

# Exhibit B

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# DRAFT RESOLUTION

## Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

**GARCIA (PLN220131)**

**RESOLUTION NO. \_\_**

Resolution by the Monterey County Zoning  
Administrator:

- 1) Finding that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval Application to allow the construction of a new 848 square foot single family dwelling, an 86 square foot covered porch and the conversion of an existing 704 square foot detached garage into an accessory dwelling unit.

[PLN220131 GARCIA, 11260 Poole Street,  
Castroville, Castroville Community Plan (Assessor's  
Parcel Number 030-105-011-000)]

**The GARCIA application (PLN220131) came on for a public hearing before the Monterey County Zoning Administrator on May 9, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:**

**WHEREAS**, the proposed project PLN220131, located at 11260 Poole Street, Castroville, Castroville Community Plan (APN: 030-105-011-000), is consistent with the policies of the Monterey County 2010 General Plan, Castroville Community Plan (CCP), and the Monterey County Zoning Ordinance (Title 21);

**WHEREAS**, the subject parcel is zoned Community Plan or “CP” and the Castroville Community Plan designates the property as Medium Density Residential-C or “MDR-C” which allows for development of a first single-family residential dwelling unit, subject to the granting of a Design Approval;

**WHEREAS**, as proposed, the project consists of construction of a new 848 square foot single-family dwelling, an 86 square foot covered porch, and conversion of the existing 704 square foot detached garage into an accessory dwelling unit;

**WHEREAS**, as detailed in the attached plans, the proposed project meets all required development standards established in Table B-3 Single-Family Residential Development Standards within Section 3.2 Residential Development Standards in the Castroville Community Plan and Monterey County 2010 General Plan, Monterey County Zoning Ordinance (Title 21), (see attached plans);

**WHEREAS**, CCP Appendix A – Design Guidelines Section 6 provides Residential Design guidelines and standards which requires that accessory structures are architecturally compatible with the main structure, roof forms be compatible with neighboring existing development, and encourages two-story balconies and covered awnings or porches. The neighboring residences along Poole Street consist of one and two-story craftsman and California ranch-style homes as well as a church, with pitched roofs and exterior colors that include off-white and tan. As proposed, the main residence and the accessory dwelling unit exterior colors and materials include charcoal gray composition shingles at roofing, tan stucco walls, white vinyl frames at windows and doors with blue wood trim accent. The proposed exterior finishes, bulk and mass blend with the surrounding man-made environment and are consistent with the existing residential neighborhood character, and other dwellings in the neighborhood. Therefore, the project, as designed and sited, assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.;

**WHEREAS**, the proposed project is not located in an area of high visual sensitivity and as sited, designed, and conditioned, will not result in adverse visual impacts. Further, the project is consistent with the applicable scenic resource policies of the 2010 General Plan and the Castroville Community Plan;

**WHEREAS**, the subject property (5,323.7 square feet in size), APN: 030-105-011-000, is identified as Lot 4 within Block 24 shown on final subdivision map of “Map of the Town of Castroville”, filed February 2008 in Vol 22, Page 91, in the Office of the County Recorder of the County of Monterey, State of California and is therefore recognized by the County as legal lot of record;

**WHEREAS**, Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on subject property;

**WHEREAS**, the project was referred to the Castroville Land Use Advisory Committee pursuant to Board of Supervisors adopted LUAC Guidelines, at which the LUAC on March 5, 2024 voted 3-0 and 1 abstained to recommend approval;

**WHEREAS**, California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts new construction of one single family residence in a residential zone. The project involves the construction of the first single family dwelling, and therefore, the proposed development is consistent with CEQA Guidelines Section 15303 and none of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. The project location is not within a sensitive environment. There is no cumulative impact with any prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered on a hazardous waste site. No known historical resources were found in the reports which may cause a substantial adverse change in the significance of a historical resource. It is not visible from an officially designated scenic highway; and

**WHEREAS**, pursuant to Title 21 section 21.44.070, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

**NOW, THEREFORE BE IT RESOLVED**, based on the above recitals, the Monterey County Zoning Administrator does hereby:

- 1) Find that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- 2) Approve a Design Approval to allow the construction of a new 848 square foot single family dwelling, an 86 square foot covered porch and the conversion of an existing 704 square foot detached garage into an accessory dwelling unit.

**PASSED AND ADOPTED** this 9th day of May, 2024.

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Mike Novo, AICP  
Monterey County Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

#### NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.
2. Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.
3. Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

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# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220131

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Design Approval permit (PLN220131) allows construction of a new 848 square foot single family dwelling, an 86 square foot covered porch and the conversion of the existing 704 square foot detached garage into an accessory dwelling unit. The property is located at 11260 Poole Street, Castroville (Assessor's Parcel Number 030-105-011-000), Castroville Community Plan, North County Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Design Approval Permit (Resolution Number \_\_\_\_\_) was approved by the Zoning Administrator for Assessor's Parcel Number 030-105-011-000 on May 9, 2024. The permit was granted subject to 7 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

### 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.



#### 4. PD012(G) - LANDSCAPE PLAN & MAINTENANCE (OTHER)

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping and shall include an irrigation plan. The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be installed and inspected.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

## 5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

## 6. PW0036 - REGIONAL DEVELOPMENT IMPACT FEE

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

## 7. PW0045 - COUNTYWIDE TRAFFIC IMPACT FEE

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.



<b>REQUIRED SPECIAL FEATURES</b> HOUSE
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis. • PV System: 1.96 kWdc • Ducts in crawl space • Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater; specific brand/model, or equivalent, must be installed.
<b>HERS FEATURE SUMMARY</b> HOUSE
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry.
<b>Building Level Verifications:</b> • Quality insulation installation (QI) • Indoor air quality ventilation • Kitchen range hood <b>Cooling System Verifications:</b> • Minimum Airflow • Fan Efficacy Wats/CFM <b>Heating System Verifications:</b> • Verified heat pump rated heating capacity <b>HVAC Distribution System Verifications:</b> • Duct leakage testing <b>Domestic Hot Water System Verifications:</b> • None --

**GENERAL NOTES**

- 1.1 **JOB DESCRIPTION:** 848 SQF RESIDENCE WITH 86 SQF COVERED PORCH. ADD STUCCO EXTERIOR TO AND CONVERT GARAGE TO A 704 SQF ADU. MATERIALS AND COLORS TO BE COMPATIBLE BETWEEN THE 2 BUILDINGS. NOTES APPLY TO BOTH BUILDINGS UNLESS NOTED OTHERWISE.
- 1.2 **APN:** 030-105-011-000. **ZONING:** MDR-C (CCP). NO TREES OR NATIVE VEGETATION REMOVED BY THIS PROJECT. NET NEW IMPERVIOUS AREA IS APPROXIMATELY 950 SQF. AREA OF DISTURBANCE APPROXIMATELY 1,000 SQF. **LOT COVERAGE CALCULATIONS:** LOT SIZE: 0.12 ACRES = 5,200 SQF. ALLOWED COVERAGE: 2,120 SQF = 40%. EXISTING COVERAGE: 704 SQF = 13.2%. PROPOSED ADDITIONAL COVERAGE: 934 SQF = 17.6%. PROPOSED DEMOLITION: 0 SQF = 0%. **PROPOSED TOTAL COVERAGE: 1,638 SQF = 31% THEREFORE, OK.**
- 1.3 WORK SHALL COMPLY WITH MANUFACTURERS' INSTRUCTIONS AND CODES AS APPROVED BY THE COUNTY OF MONTEREY INCLUDING THE 2019 CALIFORNIA RESIDENTIAL CODE (CRC), CA ENERGY CODE (CEC), CA PLUMBING CODE (CPC), CA MECHANICAL CODE (CMC), CA ELECTRICAL CODE (CEC), CA FIRE CODE (CFC), AND CALGREEN (CG) (SEE ALSO NOTES 1.5, 1.9, 1.13, 1.19, 1.23, 1.25, 1.28, 1.29, 1.31, AND 1.32). CONTRACTOR(S) SHALL CONFIRM CODES AND SITE CONDITIONS.  
 (SEE ALSO NOTE 2.3) **BE GEOTECHNICAL REPORT.**  
 DIMENSIONS APPROXIMATE; DO NOT SCALE THE DRAWINGS. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR ON DEMAND.
- 1.4 **OCCUPANCY GROUP:** R-3 & U. **CONSTRUCTION TYPE:** VB, UNSPRINKLERED. **SPECIAL INSPECTION:** NONE. **DEFERRED SUBMITTALS:** TRUSS PACKAGE (SEE ALSO NOTE 6.3). **HERS INSPECTION:** SEE "HERS" LIST ABOVE FOR HOUSE AND ON SHEET 5 FOR ADU.
- 1.5 **CONSTRUCTION WASTE MANAGEMENT:** THE GENERAL CONTRACTOR (G.C.) SHALL DEVELOP A PLAN TO RECYCLE AND/OR SALVAGE FOR RE-USE A MINIMUM OF 65 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION MATERIALS INCLUDING USE OF COUNTY FORMS (CG # 4408.1). P.T. DEBRIS IS NOT PERMITTED AT THE LOCAL LANDFILL.
- 1.6 AT FINAL INSPECTION THE G.C. SHALL PROVIDE TO THE OWNER IN A FORMAT ACCEPTABLE TO THE COUNTY, AN OPERATIONS AND MAINTENANCE MANUAL DESCRIBING THE FOLLOWING: KEEPING THE MANUAL WITH THE PROPERTY, ETC. (CG 4.410.1).
- 1.7 **STEPS:** RISERS MAX. 7.5"; MIN. TREADS TO BE 10", BUT 14" IS RECOMMENDED OUTDOORS WITH MAXIMUM 3/8" ALLOWED VARIATIONS IN TREAD OR RISER DIMENSIONS IN A STAIR RUN. 1" NOSING OVERHANG GENERALLY RECOMMENDED AND REQUIRED WHERE TREADS ARE LESS THAN 11". THRESHOLD AT EXTERIOR DOOR WILL NOT BE HIGHER THAN 1/2" ABOVE LANDING. HANDRAILS NOT REQUIRED AT STEPS WHERE THERE ARE 3 OR LESS RISERS IN A RUN. GUARDRAILS NOT REQUIRED WHERE DECK IS LESS THAN 30" ABOVE GRADE MEASURED WITHIN 3' OF THE DECK. MINIMUM LANDINGS AT EXIT DOORS AND RAMP TO BE 36" SQUARE, SECONDARY EXIT LANDING MAY BE ONLY AT BASE OF STAIRS. EXTERIOR WALKING SURFACES SLOPED TO DRAIN WITHOUT PUDDLES.
- 1.9 **ABBREVIATIONS AND TERMS** (SEE ALSO NOTES 1.3, 1.13, 1.19, 1.23, AND 1.29 BELOW):  
 1.9.1 "VERIFY" TYPICALLY MEANS "VERIFY WITH THE OWNER."  
 1.9.2 "MATCH" TYPICALLY MEANS "MATCH (E) AS CLOSELY AS POSSIBLE (A.C.A.P.)."  
 1.9.3 "O/C" OR "O.C." MEANS "ON CENTER;" "U.N.O." = UNLESS NOTED OTHERWISE; "G.C." = GENERAL CONTRACTOR.  
 1.9.4 "OSB" = ORIENTED STRAND BOARD PLYWOOD; "C.O." = CASERD OPENING, WOOD OR GYP. BRD AS TYPICAL  
 1.9.5 "H.R." = HEAT REGISTER; "H.V.L." = HEAT-VENT-LIGHT; "F.A.U." = CENTRAL FURNACE, FORCED AIR UNIT.  
 1.9.6 "A.I." = ARTIFICIAL INTELLIGENCE; "GPF" = GALLONS PER FLUSH; "GPM" = GALLONS PER MINUTE.

**GRADING AND SITE WORK**

- 2.1 FINISH GRADE SHALL SLOPE AWAY FROM THE NEW FOUNDATION AT A MINIMUM RATE OF 5% FOR A MINIMUM OF 10'. EXCEPT ON SOUTH SIDE WHERE THERE'S LESS THAN 10' IT WILL BE COLLECTED IN THE MIDDLE OF THE SETBACK IN A VEGETATIVE SWALE AND CARRIED TO FRONT YARD.  
**GRADING:** NONE. **EROSION CONTROL:** THE LOCATION OF EROSION CONTROL FACILITIES INCLUDING FIBER ROLLS, CONCRETE, AND STUCCO WASHOUT AREA, ETC. SUBJECT TO REVIEW BY THE GENERAL CONTRACTOR AND COUNTY ENVIRONMENTAL SERVICES. REDUCE DISCHARGE OF POLLUTANTS VIA TRANSFER OF STORM WATER RUNOFF BY PLACEMENT OF FIBER ROLLS DOWNSTREAM OF THE WORK (HEALTH AND SAFETY CODE # 7050.5).  
 (SEE ALSO GEOTECHNICAL REPORT BY GRICE ENGINEERING, INC. DATED FEBRUARY 6, 2006 (JOB #4758-06.02) WHOSE RECOMMENDATIONS REGARDING EXISTING SOILS, MOISTURE CONTROL, AND RECOMPACTION OF ABOUT 2' BELOW PER PAGE 5, 8, AND OTHERS, ETC.) ARE INCORPORATED AS REQUIREMENTS BY REFERENCE. PRIOR TO FINAL INSPECTION, THE G.C. SHALL PROVIDE A LETTER FROM A QUALIFIED ENGINEER CERTIFYING THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
- 2.2 DOWNSPOUTS SHALL TERMINATE AT SPLASH BLOCKS AND FROM THERE TO VEGETATIVE DRAINAGE COURSE OR PIPING TO APPROVED, ROCKY PERCOLATION AREA.

**CONCRETE AND FOUNDATIONS**

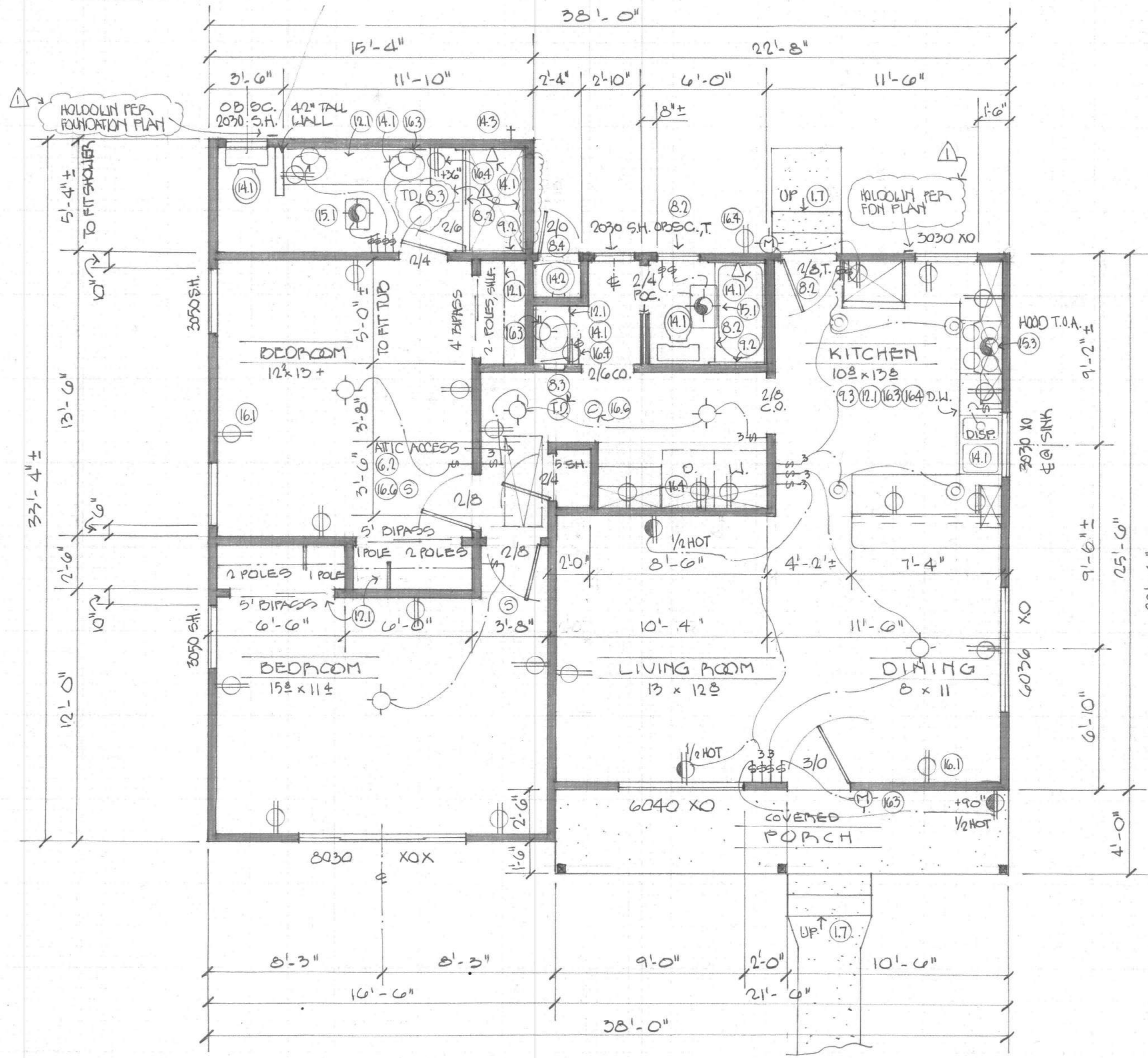
- 3.1 CONCRETE STRENGTH MIN. 2,500 PSI AT 28 DAYS. REBAR TO BE NO. 4 CONTINUOUS OR LAPPED 20" AND TIED. SLABS AND WALKS TO BE MIN 5" THICK, REINFORCED WITH #3 BARS AT 18" O.C. OR #4 AT 30" EACH WAY AND CENTERED IN SLAB, OVER PACKED (90%), CLEAN BASE, AND DIVIDED WITH DEEP DUMMY JOINTS OR SIMILAR CRACK CONTROL DEVICES AT 10' O.C. IN A PATTERN AS SQUARE AS PRACTICAL. FLATWORK/LANDSCAPING PER FIELD DESIGN, SUBJECT TO INSPECTION AS APPROPRIATE, AS AT RAMPS AND STEPS, ETC. WALKS, LANDINGS, AND OTHER PAVED AREAS TO BE SLOPED MIN. 2% TO DRAIN WITHOUT PUDDLES.
- 3.2 FASTENERS IN CONCRETE (ANCHOR BOLTS, ETC.) TO BE TIED TO REBAR AND IN PLACE FOR INSPECTION. **ANCHOR BOLTS** MIN. 1/2" DIA. x 10" EMBEDDED 7" INTO CONCRETE AT MAX. 6" O.C. AND WITHIN 12" OF ENDS OF SILL PIECES WITH 3" SQ. x 0.229" PLATE WASHERS. (R403.1.6).
- 3.3 **CRAWL SPACE VENT CALC FRONT HOUSE:** 848 SQF x 144/150 = 815 SQ IN. VENT AREA REQUIRED. PROVIDE 11, 6" x 14" VENTS PER FOUNDATION PLAN AND ELEVATION VIEWS, CENTERED UNDER WINDOWS WHERE SHOWN. PROVIDE ACCESS TO CRAWL SPACE IN BEDROOM CLOSET PER PLANS, LARGE ENOUGH TO ALLOW FURNACE TO PASS THROUGH.

**METALS**

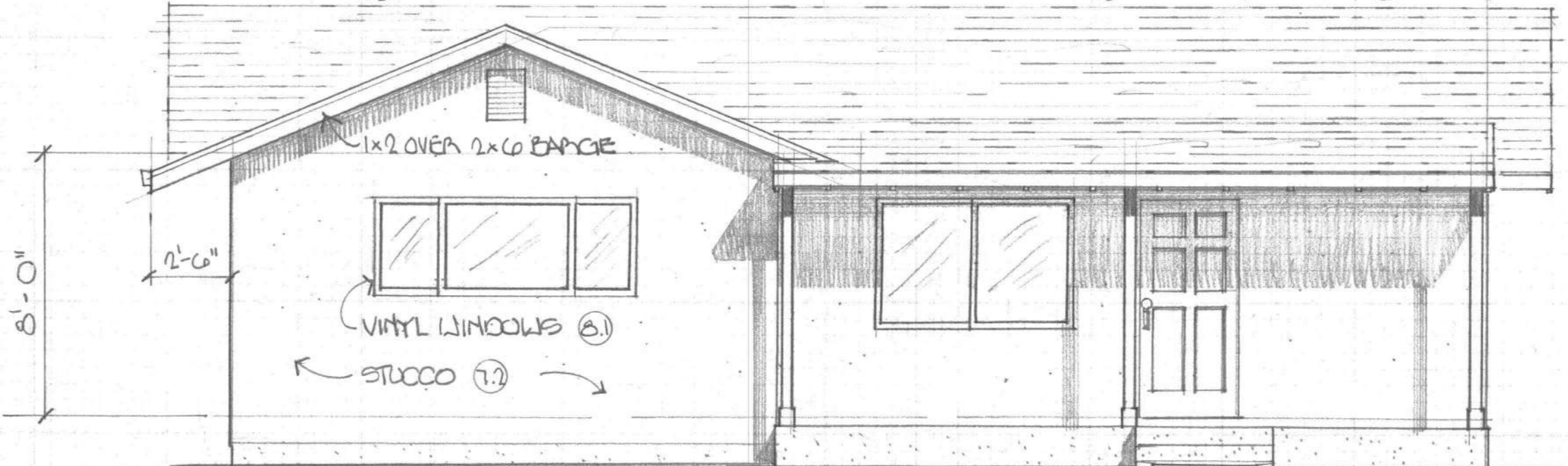
- 5.1 FLASHING TO BE MIN 26 GA. G.I. RAIN GUTTERS TO BE DEEP FASCIA GUTTER PROFILE MATCHING (E), WITH DOWNSPOUTS TO SPLASH BLOCKS. SEE ALSO NOTE 2.3.
- 5.2 STRAPS, HANGERS, AND "SDWS" SCREWS (DETAIL 973) AND "SDWS22312DBD" SCREWS (DETAIL 1172) TO BE BY SIMPSON STRONG-TIE.

**WOOD, FRAMING, FASTENERS**

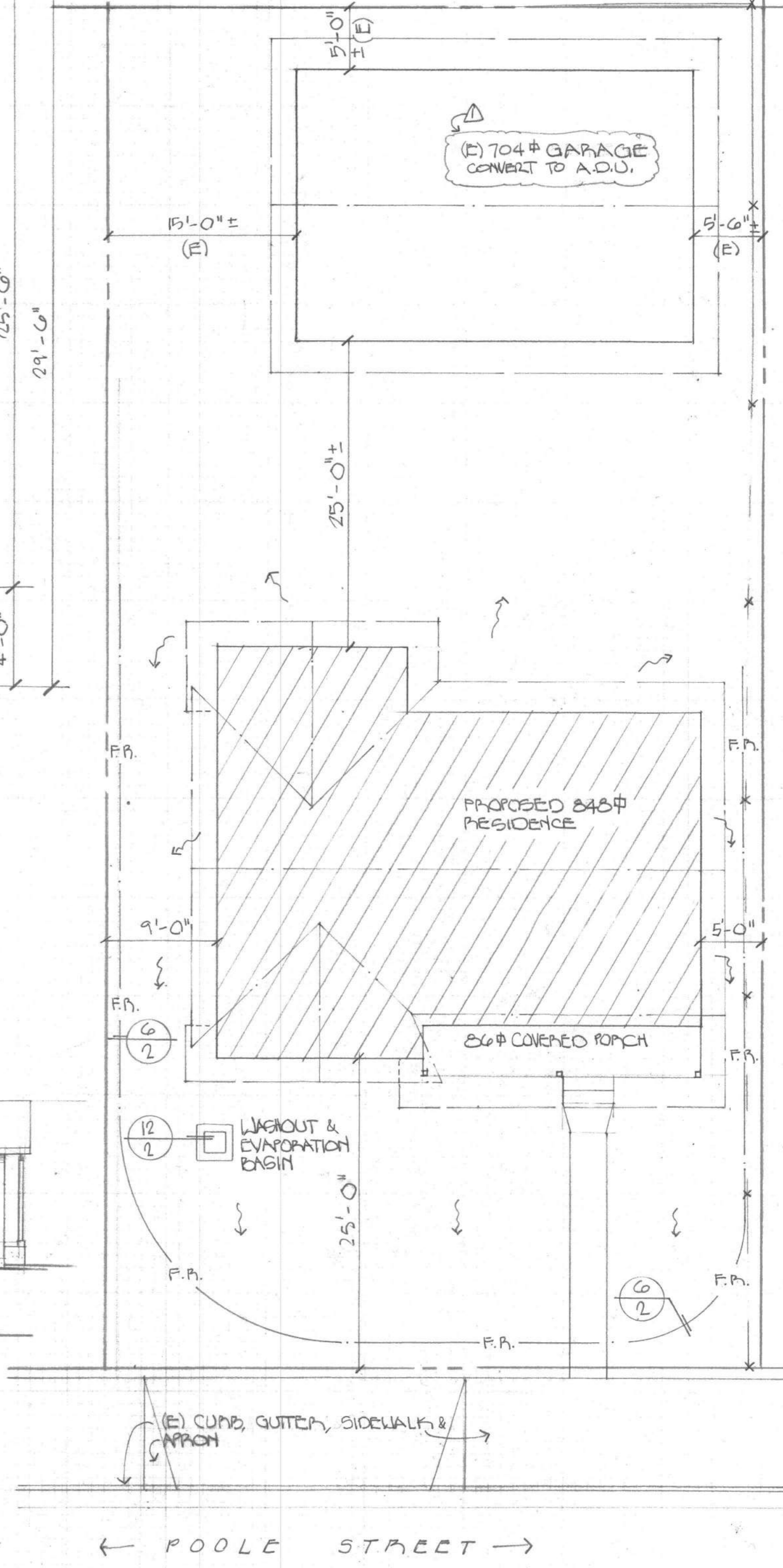
- 6.1 NAILING PER CRC TABLE R603.3(1), ETC. BRACING PER CRC BRACING METHOD CS-WSP, MIN. 3/8" OSB PLY NAILED WITH 8d COMMON NAILS AT 6" O.C., 12" O.C. LUMBER TO BE GRADE MARKED PER CODE. WOOD IN CONTACT WITH CONCRETE AND WITHIN 8" OF FINISH GRADE SHALL BE FOUNDATION GRADE REDWOOD OR PRESSURE TREATED (P.T.) LUMBER. WOOD EXPOSED TO THE WEATHER SHALL BE P.T. REDWOOD, OR OTHER SPECIES THAT IS NATURALLY RESISTANT TO DECAY OR PROTECTED; VERIFY WITH OWNER. FIELD CUT P.T. LUMBER TO BE FIELD TREATED. FASTENERS IN P.T. LUMBER TO BE HOT-DIPPED ZINC GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER. **MOISTURE CONTENT MAX. 19%** AND TO BE VERIFIED BY G.C. ON DEMAND (CG 4.505.3). INSTALL BACKER BLOCKING FOR GRAB BARS IN BATHROOMS.
- 6.2 PROVIDE ATTIC ACCESS IN FRONT HOUSE VIA WEATHER STRIPPED FOLD DOWN LADDER. PROVIDE MIN. 22" x 30" BLOCKED ACCESS THROUGH INTERIOR MAJORED WALL LINE AT LARGEST TRUSS OPENING WHERE THERE IS MIN 30" CLEAR HEADROOM. PROVIDE OPENING BETWEEN MAIN AND FRONT ATTICS VIA OPENING IN ROOF SHEATHING MIN. 22" x 30" MEASURED PLUMB TO THE FRONT ATTIC AND MEASURED FLAT TO THE SHEATHING FOR CROSS VENTILATION TO THE REAR ATTIC. ACCESS IS NOT REQUIRED TO ATTICS WHERE HEAD ROOM IS LESS THAN 30", AS AT REAR BATHROOM ATTIC, AT ADU.  
 ADD WEATHERSTIPPING AT ATTIC ACCESS.
- 6.3 **ATTIC VENTILATION CALCS FOR FRONT HOUSE:** 848 SQF x 144/300 = 408 SQ IN. 408/2 = 204 SQ IN. MIN. AT GABLES AND MIN. 204 SQ. IN. AT EAVES. USE SCREEN BACKED LOUVERED GABLE VENTS PER ELEVATIONS AND ROOF/CILING FRAMING PLAN = OVER 204 SQ. IN. ALSO PROVIDE AT EAVES USE MIN. 7, 4" x 22" VENTS PER FRAMING PLAN, FOR ADU. VERIFY EXISTING VENTILATION IS ADEQUATE.
- 6.4 **SHEATHING AT EXTERIOR WALLS AND INTERIOR BRACED WALL, OF FRONT HOUSE** TO BE MIN. 3/8" OSB PLY (IN ACCORD WITH CRC CS-WSP METHOD FOR BRACING). BRACED WALLS TO BE CONTINUOUS FROM FOUNDATION TO ROOF (SEE ALSO FRAMING PLANS SHEET 2 AND NOTE 6.3). ROOF SHEATHING TO BE 5/8" OSB. TOP PLATES NAILED WITH 12, 16d EACH SIDE OF SPLICES. FLOOR SHEATHING 3/4" T&G OSB, GLUED AND NAILED. ALL SHEATHING NAILED WITH 8d @ 6", 12" O.C. EXCEPT FOR ROOF SHEATHING WITHIN 48" OF GABLE END WALLS WHERE FIELD NAILING INCREASES TO 6" O.C. PER CRC TABLE R602.3(1).




FLOOR PLAN  
1/4" = 1' - 0"



NORTH WESTERLY FRONT ELEVATION  
1/4" = 1' - 0"



NORTH SITE PLAN  
1/8" = 1' - 0"




DESIGN, DRAFTING & PERMIT EXPEDITIONS  
**MARK EDWIN MORRIS**  
 102 LIVE OAKS WAY • SAN RAMON, CA 94583  
 (925) 424-7114 • MORRIEDESIGNELECT@GMAIL.COM

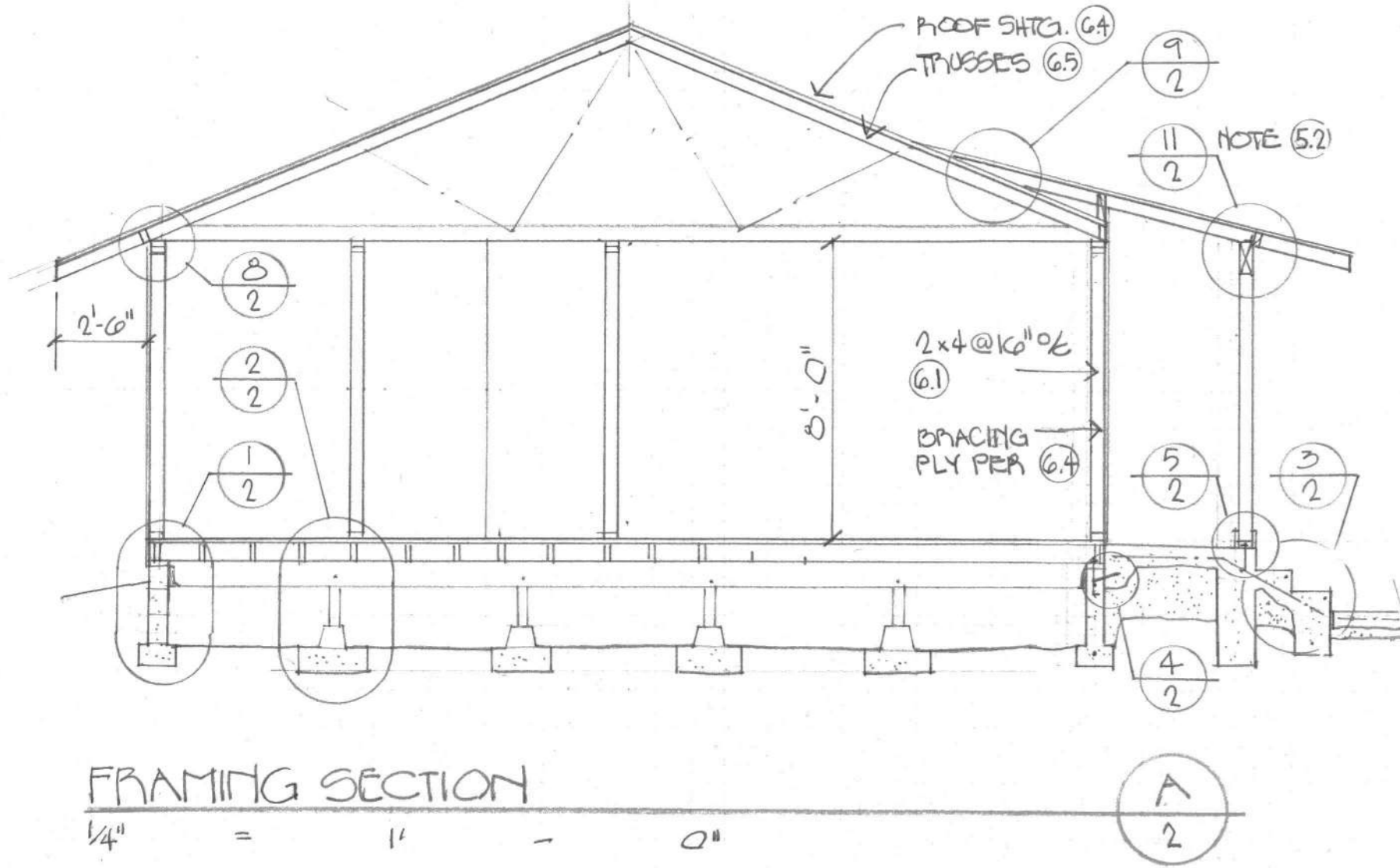
REGISTERED ARCHITECT

REYNALDO & PABLO ANI  
 CASTROVILLE • 95012  
 11060 REDLE ST. • (831) 710-1497

JOB 21027  
 SHEET 1 OF 7







**FRAMING SECTION**

1/4" = 1'-0"

NOTES CONTINUED FROM SHEET 1

6.5 TRUSS LAYOUT FOR FRONT HOUSE, ENGINEERING AND BRACING, BY OTHERS WITH DOCUMENTATION SUBJECT TO REVIEW BY THIS OFFICE, AS EVIDENCED BY A WET-SIGNED LETTER BY THE DESIGNER STATING THE TRUSS SUBMITTALS GENERALLY CONFORM TO THE DESIGN. TRUSSES SHALL NOT BE INSTALLED UNTIL AN APPROVED JOB COPY OF THE TRUSS SUBMITTALS IS ISSUED BY THE COUNTY. SEE ALSO PRELIMINARY LAYOUT AND TRUSS PROFILE DRAWINGS AT SHEET 2.

6.6 PROVIDE MIN. 12" SQ. ACCESS TO SLIP JOINTS, IF ANY. RODENT PROOFING INCLUDES ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AND OR FLOOR SHEATHING. CLOSE WITH CEMENT OR OTHER METHOD ACCEPTABLE TO THE COUNTY (GC 4.406.1).

**THERMAL AND MOISTURE PROTECTION**

7.1 SEE ALSO ENERGY CONSERVATION MEASURES SUMMARY AND CF-1R FORMS AT SHEETS 3-. FLOOR FRAMING TO RECEIVE MIN. R-19 BATTLES AT FRONT HOUSE. WALL INSULATION TO BE MINIMUM R-30. VERIFY OR PROVIDE SAME FOR ADU, EXCEPT NO FLOOR INSULATION IS REQUIRED.

7.2 STUCCO MIN. 7/8" 3-COATS. INSTALL MIN. 2-LAYERS, GRADE-D PAPER OR OTHER WATERPROOF BUILDING PAPER WALLS PER CODE. ALL WALLS ARE SHEATHED PER NOTE 6.3. WEEP SCREED TO BE 3-1/2" MIN. 1" ABOVE PAVING OR FRONT PORCH, AND MIN. 4" ABOVE FINISHED EARTHEN GRADE.

7.3 ROOFING TO BE COMPOSITION SHINGLES WITH CLASS "B" ASSEMBLY.

**FENESTRATIONS & GLAZING**

8.1 NEW WINDOWS TO BE VINYL UNITS, DUAL PANE, CERTIFIED AND LABELED IN ACCORDANCE WITH STATE ENERGY STANDARDS. ABBREVIATIONS: T = TEMPERED GLASS; F = FIXED PANE; XO = SLIDING UNIT WHERE "X" IS THE MOVABLE PANE AS VIEWED FROM THE EXTERIOR; S.H. = SINGLE HUNG. (TD = TUBULAR DAYLIGHTING DEVICE)

8.2 GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE MADE OF SAFETY GLAZING MATERIALS (AND BE LABELED AS REQUIRED BY CRC R308.1) SUCH AS TEMPERED, LAMINATED OR SAFETY PLASTIC INCLUDING THE SHOWER ENCLOSURES AND IN WALLS WITHIN 5' OF BATH OR SHOWERS, AND GLASS IN DOORS AND WITHIN 24" HORIZONTALLY OF DOORS. ALL WINDOWS AND GLASS IN DOORS TO BE DUAL PANE AND CERTIFIED AND LABELED IN ACCORDANCE WITH STATE ENERGY STANDARDS

8.3 PROVIDE AND INSTALL TUBULAR DAYLIGHTING DEVICE (TD, SOLATUBE OR EQ.) IN BATHROOM. UNIT TO COMPLY WITH CRC R308.6.

**FINISH**

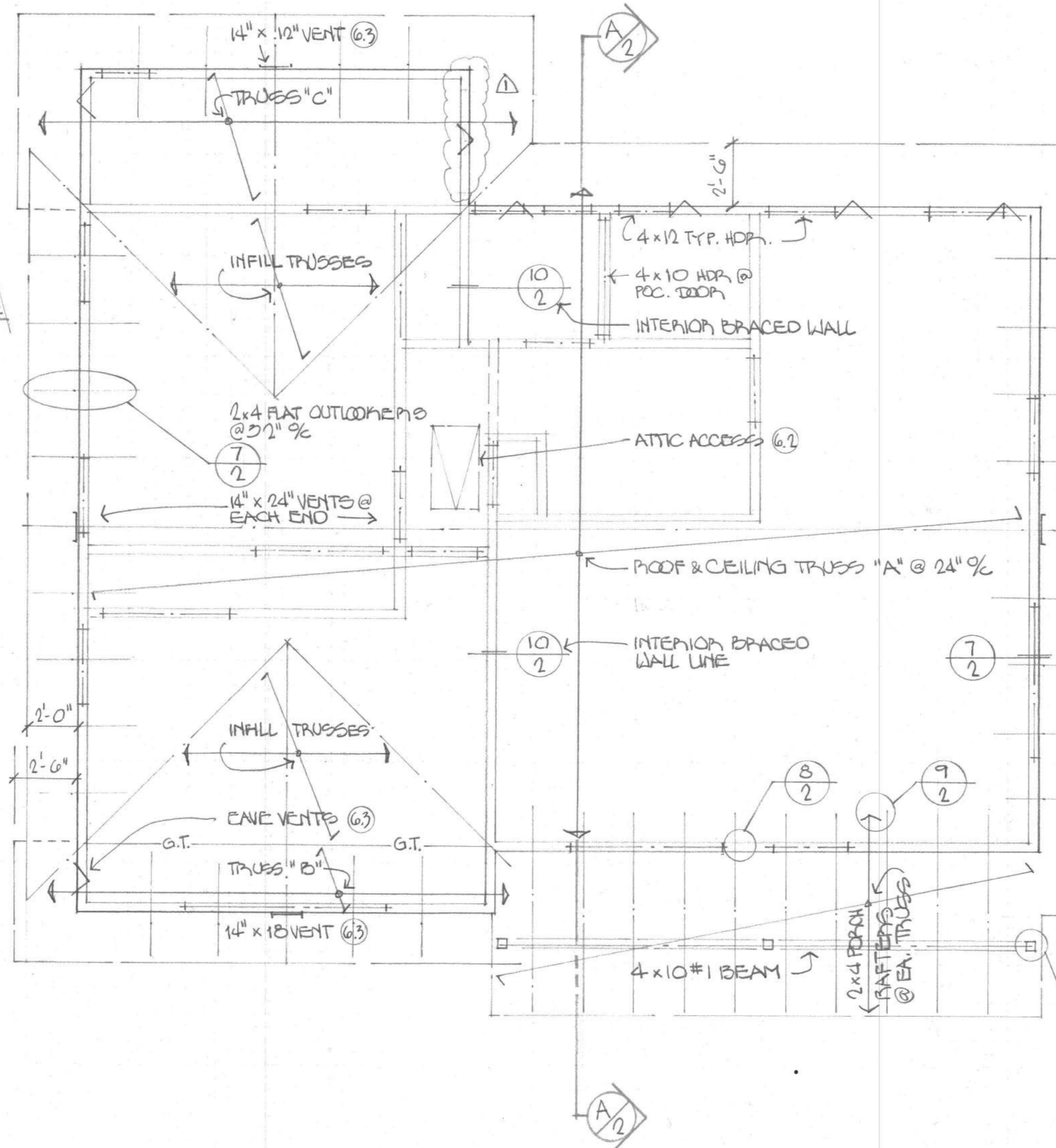
9.1 TYPICAL INTERIOR WALLS AND CEILINGS TO GET 1/2" GYP. BRD. (USE 5/8" OR BOARD RATED FOR 24" SUPPORT SPACING) WITH TAPE AND TEXTURE TO MATCH EXISTING. VERIFY.

9.2 SHOWER WALLS TO 6' ABOVE THE DRAIN AND MINIMUM 4" HORIZONTALLY PAST THE ENCLOSURE. TO BE TO BE HARD, SMOOTH AND NON-ABSORBANT. VERIFY (CRC R307.2). INCLUDE NICHE(S) IN SHOWER PER OWNERS' DIRECTION.

9.3 MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH CG 4.504.4. ADHESIVES, BONDING PRIMERS, SEALANTS, CAULKS, PAINTS, OTHER COATINGS, AND CARPET SYSTEMS SHALL COMPLY WITH VOC AND OTHER TOXIC COMPOUND LIMITS (CG 4.504.2.1, 2, AND 3). PARTICLE BOARD, MDF AND HARDWOOD PLYWOOD USED IN INTERIOR FINISHES WILL COMPLY WITH LOW EMISSION STANDARDS (CG 4.504.5). VERIFICATION DOCUMENTS TO BE AVAILABLE TO INSPECTOR UPON REQUEST.

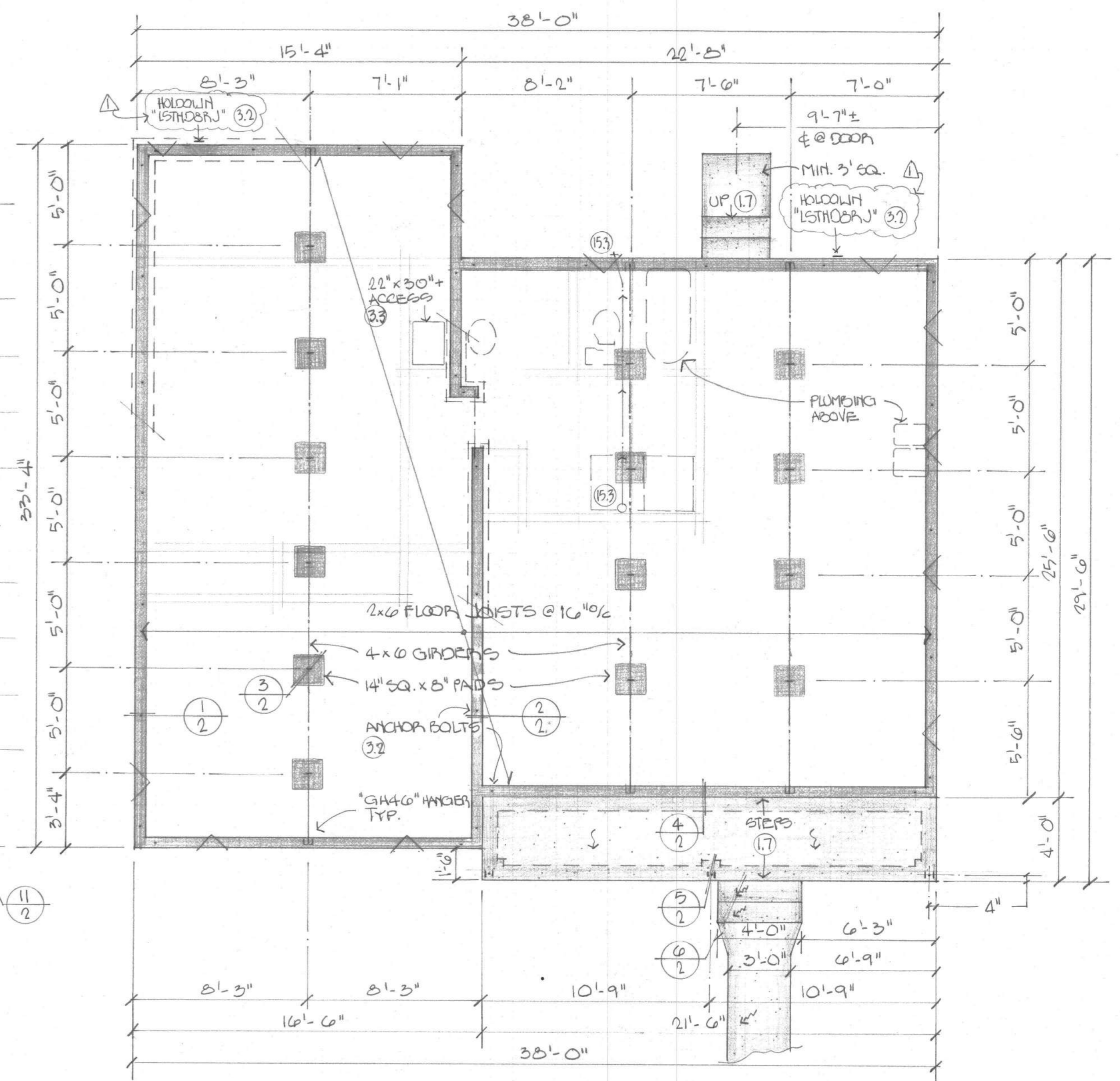
**CABINETS**

9.4 CABINETS AND STORAGE SHOWN IS SUGGESTIVE, NOT PRESCRIPTIVE. VERIFY. Notes continue on sheet 7



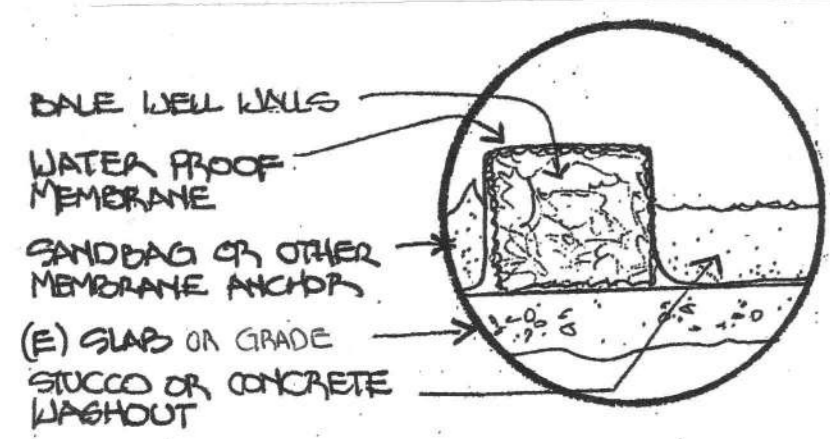
**ROOF FRAMING PLAN**

1/4" = 1'-0"

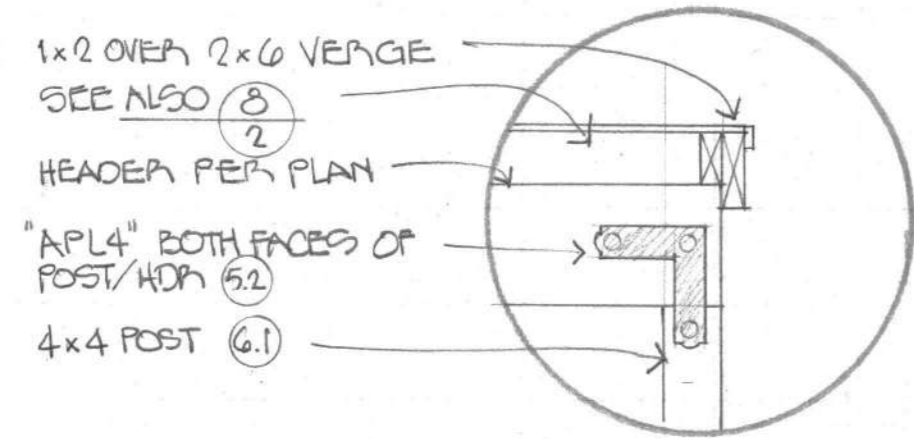


**FOUNDATION PLAN**

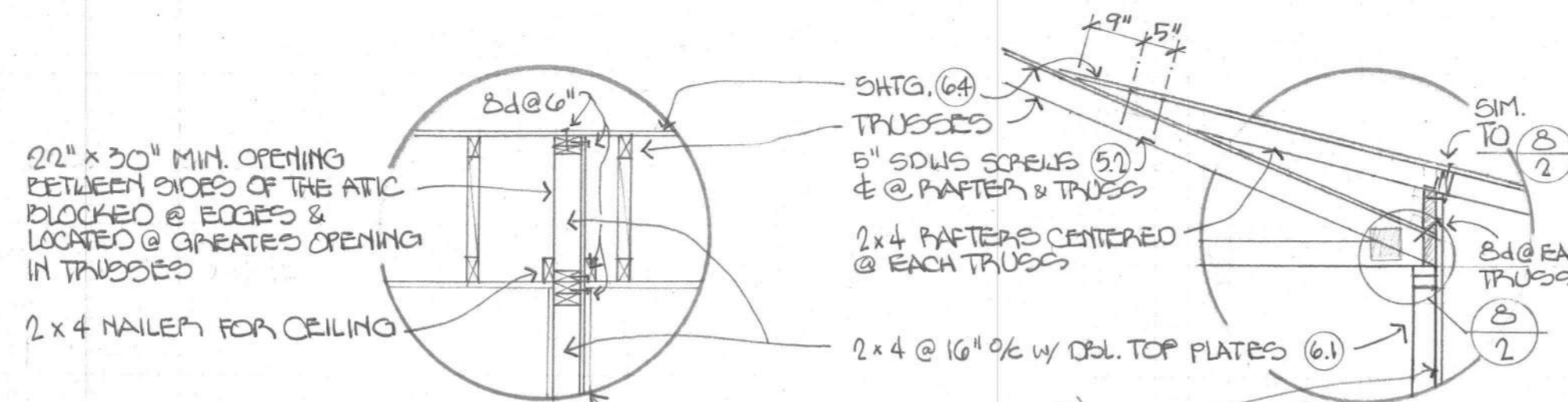
1/4" = 1'-0"



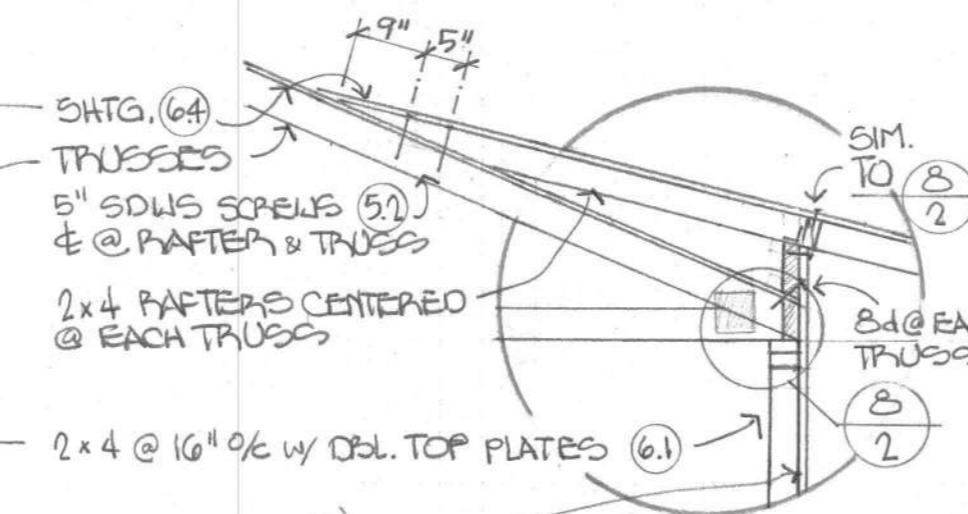
**EVAPORATION BASIN**  
N.T.S. SEE ALSO NOTE 21



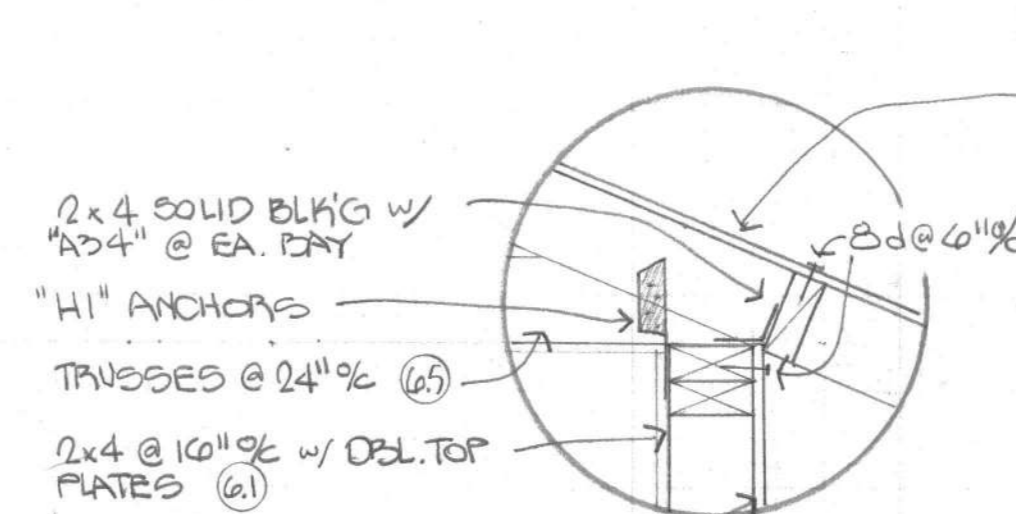
**PORCH POST/HEADER DETAIL**  
N.T.S.



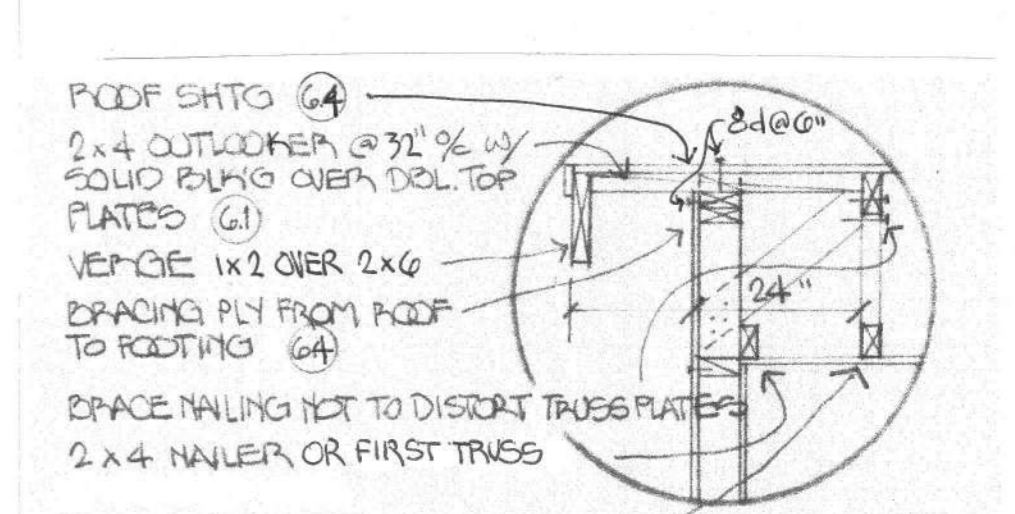
**INTERIOR BRACED WALL**  
N.T.S.



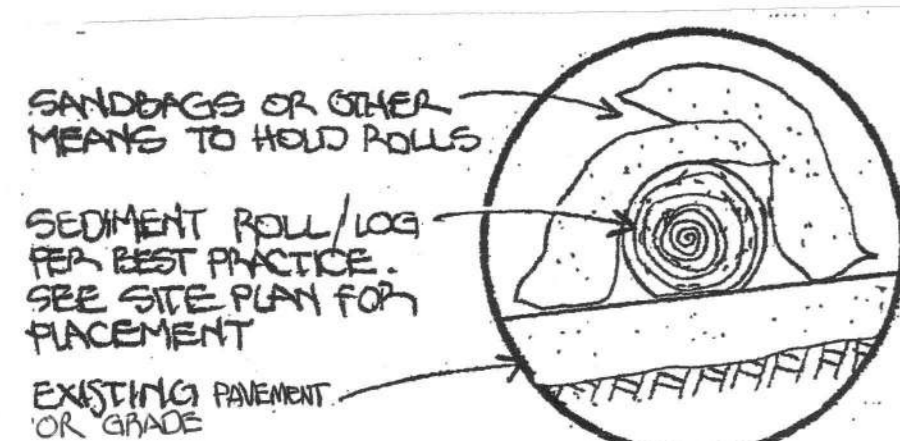
**PORCH ROOF CONNECTION**  
N.T.S.



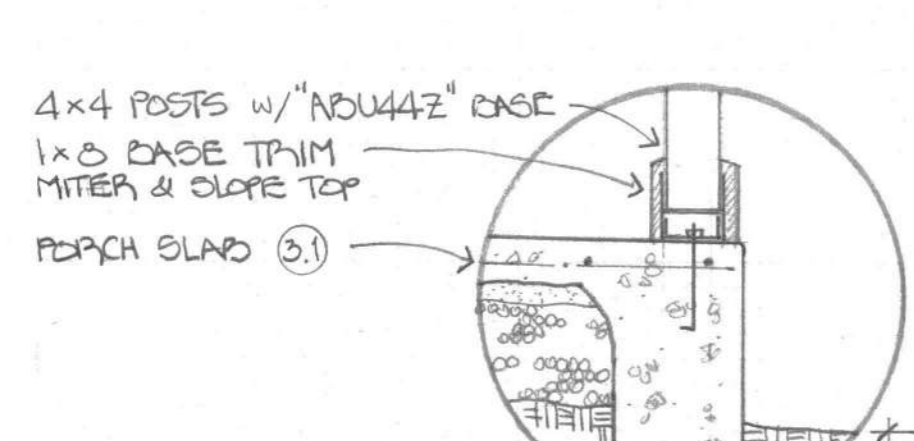
**TYP. ROOF SHEAR TRANSFER**  
N.T.S.



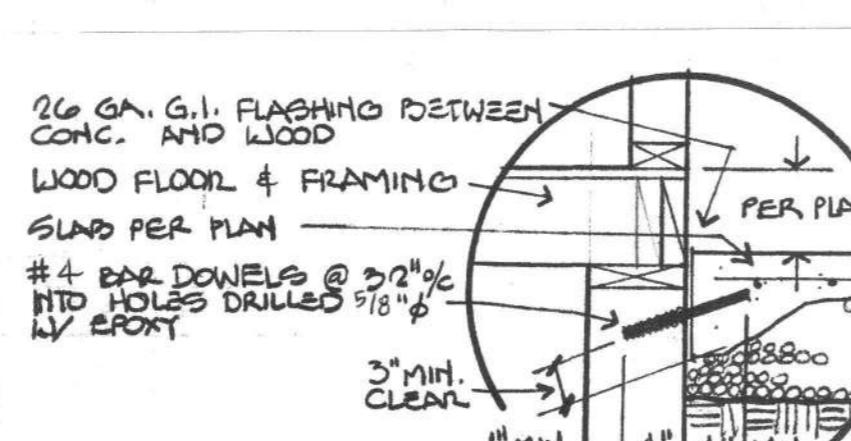
**GABLE END SHEAR TRANSFER**  
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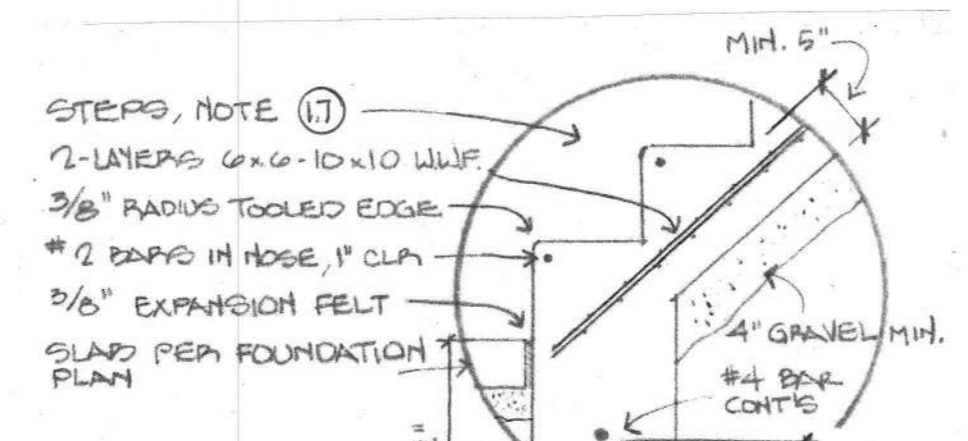
**SEDIMENT RETENTION DETAIL**  
N.T.S.



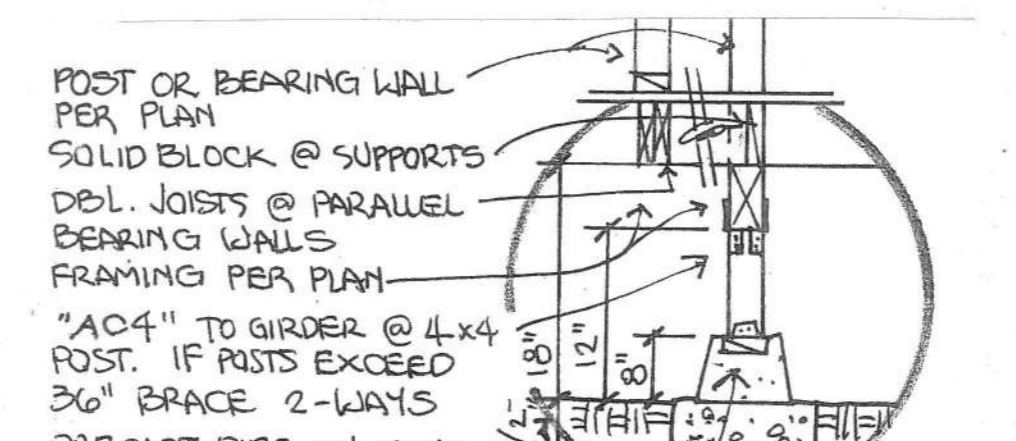
**PORCH POST BASE**  
N.T.S.



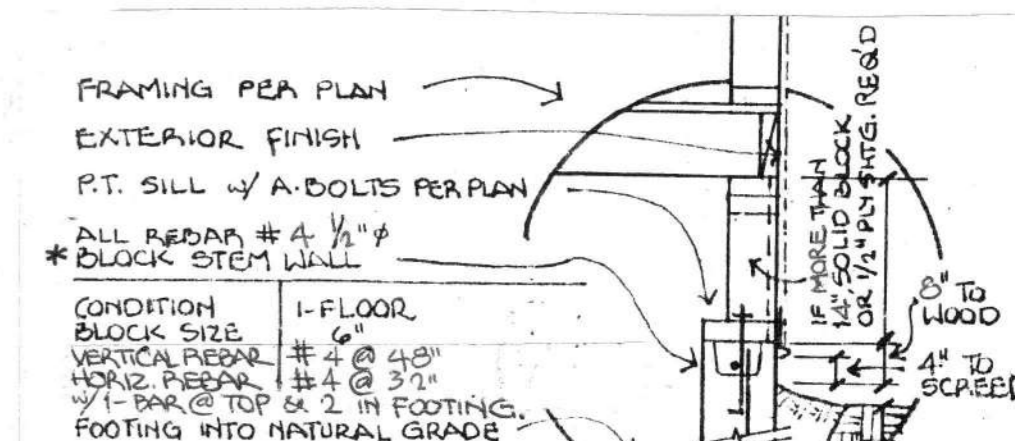
**DOWEL JOINT TIE-IN**  
N.T.S.



**CONCRETE STAIRS DETAIL**  
N.T.S.



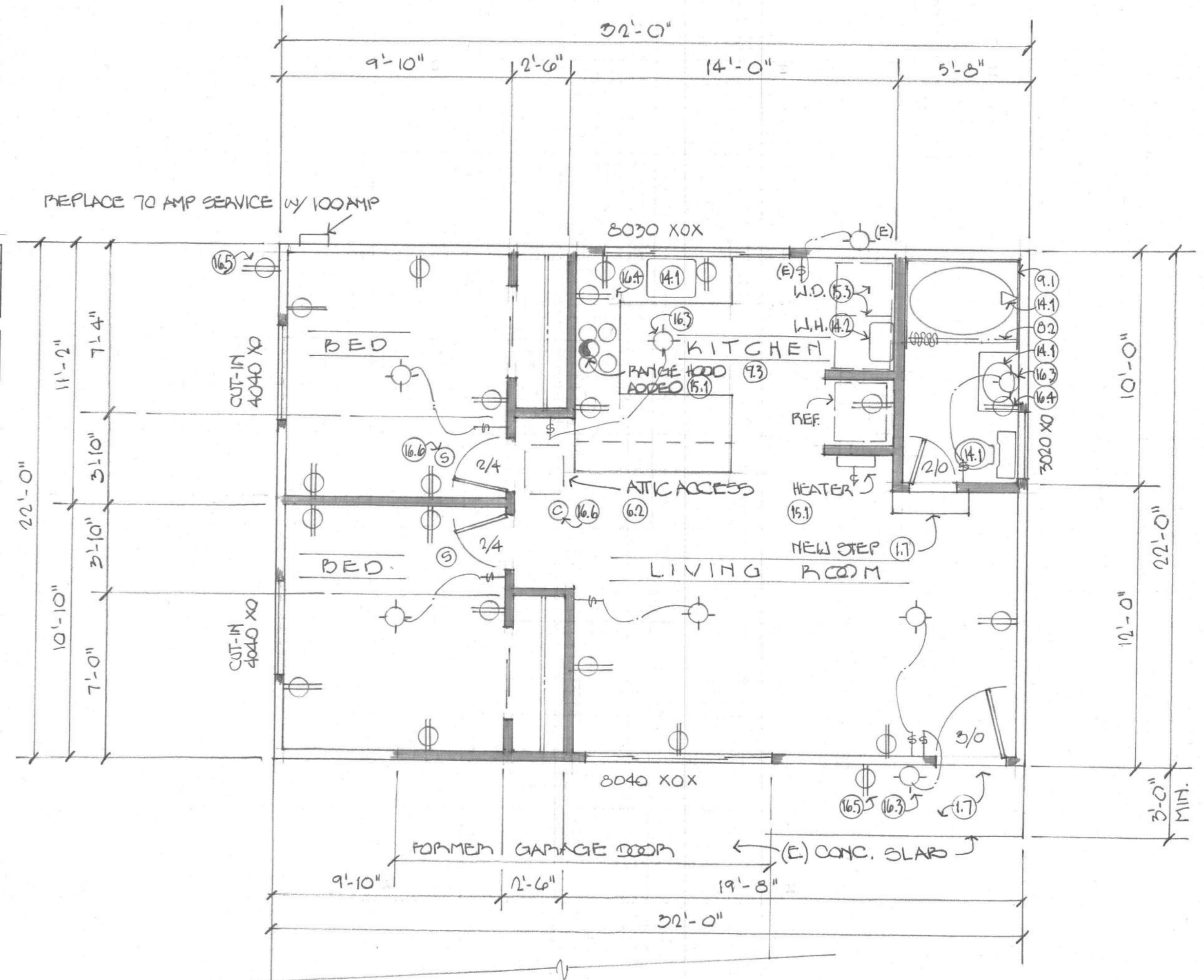
**PIER DETAIL**  
N.T.S.



**FOUNDATION DETAIL**  
N.T.S. MAY BE MODIFIED WITH SAME STEEL & DIMENSIONS



<b>REQUIRED SPECIAL FEATURES</b>	A.D.U.
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.	
<ul style="list-style-type: none"> <li>Variable capacity heat pump compliance option (verification details from VCHP Staff report, Appendix B, and RA3)</li> <li>Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater; specific brand/model, or equivalent, must be installed</li> </ul>	
<b>HERS FEATURE SUMMARY</b>	A.D.U.
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry	
<ul style="list-style-type: none"> <li>Indoor air quality ventilation</li> <li>Kitchen range hood</li> <li>Verified Refrigerant Charge</li> <li>Airflow in habitable rooms (SC3.1.4.1.7)</li> <li>Verified heat pump rated heating capacity</li> <li>Wall-mounted thermostat in zones greater than 150 ft<sup>2</sup> (SC3.4.5)</li> <li>Ductless indoor units located entirely in conditioned space (SC3.1.4.1.8)</li> </ul>	



FORMER GARAGE  
A.D.U. FLOOR PLAN  
1/4" = 1' - 0"

NOTES CONTINUED FROM SHEET 2

**PLUMBING**

- (14.1) FLOW RATES; TOILETS SPACE INSIDE FINISH DIMENSION SHALL BE 31" MINIMUM WIDTH WITH 24" CLEAR SPACE IN FRONT OF THE TOILET. SHOWERS TO HAVE THERMOSTATIC MIXING VALVE PROVIDING WATER AT A MAXIMUM 120° F. HEADS TO HAVE A FLOW RATE NOT TO EXCEED 1.8 GALLONS PER MINUTE. AT 60 PSI, LAVATORY FAUCETS SHALL HAVE A FLOW RATE NOT TO EXCEED 1.2 GALLONS PER MINUTE (GPM). KITCHEN FAUCET FLOW RATE NOT TO EXCEED 1.8 GPM.
- (14.2) WATER HEATERS TO BE ELECTRIC, STORAGE TANK TYPE PER ENERGY FORMS WITH RECIRCULATION SYSTEM. TANKS TO BE PLACED IN MIN. 1" DEEP METAL PAN WITH DRAIN FOR OVERFLOW TO OUTSIDE. TANKS TO BE BRACED AND STRAPPED TO RESIST SEISMIC FORCES. PTR VALVES TO BE PIPED TO TERMINATE 6" ABOVE GRADE WITH THREADLESS OUTLET.

**MECHANICAL**

- (15.1) EXHAUST FANS TO BE VENTED TO OUTSIDE AIR. SEE NOTE (6.2).
- (15.2) FURNACES TO BE ELECTRIC, MINI-SPLIT HEAT PUMP WITH HANDLERS IN THE MAIN ROOMS. SEE NOTE (6.3). DUCTING TO BE UNDERFLOOR (OR ATTIC IN ADU), INSTALLED & INSULATED IN ACCORDANCE WITH CMC, THE MANDATORY MEASURES SUMMARY, AND THE CEN.C. PROVIDE TOE KICK REGISTERS IN HOUSE BATHS, KITCHEN, AND LAUNDRY. DUCTING AND OTHER RELATED COMPONENTS SHALL BE COVERED DURING CONSTRUCTION TO REDUCE DUST, WATER, AND DEBRIS FROM ENTERING THEM TO A LEVEL ACCEPTABLE TO THE COUNTY AND OWNER (CG 4.504.1).
- (15.3) DRYER VENTS TO TERMINATE PER PLAN; MAX. 14' RUN WITH MAX. 2, 90° ELBOWS AND SELF-CLOSING TERMINUS.

**ELECTRICAL**

- (16.1) PROVIDE MIN. 100 AMP SERVICES. ALL 120-VOLT 15 AND 20 AMP OR BRANCH CIRCUITS SUPPLYING NEW OUTLETS EXCEPT IN BATHROOMS AND OUTSIDE SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER AND BE TAMPER RESISTANT. PROVIDE SWITCH TO LIGHT AND CONVENIENCE OUTLET FOR SERVING NEW FURNACES. (SEE NOTE (15.3)).
- (16.2) EXHAUST FANS IN BATHROOMS TO HAVE SELF-CLOSING DAMPER. VERIFY IF FAN TO INCLUDE A LIGHT. FAN AND LIGHT TO BE ON SEPARATE SWITCHES. EXHAUST FANS SHALL BE CAPABLE OF PROVIDING A MINIMUM OF FIVE AIR CHANGES PER HOUR OR 80 CFM, TO BE ENERGY STAR COMPLIANT, TO BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING, AND BE PROVIDED WITH A HUMIDISTAT SWITCH. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF NO LESS THAN 50% TO A MAXIMUM OF 80% WITH EITHER MANUAL OR AUTOMATIC MEANS. HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE FAN; IT IS NOT REQUIRED TO BE BUILT-IN. (CG 4.506.1). BATH FAN DUCTING SHALL CONFORM TO ASHRA STANDARD 62.2 AND FAN NOISE LIMITED TO MAXIMUM 3 SONES FOR INTERMITTENT OPERATION. SEE ALSO NOTE 15.2.
- (16.3) LIGHTING TO BE HIGH EFFICACY. LIGHTING PLAN IS CONCEPTUAL AND TO BE VERIFIED WITH OWNERS WITH SELECTION OF FIXTURES. EXTERIOR LIGHTING TO BE MOTION AND PHOTO SWITCHED (2) AND SHIELDED OR RECESSED IN THE FIXTURE, DOWNWARD LIGHTING ONLY, HARMONIOUS WITH THE LOCAL AREA, AND CONSTRUCTED SO THAT ONLY THE INTENDED AREA IS ILLUMINATED. ALSO OFF-SITE GLARE IS TO BE FULLY CONTROLLED. SUITABLE IS PROGRESS LIGHTING #P5644-20 WITH P8797 TOP COVER; SEE "CUT SHEET" ON SHEET T24 AND VERIFY DETAILS WITH OWNER.
- (16.4) A SEPARATE 20 AMP CIRCUIT IS REQUIRED FOR NEW BATHROOM CONVENIENCE OUTLETS. PROVIDE AT LEAST ONE G.F.C.I. PROTECTED DUPLEX CONVENIENCE OUTLETS ADJACENT TO EACH WASH BASIN (CEC 210-23(A)). DUPLEX CONVENIENCE OUTLETS IN KITCHENS ARE REQUIRED TO BE G.F.C.I. PROTECTED EXCEPT WHERE HIDDEN BY FIXED APPLIANCES. PROVIDE MIN. 2-SEPARATE, 20 AMP SMALL APPLIANCES CIRCUITS FOR KITCHEN COUNTER TOPS. LOADS SHALL BE BALANCED (CEC 210-52(B)(2)). PROVIDE A DEDICATED 20 AMP CIRCUIT FOR LAUNDRY AND A 220V GROUNDED ELECTRICAL OUTLET FOR CLOTHES DRYERS (CEC 210-23(A)).
- (16.5) DUPLEX RECEPTACLES OUTSIDE TO BE PROVIDED WITH WEATHERPROOF COVER THAT IS EFFECTIVE EVEN IF THE ATTACHMENT PLUG CAP IS NOT INSERTED.
- (16.6) PROVIDE SMOKE AND CARBON MONOXIDE ALARMS THROUGHOUT PER CODE. IN HOUSE, SMOKE AND CARBON MONOXIDE ALARMS TO BE ON HOUSE POWER WITH NON-REMOVABLE, 10 YEAR BACKUP BATTERY, AND SHALL BE ON A DEDICATED CIRCUIT WITH NO SWITCH BUT OVERCURRENT PROTECTION. IN ADU, UNITS TO BE POWERED BY 10 YEAR BATTERY. EACH ALARM TO BE CLEARLY AUDIBLE IN BEDROOMS OVER BACKGROUND NOISE AND WITH INTERVENING DOORS CLOSED. MOUNT AND LOCATE ALARMS PER CODE AND NOT WITHIN 3' OF TUB OR SHOWER ROOM DOORS, HVAC SUPPLY REGISTERS, OR THE TIPS OF PADDLE FAN BLADES (IF ANY), AND PER STATE FIRE MARSHALL AND THE MANUFACTURER'S INSTRUCTIONS. (R314). (E) = SMOKE ALARM; (C) = COMBINATION CARBON MONOXIDE AND SMOKE ALARM.

REVISION: 2

DESIGN, DRAFTING & PERMIT EXPEDITIONS  
MARK EDWIN NORRIS

Dwelling Units  
CALIFORNIA  
11260 PEOPLE ST.

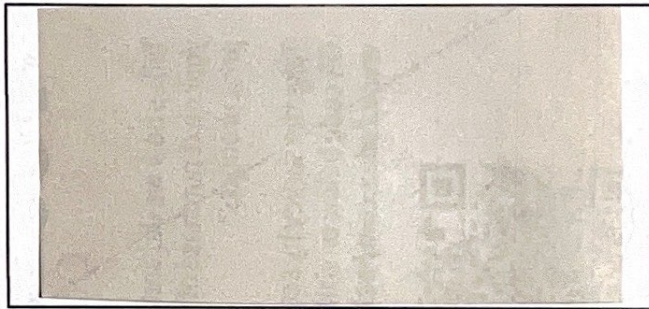
JOB 21027  
SHEET 3 OF 1



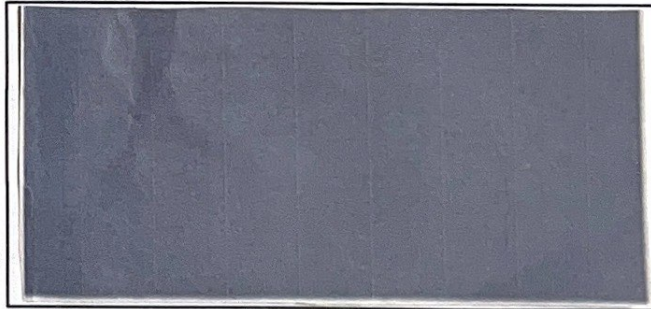
COLOR SAMPLES FOR PROJECT FILE NO. PLN 220131



Materials: COMPOSITION SHINGLES Colors: CHARCOAL GRAY  
Description: ROOFING



Materials: STUCCO Colors: ASHEN TAN  
Description: WALLS



Materials: WOOD Colors: ADIRONDACK BLUE  
Description: TRIM