

Exhibit B

This page intentionally left blank.

DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

NORTH AMERICAN SEED COMPANY ET AL (PLN200151)

RESOLUTION NO. 24---

Resolution by the Monterey County Zoning Administrator:

- 1) Finding the project exempt from CEQA pursuant to Section 15301, existing facilities, and Section 15303, new construction, and none of the exceptions to the exemptions pursuant to Section 15300.2 can be made; and
- 2) Approving a Use Permit to allow an agricultural processing plant for the cleaning, treating, packaging and storage of agricultural seeds. Establishment of the processing plant includes the construction of two 17,000 square foot metal buildings, one 16,000 square foot metal storage building, grading (3,164 cubic yards of cut and 500 cubic yards of fill), and site and internal driveway improvements.

[PLN200151, NORTH AMERICAN SEED COMPANY ET AL,
39247 Metz Road, King City, Central Salinas Valley Area Plan
(APN: 418-401-009-000)]

The North American Seed Company ET AL application (PLN200151) for a Use Permit came on for public hearing before the Monterey County Zoning Administrator on February 29, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in the:
 - 2010 Monterey County General Plan;
 - Central Salinas Valley Area Plan; and
 - Monterey County Zoning Ordinance (Title 21)No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
b) The 33.4-acre property is located at 39247 Metz Road, King City, (APN: 418-401-009-000), Central Salinas Valley Area Plan. The parcel is zoned “F/40” (Farmland – 40 acres min.). The project consists of an agricultural processing plant that will be operated by

Central California Seed Service and North American Seed Company. As part of the site improvement, 3 building will be constructed to support the operation. Building No. 1 (17,000 square feet) will be used to store seed and provide an area for shipping and receiving. Building No. 2 (17,000 square feet) will be primary location for processing (seed conditioning, treating, fumigation, drying and packing) and will also have an area for temporary seed storage. Building No. 3 (16,000 square feet) will be used for equipment storage, a maintenance shop and seed stock storage for future production. The processing plant will have up to 9 employees and it is anticipated that there will be 1 to 2 trucks per day during the off season and 4 to 6 trucks per day during the season.

Development of agricultural support facilities is an allowed use pursuant to Monterey County General Plan Policy AG-2.1, Agricultural support facilities are considered compatible and appropriate uses in the Farmland designation. In addition, Title 21 Section 21.30.050.I lists such a facility as an allowed use with a Use Permit. Therefore, the project is an allowed land use for this site.

- c) In accordance with the *2010 General Plan*, exterior lighting be shall be unobtrusive, reduce off-site glare, and only light an intended area. The project is required to adhere to Chapter 21.63 – Design Guidelines for Exterior Lighting of Title 21. As such, the project has been conditioned to require the owner/applicant to submit a final exterior lighting plan to HCD-Planning for review and approval.
- d) The project was referred to the Agricultural Advisory Committee (AAC) for review because the parcel has farmland zoning. The AAC voted on June 22, 2023 to recommend approval of the project.
- e) The project planner conducted a virtual site inspection using Google Earth on June 12, 2023 to verify that the site conforms to the plans listed above.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN200151.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Environmental Services, South County Fire Protection District (SCFPD), HCD-Development, and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) The subject parcel comprises a State Responsibility Area (SRA) ranked as High/Moderate risk for fire damage. However, during review of the proposed project, South County Rural Fire Protection District gave no indication the site would be unsuitable for implementation of the project. In addition, the new structures will be metal buildings and extensive landscaping is not proposed, which further reduces the fire risk.

- c) The existing paved asphalt concrete road that runs east/west will continue serving as the access road to the site.
- d) The project planner conducted a virtual site inspection using Google Earth on June 12, 2023 to verify that the site conforms to the plans listed above.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN200151.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by the HCD-Planning, South County Fire Protection District, HCD-Development, HCD-Environmental Services, and Environmental Health Bureau (EHB). The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Domestic water and sewage services are currently, and will continue to be, provided by private well and private septic system existing on site.
 - c) A portion of the site is within the 100-year floodplain; however, all improvements and structures will be located outside of that area.
 - d) The new impervious surfaces could potentially alter the drainage onsite. However, there is an existing stormdrain basin on the eastern portion of the property where site drainage will be conveyed into via a dirt swale.
 - e) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN200151.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records finding no violations existing on the subject property. There are no known violations on the subject parcel.
- b) The project planner conducted a virtual site inspection using Google Earth on June 12, 2023 to verify that the site conforms to the plans listed above.
- c) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN200151.

5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE:

- a) California Environmental Quality Act (CEQA) Guidelines Article 19 Section 15301 categorically exempts the renovation and additions to existing structures and the project include reuse of some of the existing buildings and infrastructure.
- b) CEQA Guidelines Article 19 Section 15303 categorically exempts the construction of new structures and the project includes construction of 3 metal buildings used to clean, treat, package and store the agricultural seeds.
- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The site was formally part of the Metz Road Quarry (Planning File Nos. PC-6872, PLN980287 and PLN980287-AMD1). Therefore, there has been heavy ground disturbance and portions of the site contain paved areas. Any vegetation that has grown onsite is ruderal. The site is not located in an area which may result in damage to a scenic highway, trees, or historic buildings. The project is not within a hazardous waste site and there is no evidence that the project would result in a significant effect or cumulative impact.
- d) The project planner conducted a virtual site inspection using Google Earth on June 12, 2023 to verify that the site conforms to the plans listed above, the proposed project meets the criteria for an exemption.
- e) There is no substantial evidence in light of the whole record that the project, as conditioned, would have significant adverse effect on the environment.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN200151.

6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission.

EVIDENCE: Pursuant to Title 21 section 21.80.040.B, the Planning Commission is the appropriate appeal authority to consider discretionary decision of the Zoning Administrator.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project exempt from CEQA pursuant to Section 15301, existing facilities, and Section 15303, new construction, and none of the exceptions to the exemptions pursuant to Section 15300.2 can be made; and
2. Approve a Use Permit to allow an agricultural processing plant for the cleaning, treating, packaging and storage of agricultural seeds. Establishment of the processing plant includes the construction of two 17,000 square foot metal buildings, one 16,000 square foot metal storage building, grading (3,164 cubic yards of cut and 500 cubic yards of fill), and site and internal driveway improvements.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 29th day of February, 2024:

Mike Novo, AICP, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN200151

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Use permit (PLN200151) allows allow an agricultural processing plant for seed cleaning, treating, packaging and storage. Establishment of the processing plant includes the construction of two 17,000 square feet metal buildings, one 16,000 square foot metal storage building, grading (3,164 cubic yards of cut and 500 cubic yards of fill), and site and internal driveway improvements. The property is located at 39247 Metz Road, King City (Assessor's Parcel Number 418-401-009-000), Central Salinas Valley Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Use Permit (Resolution Number _____) was approved by Zoning Administrator for Assessor's Parcel Number 418-401-009-000 on February 29, 2024. The permit was granted subject to 9 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

5. PW0005 – DRIVEWAY IMPROVEMENTS

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Construct a commercial driveway connection(s) to Metz Road. The design and construction is subject to the approval of the HCD. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the PWFP, obtain an encroachment permit from the HCD prior to issuance of building or grading permits, and construct and complete improvements prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

6. PW0043 – REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule. (Public Works)

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

7. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

8. EHSP01 - DEED RESTRICTION AND INSTALLATION OF CHLORINATOR ON WELL

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: In the absence of a well completion report EHB cannot verify that the onsite well was constructed to minimum standards, which requires a 50 foot seal, and may be vulnerable to surface water influence.

1. The applicant shall install a chlorinator on the well that is proposed to serve the seed processing plant and 3 accessory buildings approved by this permit PLN200151.

Applicant shall record a Deed Restriction with the Monterey County Recorder for parcel 418-401-009-000 indicating that the parcel has a Chlorinator installed on the well serving the accessory dwelling unit approved by this permit PLN200151 and that it's the property owner's responsibility to regular maintain the treatment system to keep it in working order.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permits, the applicant or property owner shall:

- Provide a legal description for the parcel and a copy of the Grant Deed to EHB. The EHB will prepare the Deed Restriction Form.

Prior to final inspection of construction permits, the property owner:

- shall sign and notarize the deed restriction form obtained from the EHB. Record the notarized deed restriction with the Monterey County Recorder. Proof of recordation shall be provided to the EHB.

- install a Chlorinator to the well serving the accessory dwelling unit and provide documentation.

collect a finished water sample with chlorine residual and provide a copy of the water quality analysis results to the EHB for review and acceptance.

9. EHSP02 - SEPARATE RECYCLABLES

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: All persons shall separate recyclables from other solid waste generated at their premises and shall place such recyclables into a different approved container to facilitate segregation at a solid waste facility pursuant to California Assembly Bill AB 341 and Monterey County Code, Chapter 10.41.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permits, the applicant shall submit to the Environmental Health Bureau for review and approval a descriptive plan on how recyclables will be collected and stored throughout the site. Solid waste and recycling container enclosures shall be sized appropriately and located on the site plan.

SITE IMPROVEMENTS AT NA SEED COMPANY GREENFIELD PLANT

**Alan Mok, PE, PLS,
LEED AP
Principal**
7415 N. PALM AVENUE #101
FRESNO, CALIFORNIA 93711
Tel. 559-432-6879
Fax. 559-432-6897
www.alanmokeengineering.com

PROJECT:

SITE IMPROVEMENTS AT NA SEED COMPANY GREENFIELD PLANT

LOCATION:

39247 Metz Rd.
Greenfield, CA 93927

DRAWN FOR:

NA SEED
APN 418-401-009

LOCATION:

39247 Metz Rd.
Greenfield, CA 93927

ALAN K. MOK, P.E., R.C.E. 42,618

EDWARD M. WONG, P.E., R.C.E. 54,740



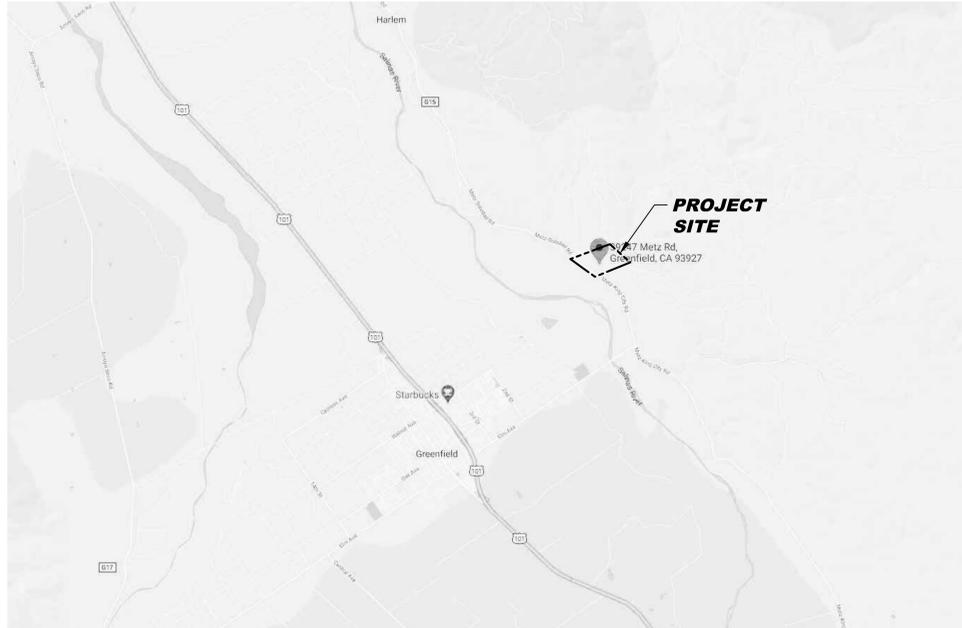
ALAN MOK ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER APPLICABLE PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE ENGINEER. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE ENGINEER HARMLESS, AND SHALL BEAR THE COST OF THE ENGINEER'S LEGAL FEES, ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

REVISIONS:

No.	DATE	DESCRIPTION

SHEET DESCRIPTION:

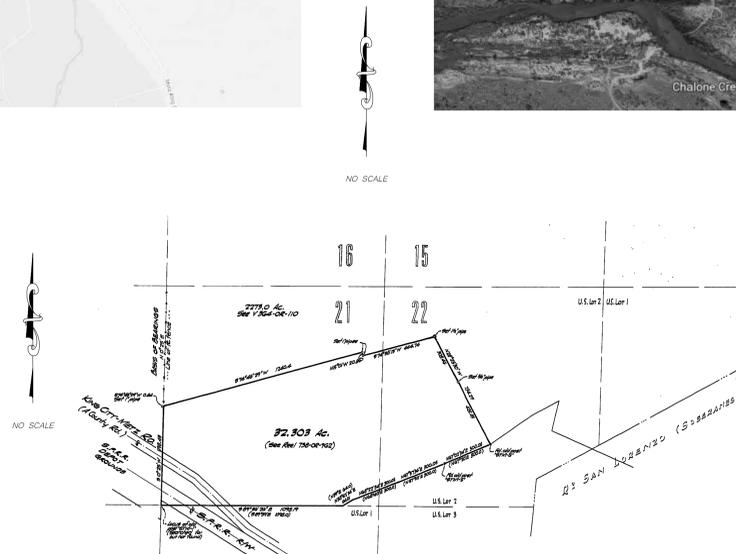
PROJECT COORDINATOR: AKM	SHEET No. T1
PROJECT No. 219-0170	
DATE: 3/01/2022	
SCALE: AS NOTED	



VICINITY MAP



LOCATION MAP



NOTES:

- APN: 418-401-009-000
 - PARCEL SIZE: 32.303 ACRES
 - WATER, WELL SEWER, SEPTIC SYSTEM
 - PROJECT DESCRIPTION:
CONSTRUCTION 2 - 17,000 SF AND 1 - 16,000 SF OF STORAGE AND OPERATIONAL BUILDINGS, PAVEMENT, WATER, FIRE AND SEWER IMPROVEMENTS.
 - ZONING - AG
 - LOT COVERAGE:
TOTAL SIZE 32.3 AC
EXISTING IMPERVIOUS SURFACE BEFORE CONSTRUCTION 10,000 SF
NEW SURFACE/BUILDINGS 50,000 SF
NEW AC 5,600 SF
TOTAL NEW DEVELOPMENT 52,800 SF
% IMPERVIOUS AREA ADDED 3.05%
- ALL WORK SHALL BE IN COMPLIANCE WITH COUNTY OF MONTEREY MUNICIPAL CODE AND THE FOLLOWING APPLICABLE CODES AND REGULATIONS:
2016 CALIFORNIA BUILDING CODE
2016 FIRE CODE
2016 MECHANICAL CODE
2016 PLUMBING CODE
2016 ELECTRICAL CODE
2016 ENERGY CODE
2016 GREEN CODE

TABLE OF CONTENTS

Sheet Title	Sheet Number
COVER AND LOCATION MAP	T1
OVERALL SITE PLAN	T2
EXISTING BUILDING PHOTOS	T3
TOPOGRAPHIC SURVEY	C1
TOPOGRAPHIC SURVEY	C1.1
TOPOGRAPHIC SURVEY	C1.2
DEMOLITION PLAN	C2
DEMOLITION PLAN	C2.1
SITE PLAN	C3
SITE PLAN	C3.1
GRADING AND DRAINAGE PLAN	C4
GRADING AND DRAINAGE PLAN	C4.1
UTILITIES PLAN	C5
UTILITIES PLAN	C5.1
DETAILS	C6

PROJECT:
**SITE
IMPROVEMENTS
AT
NA SEED COMPANY
GREENFIELD PLANT**

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

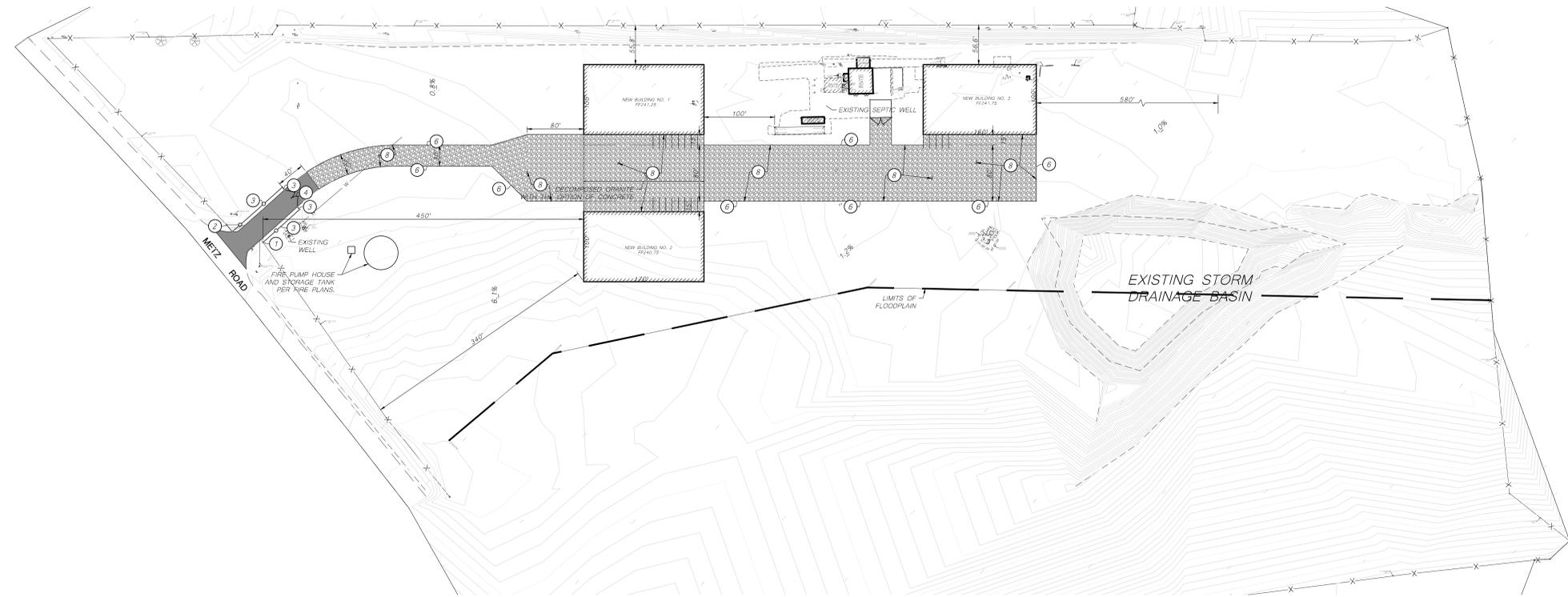
DRAWN FOR:
**NA SEED
APN 418-401-009**

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

ALAN K. MOK, P.E., R.C.E. 42,618
EDWARD M. WONG, P.E., R.C.E. 54,740



ALAN MOK ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER APPLICABLE PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE ENGINEER. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE ENGINEER HARMLESS, AND SHALL BEAR THE COST OF THE ENGINEER'S LEGAL FEES, ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

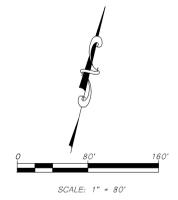


SITE LEGEND:

- ① TIE EXISTING FENCE ONTO NEW FENCE POST.
 - ② TIE NEW FENCE ONTO EXISTING FENCE POST.
 - ③ CONSTRUCT 6" HIGH CHAIN LINK FENCE PER DETAIL E/C8.
 - ④ CONSTRUCT 30" WIDE DOUBLE CHAIN LINK DRIVE GATE PER DETAIL E/C8.
 - ⑤ PLACE 3"AC/8"AB/8"CONS PER DETAIL F/C8.
 - ⑥ FURNISH AND INSTALL REDWOOD HEADERBOARD PER DETAIL G/C8.
 - ⑦ CONSTRUCT 6" THICK CONCRETE SLAB PER DETAIL H/C8.
 - ⑧ FURNISH AND INSTALL 6" THICK DECOMPOSED GRANITE.
- LIMITS OF CONCRETE IMPROVEMENTS.
 LIMITS OF ASPHALT CONCRETE PAVEMENT IMPROVEMENTS.
 LIMITS OF DECOMPOSED GRANITE IMPROVEMENTS.

SITE NOTES:

1. ALL CONCRETE SIDEWALKS, VALLEY GUTTERS AND MOWSTRIPS SHALL HAVE WEARBAND JOINTS (SCORELINES) AT 15 FEET (MAXIMUM) ON CENTER AND ONE HALF INCH THICK PREMOULDED EXPANSION JOINTS AT 45 FEET ON CENTER. SEE DETAILS "A" AND "B" ON THIS SHEET.
2. NO CONCRETE MAY BE POURED UNTIL ALL FORMS AND REINFORCEMENT HAVE BEEN REVIEWED AND APPROVED BY THE PROJECT INSPECTOR.
3. SITE SECURITY:
NO CAMERAS OR SECURITY PERSONNEL ON-SITE. ALL LIGHTS WILL BE MOUNTED ON NEW BUILDING CORNERS.



REVISIONS:

No.	DATE	DESCRIPTION

SHEET DESCRIPTION:

OVERALL SITE PLAN

PROJECT COORDINATOR: AKM	SHEET No.
PROJECT No. 219-0170	T2
DATE: 3/01/2022	
SCALE: AS NOTED	



EXISTING STORAGE BUILDING

PROJECT:
SITE IMPROVEMENTS AT NA SEED COMPANY GREENFIELD PLANT

LOCATION:
 39247 Metz Rd.
 Greenfield, CA 93927

DRAWN FOR:
 NA SEED
 APN 418-401-009

LOCATION:
 39247 Metz Rd.
 Greenfield, CA 93927

ALAN K. MOK, P.E., R.C.E. 42,618
 EDWARD M. WONG, P.E., R.C.E. 54,740



ALAN MOK ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER APPLICABLE PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE ENGINEER. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE ENGINEER HARMLESS, AND SHALL BEAR THE COST OF THE ENGINEER'S LEGAL FEES, ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.



EXISTING TRUCK SCALE BUILDING

REVISIONS:

No.	DATE	DESCRIPTION

SHEET DESCRIPTION:

EXISTING BUILDING PHOTOS

PROJECT COORDINATOR: AKM	T3
PROJECT No. 219-0170	
DATE: 3/01/2022	
SCALE: AS NOTED	



PROJECT:
SITE IMPROVEMENTS AT NA SEED COMPANY GREENFIELD PLANT

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

DRAWN FOR:
NA SEED
APN 418-401-009

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

ALAN K. MOK, P.E., R.C.E. 42,618
EDWARD M. WONG, P.E., R.C.E. 54,740



ALAN MOK ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER APPLICABLE PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE ENGINEER. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE ENGINEER HARMLESS, AND SHALL BEAR THE COST OF THE ENGINEER'S LEGAL FEES, ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

REVISIONS:

No.	DATE	DESCRIPTION

SHEET DESCRIPTION:

TOPOGRAPHIC SURVEY

PROJECT COORDINATOR: AKM	SHEET No.
PROJECT No. 219-0170	C1
DATE: 3/01/2022	
SCALE: AS NOTED	

TOPOGRAPHIC LEGEND:

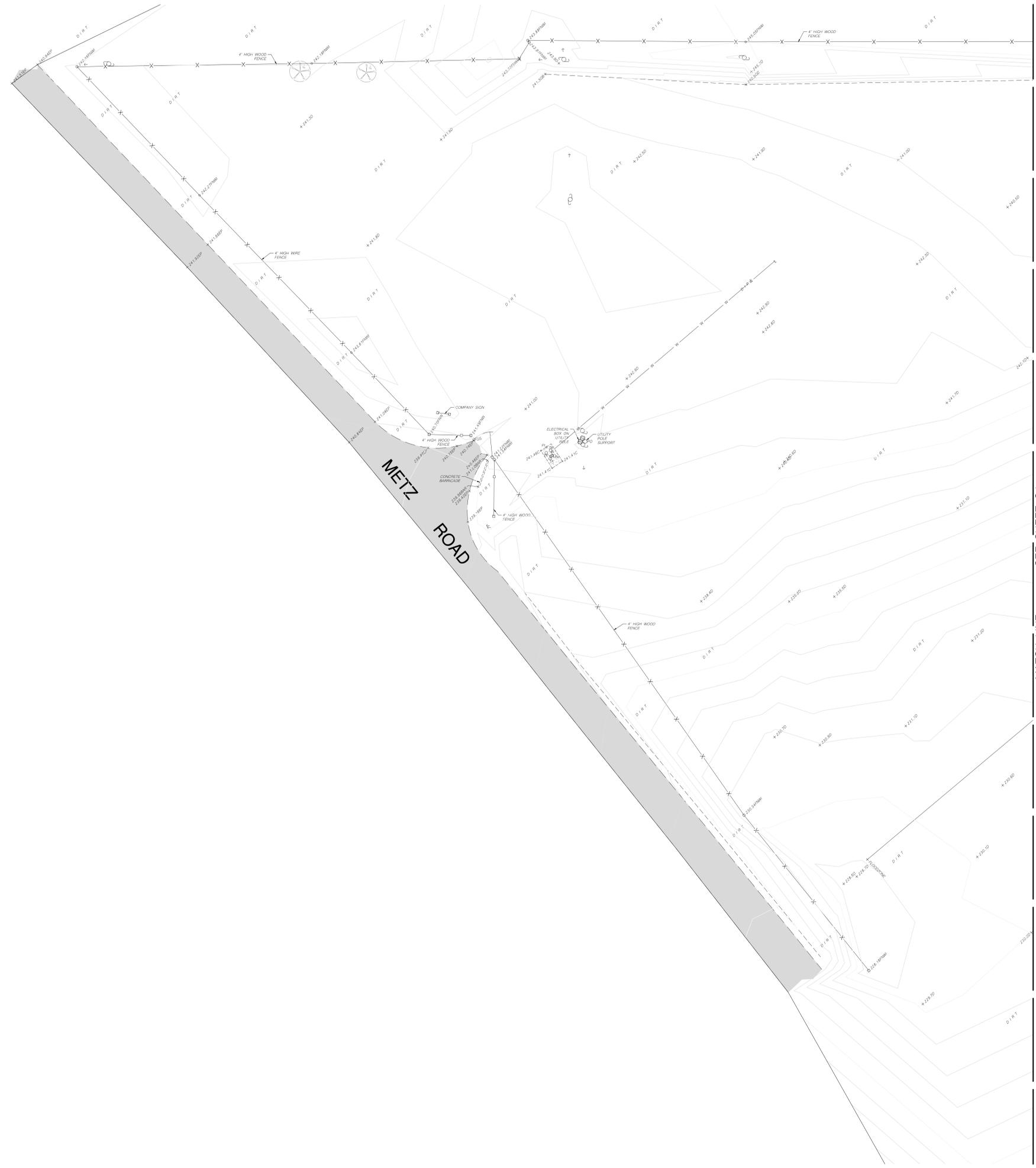
	BENCHMARK		BARRICADE
	BOLLARD		CONCRETE
	ELECTRICAL GROUND		DIRT
	ELECTRICAL PANEL		ELECTRICAL GROUND
	ELECTRICAL PULL BOX		ELECTRICAL PANEL
	GATE STOP		EDGE OF PAVEMENT
	GUY WIRE		FINISH FLOOR
	HOSE BIB		FENCE - WIRE
	LIGHT - AREA		FENCE - WOOD
	PIPE		GRADE BREAK
	POLE/POST		GATE STOP
	POWER POLE		HOSE BIB
	SIGN DOUBLE POST		POLE/POST
	TREE, TRUNK SIZE AS NOTED		PIPE
	WATER METER		TANK
	FENCE - WIRE OR ROPE		WALL BLOCK
	FENCE - WOOD		
	GRADE BREAK		
	CONCRETE		
	EDGE OF PAVEMENT		
	EXISTING BUILDING		
	EXISTING ASPHALT CONCRETE		
	EXISTING CONCRETE		
	FENCE - BLOCK		

NOTES:

1. THE TOPOGRAPHIC SURVEY WAS PERFORMED ON JULY 31, 2019.
2. THE TOPOGRAPHIC SURVEY IS ONLY A PARTIAL SURVEY OF THE SPECIFIC PHYSICAL FEATURES OF THE SITE AND THEIR ELEVATIONS. NOT ALL AREAS OF WORK WERE INCLUDED IN THE TOPOGRAPHIC SURVEY.
3. THE SURFACE FEATURES OF THE UTILITIES SHOWN WERE OBTAINED AT THE TIME OF THE TOPOGRAPHIC SURVEY AND FROM A UTILITY SEARCH OF PLANS PROVIDED BY THE OWNER. IT IS POSSIBLE THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT WERE NOT REVEALED THROUGH THE UTILITY SEARCH. NO GUARANTEES CAN BE MADE ON THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN.
4. THE EXISTENCE AND LOCATION OF ALL IMPROVEMENTS, UTILITIES, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING STALLS, EASEMENTS, SERVITUDES AND ENCROACHMENTS ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE.

SITE BENCHMARK:

AME POINT NO. 1
SET NAIL IN GROUND, 20' WEST OF WEST SIDE OF TRUCK SCALE.
ELEVATION = 241.42'



MATCH LINE SEE SHEET C1

PROJECT:
SITE IMPROVEMENTS AT NA SEED COMPANY GREENFIELD PLANT

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

DRAWN FOR:
NA SEED
APN 418-401-009

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

ALAN K. MOK, P.E., R.C.E. 42,618
EDWARD M. WONG, P.E., R.C.E. 54,740



ALAN MOK ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER APPLICABLE PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE ENGINEER. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE ENGINEER HARMLESS, AND SHALL BEAR THE COST OF THE ENGINEER'S LEGAL FEES, ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

REVISIONS:

No.	DATE	DESCRIPTION

SHEET DESCRIPTION:

TOPOGRAPHIC SURVEY

PROJECT COORDINATOR: AKM	SHEET No.
PROJECT No. 219-0170	C1.1
DATE: 3/01/2022	
SCALE: AS NOTED	

TOPOGRAPHIC LEGEND:

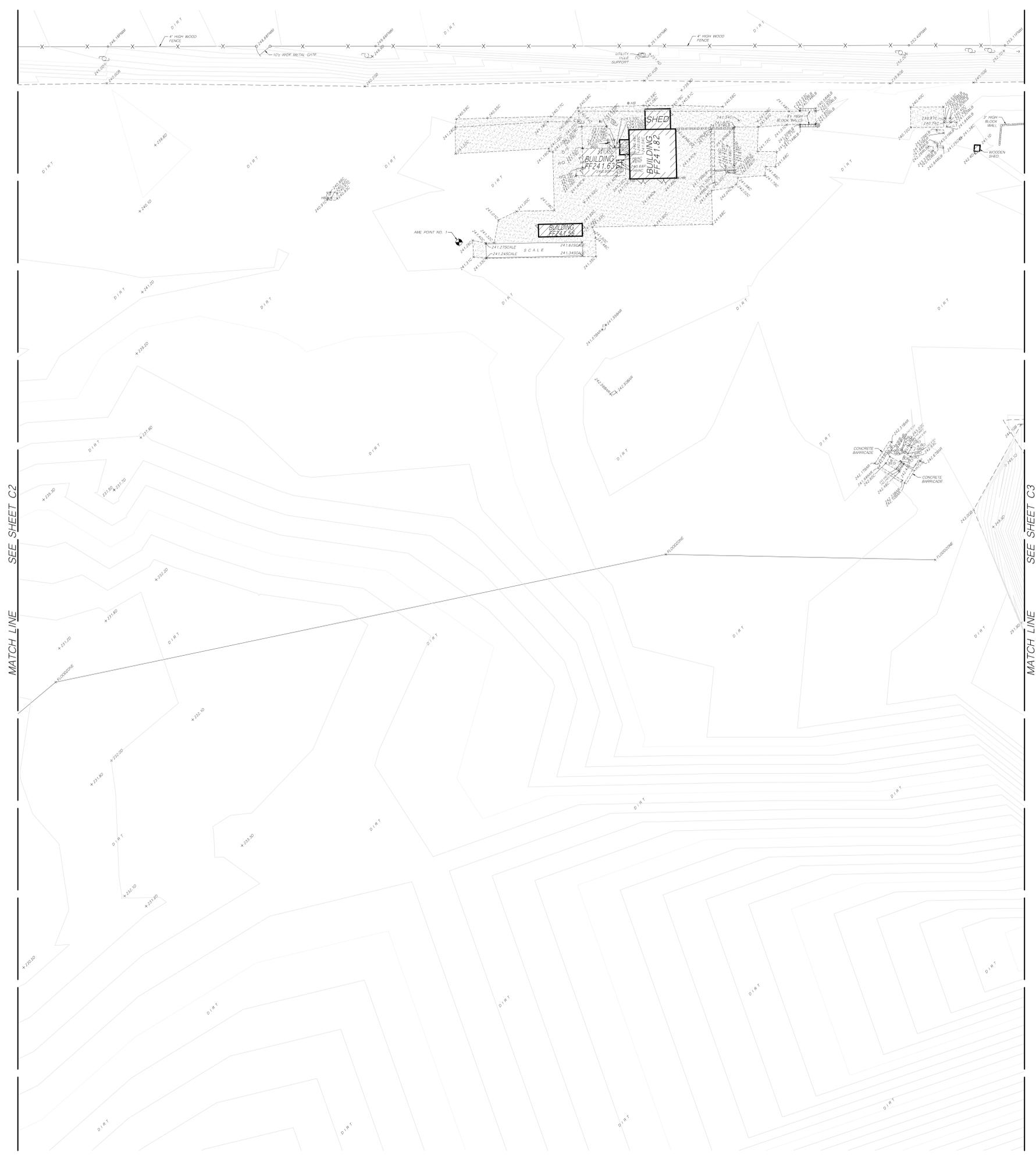
◈	BENCHMARK	BAR	BARRICADE
○	BOLLARD	BO	BOLLARD
□	ELECTRICAL GROUND	C	CONCRETE
⊞	ELECTRICAL PANEL	D	DIRT
⊞	ELECTRICAL PULL BOX	EG	ELECTRICAL GROUND
—	GATE STOP	EP	ELECTRICAL PANEL
—	GUY WIRE	EP	EDGE OF PAVEMENT
—	HOSE BIB	FF	FINISH FLOOR
—	LIGHT - AREA	FW	FENCE - WIRE
—	PIPE	FW	FENCE - WOOD
—	POLE/POST	GB	GRADE BREAK
—	POWER POLE	GS	GATE STOP
—	SIGN DOUBLE POST	HB	HOSE BIB
—	TREE, TRUNK SIZE AS NOTED	PO	POLE/POST
—	WATER METER	PI	PIPE
—	FENCE - WIRE OR ROPE	TK	TANK
—	FENCE - WOOD	WB	WALL BLOCK
—	GRADE BREAK		
—	CONCRETE		
—	EDGE OF PAVEMENT		
—	EXISTING BUILDING		
—	EXISTING ASPHALT CONCRETE		
—	EXISTING CONCRETE		
—	FENCE - BLOCK		

NOTES:

1. THE TOPOGRAPHIC SURVEY WAS PERFORMED ON JULY 31, 2019.
2. THE TOPOGRAPHIC SURVEY IS ONLY A PARTIAL SURVEY OF THE SPECIFIC PHYSICAL FEATURES OF THE SITE AND THEIR ELEVATIONS. NOT ALL AREAS OF WORK WERE INCLUDED IN THE TOPOGRAPHIC SURVEY.
3. THE SURFACE FEATURES OF THE UTILITIES SHOWN WERE OBTAINED AT THE TIME OF THE TOPOGRAPHIC SURVEY AND FROM A UTILITY SEARCH OF PLANS PROVIDED BY THE OWNER. IT IS POSSIBLE THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT WERE NOT REVEALED THROUGH THE UTILITY SEARCH. NO GUARANTEES CAN BE MADE ON THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN.
4. THE EXISTENCE AND LOCATION OF ALL IMPROVEMENTS, UTILITIES, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING STALLS, EASEMENTS, SERVITUDES AND ENCROACHMENTS ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE.

SITE BENCHMARK:

AME POINT NO. 1
SET NAIL IN GROUND, 20" WEST OF WEST SIDE OF TRUCK SCALE.
ELEVATION = 241.42'



SEE SHEET C2
MATCH LINE

SEE SHEET C3
MATCH LINE

PROJECT:
SITE IMPROVEMENTS AT NA SEED COMPANY GREENFIELD PLANT

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

DRAWN FOR:
**NA SEED
APN 418-401-009**

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

ALAN K. MOK, P.E., R.C.E. 42,618
EDWARD M. WONG, P.E., R.C.E. 54,740



ALAN MOK ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER APPLICABLE PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE ENGINEER. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE ENGINEER HARMLESS, AND SHALL BEAR THE COST OF THE ENGINEER'S LEGAL FEES, ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

REVISIONS:

No.	DATE	DESCRIPTION

SHEET DESCRIPTION:

TOPOGRAPHIC SURVEY

PROJECT COORDINATOR: AKM	SHEET No.
PROJECT No. 219-0170	C1.2
DATE: 3/01/2022	
SCALE: AS NOTED	

TOPOGRAPHIC LEGEND:

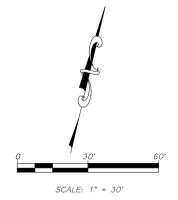
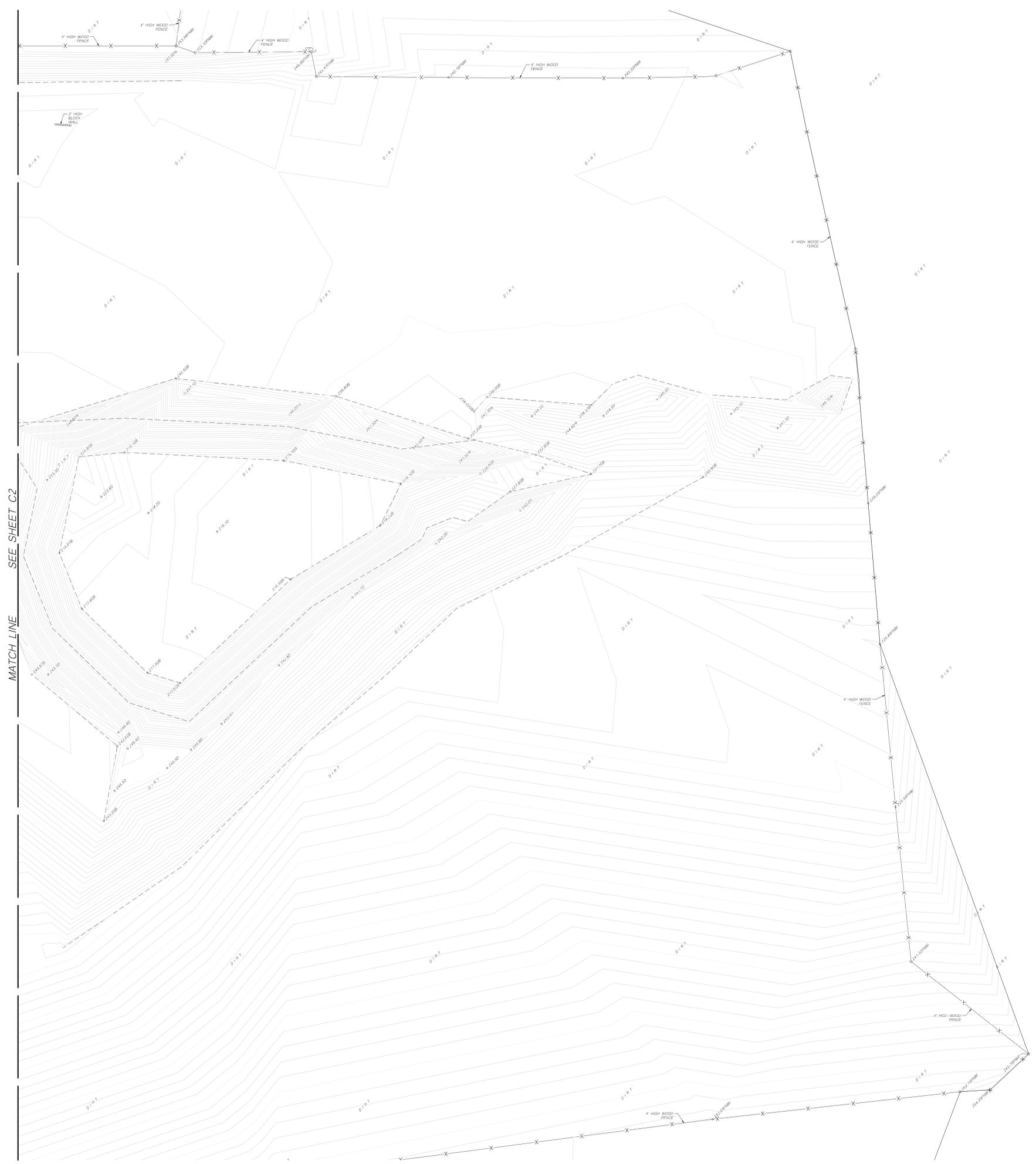
	BENCHMARK		BARRICADE
	BOLLARD		CONCRETE
	ELECTRICAL GROUND		DIRT
	ELECTRICAL PANEL		ELECTRICAL GROUND
	ELECTRICAL PULL BOX		ELECTRICAL PANEL
	GATE STOP		EDGE OF PAVEMENT
	GUY WIRE		FINISH FLOOR
	HOSE BIB		FENCE - WIRE
	LIGHT - AREA		FENCE - WOOD
	PIPE		GRADE BREAK
	POLE/POST		GATE STOP
	POWER POLE		HOSE BIB
	SIGN DOUBLE POST		POLE/POST
	TREE, TRUNK SIZE AS NOTED		PIPE
	WATER METER		TANK
	FENCE - WIRE OR ROPE		WALL BLOCK
	FENCE - WOOD		
	GRADE BREAK		
	CONCRETE		
	EDGE OF PAVEMENT		
	EXISTING BUILDING		
	EXISTING ASPHALT CONCRETE		
	EXISTING CONCRETE		
	FENCE - BLOCK		

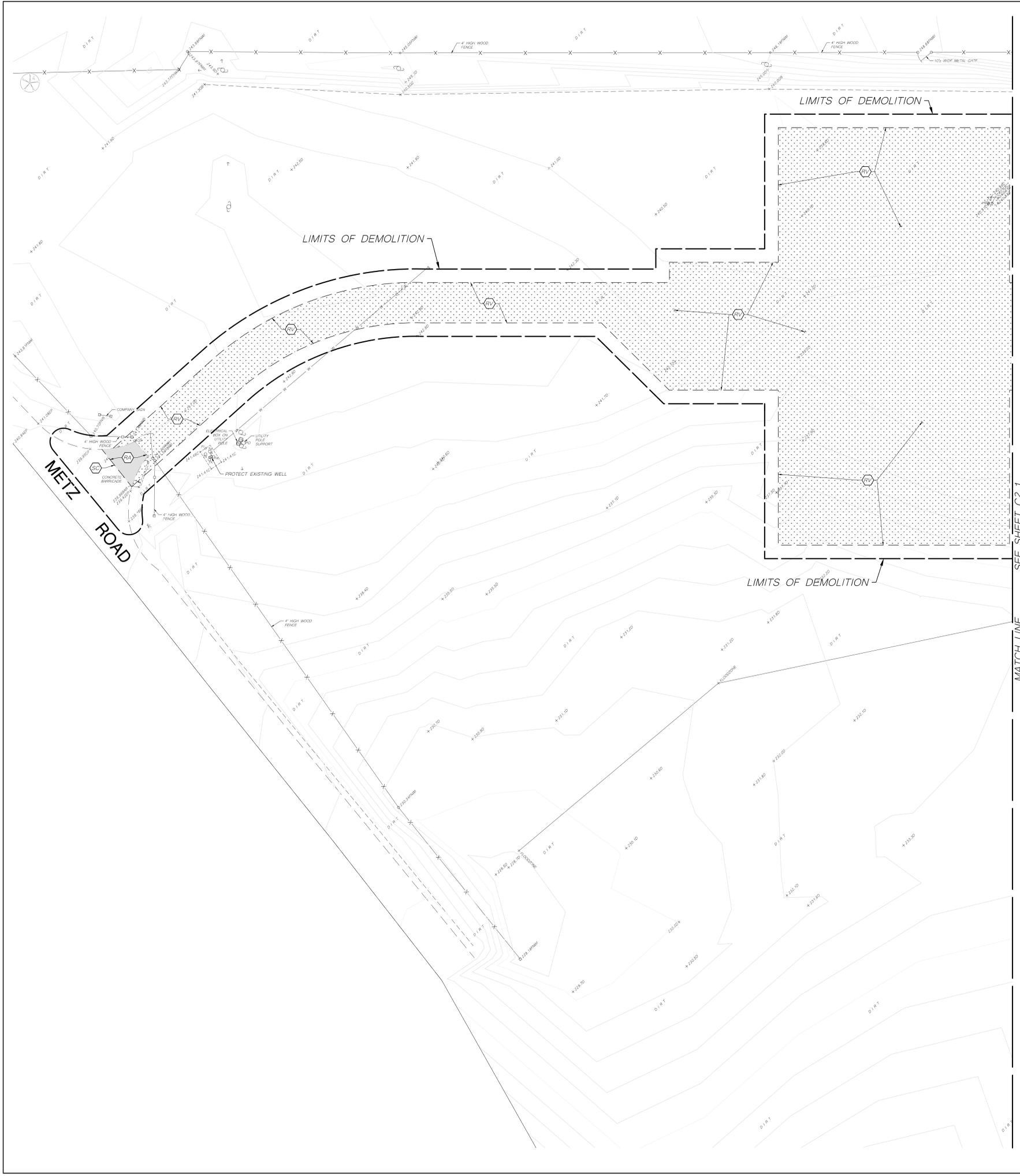
NOTES:

1. THE TOPOGRAPHIC SURVEY WAS PERFORMED ON JULY 31, 2019.
2. THE TOPOGRAPHIC SURVEY IS ONLY A PARTIAL SURVEY OF THE SPECIFIC PHYSICAL FEATURES OF THE SITE AND THEIR ELEVATIONS. NOT ALL AREAS OF WORK WERE INCLUDED IN THE TOPOGRAPHIC SURVEY.
3. THE SURFACE FEATURES OF THE UTILITIES SHOWN WERE OBTAINED AT THE TIME OF THE TOPOGRAPHIC SURVEY AND FROM A UTILITY SEARCH OF PLANS PROVIDED BY THE OWNER. IT IS POSSIBLE THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT WERE NOT REVEALED THROUGH THE UTILITY SEARCH. NO GUARANTEE CAN BE MADE ON THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN.
4. THE EXISTENCE AND LOCATION OF ALL IMPROVEMENTS, UTILITIES, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING STALLS, EASEMENTS, SERVITUDES AND ENCROACHMENTS ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE.

SITE BENCHMARK:

AME POINT NO. 1
SET NAIL IN GROUND, 20" WEST OF WEST SIDE OF TRUCK SCALE.
ELEVATION = 241.42'





DEMOLITION LEGEND:

- REMOVE ASPHALT CONCRETE STRUCTURAL SECTION.
- REMOVE BUILDING AND FOUNDATION.
- REMOVE CONCRETE IMPROVEMENTS.
- REMOVAL OF EXISTING TURF AND VEGETATION.
- SAWCUT.
- LIMITS OF DEMOLITION.
- LIMITS OF SAWCUT LINE.
- LIMITS OF CONCRETE REMOVAL.
- LIMITS OF ASPHALTIC CONCRETE REMOVAL.
- LIMITS OF VEGETATION REMOVAL.

DEMOLITION NOTES:

1. THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE IMPROVEMENTS, UTILITIES AND LANDSCAPE AREAS NOT SPECIFIED FOR DEMOLITION.
2. THE DEMOLITION LIMITS SHOWN ARE SCHEMATIC, THE CONTRACTOR SHALL DEMOLISH AS NECESSARY TO CONSTRUCT THE NEW IMPROVEMENTS SHOWN IN THESE PLANS.
3. THE LIMITS OF SAWCUT FOR EXISTING ASPHALT CONCRETE AND CONCRETE ARE SCHEMATIC, SAWCUT AND REMOVE AS NECESSARY TO CONSTRUCT NEW IMPROVEMENTS.
4. THE CONTRACTOR SHALL LEGALLY DISPOSE OF ALL MATERIALS SPECIFIED FOR DEMOLITION.

Alan Mok, PE, PLS,
LEED AP
Principal

Alan Mok Engineering

7415 N. PALM AVENUE #101
FRESNO, CALIFORNIA 93711
Tel. 559-432-6879
Fax. 559-432-6897
www.alanmokengeering.com

PROJECT:

SITE IMPROVEMENTS AT NA SEED COMPANY GREENFIELD PLANT

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

DRAWN FOR:
NA SEED
APN 418-401-009

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

ALAN K. MOK, P.E., R.C.E. 42,618

EDWARD M. WONG, P.E., R.C.E. 54,740



ALAN MOK ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER APPLICABLE PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE ENGINEER. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE ENGINEER HARMLESS, AND SHALL BEAR THE COST OF THE ENGINEER'S LEGAL FEES, ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

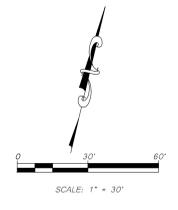
REVISIONS:

No.	DATE	DESCRIPTION

SHEET DESCRIPTION:

DEMOLITION PLAN

PROJECT COORDINATOR: AKM	SHEET No.
PROJECT No. 219-0170	C2
DATE: 3/01/2022	
SCALE: AS NOTED	



PROJECT:
SITE IMPROVEMENTS AT NA SEED COMPANY GREENFIELD PLANT

LOCATION:
 39247 Metz Rd.
 Greenfield, CA 93927

DRAWN FOR:
NA SEED
 APN 418-401-009

LOCATION:
 39247 Metz Rd.
 Greenfield, CA 93927

ALAN K. MOK, P.E., R.C.E. 42,618
 EDWARD M. WONG, P.E., R.C.E. 54,740



ALAN MOK ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER APPLICABLE PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE ENGINEER. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE ENGINEER HARMLESS, AND SHALL BEAR THE COST OF THE ENGINEER'S LEGAL FEES, ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

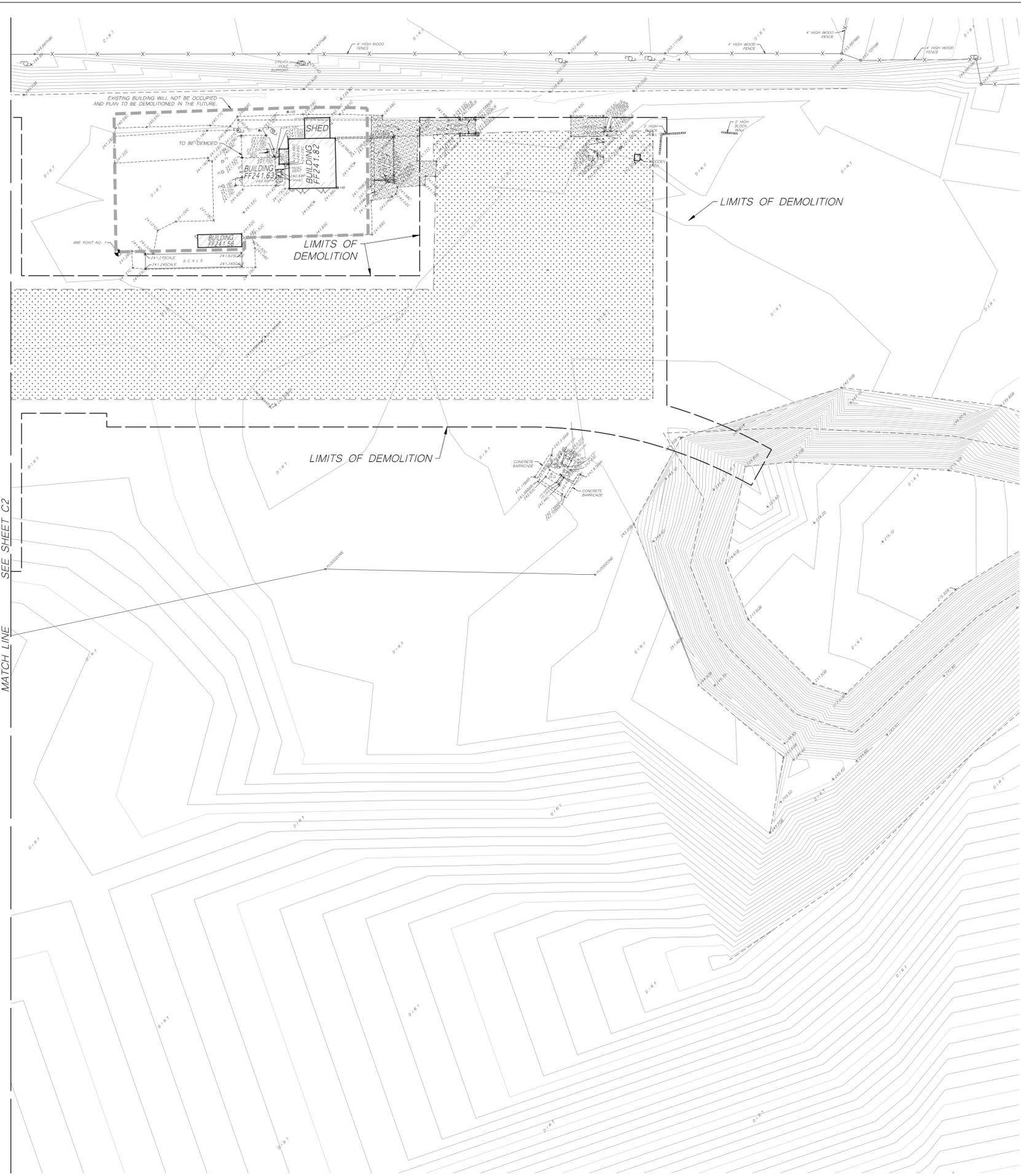
REVISIONS:

No.	DATE	DESCRIPTION

SHEET DESCRIPTION:

DEMOLITION PLAN

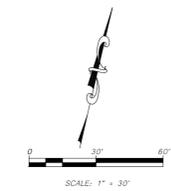
PROJECT COORDINATOR: AKM	SHEET No.
PROJECT No. 219-0170	C2.1
DATE: 3/01/2022	
SCALE: AS NOTED	



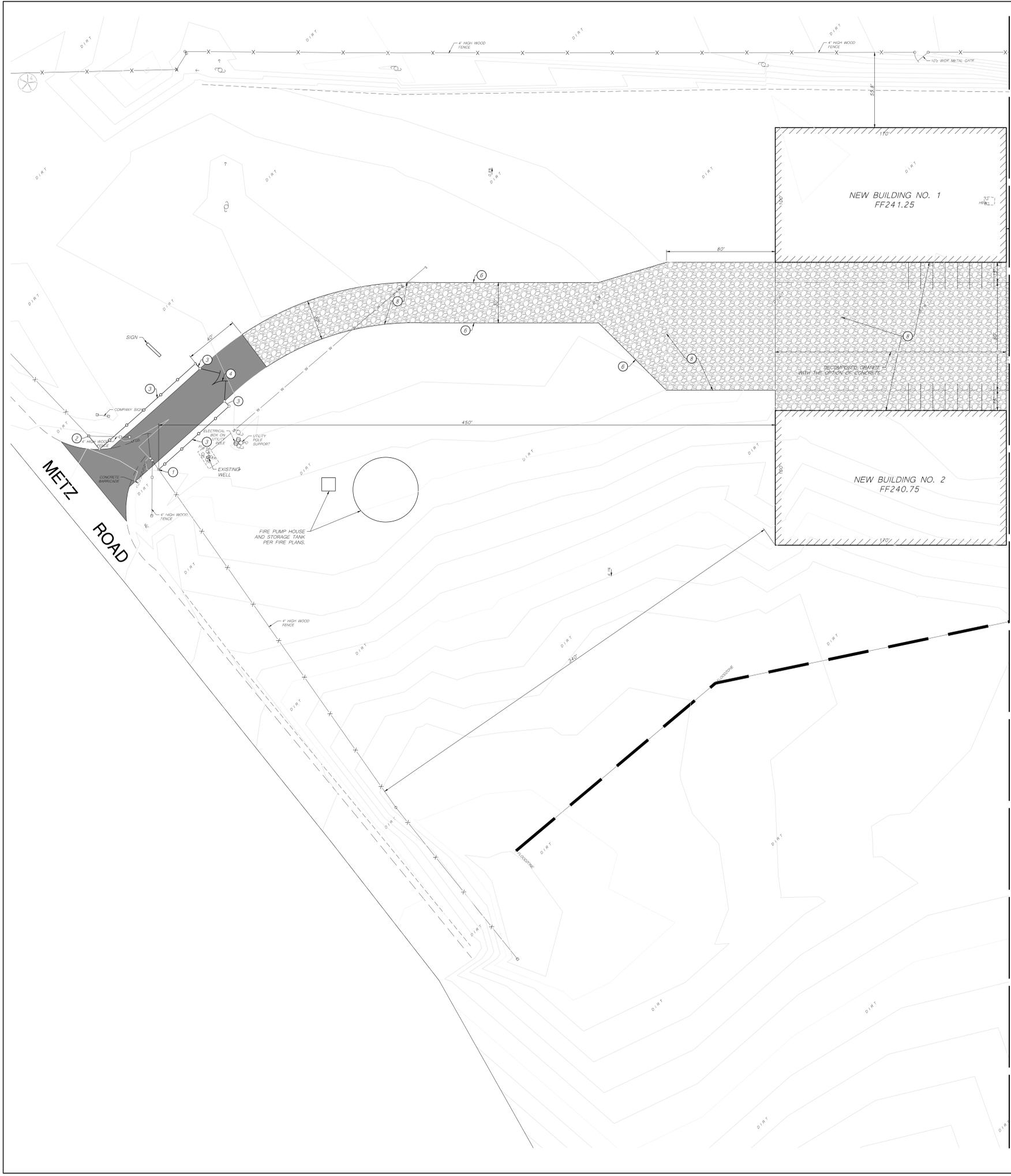
DEMOLITION LEGEND:

- EXISTING BUILDING TO BE DEMOLISHED
- EXISTING BUILDING TO BE OCCUPIED AND DEMOLISHED IN THE FUTURE
- REMOVAL OF EXISTING TURF AND VEGETATION
- SAWCUT
- LIMITS OF DEMOLITION
- LIMITS OF SAWCUT LINE
- LIMITS OF CONCRETE REMOVAL
- LIMITS OF ASPHALTIC CONCRETE REMOVAL
- LIMITS OF VEGETATION REMOVAL

- DEMOLITION NOTES:**
- THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE IMPROVEMENTS, UTILITIES AND LANDSCAPE AREAS NOT SPECIFIED FOR DEMOLITION.
 - THE DEMOLITION LIMITS SHOWN ARE SCHEMATIC. THE CONTRACTOR SHALL DEMOLISH AS NECESSARY TO CONSTRUCT THE NEW IMPROVEMENTS SHOWN IN THESE PLANS.
 - THE LIMITS OF SAWCUT FOR EXISTING ASPHALTIC CONCRETE AND CONCRETE ARE SCHEMATIC. SAWCUT AND REMOVE AS NECESSARY TO CONSTRUCT NEW IMPROVEMENTS.
 - THE CONTRACTOR SHALL LEGALLY DISPOSE OF ALL MATERIALS SPECIFIED FOR DEMOLITION.



SEE SHEET C2
 MATCH LINE



SITE LEGEND:

- 1. TIE EXISTING FENCE ONTO NEW FENCE POST.
 - 2. TIE NEW FENCE ONTO EXISTING FENCE POST.
 - 3. CONSTRUCT 6" HIGH CHAIN LINK FENCE PER DETAIL E/C6.
 - 4. CONSTRUCT 30" WIDE DOUBLE CHAIN LINK DRIVE GATE PER DETAIL E/C6.
 - 5. PLACE 3"AC/8"AB/6"CS PER DETAIL F/C6.
 - 6. FURNISH AND INSTALL REDWOOD HEADERBOARD PER DETAIL G/C6.
 - 7. CONSTRUCT 6" THICK CONCRETE SLAB PER DETAIL H/C6.
 - 8. FURNISH AND INSTALL 6" THICK DECOMPOSED GRANITE.
- LIMITS OF CONCRETE IMPROVEMENTS.
 LIMITS OF ASPHALT CONCRETE PAVEMENT IMPROVEMENTS.
 LIMITS OF DECOMPOSED GRANITE IMPROVEMENTS.

SITE NOTES:

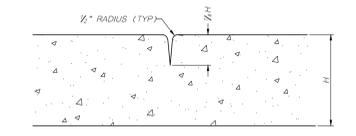
1. ALL CONCRETE SIDEWALKS, VALLEY GUTTERS AND MOWSTRIPS SHALL HAVE WEARED PLANES JOINTS (SCORELINES) AT 15 FEET (MAXIMUM) ON CENTER AND ONE HALF INCH THICK PREMOULDED EXPANSION JOINTS AT 45 FEET ON CENTER. SEE DETAILS "A" AND "B" ON THIS SHEET.
2. NO CONCRETE MAY BE POURED UNTIL ALL FORMS AND REINFORCEMENT HAVE BEEN REVIEWED AND APPROVED BY THE PROJECT INSPECTOR.

HAZARDOUS MATERIALS NOTES:

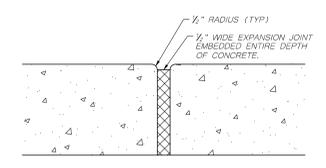
NORTH AMERICAN AND CENTRAL CALIFORNIA SEED WILL PRODUCE WASTE OIL FROM REGULAR SERVICE ON EQUIPMENT. NORMALLY IT IS ENGINE OIL WASTE AND IT IS CONTAINED IN OIL 50 GALLON DRUMS THEN DROPPED OFF AT A DESIGNATED OIL RECYCLING COMPANY WE USE. STURDY OIL IN SALINAS. OUR MATERIALS SHOW UP IN A 40 GALLON DRUMS AND WE DO NOT USE COMPRESSED GASES. WE USE PHOSPHIDE GAS AS A FUMIGANT.

ORGANIC WASTE NOTE

ORGANIC WASTE GENERATED IS ESTIMATED TO BE 10 CUBIC YARDS PER WEEK.



(A) DEEP JOINT (SCORELINE)
NOT TO SCALE



(B) EXPANSION JOINT
NOT TO SCALE

Alan Mok, PE, PLS, LEED AP Principal
Alan Mok Engineering
 7415 N. PALM AVENUE #101
 FRESNO, CALIFORNIA 93711
 Tel. 559-432-6879
 Fax. 559-432-6897
 www.alanmokengeering.com

PROJECT:
SITE IMPROVEMENTS AT NA SEED COMPANY GREENFIELD PLANT

LOCATION:
 39247 Metz Rd.
 Greenfield, CA 93927

DRAWN FOR:
NA SEED
APN 418-401-009

LOCATION:
 39247 Metz Rd.
 Greenfield, CA 93927

ALAN K. MOK, P.E., R.C.E. 42,618
 EDWARD M. WONG, P.E., R.C.E. 54,740

ALAN MOK ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER APPLICABLE PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE ENGINEER. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE ENGINEER HARMLESS, AND SHALL BEAR THE COST OF THE ENGINEER'S LEGAL FEES, ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

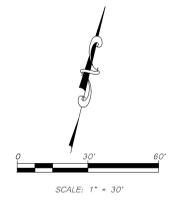
REVISIONS:

No.	DATE	DESCRIPTION

SHEET DESCRIPTION:

SITE PLAN

PROJECT COORDINATOR: AKM	SHEET No. C3
PROJECT No. 219-0170	
DATE: 3/01/2022	
SCALE: AS NOTED	



PROJECT:
SITE IMPROVEMENTS AT NA SEED COMPANY GREENFIELD PLANT

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

DRAWN FOR:
NA SEED
APN 418-401-009

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

ALAN K. MOK, P.E., R.C.E. 42,618
EDWARD M. WONG, P.E., R.C.E. 54,740



ALAN MOK ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER APPLICABLE PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE ENGINEER. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE ENGINEER HARMLESS, AND SHALL BEAR THE COST OF THE ENGINEER'S LEGAL FEES, ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

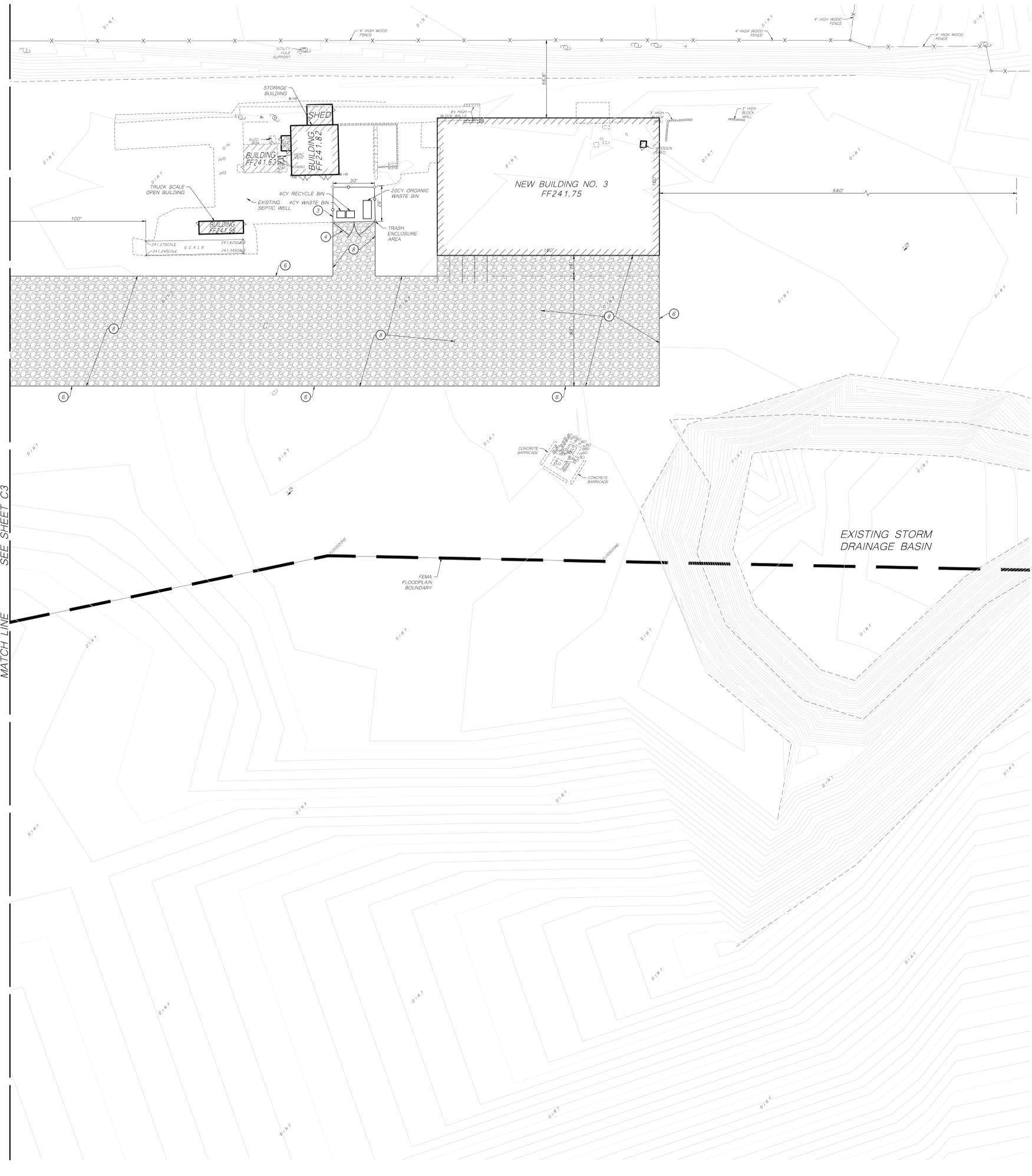
REVISIONS:

No.	DATE	DESCRIPTION

SHEET DESCRIPTION:

SITE PLAN

PROJECT COORDINATOR: AKM	SHEET No.
PROJECT No. 219-0170	C3.1
DATE: 3/01/2022	
SCALE: AS NOTED	

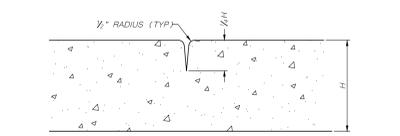


- SITE LEGEND:**
- TIE EXISTING FENCE ONTO NEW FENCE POST.
 - TIE NEW FENCE ONTO EXISTING FENCE POST.
 - CONSTRUCT 6' HIGH CHAIN LINK FENCE PER DETAIL E/C6.
 - CONSTRUCT 30' WIDE DOUBLE CHAIN LINK DRIVE GATE PER DETAIL E/C6.
 - PLACE 3"X6"X8"X18"X6"X18" PER DETAIL F/C6.
 - FURNISH AND INSTALL REDWOOD HEADERBOARD PER DETAIL G/C6.
 - CONSTRUCT 6" THICK CONCRETE SLAB PER DETAIL H/C6.
 - FURNISH AND INSTALL 6" THICK DECOMPOSED GRANITE.
- LIMITS OF CONCRETE IMPROVEMENTS.
LIMITS OF ASPHALT CONCRETE PAVEMENT IMPROVEMENTS.
LIMITS OF DECOMPOSED GRANITE IMPROVEMENTS.

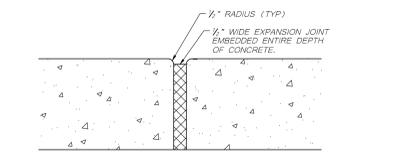
- SITE NOTES:**
- ALL CONCRETE SIDEWALKS, VALLEY GUTTERS AND MOWSTRIPS SHALL HAVE WEARBEAD PLANE JOINTS (SCORELINES) AT 15 FEET (MARKING) ON CENTER AND ONE HALF INCH THICK PREMOULDED EXPANSION JOINTS AT 45 FEET ON CENTER. SEE DETAILS "A" AND "B" ON THIS SHEET.
 - NO CONCRETE MAY BE POURED UNTIL ALL FORMS AND REINFORCEMENT HAVE BEEN REVIEWED AND APPROVED BY THE PROJECT INSPECTOR.

HAZARDOUS MATERIALS NOTES:

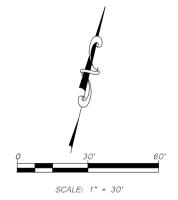
NORTH AMERICAN AND CENTRAL CALIFORNIA SEED WILL PRODUCE WASTE OIL FROM REGULAR SERVICE ON EQUIPMENT. NORMALLY IT IS ENGINE OIL WASTE AND IT IS CONTAINED IN OIL 50 GALLON DRUMS THEN DROPPED OFF AT A DESIGNATED OIL RECYCLING COMPANY. WE USE STURDY OIL IN SALINAS. OUR MATERIALS SHOW UP IN A 40 GALLON DRUMS AND WE DO NOT USE COMPRESSED GASES. WE USE PHOSPHIDE GAS AS A FUMIGANT.



A DEEP JOINT (SCORELINE)
NOT TO SCALE



B EXPANSION JOINT
NOT TO SCALE



MATCH LINE SEE SHEET C3

PROJECT:

SITE IMPROVEMENTS AT NA SEED COMPANY GREENFIELD PLANT

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

DRAWN FOR:
NA SEED
APN 418-401-009

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

ALAN K. MOK, P.E., R.C.E. 42,618

EDWARD M. WONG, P.E., R.C.E. 54,740



ALAN MOK ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER APPLICABLE PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE ENGINEER. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE ENGINEER HARMLESS, AND SHALL BEAR THE COST OF THE ENGINEER'S LEGAL FEES, ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

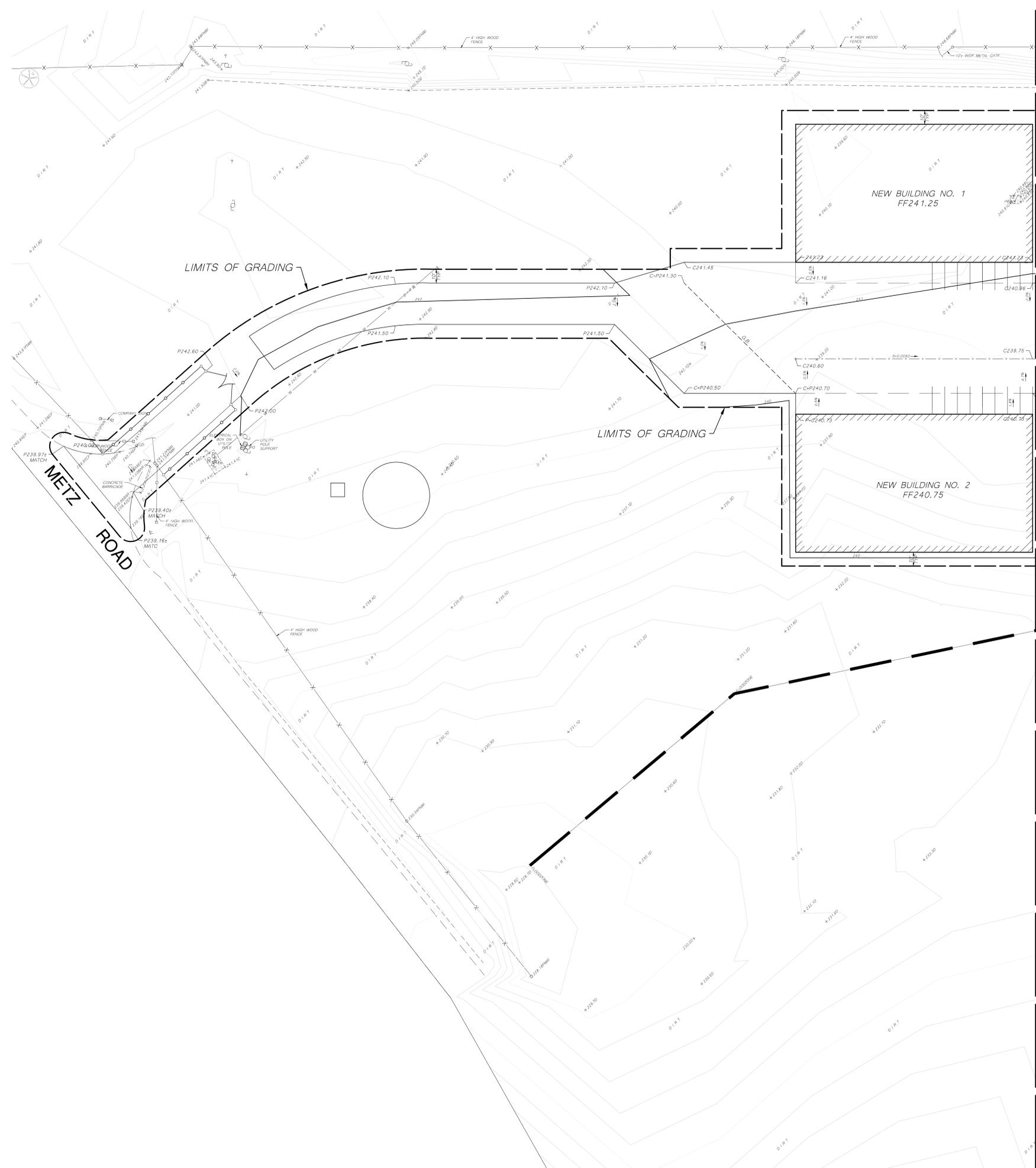
REVISIONS:

No.	DATE	DESCRIPTION

SHEET DESCRIPTION:

GRADING AND DRAINAGE PLAN

PROJECT COORDINATOR: AKM	SHEET No.
PROJECT No. 219-0170	C4
DATE: 3/01/2022	
SCALE: AS NOTED	



GRADING AND DRAINAGE LEGEND:

- C CONCRETE
- FG FINISHED GROUND
- G.B. GRADE BREAK
- P PAVEMENT
- ±±±±± EXISTING GRADE
- DIRECTION OF DRAINAGE
- 1:50 SURFACE SLOPE AND DIRECTION OF DRAINAGE
- ±0.0050 NEW FLOWLINE SLOPE AND DIRECTION OF FLOW
- 100:01 NEW GRADE
- GRADE BREAK
- NEW GUTTER OR SWALE FLOWLINE AND DIRECTION OF FLOW
- LIMITS OF GRADING

GRADING NOTES:

- THE "LIMITS OF GRADING" SHOWN ARE SCHEMATIC. THE CONTRACTOR SHALL CUT, FILL, BACKFILL, COMPACT, GRADE AND REGRADE AS NECESSARY TO PERFORM ALL NEW IMPROVEMENTS SHOWN ON THESE PLANS. AREAS BEYOND THE "LIMITS OF GRADING" DISTURBED BY THE ACTIVITIES OF THE CONTRACTOR AS PART OF THIS PROJECT SHALL BE REGRADED TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL ADJUST ALL NEW AND EXISTING UTILITY BOXES, VAULTS AND MANHOLE COVERS AND FRAME TO MATCH ADJACENT FINISHED SURFACE GRADE WITHIN THE "LIMITS OF GRADING". SEE DETAIL 1/C11 IF APPLICABLE.
- THE LOCATION AND ALIGNMENT OF THE STORM DRAIN SYSTEM IS SCHEMATIC. ADJUSTMENTS ARE TO BE MADE IN THE FIELD DUE TO EXISTING UTILITIES AND NEW IMPROVEMENTS.
- ALL GRADING PLANS SHALL INCORPORATE THE RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL INVESTIGATION REPORT PREPARED BY TECHNICAL ENGINEERING SERVICES.
- INSPECTION TEST REQUIREMENT:
 - COMPLETION OF SUBGRADE
 - COMPLETION OF PLACEMENT OF BASE ROCK
 - SAMPLING OF CONCRETE IMPROVEMENTS
 - COMPLETION OF AC PAVEMENT

EARTHWORK:

3184 CY FILL
500 CY CU

BASIN VOLUME CALCULATIONS

BOTTOM OF BASIN = 19,800 FT²

TOP OF BASIN = 62,000 FT²

BASIN AVERAGE ELEVATION = 238.00

ELEVATION OF BOTTOM OF BASIN = 215.5

DIFFERENCE IN ELEVATION: 238.00-215.5 = 22.5

STORAGE PROVIDED

A = 62,000

A₁ = 19,800

ΔH = 22.5

$VOL = \frac{62,000 + 19,800 + \sqrt{62,000(19,800)}(22.5)}{3} = 876,278 \text{ FT}^3$

VOLUME REQUIREMENTS

77,234 FT³ @ 0.5 = 38,617 (GRAVEL/BASE ROCK AREA)

5,031 FT³ @ 0.9 = 4,528 (PAVEMENT AREA)

50,000 FT³ @ 0.85 = 42,500 (BUILDINGS)

1,321,343 FT³ @ 0.20 = 264,268 (UNIMPROVED)

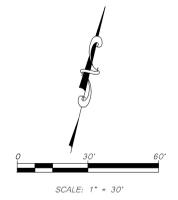
349,914 FT³

REQUIRED STORAGE, Q-CIA

RAINFALL INTENSITY (i) = 17.3 in (SEE EPA'S NATIONAL STORMWATER CALCULATOR)

STORAGE VOLUME REQUIRED:

SV = (17.3 in/12 in) X 349,914 SF = 504,459 FT³



PROJECT:
SITE IMPROVEMENTS AT NA SEED COMPANY GREENFIELD PLANT

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

DRAWN FOR:
NA SEED
APN 418-401-009

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

ALAN K. MOK, P.E., R.C.E. 42,618
EDWARD M. WONG, P.E., R.C.E. 54,740



ALAN MOK ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER APPLICABLE PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE ENGINEER. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE ENGINEER HARMLESS AND SHALL BEAR THE COST OF THE ENGINEER'S LEGAL FEES, ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

REVISIONS:

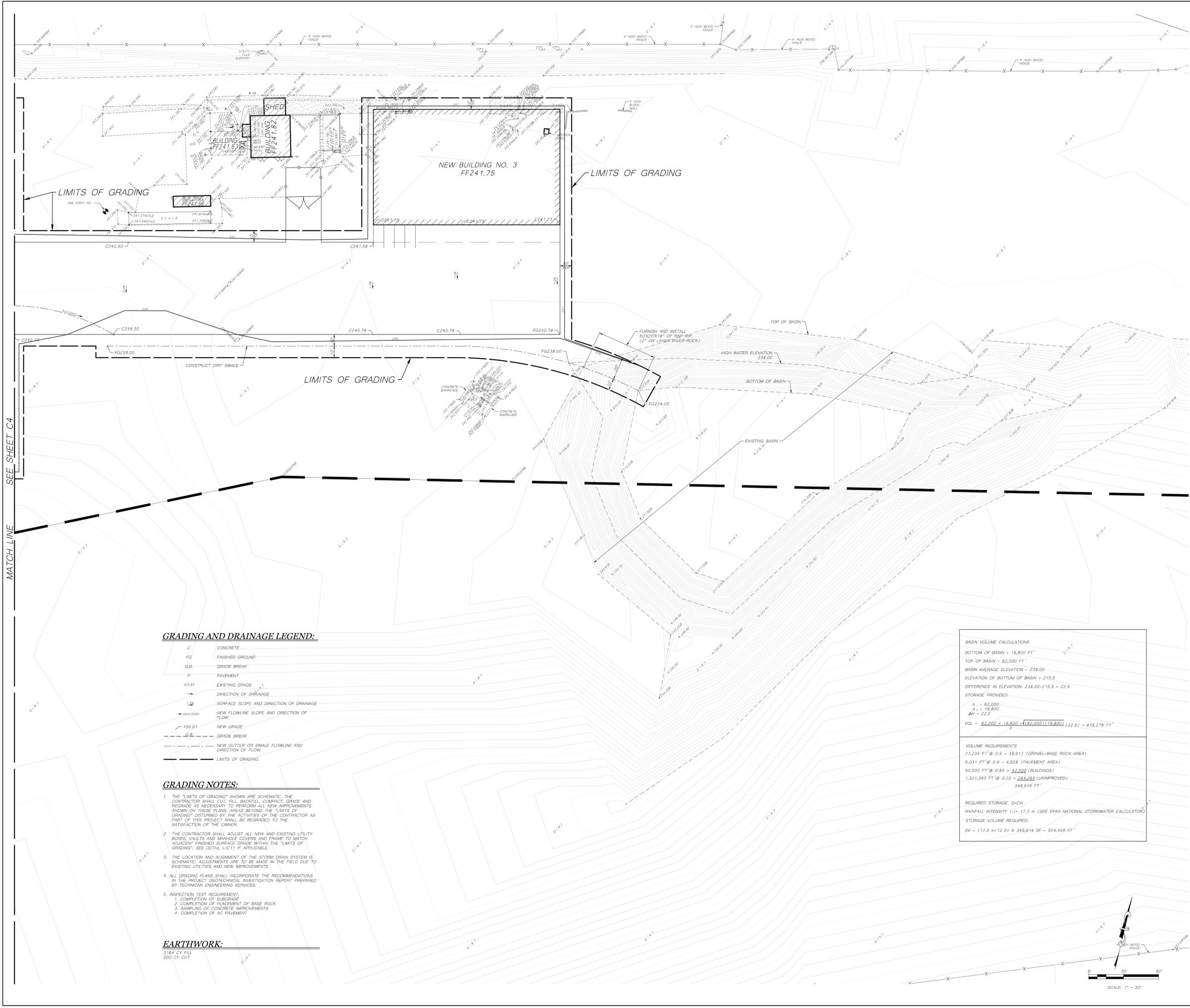
No.	DATE	DESCRIPTION

SHEET DESCRIPTION:

GRADING AND DRAINAGE PLAN

PROJECT COORDINATOR:
AKM
PROJECT No.
219-0170
DATE:
3/01/2022
SCALE:
AS NOTED

SHEET No.
C4.1



GRADING AND DRAINAGE LEGEND:

- C CONCRETE
- FG FINISHED GROUND
- G.B. GRADE BREAK
- P PAVEMENT
- 101.85 EXISTING GRADE
- 100.01 NEW GRADE
- 1:50 SURFACE SLOPE AND DIRECTION OF DRAINAGE
- 1:50.0050 NEW FLOWLINE SLOPE AND DIRECTION OF FLOW
- 100.01 GRADE BREAK
- 1:50.0050 NEW GUTTER OR SWALE FLOWLINE AND DIRECTION OF FLOW
- LIMITS OF GRADING

GRADING NOTES:

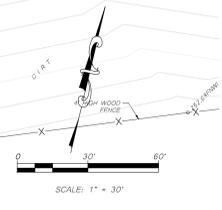
- THE "LIMITS OF GRADING" SHOWN ARE SCHEMATIC. THE CONTRACTOR SHALL CUT, FILL, BACKFILL, COMPACT, GRADE AND REGRADE AS NECESSARY TO PERFORM ALL NEW IMPROVEMENTS SHOWN ON THESE PLANS. AREAS BEYOND THE "LIMITS OF GRADING" DISTURBED BY THE ACTIVITIES OF THE CONTRACTOR AS PART OF THIS PROJECT SHALL BE REGRADED TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL ADJUST ALL NEW AND EXISTING UTILITY BOXES, VAULTS AND MANHOLE COVERS AND FRAME TO MATCH ADJACENT FINISHED SURFACE GRADE WITHIN THE "LIMITS OF GRADING". SEE DETAIL L/C11 IF APPLICABLE.
- THE LOCATION AND ALIGNMENT OF THE STORM DRAIN SYSTEM IS SCHEMATIC. ADJUSTMENTS ARE TO BE MADE IN THE FIELD DUE TO EXISTING UTILITIES AND NEW IMPROVEMENTS.
- ALL GRADING PLANS SHALL INCORPORATE THE RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL INVESTIGATION REPORT PREPARED BY TECHNICIAN ENGINEERING SERVICES.
- INSPECTION TEST REQUIREMENT:
 - COMPLETION OF SUBGRADE
 - COMPLETION OF PLACEMENT OF BASE ROCK
 - SAMPLING OF CONCRETE IMPROVEMENTS
 - COMPLETION OF AC PAVEMENT

EARTHWORK:
3164 CY FILL
500 CY CUT

BASIN VOLUME CALCULATIONS
 BOTTOM OF BASIN = 19,800 FT'
 TOP OF BASIN = 62,000 FT'
 BASIN AVERAGE ELEVATION = 238.00
 ELEVATION OF BOTTOM OF BASIN = 215.5
 DIFFERENCE IN ELEVATION: 238.00-215.5 = 22.5
STORAGE PROVIDED
 $A_1 = 62,000$
 $A_2 = 19,800$
 $\Delta H = 22.5$
 $VOL = \frac{62,000 + 19,800 + \sqrt{(62,000)(19,800)}}{3} (22.5) = 876,278 \text{ FT}^3$

VOLUME REQUIREMENTS
 77,234 FT' @ 0.5 = 38,617 (GRAVEL/BASE ROCK AREA)
 5,031 FT' @ 0.9 = 4,528 (PAVEMENT AREA)
 50,000 FT' @ 0.85 = 42,500 (BUILDINGS)
 1,321,343 FT' @ 0.20 = 264,268 (UNIMPROVED)
 349,914 FT'

REQUIRED STORAGE, Q=CIA
 RAINFALL INTENSITY (I) = 17.3 in (SEE EPA'S NATIONAL STORMWATER CALCULATOR)
 STORAGE VOLUME REQUIRED:
 $SV = (17.3 \text{ in}/12 \text{ ft}) \times 349,914 \text{ SF} = 504,459 \text{ FT}^3$



PROJECT:
SITE IMPROVEMENTS AT NA SEED COMPANY GREENFIELD PLANT

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

DRAWN FOR:
NA SEED
APN 418-401-009

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

ALAN K. MOK, P.E., R.C.E. 42,618
EDWARD M. WONG, P.E., R.C.E. 54,740



ALAN MOK ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER APPLICABLE PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE ENGINEER. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE ENGINEER HARMLESS, AND SHALL BEAR THE COST OF THE ENGINEER'S LEGAL FEES, ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

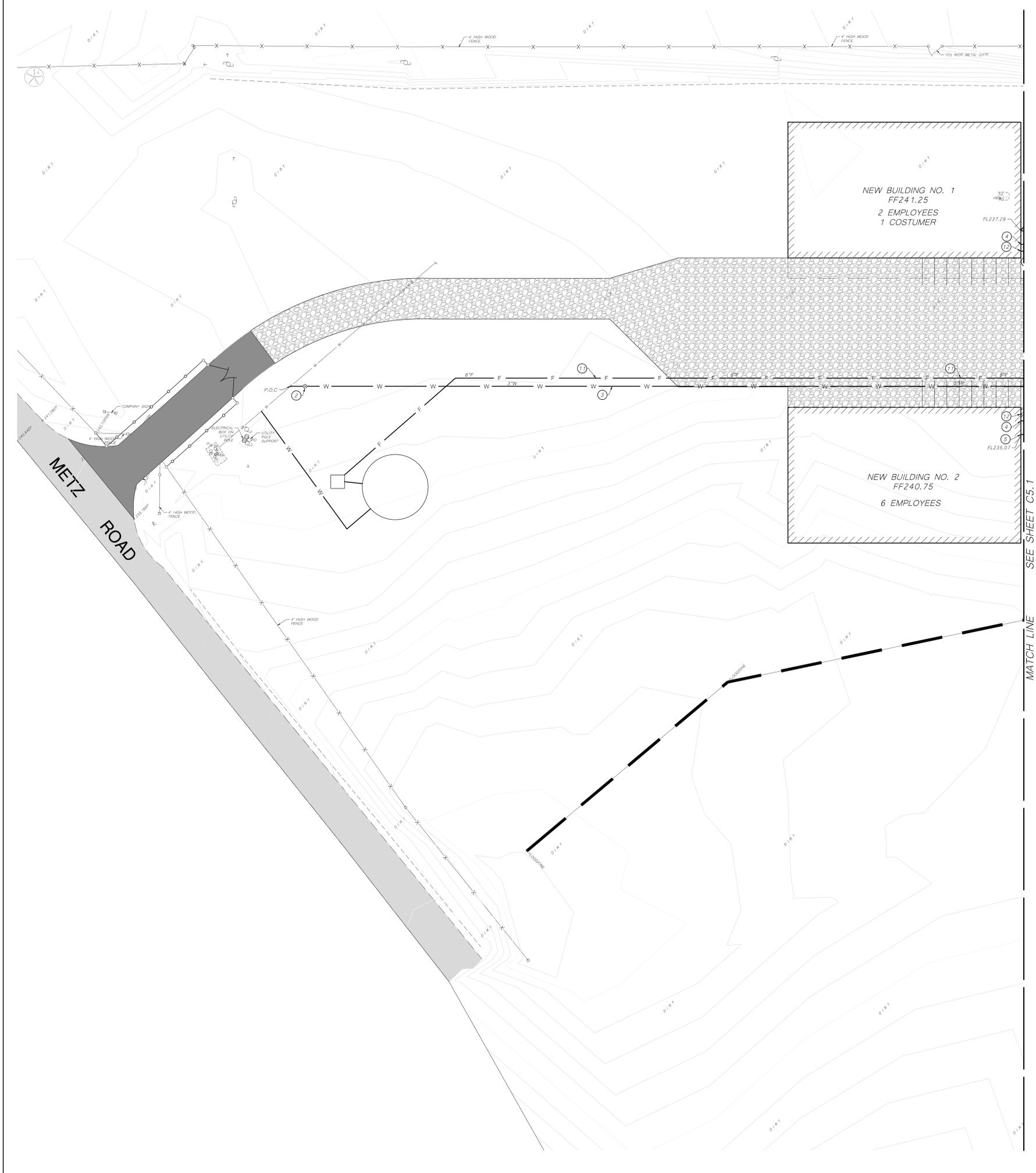
REVISIONS:

No.	DATE	DESCRIPTION

SHEET DESCRIPTION:

UTILITIES PLAN

PROJECT COORDINATOR: AKM	SHEET No.
PROJECT No. 219-0170	C5
DATE: 3/01/2022	
SCALE: AS NOTED	



SEWER AND WATER LEGEND:

- ① MAKE CONNECTION TO EXISTING WATER MAIN. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS.
- ② FURNISH AND INSTALL WATER VALVE AND BOX PER DETAIL J/C6.
- ③ FURNISH AND INSTALL PVC SCHEDULE 40 WATER MAIN AND FITTINGS. BACKFILL PER DETAIL D/C6.
- ④ MAKE CONNECTION TO BUILDING WATER STUB. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS.
- ⑤ MAKE CONNECTION TO BUILDING SEWER STUB. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS.
- ⑥ FURNISH AND INSTALL CLEANOUT PER DETAIL I/C6.
- ⑦ FURNISH AND INSTALL SDR-35 SEWER MAIN AND FITTING. BACKFILL PER DETAIL D/C6.
- ⑧ FURNISH AND INSTALL 750 GALLON SEPTIC TANK PER DETAIL A/C6.
- ⑨ FURNISH AND INSTALL DISTRIBUTION BOX PER DETAIL B/C6.
- ⑩ FURNISH AND INSTALL SEPTIC LEACHATE LINE PER DETAIL C/C6.
- ⑪ FURNISH AND INSTALL C900 FIRE MAIN AND FITTINGS. BACKFILL PER DETAIL X/XX.
- ⑫ MAKE CONNECTION TO BUILDING FIRE SPRINKLER STUB. CONTRACTOR TO PROVIDE ALL NECESSARY FITTINGS.
- ⑬ FURNISH AND INSTALL FDC AND PIV PER DETAIL K/C6.
- ⑭ FURNISH AND INSTALL FIRE HYDRANT PER DETAIL L/C6.
- W NEW DOMESTIC WATER PIPELINE. SIZE AS NOTED.
- SS NEW SEWER PIPELINE. SIZE AS NOTED. PIPE FLOWLINE SLOPE AND DIRECTION OF FLOW AS NOTED.
- NEW CAP
- NEW DISTRIBUTION BOX
- NEW SURFACE CLEANOUT
- NEW SEPTIC TANK
- NEW SEPTIC LEACHATE
- NEW WATER VALVE
- P.O.C. POINT OF CONNECTION.

SEWER AND WATER NOTES:

- AS A FIRST ORDER OF WORK, CONTRACTOR TO PHOTOLOG AS NECESSARY TO LOCATE THE EXISTING UTILITY. PROVIDE TO THE DESIGN ENGINEER THE HORIZONTAL AND VERTICAL LOCATION AND SIZE. ALLOW THE ENGINEER SUFFICIENT TIME TO REVIEW INFORMATION AND MAKE ANY NECESSARY ADJUSTMENTS TO THE HORIZONTAL ALIGNMENT, VERTICAL DEPTH AND PIPE SIZE. CONTRACTOR IS NOT TO PROCEED UNTIL AUTHORIZED BY THE DESIGN ENGINEER.
- FOR ALL OFF-SITE WORK, THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY CITY OF FRESNO PERMIT(S) AND PERMIT FEE(S).
- WATER OBTAINED FROM ANY OFF-SITE FIRE HYDRANTS ARE SUBJECT TO ALL CITY OF FRESNO WATER USE FEES.
- WATER SYSTEM TO SERVICE ONLY 11 PERSON.

SEPTIC SYSTEM DESIGN

1. WASTEWATER GENERATION:
BUILDING 1: 2 EMPLOYEES, 1 CUSTOMER
BUILDING 2: 6 EMPLOYEES
BUILDING 3: 3 EMPLOYEES

15 GPD PER EMPLOYEE FOR FACTORY WORKERS PER MONTEREY COUNTY CODE 15.20.

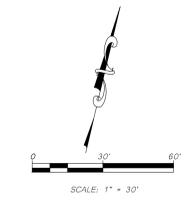
12 x 15 GPD = 180 GPD

TANK REQUIRED:
180 X 2 = 360 GALLONS USE 750 GALLONS

2. SEPTAGE LEACHATE LINE:
SOIL TYPE: SILTY SAND (SM), PER TECHNICON DESIGN REPORT.
APPLICATION RATE = 0.8 PER LAMP.

LEACHING AREA:
INFILTRATIVE CAPACITY = 360 GAL = 450 FT²
0.8 GAL/FT

LEACHING LENGTH - USE 3FT WIDE
450 FT² = 150 FT TOTAL LENGTH
3FT



PROJECT:

SITE IMPROVEMENTS AT NA SEED COMPANY GREENFIELD PLANT

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

DRAWN FOR:
NA SEED
APN 418-401-009

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

ALAN K. MOK, P.E., R.C.E. 42,618
EDWARD M. WONG, P.E., R.C.E. 54,740



ALAN MOK ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER APPLICABLE PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE ENGINEER. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE ENGINEER HARMLESS, AND SHALL BEAR THE COST OF THE ENGINEER'S LEGAL FEES, ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

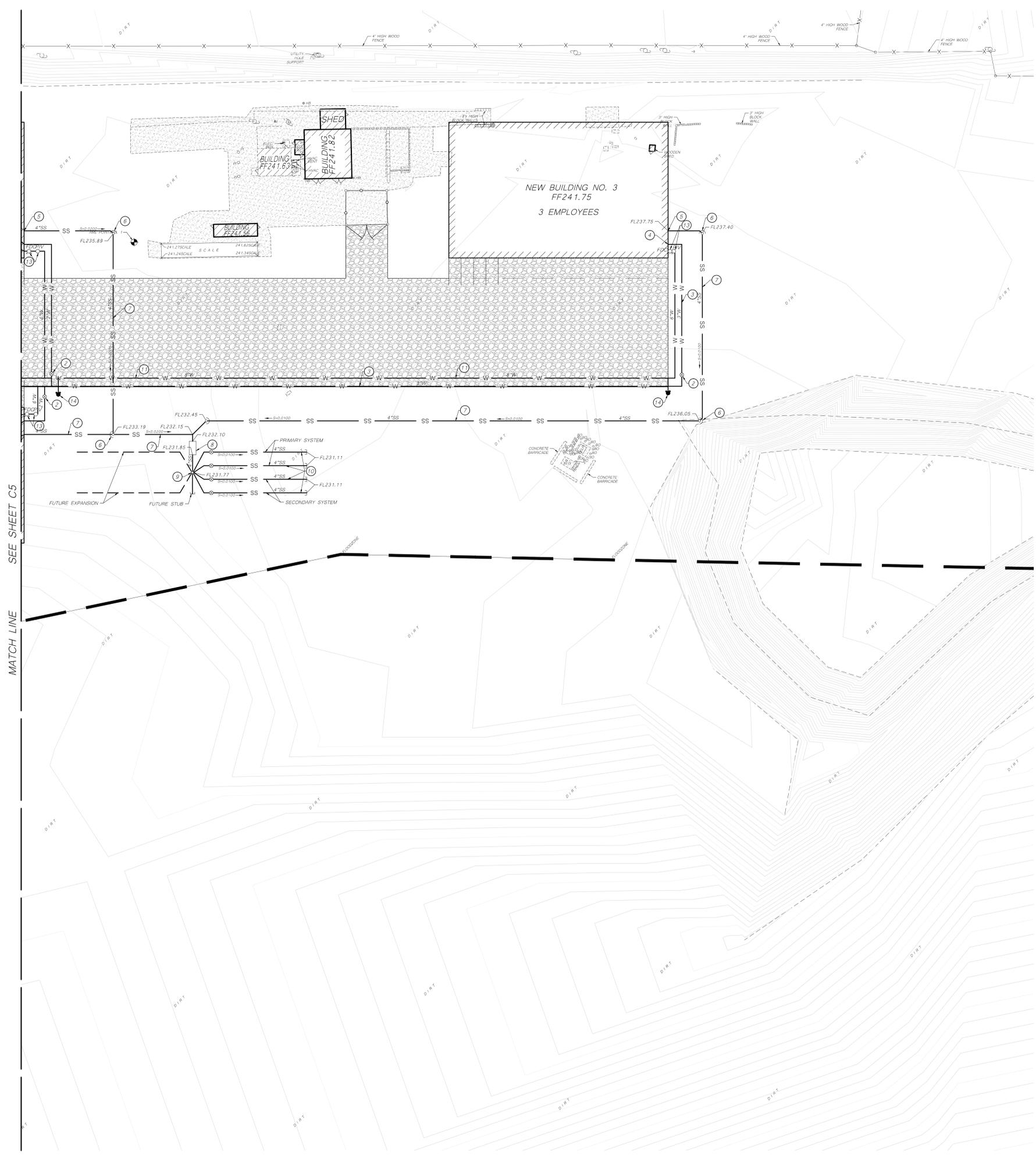
REVISIONS:

No.	DATE	DESCRIPTION

SHEET DESCRIPTION:

UTILITIES PLAN

PROJECT COORDINATOR: AKM	SHEET No.
PROJECT No. 219-0170	C5.1
DATE: 3/01/2022	
SCALE: AS NOTED	



SEWER AND WATER LEGEND:

- ① MAKE CONNECTION TO EXISTING WATER MAIN. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS.
- ② FURNISH AND INSTALL WATER VALVE AND BOX PER DETAIL J/C6.
- ③ FINISH AND INSTALL PVC SCHEDULE 40 WATER MAIN AND FITTINGS. BACKFILL PER DETAIL D/C6.
- ④ MAKE CONNECTION TO BUILDING WATER STUB. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS.
- ⑤ MAKE CONNECTION TO BUILDING SEWER STUB. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS.
- ⑥ FURNISH AND INSTALL CLEANOUT PER DETAIL I/C6.
- ⑦ FURNISH AND INSTALL SDR-35 SEWER MAIN AND FITTING. BACKFILL PER DETAIL D/C6.
- ⑧ FURNISH AND INSTALL 750 GALLON SEPTIC TANK PER DETAIL A/C6.
- ⑨ FURNISH AND INSTALL DISTRIBUTION BOX PER DETAIL B/C6.
- ⑩ FURNISH AND INSTALL SEPTIC LEACHATE LINE PER DETAIL C/C6.
- ⑪ FURNISH AND INSTALL C900 FIRE MAIN AND FITTINGS. BACKFILL PER DETAIL X/C6.
- ⑫ MAKE CONNECTION TO BUILDING FIRE SPRINKLER STUB. CONTRACTOR TO PROVIDE ALL NECESSARY FITTINGS.
- ⑬ FURNISH AND INSTALL FDC AND PIV PER DETAIL K/C6.
- ⑭ FURNISH AND INSTALL FIRE HYDRANT PER DETAIL L/C6.
- W 3" NEW DOMESTIC WATER PIPELINE. SIZE AS NOTED.
- SS 4" NEW SEWER PIPELINE. SIZE AS NOTED. PIPE FLOWLINE SLOPE AND DIRECTION OF FLOW AS NOTED.
- NEW CAP
- NEW DISTRIBUTION BOX
- NEW SURFACE CLEANOUT
- NEW SEPTIC TANK
- NEW SEPTIC LEACHATE
- NEW WATER VALVE
- P.O.C. POINT OF CONNECTION

SEWER AND WATER NOTES:

- AS A FIRST ORDER OF WORK, CONTRACTOR TO POT-HOLE AS NECESSARY TO LOCATE THE EXISTING UTILITY. PROVIDE TO THE DESIGN ENGINEER THE HORIZONTAL AND VERTICAL LOCATION AND SIZE. ALLOW THE ENGINEER SUFFICIENT TIME TO REVIEW INFORMATION AND MAKE ANY NECESSARY ADJUSTMENTS TO THE HORIZONTAL ALIGNMENT, VERTICAL DEPTH AND PIPE SIZE. CONTRACTOR IS NOT TO PROCEED UNTIL AUTHORIZED BY THE DESIGN ENGINEER.
- FOR ALL OFF-SITE WORK, THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY CITY OF FRESNO PERMIT(S) AND PERMIT FEE(S).
- WATER OBTAINED FROM ANY OFF-SITE FIRE HYDRANTS ARE SUBJECT TO ALL CITY OF FRESNO WATER USE FEES.
- WATER SYSTEM TO SERVICE ONLY 11 PERSON.

SEPTIC SYSTEM DESIGN

1. WASTEWATER GENERATION:
BUILDING 1: 2 EMPLOYEES, 1 CUSTOMER
BUILDING 2: 6 EMPLOYEES
BUILDING 3: 3 EMPLOYEES

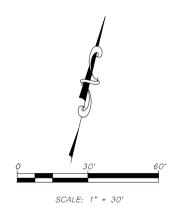
15 GPD PER EMPLOYEE FOR FACTORY WORKERS PER MONTEREY COUNTY CODE 15.20.
12 x 15 GPD = 180 GPD

TANK REQUIRED
180 X 2 = 360 GALLONS USE 750 GALLONS

2. SEPTAGE LEACHATE LINE:
SOIL TYPE: SILTY SAND (SM), PER TECHNICIAN DESIGN REPORT.
APPLICATION RATE = 0.8 PER LAMP.

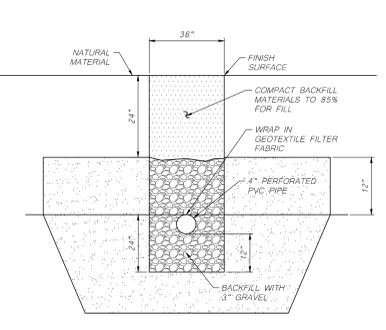
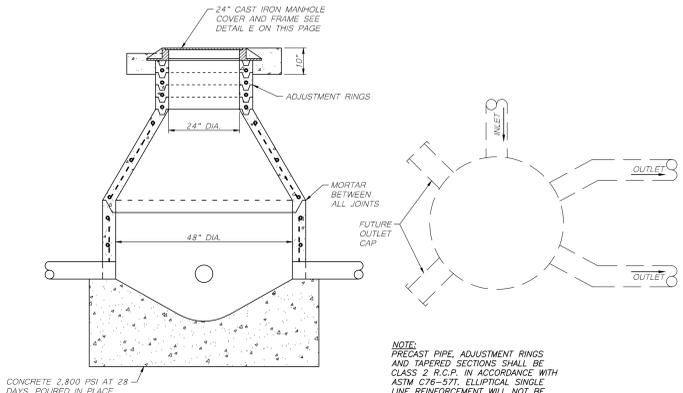
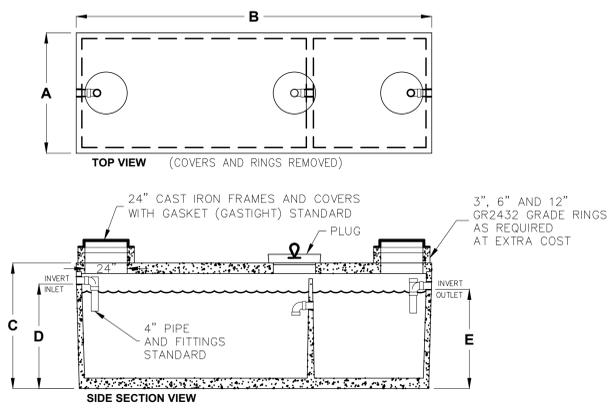
LEACHING AREA
INFILTRATIVE CAPACITY = 360 GAL / 450 FT²
0.8 GAL/FT²

LEACHING LENGTH USE 3FT WIDE
450 FT² = 150 FT TOTAL LENGTH
3FT



MATCH LINE SEE SHEET C5

750-5000 GALLON COMMERCIAL SEPTIC TANKS



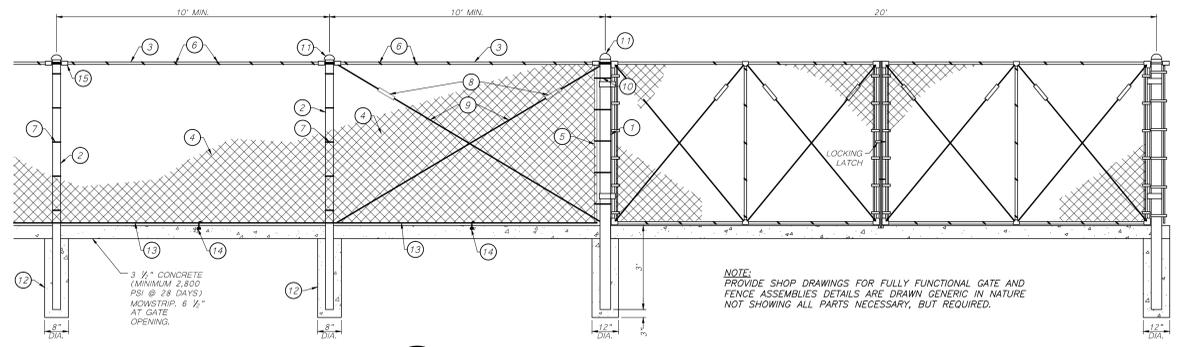
(D) TRENCH BACKFILL
NOT TO SCALE

(C) LEACH LINE
NOT TO SCALE

(B) DISTRIBUTION BOX
NOT TO SCALE

4' HIGH CHAIN LINK FENCE LEGEND:

- 1 2 1/2" O.D. GALVANIZED STEEL CORNER, WALK GATE OR END POST (3.65 LB/FT)
- 2 2 1/2" O.D. GALVANIZED STEEL LINE POST (2.27 LB/FT)
- 3 1 1/2" O.D. GALVANIZED STEEL HORIZONTAL RAIL (2.27 LB/FT)
- 4 2" X 2" MESH X 9 GAUGE GALVANIZED FENCE FABRIC WITH KNOCKLED TOP AND BOTTOM SELVAGE. FENCE FABRIC TO BE GALVANIZED BEFORE WEAVING.
- 5 1/2" X 1/4" GALVANIZED STEEL STRETCHER BAR
- 6 9 GAUGE (0.148" DIA.) GALVANIZED STEEL TIE WIRES OR HOOD RINGS AT 15" MAXIMUM SPACING. MINIMUM OF 8 TIE WIRES PER EACH 10' HORIZONTAL RAIL OR TENSION WIRE.
- 7 9 GAUGE (0.192" DIA.) GALVANIZED STEEL POST CLIPS AT 14" MAXIMUM SPACING. MINIMUM 5 POST CLIPS FOR EACH 6' POST TRUSS ROD.
- 8 6" LONG GALVANIZED ADJUSTABLE TURNBUCKLE FOR 1/2" DIAMETER TRUSS ROD.
- 9 1/2" DIAMETER GALVANIZED STEEL ADJUSTABLE TRUSS ROD. TRUSS RODS REQUIRED FOR ALL GATE POST PANELS, END OR CORNER POST PANELS.
- 10 1/2" THICK GALVANIZED STEEL STRETCHER BAR TENSION BAND AT 12" MAXIMUM SPACING. MINIMUM OF 6 TENSION BANDS FOR EACH 6' POST SECTION.
- 11 GALVANIZED RAIN-PROOF CAP
- 12 CONCRETE POST FOOTING (MINIMUM 3,000 PSI @ 28 DAYS)
- 13 7 GAUGE (0.177" DIA.) GALVANIZED STEEL TENSION WIRE
- 14 1/2" X 6" GALVANIZED HOOK BOLT WITH NUT, IMBEDDED IN CONCRETE MIDWAY BETWEEN POSTS
- 15 RAIL END GALVANIZED FITTING



(E) 4' HIGH CHAIN LINK FENCE
NOT TO SCALE

MODEL NUMBER	LIQUID CAPACITY (GALLONS)	DIM A	DIM B	DIM C	DIM D	DIM E	MINIMUM EXCAVATION WIDTH	MINIMUM EXCAVATION LENGTH	DEPTH OF BURY
JP750EE-ST	750	4'-3"	8'-11"	6'-3"	5'-0"	4'-9"	5'-3"	9'-11"	1' TO 6"
JP1000EE-ST	1000	5'-4"	8'-2"	6'-3"	5'-0"	4'-9"	6'-4"	9'-2"	1' TO 6"
JP1200EE-ST	1200	6'-0"	8'-6"	6'-6"	5'-0"	4'-9"	7'-0"	9'-6"	1' TO 6"
JP1500EE-ST	1500	5'-10"	10'-8"	6'-3"	5'-0"	4'-9"	6'-10"	11'-8"	1' TO 6"
JP2000EE-ST	2000	4'-11"	15'-11"	6'-0"	5'-0"	4'-9"	5'-11"	16'-11"	1' TO 6"
JZ2500EE-ST	2500	5'-9"	16'-10"	6'-0"	5'-0"	4'-9"	6'-9"	17'-10"	1' TO 5"
JZ3000EE-ST	3000	5'-9"	16'-10"	6'-9"	5'-9"	5'-6"	6'-9"	17'-10"	1' TO 5"
JZ4000EE-ST	4000	7'-8"	16'-7"	6'-9"	5'-6"	5'-3"	8'-8"	17'-7"	1' TO 5"
JZ5000EE-ST	5000	7'-8"	16'-7"	7'-11"	6'-9"	6'-6"	8'-8"	17'-7"	1' TO 4"

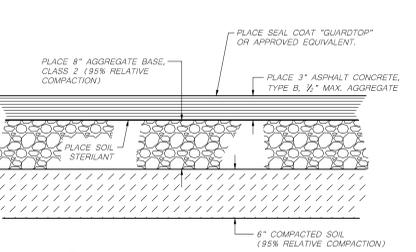
DESIGN LOAD: H-20 TRAFFIC WITH DRY SOIL CONDITIONS (WATER LEVEL BELOW TANK.)
BEDDING NOTE: SUITABLE SUB-BASE BEDDED WITH GRANULAR MATERIAL SHALL BE PREPARED TO HANDLE ANTICIPATED LOADS.

FOR COMPLETE DESIGN AND PRODUCT INFORMATION CONTACT JENSEN PRECAST.



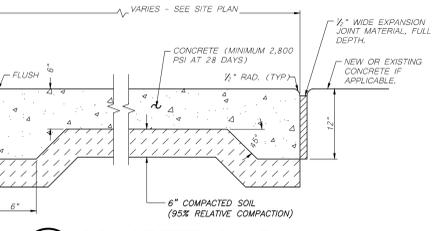
Jensen Precast reserves the right to make changes to product design and/or dimensions without notice. Please contact Jensen Precast whenever necessary for confirmation or advice on product design.

(A) 750 GALLON SEPTIC TANK
NOT TO SCALE

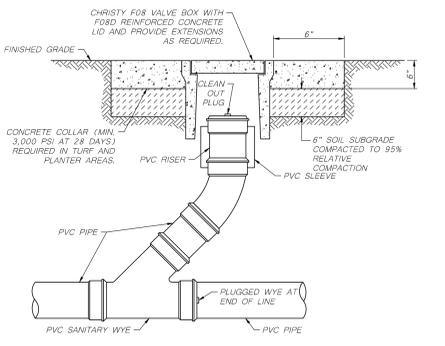


(G) REDWOOD HEADERBOARD
NOT TO SCALE

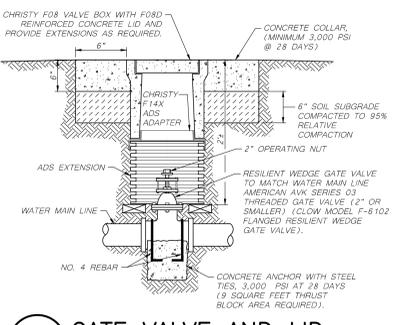
(H) CONCRETE SLAB
NOT TO SCALE



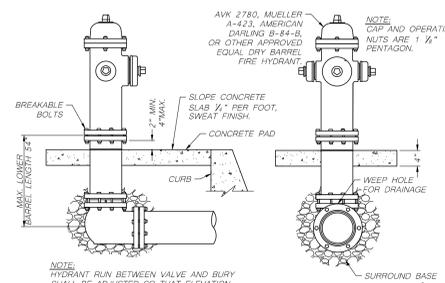
(I) SURFACE CLEANOUT
NOT TO SCALE



(J) GATE VALVE AND LID
NOT TO SCALE

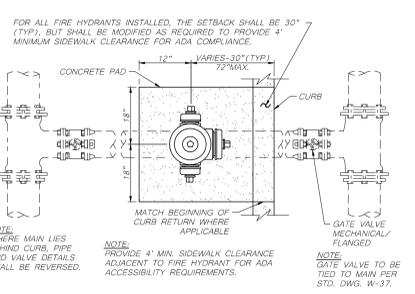


(F) PAVEMENT SECTION
NOT TO SCALE



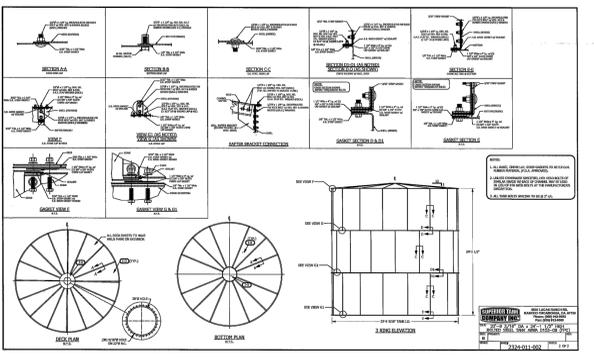
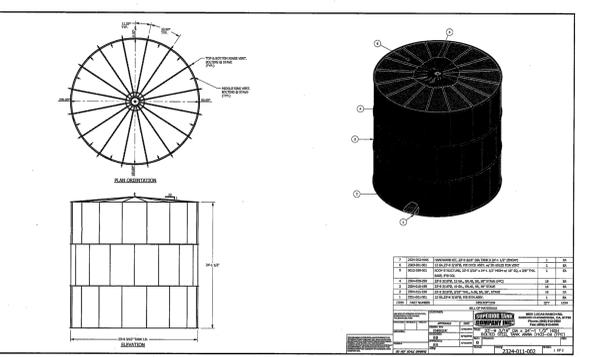
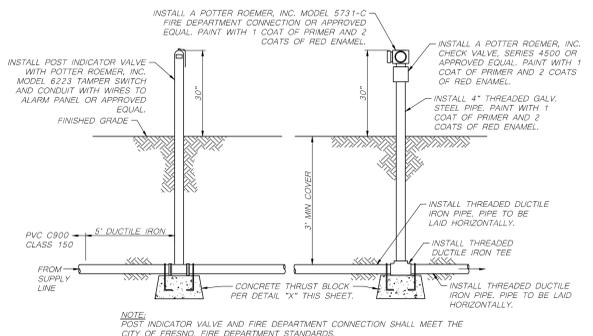
PROFILE VIEW

(L) FIRE HYDRANT
NOT TO SCALE



PLAN VIEW

(K) POST INDICATOR VALVE AND FIRE DEPARTMENT CONNECTION
NOT TO SCALE



Alan Mok, PE, PLS, LEED AP Principal
7415 N. PALM AVENUE #101
FRESNO, CALIFORNIA 93711
Tel. 559-432-6879
Fax. 559-432-6897
www.alanmokengeering.com

PROJECT: SITE IMPROVEMENTS AT NA SEED COMPANY GREENFIELD PLANT

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

DRAWN FOR:
NA SEED
APN 418-401-009

LOCATION:
39247 Metz Rd.
Greenfield, CA 93927

ALAN K. MOK, P.E., R.C.E. 42,618
EDWARD M. WONG, P.E., R.C.E. 54,740



ALAN MOK ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER APPLICABLE PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE ENGINEER. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE ENGINEER HARMLESS AND SHALL BEAR THE COST OF THE ENGINEER'S LEGAL FEES, ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

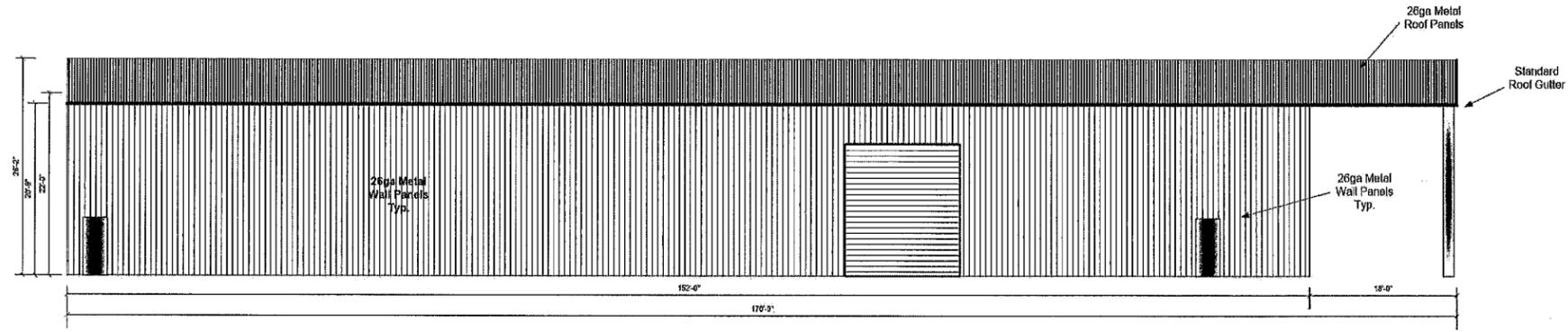
REVISIONS:

No.	DATE	DESCRIPTION

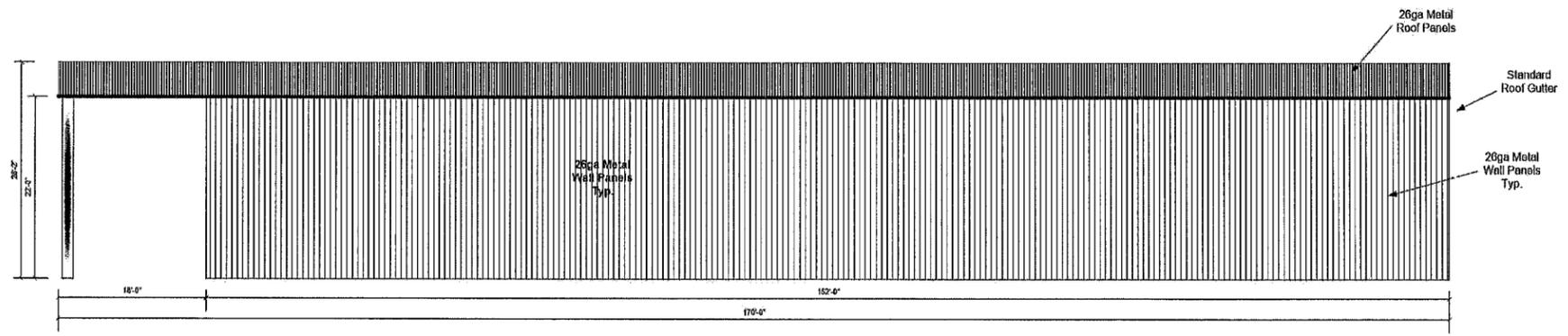
SHEET DESCRIPTION:

DETAILS

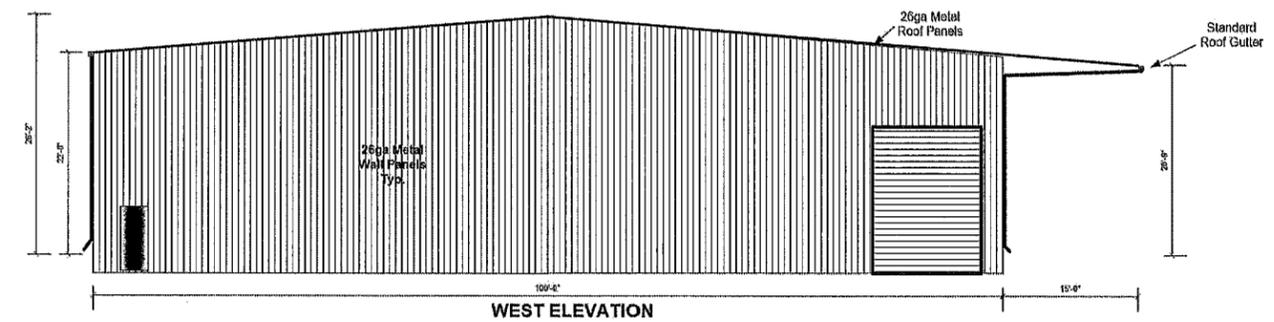
PROJECT COORDINATOR: AKM	SHEET No.
PROJECT No. 219-0170	C6
DATE: 3/01/2022	
SCALE: AS NOTED	



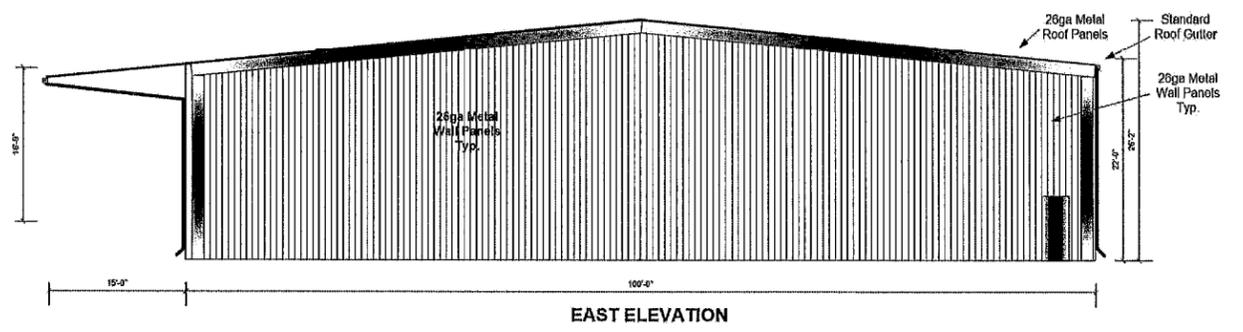
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

ENGINEER
RANSOM
DRAWN BY
gff
DATE
16 DECEMBER 2019
REVISIONS

APCO - ETTNER CONSTRUCTION
 BUILDING No. 1 ELEVATIONS
 NA SEED COMPANY
 GREENFIELD, CALIFORNIA

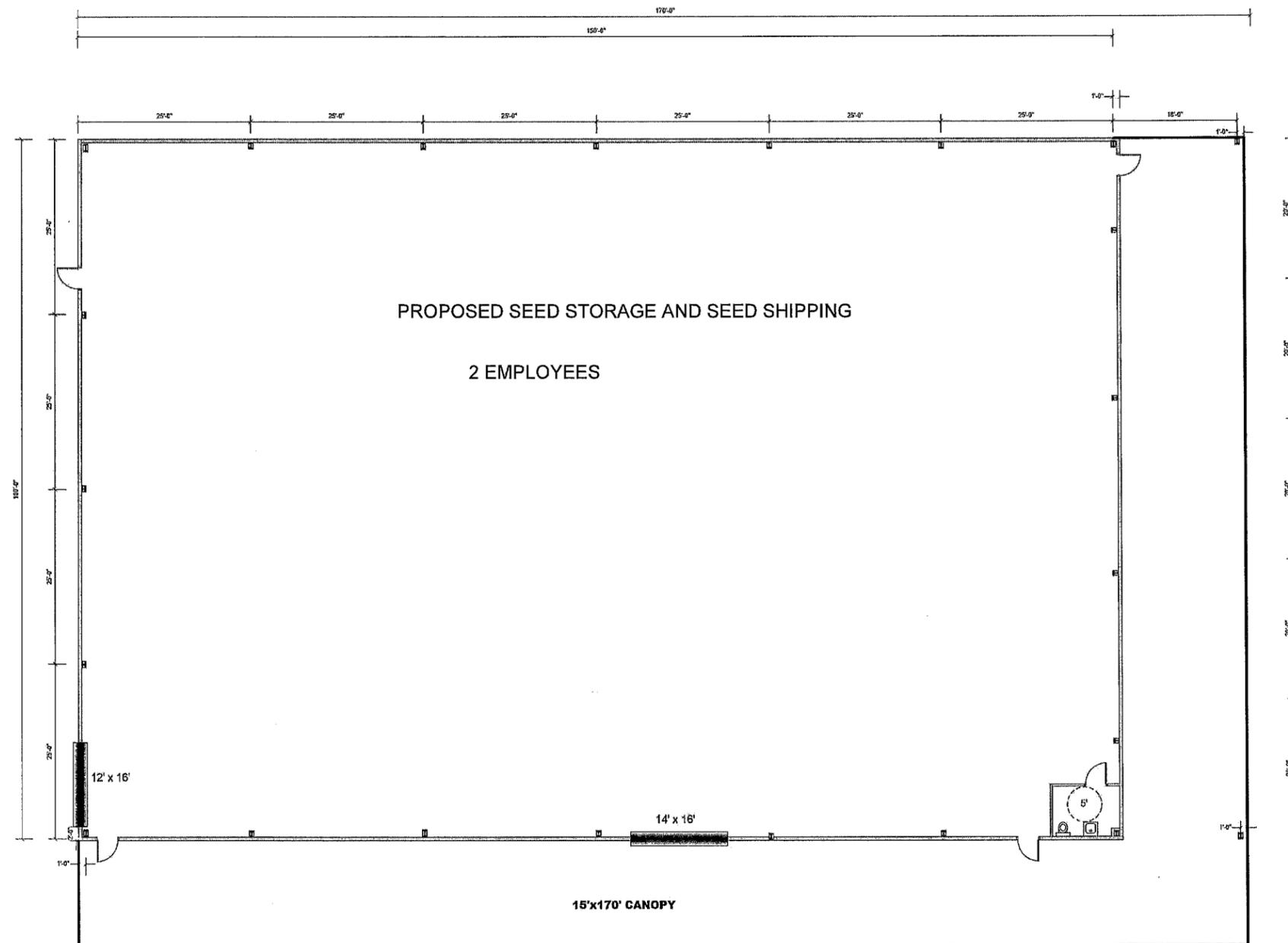


BROOKS RANSOM ASSOCIATES
 CIVIL ENGINEERS - STRUCTURAL ENGINEERS
 7415 N. PALM, SUITE 100
 FRESNO, CALIFORNIA 93711
 TELEPHONE (559) 449-8444

PROJECT NUMBER
 19491

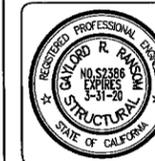
SHEET NUMBER
A-1

APCO-ETTNER, INC 5588 N PALM FRESNO, CA 93704	559-447-1230 PH 559-650-5590 FAX	SCALE: 1/8" = 1'-0"	NA SEED COMPANY	39247 METZ ROAD GREENFIELD, CA 93927	Elevation
---	-------------------------------------	---------------------	-----------------	---	-----------



ENGINEER
RANSOM
DRAWN BY
gt
DATE
16 DECEMBER 2019
REVISIONS

APCO - ETTNER CONSTRUCTION
 BUILDING No. 1 FLOOR PLAN
 NA SEED COMPANY
 GREENFIELD, CALIFORNIA



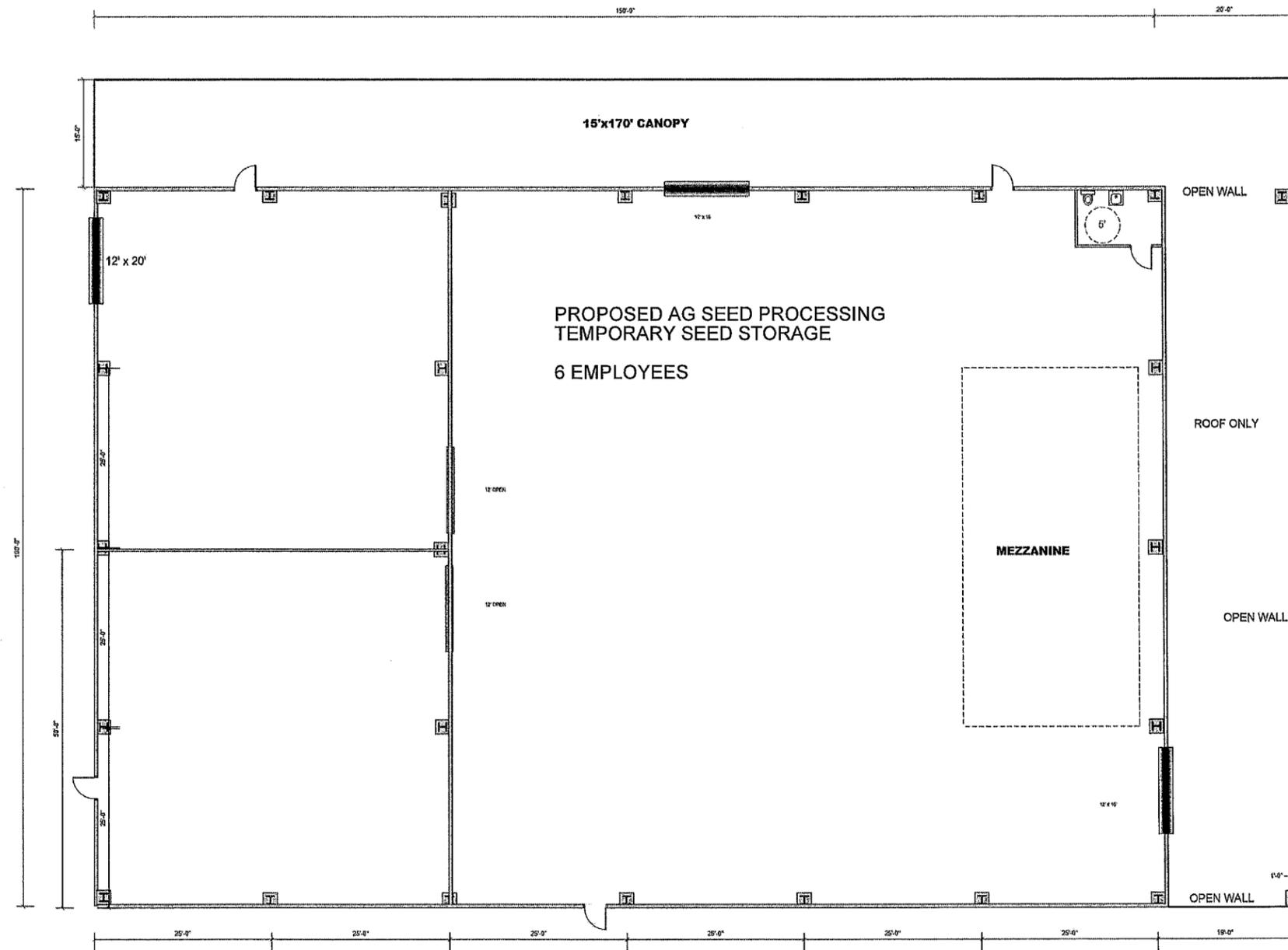
BROOKS RANSOM ASSOCIATES
 CIVIL ENGINEERS - STRUCTURAL ENGINEERS
 7415 N. PALM, SUITE 100
 FRESNO, CALIFORNIA 93711
 TELEPHONE (559) 449-8444



PROJECT NUMBER
19491

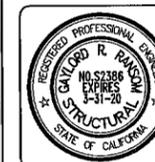
SHEET NUMBER
A-2

APCO-ETTNER, INC 5588 N PALM FRESNO, CA 93704	559-447-1230 PH 559-650-5590 FAX	SCALE: 1/8" = 1'-0"	SEED COMPANY	39247 METZ ROAD GREENFIELD, CA 93927	FLOOR PLAN	A-2
---	-------------------------------------	---------------------	--------------	---	------------	-----



ENGINEER
RANSOM
DRAWN BY
GT
DATE
16 DECEMBER 2019
REVISIONS

APCO - ETTNER CONSTRUCTION
 BUILDING No. 2 FLOOR PLAN
 NA SEED COMPANY
 GREENFIELD, CALIFORNIA



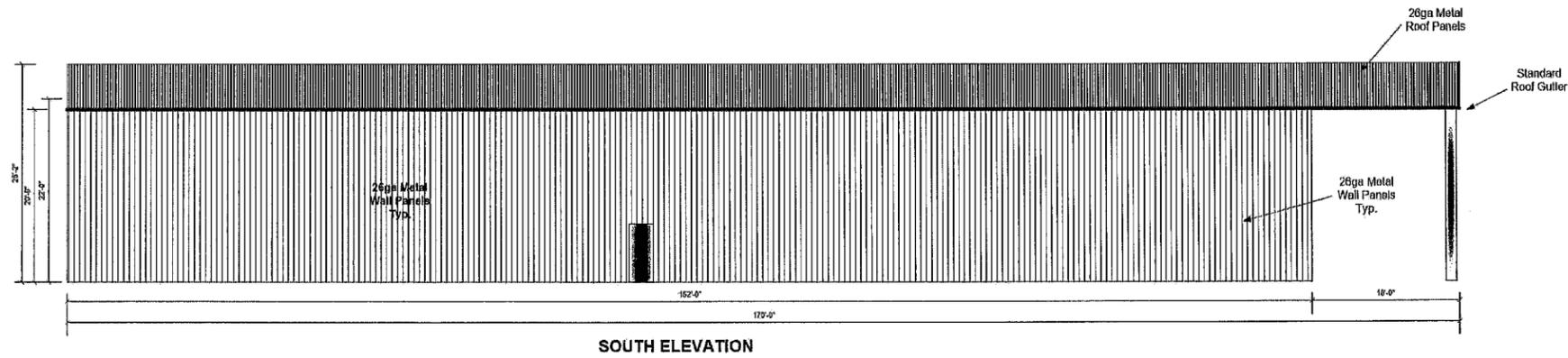
BROOKS RANSOM ASSOCIATES
 CIVIL ENGINEERS - STRUCTURAL ENGINEERS
 7415 N. PALM, SUITE 100
 FRESNO, CALIFORNIA 93711
 TELEPHONE (559) 449-8444



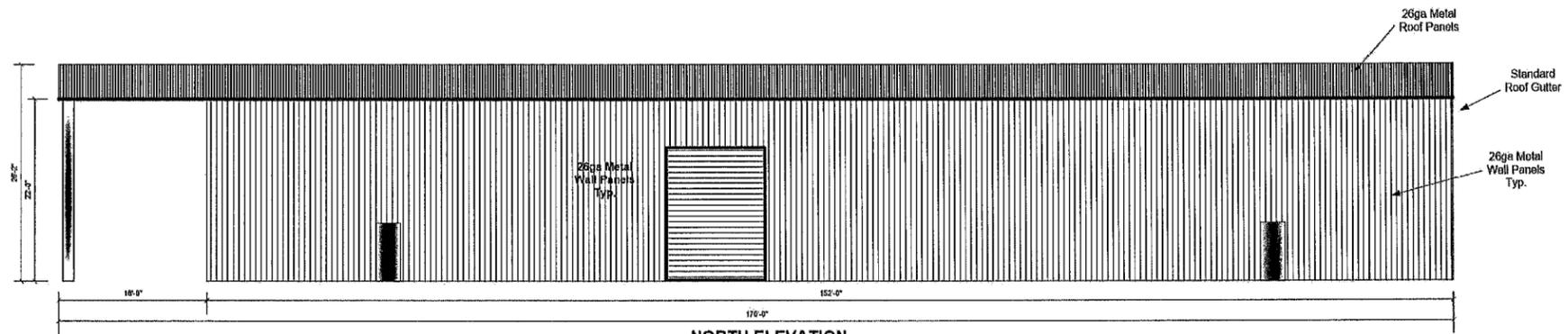
PROJECT NUMBER
 19491

SHEET NUMBER
A-3

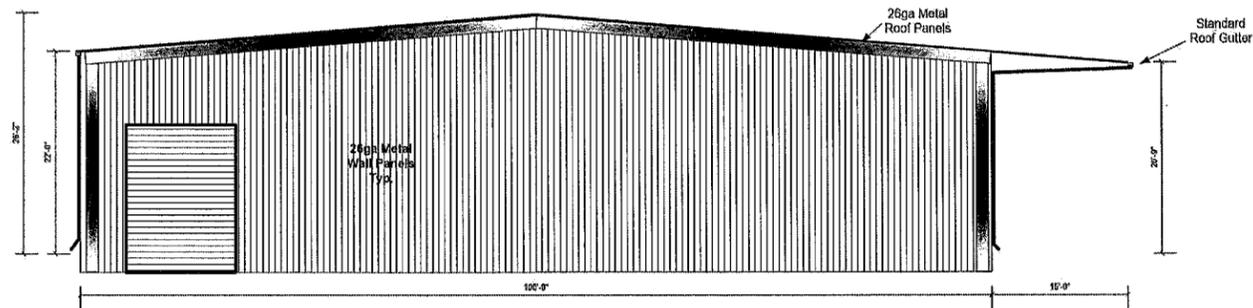
APCO-ETTNER, INC 5588 N PALM FRESNO, CA 93704	559-447-1230 PH 559-650-5590 FAX	SCALE: 1/8" = 1'-0"	SEED COMPANY	39247 METZ ROAD GREENFIELD, CA 93927	FLOOR PLAN	A-3
---	-------------------------------------	---------------------	--------------	---	------------	-----



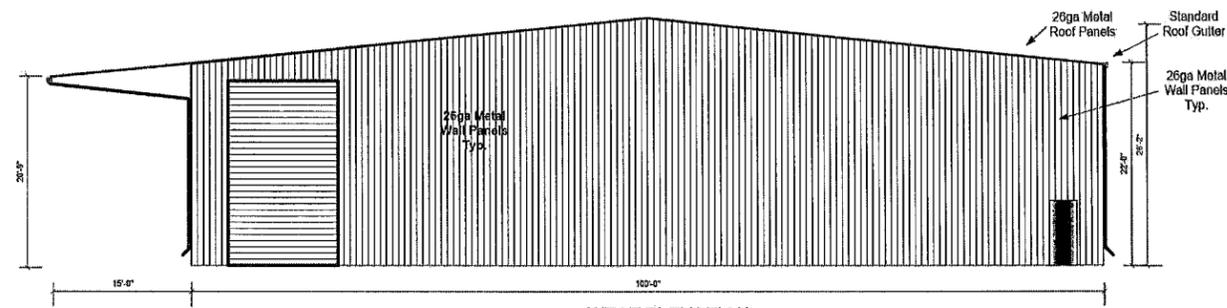
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

ENGINEER	RANSOM
DRAWN BY	GT
DATE	16 DECEMBER 2019
REVISIONS	

APCO - ETTNER CONSTRUCTION
 BUILDING No. 2 ELEVATIONS
 NA SEED COMPANY
 GREENFIELD, CALIFORNIA

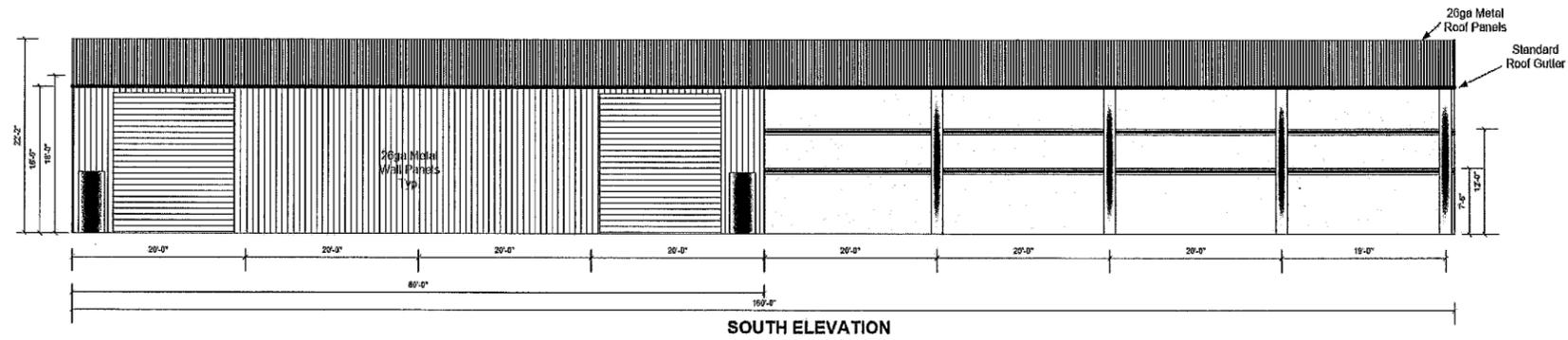


BROOKS RANSOM ASSOCIATES
 CIVIL ENGINEERS - STRUCTURAL ENGINEERS
 7415 N. PALM, SUITE 100
 FRESNO, CALIFORNIA 93711
 TELEPHONE (559) 449-8444

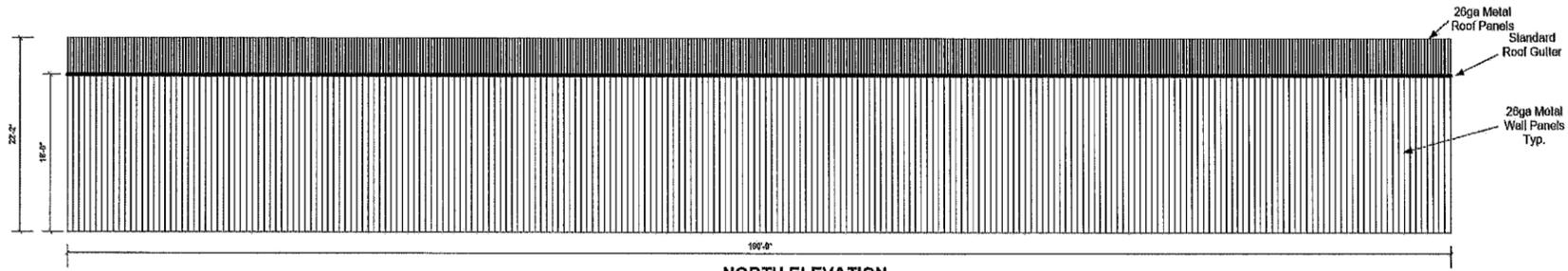
PROJECT NUMBER
19491

SHEET NUMBER
A-1

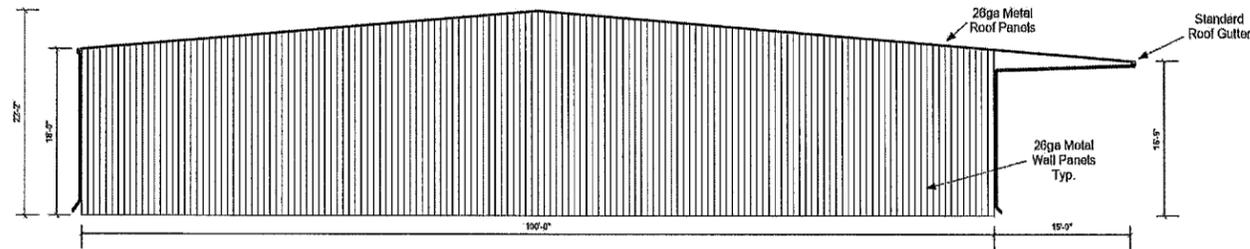
APCO-ETTNER, INC 5588 N PALM FRESNO, CA 93704	559-447-1230 PH 559-650-5590 FAX	SCALE: 1/8" = 1'-0"	SEED COMPANY	39247 METZ ROAD GREENFIELD, CA 93927	Elevation
---	-------------------------------------	---------------------	--------------	---	-----------



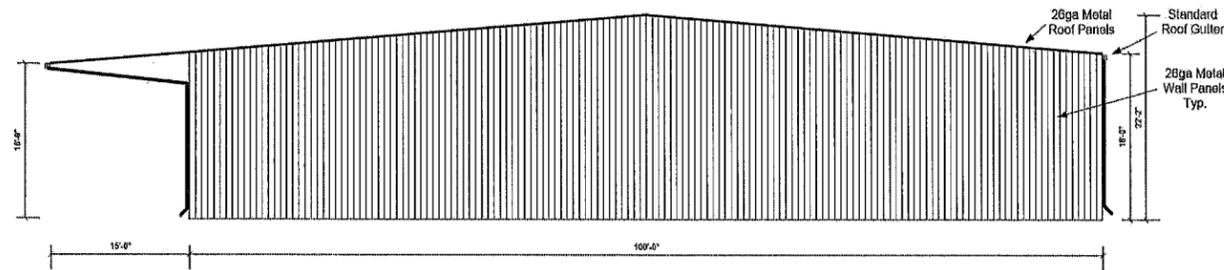
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

ENGINEER	RANSOM
DRAWN BY	grt
DATE	16 DECEMBER 2019
REVISIONS	

APCO - ETTNER CONSTRUCTION
 BUILDING No. 3 ELEVATIONS
 NA SEED COMPANY
 GREENFIELD, CALIFORNIA



BROOKS RANSOM ASSOCIATES
 CIVIL ENGINEERS - STRUCTURAL ENGINEERS
 7415 N. PALM, SUITE 100
 FRESNO, CALIFORNIA 93711
 TELEPHONE (559) 449-8444

PROJECT NUMBER
19491

SHEET NUMBER
A-2

APCO-ETTNER, INC 5588 N PALM FRESNO, CA 93704	559-447-1230 PH 559-650-5590 FAX	SCALE: 1/8" = 1'-0"	NA SEED COMPANY	39247 METZ ROAD GREENFIELD, CA 93927	Elevation
---	-------------------------------------	---------------------	-----------------	---	-----------

OPERATIONAL STATEMENT

Central California Seed Service in partnership with North American Seed Company purchased the property at 39247 Metz Road. Below are both company's jobs and duties:

CENTRAL CALIFORNIA SEED SERVICE uses for Building #1:

1. Seed shipping and receiving
2. Seed storage

CENTRAL CALIFORNIA SEED SERVICE uses for Building #2:

3. Seed conditioning (cleaning)
4. Seed temporary storage before being moved to Building #1
5. Seed treating
6. Seed packaging
7. Fumigation
8. Drying

NORTH AMERICAN SEED COMPANY uses in Building #3:

1. Equipment storage (Company Owned tractors, harvesters and other field equipment)
2. Maintenance shop for company equipment minor repairs.
3. Seed stock storage (for future production)

The total employee count for this operation ranges from 4 to 9 employees, with the higher number during peak season. **This is not a retail facility.** We provide seed to our customers/growers by delivering the seeds to their fields. During the off season we anticipate 1 to 2 trucks per day and during the season we anticipate 4 to 6 trucks per day at the facility. We provide employee parking, which includes Handicap Designated Parking. Each building will have an employee restroom and a designated rest/break area. Each of the three buildings will have exterior wall packs for lighting on all sides of the buildings.

Sincerely,

Trent Blair

Dec 15, 2021

This page intentionally left blank