTIRETY AS SHOWN ON THE DEMOLITION PLAN. ALL DEBRIS TO BE REMOVED OFF SITE TO THE MONTEREY REGIONAL WASTE MANAGEMENT LANDFILL VIA HAIL ROUTE SHOWN IN A/C.B. USE AREA 1 FOR TEMPORARY STOCKPILE AREA.	5	50 CY CUT	50
2	REMOVE TREES DESIGNATED FOR REMOVAL AS SHOWN IN THIS PLAN SET AND CLEAR AND GRUB SITE PER GEOTECHNICAL REPORT SPECIFICATIONS. ALL DEBRIS TO BE REMOVED OFF SITE TO THE MONTEREY REGIONAL WASTE MANAGEMENT LANDFILL VIA HAIL ROUTE SHOWN IN A/C.B. USE AREA 1 FOR TEMPORARY STOCKPILE AREA. IMPLEMENT EROSION CONTROL ONCE SITE HAS BEEN DISTURBED. SEE EROSION CONTROL PLAN FOR NECESSARY BMPs DURING GRADING OPERATIONS.	5	50 CY CUT	100
3	REMOVE CUT MATERIAL AND USE AREAS 1 & 2 FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA. SEE EROSION CONTROL PLAN FOR NECESSARY BMPs DURING GRADING OPERATIONS.	5	50 CY CUT	150
4	PLACE CUT MATERIAL WITHIN AREAS TO RECEIVE FILL PER GEOTECHNICAL REPORT SPECIFICATIONS.	5	50 CY CUT	200
5	REMOVE EXCESS CUT MATERIAL OFF SITE TO THE MONTEREY REGIONAL WASTE MANAGEMENT LANDFILL VIA HAIL ROUTE SHOWN IN A/C.B. IMPLEMENT EROSION CONTROL ONCE SITE HAS BEEN DISTURBED AND LANDSCAPING IS ESTABLISHED.	5	50 CY CUT	250
6	INSTALL ADDITIONAL BMPs AS SHOWN ON THE EROSION CONTROL PLAN AND MAINTAIN BMPs UNTIL CONSTRUCTION IS FINISHED AND LANDSCAPING IS ESTABLISHED.	5	50 CY CUT	300
7		5	50 CY CUT	350
8		5	50 CY CUT	400
9		5	50 CY CUT	450
10		5	50 CY CUT	500
11		5	50 CY CUT	550
12		5	50 CY CUT	600
13		5	50 CY CUT	650
*10	CONSECUTIVE DAYS			660

NOTE: ALL TREES TO BE PROTECTED IN PLACE UNLESS SHOWN OTHERWISE
* TREE TO BE REMOVED

LEGEND

[Pattern]	AREA OF FILL
[Pattern]	AREA OF CUT

ENGINEERING AND SURVEYING, INC.
2405 Garden Road, Suite G, Monterey, California 93940
P. 031 656-3423 F. 031 656-3425
Luisa@engsurv.com

REGISTERED PROFESSIONAL ENGINEER
Luisa R. Storr
No. 69930
Exp. 9-30-25
CIVIL

DRAWN BY: MRS
DESIGNED BY: MRS
DATE: 03-17-2022
SCALE: AS SHOWN
JOB NUMBER: 21505
LAST REVISED: N/A
REVISED BY: N/A

CONSTRUCTION MANAGEMENT PLAN

DAVIS RESIDENCE
1458 RIATA ROAD
PEBBLE BEACH, CA 93953
APN 008-332-019

BLISS
LANDSCAPE
ARCHITECTURE

24000 Robinson Canyon Road
Carmel CA 93923
831-298-0990
blisslandarch.com



FOR APPROVAL AND PERMITTING
PURPOSES ONLY

**PEBBLE BEACH
RETREAT**

1458 RIATA RD.
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-332-019

Phase
BUILDING PERMIT

Previous Issue

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9

Issue
Planning Permit Submittal

Date
14 FEB 2022

Drawn by
OL

Scale: 1"=1'-0" North

Drawing Title

COVER

L0.0





FOR APPROVAL AND PERMITTING
PURPOSES ONLY

**PEBBLE BEACH
RETREAT**

1458 RIATA RD.
PEBBLE BEACH, CA 93953

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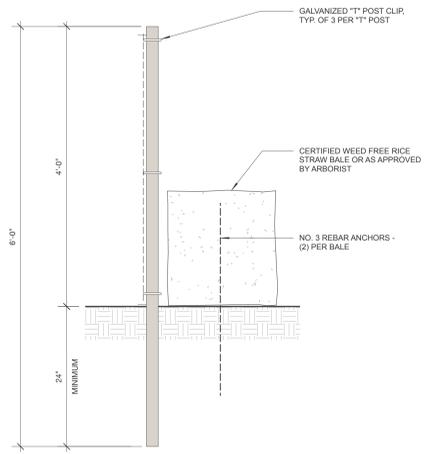
Date
14 FEB 2022

Drawn by
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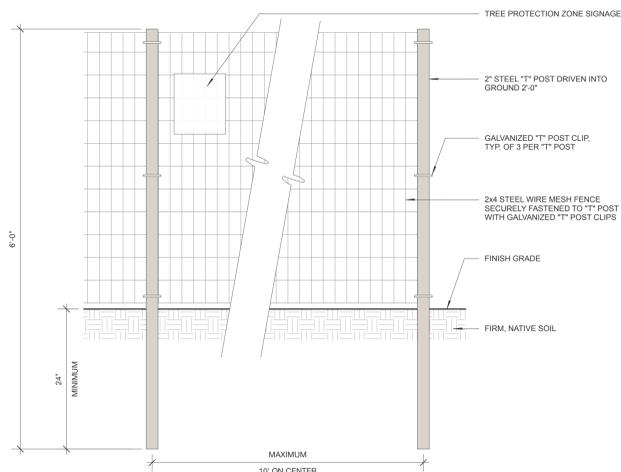
Scale: 1"=10'
North
0' 5' 10'

Drawing Title
**TREE REMOVAL +
PROTECTION PLAN**

L0.1



1 SECTION DETAIL: WIRE MESH TREE PROTECTION FENCING
1" = 1'-0"



2 ELEVATION DETAIL: WIRE MESH TREE PROTECTION FENCING
1" = 1'-0"

TREE REMOVAL + PROTECTION LEGEND

- Tree Protection Fence, VIF layout with Arborist and LA
- Tree to remain / be protected
- Tree Previously Removed by PG&E. See Arborist's Construction Impact Tree Assessment and Management Plan dated 06/19/21
- Invasive species to be removed (Acacia spp.)

Notes:
1. All existing trees not shown for removal are to remain and be protected throughout construction.
2. Refer to lot specific Arborist Report.
Mitigation Trees Required: 2

TREE PROTECTION NOTES

1. All designated trees on site must have protective fencing erected around them to delineate the tree protection zone (TPZ) avoiding soil compaction, contamination, root, trunk, branching, or foliage damage. Fencing shall be erected before demolition, grading, or construction begins and shall remain in place for the duration of the project.
2. There will be a pre-construction meeting with the project Arborist and the Contractors before demolition and construction begins, and once the fencing is installed. All tree work shall be done before demolition.
3. Fencing shall be erected per the recommendation of the project Arborist, Ono Consulting. Fencing shall be inspected by the project Arborist to insure correct placement.
4. Absolutely no activity is allowed within the protective fencing without prior consent of the project Arborist.
5. All tree protection fencing shall be installed as shown on plans and any activity within these protective fencing must first be reviewed and approved on site by the project Arborist and Landscape Architect.





FUEL MANAGEMENT NOTES:

In accordance with State guidelines for creating a defensible space around structures, a reduced fuel zone shall be created and managed for the proposed development shown in these drawings.

Management will include thinning and removal of existing combustible vegetation, live or dead. In addition, proposed plantings closest to the structures shall have some fire resistance, or be very low growing plants as to reduce the potential fire hazard.

Landscaping Zone – entire landscaped area
Approved landscaping must be designed and maintained to minimize flammability. All landscaping occurs within the property boundary. Ornamental landscaping often results in large amounts of shrubby flammable vegetation being planted near structures. Many commonly used landscape plants, such as conifers, flammable woody shrubs, and tall ornamental grasses, shall be avoided because they may create a fire threat to a home that would otherwise be fire safe. All plant material that is removed from the landscaping must be composted or removed and disposed of property. The horizontal and vertical spacing between landscaping plants and volume of landscaping biomass should be appropriate to reduce fire intensity and the rate of spread of fire.

Green Zone: 0-30ft from structures
All flammable vegetation and any dead or dying plant shall be removed within 30 feet surrounding any building on the property. Trees shall be well-pruned and well spaced to avoid the spread of fire, including removal of all limbs 6 feet from the ground. All annual grasses shall be mowed in early summer to maintain a height of 4 inches during the summer.

Management Zone: 30+ft from structures
Mowing grass under and around trees reduces fire intensity and rate of spread of fire to an acceptable level, and diminishes the possibility fire can climb into tree canopy. Pruning the small lower tree branches, will reduce the possibility fire can spread into the tree crowns. Woody weed species such as French broom, poison hemlock and thistles must be completely removed annually. All grass growing under trees, out to 6 feet beyond the drip lines of trees, should be mowed in early summer to a height of four inches. Small diameter lower tree branches must be pruned, and removal of leaf litter depth should be kept to no greater than 4 inches.

Prescriptions for Tree Pruning:
a. All branches, living or dead, less than 3 inches diameter in width and less than either 8 feet from the ground or three times the height of any understory shrubs whichever is greater, shall be removed.
b. Living branches that are greater than 3 inches in diameter but lower than 8 feet in height can be retained, provided that the area within the drip-line of trees is maintained Oaks with live limbs resting on the ground need not be removed, but all ground debris around and beneath the limbs must be removed to reduce fire risk.
c. Dead limbs less than 8 feet in height shall be removed.
d. In landscaped areas, healthy tree branches less than 3 inches in diameter or 8 inches diameter if split or diseased, should be removed to provide vertical clearance of 3 times the height of the understory plants, or 8 feet above understory plants, whichever is greater.
e. For trees shorter than 24 inches in height, remove lower 1/3 of branches smaller than 3 inches in diameter, or alternatively, treat as a shrub grouping.
f. Once initial pruning is accomplished, tree pruning is likely to be needed infrequently, on an interval of about once every 3 to 5 years.
g. Do not thin or prune the tree canopy, as this will promote more understory shrub growth as well as lower parts of the tree, and will result in increased risk that fire will spread to the tree canopy.

FOR APPROVAL AND PERMITTING
PURPOSES ONLY

**PEBBLE BEACH
RETREAT**

1458 RIATA RD.
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-332-019

Phase
BUILDING PERMIT

Previous Issue
1
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3
4
5
6
7
8
9

Issue
Planning Permit Submittal

Date
14 FEB 2022

Drawn by
MT

Scale: 1"=10'
0' 5' 10'
North

Drawing Title

**FUEL
MANAGEMENT
PLAN**

L0.2



LEGEND

- 1 ASPHALT APRON
- 2 DRIVEWAY
- 3 AUTO COURT
- 4 ENTRY GARDEN
- 5 COURTYARD GARDEN
- 6 GAS BBQ
- 7 STONE TERRACE
- 8 GRAVEL PAVING
- 9 BOULDER
- 10 STONE BRIDGE
- 11 TIMBER DECK
- 12 STONE RETAINING WALL
- 13 BOARD FORMED CONCRETE WALL
- 14 STONE STEPS
- 15 STONE WALKWAY
- 16 TIMBER GATE
- 17 TIMBER FENCE
- 18 WOODLAND GRASSLAND
- 19 HILLSIDE MEADOW
- 20 RAIN CHAIN

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Planning Permit Submittal

Date
14 FEB 2022

Drawn by
MT

Scale: 1/8"=1'-0"



Drawing Title

**LANDSCAPE SITE
PLAN**

L1.0

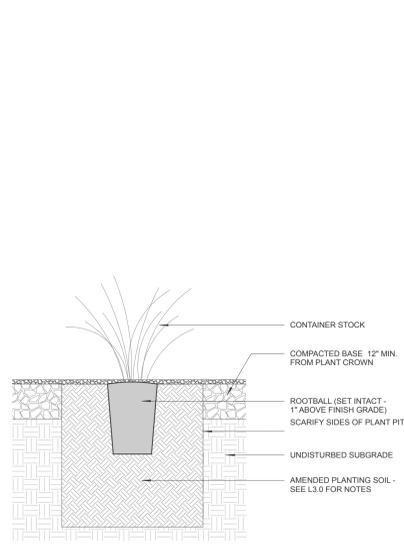


PLANTING NOTES

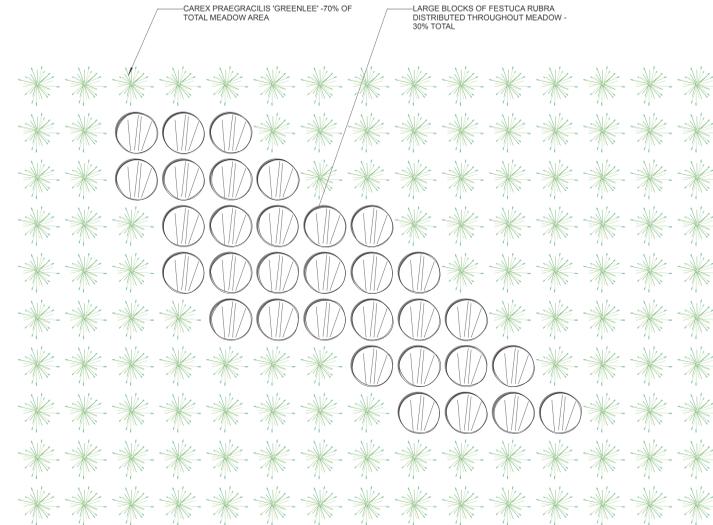
- All areas of the property shall be treated and managed to eliminate, as reasonably possible, any and all invasive plant materials. Review extent, methods, and scope of work with Landscape Architect prior to construction commencing.
- Contractor shall be responsible for making themselves familiar with all underground utilities, pipes, and structures. Contractor shall take responsibility for any cost incurred due to damage of said utilities.
- Contractor shall not willfully proceed with construction as designed when it is obvious that known or unknown obstructions and/or grade differences exist in planting areas. Such conditions shall be immediately brought to the attention of the Landscape Architect.
- Contractor shall be responsible for all coordination with subcontractors as required to successfully accomplish all planting operations on budget and on schedule.
- Contractor shall submit random soil samples from the site to a qualified soil testing lab for a horticultural suitability test and amendment recommendations. After amending topsoil to a depth of 8" (and in accordance with soil test recommendations), grade all areas smooth with no localized depressions or humps exceeding 1". Insufficient or unsuitable existing soil shall be augmented or replaced with topsoil as approved by the Landscape Architect.
- All plant material shall be approved by Landscape Architect prior to installation.
- Plant Quantity Discrepancies: Any discrepancies between the plant list and the plant quantities shown on the Drawings (including graphic symbols), the plant list quantities are to be used.
- Contractor to complete all soil amendment, finish grading, and removal of any and all construction debris from the planting areas before laying out the approved plant material for Landscape Architect's review.
- Contractor shall lay out all plants in their containers as per the drawings for Landscape Architect's on site review and approval prior to installation. Notify Landscape Architect 72 hours prior to requested review.
- Contractor shall notify Construction Manager + Landscape Architect 72 hours prior to commencement of work to coordinate project inspection schedules.
- Any plant substitutions or alternates must be approved by the Landscape Architect prior to plant purchase and delivery to the project or plant staging site.
- All plants shall be healthy, pest and disease free, free of girdling roots, free of weeds, and well established in the container.
- Mycorrhizal inoculate organic fertilizer shall be applied during planting as per manufacturer's recommendations. Use "Green Diamond Mykos Start Pro" (4-2-2 organic fertilizer) or approved equal.
- Trees shall be located a minimum of 4 ft. from walls, overheads, walks, headers, and other trees within the project unless shown or directed by Landscape Architect otherwise.
- No plant shall be planted in overly dry conditions or during extreme high or low temperatures (Above 95 F or below 35 F)
- Water all plants by handheld hose with watering wand attachment immediately after planting (no water "jetting"). No plant should be out of its container for more than twenty minutes before being planted and watered. Contractor shall be responsible for irrigating all new plantings, seeding, and lawns until the entire project has been fully completed and accepted by the Owner.
- Contractor is responsible to apply sufficient but not excess irrigation to all new plantings to ensure healthy plant establishment.
- Backfill mix shall consist of 1/3 imported organic compost and 2/3 amended site or topsoil.
- Immediately after excavation of plant pits, test drainage of pits by filling with water. Give written notification of conditions permitting the retention of water in pits for more than (3) hours. Contractor shall submit to Owner and Landscape Architect, for approval, a written proposal and cost estimate for the correction of poor drainage conditions before proceeding with plant installation.
- All newly planted container plants and trees shall receive watering basins (soil saucers) 3 times the size of the root ball upon planting, unless otherwise shown on Drawings.
- Planting areas shall receive a 3" layer of partially decomposed, hardwood mulch, unless noted otherwise. Verify specification of mulch with Landscape Architect. Submit bagged samples as directed/ requested for Landscape Architect's approval.
- Mulch shall be kept at a maximum depth of 3" deep near the plant crowns and trunks, and not extend higher than 1/8" onto the crown or trunk of any newly planted plant or tree.
- All plant material shown on the Planting Plan is subject to the adverse effects of nature including, but not limited to, fire, earthquake, flooding, freeze, drought, erosion, and foraging predators. The Landscape Architect cannot, and does not, guarantee or imply warranty that specified plants will survive these acts of nature. All plants specified satisfy the general climatic conditions set forth by the U.S. Department of Agriculture and the Sunset Western Garden Book.
- Plant and tree maintenance (new plants): Begin maintenance immediately after planting. Provide complete maintenance and service as required to promote and maintain healthy growth including, but not limited to, watering, fertilizing, weeding, mowing, trimming, rolling, fallen leaf removal, treating for insects and disease, resetting plants to proper grade and upright position, and other operations and maintenance work. Throughout the maintenance period, restore planting saucers and mulch, and keep mulch beds weed free. Tighten and adjust guy wires, stakes, and deadman to keep trees in vertical position. Restore and replace damaged trunk wrappings. Maintenance period shall be a minimum of 90 days from date of final acceptance.
- Warranty: Provide written warranty agreeing to remove and replace work that exhibits defects in materials or workmanship for the specified periods. "Defects" is defined to include, but is not limited to, death, unsatisfactory growth, disease, insect infestation, abnormal foliage density, abnormal size, abnormal color, failure to thrive, and other unsatisfactory characteristics. Warranty on all plants shall be one year from date of the last day of the required maintenance period, unless approved by the Landscape Architect or the client otherwise.

LANDSCAPE CERTIFICATION

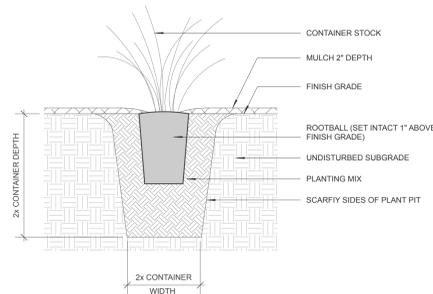
Bliss Landscape Architecture certifies that this landscaping plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive, limited turf, and low-flow, water conserving irrigation fixtures.



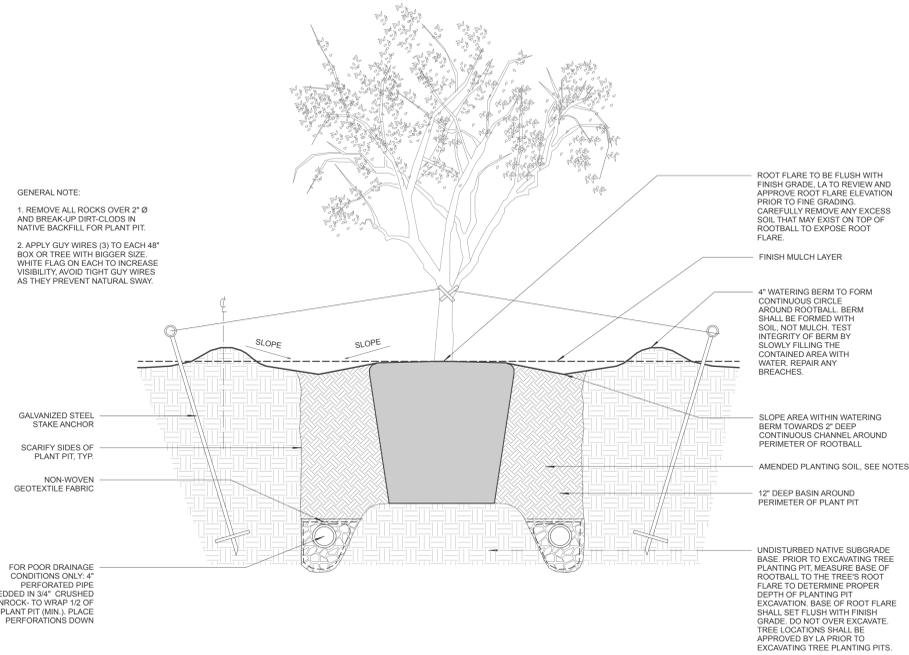
3 SECTION: CONTAINER STOCK PLANTING IN GRAVEL
L3.1 1" = 1'-0"



2 MEADOW PLUG LAYOUT
L3.1 1" = 1'-0"



4 SECTION: CONTAINER STOCK PLANTING
L3.1 1" = 1'-0"



1 ELEVATION: TREE PLANTING IN VEGETATION
L3.1 1" = 1'-0"

FOR APPROVAL AND PERMITTING PURPOSES ONLY

PEBBLE BEACH RETREAT

1458 RIATA RD.
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-332-019

Phase
BUILDING PERMIT

Previous Issue

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9

Issue
Planning Permit Submittal

Date
14 FEB 2022

Drawn by
MT

Scale: N/A North

Drawing Title

PLANTING DETAILS

L3.1



FOR APPROVAL AND PERMITTING
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Issue
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Date
14 FEB 2022

Drawn by
MT

Scale: 1"=10'
0' 5' 10'
North

Drawing Title
IRRIGATION PLAN

L4.0

PROJECT IRRIGATION NOTES:

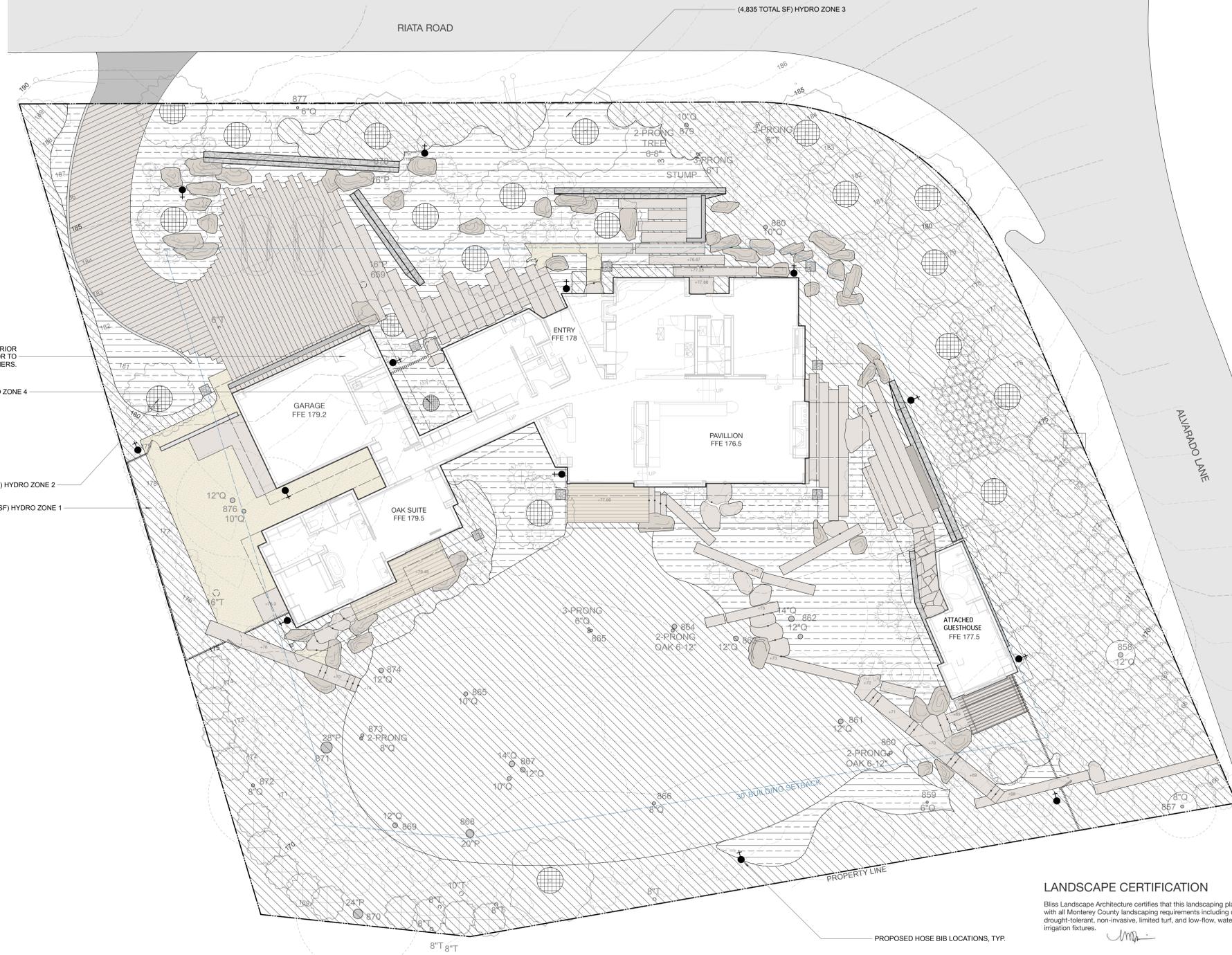
1. LANDSCAPE CONTRACTOR WILL FOLLOW INDUSTRY STANDARDS FOR THE INSTALLATION OF THE IRRIGATION SYSTEM. ANY PROPOSED CHANGES TO THE IRRIGATION SYSTEM WILL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO THE CHANGES BEING MADE. CONTRACTOR TO VERIFY IN FIELD THE CONDITIONS OF THE LANDSCAPE AREAS PRIOR TO INSTALLATION OF THE IRRIGATION SYSTEM.
2. MAINLINE PIPE SHALL BE NO LESS THAN CLASS 315 FOR PIPE SIZED 3" AND GREATER, AND SCHEDULE 40 FOR PIPE SIZED 2-1/2" AND SMALLER. MAINLINE PIPING SHALL BE INSTALLED AT A MINIMUM DEPTH TO ENSURE 18" OF COVER AND SHALL BE INSTALLED IN SUCH A MANNER AS TO NOT INTERFERE WITH THE STORMWATER AND OTHER UTILITIES SYSTEMS.
3. LATERAL PIPING SHALL BE CLASS 200 PIPE AND INSTALLED TO A MINIMUM DEPTH TO ENSURE 12" OF COVER.
4. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING, TREE ROOT ZONES AND ARCHITECTURAL FEATURES.
5. SYSTEM SHALL RECEIVE AN INTERIOR MOUNTED IRRIGATION CONTROLLER. CONTRACTOR TO VERIFY IN FIELD LOCATION PRIOR TO INSTALLATION. ELECTRICAL CONNECTION BY OTHERS.
6. LANDSCAPE IRRIGATION SYSTEMS SHALL BE INSTALLED TO PREVENT OVER-SPRAY ON STRUCTURES.
7. IRRIGATION DEMAND: 20 GPM AT 80 PSI. FIELD VERIFY EXACT PRESSURE PRIOR TO START OF WORK. IF PRESSURE VARIES FROM REQUIRED PRESSURE, NOTIFY LANDSCAPE ARCHITECT FOR FURTHER INSTRUCTION.
8. ALL TEMPORARY VALVES AND SPRINKLER OUTLETS SHOWN IN ARE FOR THE ESTABLISHMENT PERIOD AND SHALL BE SHUT-OFF POST ESTABLISHMENT.
9. CONNECT THE IRRIGATION MAINLINE TO DOMESTIC WATER LINE. INSTALL A NEW 1-1/2" SUB-METER FOR THE IRRIGATION SYSTEM. RUN 1-1/2" PVC MAINLINE FROM NEW SUB-METER TO BACKFLOW PREVENTOR. PIPE RUNS SHALL AVOID CRITICAL ROOT ZONES OF TREES AND USE 45° ELBOWS WHERE POSSIBLE TO REDUCE THE NUMBER OF 90° ELBOWS.
10. SYSTEM SHALL RECEIVE A 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER, FLOW SENSOR, AND MASTER VALVE. CONTRACTOR TO V.I.F. LOCATION OF ALL IRRIGATION SYSTEM COMPONENTS PRIOR TO INSTALLATION AND INSTALL ALL COMPONENTS PER MANUFACTURER'S RECOMMENDATIONS.

IRRIGATION CONTROLLER TO BE MOUNTED ON INTERIOR WALL OF STORAGE AREA. V.I.F. LOCATION PRIOR TO INSTALLATION. ELECTRICAL CONNECTION BY OTHERS.

(9 TOTAL SF) HYDRO ZONE 4

(438 TOTAL SF) HYDRO ZONE 2

(15,343 TOTAL SF) HYDRO ZONE 1



LANDSCAPE CERTIFICATION

Bliss Landscape Architecture certifies that this landscaping plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive, limited turf, and low-flow, water conserving irrigation fixtures.

HYDROZONE INFORMATION TABLE

Symbol	Zone Description	Irrigation Method	Water Use	Area (sq ft)	Plant Factor	PF X HA (sq ft)
	1. Low water use, sub surface dripline or drip emitters	Drip	Low	15,343	0.30	4,603
	2. Low water use, tree bubblers until established	Bubblers	Low	438	0.30	132
	3. Moderate water use, subsurface dripline or drip emitters	Drip	Mod	4,835	0.50	2,418
	4. High water use, sub surface dripline or drip emitters	Drip	High	9	0.70	7
	Total			20,625		7,160

Maximum Applied Water Allowance

Eto	X	(ETAF)	X	Planting SF	X	Gal./SF	MAWA	ACRE-FT.
33.00		0.7		20,625		0.62	295,391	0.91

Estimated Total Water Use

Plant Water Use	(Eto)(0.62)	X	(PF x HA)	ETWU	ACRE-FT.
Low	20.5		5,845	119,585	
Med.	20.5		2,985	61,064	
High	20.5		8	159	
			ETWU	180,808	0.55

Proposed Landscape Water Use

Plant Type	Water Use	Planting SF	Gallons	% of Landscape
Low	0.3	15,781	119,585	77%
Med.	0.5	4,835	61,064	23%
High	0.7	8	0	0%
			180,649	100%



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RETREAT**

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Issue
Planning Permit Submittal

Date
14 FEB 2022

Drawn by
MT

Scale: 1"=10'



North



Drawing Title

**LANDSCAPE
LIGHTING PLAN**

L5.0



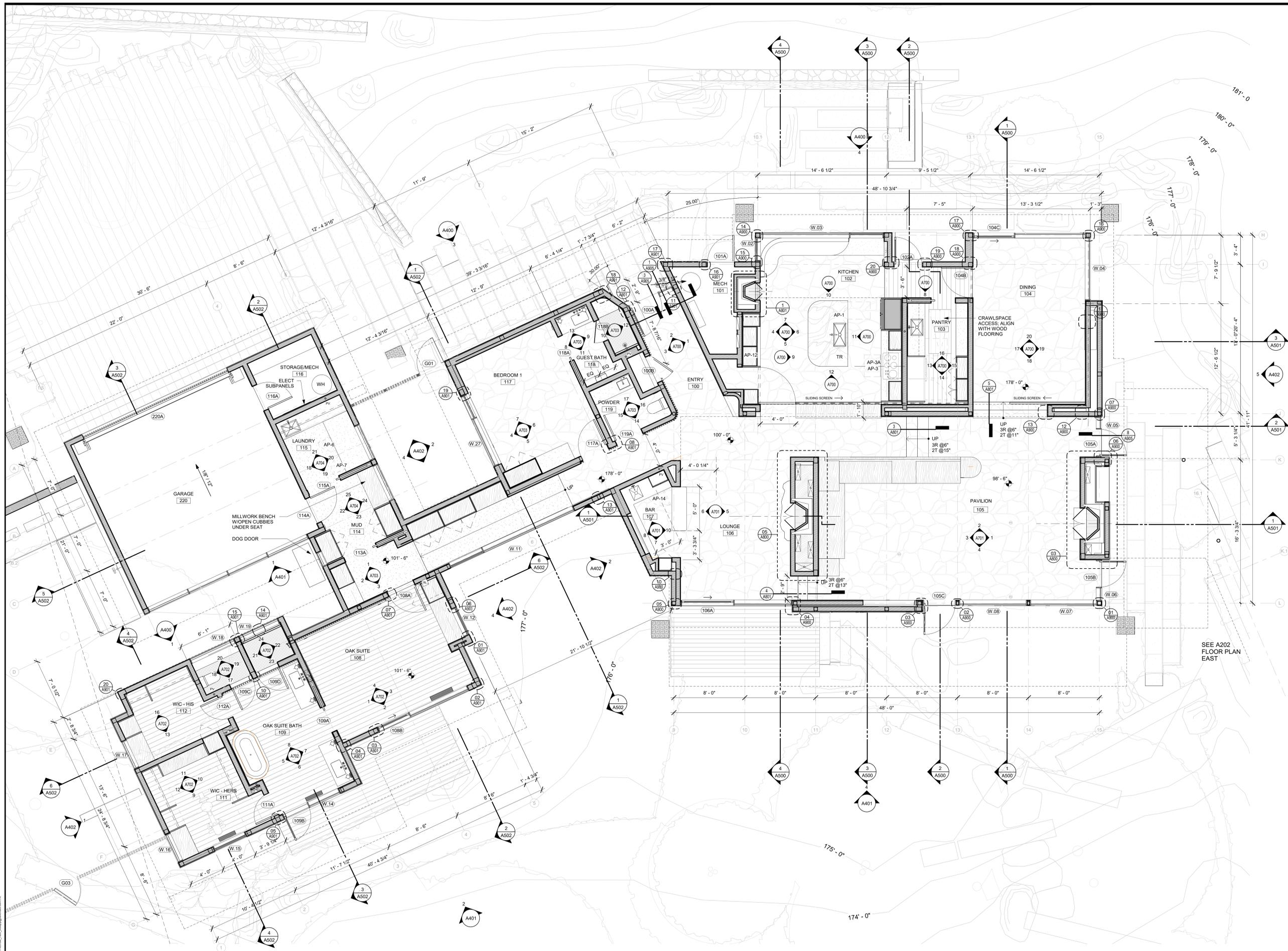
EXTERIOR LIGHTING NOTES

1. The lighting plan is diagrammatic and intended to show general fixture location and type. Exact location of fixtures and transformers shall be verified on site with landscape architect.
2. Contractor shall coordinate with general contractor and electrical contractor for installation of conduit, sleeving, switching locations and junction boxes during other phases of work.
3. All fixtures to be installed per manufacturer's specifications.
4. All "flush" fixtures to be installed level with top of paving material, gravel or plant bed mulch, unless otherwise noted.

LIGHTING LEGEND & SPECIFICATIONS

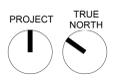
Symbol	Quantity	Description	Brand/Model	Wattage
	L1 15	14" POST MOUNTED DOWN LIGHT	REGGIANI YORI IP66	2 W LED
	L2 11	19.5" POST MOUNTED DOWN LIGHT	REGGIANI YORI IP66	2 W LED
	L3 21	TREE MOUNTED DOWN LIGHT	REGGIANI YORI IP66	2 W LED





01 FLOOR PLAN - WEST
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES
 1 DIMENSIONS ARE TO GRID LINE, FACE OF STUD, FACE OF CONCRETE, AND CENTERLINE OF DOOR OPENINGS, UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CLR" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL UNLESS NOTED AS "A.I.". VERIFY DIMENSIONS MARKED "V.I.F." PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
 2 FURNITURE LAYOUT IS FOR "REFERENCE" ONLY.



PEBBLE BEACH RETREAT

1458 Riata Rd. Pebble Beach, CA 93953

05/03/2022 LIF PROJ. NO. 20154
 PROJ. ARCHITECT SR DRAWN BY: Author

SET/ISSUE DATES	
DATE	ISSUE
06/23/21	PLANNING AND BUILDING
08/27/21	DD PRICING
10/07/21	PLANNING AND BUILDING UPDATE
02/18/22	BUILDING PERMIT

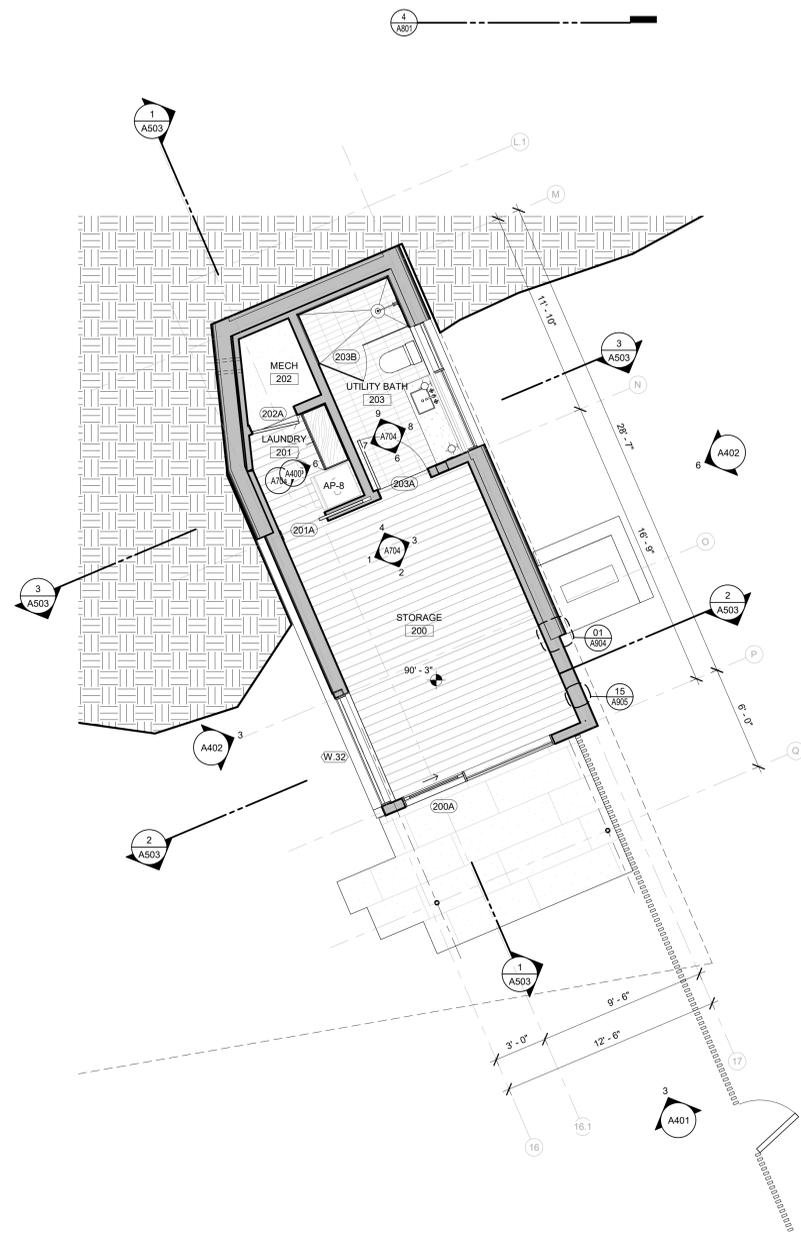
REVISIONS		
NO.	DATE	DESCRIPTION

BUILDING PERMIT

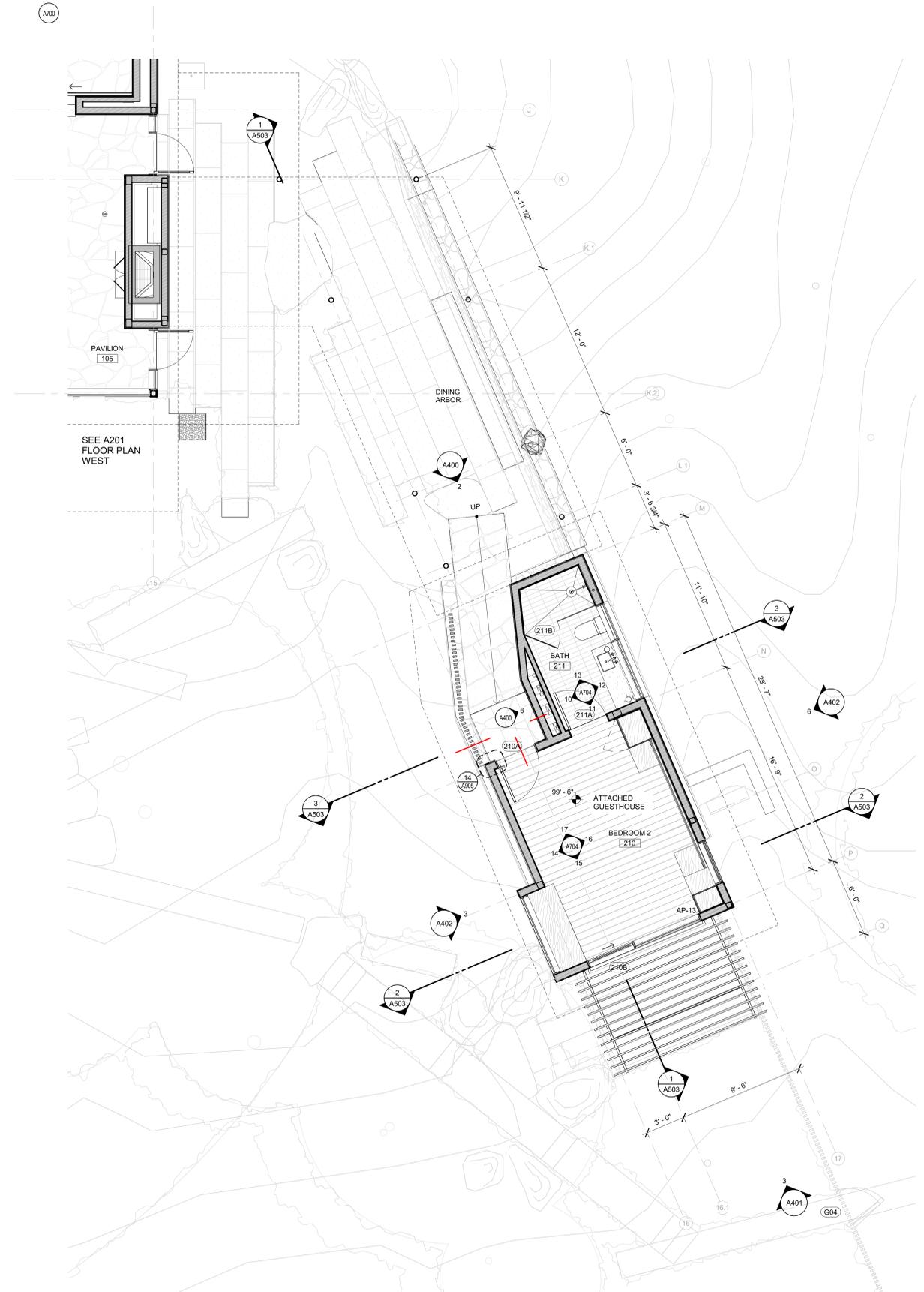
FLOOR PLAN - WEST

A201

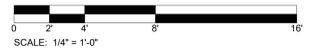
FLOOR PLAN NOTES
 1 DIMENSIONS ARE TO GRID LINE, FACE OF STUD, FACE OF CONCRETE, AND CENTERLINE OF DOOR OPENINGS, UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CL" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL UNLESS NOTED AS "+/-". VERIFY DIMENSIONS MARKED "V.I.F." PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
 2 FURNITURE LAYOUT IS FOR "REFERENCE" ONLY.



1 FLOOR PLAN - STORAGE
 SCALE: 1/4" = 1'-0"



2 FLOOR PLAN - EAST ARBOR & BEDROOM 2
 SCALE: 1/4" = 1'-0"



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PEBBLE BEACH RETREAT

1458 Riata Rd. Pebble Beach, CA 93953

05/03/2022 LIF PROJ. NO. 20154
 PROJ. ARCHITECT SR DRAWN BY: Author

SET ISSUE DATES	
DATE	ISSUE
06/23/21	PLANNING AND BUILDING
08/27/21	DD PRICING
10/07/21	PLANNING AND BUILDING UPDATE
02/18/22	BUILDING PERMIT

REVISIONS		
NO.	DATE	DESCRIPTION

BUILDING PERMIT

FLOOR PLANS - EAST

A202



PEBBLE BEACH RETREAT

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PROJ. ARCHITECT SR DRAWN BY: Author

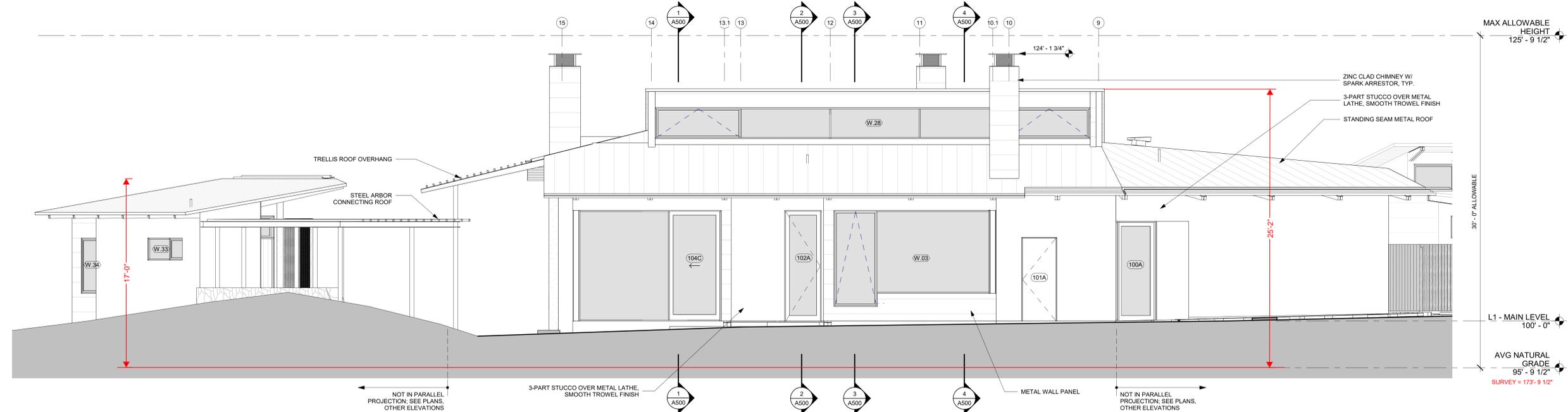
SET/ISSUE DATES	
DATE	ISSUE
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08/27/21	DD PRICING
10/07/21	PLANNING AND BUILDING UPDATE
02/18/22	BUILDING PERMIT

REVISIONS		
NO.	DATE	DESCRIPTION

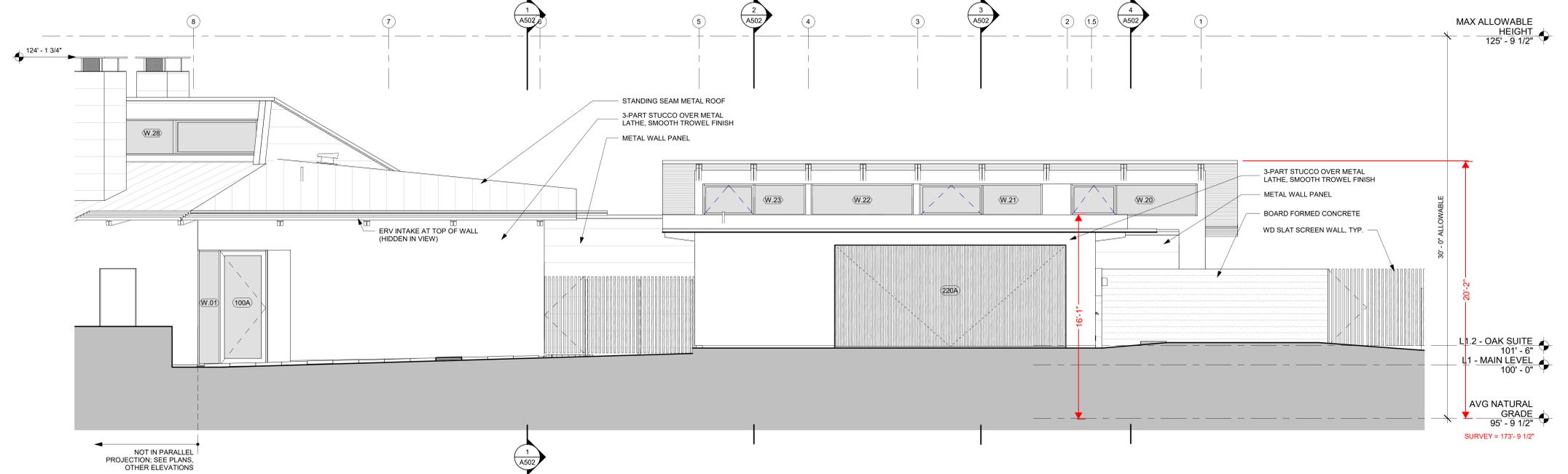
BUILDING PERMIT

EXTERIOR ELEVATIONS - NORTH

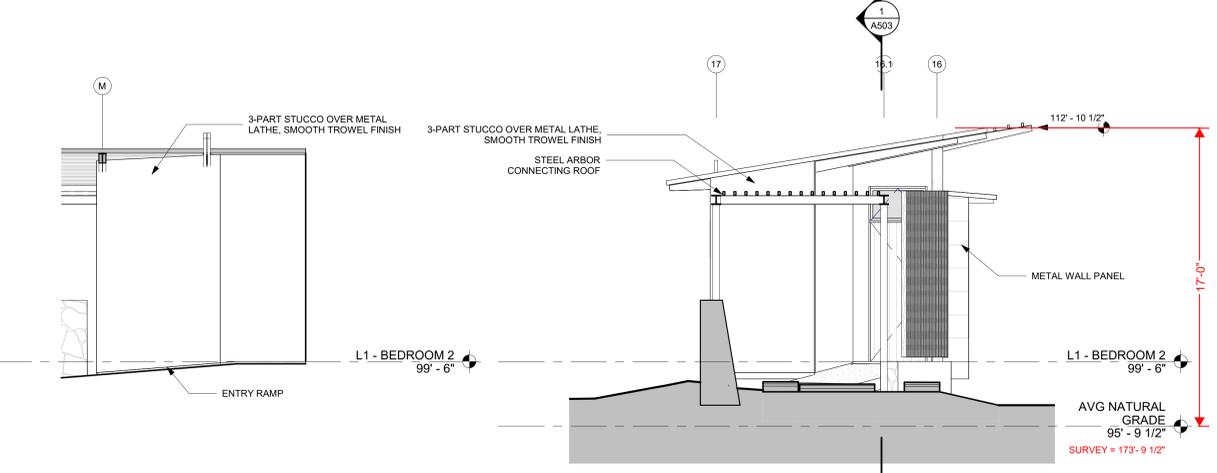
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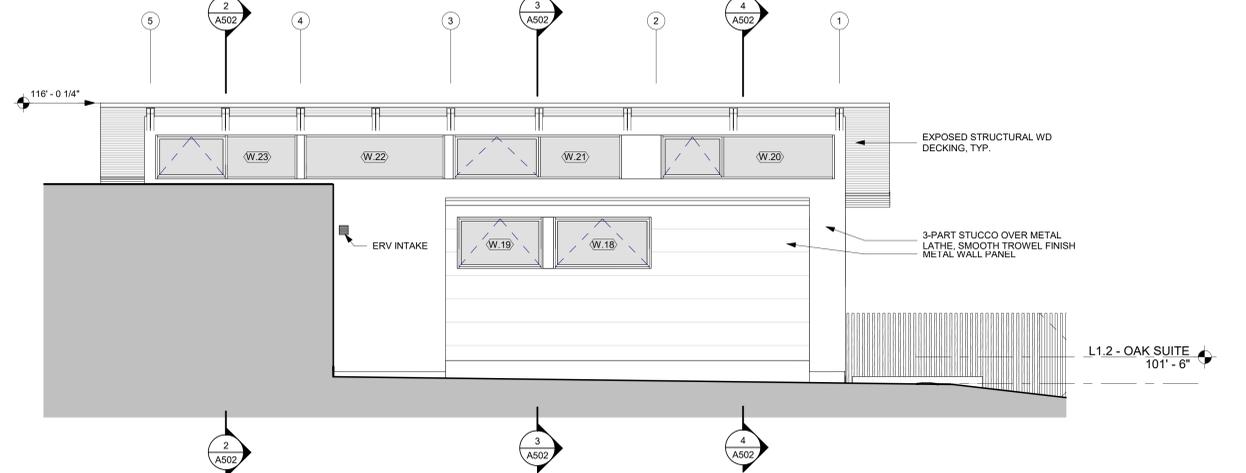
4 BLDG ELEVATION - DINING & KITCHEN NORTH
 SCALE: 1/4" = 1'-0"



3 BLDG ELEVATION - ENTRY & GARAGE NORTH
 SCALE: 1/4" = 1'-0"



2 BLDG ELEVATION - ARBOR & BEDROOM 2 NORTH
 SCALE: 1/4" = 1'-0"



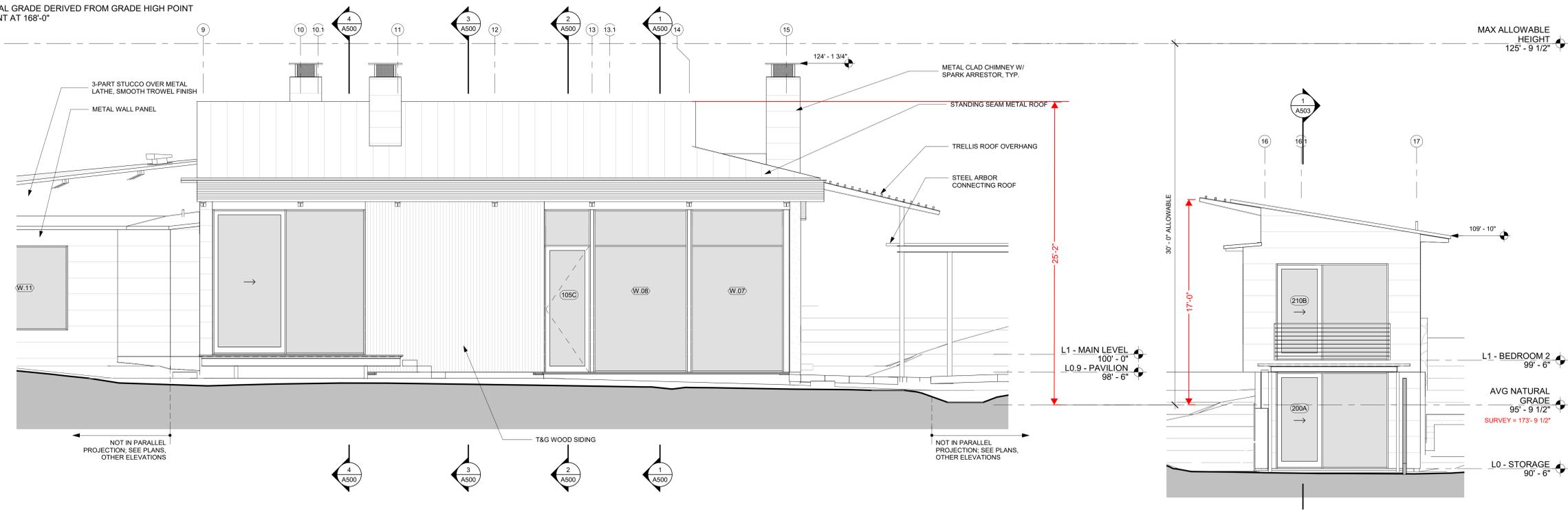
1 BLDG ELEVATION - OAK SUITE - NORTH
 SCALE: 1/4" = 1'-0"



6 HIDDEN ELEV - BEDROOM 2 NORTHEAST
 SCALE: 1/4" = 1'-0"

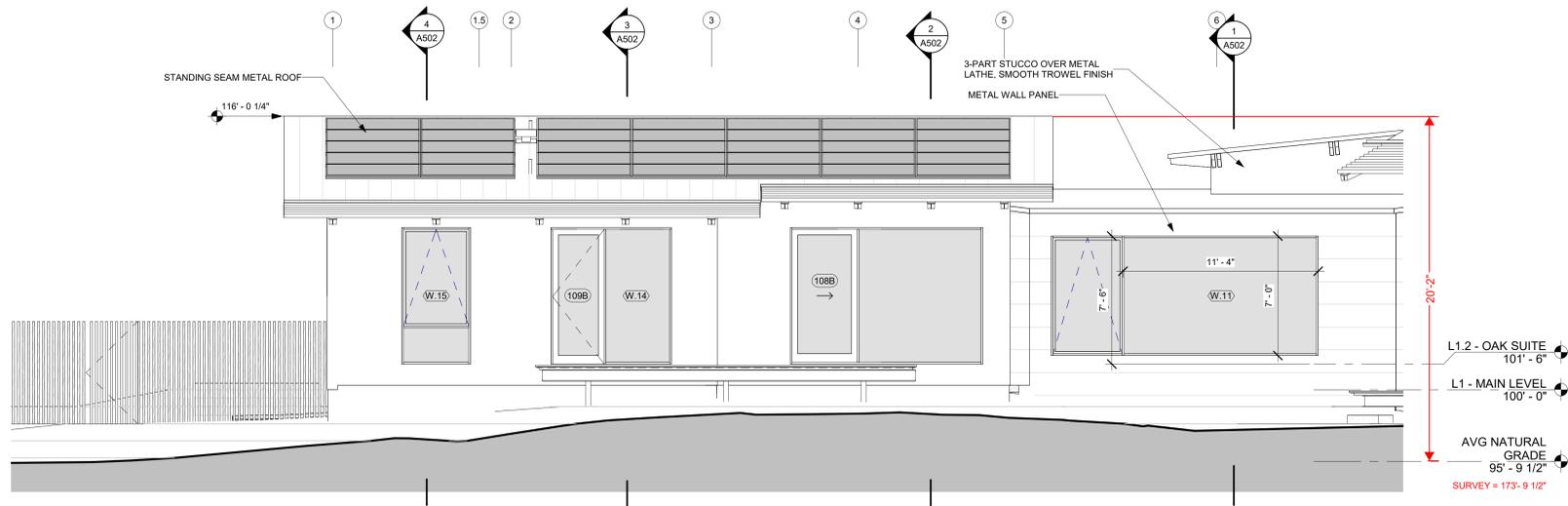
General Note: 01: Mechanical/Electrical/Plumbing/Structural/...
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NOTE: AVERAGE NATURAL GRADE DERIVED FROM GRADE HIGH POINT AT 179'-7" AND LOW POINT AT 168'-0"

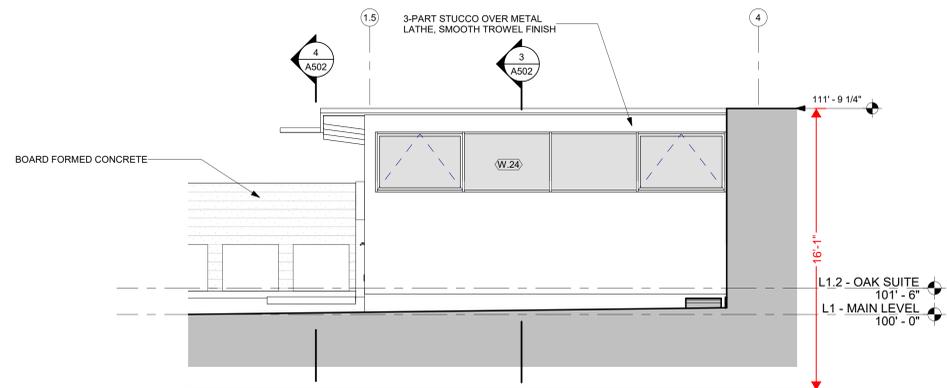


4 BLDG ELEVATION - PAVILION SOUTH
SCALE: 1/4" = 1'-0"

3 BLDG ELEVATION - BEDROOM 2 & 3 SOUTH
SCALE: 1/4" = 1'-0"



2 BLDG ELEVATION - OAK SUITE & GALLERY SOUTH
SCALE: 1/4" = 1'-0"



1 BLDG ELVATION - GARAGE SOUTH
SCALE: 1/4" = 1'-0"



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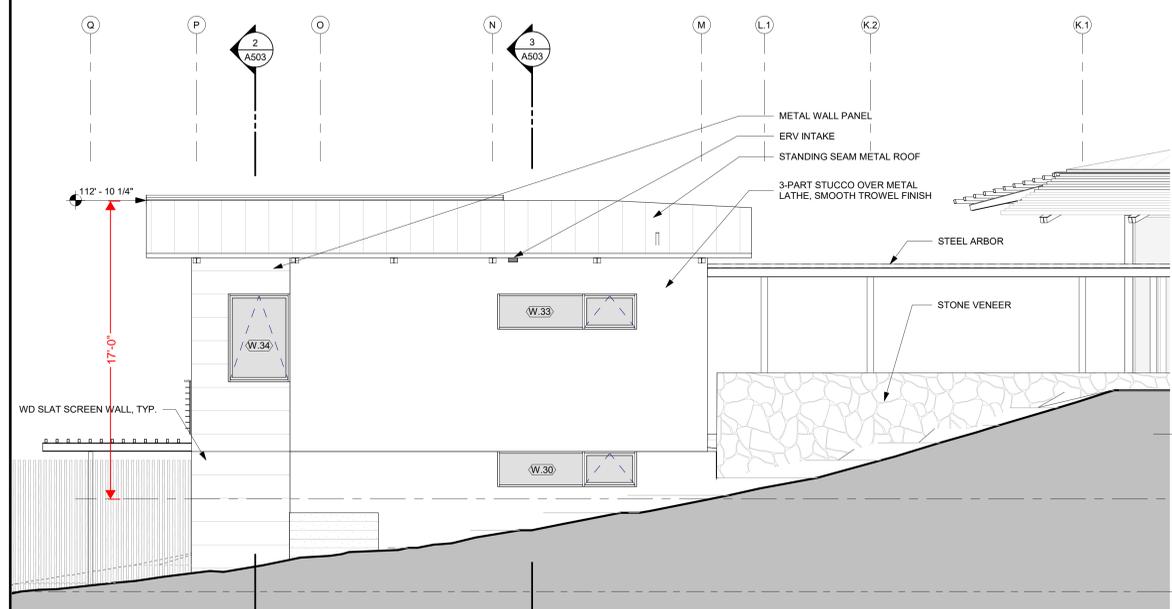
BUILDING PERMIT

EXTERIOR ELEVATIONS - SOUTH

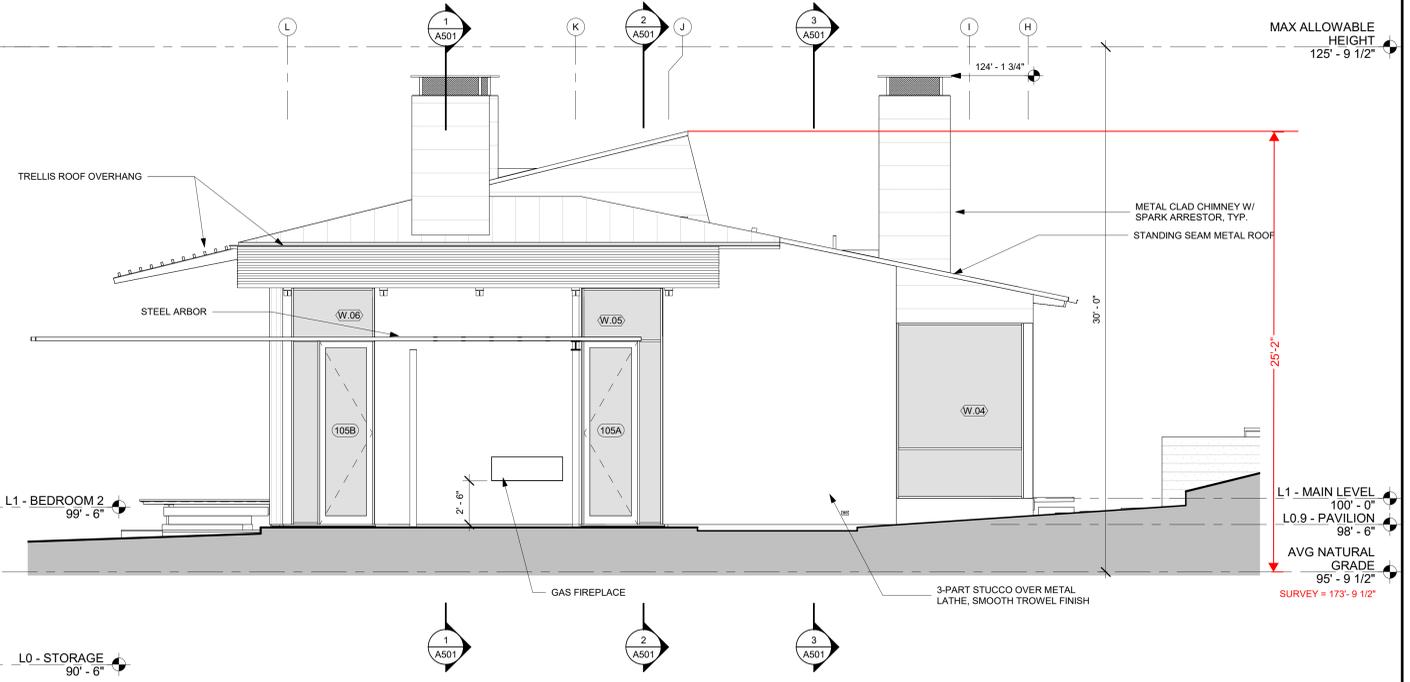
A401

General Notes: 01: Mechanical/Electrical/Plumbing/Structural...
 02: Foundation...
 03: Exterior/Interior Finishes...
 04: Site/Grading...
 05: Landscape...
 06: Other...

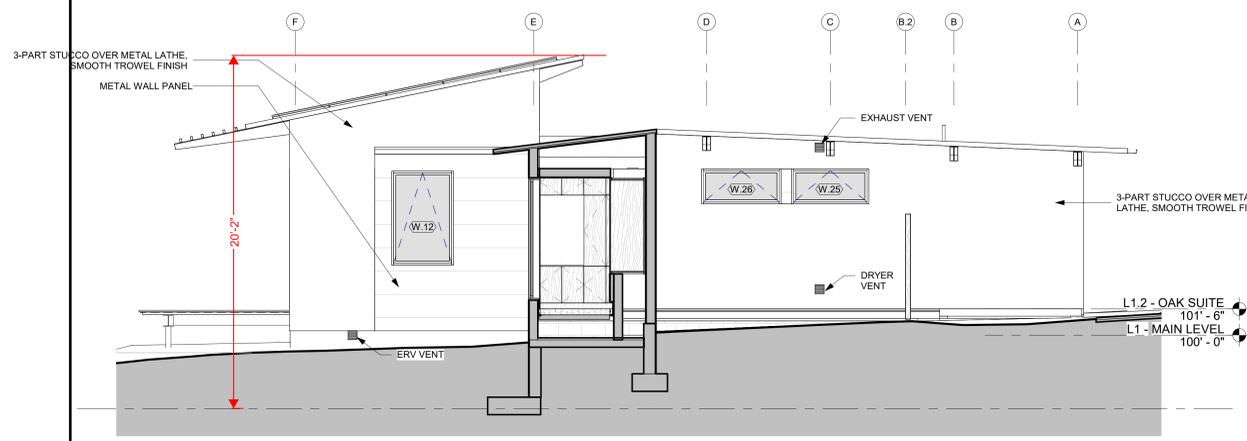
NOTE: AVERAGE NATURAL GRADE DERIVED FROM GRADE HIGH POINT AT 179'-7" AND LOW POINT AT 168'-0"



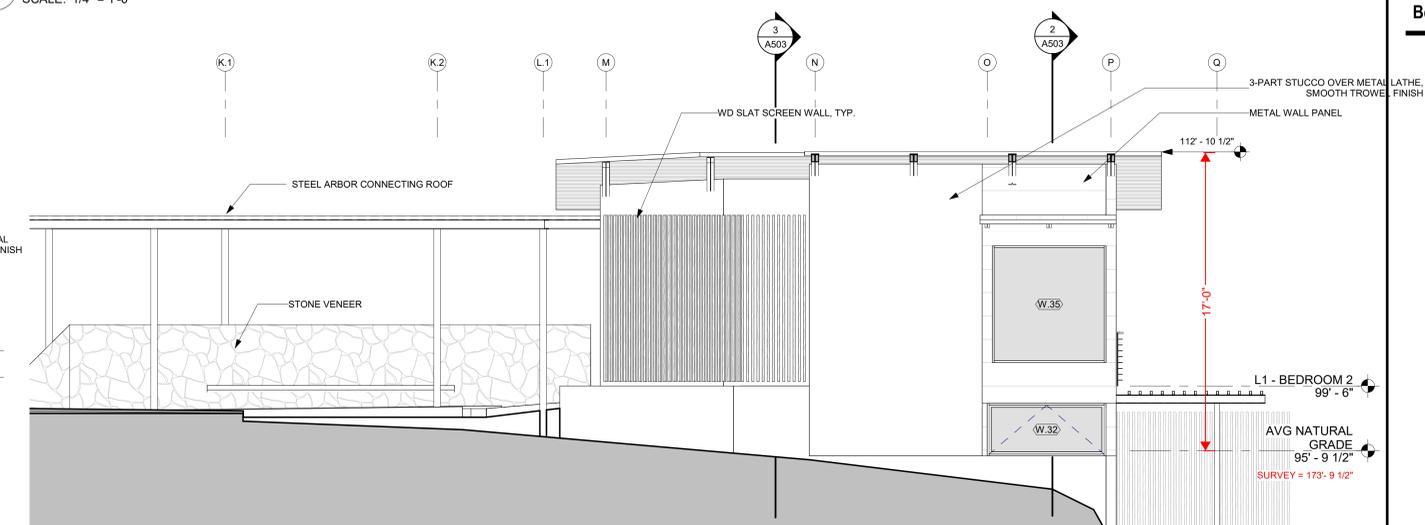
6 BLDG ELEVATION - BEDROOM 2 & ARBOR EAST
SCALE: 1/4" = 1'-0"



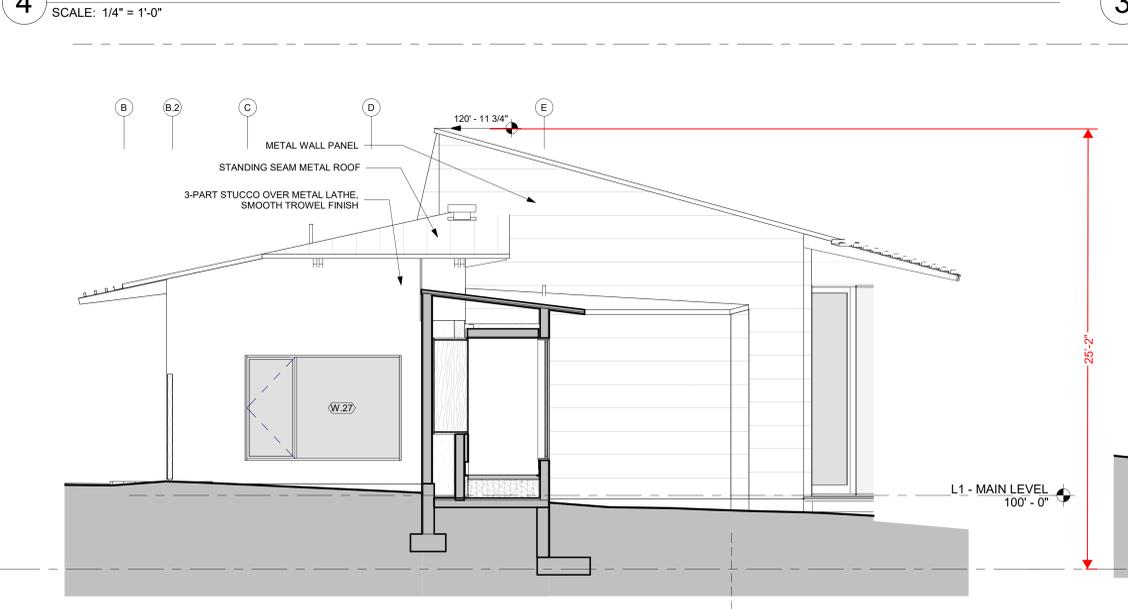
5 BLDG ELEVATION - PAVILION & DINING EAST
SCALE: 1/4" = 1'-0"



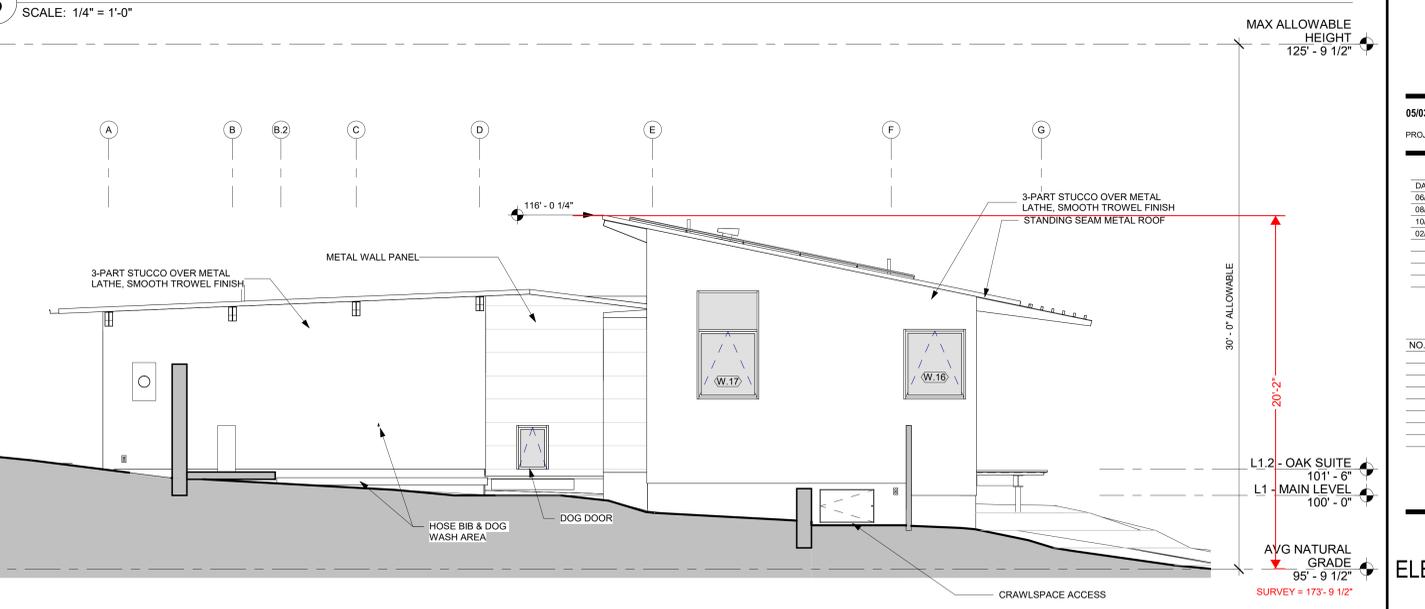
4 BLDG ELEVATION - OAK SUITE & GARAGE EAST
SCALE: 1/4" = 1'-0"



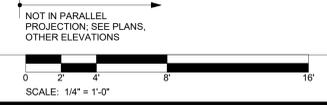
3 BLDG ELEVATION - ARBOR & BEDROOM 2 & 3 WEST
SCALE: 1/4" = 1'-0"



2 BLDG ELEVATION - BEDROOM 1 & BAR WEST
SCALE: 1/4" = 1'-0"



1 BLDG ELEVATION - GARAGE & OAK SUITE WEST
SCALE: 1/4" = 1'-0"



MAX ALLOWABLE HEIGHT
125' - 9 1/2"

L1 - MAIN LEVEL
100' - 0"
L0.9 - PAVILION
98' - 6"
AVG NATURAL GRADE
95' - 9 1/2"
SURVEY = 173'-9 1/2"

L1 - BEDROOM 2
99' - 6"
AVG NATURAL GRADE
95' - 9 1/2"
SURVEY = 173'-9 1/2"

MAX ALLOWABLE HEIGHT
125' - 9 1/2"

30'-0" ALLOWABLE
L1.2 - OAK SUITE
101' - 6"
L1 - MAIN LEVEL
100' - 0"
AVG NATURAL GRADE
95' - 9 1/2"
SURVEY = 173'-9 1/2"

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BUILDING PERMIT

EXTERIOR ELEVATIONS - EAST & WEST

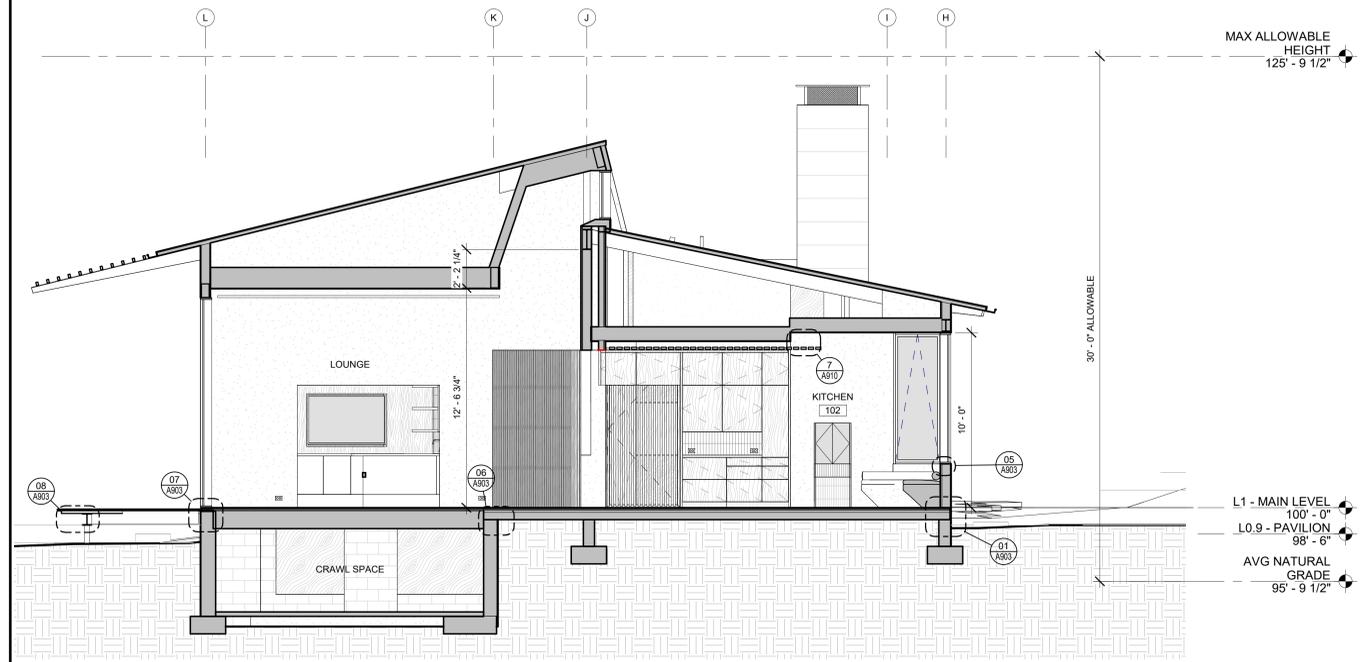
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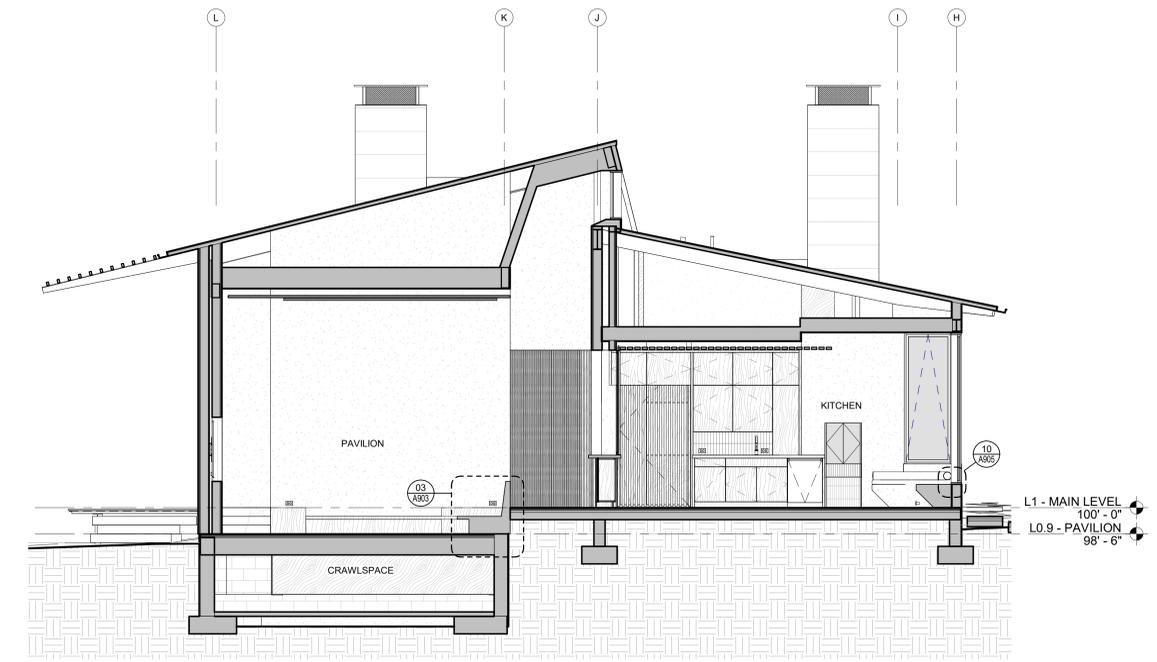


PEBBLE BEACH RETREAT

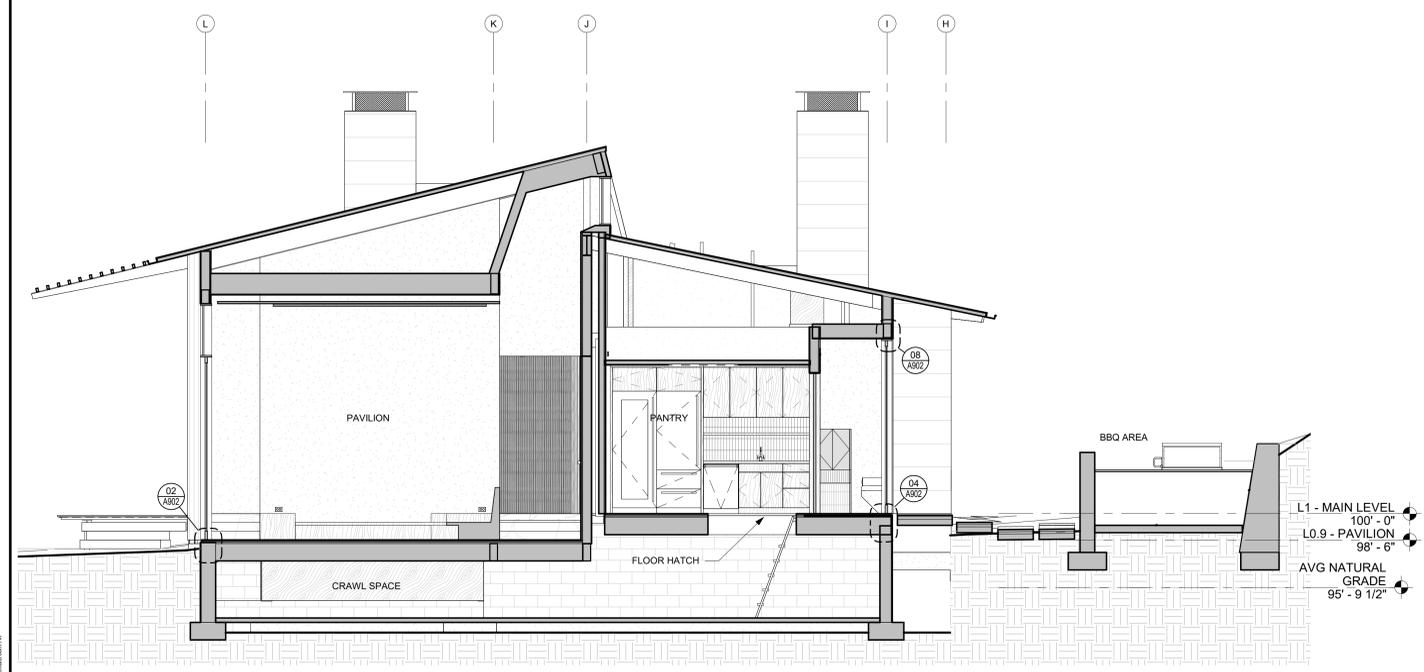
1458 Riata Rd. Pebble Beach, CA 93953



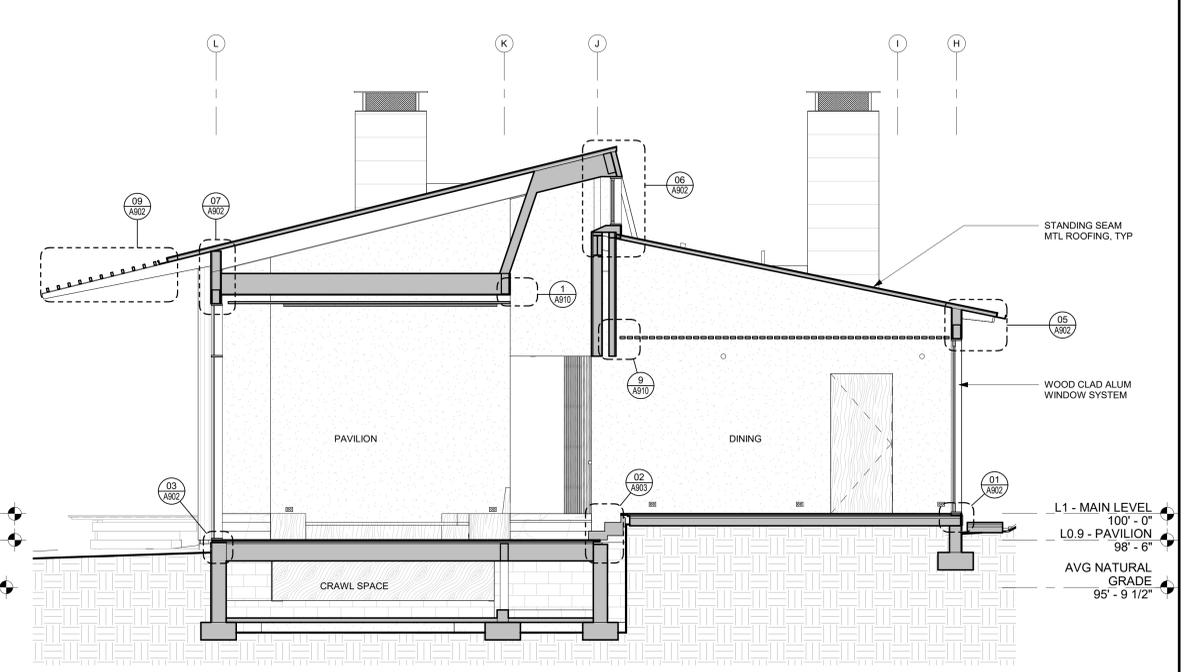
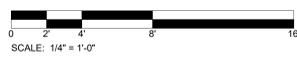
4 TRANSVERSE BLDG SECTION - LOUNGE & KITCHEN
 SCALE: 1/4" = 1'-0"



3 TRANSVERSE BLDG SECTION - PAVILION & KITCHEN
 SCALE: 1/4" = 1'-0"



2 TRANSVERSE BLDG SECTION - PAVILION & PANTRY
 SCALE: 1/4" = 1'-0"



1 TRANSVERSE BLDG SECTION - PAVILION & DINING
 SCALE: 1/4" = 1'-0"

05/03/2022 LIF PROJ. NO. 20154
 PROJ. ARCHITECT SR DRAWN BY: Author

SET ISSUE DATES	
DATE	ISSUE
06/23/21	PLANNING AND BUILDING
08/27/21	DD PRICING
10/07/21	PLANNING AND BUILDING UPDATE
02/18/22	BUILDING PERMIT

REVISIONS		
NO.	DATE	DESCRIPTION

BUILDING PERMIT

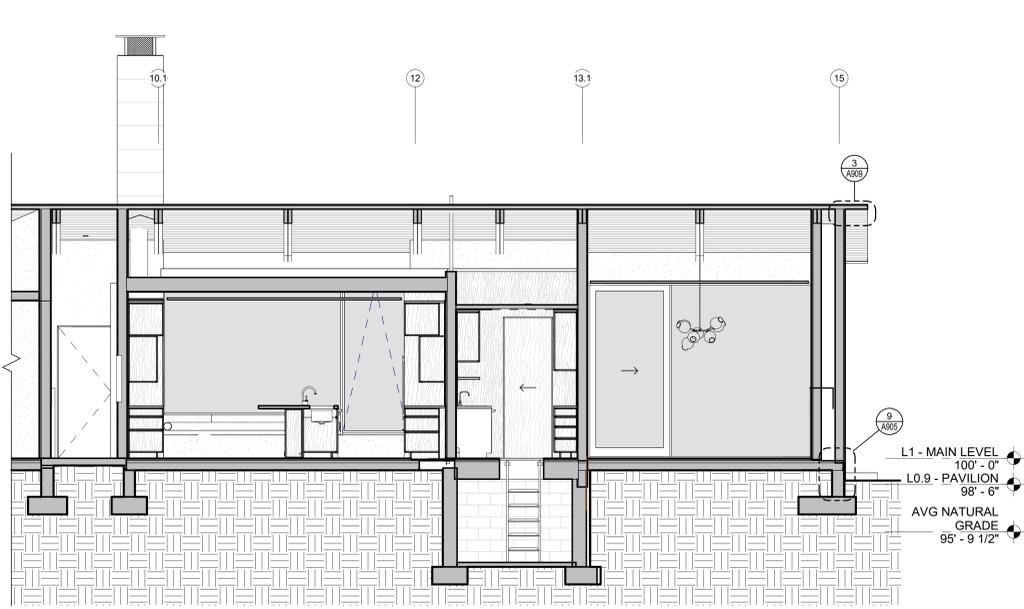
BUILDING SECTIONS - PAVILION & KITCHEN

A500

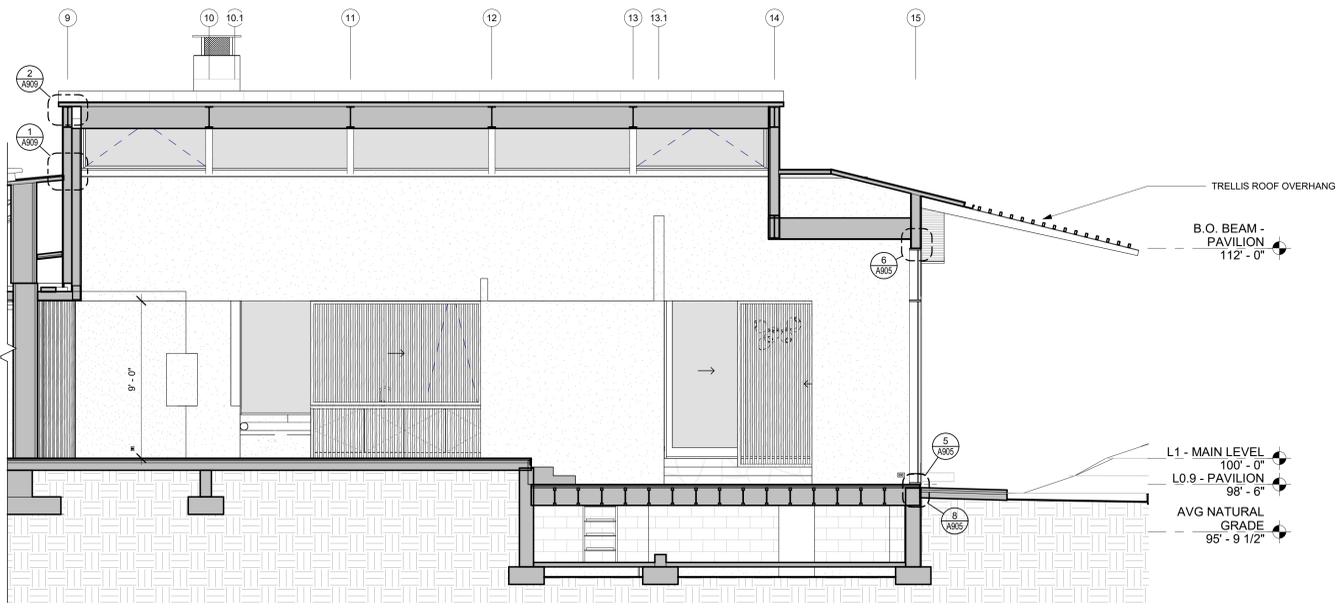


PEBBLE BEACH RETREAT

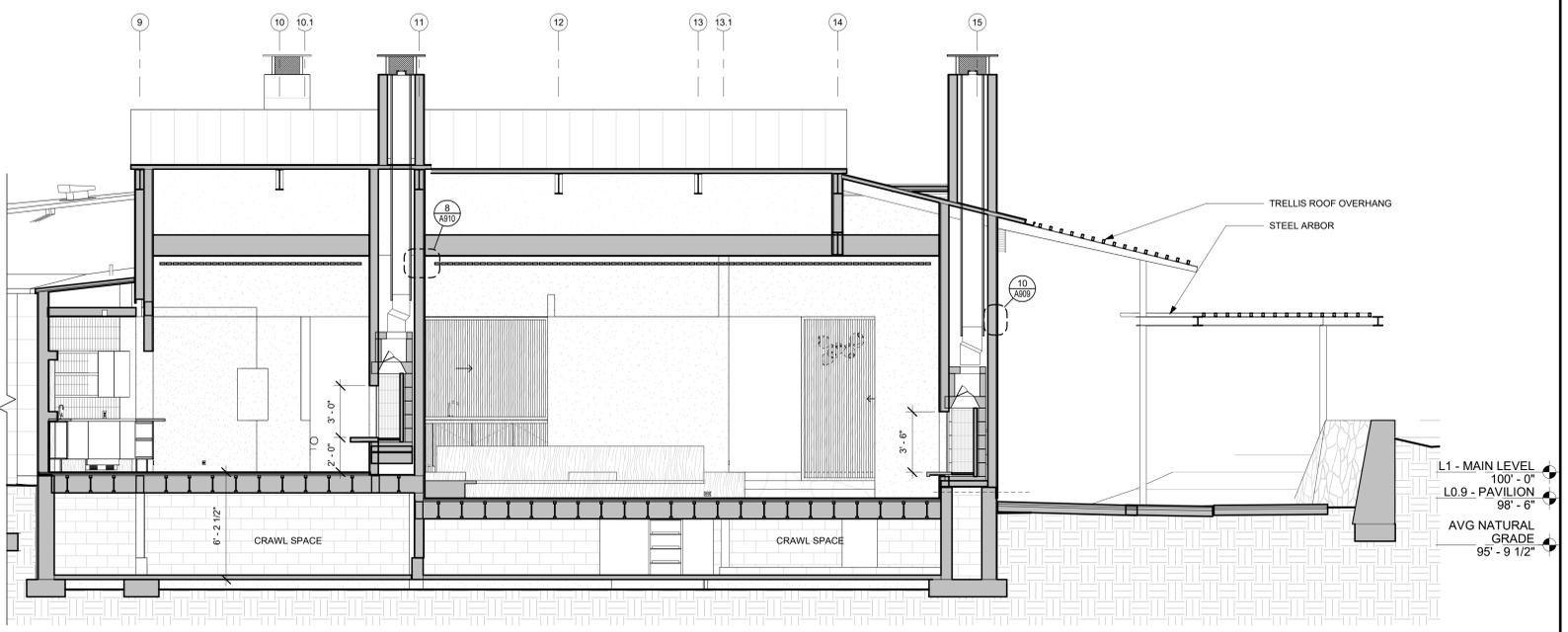
1458 Riata Rd. Pebble Beach, CA 93953



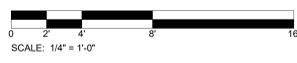
3 LONGITUDINAL BLDG SECTION - KITCHEN & DINING
SCALE: 1/4" = 1'-0"



2 LONGITUDINAL BLDG SECTION - CORRIDOR
SCALE: 1/4" = 1'-0"



1 LONGITUDINAL BLDG SECTION - LOUNGE & PAVILION
SCALE: 1/4" = 1'-0"



05/03/2022 LIF PROJ. NO. 20154
PROJ. ARCHITECT SR DRAWN BY: Author

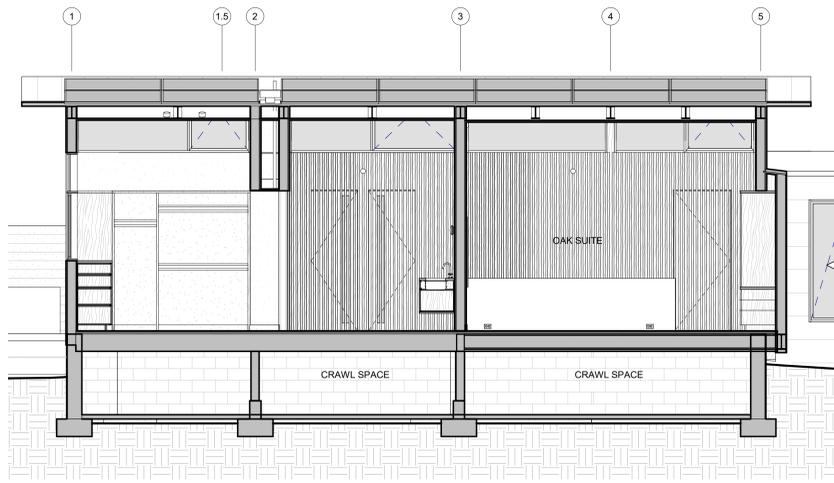
SET ISSUE DATES	
DATE	ISSUE
06/23/21	PLANNING AND BUILDING
08/27/21	DD PRICING
10/07/21	PLANNING AND BUILDING UPDATE
02/18/22	BUILDING PERMIT

REVISIONS		
NO.	DATE	DESCRIPTION

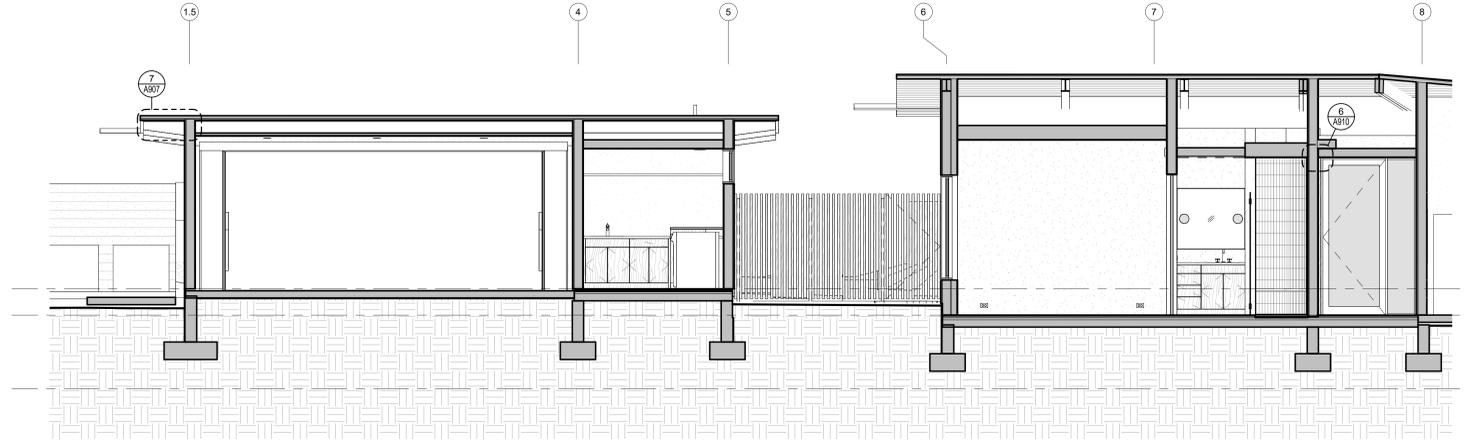
BUILDING PERMIT

BUILDING SECTIONS - PAVILION & KITCHEN

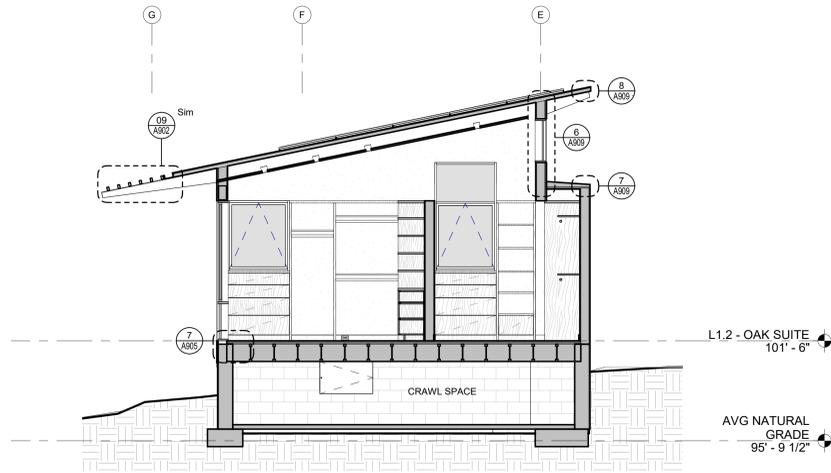
A501



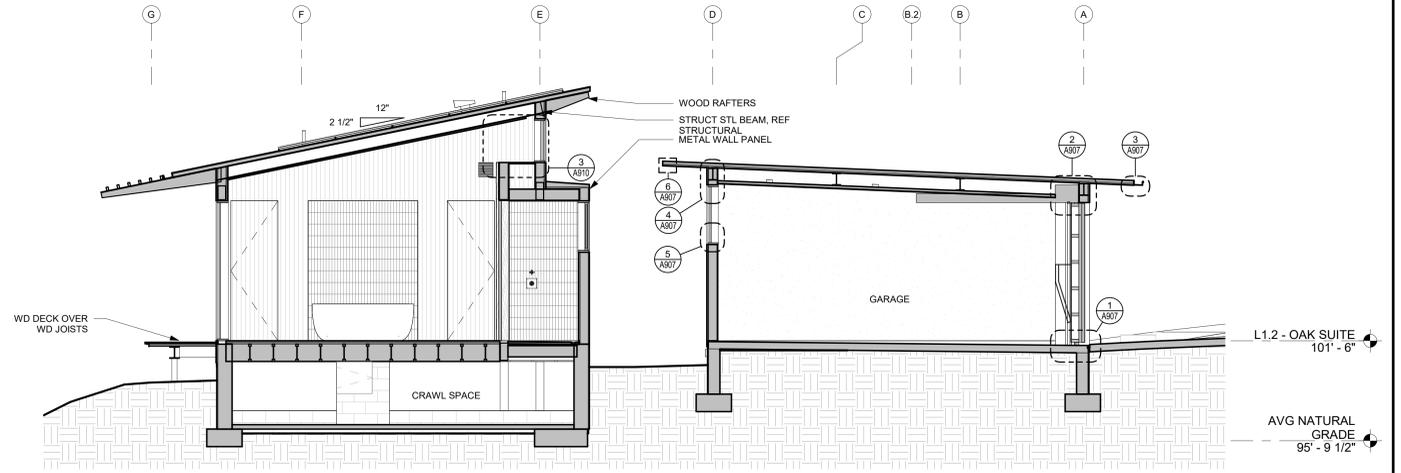
6 LONGITUDINAL BLDG SECTION - OAK SUITE
SCALE: 1/4" = 1'-0"



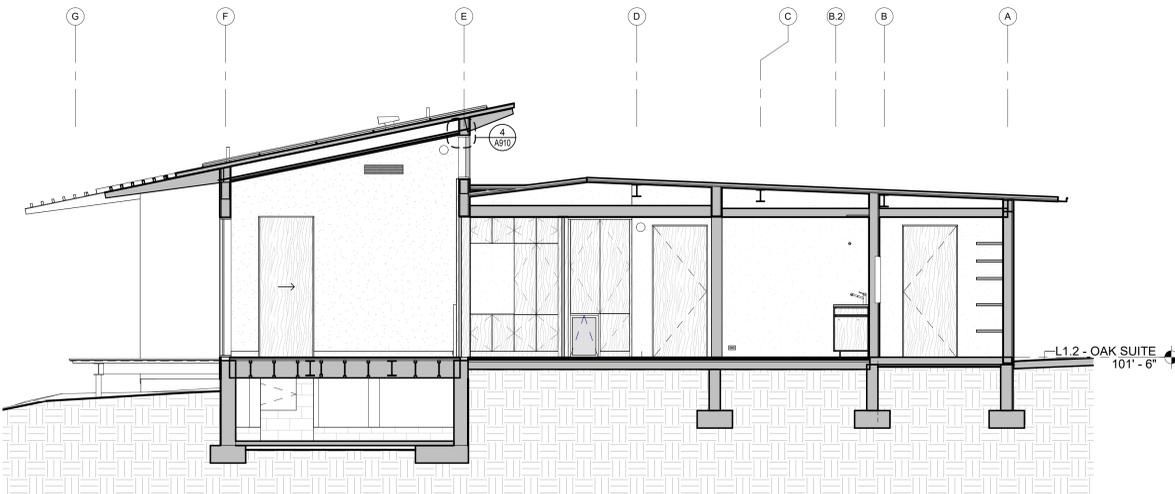
5 LONGITUDINAL BLDG SECTION - GARAGE
SCALE: 1/4" = 1'-0"



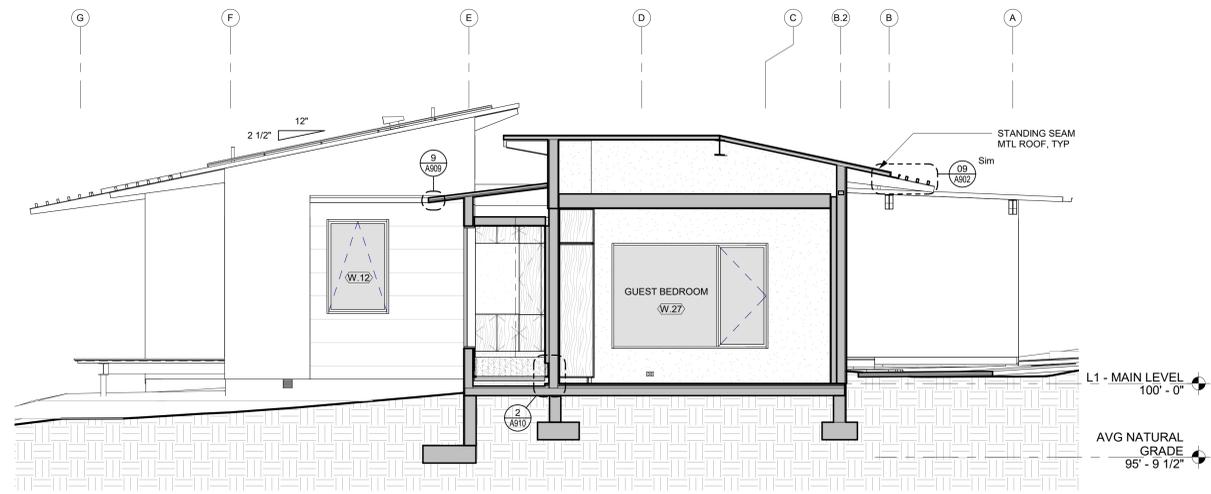
4 TRANSVERSE BLDG SECTION - OAK SUITE CLOSETS
SCALE: 1/4" = 1'-0"



3 TRANSVERSE BLDG SECTION - OAK SUITE BATH & GARAGE
SCALE: 1/4" = 1'-0"



2 TRANSVERSE BLDG SECTION - OAK SUITE & MUDROOM
SCALE: 1/4" = 1'-0"



1 TRANSVERSE BLDG SECTION - GUEST BEDROOM & GALLERY
SCALE: 1/4" = 1'-0"



PEBBLE BEACH RETREAT

1458 Riata Rd. Pebble Beach, CA 93953

05/03/2022 LIF PROJ. NO. 20154
PROJ. ARCHITECT SR DRAWN BY: Author

SET/ISSUE DATES	
DATE	ISSUE
06/23/21	PLANNING AND BUILDING
08/27/21	DD PRICING
10/07/21	PLANNING AND BUILDING UPDATE
02/18/22	BUILDING PERMIT

REVISIONS		
NO.	DATE	DESCRIPTION

BUILDING PERMIT

BUILDING SECTIONS - OAK SUITE & GARAGE

A502

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