

# Exhibit A

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**Draft Resolution  
Before the Chief of HCD-Planning  
in and for the County of Monterey, State of California**

In the matter of the application of:

**JMAHD Ventures, LLC (Formerly Sur Farms LLC) (PLN170230)**

**RESOLUTION NO. 22-**

Resolution by the Monterey County HCD Chief of Planning:

- 1) Considering the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration (IS/MND) and Addendum (HCD-Planning File No. REF150048, SCH No. 2020060325), pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15164; and
- 2) Approving an Administrative Permit for establishment of a commercial cannabis operation consisting of up to 200,000 square feet of mixed-light cannabis cultivation and nursery in existing greenhouses, the use of an existing 5,196 square foot building for non-volatile manufacturing and the construction of a new 9,000 square foot building for 3rd party cannabis processing (drying, trimming and storage).  
[26900, 26900A & 26900B Encinal Road, Salinas (Assessor's Parcel Number 137-061-026-000), Greater Salinas Area Plan]

**The JMAHD Ventures, LLC application (PLN170230) came on for an administrative hearing before the Monterey County Chief of HCD-Planning on December 21, 2022. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, including the conditions of approval and project plans, the Monterey County HCD Chief of Planning finds and decides as follows:**

**FINDINGS**

1. **FINDING:** **CONSISTENCY:** The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
  - the 2010 Monterey County General Plan;
  - Greater Salinas Area Plan; and
  - Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The subject property is located at 26900, 26900 A & 26900 B Encinal Road, Salinas (Assessor's Parcel Number 137-061-026-000), Greater Salinas Area Plan. The subject property is located in the "F/40", Farmland Zoning District and allows indoor, mixed-light, or nursery cannabis cultivation, processing and non-volatile cannabis manufacturing pursuant to Title 21 Section 21.30.040. The project is an allowed use for the site as it involves establishment of a commercial cannabis operation consisting of up to 200,000 square feet of mixed-light cannabis cultivation and nursery in existing greenhouses, the use of an existing 5,196 square foot building for non-volatile manufacturing and the construction of a new 9,000 square foot building for 3rd party cannabis processing (drying, trimming and storage). No conflicts exist within the Monterey County Code (MCC) for this project, pursuant to MCC Chapter 7.90 and 21.67.
- c) Location: In accordance with Title 21 Section 21.67.050.B.4, and as demonstrated in Finding No. 5, the property is located more than 600-feet from the nearest school, public park, and drug recovery facility.
- d) Unique Identifiers: In accordance with Title 21 Section 21.67.050.B.5, the Operation Plan describes how the applicant will implement a Unique Identifier program that can track each batch or crop back to its source. Unique identifiers shall be attached to each plant and shall be traceable through the supply chain back to the cultivation site through the METRC track-and-trace system.
- e) Security Measures: The applicant has provided a security plan for the proposed commercial cannabis operation in accordance with Title 21 Section 21.67.040, Monterey County Code Chapter 7.90, and the Business and Professions Code Section 26070.
- f) Pesticides and Fertilizers: As stated in the Operation Plan, pesticides and fertilizers will be properly stored to avoid contamination through erosion, leakage, or inadvertent damage from rodents, pests or wildlife. The facility will obtain an Operator ID from the Agricultural Commissions office listing any pesticides/fertilizers that would be used.
- g) Water Conservation: In accordance with Title 21 Section 21.67.050.B.8, water conservation measures will be taken where possible, including a reverse osmosis system will be utilized not only enable recycling and reuse but, will also virtually eliminate the risk of nitrate-rich runoff and to increase efficiency. The facility will incorporate a drip irrigation system.
- h) Renewable Energy: Although renewable energy was encouraged for this project, it is not required. While this is a cannabis nursery project

(Type 3B), which under Title 21 Section 21.67.050.B.9 typically require renewable energy generation, this project does not require renewable energy generation. This requirement applies to indoor cannabis cultivation of all types, which cannabis nurseries typically are indoor. The nursery proposed for this site is within existing greenhouses and greenhouses to be reconfigured. Therefore, this project satisfies Section 21.67.050.B.9 as proposed.

- i) Visibility: In accordance with Title 21 Section 21.67.050.B.10, cannabis plants and any indicators that cannabis is grown on-site will not be visible from off-site. To best achieve this, a chain link privacy fence with slats surrounds the entire perimeter of the project site, and the applicant has agreed to maintain consistency with this policy within the Security Plan.
- j) Canopy: In accordance with Title 21 Section 21.67.050.B.11, the operation plan recognizes that the applicant will comply with this regulation, and that the owner shall ensure that the total canopy size of cannabis cultivated at the site does not exceed the cumulative canopy size authorized by state law or regulation. The Operation Plan also recognizes that the owner and its licensees and permittees, operating on a site permitted pursuant to this Chapter, and with a commercial cannabis permit required pursuant to Chapter 7.90 of the Monterey County Code, shall ensure that the total canopy size of cannabis cultivation does not individually exceed the amounts authorized by County permits and state law.
- k) Additional Permits and Licenses: Cultivation at the site will be required to obtain the appropriate Commercial Cannabis Business Permits pursuant to Chapter 7.90 of the Monterey County Code and Business License pursuant to Chapter 7.100 of the Monterey County Code. These licenses and entitlements will ensure ongoing monitoring of compliance with the plans and operational requirements. Failure to obtain and maintain all required permits, licenses, and entitlements may be ground for revocation of this permit.
- l) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN170230.

**2. FINDING:** **SITE SUITABILITY:** The site is physically suitable for the use proposed.

**EVIDENCE:** a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, Monterey County Regional Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

- b) Odor: The project would be equipped and utilize odor scrubbers and carbon filtering air circulation and ventilation system to minimize odors. There will be no cannabis activities taking place outside of the building areas. The odor management devices or techniques to be implemented as part of the applicant's Operation Plan will comply with Monterey County Code Chapter 7.89.100A.8.
- c) Operational plans including security, tracking, reporting, sustainability measures, and other relevant information are proposed to address regulatory requirements and minimize impacts at the site and in the surrounding areas (also see Finding No. 1).
- d) Staff conducted a site inspection on December 8, 2022 to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning for the proposed development found in Project File PLN170230.

**3. FINDING:** **HEALTH AND SAFETY:** The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, Monterey County Regional Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) The site is currently served by Encinal Road Water System #1 (ID: 2701241) for domestic water. This water system is implementing a Point of Use (POU)(NO3) and Point of Entry (POE)(TCP) program to comply with primary drinking water standards. All of the source water is treated through a centralized Reverse Osmosis and serves irrigation, fire and domestic uses. The domestic connections also receive the additional approved POU and POE treatment. A cross connection control survey was completed for the site by Santa Lucia Water Solutions, dated August 18, 2022, which indicated several recommend improvements that are conditioned.
  - c) An acceptable preliminary onsite wastewater treatment system (OWTS) design to serve proposed processing building "J" and is sized to serve up to eight employees. The existing OWTS that serve the main house/ office building and green warehouse were in acceptable condition and appear to be adequately sized for up to 20 employees and 20 employees respectively. A previously unreported

septic tank was reported to be located near Building C and is conditioned to be demolished. Environmental Health Bureau CMS is responsible for operational enforcement and will conduct routine site inspections for compliance purposes.

- d) Operational plans including security, tracking, reporting, sustainability measures, and other relevant information are proposed to address regulatory requirements and minimize impacts at the site and in the surrounding areas (also see Finding No. 1).
- e) The Agricultural Commissioner's Office will inspect packaging, labeling, and weighing devices used on-site.
- f) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD-Planning for the proposed development found in Project File PLN170230.

**4. FINDING: STATE AND COUNTY REQUIREMENTS:** As proposed, the applicant has demonstrated that they can and will comply with all of the requirements of the State and County for the cultivation of medical cannabis.

**EVIDENCE:** a) Operational plans including security measures, track and trace programs, monitoring and reporting requirements, packaging and labeling standards, sustainability measures, and other relevant information are proposed to address regulatory requirements contained in Title 21 Section 21.67.050 (also see Finding No. 1). Required conditions of approval specified in Title 21 Section 21.67.050.D have been incorporated.

**5. FINDING: REQUIRED SET BACKS:** The cultivation will not be located within a six hundred foot radius of a school providing instruction in kindergarten or any grades 1 through 12, a child care center, a youth center, a playground, or a drug recovery facility that is in existence at the time of approval of permits by the Appropriate Authority.

**EVIDENCE:** a) The cultivation, manufacturing and processing operation will be located at 26000 Encinal Road, Salinas. The closest public park is La Paz Park, located approximately 8.3 miles northwest of the subject property. The closest school is Sherwood Elementary School, located approximately 9.6 miles northwest of the subject property. The closest addiction treatment and recovery facility is Sun Street Centers, located approximately 9.1 miles northwest of the subject property.

**6. FINDING: QUALITY CONTROL:** Adequate measures are proposed to ensure that cannabis cultivated at the site meets the industry standards.

**EVIDENCE:** a) Cannabis and cannabis products supplied by the applicant, except for immature cannabis plants and seeds, are subject to quality assurance and testing prior to sale at a retailer, microbusiness, or nonprofit. As a licensed distributor, the applicant shall adhere to these procedures.

As a licensed cultivator, nursery or manufacturer, the applicant shall ensure that products are distributed by a licensed distributor. The licensed distributor may be the applicant or a third party. Operational standards that ensure testing of each batch of cannabis produced at the site will be addressed through the Commercial Cannabis Business Permit required pursuant to Chapter 7.90 of the Monterey County Code.

- 7. FINDING:** **FEDERAL COMPLIANCE:** The cultivation will provide adequate measures that address the federal enforcement priorities for cannabis activities including restricting access to minors, prohibiting use or possession of firearms for security purposes at the premises, and ensuring that medical cannabis and medical cannabis products are supplied from permitted and licensed sources.
- EVIDENCE:**
- a) Plans and materials contained in file PLN170230 include descriptions of security measures that restrict youth access to the site. Unique identifiers, track and trace systems, and adequate records will be kept providing on-going evidence of non-diversion requirements. On-site security is prohibited from carrying lethal weapons.
  - b) Background checks on all employees, volunteers, principals, directors, and board members will be conducted. Any known association with organized crime may be grounds for denial of business permits and State licenses required to operate the dispensary.
  - c) Violations of Federal Enforcement priorities may be grounds for revocation of this permit.
- 8. FINDING:** **CEQA (Addendum)** – The project is consistent with the previously adopted Multi-Site Cannabis Initial Study/Mitigated Negative Declaration (IS/MND) and Addendum. Pursuant to Section 15162 of the CEQA Guidelines, the HCD Chief of Planning finds that the project does not require subsequent environmental review based on the following findings:
- 1) No substantial changes are proposed in the project which will require major revisions to the previous IS/MND and Addendum due to involvement of new significant environmental effects or a substantial increase in the severity of previously identified impacts;
  - 2) No substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions to the previous IS/MND and Addendum due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified effects; and

3) No new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the IS/MND was adopted.

- EVIDENCE:**
- a) The IS/MND for the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration (HCD-Planning File No. REF150048) (SCH No. 2020060325), adopted by the Board of Supervisors on November 17, 2020 (Board of Supervisor Resolution No. 20-381), evaluated potential cumulative effects of 45 sites that proposed to cultivate cannabis within existing greenhouses or industrial buildings. An Addendum to the IS/MND was prepared pursuant to CEQA Guidelines, Article 11, Section 15164. The Addendum effectively edits the TRA-1 Mitigation Measure to remove the responsibility of the county and the payment to the county for the improvements and construction necessary for the Old Stage/Spence Road. The mitigation measure still confirms that this construction will be necessary prior to or renewal of a commercial cannabis permit. The responsibility now falls upon the individual applicant, owner, and/or cannabis operator. This amendment was created to increase the fair-share contribution amounts based on updated costs for intersection improvements, and omit language allowing payment of fair-share contributions in phases and instead requiring payment of the total fair-share contribution. Mitigation Measures TRA-1 (as amended), TRA-2 and TRA-3 have been incorporated as project conditions of approval.
  - b) The project would include reconfiguration of existing greenhouses for cannabis cultivation, construction of a 9,000 square foot third party processing building, in addition to non-volatile manufacturing, all of which is consistent with establishment regulations.
  - c) Pursuant to Section 15168(c)(4) of the CEQA Guidelines, there is no new information of substantial importance that was not acknowledged when the IS/MND was adopted. According to the CEQA Consistency Checklist for Cannabis Cultivation Facilities (attached to this resolution as “Attachment 3” and incorporated herein by reference), no substantial changes occur with respect to the circumstances under the IS/MND and Addendum. The proposed project was analyzed and mitigated, as required in the previously identified significant effects at the time the IS/MND was adopted and the Addendum was considered.
  - d) Pursuant to Section 15162 of the CEQA Guidelines, there are no substantial modifications proposed in the project that would require major revision to the previously adopted IS/MND and Addendum. One of the modifications to the project has been with the associated Addendum, which merely changes the financial and project management responsibility of completing the traffic mitigation. This Addendum does not involve new significant environmental effects or

a substantial severity increase. The other modification is noted in the CEQA Consistency Checklist.

- e) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project is not in a particularly sensitive environment, would not result in cumulatively considerable impacts, would not impact a hazardous waste site or historical resources, and would not damage scenic resources.
- f) The materials upon which the County's decision is based are located in HCD-Planning, 1441 Schilling Place, 2<sup>nd</sup> Floor, Salinas, CA.
- g) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN170230.

9. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission.
- EVIDENCE:** Section 21.80.040.A of the Monterey County Zoning Ordinance (Planning Commission).

## DECISION

**NOW, THEREFORE**, based on the above findings and evidence, the Chief of HCD-Planning does hereby:

- A. Consider an Addendum together with the Multi-Site Cannabis Initial Study/Mitigated Negative Declaration (HCD-Planning File No. REF170315, SCH No. 2020060325), pursuant to CEQA Guidelines Section 15164; and
- B. Approve an Administrative Permit for establishment of a commercial cannabis operation consisting of up to 200,000 square feet of mixed-light cannabis cultivation and nursery in existing greenhouses, the use of an existing 5,196 square foot building for non-volatile manufacturing and the construction of a new 9,000 square foot building for 3rd party cannabis processing (drying, trimming and storage).

All of which are in general conformance with the attached sketch and subject to the conditions, both being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 21<sup>st</sup> day of December 2022.

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Craig Spencer, HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON \_\_\_\_\_

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE \_\_\_\_\_

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

### NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

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2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN170230

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** This Administrative permit (PLN170230) allows for establishment of a commercial cannabis operation consisting of up to 200,000 square feet of mixed-light cannabis cultivation and nursery in existing greenhouses, the use of an existing 5,196 square foot building for non-volatile manufacturing and the construction of a new 9,000 square foot building for 3rd party cannabis processing (drying, trimming and storage). The property is located at 26900, 26900 A & 26900 B Encinal Road, Salinas (Assessor's Parcel Number 137-061-026-000), Greater Salinas Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"An Administrative Permit (Resolution Number \*\*\*) was approved by the Chief of Planning for Assessor's Parcel Number 137-061-026-000 on December 21, 2022. The permit was granted subject to 18 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the HCD Chief of Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

## 3. PDSP001-OPERATIONAL COMPLIANCE INSPECTIONS

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The owner and permittees shall allow access to the premises and access to records if requested by the County, its officers, or agents, and shall pay for an annual inspection and submit to inspections from the County or its officers to verify compliance with all relevant rules, regulations, and conditions.

**Compliance or Monitoring Action to be Performed:** Ongoing during cannabis operations. The owner and/or permittee shall allow access to the site if requested by the County and pay any required inspection fees.

## 4. PDSP002 – INSPECTION OF RECORDS

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant, owner, and permittees agree to submit to and pay for, inspection of the operations and relevant records or documents necessary to determine compliance with Chapter 21/20.67 from any enforcement officer of the County or their designee.

**Compliance or Monitoring Action to be Performed:** On-going during cannabis operations. The owner and/or permittee shall allow access to cannabis business records and pay any required inspection fees.

## 5. PDSP003 – COMMERCIAL CANNABIS PERMIT

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Any person, business, or entity operating a commercial cannabis activity on the property shall obtain a valid and fully executed Commercial Cannabis Business Permit pursuant to Chapter 7.90 of the Monterey County Code prior to commencing commercial cannabis activities at the site and must maintain such permits in good standing in order to continue operations.

**Compliance or Monitoring Action to be Performed:** Within 90 days of approval of a Use Permit/Coastal Development Permit, the person, business, and/or entities operating commercial cannabis activities shall obtain all required Commercial Cannabis Business Permits.

## 6. PDSP004 – GROUNDS FOR REVOCATION

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The property owner shall be responsible for ensuring that all commercial cannabis activities at the site operate in good standing with all permits and licenses required by the Monterey County Code and State law. Failure to take appropriate action to evict or otherwise remove permittees and persons conducting commercial cannabis activities at the site who do not maintain permits and licenses in good standing with the County and State shall be grounds for the suspension or revocation of this permit.

**Compliance or Monitoring Action to be Performed:** On-going during cannabis operations at the site. The owner shall ensure that all commercial cannabis operations have obtained and maintain all required permits, licenses, and entitlements or take appropriate actions to evict operators who do not maintain appropriate permits, licenses, and entitlements.

## 7. PDSP005 – COMPLIANCE WITH OPERATIONS PLANS

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The commercial cannabis activities shall be maintained in accordance with the operation plans approved by the County.

**Compliance or Monitoring Action to be Performed:** On-going during cannabis operations. Cannabis activities shall comply with the operations plans attached to this permit and as may be approved under a Commercial Cannabis Business Permit.

## 8. PDSP006 – ODOR CONTROL

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The property owner shall ensure that any cannabis business operating on-site confirms to Section 7.90.100.A.8 of the Monterey Code, as may be amended. Odor prevention devices and techniques, such as ventilation system with a carbon filter, shall be incorporated to ensure that odors from cannabis are not detectable off-site.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Commercial Cannabis Business Permits, the owner/applicants shall provide plans and information to the satisfaction of the Chief of Planning, describing how odors will be controlled and how the odor control devices will be maintained.

Odor prevention devices shall be maintained in accordance with approved odor control plans during the life of the operations.

## 9. PD006(A) - CONDITION COMPLIANCE FEE

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

**Compliance or Monitoring Action to be Performed:** Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

**10. CC01 INDEMNIFICATION AGREEMENT**

**Responsible Department:** County Counsel-Risk Management

**Condition/Mitigation Monitoring Measure:** The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel-Risk Management)

**Compliance or Monitoring Action to be Performed:** Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management

**11. EHSP01 – CROSS CONNECTION CONTROL IMPROVEMENTS (Non-Standard)**

**Responsible Department:** Health Department

**Condition/Mitigation Monitoring Measure:** This site utilizes a connection to an existing water system (Encinal Road Water System #1). A Cross Connection Control Survey was completed for the site. Recommended improvements consist of the following:

- 1. Labeling of untreated hose bibs and faucets.
- 2. Installation of an RP device on 6" raw water line to fire tanks and greenhouses.
- 3. Installation of an RP device on the 4" treated water line to the new greenhouses.
- 4. Installation of vacuum breakers on all hose bibs.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of the Commercial Cannabis Business Permit, the applicant shall submit evidence to the satisfaction of the Environmental Health Bureau that the recommendations of the Cross Connection Control Survey have been implemented.

## 12. EHSP02 – BRINE WASTE STORAGE AND HAULING (Non-Standard)

**Responsible Department:** Health Department

**Condition/Mitigation Monitoring Measure:** The site currently discharges Reverse Osmosis (RO) brine/ reject waste from an irrigation water treatment system to the existing swimming pool. This is an unapproved means of discharge without additional improvements and would require approval and permitting by the Central Coast Regional Water Quality Control Board. The applicant proposes to install a new 5,000 gallon storage tank and proposes that the tank be pumped and hauled off site, indicated on a revised plumbing plan, prepared by WR&D Architects, LLP dated September 19, 2022. Records of the brine hauling shall be maintained on site and be presented to the EHB upon request.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of the Commercial Cannabis Business Permit (CNB), the applicant shall submit evidence to the satisfaction of the Environmental Health Bureau that the connection of the RO waste discharge line has been severed from the swimming pool and connected to the proposed 5,000 gallon tank equipped with a proper air gap. Records of brine hauling may be requested during routine inspections associated with the CNB. In the event that a CNB is no longer required, an operating permit may be required to be obtained from the EHB to ensure ongoing operation and maintenance of the storage tank system.

## 13. EHSP03 – DEMOLISH EXISTING ONSITE WASTEWATER TREATMENT SYSTEMS (Non-Standard)

**Responsible Department:** Health Department

**Condition/Mitigation Monitoring Measure:** A previously unreported existing onsite wastewater treatment system (OWTS) was located near the distribution building "C". This OWTS was determined to not be connected to any structure or functional and shall be demolished or abandoned pursuant to the standards found in Monterey County Code (MCC), Chapter 15.20 and the Monterey County Local Agency Management Program (LAMP).

**Compliance or Monitoring Action to be Performed:** Prior to issuance of the Commercial Cannabis Business Permit, the applicant shall submit an OWTS Demolition permit application and all applicable fees to the Environmental Health Bureau for review and approval. The septic tank shall be demolished in accordance with the approved permit.

## 14. PWSP0001 – DRIVEWAY IMPROVEMENTS

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Applicant/Owner shall improve the existing roadway connection/pavement to Encinal Road.  
Drainage in this area shall be evaluated as part of this proposed project, and as needed, improvements will be required to maintain drainage and safe access to the project site.

**Compliance or Monitoring Action to be Performed:** Design and construct driveway/roadway improvements to insure proper drainage. Show all proposed improvements on site plan for the intersection of Encinal Road and private driveway. Improvements are to be completed prior to occupancy or commencement of use. Encroachment permits are required for work done within the county right of way. Applicant is responsible to obtain all permits and environmental clearances

## 15. WRSP01 - ON-SITE ROOF RUNOFF RETENTION CERTIFICATION

**Responsible Department:** Water Resources Agency

**Condition/Mitigation Monitoring Measure:** The owner/applicant shall provide certification from a registered civil engineer that the existing greenhouses and any newly reconstructed greenhouses/warehouses are equipped with stormwater retention/percolation facilities which have been properly maintained/installed and are operating as required (i.e., in accordance with the flood and storm water control policies for the Spence/Potter/Encinal Road area & the 25-year rainfall on-site retention requirement). The Water Resources Agency (WRA) is in receipt of a grading and drainage plan prepared by C3 Engineering, dated 03/08/2018, which gives preliminary detail for these measures. In addition to retention, flood flows in excess of the 25-year design storm shall be received by water bodies and not detained. The project is located in the WRA Zone No. 2C Salinas Valley Water Project. The zone was created to reduce flooding impacts on the Salinas River and provide water conservation. The project site naturally drains to the Salinas River via Quail Creek and its important flood flows are received so they can be conveyed and/or infiltrated along the Salinas River as necessary. Prior to approval of the cannabis business license, the on-site retention certification shall be submitted to the WRA for review and approval. (Water Resources Agency)

**Compliance or Monitoring Action to be Performed:** The owner/applicant shall incorporate measures to control flood and storm water in a manner consistent with the Spence Road Master Drainage Plan and other applicable policies. As described in the plan, in 1985 Monterey County initiated a program for the control of flow from the roofs of all new greenhouses. The construction of new greenhouses is contingent upon demonstrating that the increased runoff from the greenhouses can be disposed of on-site.

Prior to approval of the cannabis business license, the on-site retention certification verifying on-site disposal/infiltration of storm water runoff shall be submitted to the Water Resources Agency for review and approval.

**16. MM TRA-1**

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** MM TRA-1: "TRA-1 (FAIR SHARE CONTRIBUTION – DIRECT IMPACT): Prior to the issuance or renewal of commercial cannabis permits, the owner, applicant, and/or cannabis operator shall enter into an agreement with Monterey County requiring that the intersection improvements be installed by the applicant, owner, and/or cannabis operator within a reasonable time. The agreement shall specify the intersection improvements components, for which shall be installed in accordance with all applicable rules and regulations, and identify the date which the intersection improvement shall be completed

- Old Stage Road/Spence Road: Widen Spence Road for separate right turn lane and shared through-left lane for the NB approach.

**Compliance or Monitoring Action to be Performed:** Prior to issuance or renewal of a commercial cannabis permit, the owner, applicant, and/or cannabis operator shall enter into an agreement with Monterey County as specific in the condition. Construction of improvements to the Old Stage Road/Spence Road intersection identified in Appendix H of the Traffic Impact Study prepared for the Multiple Cannabis Cultivation Facilities Initial Study (State Clearinghouse Number: 2020060325), shall be constructed by the owner, applicant, and/or cannabis operator(s) within a reasonable time subsequent to the issuance or renewal of commercial cannabis permits that allow new or expanded commercial cannabis activities impacting the intersection.

## 17. MM TRA-2: TAMC RDIF

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Prior to the issuance or renewal of the commercial cannabis permits, each project applicant shall pay the TAMC RDIF, in the amount specified in Appendix G of the Traffic Impact Study, for the following improvements:

- US 101/Hartnell Road, US 101/Spence Road, US 101/Potter Road: Regional Improvement Project #7 US-101 South County Phase 1 to eliminate the at-grade highway crossings and construct a two-lane frontage road on the east side of US 101 from Harris Road to Chualar where the frontage road will link a new interchange to Harris Road/US 101.
- US 101 between Prunedale Road and Sala Road: US 101 capacity improvements with the City of Salinas.
- US 101 between Sala Road and Boronda Road: US 101 capacity improvements with the City of Salinas.
- US 101 between Boronda Road and Laurel Drive: US 101 capacity improvements with the City of Salinas.

Fees shall be paid in accordance with the square footage of cultivation building areas approved in the Planning entitlements for each site. If approved as part of a phased development, the traffic fee may be paid in increments corresponding to the timing and square footage of cultivation building area approved in each phase of development . Such timing and square footage shall be denoted as a condition of approval for each project proposing a phased cultivation plan. Adjustments to the phasing schedule can be approved by the Chief of Planning

**Compliance or Monitoring Action to be Performed:** Prior to issuance of cannabis permits, the applicant shall pay their fair share TAMC RDIF fee.

## 18. MM TRA-3: CUMULATIVE IMPACT FEES

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Prior to the issuance or renewal of the commercial cannabis permits, each applicant shall pay its fair contribution to the County in the amount specified in Appendix H of the Traffic Impact Study ("Cumulative Impacts Fee"), for the following intersection improvements:

- Boronda Road/N. Main Street: Modify the existing traffic signal equipment to provide for a right-turn overlap signal phase for the SB approach
- Alisal Road/Hartnell Road: Install a traffic signal. Widen the NB approach with single left-turn and single right-turn lanes, EB approach with a single shared through-right lane, and WB approach with single left-turn and single through lanes.
- Alisal Road/Fuji Lane: Widen the NB approach to include single left-turn and single right-turn lanes, the EB approach to include a single shared through-right lane, and the WB approach to include single left-turn and single through lanes.
- Alisal Road/Old Stage Road: Widen the SB approach to include single left-turn and single right-turn lanes, the EB approach to include single left-turn and single through lanes, and the WB approach to include single through and single right-turn lanes.
- Old Stage Road/Spence Road: Install a traffic signal. Widen the NB approach to include single shared left-through and single right lanes, the EB approach to include single left-turn and single shared through-right lanes, and the WB approach to include single left-turn and single shared through-right lanes.
- Old Stage Road/Encinal Road: Install a traffic signal. Widen the NB approach to include single left-turn and single right-turn lanes, the EB approach to include single through and single right-turn lanes, and the WB approach to include single left-turn and single through lanes.
- Old Stage Road/Potter Road: Widen the NB approach to include single left-turn and single right-turn lanes, the EB approach to include a single shared through-right lane, and the WB approach to include single left turn and single through lanes.

Fees shall be paid in accordance with the square footage of cultivation building areas approved in the Planning entitlements for each site. If approved as part of a phased development, the traffic fee may be paid in increments corresponding to the timing and square footage of cultivation building area approved in each phase of development. Such timing and square footage shall be denoted as a condition of approval for each project proposing a phased cultivation plan. Adjustments to the phasing schedule can be approved by the Chief of Planning. To ensure that the improvements are constructed, the County shall either establish intersection improvement funds for each of the aforementioned intersections, or one general transportation improvement fund for all intersection improvements, and deposit each applicant's fair share contribution into said fund(s) as they are collected. When the estimated cost of an improvement is fully funded, the County shall cause the construction of the improvements in accordance with applicable rules and regulations governing the construction of these intersection improvement projects. Should the County elect to create one general transportation improvement fund, improvements shall be prioritized and constructed as deemed appropriate by the County, as not all individual improvements may be fully funded when the improvement is determined to be necessary to construct.

**Compliance or Monitoring Action to be Performed:** Prior to issuance or renewal of commercial cannabis permits, the applicant shall pay their fair contribution of the traffic cumulative impacts fee.

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# USE PERMIT FOR: QUAIL CREEK FARMS INC.

26900 ENCINAL ROAD  
SALINAS, CA 93908

PLN#170230

## PROJECT INFORMATION

**PROJECT DESCRIPTION:** RECONFIGURE EXISTING GREENHOUSE SPACE, METAL BUILDINGS, AND ACCESSORY STRUCTURES ALONG WITH NEW METAL BUILDINGS FOR CULTIVATION, AND PROCESSING OF CANNABIS IN SIMILAR MANNER AS PREVIOUSLY USED FOR THE CULTIVATION AND PROCESSING OF CUT FLOWERS AND NON-VOLATILE CANNABIS MANUFACTURING, BUILD TENANT SEPARATION FENCING, NEW GUARD STATION, NEW SECURITY CAMERAS AND EXTERIOR LIGHTING.

**PROJECT ADDRESS:** 26900 ENCINAL ROAD  
SALINAS, CA 93908

**LOT SIZE:** 435,614 S.F. (10.0 ACRES)

**LOT COVERAGE:** 206,942 S.F. (47.5%)

**FLOOR AREA RATIO:** 206,942 S.F. (47.5%)

**IMPERVIOUS COVERAGE:** BUILDINGS: 206,942 S.F.  
OTHER: 23,958 S.F.  
TOTAL: 230,900 S.F.

## SHEET INDEX

**SHT. #** **SHEET TITLE**

T1.1 TITLE SHEET

**ARCHITECTURAL**

A0.1 FIRE ACCESS PLAN

A1.1 SITE PLAN

A2.1 PROCESSING FLOOR PLANS - BUILDING 'B'

A2.2 GREENHOUSE FLOOR PLANS - BUILDINGS 'D' & 'E'

A2.3 GREENHOUSE FLOOR PLANS - BUILDINGS 'F' & 'G'

A2.4 GREENHOUSE FLOOR PLAN - BUILDING 'H'

A2.5 (N) PROCESSING FLOOR PLAN - BUILDING 'J'

A4.1 (N) PROCESSING ELEVATIONS - BUILDING 'J'

**CIVIL**

C1 GRADING AND DRAINAGE PLAN

C2 EROSION CONTROL PLAN

C3 SEPTIC LAYOUT PLAN

**SITE UTILITIES**

SU0.1 NOTES & DOCS

SU0.2 NOTES & DOCS

### APPLICABLE BUILDING CODES & STANDARDS

**CALIFORNIA CODE OF REGULATIONS (CCR):**

2019 CALIFORNIA ADMINISTRATIVE CODE (CAC), CCR TITLE 24, PART 1

2019 CALIFORNIA BUILDING CODE (CBC), CCR TITLE 24, PART 2, VOLUMES 1 AND 2

2019 CALIFORNIA RESIDENTIAL CODE (CRC), CCR TITLE 24, PART 2.5

2019 CALIFORNIA ELECTRICAL CODE (CEC), CCR TITLE 24, PART 3

2019 CALIFORNIA MECHANICAL CODE (CMC), CCR TITLE 24, PART 4

2019 CALIFORNIA PLUMBING CODE (CPC), CCR TITLE 24, PART 5

2019 CALIFORNIA ENERGY CODE (CEC), CCR TITLE 24, PART 6

PART 7 VACANT

2019 CALIFORNIA HISTORICAL BUILDING CODE (CHBC), CCR TITLE 24, PART 8

2019 CALIFORNIA FIRE CODE (CFC), CCR TITLE 24, PART 9

2019 CALIFORNIA EXISTING BUILDING CODE (CEBC), CCR TITLE 24, PART 10

2019 CALIF. GREEN BUILDING STANDARDS CODE (CALGreen), CCR TITLE 24, PART 11

2019 CALIFORNIA REFERENCED STANDARDS CODE, CCR TITLE 24, PART 12

CCR TITLE 19, PUBLIC SAFETY, DIVISION 1, STATE FIRE MARSHAL

**EXITING:**

NOTE: THIS BUILDING OR SPACE SHALL PROVIDE A READILY DISTINGUISHABLE MEANS OF EGRESS COMPLYING WITH CHAPTER 10 AND CHAPTER 11 (WHERE APPLICABLE FOR ACCESSIBILITY PURPOSES) OF THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE. THE EXIT SYSTEM SHALL MAINTAIN A CONTINUOUS, UNOBSTRUCTED AND UNDIMINISHED PATH OF EXIT TRAVEL FROM ANY OCCUPIED POINT WITHIN THE BUILDING TO A PUBLIC WAY.

## ABBREVIATIONS

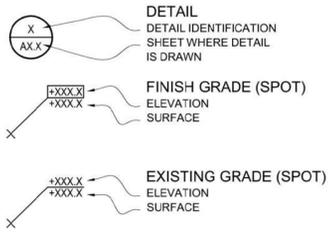
&	AND	H.B.	HOSE BIB	STD.	STAGGERED STORAGE
@	ANGLE	H.B.D.	HARDBOARD	STOR.	STRUCTURAL SUSPENDED SYMMETRY(CAL) SYSTEM
Ø	CENTERLINE DIAMETER OR ROUND PERPENDICULAR PROPERTY LINE	H.A.	HOLLOW CORE HEADER	TEMP.	TEMPERED
∅	DIAMETER OR ROUND	HDR.	HARDWARE	T.E.N.	TYPICAL EDGE NAILING
∅	DIAMETER OR ROUND	H.D.W.R.	HOLLOW METAL	T.F.H.	TONGUE & GROOVE THICKNESS
#	POUND OR NUMBER	H.M.	HORIZONTAL HEAVY SHEET	T.H.	TRUSS JOIST INTERNATIONAL TOP OF
A.B.	ANCHOR BOLT	H.P.	HOT WATER	T.P.H.	TOILET PAPER HOLDER TOP OF PAVEMENT
A.B.S.	ACRYLONITRILE BUTADIENE ABOVE	H.T.	HEIGHT	T.V.	TELEVISION TOP OF WALL TYP.
ABV.	ASPHALTIC CONCRETE	H.T.G.	HEATING	T.W.	TYPICAL
A.C.	AIR CONDITIONING	H.W.D.	HARDWOOD HEATING/VENTILATING/AIR CONDITIONING	U.I.	UNDERWRITER'S LABORATORY UNLESS NOTED OTHERWISE UNLESS OTHERWISE NOTED URINAL
ACOUS.	ACOUSTICAL	H.V.A.C.	HVAC	U.O.N.	URINAL
ADJ.	ADJUSTABLE	I.C.C.	INTERNATIONAL CODE COUNCIL	V.I.F.	VERIFY IN FIELD
A.F.F.	ABOVE FINISH FLOOR	I.D.	INSIDE DIAMETER	W.	WESTWIDTH/WIDE WITH
AGGR.	AGGREGATE	I.N.C.L.	INCLUDED (ING)	W.C.	WOOD CLOSET
ALUM.	ALUMINUM	I.N.S.U.L.	INSULATED (ING)	W.D.	WOOD WINDOW
ANOD.	ANODIZED	I.N.T.	INTERIOR	W.D.W.	WOOD WATER HEATER
A.P.A.	AMERICAN PLYWOOD ASSOCIATION	I.N.V.	INVERT	W.H.	WOODWORK INSTITUTE WITHOUT
APPROX.	APPROXIMATE	J.A.N.	JANITOR	W.O.	WOOD WATERPROOFING
ARCH.	ARCHITECTURAL	J.H.	JOIST HANGER	W.R.	WATER RESISTANT
A.S.	ADJUSTABLE SHELF	J.T.	JOINT	W.S.	WOOD SCREW
BD.	BOARD	J.T.	JOIST HANGER	W.S.C.	WOOD SCREW WEIGHT
BIT.	BITUMINOUS	J.T.	JOIST HANGER	W.W.M.	WELDED WIRE MESH
BLDG.	BUILDING	K.I.T.	KITCHEN		
BLK.	BLOCK	L.	LENGTH		
BLK.G.	BLOCKING	L.A.M.	LAMINATED		
BM.	BEAM	L.A.V.	LAVATORY		
B.M.	BENCH MARK	L.B.	LAG BOLT		
B.M.	BOTTOM	L.C.	LOCATE (ON)		
BRG.	BEARING	L.L.	LAMINATED VENEER LUMBER		
BTWN.	BETWEEN	L.W.	LIGHTWEIGHT		
B.U.R.	BUILD-UP ROOFING	M.A.S.	MASONRY MATERIAL(S)		
B.W.	BOTH WAYS	M.A.X.	MAXIMUM		
CAB.	CABINET	M.B.	MACHINE BOLT		
C.B.	CATCH BASIN	M.C.	MACHINERY CABINET		
CBC.	CALIFORNIA BUILDING CODE	M.H.	MAN HOLE		
CBM.	CEMENT	M.E.C.H.	MECHANICAL		
CER.	CERAMIC	M.E.M.B.	MEMBRANE		
C.F.C.I.	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	M.E.Z.Z.	MEZZANINE		
C.F.	CUBIC FEET	M.F.R.	MANUFACTURE(ER)		
C.I.	CAST IRON	M.I.N.	MINIMUM		
C.J.	CONTROL JOINT	M.I.R.	MIRROR		
C.L.G.	CLOSE	M.I.S.C.	MISCELLANEOUS		
CLK.	CAULKING	M.L.D.G.	MOLDING/MOULDING		
CLF.	CLIFF	M.L.L.	MALLEABLE IRON WASHER		
C.M.U.	CONCRETE MASONRY UNIT	M.O.	MASONRY OPENING		
COL.	COLUMN	M.T.D.	METAL MULION		
COMP.	COMPOSITION	M.T.	METAL MULION		
CONC.	CONCRETE	N.	NORTH		
CONN.	CONNECTION	N.A.T.	NATURAL		
CONSTR.	CONSTRUCTION	N.C.	NOT IN CONTRACT		
CONT.	CORRUGATED	N.M.	NOMINAL		
COR.	CORRUGATED	N.T.S.	NOT TO SCALE		
C.O.T.G.	CLEAN-OUT TO GRADE	O.	OVER		
CSMT.	CASEMENT	O.B.S.	OBSCURE		
CSWK.	CERAMIC TILE	O.C.	ON CENTER(S)		
C.T.	COUNTER	O.D.	OUTSIDE DIAMETER		
CTR.	COUNTERSINK	O.F.	OFFICE		
CTS.K.	CUBIC YARD	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED		
DBL.	DOUBLE	O.F.O.I.	OWNER FURNISHED, OWNER INSTALLED		
DEPT.	DEPARTMENT	O.H.	OVER HANG		
DET.	DETAIL	O.H.M.S.	OVALHEAD MACHINE SCREW		
D.F.	DRINKING FOUNTAIN	O.H.W.S.	OVALHEAD WOOD SCREW		
D.F.	DOUGLAS FIR	O.P.N.G.	OPENING		
D.G.	DECOMPOSED GRANITE	O.P.P.	OPPOSITE		
D.H.	DOUBLE HUNG	P.A.F.	POWDER ACTUATED FASTENER		
DIAG.	DIAGONAL	P.A.R.T.	PARTICLE BOARD		
DIA.	DIAMETER	P.F.	POUNDS PER SQUARE FOOT		
DIMEN.	DIMENSION	P.D.	POWDER DRIVEN		
DISP.	DISPENSER/DISPOSER	P.G.	PAINT GRADE		
DN.	DOWN	P.G.	PERFORATE		
DOOR.	DOOR	P.L.F.	POUNDS PER LINEAR FOOT		
DRWG.	DRAWING	P.L.A.S.	PLAS. LAM.		
D.S.B.	DBL. STRENGTH B GRADE (GLASS)	P.L.A.S.	PLASTER		
D.S.	DOWNSPOUT	P.L.A.S.	PLYWOOD		
DWR.	DRAWER	P.P.	POUNDS PER SQUARE FOOT		
D.W.	DISH WASHER	P.P.F.	POUNDS PER SQUARE INCH		
E.	EAST	P.P.T.	PRESSURE TREATED		
E.A.	EACH	P.P.T.	PARTITION		
ELEV.	ELEVATION, ELEVATOR	P.T.	PARTITION		
ELEC.	ELECTRICAL	P.T.	PARTITION		
EMER.	EMERGENCY	P.T.	PARTITION		
ENCL.	ENCLOSURE	P.T.	PARTITION		
EQUIP.	EQUIPMENT N.L.C. W/ WITH	P.T.	PARTITION		
EWC.	ELECTRIC WATER COOLER	P.T.	PARTITION		
EXIST.	EXISTING	P.V.C.	POLYVINYL CHLORIDE		
EXH.	EXHAUST	R.	RISER		
EXP.	EXPOSED/EXPANSION	R.A.	RETURN AIR		
EXT.	EXTERIOR	R.	RADIUS		
F.A.	FIRE ALARM	R.D.	ROOF DRAIN		
FAST.	FASTENER	R.E.G.	REGISTER		
F.A.	FLAT BAR	R.E.F.	REFRIGERATOR		
F.D.	FLOOR DRAIN	R.E.I.N.F.	REINFORCED		
F.E.C.	FIRE EXTINGUISHER CABINET	R.E.Q.D.	REQUIRED		
F.F.	FINISH FLOOR	R.E.Q.D.	REQUIRED		
F.G.	FINISH GRADE	R.E.V.	REVERSED		
F.H.D.	FOUNDATION	R.H.M.S.	ROUNDHEAD MACHINE SCREW		
F.E.	FIRE EXTINGUISHER	R.H.W.S.	ROUNDHEAD WOOD SCREW		
F.F.	FIBERGLASS	R.M.	ROOM		
FIN.	FINISHED	R.O.	ROUGH OPENING		
F.H.M.S.	FLATHEAD MECHANICAL SCREW	R.O.W.	RIGHT OF WAY		
F.H.W.S.	FLATHEAD WOOD SCREW	R.S.	RESAWN		
FLASH.	FLASHING	RUB.	RUBBER		
FLOR.	FLOORING	R.W.D.	REDWOOD		
F.O.	FACE OF	R.W.L.	RAIN WATER LEADER		
F.O.B.	FACE OF BLOCK	S.	SOUTH		
F.O.C.	FACE OF CONCRETE	S.B.	SOLID BLOCKING		
F.O.F.	FACE OF FINISH	S.C.	SCHEDULE		
F.O.M.	FACE OF MASONRY	S.A.	STORM DRAIN		
F.O.S.	FACE OF STUD	S.E.C.T.	SECTION		
F.P.	FIREPLACE	S.E.R.V.	SERVICE		
F.R.P.	FIBERGLASS REINF. PANEL	S.F.	SQUARE FOOT		
F.S.	FULL SIZE	S.G.	STAIN GRADE		
FT.	FOOT/FEET	S.H.	SHELVING		
FTG.	FOOTING	S.H.W.R.	SHOWER		
FUR.	FURRING	S.H.T.	SHEET		
FUT.	FUTURE	S.H.T.G.	SHEATHING		
G.A.	GAUGE/GAGE	S.I.M.	SIMILAR		
GALV.	GALVANIZED	S.S.	STAINLESS STEEL SERVICE		
G.B.	GRAB BAR	S.S.D.	SEE STRUCTURAL DRAWINGS		
G.I.	GALVANIZED IRON	S.M.	SHEET METAL SCREW		
G.L.	GLASS/GLAZING	S.M.S.	SHEET METAL SCREW SPECIFICATION		
G.L.B.	GLUE-LAM BEAM	S.P.C.	SQUARE		
G.R.	GRADE(ING)	S.Q.	SQUARE		
G.W.B.	GYPSTUM WALLBOARD	S.T.L.	STEEL		

## LEGEND

	EARTH
	ROCK
	SAND, MORTAR, PLASTER
	CONCRETE BLOCK
	CAST-IN-PLACE (C.I.P.) CONCRETE
	(E) STUD WALL
	(N) STUD WALL
	(E) STUD WALL TO BE REMOVED
	SOUND INSULATED STUD WALL
	METAL
	WOOD FINISH
	WOOD FRAMING CONTINUOUS MEMBER
	WOOD BLOCKING
	PLYWOOD
	GYPSTUM WALLBOARD
	A.C. PAVING

## SYMBOLS

	DOOR SYMBOL
	WINDOW SYMBOL
	KEY TAG
	DEMOLITION TAG
	MATCH LINE
	WORK POINT, DATUM POINT OR CONTROL
	VERTICAL OR HORIZONTAL DIAPHRAGM KEY
	SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN
	PROPERTY LINE
	REVISION



## ROOM LEGEND

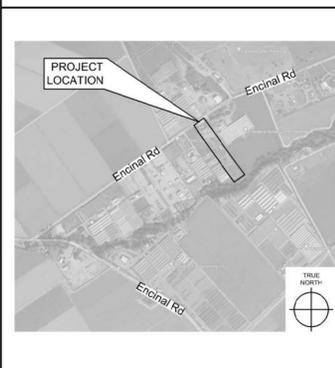
BUILDG	USE DESCRIPTION	(E) OCC.	(N) OCC.	CONST. TYPE	BUILDING HEIGHT	GROSS S.F.
(A)	RESIDENCE	R-3	R-3	V-B	<35'-0"	4,734 S.F.
(B)	PROCESSING/ RESTROOMS / NON-VOLATILE MANUFACTURING	F-1	F-1	V-B	<35'-0"	5,196 S.F.
(C)	NURSERY	S-1	S-1	V-B	<35'-0"	1,296 S.F.
(H)	CULTIVATION	U	U	II-B	<35'-0"	47,396 S.F.
PREVIOUSLY ESTABLISHED GREENHOUSE AREA						EXISTING BUILDING AREA 58,622 S.F.
	CULTIVATION	U	N/A	II-B	<35'-0"	111,467 S.F.
	CULTIVATION	U	N/A	II-B	<35'-0"	57,800 S.F.
RECONFIGURED GREENHOUSE AREA						TOTAL REMOVED GREENHOUSE AREA 171,691 S.F.
(D)		U	U	II-B	<35'-0"	43,200 S.F.
(E)		U	U	II-B	<35'-0"	21,600 S.F.
(F)		U	U	II-B	<35'-0"	43,200 S.F.
(G)		U	U	II-B	<35'-0"	40,320 S.F.
NEW BUILDING AREA						TOTAL RECONFIGURED GREENHOUSE AREA 148,320 S.F.
(J)		N/A	F-1	V-B	<35'-0"	9,000 S.F.
						TOTAL NEW PROCESSING BUILDING AREA 9,000 S.F.

## GREENHOUSE AREA

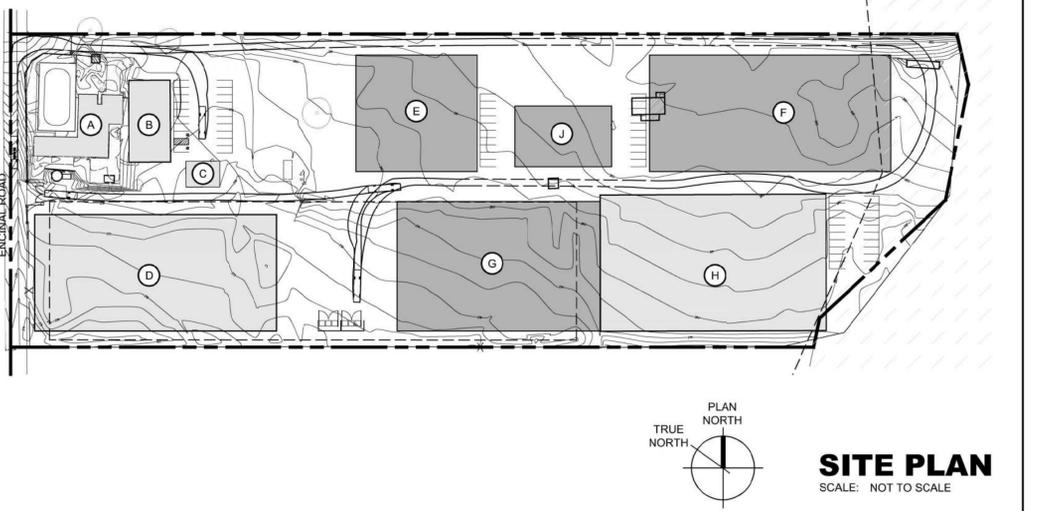
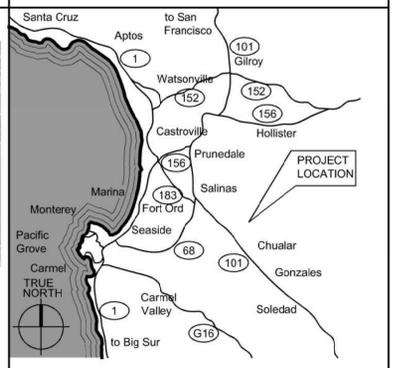
BUILDG	USE DESCRIPTION	EXISTING	REMOVED	NEW	TOTAL
	GREENHOUSE	111,467 S.F.	111,467 S.F.	--	--
	GREENHOUSE	57,800 S.F.	57,800 S.F.	--	--
(H)	GREENHOUSE	49,250 S.F.	2,424 S.F.	47,396 S.F.	47,396 S.F.
(D)	GREENHOUSE	--	--	43,200 S.F.	43,200 S.F.
(E)	GREENHOUSE	--	--	21,600 S.F.	21,600 S.F.
(F)	GREENHOUSE	--	--	43,200 S.F.	43,200 S.F.
(G)	GREENHOUSE	--	--	40,320 S.F.	40,320 S.F.
TOTALS		218,547	--	195,716 S.F.	--

SITE COVERAGE: TOTAL SITE COVERAGE: 206,942 / 435,614 = 47.5% (50% MAX. ALLOWED)  
NON-GREENHOUSE: 20,226 / 435,614 = 4.6% (5% MAX. ALLOWED)

## VICINITY MAP



## LOCATION MAP



**55**

**WR&D**

WALD RUHNKE & DOST ARCHITECTS LLP

2340 GARDEN ROAD, SUITE 100  
MONTEREY, CALIFORNIA 93940

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A.P.N.: 137-061-026-000

**QUAIL CREEK FARMS INC.**  
26900 ENCINAL ROAD

QUAIL CREEK FARMS  
VESELIN MINKOV  
26900 ENCINAL ROAD  
SALINAS, CA 93908

JOB NO.: 21054

PRINT DATE: PLOT DATE: 11.18.2022

DRAWN BY: CHECKED BY: SET ISSUED: 7/14/21 1st Submittal

SHEET NAME: TITLE SHEET

SHEET NO.: T1.1

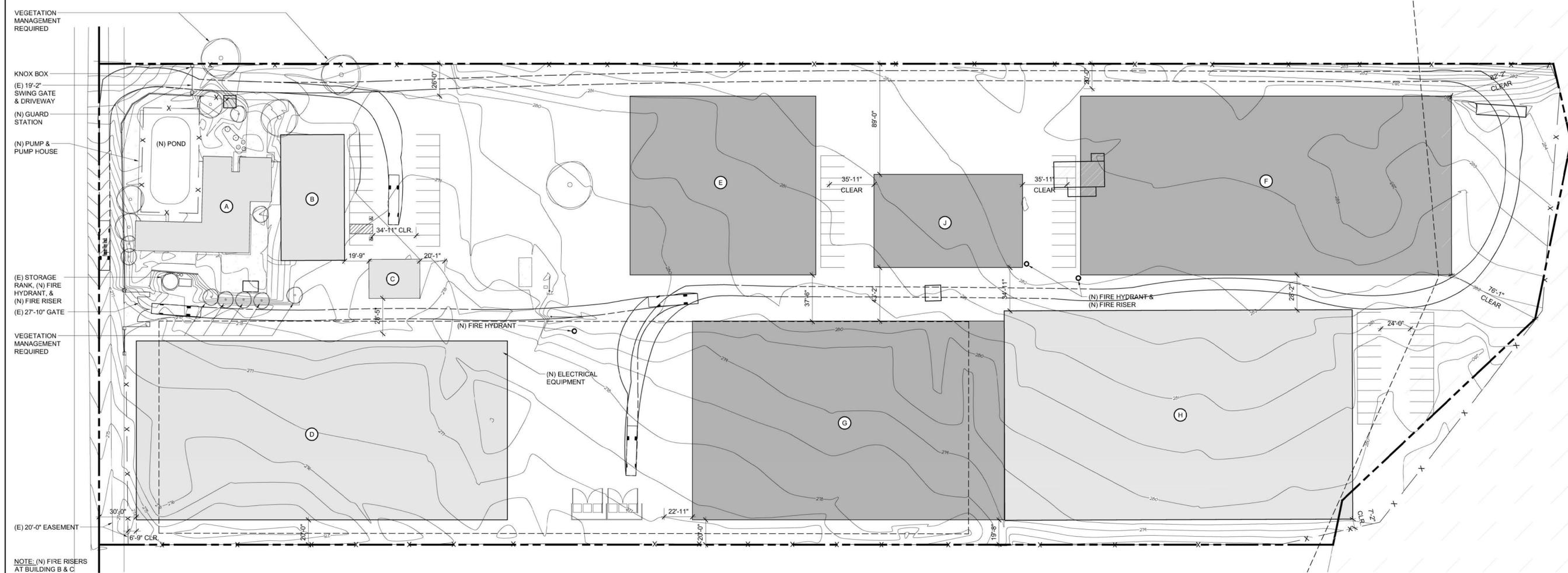
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A.P.N.: 137-061-026-000

**QUAIL CREEK FARMS INC.**  
**26900 ENCINAL ROAD**  
 QUAIL CREEK FARMS  
 VESELIN MINKOV  
 26900 ENCINAL ROAD  
 SALINAS, CA 93908



**1 FIRE ACCESS PLAN**  
 SCALE: 1" = 40'

NOTE: (N) FIRE RISERS AT BUILDING B & C

**FIRE DEPARTMENT NOTES**

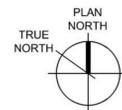
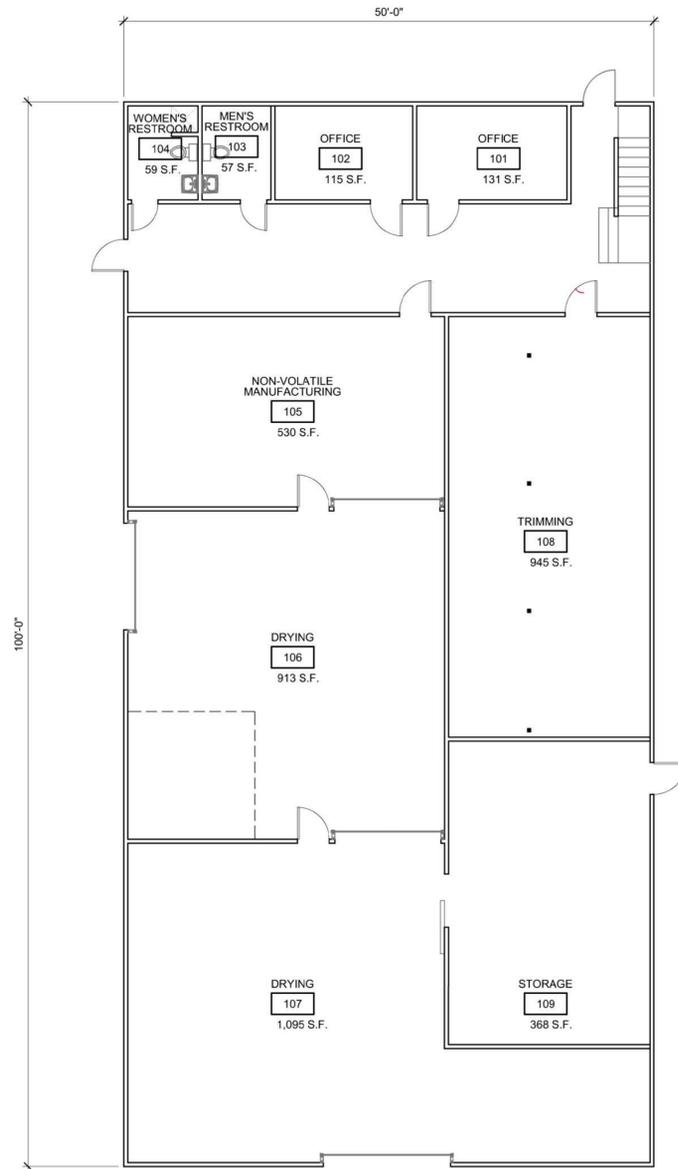
- ROAD ACCESS:** ACCESS ROADS SHALL BE REQUIRED FOR EVERY BUILDING WHEN ANY PORTION OF THE EXTERIOR WALL OF THE FIRST STORY IS LOCATED MORE THAN 150'-0" FROM FIRE DEPARTMENT ACCESS. ALL ROADS SHALL BE CONSTRUCTED TO PROVIDE A MINIMUM WIDTH OF 20'-0" WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15'-0". THE ROADWAY SURFACE SHALL PROVIDE UNOBSTRUCTED ACCESS TO CONVENTIONAL DRIVE VEHICLES INCLUDING SEDANS AND FIRE APPARATUS AND SHALL BE AN ALL-WEATHER SURFACE DESIGNED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS (22 TONS).
- FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM:** THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR TO THE FIRE CODE OFFICIAL AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A CONSTRUCTION PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR AND COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION.
- FIRE ALARM SYSTEM (COMMERCIAL):** THE BUILDING(S) SHALL BE FULLY PROTECTED WITH AN APPROVED CENTRAL STATION, PROPRIETARY STATION, OR REMOTE STATION AUTOMATIC FIRE ALARM SYSTEM AS DEFINED BY NFPA 72. PLANS AND SPECIFICATIONS FOR THE FIRE ALARM SYSTEM SHALL BE SUBMITTED BY A CALIFORNIA LICENSED C-10 CONTRACTOR TO THE FIRE CODE OFFICIAL AND APPROVED PRIOR TO REQUESTING A ROUGH SPRINKLER OR FRAMING INSPECTION.
- DEFENSIBLE SPACE REQUIREMENTS:** MANAGE COMBUSTIBLE VEGETATION FROM WITHIN 100'-0" OF STRUCTURE, OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. TRIM TREE LIMBS TO A MINIMUM OF 6'-0" FROM THE GROUND. REMOVE TREE LIMBS FROM WITHIN 10'-0" OF CHIMNEYS. ADDITIONAL AND/OR ALTERNATIVE FIRE PROTECTION OR FIREBREAKS APPROVED BY THE FIRE CODE OFFICIAL MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION TO BE DETERMINED BY THE FIRE CODE OFFICIAL AND THE DIRECTOR OF THE RESOURCE MANAGEMENT AGENCY.
- ADDRESSES FOR BUILDINGS:** ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF 4" HEIGHT, 1/2" STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF A NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THE SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.
- GATES:** ALL GATES PROVIDING ACCESS FROM THE ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST 30'-0" FROM THE ROADWAY AND SHALL OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THE ROAD. GATE ENTRANCES SHALL BE AT LEAST THE WIDTH OF THE TRAFFIC BUT IN NO CASE LESS THAN 12'-0" WIDE. WHERE A ONE-WAY ROAD WITH A SINGLE TRAFFIC LANE PROVIDES ACCESS TO A GATED ENTRANCE, A 40'-0" TURNING RADIUS SHALL BE USED. WHERE GATES ARE TO BE LOCKED, THE INSTALLATION OF A KEY BOX OR OTHER ACCEPTABLE MEANS FOR IMMEDIATE ACCESS BY EMERGENCY EQUIPMENT MAY BE REQUIRED.
- EMERGENCY ACCESS KEY BOX:** EMERGENCY ACCESS KEY BOX (KNOX BOX) SHALL BE INSTALLED AND MAINTAINED. THE TYPE AND LOCATION SHALL BE APPROVED BY THE FIRE DEPARTMENT. THE FIRE DEPARTMENT SHALL BE NOTIFIED WHEN LOCKS ARE CHANGED SO THAT EMERGENCY ACCESS KEY BOX CAN BE UPDATED WITH CURRENT KEYS.

**LEGEND**

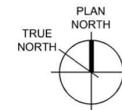
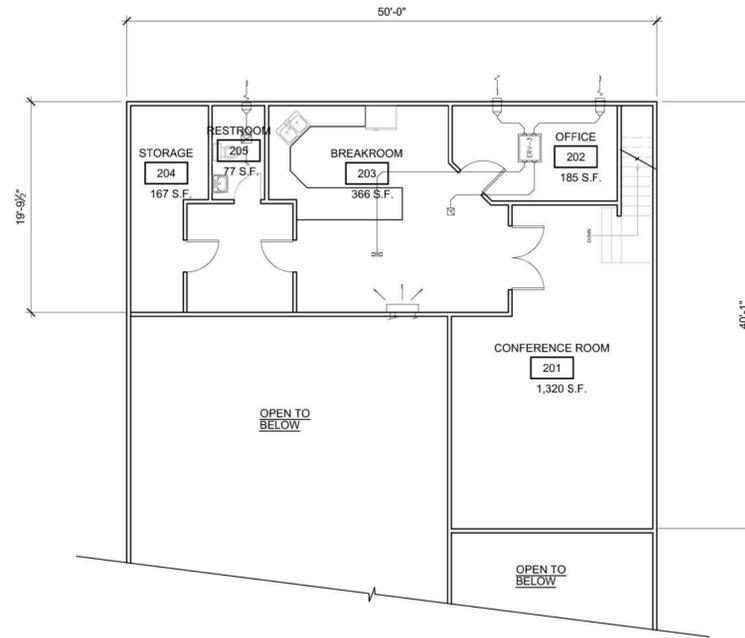
— — — — — (E) PROPERTY LINE	[Grey Box] (E) BUILDING	[Pattern Box] (E) LANDSCAPING
— — — — — MAIN SETBACK	[Dark Grey Box] PROPOSED BUILDING	[Pattern Box] (E) CONCRETE
— — — — — ACCESSORY SETBACK	[Dashed Box] FIRE ACCESS ROUTE	[Pattern Box] (E) A/C PAVING
— X — (E) FENCE		[Pattern Box] FLOOD ZONE
— — — — — (E) EASEMENT		

JOB NO.: 21054  
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 SET ISSUED:  
 7/14/21 1st Submittal  
 SHEET NAME:  
**FIRE ACCESS PLAN**  
 SHEET NO.:  
**A0.1**  
 FILE NAME: 21054-A0.1





**1 PROCESSING FLOOR PLAN - GROUND FLOOR**  
SCALE: 1/8" = 1'-0"



**2 PROCESSING FLOOR PLAN - MEZZANINE**  
SCALE: 1/8" = 1'-0"

- NOTES:
1. THE MAXIMUM TRAVEL DISTANCE FROM ANY POINT IN THE BUILDING TO AN APPROVED EXIT SHALL NOT EXCEED 300'-0".
  2. ONE EXIT IS REQUIRED FOR EACH 15,000 S.F. OF AREA OR FRACTION THEREOF.
  3. 2a-10BC FIRE EXTINGUISHER W/ VALID CERTIFICATION TAGS ATTACHED: (1) PER 3,000 S.F. OR FRACTION THEREOF; MAX. TRAVEL DISTANCE 75'-0"; MOUNTED ON A WALL W/ TOP NOT MORE THAN 5'-0" A.F.F.



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SHEET NAME:  
**PROCESSING FLOOR PLANS BUILDING 'B'**

SHEET NO.:  
**A2.1**  
FILE NAME: 21054-A2.1

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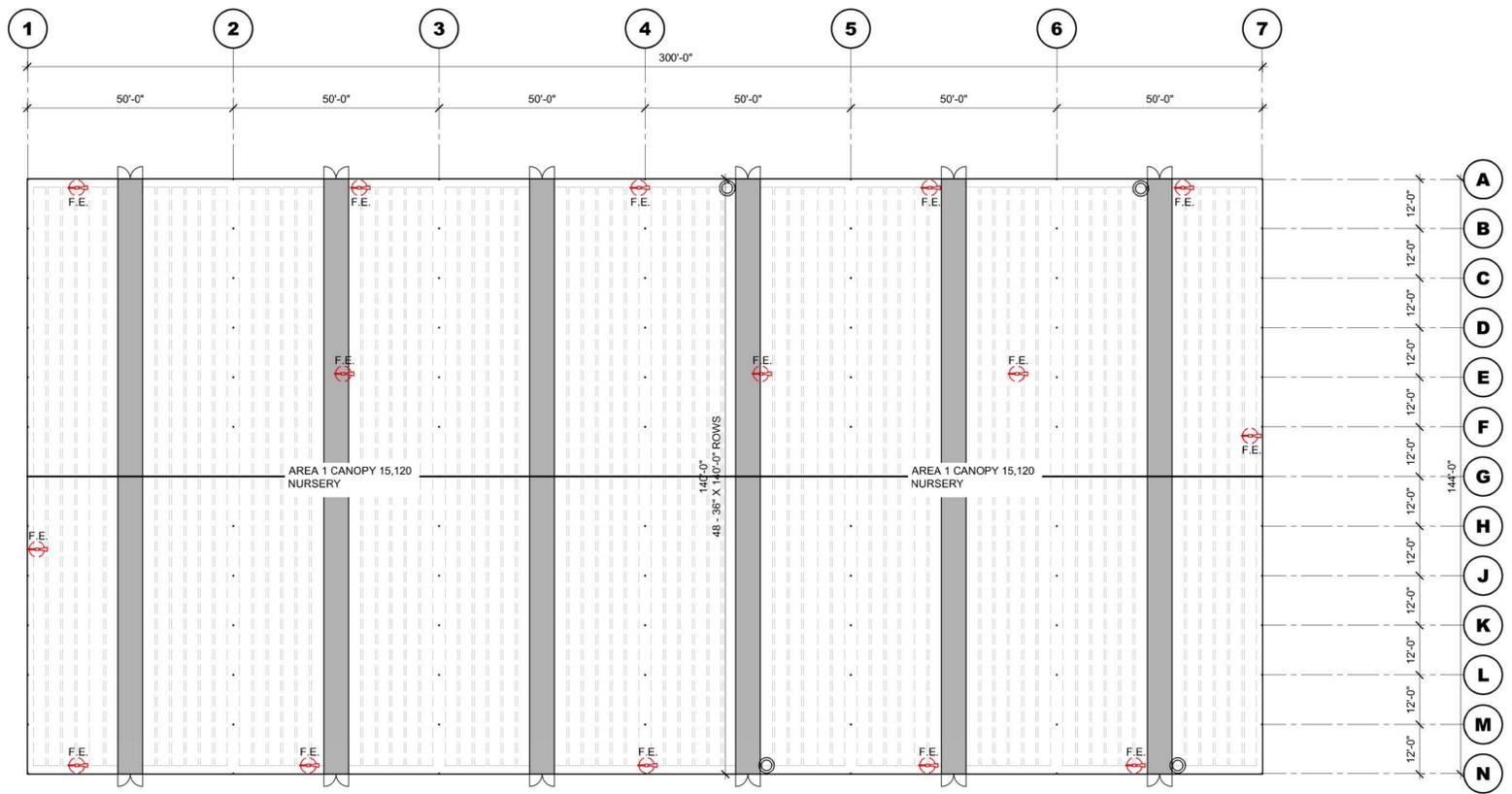
7/14/21 1st Submittal

SHEET NAME:  
**GREENHOUSE FLOOR PLANS BUILDINGS 'D' & 'E'**

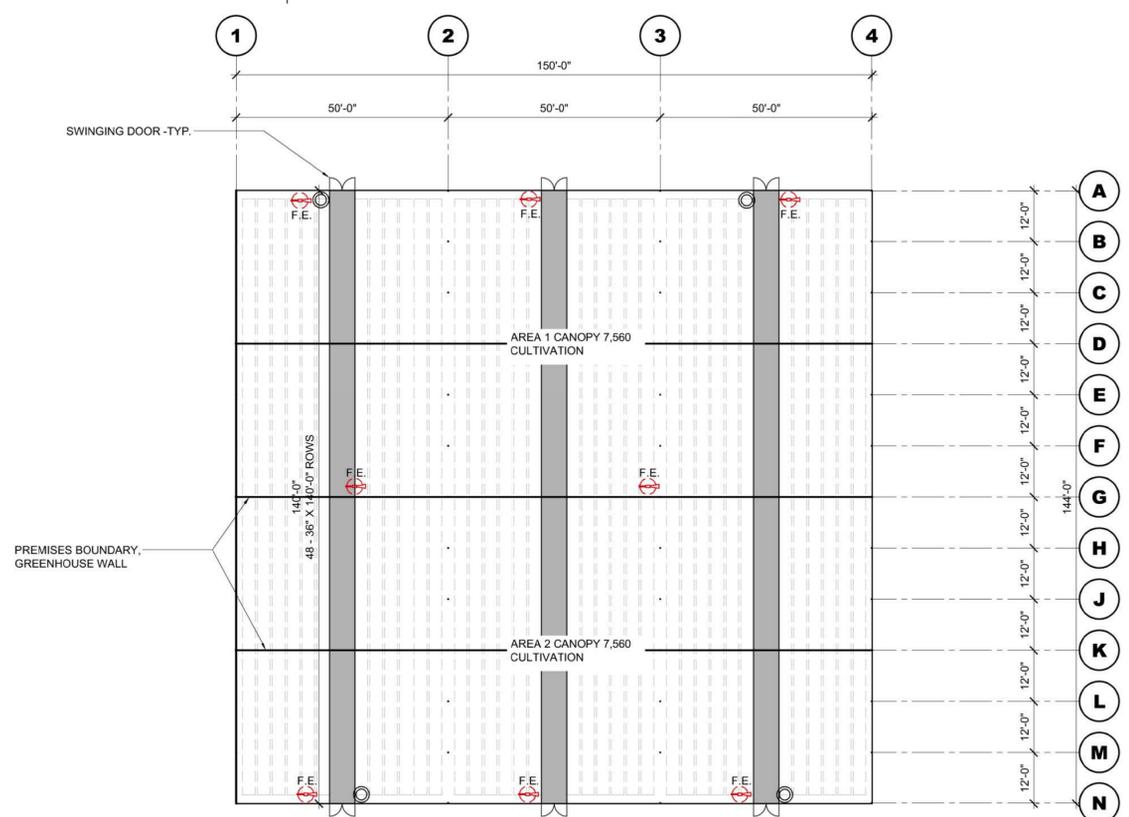
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**A2.2**

FILE NAME: 21054-A2.2



**1 GREENHOUSE FLOOR PLAN - BUILDING 'D'**  
 SCALE: 1" = 20'-0"



**2 GREENHOUSE FLOOR PLAN - BUILDING 'E'**  
 SCALE: 1" = 20'-0"

NOTES:  
 1. THE MAXIMUM TRAVEL DISTANCE FROM ANY POINT IN THE BUILDING TO AN APPROVED EXIT SHALL NOT EXCEED 300'-0".  
 2. ONE EXIT IS REQUIRED FOR EACH 15,000 S.F. OF AREA OR FRACTION THEREOF.  
 3. 2a:10BC FIRE EXTINGUISHER W/ VALID CERTIFICATION TAGS ATTACHED: (1) PER 3,000 S.F. OR FRACTION THEREOF; MAX. TRAVEL DISTANCE 75'-0"; MOUNTED ON A WALL W/ TOP NOT MORE THAN 5'-0" A.F.F.

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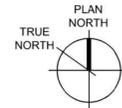
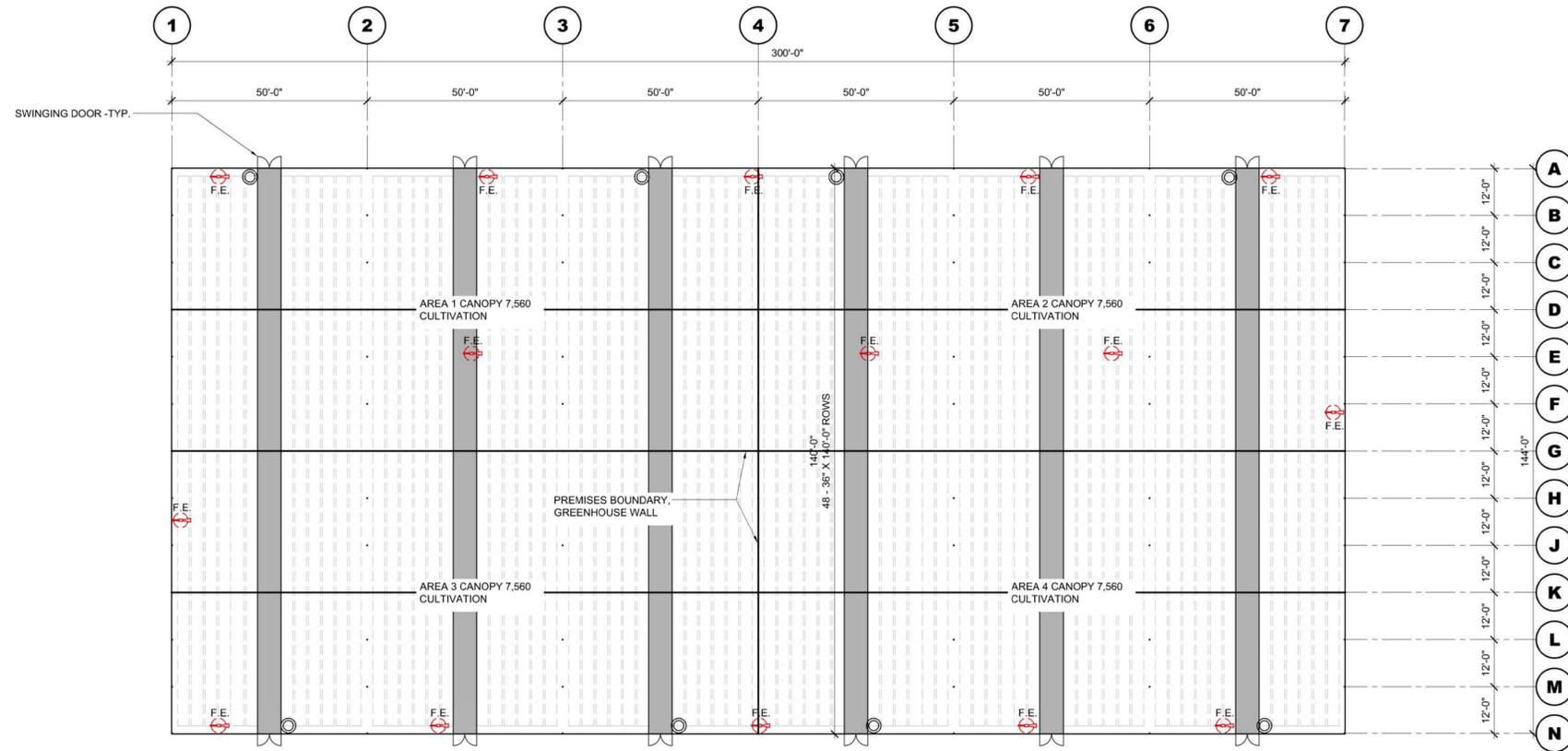
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SHEET NAME:  
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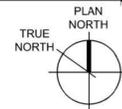
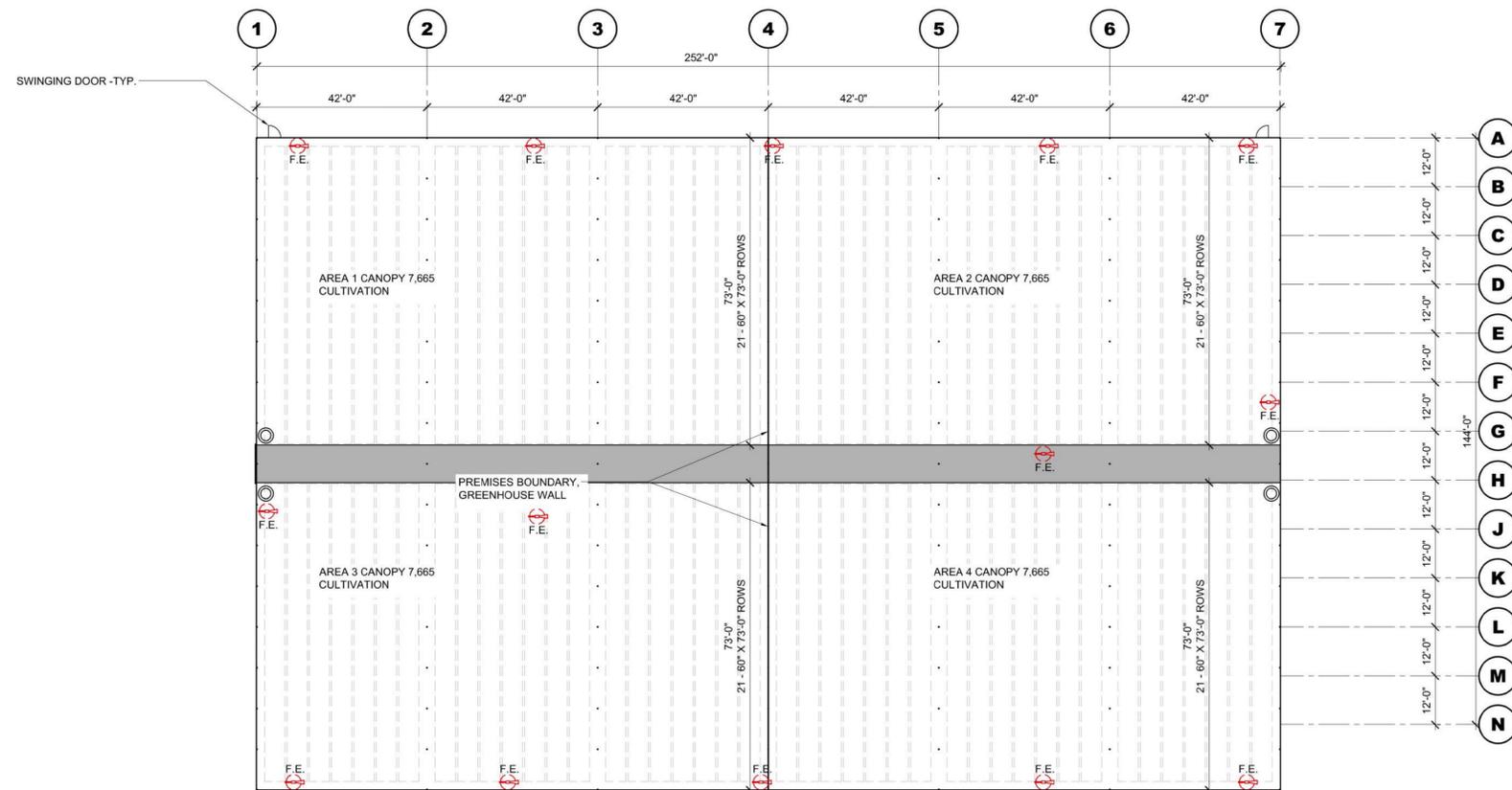
SHEET NO.:

**A2.3**

FILE NAME: 21054-A2.3



**1 GREENHOUSE FLOOR PLAN - BUILDING 'F'**  
 SCALE: 1" = 20'-0"



**2 GREENHOUSE FLOOR PLAN - BUILDING 'G'**  
 SCALE: 1" = 20'-0"

NOTES:  
 1. THE MAXIMUM TRAVEL DISTANCE FROM ANY POINT IN THE BUILDING TO AN APPROVED EXIT SHALL NOT EXCEED 300'-0".  
 2. ONE EXIT IS REQUIRED FOR EACH 15,000 S.F. OF AREA OR FRACTION THEREOF.  
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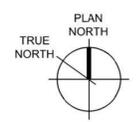
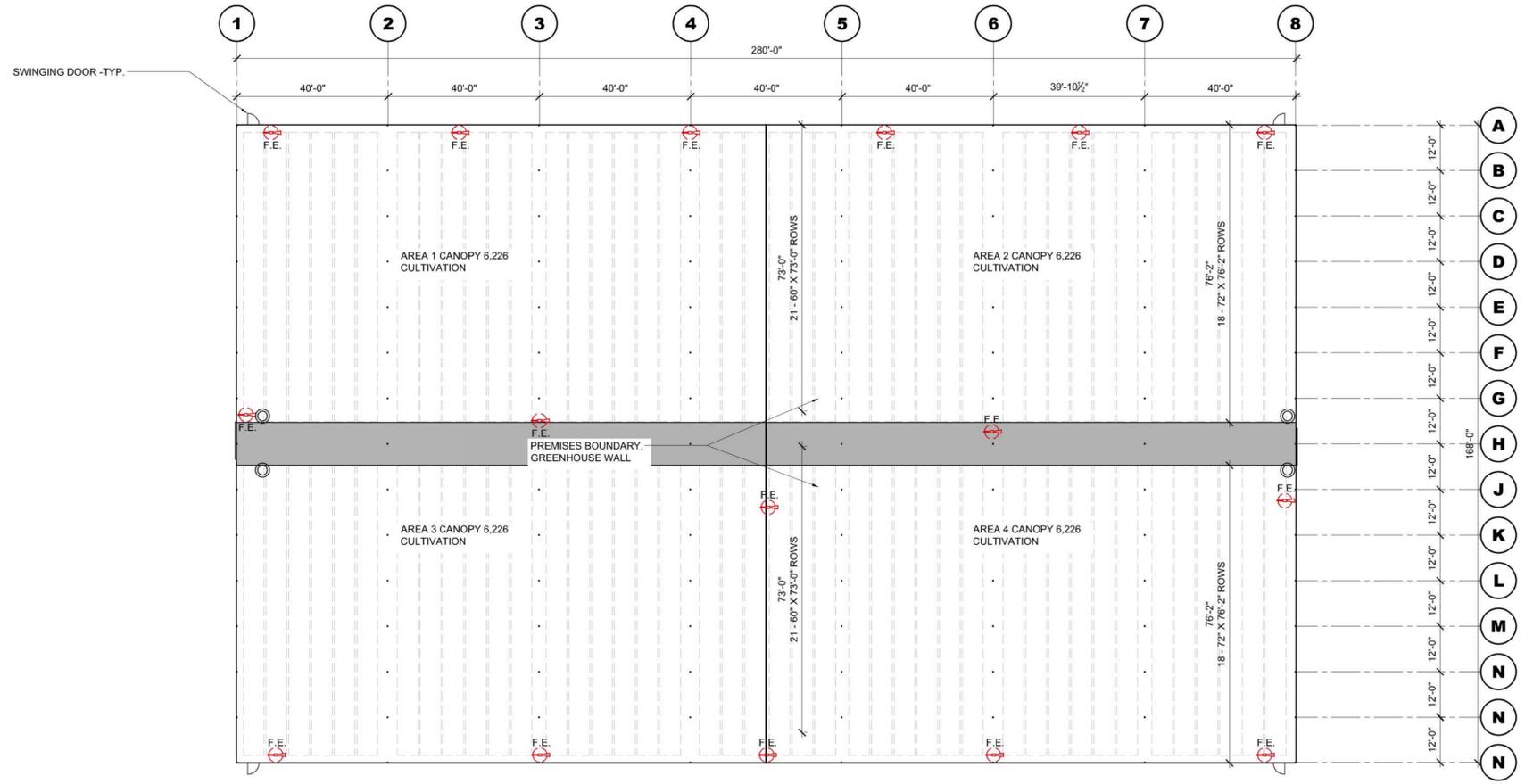
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SHEET NAME:  
**GREENHOUSE FLOOR PLAN BUILDINGS 'H'**

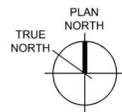
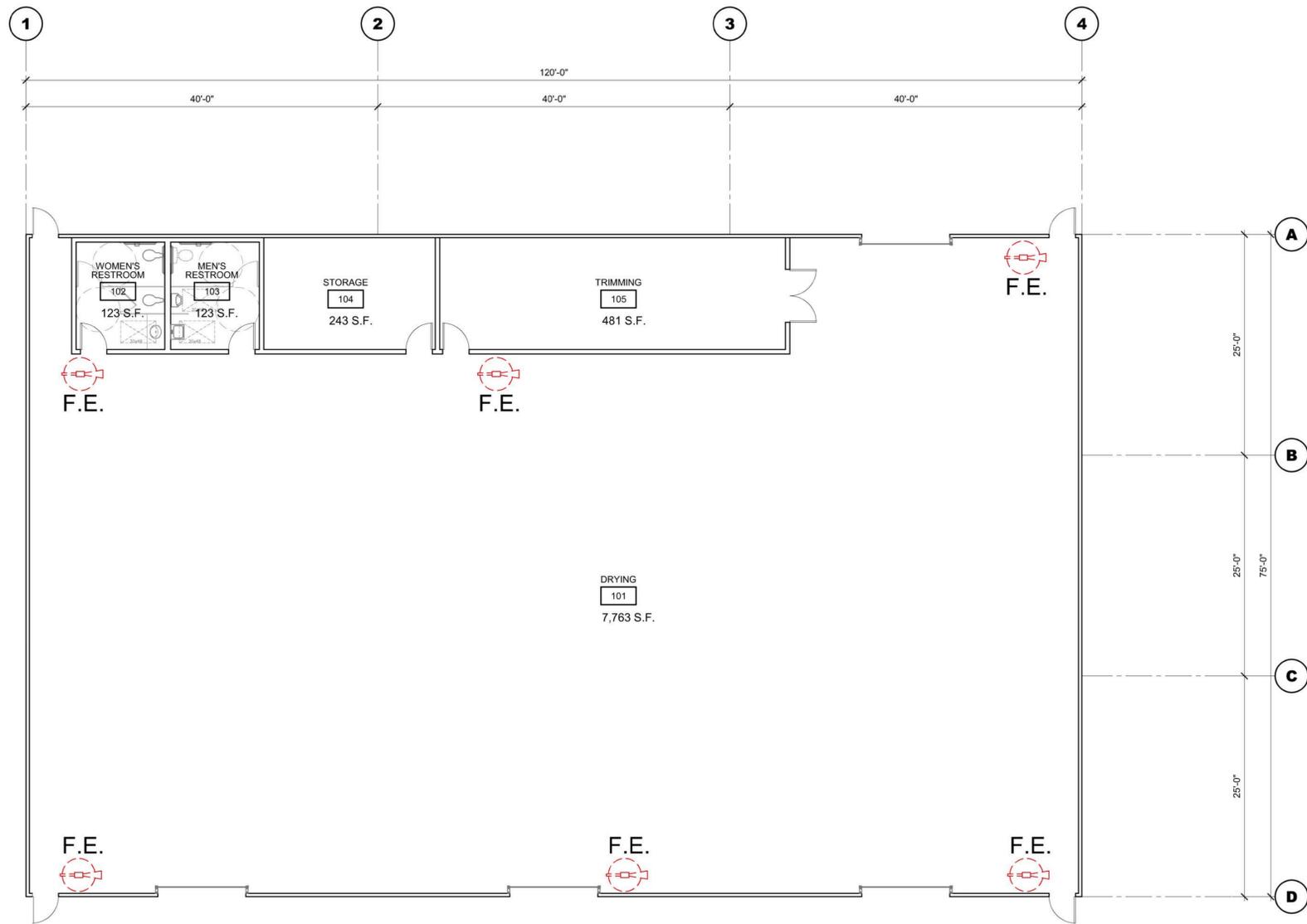
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**A2.4**



**1 GREENHOUSE FLOOR PLAN - BUILDING 'H'**  
 SCALE: 1" = 20'-0"

NOTES:  
 1. THE MAXIMUM TRAVEL DISTANCE FROM ANY POINT IN THE BUILDING TO AN APPROVED EXIT SHALL NOT EXCEED 300'-0".  
 2. ONE EXIT IS REQUIRED FOR EACH 15,000 S.F. OF AREA OR FRACTION THEREOF.  
 3. 2a:10BC FIRE EXTINGUISHER W/ VALID CERTIFICATION TAGS ATTACHED: (1) PER 3,000 S.F. OR FRACTION THEREOF; MAX. TRAVEL DISTANCE 75'-0"; MOUNTED ON A WALL W/ TOP NOT MORE THAN 5'-0" A.F.F.



1

**(N) PROCESSING FLOOR PLAN - BUILDING 'J'**

SCALE: 1/8" = 1'-0"

- NOTES:
1. THE MAXIMUM TRAVEL DISTANCE FROM ANY POINT IN THE BUILDING TO AN APPROVED EXIT SHALL NOT EXCEED 300'-0".
  2. ONE EXIT IS REQUIRED FOR EACH 15,000 S.F. OF AREA OR FRACTION THEREOF.
  3. 2a:10BC FIRE EXTINGUISHER W/ VALID CERTIFICATION TAGS ATTACHED: (1) PER 3,000 S.F. OR FRACTION THEREOF; MAX. TRAVEL DISTANCE 75'-0"; MOUNTED ON A WALL W/ TOP NOT MORE THAN 5'-0" A.F.F.

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SHEET NAME:  
**(N) PROCESSING FLOOR PLAN BUILDINGS 'J'**

SHEET NO.:

**A2.5**

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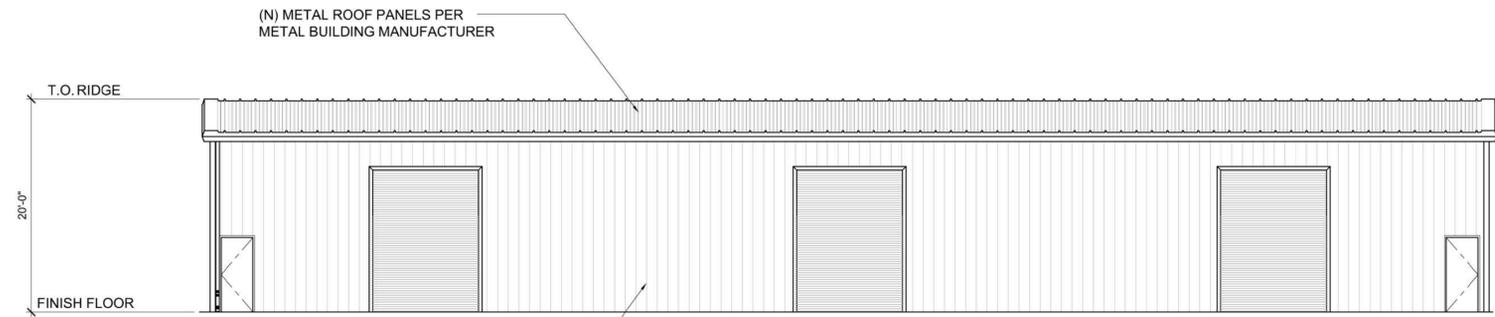
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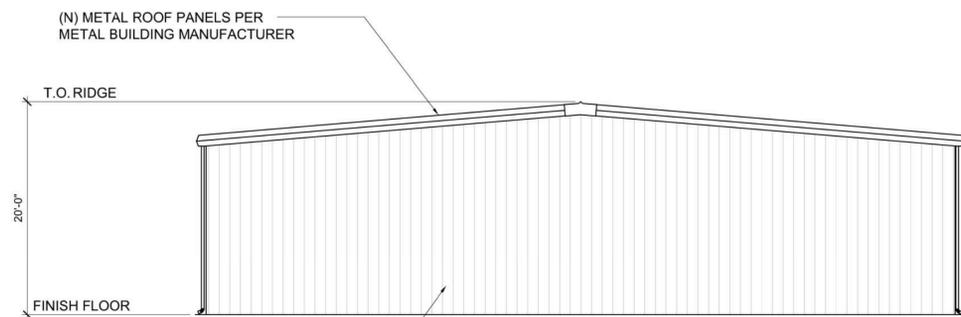
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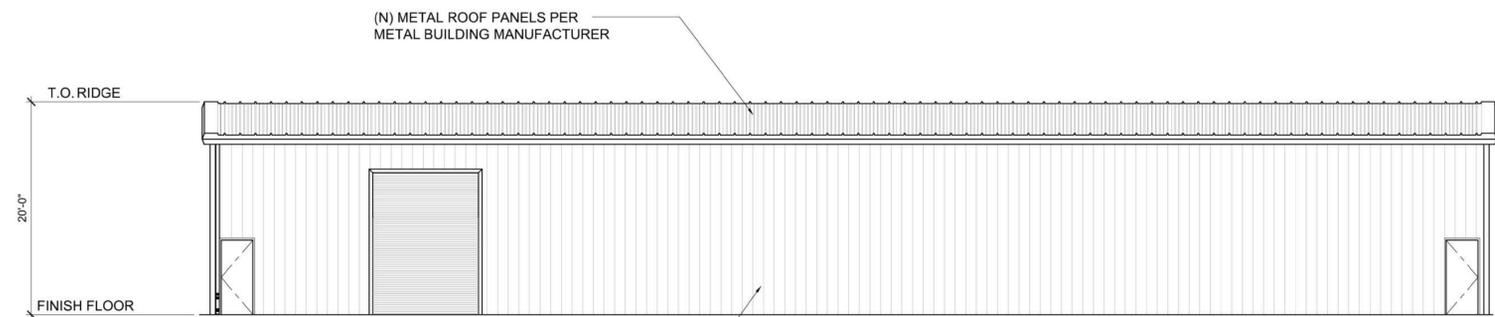
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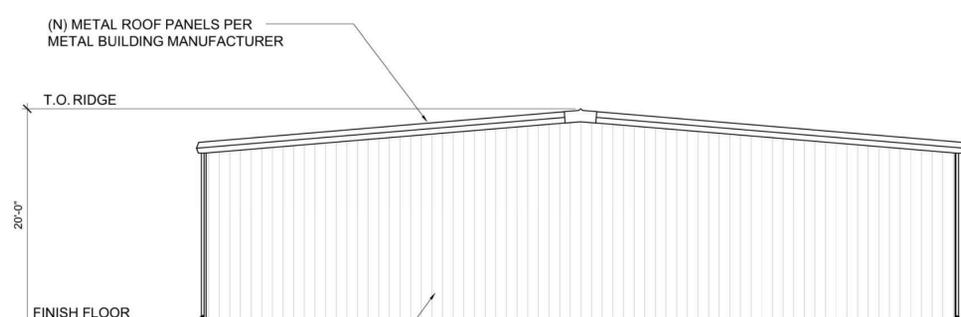
**1 EXTERIOR ELEVATION**  
 SCALE: 1/8" = 1'-0"



**2 EXTERIOR ELEVATION**  
 SCALE: 1/8" = 1'-0"



**3 EXTERIOR ELEVATION**  
 SCALE: 1/8" = 1'-0"



**4 EXTERIOR ELEVATION**  
 SCALE: 1/8" = 1'-0"

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