Exhibit B

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CRAIG RESIDENCE REMODEL

62 4TH STREET
SPRECKELS, CA 93908

VICINITY MAP

SHEET INDEX

PROJECT INFORMATION

PROJECT:	CRAIG RESIDENCE REMODEL
LOCATION:	62 4TH STREET SPRECKELS, CA 93908
A.P.N.:	177-052-012-000
OCCUPANCY:	R-3 / U
ZONING:	HDR/5.1-HR-D
CONST. TYPE:	V-B - NON-SPRINKLERED

SQUARE FOOTAGE CALCULATIONS:

EXISTING RESIDENCE:	593 S.F.
NEW ADDITION:	144 S.F.
CARPORT:	241 S.F.
TOTAL:	978 S.F.
LOT SIZE:	6,000 S.F. (0.14 ACRE)
(E) BUILDING COVERAGE:	10% (35% ALLOWED)
(N) BUILDING COVERAGE:	16% (35% ALLOWED)

SETBACKS:

(E) FRONT YARD:	26'-6"
(N) FRONT YARD:	20'-0" (20'-0" REQ'D)
(E) REAR YARD (UNCHANGED):	65-2" (50'-0" REQ'D)
(E) WEST SIDE YARD (UNCHANGED):	+/-5'-0" (5'-0" REQ'D)
(E) EAST SIDE YARD:	+/-22'-7" (5'-0" REQ'D)
(N) EAST SIDE YARD:	+/-11'-11" (5'-0" REQ'D)

APPLICABLE BUILDING CODES & STANDARDS

2022 CALIFORNIA ADMINISTRATIVE CODE (CAC), PART 1, TITLE 24, CALIFORNIA CODE OF REGULATIONS (C.C.R.)
2022 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
2022 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
2022 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.
2022 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
2022 CALIFORNIA ENERGY CODE (CEC) PART 6, TITLE 24 C.C.R.
2022 CALIFORNIA RESIDENTIAL CODE (CRC), PART 2.5, TITLE 24 C.C.R.

PROJECT TEAM

OWNER	SCOTT & BECKY CRAIG 62 4TH STREET SPRECKELS, CA 93908
GENERAL CONTRACTOR/ DESIGNER	KF CONSTRUCTION 4 HARRIS COURT MONTEREY, CA 93940 PH: (831) 884-3051 Contact: KEVIN FLANDERS
STRUCTURAL ENGINEER	DONALD C. URFER & ASSOCIATES, INC. 2115 PORTER STREET SOQUEL, CA 95073 PH: (831) 476-3601 Contact: KAREN MINIKKA

PROJECT SCOPE

THE INTERIOR AND EXTERIOR REMODEL OF AN EXISTING SINGLE FAMILY RESIDENCE INCLUDING:

- DEMOLITION OF MINOR INTERIOR NON-LOAD BEARING WALLS.
- ADDITION OF 144 S.F. TO FRONT OF RESIDENCE.
- REMOVE FRONT ENTRY PORCH TO ACCOMMATE NEW ADDITION.
- REPLACE EXISTING GLASS PATIO DOORS ON REAR OF RESIDENCE (NOT VIEWABLE FROM R.O.W.)
- CREATE NEW MASTER BEDROOM & MASTER BATH.
- ADD NEW 241 S.F. CARPORT.

KF CONSTRUCTION
KEVIN FLANDERS, OWNER
275 RIVER ROAD - SUITE A
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CRAIG RESIDENCE REMODEL
62 4TH STREET
SPRECKELS, CA 93908

PRINT DATE:

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12/2/23 SUBMITTAL SET

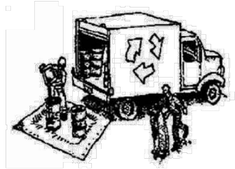
1 3/25/2024 DESIGN APPROVAL

TITLE SHEET

A0.1

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- ❑ Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Waste Management

- ❑ The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the project.
- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).

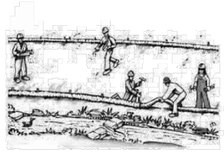
EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- ❑ Inlet protection is the last line of spill defense. Drains/inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management Districts' guidelines for accepting hazardous waste materials).
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.



EARTHWORK & CONTAMINATED SOILS

Erosion Control

- ❑ Schedule grading and excavation work for dry weather only.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

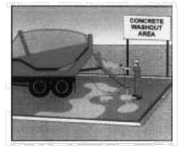
- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filler, berms, etc.
- ❑ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ❑ Keep excavated soil on the site where it will not collect into the street.
- ❑ Transfer excavated materials to dump trucks on the site, not in the street.
- ❑ If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
  - Unusual soil conditions, discoloration, or odor
  - Abandoned underground tanks
  - Abandoned wells
  - Buried barrels, debris, or trash.

PAVING/ASPHALT WORK

- ❑ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt or concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- ❑ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

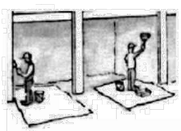


CONCRETE, GROUT & MORTAR APPLICATION

- ❑ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ❑ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

LANDSCAPE MATERIALS

- ❑ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ❑ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



PAINTING & PAINT REMOVAL

Painting cleanup

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ❑ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

DEWATERING

- ❑ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
- ❑ Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
- ❑ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO $10,000 PER DAY!

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CRAIG RESIDENCE REMODEL
62 4TH STREET
SPRECKELS, CA 93908

PRINT DATE:

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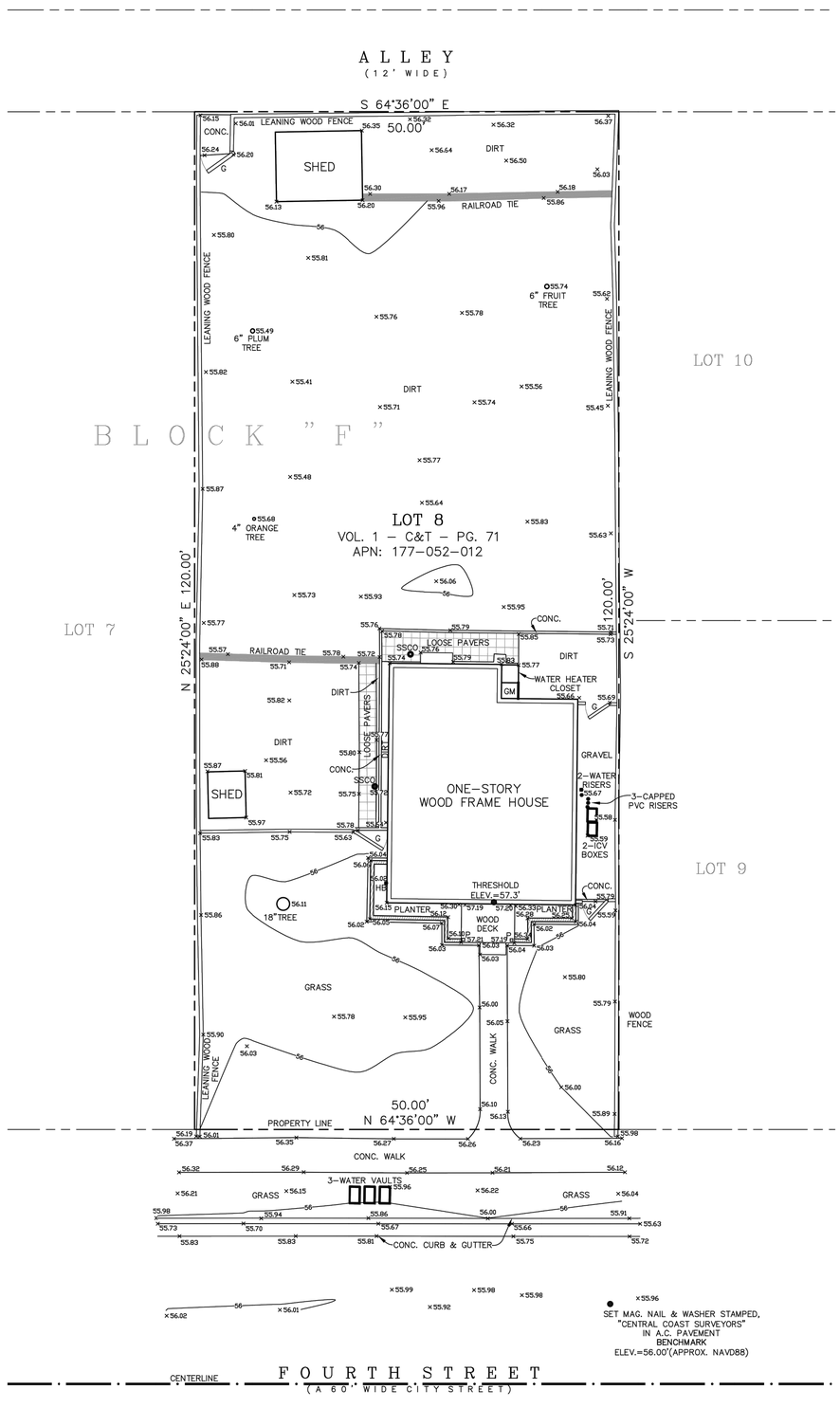
12/2/23 SUBMITTAL SET

BEST MANAGEM'T PRACTICES

A0.2

Craig - A0.2



SCALE: 1" = XX

LEGEND:

G	GATE
GM	GAS METER
HB	HOSEBIB
ICV	IRRIGATION CONTROL VALVE
P	PILLAR
SSCO	SANITARY SEWER CLEANOUT
——	DENOTES A WOOD STEP
═══	DENOTES A WOOD FENCE
▭▭▭	DENOTES A BRICK WALL

NOTES:

1. ALL DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
2. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
3. ELEVATIONS SHOWN ARE BASED ON AN ASSUMED DATUM THAT APPROXIMATES THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). PROJECT BENCHMARK IS A MAG. NAIL & STAINLESS STEEL WASHER STAMPED "CENTRAL COAST SURVEYORS" SET IN THE A.C. PAVEMENT FOF FOURTH STREET, AS SHOWN.

   ELEVATION = 56.00 FEET (APPROX. NAVD88)
4. CONTOUR INTERVAL = ONE FOOT.
5. TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES.

LICENSED LAND SURVEYOR
DAVID T. EDSON
No. 4974
STATE OF CALIFORNIA

TOPOGRAPHIC MAP

OF

LOT 8 IN BLOCK "F"
AS SHOWN ON THE
"OFFICIAL MAP OF SPRECKELS"
FILED IN, VOL. 1 – C&T – PG. 71
OFFICIAL RECORDS OF MONTEREY COUNTY

SPRECKELS | COUNTY OF MONTEREY | STATE OF CALIFORNIA

PREPARED FOR

KF Construction, Inc.

BY

CENTRAL COAST SURVEYORS
5 HARRIS COURT, SUITE N-11 MONTEREY, CALIFORNIA 93940
Phone (831) 394-4050
Fax: (831) 394-4051

SCALE: 1" = 8' | JOB No. 22-102 | JULY 2022

PREPARER: LLJS

APN 177-052-012

831-236-6871
KF CONSTRUCTION Lic.# 900327

KF CONSTRUCTION
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62 4TH STREET
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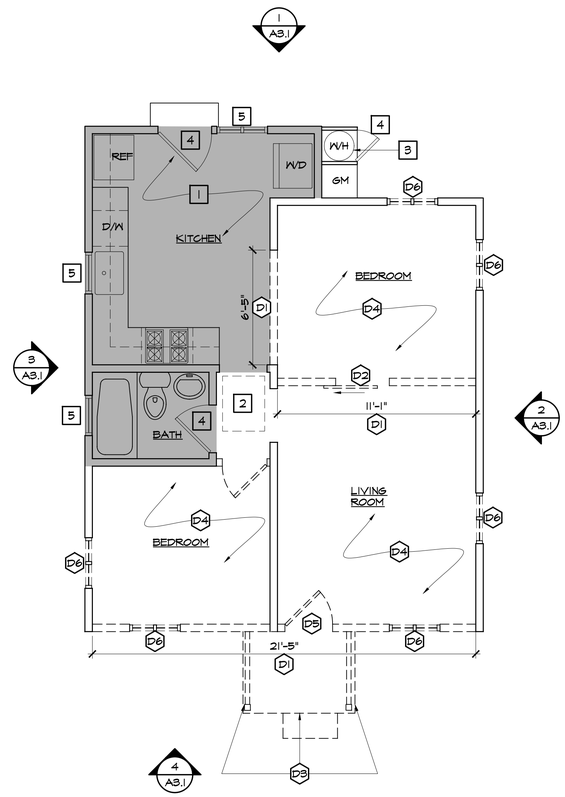
EXISTING CONDITIONS SURVEY

ECO.1

Craig - ECO



DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'-0"

TRUE NORTH

DEMOLITION KEY NOTES

D1 REMOVE WALL, OR PORTION OF NON-BEARING WALL TO ACCOMMODATE NEW WORK.

D2 REMOVE INTERIOR WOOD DOOR, DOOR FRAME AND WOOD TRIM IN ITS ENTIRETY.

D3 REMOVE EXISTING FRONT PORCH IN ITS ENTIRETY.

D4 REMOVE ALL EXISTING FLOORING IN AREA OF REMODEL.

D5 REMOVE MAIN EXTERIOR ENTRANCE DOOR INCLUDING FRAME, DOOR AND TRIM - TO BE REUSED IN ADJACENT OPENING - SEE A2.1.

D6 REMOVE EXTERIOR VINYL WINDOW, WINDOW FRAME AND WOOD TRIM IN ITS ENTIRETY - SAVE FOR REINSTALLATION IN NEW LOCATION.

KEY NOTES

1 SHADED AREA DEPICTS PORTION OF RESIDENCE WHERE NO WORK WILL OCCUR.

2 EXISTING F.A.U. UNDER FLOOR TO REMAIN - PROTECT RETURN AND SUPPLY GRILLES AND DUCTWORK.

3 EXISTING WATER HEATER TO REMAIN.

4 EXISTING DOOR TO REMAIN - PROTECT FROM DAMAGE.

5 EXISTING WINDOW TO REMAIN - PROTECT FROM DAMAGE.

LEGEND

(E) WALL TO REMAIN.

(E) WINDOW TO REMAIN.

(E) DOOR TO REMAIN.

(E) WALL TO BE REMOVED

(E) WINDOW TO BE REMOVED/REPLACED.

DEMOLITION GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING. ALL ELEMENTS NOT SHOWN TO REMAIN ARE TO BE DEMOLISHED PER ARCHITECT'S APPROVAL.

2. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO THE ITEMS TO REMAIN.

3. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.

4. PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION/CONSTRUCTION AREA. KEEP AREA CLEAN.

5. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.

6. REMOVE ALL EXISTING CARPET, TILE, VCT AND SHEET VINYL WHERE OCCURS. U.O.N. REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RISES OR DEPRESSIONS IN FLOORING SURFACE, SUCH AS FASTNERS, OUTLET CORES, COVER PLATES, CARPET PADS, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.

7. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

8. REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.

9. GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.

10. PATCH AND REPAIR WALL SURFACES TO REMAIN TO MATCH AFTER COMPLETION OF DEMOLITION WORK AND INSTALLATION OF NEW PARTITIONS AND/OR NEW DOORS AND WINDOWS.

11. AT ALL WALLS TO REMAIN, REFER TO DRAWINGS FOR TREATMENT OF EXISTING SURFACES OTHER THAN PAINT. PATCH AND FILL WALLS, PREP FOR NEW FINISH.

12. CONTRACTOR TO LEGALLY DISPOSE OF ALL MATERIALS NOTED FOR DEMOLITION.

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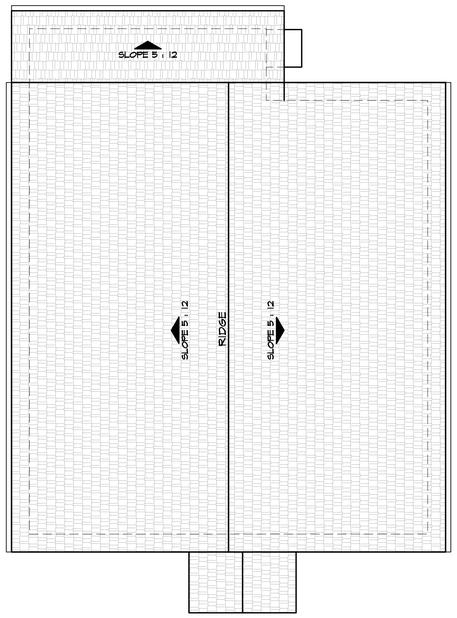
DEMOLITION FLOOR PLAN

D1.0

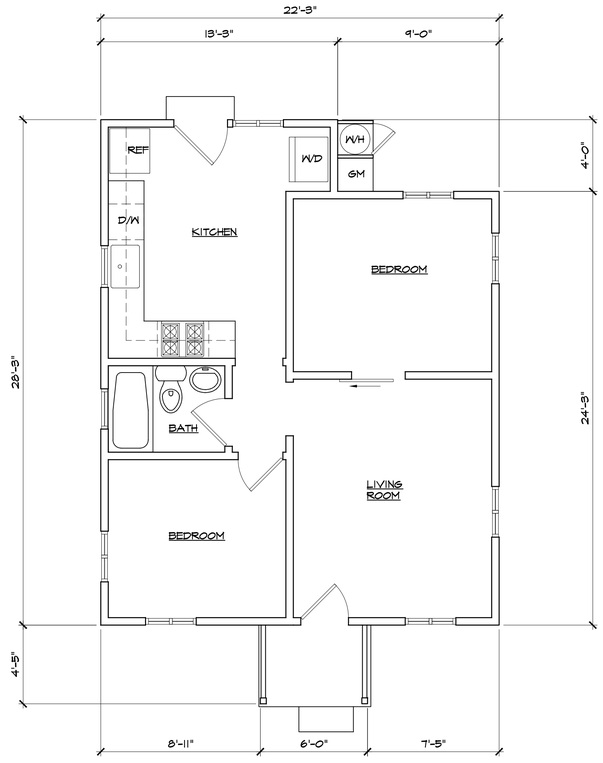
Craig - D1.0



EXISTING CONDITIONS ROOF PLAN

SCALE: 1/4" = 1'-0"

TRUE NORTH



EXISTING CONDITIONS FLOOR PLAN

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TRUE NORTH

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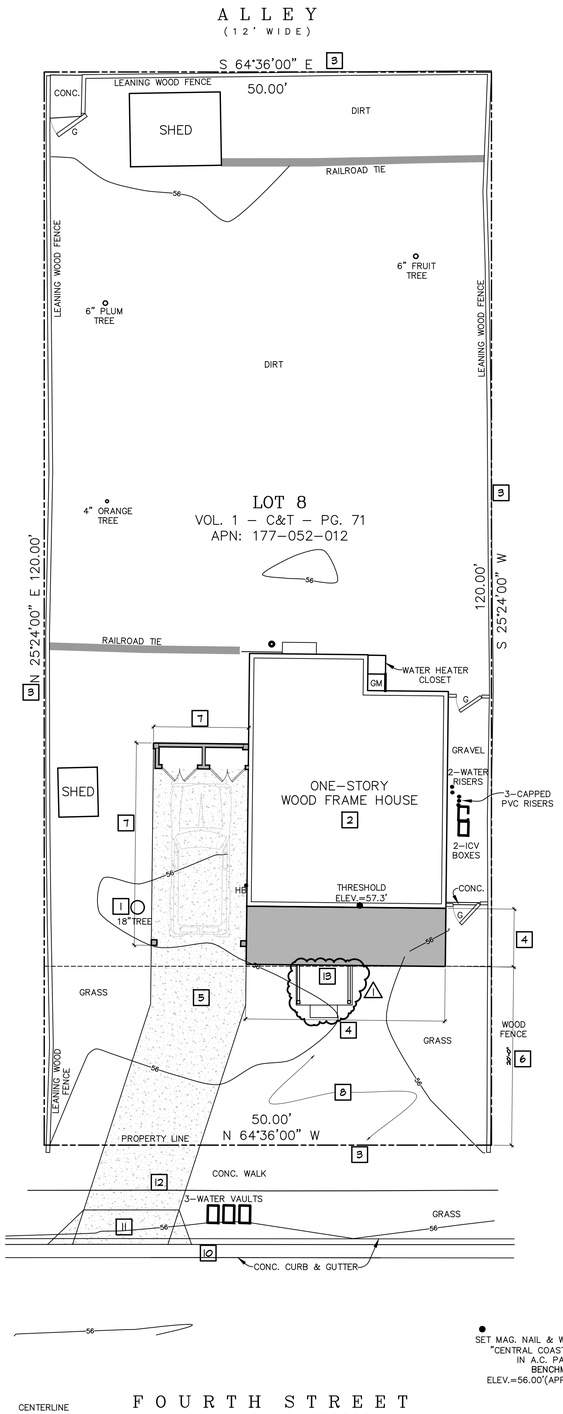
EXISTING FLOOR PLAN

A1.0

Craig - A1.0



SITE PLAN

SCALE: 1/8" = 1'-0"

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

1. EXISTING TREE TO REMAIN.
2. EXISTING SINGLE-FAMILY RESIDENCE.
3. EXISTING PROPERTY LINE.
4. NEW ADDTION.
5. NEW CONCRETE DRIVEWAY AND APPROACH.
6. LINE OF SETBACK.
7. NEW CARPORT.
8. NEW LANDSCAPING, TYPICAL.
9. EXISTING STORM SEWER ACCESS.
10. EXISTING PUBLIC CURB TO REMAIN.
11. NEW P.G. APRON CONNECTION TO R.O.W.
12. EXISTING EDGE OF PAVEMENT.
13. RECONSTRUCTED FRONT ENTRY PORCH TO MATCH EXISTING. (1)

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1 9/25/2024 DESIGN APPROVAL

2 4/15/2024 RESPONSE TO PLAN CHECK

PROPOSED SITE PLAN

A1.1

Craig - A1

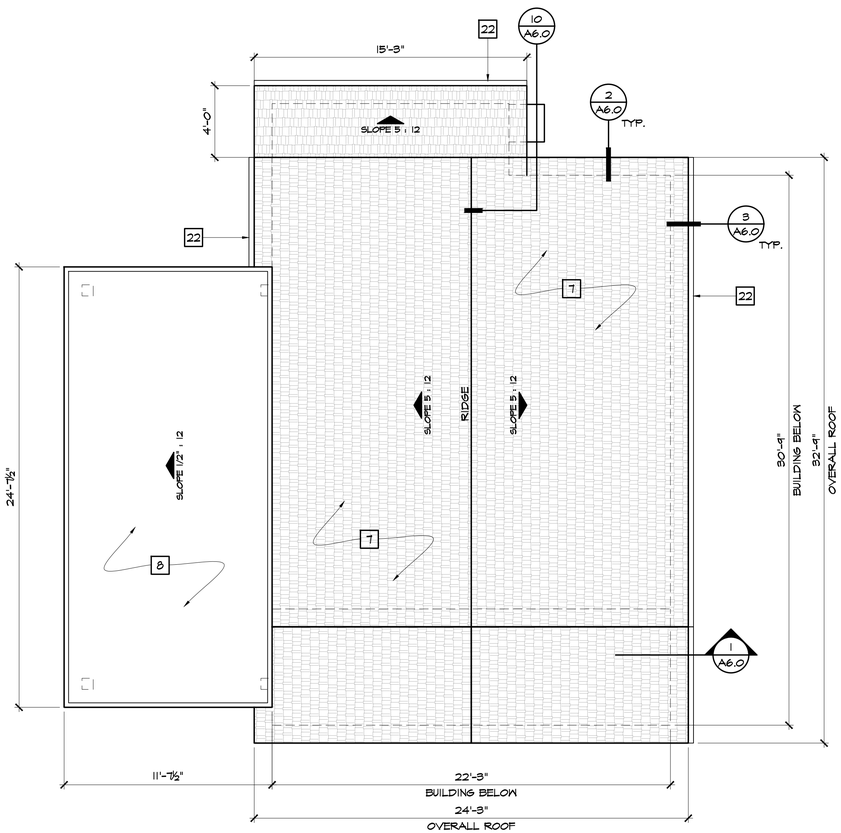
ROOF VENTING CALCULATIONS

VENTILATION REQUIRED:

REQUIRED:
738 S.F. ÷ 150 = 4.92 S.F. x 144 = 709 SQ. IN.

VENTILATION PROVIDED:

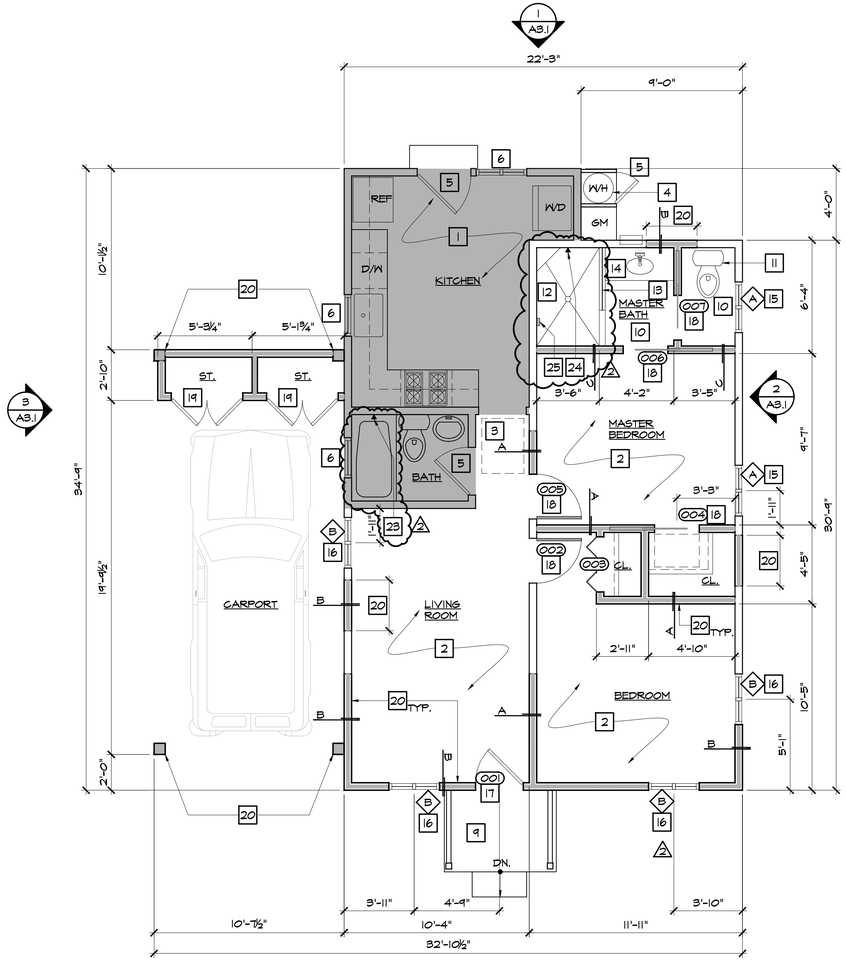
- VENT AT EAVES:
  (1-3/4" ø) 2.4053 SQ. IN. x 3 = 7.21 SQ. IN.
  31'-0" / 24" = 16 X 7.21 IN. = 115.36 SQ. IN. / SIDE
  230.72 SQ. IN. @ EAVES TOTAL
- LOUVERED VENTS @ FRONT AND REAR ELEVATIONS:
  NOLL - FR 12x18 LOUVER VENT = 216 SQ. IN.
  432 SQ. IN. @ WALLS TOTAL
- RIDGE VENTING:
  COR-A-VENT V-300 = 13.5 SQ. IN. / LIN. FT.
  31'-0" x 13.5 SQ.IN. = 418.5 SQ. IN. @ RIDGE
- TOTALS:
  230.72 SQ. IN. @ EAVES
  432 SQ. IN. @ WALLS
  418.5 SQ. IN. @ RIDGE
  1,081.22 SQ. IN. PROVIDED TOTAL



PROPOSED CONDITIONS ROOF PLAN

SCALE: 1/4" = 1'-0"

TRUE NORTH



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

TRUE NORTH

KEY NOTES

1. SHADED AREA DEPICTS PORTION OF RESIDENCE WHERE NO WORK WILL OCCUR.
2. NEW FINISH FLOORING TO BE SELECTED BY OWNER.
3. EXISTING F.A.U. UNDER FLOOR TO REMAIN - PROTECT RETURN AND SUPPLY GRILLES AND DUCTWORK.
4. EXISTING WATER HEATER TO REMAIN.
5. EXISTING DOOR TO REMAIN.
6. EXISTING WINDOW TO REMAIN.
7. NEW ASPHALT SHINGLE ROOF TO MATCH (E).
8. NEW BUILT-UP ASPHALT LOW-SLOPE ROOF AT NEW CARPORT.
9. RECONSTRUCTED FRONT ENTRY PORCH TO MATCH EXISTING. 1
10. NEW TILE FLOORING TO BE SELECTED BY OWNER - SEE 14/A6.0, TYP. PROVIDE TRANSITION AT NEW FLOORING.
11. NEW TOILET TO BE SELECTED BY OWNER.
12. NEW CURBLESS SHOWER STALL TO REPLACE EXISTING - SEE 11/A6.0 FOR MORE INFORMATION.
13. 3'-6" W X 6'-8" ¼" TEMPERED GLASS @ SHOWER.
14. NEW BATH VANITY, SINK AND FAUCET TO BE SELECTED BY OWNER.
15. NEW VINYL WINDOW - SEE WINDOW SCHEDULE SHEET A5.0.
16. RELOCATED VINYL WINDOW - SEE WINDOW SCHEDULE SHEET A5.0.
17. RELOCATED ENTRY DOOR - SEE DOOR SCHEDULE SHEET A5.0.
18. NEW INTERIOR DOOR - SEE DOOR SCHEDULE SHEET A5.0.
19. NEW EXTERIOR STORAGE DOORS TO MATCH SIDING.
20. NEW WALL OR INFILL WALL - SEE SCHEDULE THIS SHEET AND STRUCTURAL DRAWINGS.
21. NEW COLUMN AT CARPORT - SEE STRUCTURAL DRAWINGS.
22. NEW OGEE GUTTER AND DOWNSPOUT - SEE 3, 7 & 8/A6.0.
23. EXISTING TUB/SHOWER COMBINATION TO REMAIN. SHOWER/TUB CONTROL VALVES SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDES SCALE AND THERMAL SHOCK PROTECTION PER CPC 418.0.
24. LOCATION OF CONTROL VALVE FOR SHOWER. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF THE SHOWER COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY PER CPC 411.1.0.
25. NEW SHOWERHEAD LOCATION.
26. LOCATION OF READILY ACCESSIBLE ATTIC ACCESS IN CEILING. MINIMUM 22" X 30" LOCATED WHERE AT LEAST 30 INCHES OF UNOBSTRUCTED HEADROOM OCCURS AND ATTIC SPACE EXCEEDS 30 S.F. PER CRC R807.1. 2

PLUMBING FIXTURE NOTES

1. ALL FIXTURES TEN (10) FEET AWAY FROM WATER HEATER SHALL BE ON A RECIRCULATION LOOP WITH INSULATED SUPPLY/RETURN LINES.
2. PLUMBING FIXTURE MAXIMUM WATER CONSUMPTION RATES:
   - 2.1. KITCHEN FAUCETS: 1.8 GPM @ 60 PSI. FAUCETS MAY TEMPORARILY INCREASE THE MAXIMUM FLOW RATE BUT NOT TO EXCEED 2.2 GPM @ 60 PSI.
   - 2.2. LAVATORY FAUCETS: 1.2 GPM @ 60 PSI MAX. 0.8 GPM @ 20 PSI MIN.
   - 2.3. WATER CLOSET: 1.6 GPF. 2
   - 2.4. SHOWER FAUCET - 1.8 GPM.

WALL SCHEDULE

SYMBOL TYPE	DESCRIPTION
A	WALL TYPE 'A' - 2x4 NON-BEARING WOOD STUD WALL w/ 5/8" THICK. GYP. BD. EA. SIDE (MOISTURE RESISTANT GYP. BD. AT ALL WET LOCATIONS, TYP.) - SEE 11/A6.0.
	EXISTING WALL TO REMAIN. INTERIOR: 2X4 WD. STUD WALL W/ 5/8" GYP. BD. EA. SIDE.TYP. EXTERIOR: 2X4 WD. STUD WALL W/ R-13 BATT INSULATION AND ½" GYP. BD. INTERIOR AND 12" WOOD LAP SIDING, TYP. EXTERIOR.
B	WALL TYPE 'B' - 2X4 WD. STUD WALL W/ R-13 BATT INSULATION AND ½" GYP. BD. INTERIOR AND 12" WOOD LAP SIDING TO MATCH EXISTING, TYP. EXTERIOR. - SEE 12/A6.0.
C	WALL TYPE 'C' - 2x4 NON-BEARING WOOD STUD WALL w/ 5/8" THICK. GYP. BD. ONE SIDE PREPPED FOR TILE ON THE OTHER - SEE 13/A6.0.

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831-236-6871 KF CONSTRUCTION Lic.# 903271

CRAIG RESIDENCE REMODEL

62 4TH STREET
SPRECKELS, CA 93908

PRINT DATE:

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12/2/23		SUBMITTAL SET
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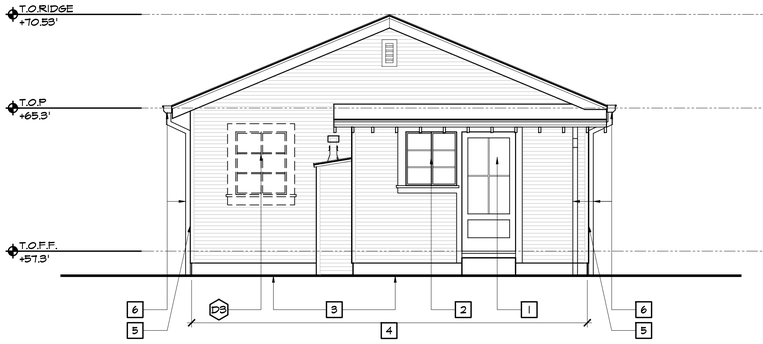
2	4/15/2024	RESPONSE TO PLAN CHECK

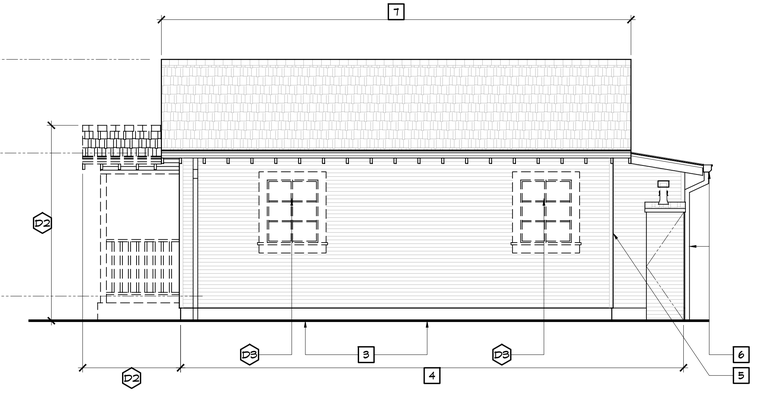
PROPOSED FLOOR PLANS

A2.1

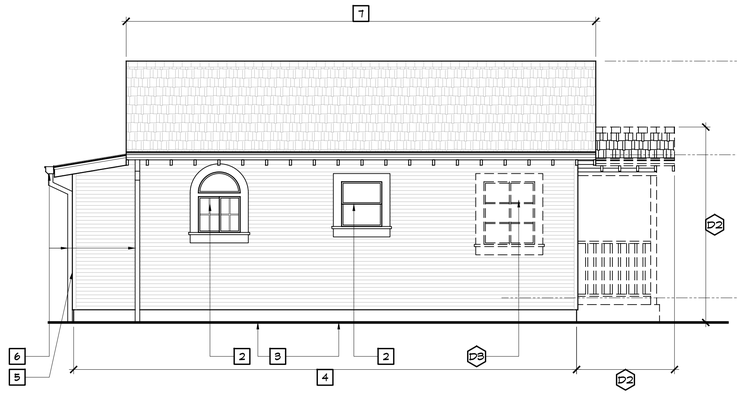
Craig - A2



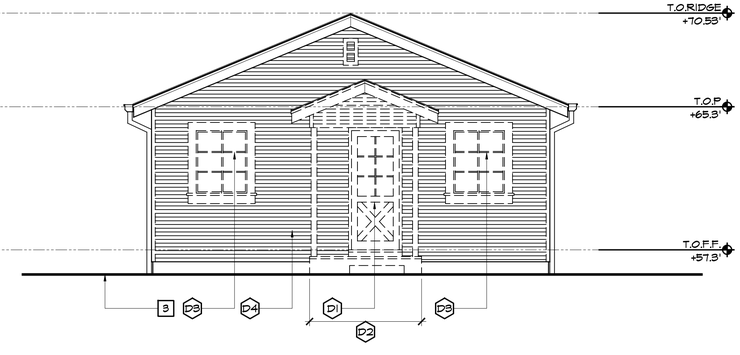
1 DEMOLITION NORTH (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



2 DEMOLITION EAST (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"



3 DEMOLITION WEST (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"



4 DEMOLITION SOUTH (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTES

1. EXISTING WOOD AND GLASS DOOR TO REMAIN.
2. EXISTING VINYL WINDOW TO REMAIN.
3. LINE OF EXISTING GRADE.
4. EXISTING 2 1/2" WOOD SIDING TO REMAIN.
5. EXISTING 4" WOOD TRIM TO REMAIN.
6. EXISTING ALUMINUM GUTTER AND ASSOCIATED DOWNSPOUTS TO REMAIN.
7. EXISTING ASPHALT ROOF TO REPLACED - SEE A2.1.

NOTE: U.O.N - EXTERIOR REMAINS EXISTING.

DEMOLITION KEY NOTES

- D1 REMOVE DOOR AND DOOR FRAME IN ITS ENTIRETY - TO BE RELOCATED.
- D2 REMOVE ENTRY PORCH, ROOF COVER, STEPS AND RAILING TO BE RECONSTRUCTED AS APPROPIATE - S.C. TO REVIEW CONDITION OF MATERIALS.
- D3 REMOVE VINYL WINDOW, WINDOW FRAME AND TRIM IN ITS ENTIRETY - TO BE RELOCATED.
- D4 REMOVE WOOD SIDING AT EXISTING WALL - RETAIN TO REINSTALL AT NEW WORK.

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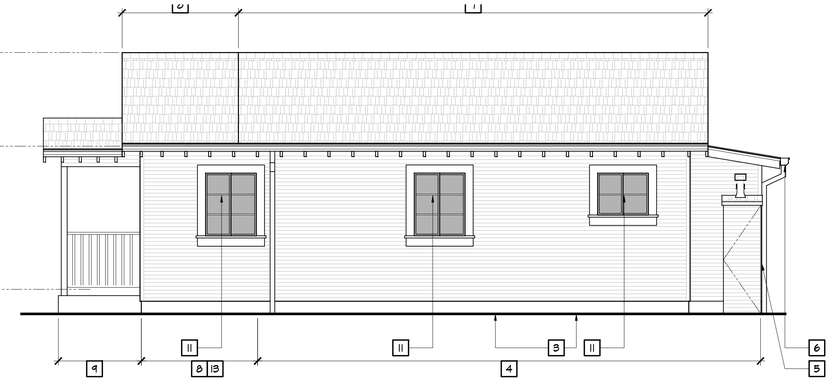
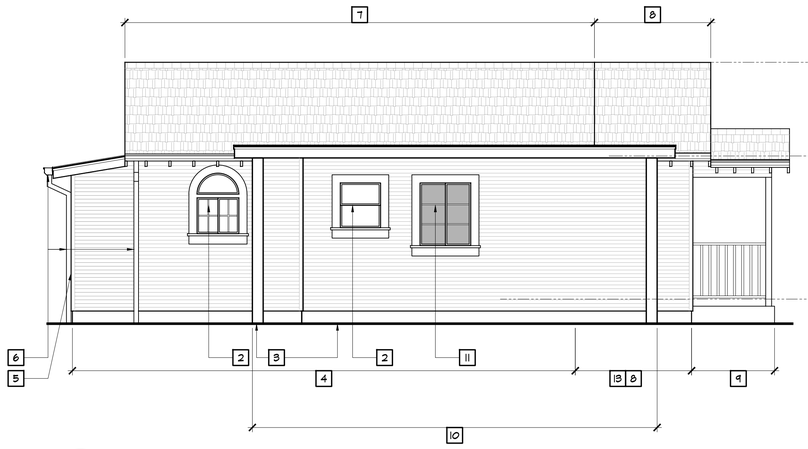
DEMO ELEVATIONS

A3.1

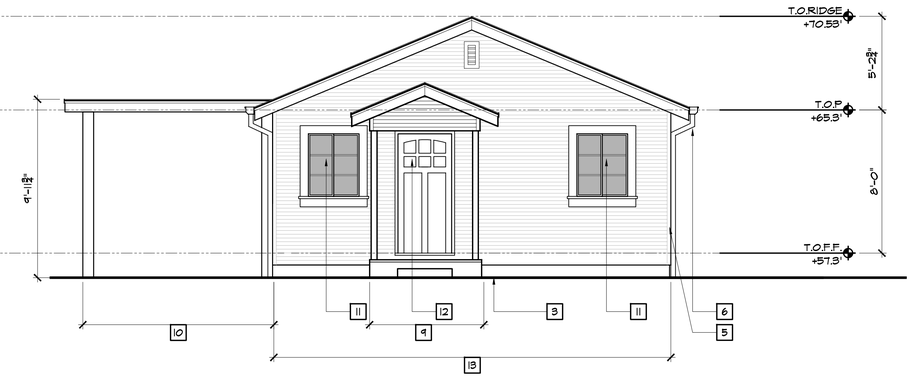
1 PROPOSED NORTH (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED EAST (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"



3 PROPOSED WEST (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"



4 PROPOSED SOUTH (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTES

1	EXISTING WOOD AND GLASS DOOR TO REMAIN.
2	EXISTING VINYL WINDOW TO REMAIN.
3	LINE OF EXISTING GRADE.
4	EXISTING 2 1/2" WOOD SIDING TO REMAIN.
5	EXISTING 4" WOOD TRIM TO REMAIN.
6	EXISTING ALUMINUM GUTTER AND ASSOCIATED DOWNSPOUTS TO REMAIN.
7	NEW ASPHALT ROOF - SEE A2.1.
8	EXTENT OF NEW ADDITION - SEE STRUCTURAL DRAWINGS.
9	RECONSTRUCTED FRONT ENTRY PORCH TO MATCH EXISTING CONDITIONS - G.C. TO REUSE EXISTING MATERIALS AS APPROPRIATE. ⚠1
10	EXTENT OF NEW CARPORT - SEE STRUCTURAL DRAWINGS.
11	RELOCATED VINYL WINDOW - SEE A2.1 AND A5.0.
12	RELOCATED ENTRY DOOR - SEE A2.1 AND A5.0.
13	NEW OR RECLAIMED (FROM DEMOLITION) 2 1/2" WOOD SIDING TO MATCH EXISTING.

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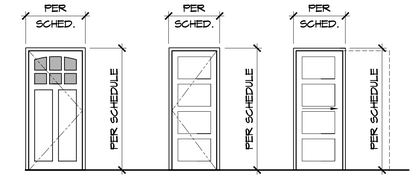
PROPOSED ELEVATIONS

A3.2

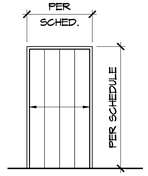
DOOR TYPES



A. SGL. S.C. WOOD DOOR; (RELOCATED)

B. SGL. S.C. WOOD DOOR; TRUSTILE TS100 PAINT GRADE

C. SGL. H.C. WD. POCKET DOOR



D. DBL. H.C. BI-FOLD DOOR

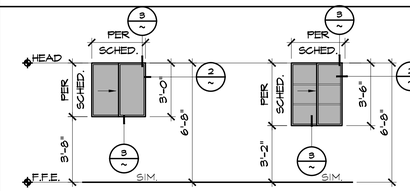
DOOR SCHEDULE

NUMBER	TYPE	FINISH: PAINT	FINISH: STAIN	FINISH: FACT.	SIZE: WIDTH	SIZE: HEIGHT	SIZE: THK.	DETAIL REFERENCE: HEAD	DETAIL REFERENCE: JAMB	DETAIL REFERENCE: THRESH.	FRAME ASSBLY	NOTES
001	A	●			2'-8"	6'-8"	1-3/4"	(E)	(E)	(E)	WD	RELOCATED DOOR
002	B	●			2'-6"	6'-8"	1-3/8"	4/~	4/~	-	WD	BEDROOM ENTRY
003	D	●			3'-0"	6'-8"	1-3/8"	4/~ SIM.	4/~ SIM.	-	WD	BEDROOM CLOSET
004	C	●			2'-6"	6'-8"	1-3/8"	5/~	6/~	7/~	WD	MASTER CLOSET
005	B	●			2'-6"	6'-8"	1-3/8"	4/~	4/~	-	WD	MASTER BEDROOM
006	C	●			2'-6"	6'-8"	1-3/8"	5/~	6/~	7/~	WD	MASTER BATH
007	C	●			2'-6"	6'-8"	1-3/8"	5/~	6/~	7/~	WD	MASTER BATH

DOOR NOTES:

1. 6'-8" MINIMUM U.N.O.. DOOR HEIGHTS SHALL MATCH EXISTING CONDITION WHERE APPLICABLE.
2. BOTTOM 10" SHALL BE A SMOOTH, SOLID SURFACE AT THE BOTTOM.
3. BE OPERABLE FROM THE INSIDE WITHOUT SPECIAL KNOWLEDGE OR EFFORT.
4. THRESHOLD CHANGE IN HEIGHT BETWEEN FLOOR SURFACES ON EITHER SIDE OF DOOR SHALL NOT EXCEED ½" AND COMPLY WITH CBC SECTION 11B-404.2.5.
5. THE FORMALDEHYDE EMISSION LEVEL OF ALL NEW DOORS SHALL NOT EXCEED 20 ppb.
6. DOORS SEPARATING CONDITIONED AND NONCONDITIONED SPACE SHALL BE WEATHER STRIPPED OR GASKETED TO EFFECTIVELY AND RELIABLY LIMIT AIR INFILTRATION. ADHESIVE FOAM-TYPE OR FELT WEATHER STRIPPING IS NOT ACCEPTABLE.
7. MOUNTING HEIGHT OF LATCHING HARDWARE/ HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30" TO 44" A.F.F.
8. FURNISH AND INSTALL ALL HARDWARE AS REQUIRED FOR A COMPLETE ASSEMBLY. THE WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, LOCKS, LATCHES, DOOR BUTTS WITH NON-REMOVABLE PINS ON OUT SWINGING EXTERIOR DOORS, AND DOOR STOPS. WHERE INDICATED ON PLANS, THE WORK INCLUDES METAL THRESHOLDS, METAL KICK PLATES, METAL PUSH PLATES, SINGLE OR DOUBLE ACTING SELF-CLOSING GRAVITY OPERATED GATE HINGES.

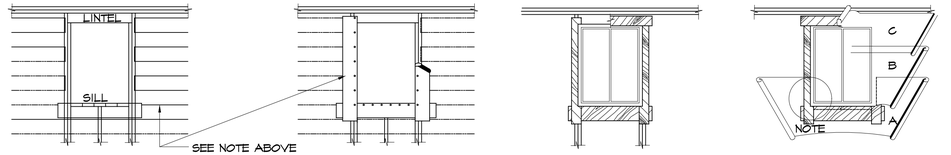
WINDOW SCHEDULE



WINDOW NOTES:

1. DIRECTION OF WINDOW OPERATION SHOWN ON INTERIOR / EXTERIOR ELEVATIONS BY ARROW FOR SLIDING WINDOW AND DASHED LINE FOR SWINGING WINDOW.
2. ALL NEW WINDOWS TO BE MILGARD ULTRA C650 SERIES FIBERGLASS WINDOWS - WHITE COLOR.
3. WINDOW SIZES ARE APPROXIMATE AND MAY BE ALTERED SLIGHTLY TO MEET MANUFACTURED STANDARD SIZES.
4. ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE APPROVED SAFETY GLASS AND COMPLY W/SECTION 2406 OF THE CURRENT EDITION OF THE C.B.C. ALL GLAZING SHALL BE SAFETY GLAZED WHEN LOCATED WITHIN 60" OF THE WALKING SURFACE OR WITHIN 24" HORIZONTAL DISTANCE FROM ANY DOOR. A CERTIFICATE MUST ACCOMPANY ALL GLAZING PRODUCTS STATING THAT THE PRODUCTS CONFIRM WITH APPLICABLE CONSUMER PRODUCT SAFETY STANDARDS.
5. ALL ROUGH OPENING DIMENSION SHALL BE FIELD VERIFIED. WINDOW FRAME AND GLAZING SHALL MATCH THE EXISTING CONDITION WHERE APPLICABLE.
6. MINIMUM EMERGENCY ESCAPE RESCUE OPENINGS PER R310.2 AT BEDROOMS - SILL HEIGHT SHALL BE NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR, WHERE THE SILL HEIGHT IS BELOW GRADE IS SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3.

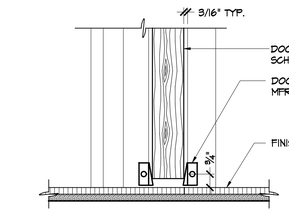
SECTION 1402.2 (b) OF THE CBC STATES THAT "EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF." SINCE METHODS OF FLASHING ARE NOT SPECIFIED IN THE CODE, THE FOLLOWING PROCEDURE WILL BE CONSIDERED AS ACCEPTABLE METHOD FOR THE FLASHING OF METAL WINDOWS IN WOOD FRAME EXTERIOR WALL CONSTRUCTION IN CASES WHERE THE EXTERIOR WALL FINISH IS APPLIED OVER BUILDING PAPER OR FELT. THIS PRODCEDURE DOES NOT APPLY TO WEATHERPROOF PANEL TYPE SIDING.



1. ATTACH SILL STRIP WITH TOP EDGE LEVEL WITH ROUGH SILL; EXTEND BEYOND EDGE OF ROUGH OPENING AT LEAST 3". SECURE ALL SISALKRAFT OR SIMILAR APPROVED FLASHING MATERIAL WITH GALVANIZED NAILS OR POWER-DRIVEN STAPLES.
2. ATTACH JAMB STRIPS WITH SIDE EDGE EVEN WITH ROUGH-JAMB FRAMING. START STRIP BELOW LOWER EDGE OR SILL STRIP AND EXTEND 4" ABOVE LOWER EDGE OF LINTEL.
3. INSTALL WINDOW INTO ROUGH OPENING WITH SILL AND JAMB FLANGES OVER PREVIOUSLY INSTALLED FLASHING. ATTACH HEAD FLASHING OVER THE WINDOW FLANGE.
4. COMMENCING AT THE BOTTOM (SOLE PLATE) OF THE WALL, LAY BUILDING PAPER UNDER SILL STRIP. NOTE: CUT ANY EXCESS BUILDING THAT MAY EXTEND ABOVE THE SILL FLANGE LINE ON EACH SIDE OF OPENING (SHOWN AS SHORT DASH LINES). DO NOT SLICE BUILDING PAPER HORIZONTALLY SO THAT THE PAPER WILL LAP OVER THE JAMB STRIPES. INSTALL SUCCESSIVE LINES OF BUILDING PAPER (B, C, D, ETC.) OVER JAMB AND HEAD FLANGES, LAPPING EACH COURSE.

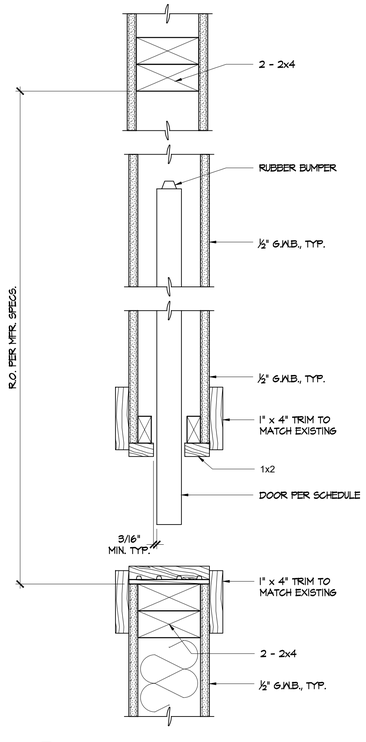
THE ABOVE METHOD APPLIES ONLY TO THE MOST COMMONLY USED TYPE OF METAL FRAME (SURFACE MOUNTED). FOR OTHER TYPES OF FRAMES, SPECIAL ATTENTION MUST BE PAID TO THE MANUFACTURER'S RECOMMENDATIONS.

(1) WINDOW FLASHING
SCALE: N.T.S.

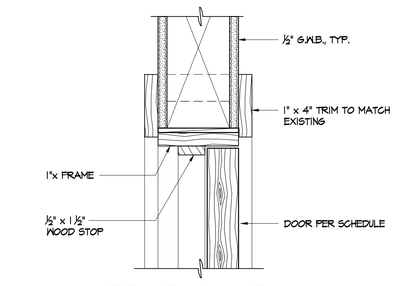


(7) POCKET DOOR THRESHOLD
SCALE: 3"=1'-0"

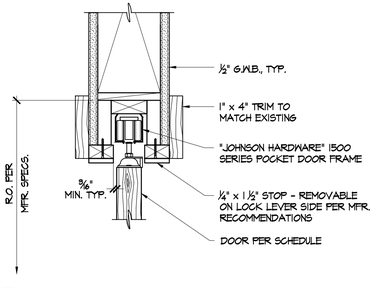
(8) WINDOW/DOOR MUNTIN
SCALE: 3" = 1'-0"



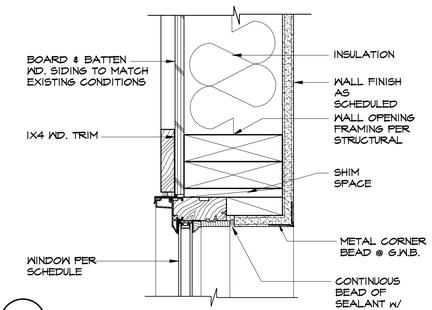
(6) POCKET DOOR JAMB
SCALE: 3"=1'-0"



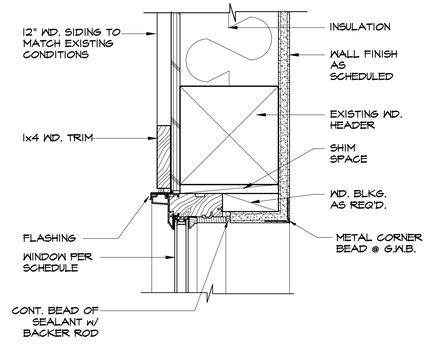
(4) INTERIOR DOOR HEAD-JAMB SIM.
SCALE: 3"=1'-0"



(5) POCKET DOOR HEAD
SCALE: 3"=1'-0"



(2) WINDOW JAMB
SCALE: 3" = 1'-0"



(3) EXT. WINDOW HEAD
SCALE: 3" = 1'-0"

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DOOR & WINDOW SCHEDULES

A5.0

2019 Low-Rise Residential Mandatory Measures Summary

*NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. *Exceptions may apply.*
(Original 08/2019)

Building Envelope Measures:	
§ 110.6(a)1:	**Air Leakage.** Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 cfm per square foot or less when tested per NFRC-400, ASTM E283 or AAMA/WDMA/CSA 101/I.S.2/A440-2011.*
§ 110.6(a)5:	**Labeling.** Fenestration products and exterior doors must have a label meeting the requirements of Section 10-111(a).
§ 110.6(b):	**Field fabricated exterior doors and fenestration** products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather stripped.*
§ 110.7:	**Air Leakage.** All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.
§ 110.8(a):	**Insulation Certification by Manufacturers.** Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
§ 110.8(g):	**Insulation Requirements for Heated Slab Floors.** Heated slab floors must be insulated per the requirements of Section 110.8(g).
§ 110.8(i):	**Roofing Products Solar Reflectance and Thermal Emittance.** The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CF1R.
§ 110.8(j):	**Radiant Barrier.** When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.
§ 150.0(a):	**Ceiling and Rafter Roof Insulation.** Minimum R-22 insulation in wood-frame ceiling; or the weighted average U-factor must not exceed 0.043. Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof alteration. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a continuous roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.*
§ 150.0(b):	**Loose-fill Insulation.** Loose fill insulation must meet the manufacturer's required density for the labeled R-value.
§ 150.0(c):	**Wall Insulation.** Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less, (R-19 in 2x6 or U-factor of 0.074 or less). Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102, equivalent to an installed value of R-13 in a wood framed assembly. Masonry walls must meet Table 150.1-A or B.*
§ 150.0(d):	**Raised-floor Insulation.** Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.*
§ 150.0(f):	**Slab Edge Insulation.** Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings no greater than 0.3%; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).
§ 150.0(g)1:	**Vapor Retarder.** In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to § 150.0(d).
§ 150.0(g)2:	**Vapor Retarder.** In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.
§ 150.0(q):	**Fenestration Products**. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58.*
Fireplaces, Decorative Gas Appliances, and Gas Log Measures:	
§ 110.5(e)	**Pilot Light.** Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.
§ 150.0(e)1:	**Closable Doors.** Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.
§ 150.0(e)2:	**Combustion Intake.** Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.*
§ 150.0(e)3:	**Flue Damper.** Masonry or factory-built fireplaces must have a flue damper with a readily accessible control.*
Space Conditioning, Water Heating, and Plumbing System Measures:	
§ 110.0-§ 110.3:	**Certification.** Heating, ventilation and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the Energy Commission.*
§ 110.2(a):	**HVAC Efficiency.** Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-K.*
§ 110.2(b):	**Controls for Heat Pumps with Supplementary Electric Resistance Heaters.** Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.*
§ 110.2(c):	**Thermostats.** All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat.*
§ 110.3(c)4:	**Water Heating Recirculation Loops Serving Multiple Dwelling Units.** Water heating recirculation loops serving multiple dwelling units must meet the air release valve, backflow prevention, pump priming, pump isolation valve, and recirculation loop connection requirements of § 110.3(c)4.
§ 110.3(c)6:	**Isolation Valves.** Instantaneous water heaters with an input rating greater than 6.8 kBTU per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.
§ 110.5:	**Pilot Lights.** Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu/hr are exempt); and pool and spa heaters.*
§ 150.0(h)1:	**Building Cooling and Heating Loads.** Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.

2019 Low-Rise Residential Mandatory Measures Summary

§ 150.0(h)3A:	**Clearances.** Air conditioner and heat pump outdoor condensing units must have a clearance of at least 5 feet from the outlet of any dryer vent.
§ 150.0(h)3B:	**Liquid Line Drier.** Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions.
§ 150.0(j)1:	**Storage Tank Insulation.** Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, must have a minimum of R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.
§ 150.0(j)2A:	**Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation.** All domestic hot water piping must be insulated as specified in Section 609.11 of the California Plumbing Code. In addition, the following piping conditions must have a minimum insulation wall thickness of 1 inch or a minimum insulation R-value of 7.7: the first 5 feet of cold water pipes from the storage tank; all hot water piping with a nominal diameter equal to or greater than 3/4 inch and less than 1 inch; all hot water piping with a nominal diameter less than 3/4 inch that is: associated with a domestic hot water recirculation system, from the heating source to storage tank or between tanks, buried below grade, and from the heating source to kitchen fixtures.*
§ 150.0(j)3:	**Insulation Protection.** Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind as required by Section 120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve.
§ 150.0(n)1:	**Gas or Propane Water Heating Systems.** Systems using gas or propane water heaters to serve individual dwelling units must include all of the following: A dedicated 125 volt, 20 amp electrical receptacle that is connected to the electric panel with a 120/240 volt 3 conductor, 10 AWG copper branch circuit, within 3 feet from the water heater without obstruction. Both ends of the unused conductor must be labeled with the word "spare" and be electrically isolated. Have a reserved single pole circuit breaker space in the electrical panel adjacent to the circuit breaker for the branch circuit and labeled with the words "Future 240V Use"; a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; a condensate drain that is no more than 2 inches higher than the base of the water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btu per hour.
§ 150.0(n)2:	**Recirculating Loops.** Recirculating loops serving multiple dwelling units must meet the requirements of § 110.3(c)5.
§ 150.0(n)3:	**Solar Water-heating Systems**. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the Executive Director.
Ducts and Fans Measures:	
§ 110.8(d)3:	**Ducts.** Insulation installed on an existing space-conditioning duct must comply with California Mechanical Code (CMC) Section 604.0. If a contractor installs the insulation, the contractor must certify to the customer in writing, that the insulation meets this requirement.
§ 150.0(m)1:	**CMC Compliance.** All air-distribution system ducts and plenums must meet the requirements of the CMC Section 601.0, 602.0, 603.0, 604.0, 605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to a minimum installed level of R-6.0 or a minimum installed level of R-4.2 when ducts are entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8). Portions of the duct system completely exposed and surrounded by directly conditioned space are not required to be insulated. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than ¼ inch, the combination of mastic and either mesh or tape must be used. Building cavities, support platforms for air handlers, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms must not be compressed to cause reductions in the cross-sectional area.*
§ 150.0(m)2:	**Factory-Fabricated Duct Systems.** Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.
§ 150.0(m)3:	**Field-Fabricated Duct Systems.** Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction.
§ 150.0(m)7:	**Backdraft Damper.** Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers.
§ 150.0(m)8:	**Gravity Ventilation Dampers.** Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.
§ 150.0(m)9:	**Protection of Insulation.** Insulation must be protected from damage, sunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, or plastic cover. Cellular foam insulation must be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation.
§ 150.0(m)10:	**Porous Inner Core Flex Duct.** Porous inner core flex ducts must have a non-porous layer between the inner core and outer vapor barrier.
§ 150.0(m)11:	**Duct System Sealing and Leakage Test.** When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with § 150.0(m)11 and Reference Residential Appendix RA3.
§ 150.0(m)12:	**Air Filtration.** Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a 2 inch depth or can be 1 inch if sized per Equation 150.0-A. Pressure drops and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service.*
§ 150.0(m)13:	**Space Conditioning System Airflow Rate and Fan Efficacy.** Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3.*

2019 Low-Rise Residential Mandatory Measures Summary

Requirements for Ventilation and Indoor Air Quality:	
§ 150.0(o)1:	**Requirements for Ventilation and Indoor Air Quality**. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1.
§ 150.0(o)1C:	**Single Family Detached Dwelling Units.** Single family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow provided at rates determined by ASHRAE 62.2 Sections 4.1.1 and 4.1.2 and as specified in § 150.0(o)1C.
§ 150.0(o)1E:	**Multifamily Attached Dwelling Units.** Multifamily attached dwelling units must have mechanical ventilation airflow provided at rates in accordance with Equation 150.0-B and must be either a balanced system or continuous supply or continuous exhaust system. If a balanced system is not used, all units in the building must use the same system type and the dwelling-unit envelope leakage must be ≤ 0.3 CFM at 50 Pa (0.2 inch water) per square foot of dwelling unit envelope surface area and verified in accordance with Reference Residential Appendix RA3.8.
§ 150.0(o)1F:	**Multifamily Building Central Ventilation Systems.** Central ventilation systems that serve multiple dwelling units must be balanced to provide ventilation airflow for each dwelling unit served at a rate equal to or greater than the rate specified by Equation 150.0-B. All unit airflows must be within 20% of the unit with the lowest airflow rate as it relates to the individual unit's minimum required airflow rate needed for compliance.
§ 150.0(o)1G:	**Kitchen Range Hoods.** Kitchen range hoods must be rated for sound in accordance with Section 7.2 of ASHRAE 62.2.
§ 150.0(o)2:	**Field Verification and Diagnostic Testing.** Dwelling unit ventilation airflow must be verified in accordance with Reference Residential Appendix RA3.7. Kitchen range hoods must be verified in accordance with Reference Residential Appendix RA3.7.4.3 to confirm it is rated by HVI to comply with the airflow rates and sound requirements as specified in Section 5 and 7.2 of ASHRAE 62.2.
Pool and Spa Systems and Equipment Measures:	
§ 110.4(a):	**Certification by Manufacturers.** Any pool or spa heating system or equipment must be certified to have all of the following: a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating.*
§ 110.4(b)1:	**Piping.** Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.
§ 110.4(b)2:	**Covers.** Outdoor pools or spas that have a heat pump or gas heater must have a cover.
§ 110.4(b)3:	**Directional Inlets and Time Switches for Pools.** Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
§ 110.5:	**Pilot Light.** Natural gas pool and spa heaters must not have a continuously burning pilot light.
§ 150.0(p):	**Pool Systems and Equipment Installation.** Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves.*
Lighting Measures:	
§ 110.9:	**Lighting Controls and Components.** All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9.*
§ 150.0(k)1A:	**Luminaire Efficacy.** All installed luminaires must meet the requirements in Table 150.0-A.
§ 150.0(k)1B:	**Blank Electrical Boxes.** The number of electrical boxes that are more than 5 feet above the finished floor and do not contain a luminaire or other device must be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor control, or fan speed control.
§ 150.0(k)1C:	**Recessed Downlight Luminaires in Ceilings.** Luminaires recessed into ceilings must meet all of the requirements for: insulation contact (IC) labeling; air leakage; sealing; maintenance; and socket and light source as described in § 150.0(k)1C.
§ 150.0(k)1D:	**Electronic Ballasts for Fluorescent Lamps.** Ballasts for fluorescent lamps rated 13 watts or greater must be electronic and must have an output frequency no less than 20 kHz.
§ 150.0(k)1E:	**Night Lights, Step Lights, and Path Lights.** Night lights, step lights and path lights are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided they are rated to consume no more than 5 watts of power and emit no more than 150 lumens.
§ 150.0(k)1F:	**Lighting Integral to Exhaust Fans.** Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k).*
§ 150.0(k)1G:	**Screw based luminaires.** Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.*
§ 150.0(k)1H:	**Light Sources in Enclosed or Recessed Luminaires.** Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(k)1I:	**Light Sources in Drawers, Cabinets, and Linen Closets.** Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.
§ 150.0(k)2A:	**Interior Switches and Controls.** All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.
§ 150.0(k)2B:	**Interior Switches and Controls.** Exhaust fans must be controlled separately from lighting systems.*
§ 150.0(k)2C:	**Interior Switches and Controls.** Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned ON and OFF.*
§ 150.0(k)2D:	**Interior Switches and Controls.** Controls and equipment must be installed in accordance with manufacturer's instructions.
§ 150.0(k)2E:	**Interior Switches and Controls.** Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the control is installed to comply with § 150.0(k).
§ 150.0(k)2F:	**Interior Switches and Controls.** Lighting controls must comply with the applicable requirements of § 110.9.

2019 Low-Rise Residential Mandatory Measures Summary

§ 150.0(k)2G:	**Interior Switches and Controls.** An energy management control system (EMCS) may be used to comply with control requirements if it: provides functionality of the specified control according to § 110.9; meets the Installation Certificate requirements of § 130.4; meets the EMCS requirements of § 130.0(k); and meets all other requirements in § 150.0(k)2.
§ 150.0(k)2H:	**Interior Switches and Controls.** A multiscene programmable controller may be used to comply with dimmer requirements in § 150.0(k) if it provides the functionality of a dimmer according to § 110.9, and complies with all other requirements in § 150.0(k)2.
§ 150.0(k)2I:	**Interior Switches and Controls.** In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by an occupant sensor or a vacancy sensor providing automatic-off functionality. If an occupant sensor is installed, it must be initially configured to manual-on operation using the manual control required under Section 150.0(k)2C.
§ 150.0(k)2J:	**Interior Switches and Controls.** Luminaires that are or contain light sources that meet Reference Joint Appendix JA8 requirements for dimming, and that are not controlled by occupancy or vacancy sensors, must have dimming controls.*
§ 150.0(k)2K:	**Interior Switches and Controls.** Under cabinet lighting must be controlled separately from ceiling-installed lighting systems.
§ 150.0(k)3A:	**Residential Outdoor Lighting.** For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must meet the requirement in § 150.0(k)3Ai (ON and OFF switch) and the requirements in either § 150.0(k)3Aii (photocell and either a motion sensor or automatic time switch control) or § 150.0(k)3Aiii (astronomical time clock), or an EMCS.
§ 150.0(k)3B:	**Residential Outdoor Lighting.** For low-rise residential buildings with four or more dwelling units, outdoor lighting for private patios, entrances, balconies, and porches; and residential parking lots and carports with less than eight vehicles per site must comply with either Section 150.0(k)3A or with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.
§ 150.0(k)3C:	**Residential Outdoor Lighting.** For low-rise residential buildings with four or more dwelling units, any outdoor lighting for residential parking lots or carports with a total of eight or more vehicles per site and any outdoor lighting not regulated by Section 150.0(k)3B or Section 150.0(k)3D must comply with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.
§ 150.0(k)4:	**Internally illuminated address signs**. Internally illuminated address signs must comply with § 140.8; or must consume no more than 5 watts of power as determined according to § 130.0(c).
§ 150.0(k)5:	**Residential Garages for Eight or More Vehicles.** Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in Sections 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.
§ 150.0(k)6A:	**Interior Common Areas of Low-rise Multifamily Residential Buildings.** In a low-rise multifamily residential building where the total interior common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common areas in that building must be comply with Table 150.0-A and be controlled by an occupant sensor.
§ 150.0(k)6B:	**Interior Common Areas of Low-rise Multifamily Residential Buildings.** In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common areas in that building must: i. Comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.6 and 141.0; and ii. Lighting installed in corridors and stairwells must be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors must be capable of turning the light fully on and off from all designed paths of ingress and egress.
Solar Ready Buildings:	
§ 110.10(a)1:	**Single Family Residences.** Single family residences located in subdivisions with ten or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b) through § 110.10(e).
§ 110.10(a)2:	**Low-rise Multifamily Buildings.** Low-rise multi-family buildings that do not have a photovoltaic system installed must comply with the requirements of § 110.10(b) through § 110.10(d).
§ 110.10(b)1:	**Minimum Solar Zone Area.** The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other Parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. For low-rise multi-family buildings the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 15 percent of the total roof area of the building excluding any skylight area. The solar zone requirement is applicable to the entire building, including mixed occupancy.*
§ 110.10(b)2:	**Azimuth.** All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north.
§ 110.10(b)3A:	**Shading.** The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.*
§ 110.10(b)3B:	**Shading.** Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.*
§ 110.10(b)4:	**Structural Design Loads on Construction Documents.** For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.
§ 110.10(c):	**Interconnection Pathways.** The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.
§ 110.10(d):	**Documentation.** A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant.
§ 110.10(e)1:	**Main Electrical Service Panel.** The main electrical service panel must have a minimum busbar rating of 200 amps.
§ 110.10(e)2:	**Main Electrical Service Panel.** The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric".

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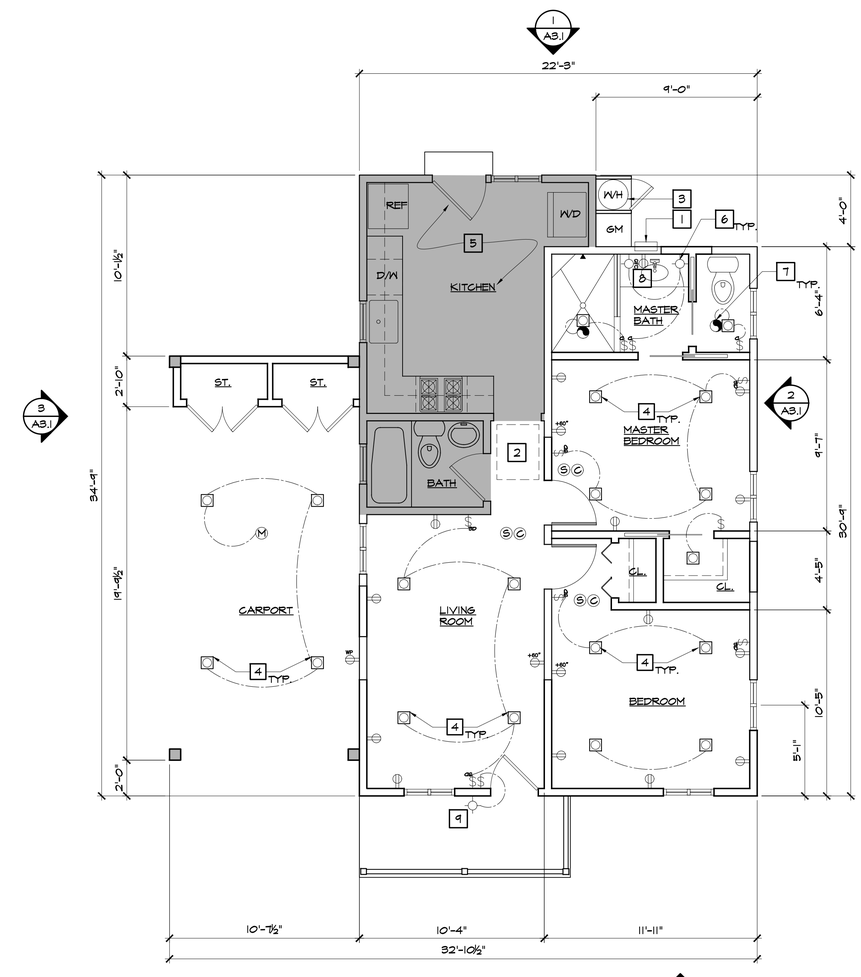
MANDATORY MEASURES

E1.2

Craig - ELZ

GENERAL ELECTRICAL NOTES

1. ALL NEW RECEPTACLES AND CONTROLS TO BE DECORA OR EQUAL.
2. ALL RECEPTACLES IN BATHS AND KITCHEN COUNTERS, RECEPTACLES WILL BE ON 20A/120V GFCI CIRCUITS.
3. KITCHEN, BREAKFAST, DINING ROOMS AND SIMILAR AREAS OF A DWELLING UNIT SHALL HAVE TWO (2) OR MORE SMALL APPLIANCE BRANCH CIRCUITS REQUIRED BY N.E.C. SECTIONS 210.11(C)(1), 210.52(A)(C).
4. PROVIDE AT LEAST ONE 20A/120V GFCI CIRCUIT FOR OUTLETS AT EACH BATH VANITY AS PER N.E.C.210-11(C)3. CIRCUIT SHALL HAVE NO OTHER OUTLETS.
5. ALL KITCHEN RECEPTACLES +42" A.F.F. AND MOUNTED VERTICAL.
6. LUMINAIRES INSTALLED IN CLOSETS SHALL BE 12" FROM EDGE OF STORAGE SHELF FOR INCANDESCENT OR LED SURFACE MOUNTED OR 6" RECESSED FLUORESCENT, INCANDESCENT OR LED.
7. EXISTING LOW VOLTAGE / DATA CONFIGURATION NEEDS TO BE RELOCATED WHEN AFFECTED BY NEW WORK.
8. ALL EXISTING HEATING SYSTEM SHALL REMAIN - ELECTRIC BASEBOARD HEATING TO REMAIN INTACT.
9. ALL EXISTING AREAS OF THE RESIDENCE WHERE WORK IS NOT TO OCCUR, ELECTRICAL SCOPE IS ASSUMED TO BE COMPLETE AND IN GOOD WORKING ORDER U.O.N.
10. LUMINAIRES INSTALLED IN WET OR DAMP LOCATIONS MUST BE MARKED "SUITABLE FOR WET/DAMP LOCATIONS, TYPICAL.
11. PER 2019 CALIFORNIA ENERGY CODE, SECTION 150(K), ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0-A; EITHER LISTED BY SOURCE TYPE OR BY BEING JA8-2016 CERTIFIED LABELED.
12. LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL THE REQUIREMENTS FOR; INSULATION CONTACT (IC) LABELING; SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING, AND SHALL BE CERTIFIED TO COMPLY WITH SECTION 110.9 AND ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW. JA8-2016-E CERTIFIED AND MARKED LIGHT SOURCE, RATED FOR ELEVATED TEMPERATURE, MUST BE INSTALLED BY FINAL INSPECTION.
13. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFFERENCE JOINT APPENDIX JA8 (INCLUDING CEILING RECESSED DOWNLIGHT LUMINAIRES AND GU-24 SOCKETS CONTAINING LED LIGHT SOURCES AND THEY SHALL COMPLY WITH SECTION 119(D) AND NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION. EXCEPTIONS: LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET; LUMINAIRES IN HALLWAYS.
14. PERMANENTLY INSTALLED LUMINAIRES IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES; AT LEAST ONE LUMINAIRE IN THESE ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR CERTIFIED TO COMPLY WITH SECTION 119(D).
15. KITCHEN RECEPTACLE OUTLETS SERVING COUNTERTOPS, INCLUDING ISLAND AND PENINSULA COUNTERTOPS, SHALL HAVE BOTH GFCI AND AFCI PROTECTION.
16. AFCI PROTECTION IS REQUIRED FOR ALL RECEPTACLES EXCEPT FOR THOSE LOCATED OUTSIDE, IN BATHROOMS, GARAGES, ATTICS AND BASEMENTS.
17. TAMPER RESISTANT RECEPTACLES ARE REQUIRED IN ALL LOCATIONS EXCEPT AT OUTLETS LOCATED MORE THAN 5 1/2 FEET ABOVE THE FLOOR, OUTLETS THAT ARE A PART OF A LUMINAIRE, OUTLETS DEDICATED TO APPLIANCES THAT CANNOT BE EASILY MOVED AND AT OUTLETS LOCATED IN ATTICS.
18. GFCI PROTECTION REQUIRED FOR RECEPTACLES LOCATED OUTDOORS, IN BATHROOMS, LAUNDRY ROOM, UNFINISHED BASEMENTS, CRAWL SPACES, KITCHEN AND WET BAR COUNTER TOP SURFACES, GARAGES, ACCESSORY BUILDINGS NOT INTENDED AS HABITABLE ROOMS.
19. RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF AND SHALL BE LISTED WEATHER RESISTANT TYPE.
20. THE KITCHEN EXHAUST SYSTEM SHALL BE DUCTED WITH A SMOOTH METAL INTERIOR DUCT, VENTED TO OUTDOORS, HAVE A MINIMUM EXHAUST RATE OF 100 CFM AND BE PROVIDED WITH A BACK-DRAFT DAMPER.
21. RESIDENTIAL OUTDOOR LIGHTING PERMANENTLY MOUNTED TO THE DWELLING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE CONTROLLED BY MANUAL ON/OFF SWITCH AND CONTROLLED BY A PHOTOCELL AND MOTION SENSOR OR BY PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL OR BY ASTRONOMICAL TIME CLOCK CONTROL THAT AUTOMATICALLY TURN THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS OR BY ENERGY MANAGEMENT CONTROL SYSTEM.
22. A BATHROOM WHICH CONTAINS A BATHTUB OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED WITH AN EXHAUST FAN THAT COMPLIES WITH CGBS 4.506 AND SHALL INCLUDE THE FOLLOWING: HAVE A MINIMUM VENTILATION RATE OF 50 CFM, BE ENERGY STAR COMPLIANT AND MUST BE CONTROLLED BY A HUMIDISTAT CAPABLE OF ADJUSTMENT BETWEEN RELATIVE HUMIDITY OF 50% TO 80%. THE CONTROL MAY BE A SEPARATE COMPONENT OR INTEGRAL TO THE EXHAUST FAN.
23. ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS OR, IF FAN IS INTEGRAL WITH LIGHTING IT SHALL BE POSSIBLE FOR THE LIGHTING TO BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD.
24. PROVIDE SAFETY GLAZING IN WALLS ENCLOSING TUBS/SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE.
25. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN SIX FEET ABOVE THE FLOOR.



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

TRUE NORTH

NOTE: ALL ELECTRICAL WORK SHOWN IS NEW U.O.N.

KEY NOTES

1. EXISTING MAIN DISTRIBUTION ELECTRICAL PANEL - 100-amp.
2. EXISTING FAU (UNDER FLOOR) TO REMAIN.
3. EXISTING WATER HEATER TO REMAIN.
4. NEW RECESSED LED LIGHT FIXTURE AND ASSOCIATED CONTROLS.
5. HATCHING AREA - NO WORK.
6. NEW DECORATIVE WALL SCONCE TO BE SELECTED BY OWNER.
7. NEW CEILING EXHAUST FAN. FAN TO BE DUCTED TO THE OUTSIDE (MINIMUM 4" DIAMETER FLEX DUCT WITH A MAXIMUM LENGTH OF 70') WITH A MINIMUM VENTILATION RATE OF 50 CFM.
8. PROVIDE ONE (1) GFCI CONVENIENCE OUTLET AT BATHROOM VANITY COUNTERTOP (+42" A.F.F.) AND ONE BENEATH COUNTERTOP - FIELD LOCATE WITH OWNER.
9. NEW EXTERIOR LIGHT FIXTURE.

LEGEND

- FLOOR MOUNTED MECH. SUPPLY GRILLE
- CABLE/PHONE RECEPTACLE
- WALL MOUNTED SCONCE FIXTURE
- RECESSED CEILING FIXTURE
- CEILING MOUNTED FIXTURE
- PENDANT FIXTURE
- CEILING EXHAUST FAN
- CEILING FAN
- UNDER CABINET STRIP FIXTURE
- CEILING MOUNTED LED TRACK LIGHT
- 15a/20a CONVENIENCE OUTLET (V.I.F.)
- 15a/20a QUAD CONVENIENCE OUTLET (V.I.F.)
- CONVENIENCE OUTLET W/ HT. INFO.
- GROUND FAULT CIRCUIT INTERRUPTER OUTLET
- DEDICATED 220v OUTLET
- FLOOR MOUNTED CONVENIENCE OUTLET (HALF-HOT)
- STANDARD WALL SWITCH
- DIMMER WALL SWITCH
- 3-WAY WALL SWITCH
- JUNCTION BOX
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR

NOTE: ALL NEW LIGHT FIXTURES SHALL BE LED, U.O.N.

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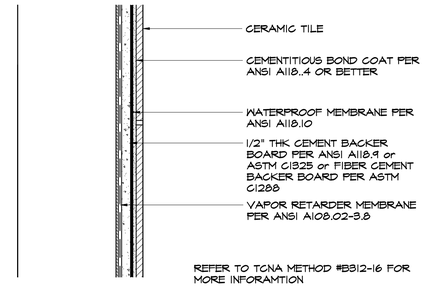
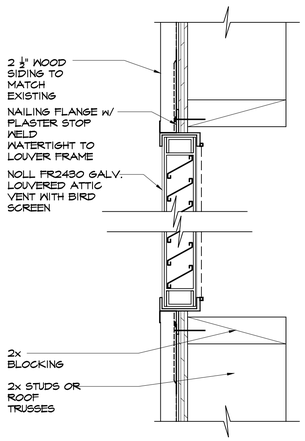
ELECTRICAL FLOOR PLANS

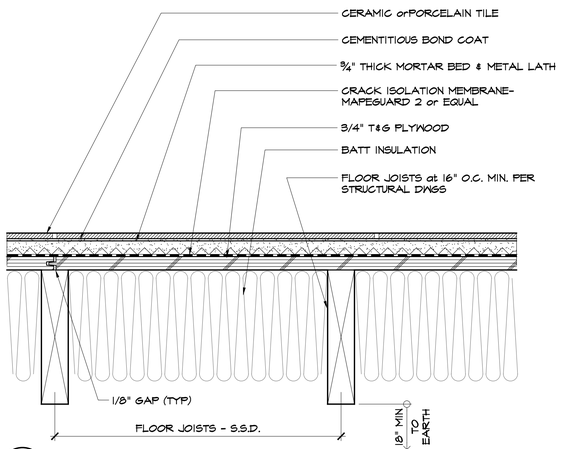
E1.1



13 TILE WALL ASSEMBLY
SCALE: 3" = 1'-0"



9 ATTIC VENT DETAIL
SCALE: 3"=1'-0"



14 TILE FLOOR ASSEMBLY
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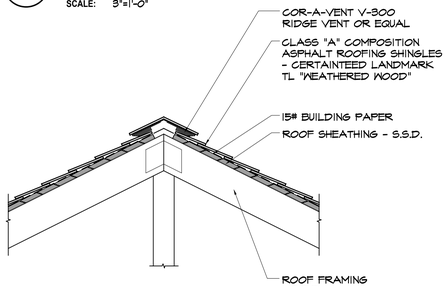
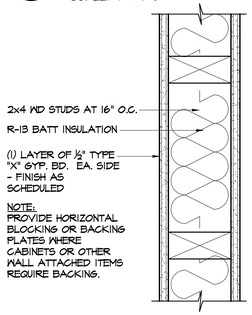
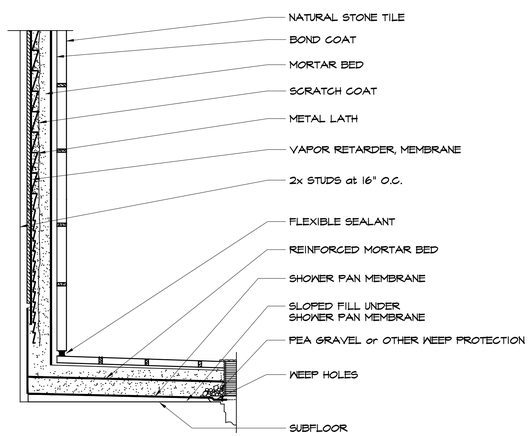


10 RIDGE DETAIL
SCALE: 1" = 1'-0"

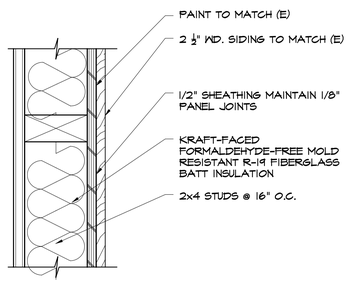


11 TYPE A WALL 2x4 PARTITION
SCALE: 3" = 1'-0"

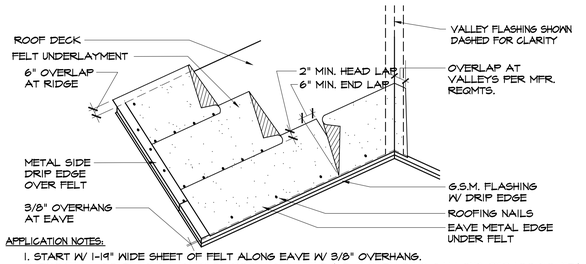


15 SHOWER RECEPTOR
SCALE: 3/16" = 1'-0"

1. INSTALL PER TILE COUNCIL OF NORTH AMERICA B414-16
2. USE OF A MEMBRANE ON WALLS IS REQUIRED
3. SHOWER RECEPTORS, CURBS, SEATS, ETC., MUST BE PROPERLY WATERPROOFED AND INSTALLED TO AVOID WATER DAMAGE TO ADJACENT BUILDING MATERIALS.

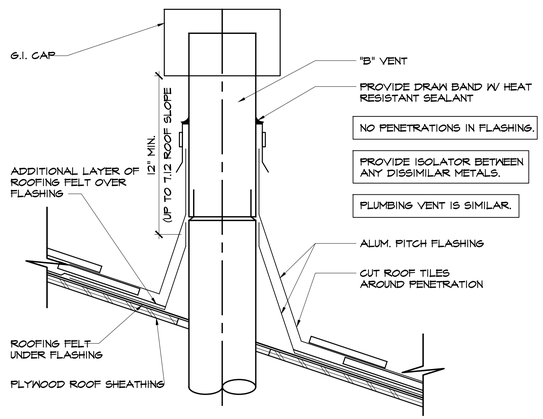


12 WOOD SIDING INFILL EXTERIOR WALL - TYPE B
SCALE: 3" = 1'-0"

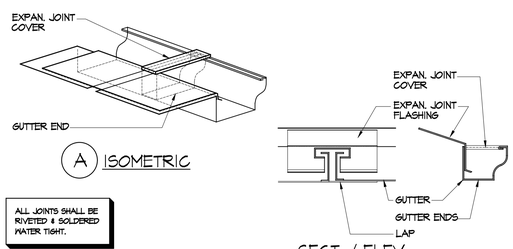


APPLICATION NOTES:
1. START W/ 1-19" WIDE SHEET OF FELT ALONG EAVE W/ 9/8" OVERHANG.
2. TROWEL A CONTINUOUS LAYER OF ROOFING CEMENT (AT A RATE OF 2 GALLONS PER 100 SQ. FT.) ON TO THE FELT.
3. PRESS (1) 36" WIDE SHEET OF FELT FIRMLY ONTO THE CEMENT, & NAIL DOWN WITH GALV. ROOFING NAILS AT 12" O.C. ALONG A LINE 18" ABOVE THE BOTTOM EDGE OF THE FELT.
4. APPLY ROOFING CEMENT TO THE UPPER 19" OF THE EXPOSED FELT.
5. COVER THE CEMENTED PORTION W/ THE NEXT SHEET OF FELT & NAIL.
6. REPEAT PROCESS UNTIL 24" INSIDE THE INTERIOR WALL LINE.
7. COVER THE REMAINING ROOF W/ DBL. LAYER OF FELT, W/O CEMENT, UP TO THE RIDGE.

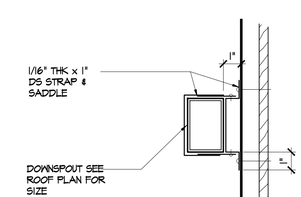
5 TYP. FELT UNDERLAYMENT
SCALE: N/A



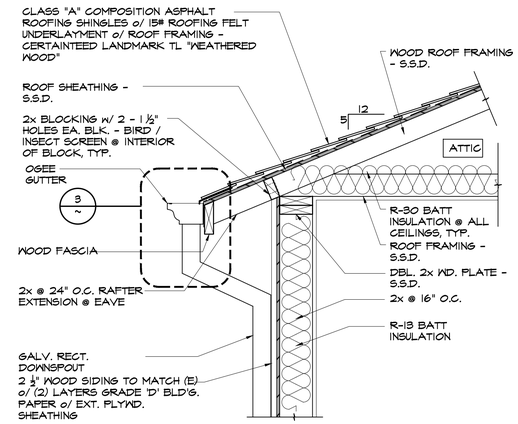
6 ROOF PENETRATION FLASHING
SCALE: 1 1/2" = 1'-0"



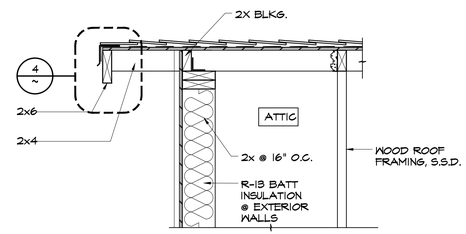
7 GUTTER EXPANSION JOINT
SCALE: 1-1/2" = 1'-0"



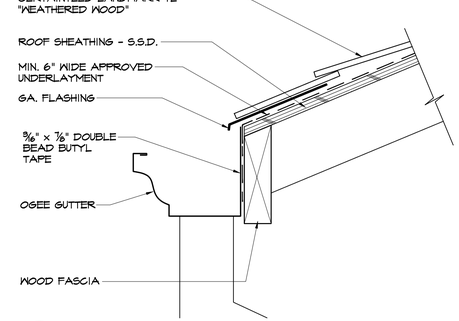
8 DOWNSPOUT ANCHOR
SCALE: 3" = 1'-0"



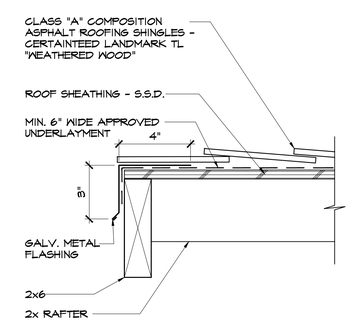
1 EAVE @ GUTTER
SCALE: 1" = 1'-0"



2 RAKE DETAIL
SCALE: 1" = 1'-0"



3 EAVE @ GUTTER
SCALE: 3" = 1'-0"



4 RAKE DETAIL
SCALE: 3" = 1'-0"

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