

Exhibit B

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

SEA PINES LLC (PLN230136)

RESOLUTION NO. 24- ---

Resolution by the Monterey County Zoning
Administrator:

1. Finding that the project involves construction of an addition to an existing single family dwelling and an accessory dwelling unit, which qualifies for a Class 1 and Class 3 Categorical Exemption pursuant to Sections 15301 and 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approving a Combined Development Permit including:
 - a) Coastal Administrative Permit and Design Approval for construction of a 1,975 square foot second floor addition and 530 square feet of second-floor decks and a 184 square foot first floor addition to an existing 5,230 square foot two-story single family dwelling with colors and materials to matching existing, and a 1,200 square foot accessory dwelling unit with 257 square feet of patio and walkway improvements; and
 - b) Coastal Development Permit for removal of two Monterey pine trees.

[PLN230136 – Sea Pines LLC, 1139 Portola Road, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone (Assessor's Parcel Number 008-282-005-000)]

The Sea Pines LLC application (PLN230136) came on for a public hearing before the Monterey County Zoning Administrator on March 14, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, and other evidence presented, the Monterey County Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) The project has been reviewed for consistency with the text, policies, and regulations in:
 - 1982 Monterey County General Plan (General Plan);

- Del Monte Forest Land Use Plan (DMF LUP);
- Coastal Implementation Plan Part 5, Regulations for Development within the Del Monte Forest Land Use Plan Area (CIP); and
- Monterey County Coastal Zoning Ordinance (Title 20).

No conflicts were found to exist. The subject property is located within the Coastal Zone; therefore, the 2010 Monterey County General Plan does not apply.

- b) Allowed Use. The subject property is located at 1139 Portola Road, Pebble Beach, in the Del Monte Forest Land Use Plan (APN: 008-282-005-000). The subject parcel is zoned Low Density Residential with a maximum gross density of 1.5 acres/unit and a Design Control Overlay or “LDR/1.5-D(CZ)”. Per Monterey County Code (MCC) section 20.14.040, the single family dwelling and accessory dwelling unit are principal uses allowed. The project involves construction of a 1,975 square foot second floor addition and 530 square feet of second-floor decks and a 184 square foot first floor addition to an existing 5,230 square foot two-story single family dwelling with colors and materials to matching existing, and a 1,200 square foot accessory dwelling unit (ADU) with 257 square feet of patio and walkway improvements. Therefore, the project is an allowed use.
- c) Lot Legality. The subject parcel (1.384 acres), APN 008-282-005-000, is located on a residential subdivision as Lot 6C 1972 Assessor’s Map of El Pescadero Ro. Block 151A, Book 8 Page 28. Therefore, the County recognizes the subject parcel as a legal lot of record.
- d) Design. The project is subject to the Design Control Zoning District (“D” district) standards found in to MCC Chapter 20.44, which ensures a hearing for review of the location, size, materials and colors of the structures to best protect of the public viewshed and neighborhood character. The development includes exterior colors and materials that match the existing: light beige exterior stucco walls, simulated gray slate roof, dark bronze metal clad doors and windows, and dark brown gutters and downspouts (see attached plans). The homes within this area have a variety of architectural styles and the as proposed, the design and architectural elements are consistent with the neighborhood character and will not detract the visual integrity of the site.
- e) Review of Development Standards. MCC Chapter 20.14 guides the development standards for the subject parcel, zoned Low Density Residential with a maximum gross density of 1.5 acres/unit and a Design Control Overlay or “LDR/1.5-D(CZ).” Required setbacks for main structures are 30 feet (front) and 20 feet (rear and side). The existing rear terrace is within the setback but meets the 6 foot less exemption for decks. The addition does not increase development in the direction of setbacks. The ADU has over 100 feet front, 26.5 feet side and a rear setback of 57 feet. The height of the main dwelling is 30 feet from average natural grade, meeting the maximum 30-foot height limitation for this zoning district. The height of the ADU is 16 feet from average natural grade, meeting the State requirements at this time. Height verification is required for both structures (Condition of Approval No. 4). The maximum building site coverage

is 15%, (9,043 square feet), and the project will have a 14.4% (8,708 square feet) building site coverage, including the ADU. The maximum floor area ratio is 17.5% (10,550 square feet), and the project will have a floor area ratio of 14.2% (8,585 square feet). The project meets the building site coverage and floor area ratio regulations. As summarized above, the project meets the development standards for its zoning district per MCC section 20.14.060. The subject parcel is not in a Pescadero Watershed area.

- f) Historical Resources. The project site's main dwelling was built circa 1955. Per the County regulations for Historic Resources (MCC Chapter 20.54), new structural additions and remodeling of a structures that are historic resources is strictly controlled. The subject property is within Pebble Beach and guidance for Historic Resources has been prepared for the area in the form of the Historic Context Statement User Guide (HCS User Guide), published September 13, 2013 by Page and Turnbull. The HCS User Guide identifies construction of the post-war period as plentiful. The HCS User Guide offers criteria for evaluating the significance and integrity of potential historic resources in Pebble Beach. The project architect and Planning staff did not find the current structure to be notable construction or a building of historic importance. It was originally built in 1955. It has been changed by a substantial addition in 2016 (PLN150302/15CP01851). There is no information that was brought forward during project review to indicate that the owners should be required to preserve the structure as it currently is.
- g) Cultural Resources. The project site is located in a high archaeological sensitive area as identified in County GIS. Pursuant to MCC section 20.147.080.B, an archaeological report (Doane and Breschini, May 1, 2015, HCD-Planning Library No. LIB150198) was prepared and provided to HCD-Planning. The report concluded that there were no significant archaeological resources identified on the subject property and the closest prehistoric site is over 750 feet away from the subject property. The subject parcel was methodically inspected for evidence of prehistoric or historic material remains. This site survey did not reveal any of the indicators expected of a prehistoric archaeological or historical resource. The Archaeologists did not find the need to recommend measures to protect resources beyond the standard condition of approval for negative archaeological reports. The project includes grading (approximately 35 cubic yards of cut and 25 cubic yards of fill; see Finding 4, Evidence "c"). The potential for inadvertent impacts to cultural resources is addressed through incorporation of a standard condition of approval, which requires the contractor to stop construction work if resources are uncovered and to pause work within the area until such resources are evaluated (Condition No. 3).
- h) Public Access. As demonstrated in Finding 4, the development is consistent with public access policies of the DMF LUP and the Coastal Implementation Plan.
- i) Tree Removal. Vegetation on the subject parcel consists of upper-canopy Monterey pine (*Pinus radiata*) and lower-canopy coast live oak (*Quercus agrifolia*) and Monterey cypress (*Cupressus*

macrocarpa) as well as introduced redwood (*Sempervirens spp.*) and various ornamental bushes. Because the staking and flagging showed development could impact several trees, an Arborist report was required. The Arborist report by Rob Thompson (January 15, 2024, HCD Library No. LIB240017) found two 10-inch diameter Monterey pine trees would require removal for the construction of the ADU. The arborist recommended tree and root protection and suggested that the two trees removed may be replaced with 5 to 15 gallon saplings of Monterey pine or Monterey cypress. Conditions of approval have been added to the project based on these recommendations (Condition Nos. 5 and 6). As conditioned, the project is consistent with DMF LUP Forest Resources policies and regulations of the Coastal Implementation Plan. See Finding 3, Tree Removal, and supporting evidence.

- j) Visual Resources/Visual Impact. DMF LUP Policy 48 states that development within visually prominent settings shall be sited and designed to avoid blocking or having a significant adverse impact on significant public views. In section 20.06.1275, Title 20 defines “substantial adverse visual impact” as “a visual impact which, considering the condition of the existing viewshed, the proximity and duration of view when observed with normal unaided vision, causes an existing visual experience to be materially degraded.” DMF LUP Visual Resources – Figure 3 does not identify the subject property within the public viewshed of 17-Mile Drive. MCC section 20.147.070.B identifies development standards for properties within the DMF public viewshed to ensure the siting and design of the structures minimizes impacts on public views by harmonizing with the natural setting, being subordinate and blending into the environment and maintaining a minimum setback of 50 feet from such setting. Staff assessed visual impacts of the project on October 10, 2023. From 17-Mile Drive, staff found that the staking and flagging presented a new roofline to the south and inland approximately 0.33 miles across the Cypress Point Golf Course. The development blended with the existing rooflines and trees around the site. Once constructed, the added height on the existing dwelling will not significantly alter the viewshed of the Pebble Beach neighborhood. The roofline will remain below the treeline behind and around it. The additions do not present exceptional bulk or height beyond the existing dwellings within the viewshed from the Fanshell Beach location. Staking and flagging was not visible from any other public viewing area due to trees in line of sight and distance. As demonstrated above, the project will not create substantial adverse visual impact. Also, any new lighting for the addition is required to follow the dark sky regulations for the County per Condition No. 7.
- k) Land Use Advisory Committee (LUAC). The LUAC procedure guidelines adopted by the Monterey County Board of Supervisors allow for an addition to be reviewed by the committee when projects have the potential to be visible from prominent scenic highways, such as 17 Mile Drive, and are within Design Control overlay. Therefore, the project was review by the Del Monte Forest Land Use Advisory Committee in the September 21, 2023 meeting, where the committee

unanimously recommended the project for approval (7 ayes, 0 noes, 1 absent).

- l) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230136.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed use.

EVIDENCE: a) The project includes construction of a 1,975 square foot second floor addition and 530 square feet of second-floor decks and a 184 square foot first floor addition to an existing 5,230 square foot single story residence and construction of a new 1,200 square foot detached accessory dwelling unit with 257 square feet of terraces and associated uses within an established residential neighborhood, Pebble Beach.

- b) The project was reviewed by HCD Planning, Engineering Services, and Environmental Services, as well as Pebble Beach Community Services District (Fire) and the Environmental Health Bureau. Conditions were recommended and have been incorporated. There are no further physical or environmental constraints that would indicate that the site is not suitable for the use proposed. The following reports have been prepared and submitted with the application:

- 1139 Portola Road Pre-Construction Tree Assessment & Removal Report (LIB240017) prepared by Rob Thompson, Thompson Wildland Management, Monterey, CA on January 23, 2024,
- Preliminary Archaeological Assessment for Assessor's Parcel Number APN 008-282-005-000, Pebble Beach, Monterey County, California (LIB150198) prepared by Mary Doane and Gary Breschini, Archaeological Consulting, Salinas, CA on May 1, 2015, and
- Geotechnical and Geological Hazards Report Update for the Proposed Additions and ADU Olle Residence 1139 Portola Road (APN 008-282-005-000) (LIB230201) prepared by Lawrence Grice, Grice Engineering, Inc., Salinas on July 14, 2023.

County staff independently reviewed these reports and concurs with their conclusions. There are no further physical or environmental constraints that would indicate that the site is not suitable for the use proposed. All development shall be in accordance with these reports.

- c) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230136.

3. **FINDING:** **TREE REMOVAL** – The siting, location, size and design of the project minimizes tree removal in accordance with the Del Monte Forest Land Use Plan Policies and the removal will not impact the overall health and long-term maintenance of the Pine Forest found in the area of Pebble Beach and the mixed native and non-native trees and landscaping on the subject parcel.

- EVIDENCE:**
- a) The project includes application for the removal of two healthy Monterey Pine trees. In accordance with the applicable policies of DMF CIP, a Coastal Development is required for the two living trees and the criteria to grant said permit have been met.
 - b) Pursuant to Section 20.147.050.B.1 of the DMF CIP, an Arborist Report was prepared for the proposed project. The arborist report evaluated the health, structure, and preservation suitability for each tree within or adjacent to the proposed development. Two healthy protected Monterey Pines are located within the proposed footprint of the project. The trees were recommended for removal by the arborist. A minimum of one-to-one onsite tree replacement for the two trees is proposed and is incorporated in this permit as Condition No. 6. The Arborist suggested that the replacement trees may be Monterey pine or Monterey Cypress. Other entities with jurisdiction on the property, such as the Pebble Beach Company, may increase this replanting ratio. Measures for tree protection during construction are also incorporated as Condition No. 5.
 - c) The project has been designed and sited to minimize the removal of protected trees. The ADU is proposed in an area of the parcel that within all setbacks. Accessory structures are usually located behind the main dwelling, and in this case, the ADU is behind the dwelling and beside an existing gazebo. The ADU may be able to be moved further to the rear of the property without impacting protected trees. The viewshed from the ADU terraces would be severely limited by the fence and bushes along the property edge were it to be moved. There is a 29-inch diameter Monterey pine that may be impacted if the ADU were to be moved. For the impacts to protected trees to be reduced to the greatest extent possible, the Zoning Administrator would need to find that tree removal is considered an environmental constraint, then the Zoning Administrator may require all tree removal be avoided by reducing the size of the ADU to 850 square feet (Government Code Section 65852.2). There is ample space for tree replacement within the parcel, however.
 - d) No significant long-term effects on the forest ecosystem are anticipated. The project as proposed will not significantly reduce the Monterey pine forest in Pebble Beach. The conclusions of the Arborist Report assert that this planned tree removal will not degrade the overall health and long-term maintenance of the mixed native and non-native trees and landscaping found on the property.
 - e) Planning staff conducted a site inspection on October 10, 2023 to verify that the tree removal is the minimum necessary for the project.
 - f) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230136.

4. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or

injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD Planning, Engineering Services, and Environmental Services, as well as Pebble Beach Community Services District (Fire) and the Environmental Health Bureau, and conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are existing on the subject property. California American Water Company is the domestic water purveyor and wastewater services are provided by Carmel Area Wastewater District through the Pebble Beach Community Services District. The project has ten additional water credits per Monterey Peninsula Water Management District Ordinance 39 and water fixtures will be updated so that the project will not increase total water credits beyond what is currently allotted to the parcel. Therefore, both potable water and wastewater services can serve the project.
 - c) Preliminary Grading, Drainage and Erosion Control Plan and a Construction Management Plan (CMP) were processed as a part of the planning permit. As part of the construction permit, the applicant will be required to comply with erosion control regulations as outline in MCC Chapter 16.12. HCD-Engineering Services reviewed the CMP. Although most of the roads in the Pebble Beach area are private roads, HCD-Engineering Services reviewed potential increased traffic on the public roads that will need to be taken to get to the project site in Pebble Beach and to remove the 10 cubic yards of cut not anticipated to be used as fill. Implementation of the CMP will minimize traffic on public roads and will be required as part of the construction permit application.
 - d) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in HCD-Planning File No. PLN230136.

5. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in MCC section 20.147.130 can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 8, Major Public Access and Recreational Facilities, in the DMF LUP).
 - d) The subject project site is not included in the area the Local Coastal Program requires visual public access (Figure 3, Visual Resources, in the DMF LUP). Visual impact assessment and staking and flagging photographs are attached to the Staff Report to the Zoning

Administrator March 14, 2024 hearing as Exhibit D to demonstrate that the addition will not affect visual public access due to the tree canopy, topography, and the placement of the dwelling approximately 0.33 mile from the area that the public would be able to see the development.

- e) A visual impact assessment was made by the project planner on October 10, 2023. Based on the project location and its topographical relationship to visual public access points in the area, the development will not interfere with visual access at Point Lobos and Fanshell Beach. Consistent with DMF LUP Policies 123 and 137, the proposed development will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity.
- f) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230136.

6. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD Planning and Building Services records and is not aware of any violations existing on subject property.
 - b) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230136.

7. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) The project involves construction of a 1,975 square foot second floor addition and 530 square feet of second-floor decks and a 184 square foot first floor addition to an existing 5,230 square foot single story residence and construction of a new 1,200 square foot detached accessory dwelling unit with 257 square feet of terraces.
 - b) California Environmental Quality Act (CEQA) Guidelines Section 15301(e) categorically exempts an addition of this size to a single family dwelling in a residential zone where sufficient water, wastewater and utilities are provided. CEQA Guidelines Section 15303 categorically exempts construction of small accessory structures.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource (see Finding 1, Evidence “f” and Finding 2, Evidence “b”), a hazardous waste site, development located within view of a State scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact. Although 17-Mile Drive is considered scenic in the DMF LUP, it is not a State scenic highway. No adverse environmental effects were identified during staff review of the development application.

- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230136.

8. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the Coastal Commission.
- EVIDENCE:**
- a) Board of Supervisors. Pursuant to MCC section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Coastal Commission. Pursuant to MCC section 20.86.080, a project is subject to appeal by/to the California Coastal Commission because it involves development located between the sea and the first through public road paralleling the sea (i.e., State Route/Highway 1).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find that the project involves the construction of an addition to an existing single family dwelling, which qualifies for Class 1 and a Class 3 Categorical Exemptions pursuant to Section 15301 and 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approve a Combined Development Permit including:
 - a) Coastal Administrative Permit and Design Approval to allow construction of a 1,975 square foot second floor addition and 530 square feet of second-floor decks and a 184 square foot first floor addition to an existing 5,230 square foot two-story single family dwelling with colors and materials to matching existing, and a 1,200 square foot accessory dwelling unit (ADU) with 257 square feet of patio and walkway improvements; and a
 - b) Coastal Development Permit for removal of two Monterey pine trees.

The project is in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 14th day of March, 2024.

Mike Novo, AICP
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services offices in Salinas.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230136

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This Combined Development permit (PLN230136) allows construction of a 1,975 square foot second floor addition and 530 square feet of second-floor decks and a 184 square foot first floor addition to an existing 5,230 square foot two-story single family dwelling with colors and materials to matching existing, and a 1,200 square foot accessory dwelling unit (ADU) with 257 square feet of patio and walkway improvements and removal of two protection Monterey pine trees. The property is located at 1139 Portola Road, Pebble Beach, (Assessor's Parcel Number 008-282-005-000) Del Monte Forest Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Combined Development Permit (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 008-282-005-000 on March 14, 2023. The permit was granted subject to twelve conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be shall provide proof of recordation of this notice to the HCD - Planning.
Performed:

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or The Owner/Applicant shall adhere to this condition on an on-going basis.

Monitoring
Action to be Prior to the issuance of grading or building permits and/or prior to the recordation of the
Performed: final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD041 - HEIGHT VERIFICATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

5. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

6. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. Exterior lights shall have recessed or shielded lighting elements. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture as part of the construction plan set. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall indicate the location, type, and wattage of all light fixtures and show a photograph or sketch of the proposed fixture(s). Exterior light sources that would be directly visible from critical viewshed viewing areas are prohibited. The exterior lighting plan shall be subject to approval by the HCD - Chief of Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit the lighting plans. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

8. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

9. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 1:1 Monterey pine

Size recommended by arborist: 5 to 15 gallon saplings

Replacement tree(s) shall be located within the same general location as the tree being removed.

Other requirements from the Arborist Report for this Project (Thompson Wildland Management, January 23, 2024, LIB240017)

- The replacement trees should be planted during the appropriate time of year (i.e., fall or winter) using proper tree planting techniques and best management practices (e.g., adequate irrigation and tree protection from wildlife), and should be planted in suitable locations that will support healthy establishment and maturation.

Monitoring for survivorship shall be done for a period of at least one year. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

10. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

11. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

12. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.


Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

EXTERIOR LIGHTING LEGEND

25W MAX. WALL MOUNTED SCONCE FIXTURE

(N)FIXTURES
HINKLEY LIGHTING, INC.
WALL MOUNTED SCONCE
'CASCADE' LENS, 12W LED
DARK SKY COMPLIANT PHOTO
CONTROL SENSOR

NOTE:
(N)FIXTURES TO MATCH (E)FIXTURES



PLANNING INFO.

- PROPERTY OWNER:
SEA PINES, LLC
251 SUNDOWN TERRACE
ORINDA, CA 94563
- PROJECT ADDRESS:
1139 PORTOLA ROAD
PEBBLE BEACH , CA 93953
- PROJECT SCOPE:
• ADD 2,158 SF TO AN EXISTING 4,242 SF SINGLE STORY RESIDENCE WITH AN EXISTING 985 SF GARAGE.
• SECOND FLOOR ADDITION TO INCLUDE 529 SF OF TERRACES.
• CONSTRUCT A NEW 1,200 SF DETACHED ADU WITH 257 SF OF TERRACES AND AN ENTRY WALKWAY.
- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N. 008-282-005
- LEGAL DESC.: LOT: 6C BLOCK: 151A
- ZONE: LDR/1.5-D(CZ)
- STORIES: MAIN HOUSE 2
ADU 1
- MAX BLDG. HT: MAIN HOUSE 30 FT
ADU 16 FT
- GRADING: TBD
- TREE REMOVAL: (2) 10" PINE TREES
- TOPOGRAPHY: GENTLY SLOPING
- PROJECT CODE COMPLIANCE:
2022 CBC, CMC, CPC, CFC, CEC, CALIFORNIA RESIDENTIAL CODE,
CALIFORNIA GREEN BUILDING CODE & CALIFORNIA ENERGY CODE
- LOT AREA: 60,287 SF (1.384 AC)
- LOT COVERAGE CALCULATIONS:

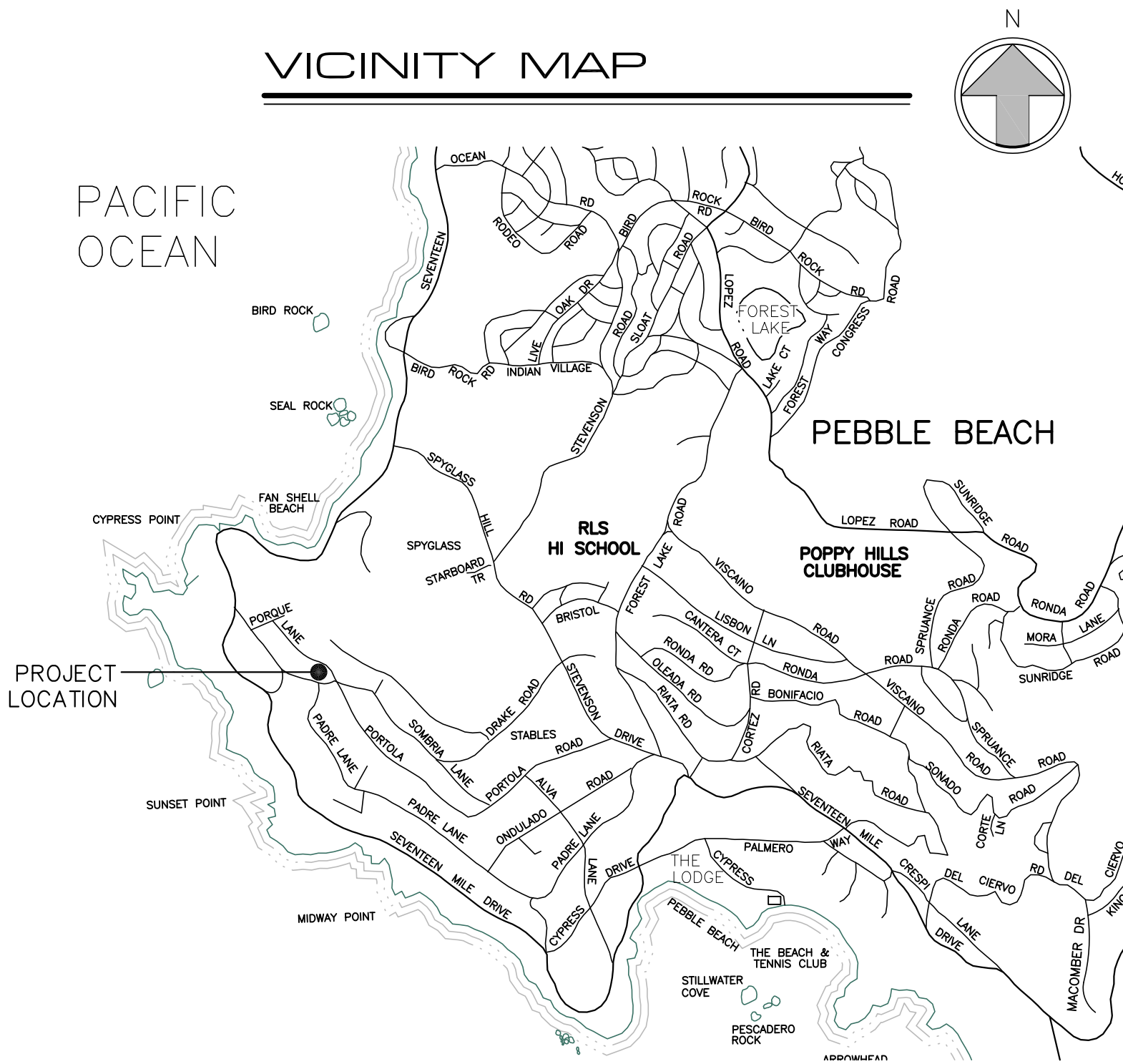
	EXISTING	PROPOSED ADDITION	PROPOSED TOTAL
MAIN BUILDING	5,227	299	5,526 SF
ADU	0	1,200	1,200 SF
TERRACES	1,389	401	1,790 SF
GAZEBO	192	0	192 SF
TOTAL	6,808	1,900	8,708 SF

- LOT COVERAGE ALLOWED: 9,043 SF (15%)
- LOT COVERAGE PROPOSED: 8,708 SF (14.4%)
- F.A.R. CALCULATIONS

	EXISTING	PROPOSED ADDITION	PROPOSED TOTAL
MAIN BUILDING	4,242	184	4,426 SF
MAIN FLOOR	0	1,974	1,974 SF
UPPER FLOOR	985	0	985 SF
GARAGE	0	1,200	1,200 SF
ADU	0	1,200	1,200 SF
TOTAL	5,227	3,358	8,585 SF

- F.A.R. ALLOWED: 10,550 SF (17.5%)
- F.A.R. PROPOSED: 8,585 SF (14.2%)
- LANDSCAPE PLAN: NOT APPLICABLE AS THE EXISTING LANDSCAPE IS TO REMAIN AND SHALL BE MAINTAINED TO THE GREATEST EXTENT POSSIBLE.

VICINITY MAP



JUN A. SILLANO, AIA



721 LIGHTHOUSE AVE
PACIFIC GROVE CA.
93950

PH (831) 646-1261
FAX (831) 646-1280
EMAIL idg@idg-inc.net
WEB idg-inc.net

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STAMPS:

PROJECT/CLIENT:

OLLE
RESIDENCE

PROJECT ADDRESS:

1139 PORTOLA RD
PEBBLE BEACH
CA, 93953

APN: 008-282-005

DATE: MAY 10, 2023

PLANNING SUBMITTAL

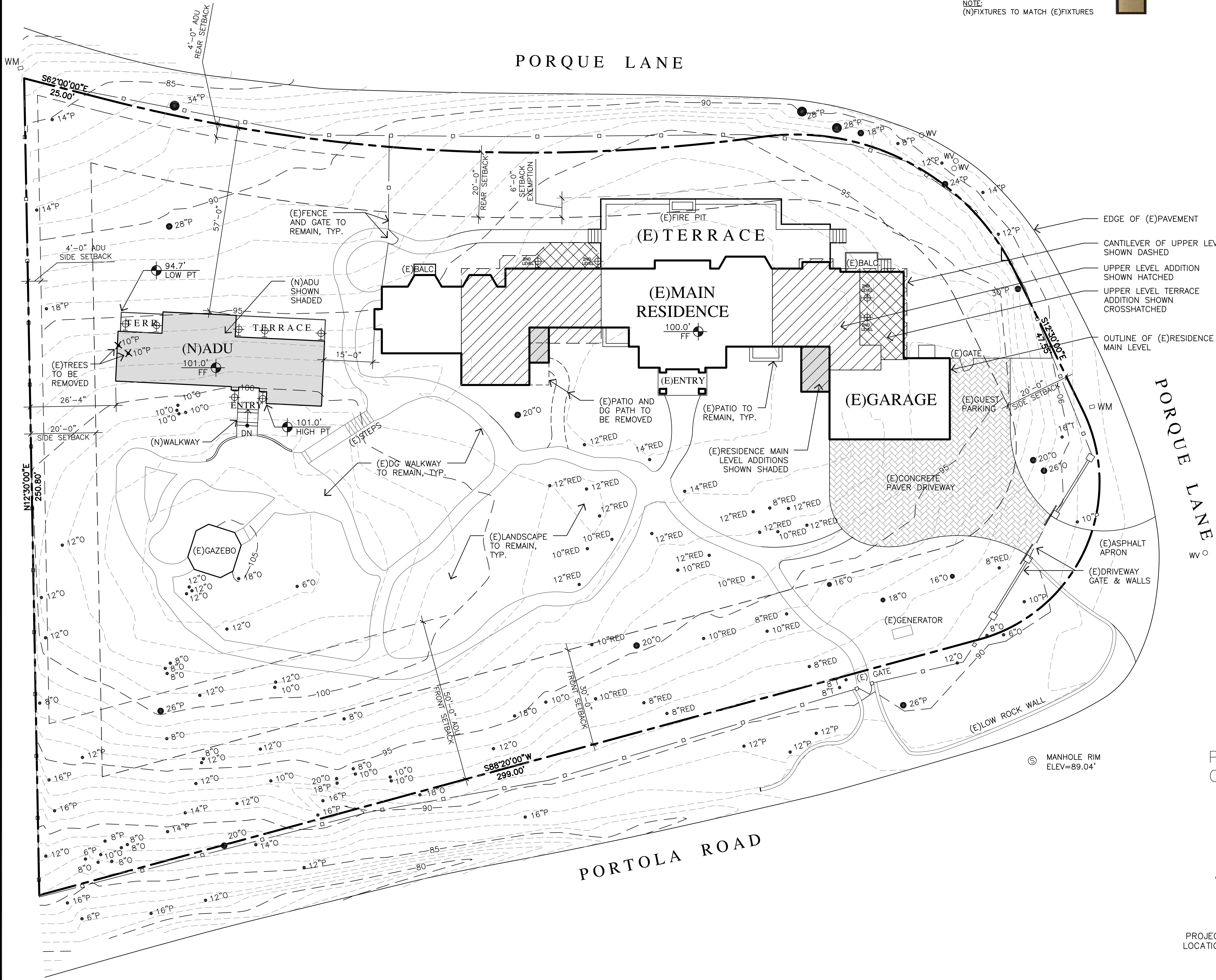
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SITE
PLAN

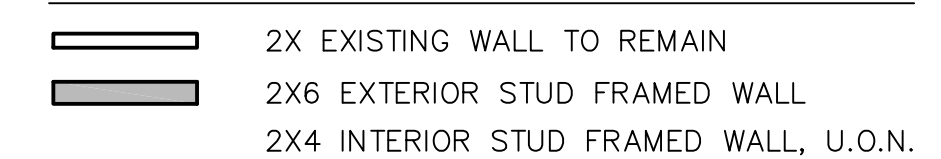
SHEET NO.

A1.0



SITE PLAN

1/16"=1'-0"



721 LIGHTHOUSE AVE
PACIFIC GROVE CA.
93950

PH (831) 646-1261
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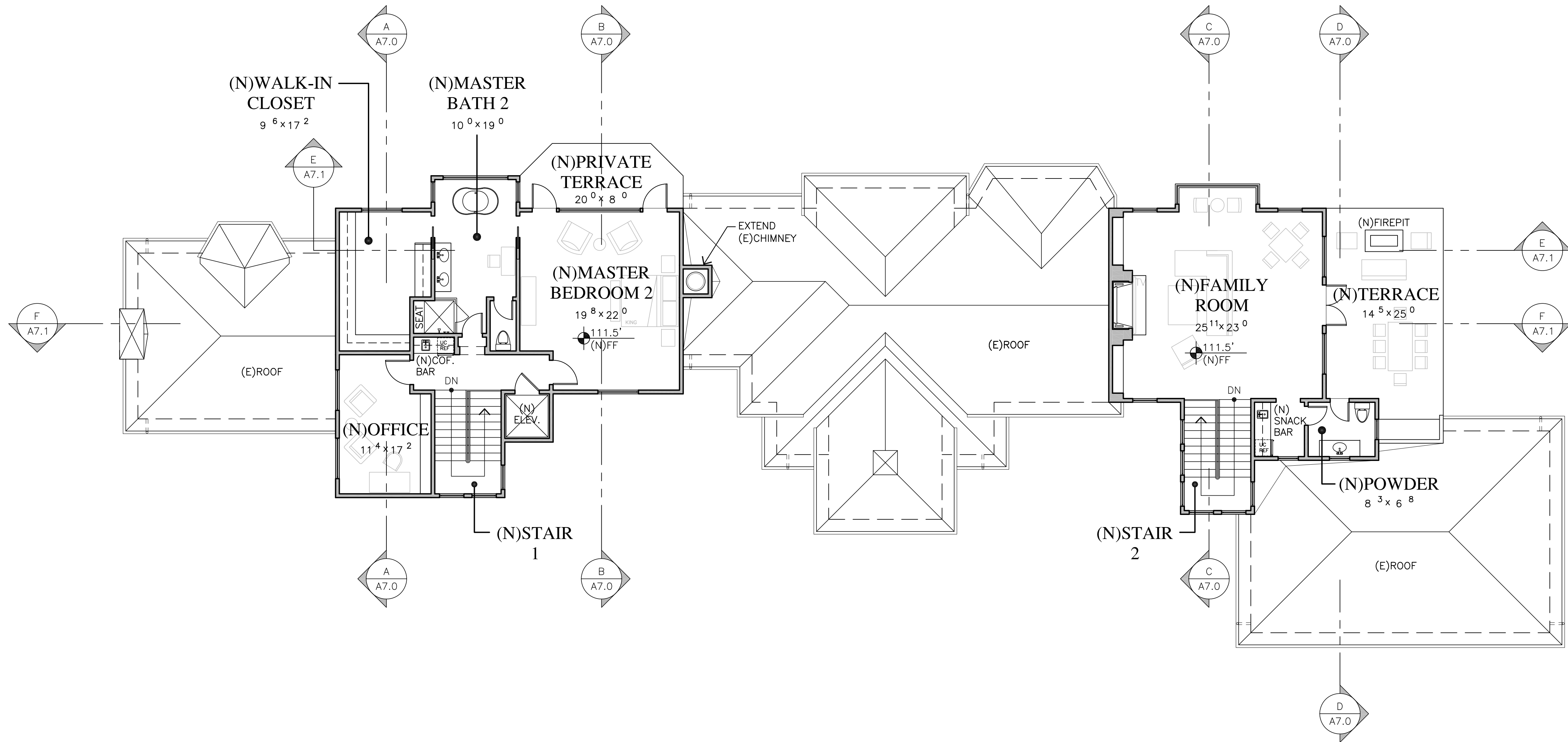
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UPPER LEVEL
PLAN

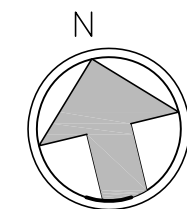
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A3.0



UPPER LEVEL PLAN

1/8"=1'-0"



WALL LEGEND

2X EXISTING WALL TO REMAIN
2X6 EXTERIOR STUD FRAMED WALL
2X4 INTERIOR STUD FRAMED WALL, U.O.N.

721 LIGHTHOUSE AVE
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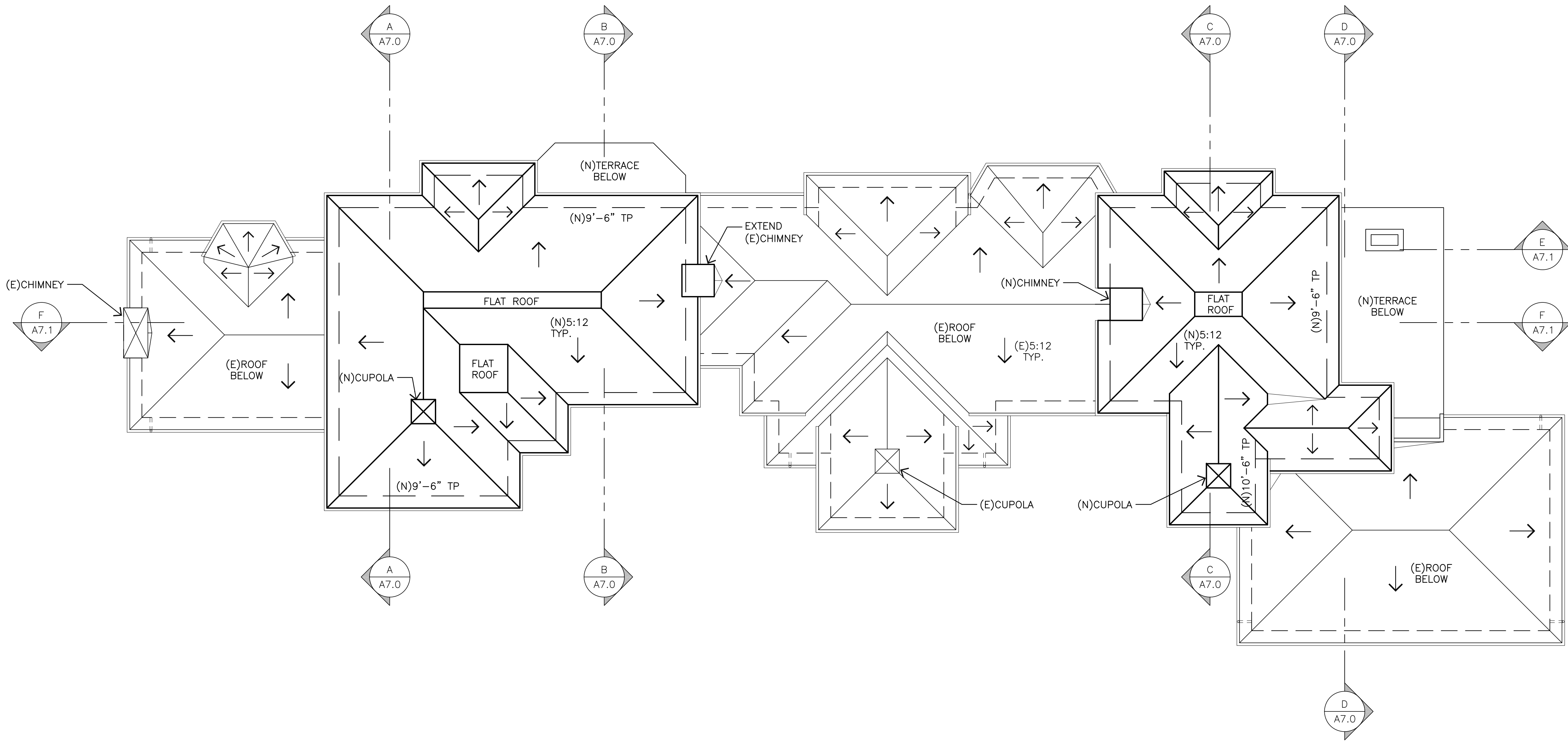
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**ROOF
PLAN**

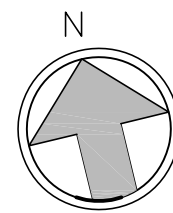
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A5.0



ROOF PLAN

1/8"=1'-0"



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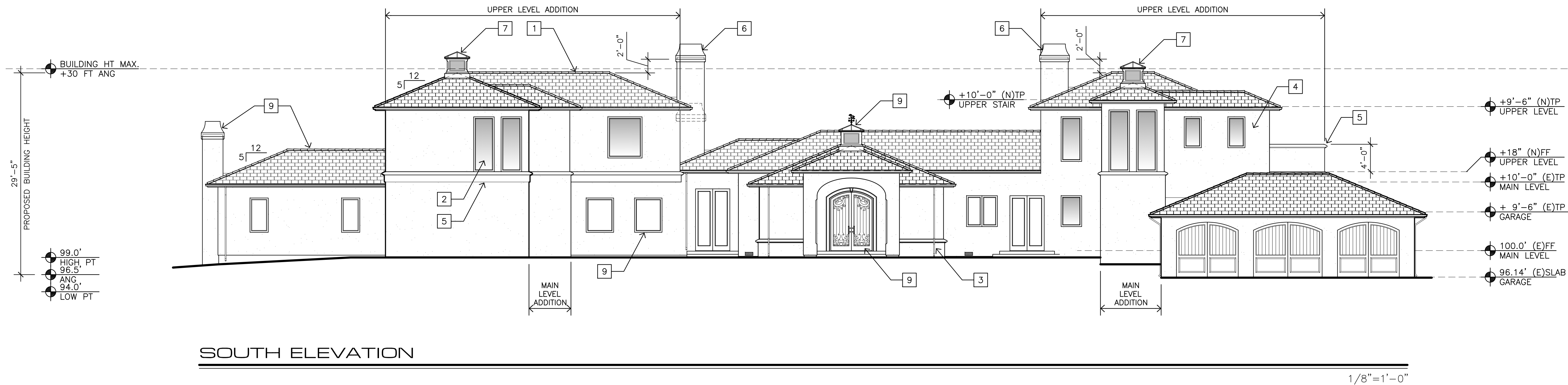
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ELEVATIONS
PROPOSED

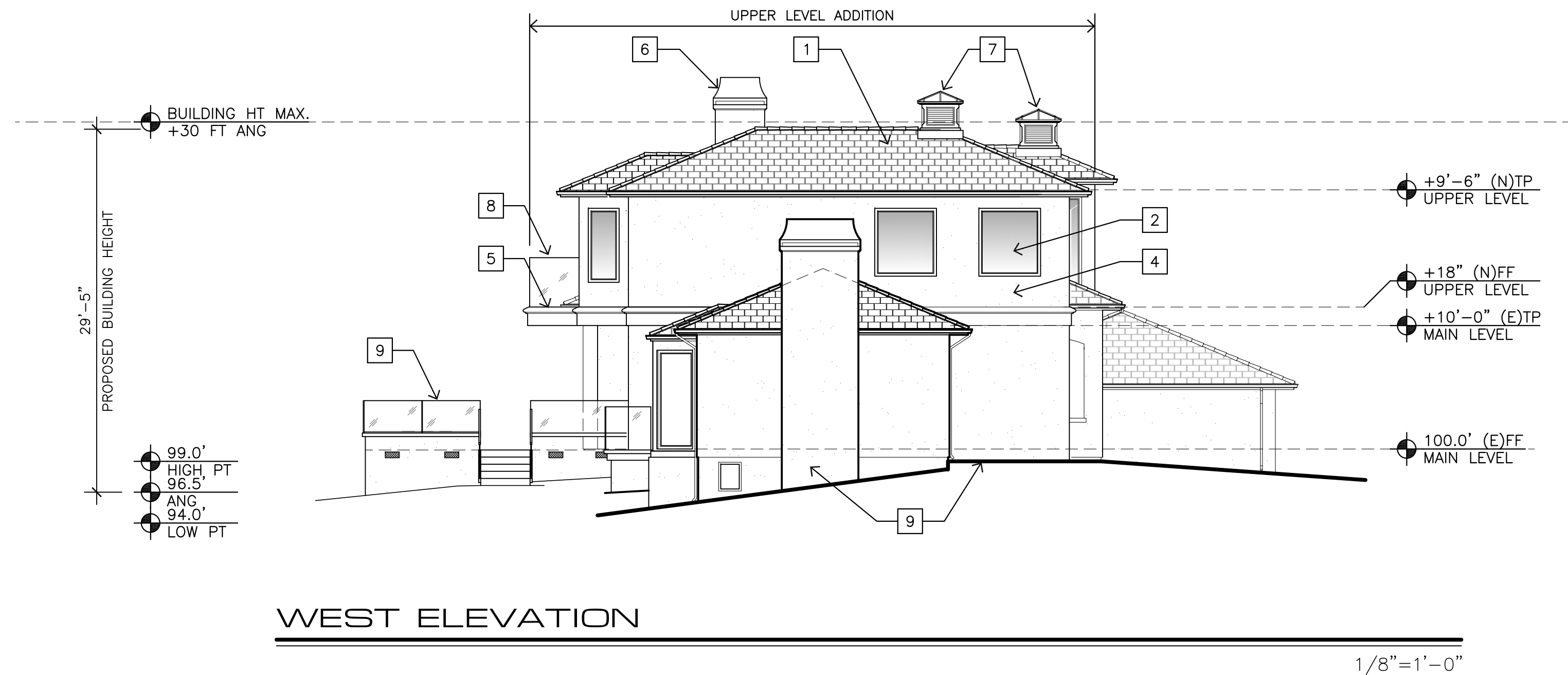
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A6.0



EXTERIOR FINISH LEGEND

- (N)THIN SIMULATED SLATE ROOF TO MATCH EXISTING
- (N)METAL CLAD WOOD EXTERIOR DOORS AND WINDOWS TO MATCH EXISTING
- (N)O'GEE G.I. GUTTERS AND DOWNSPOUTS TO MATCH EXISTING
- PAINTED EXTERIOR STUCCO TO MATCH EXISTING
- (N)SHAPED FOAM MOULDING
- (N)COPPER CHIMNEY CAP TO MATCH EXISTING; EXTEND (E)CHIMNEY AS NEEDED
- (N)CUPOLA - STANDING SEAM PAINTED G.I. ROOF - MECHANICAL APPURTENANCE
- (N)GLASS GUARDRAIL TO MATCH EXISTING
- EXISTING TO REMAIN



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CA, 93953

APN: 008-282-005

DATE: MAY 10, 2023

PLANNING SUBMITTAL

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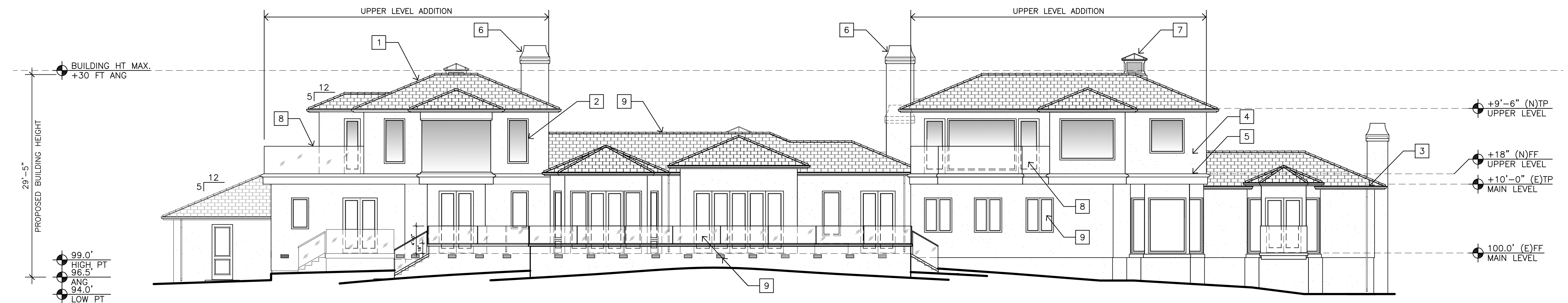
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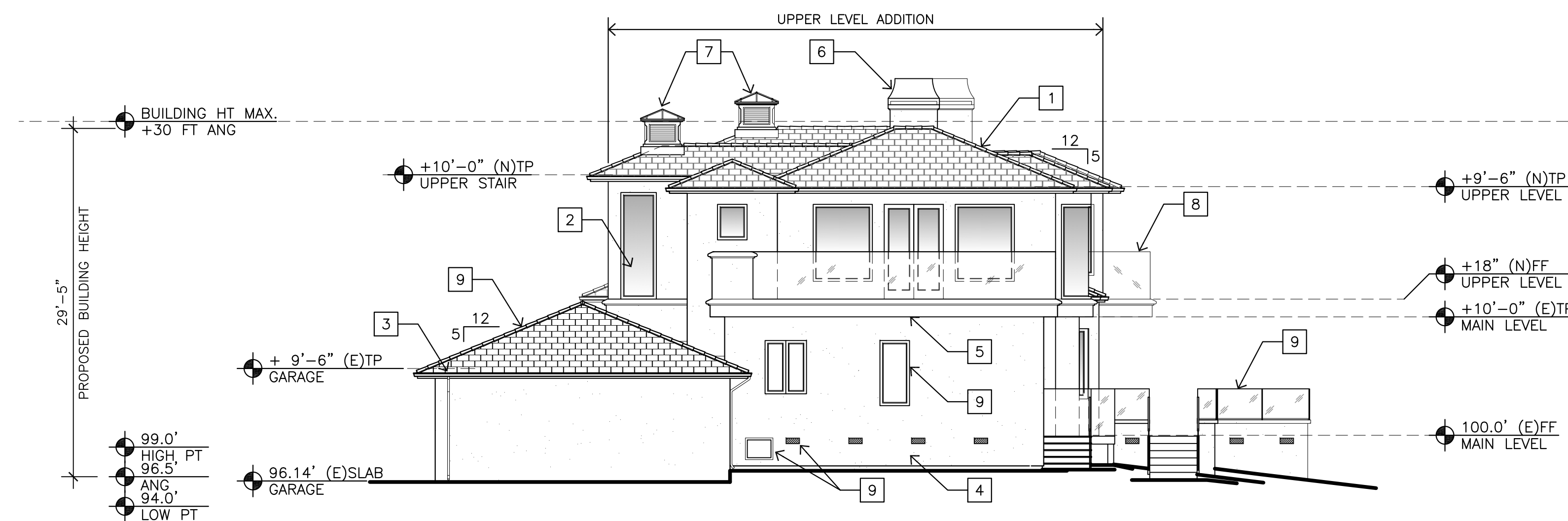
ELEVATIONS PROPOSED

SHEET NO.

A6.1



NORTH ELEVATION

$$1/8'' = 1' - 0''$$


EAST ELEVATION

$$1/8'' = 1' - 0''$$

EXTERIOR FINISH LEGEND

- 1 (N)THIN SIMULATED SLATE ROOF TO MATCH EXISTING
- 2 (N)METAL CLAD WOOD EXTERIOR DOORS AND WINDOWS TO MATCH EXISTING
- 3 (N)O'GEE G.I. GUTTERS AND DOWNSPOUTS TO MATCH EXISTING
- 4 PAINTED EXTERIOR STUCCO TO MATCH EXISTING
- 5 (N)SHAPED FOAM MOULDING
- 6 (N)COPPER CHIMNEY CAP TO MATCH EXISTING; EXTEND (E)CHIMNEY AS NEEDED
- 7 (N)CUPOLA - STANDING SEAM PAINTED G.I. ROOF - MECHANICAL APPURTENANCE
- 8 (N)GLASS GUARDRAIL TO MATCH EXISTING
- 9 EXISTING TO REMAIN

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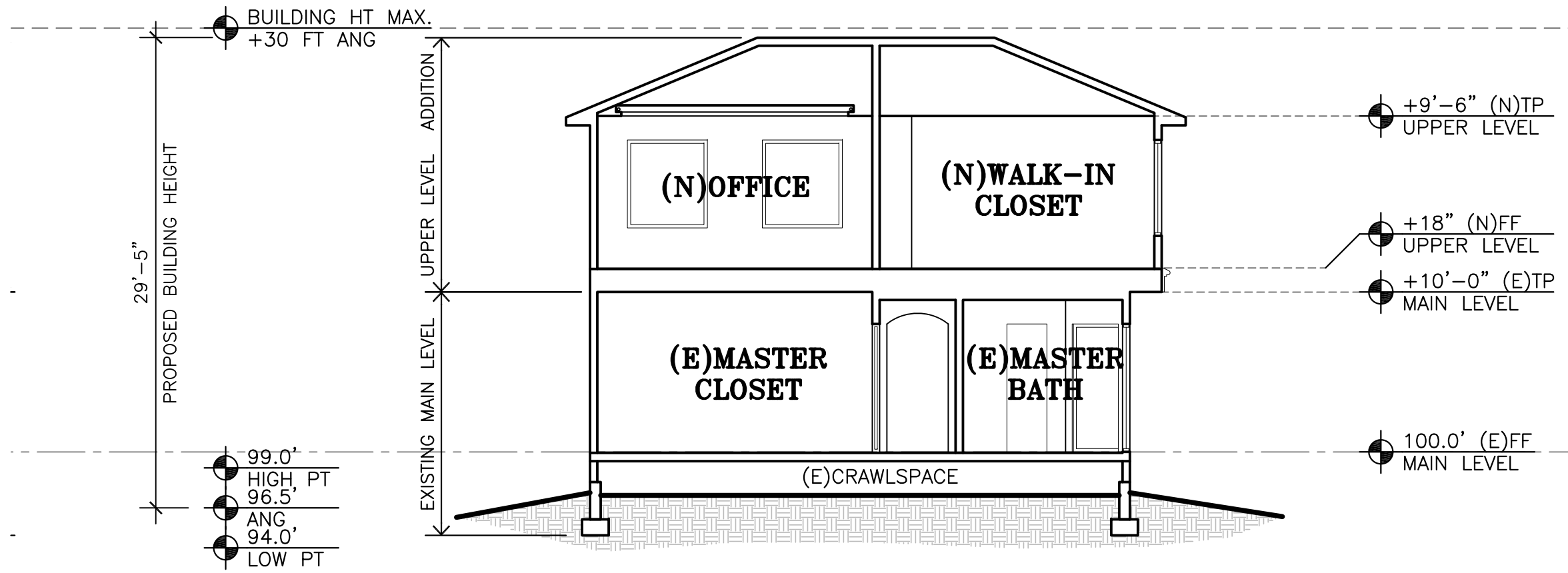
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SECTIONS

A-A, B-B, C-C & D-D

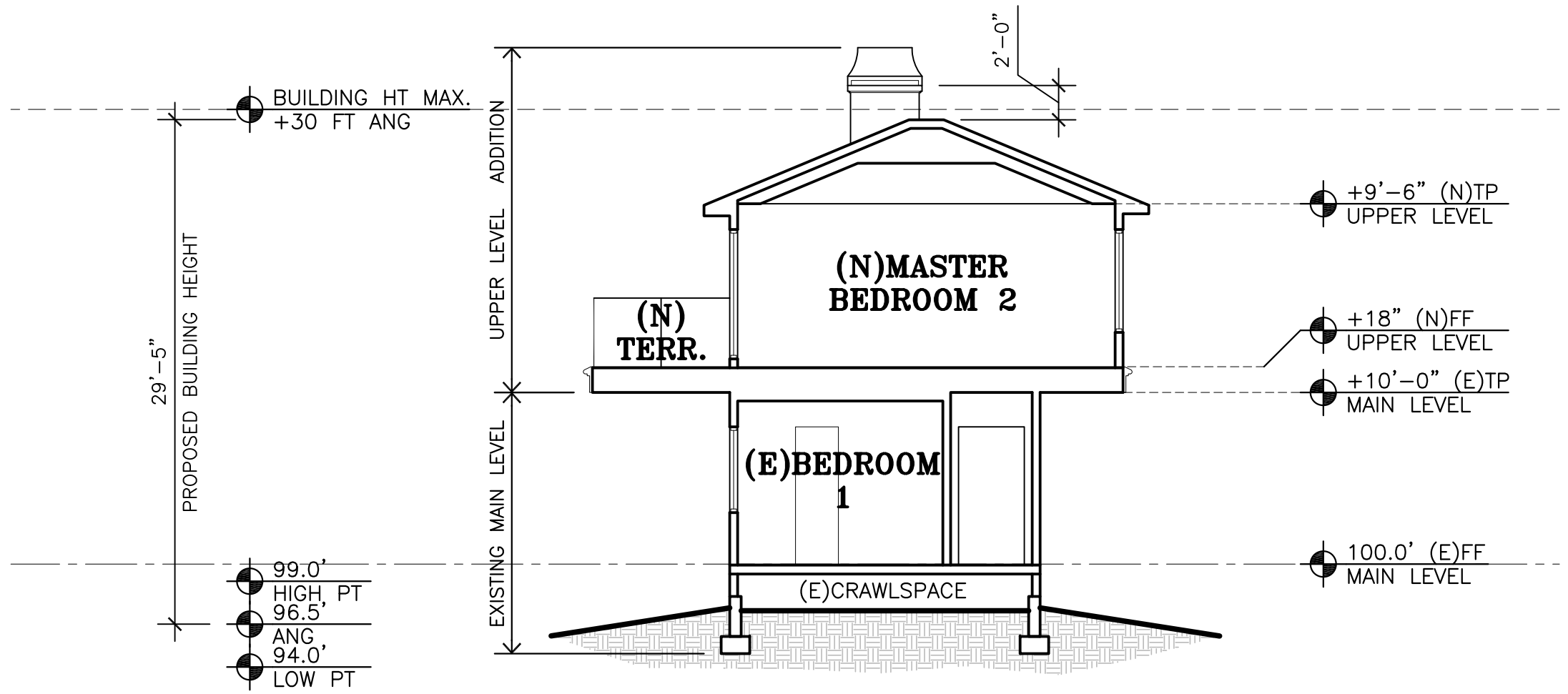
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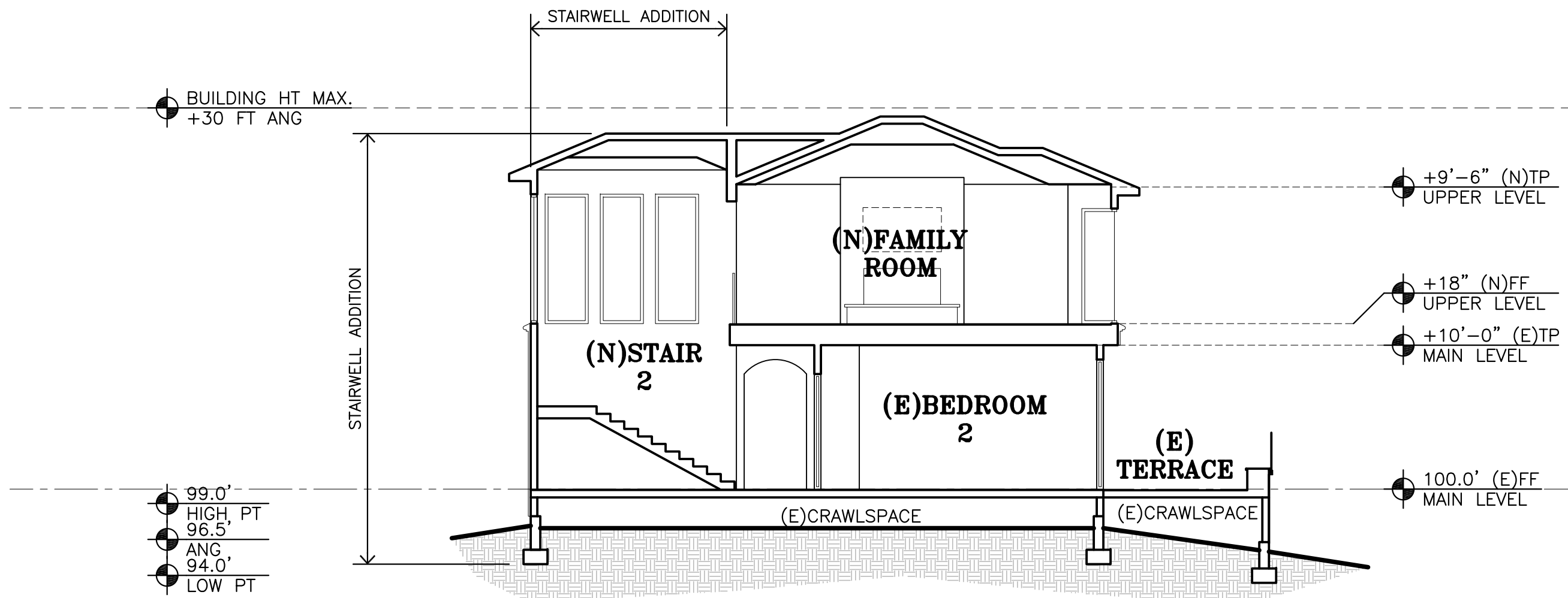
SECTION A-A

1/8"=1'-0"



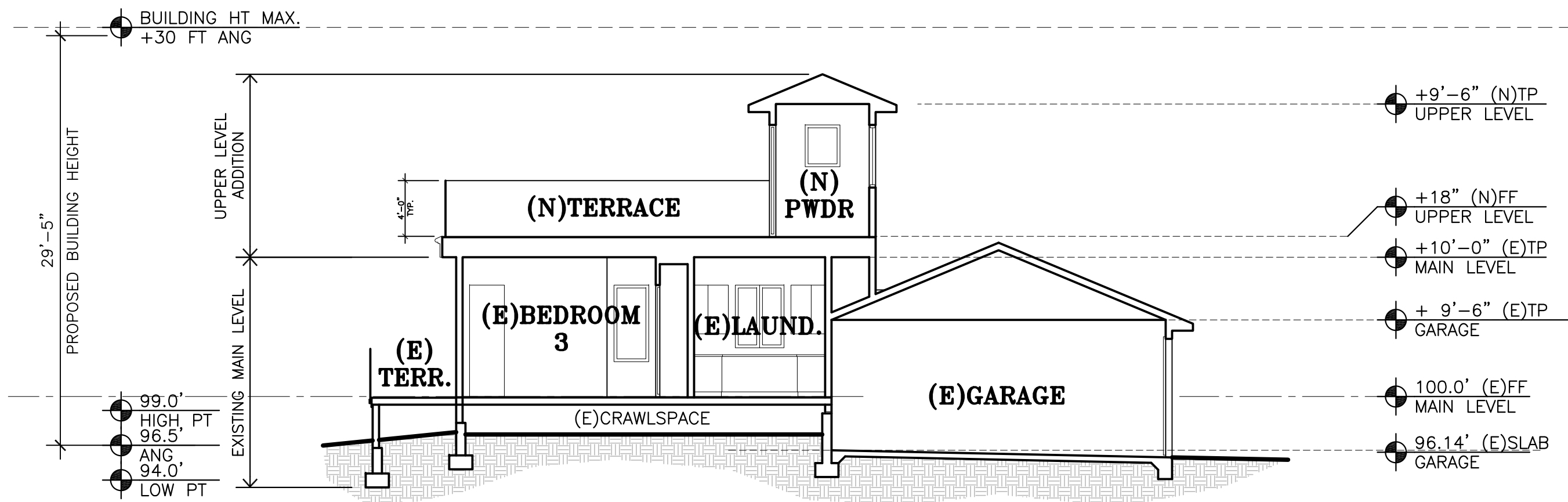
SECTION B-B

1/8"=1'-0"



SECTION C-C

1/8"=1'-0"



SECTION D-D

1/8"=1'-0"

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PEBBLE BEACH
CA, 93953

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PLANNING SUBMITTAL

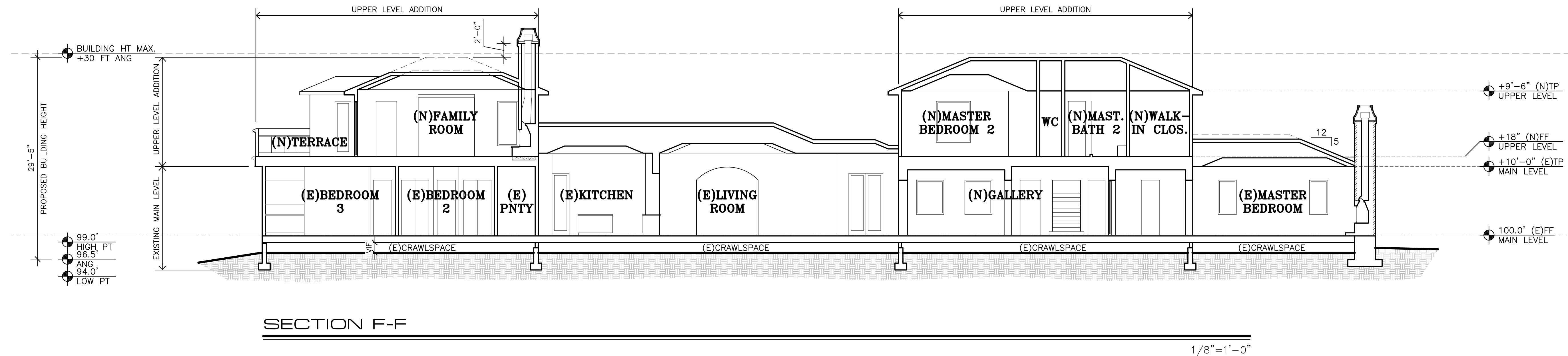
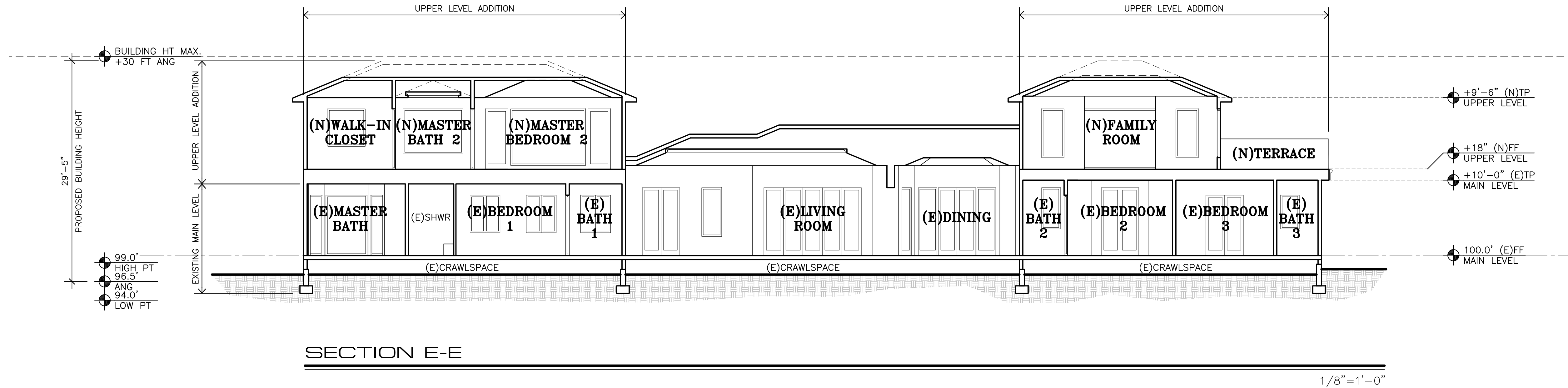
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SECTIONS
E-E & F-F

SHEET NO.

A7.1



721 LIGHTHOUSE AVE
PACIFIC GROVE CA.
93950

PH (831) 646-1261
FAX (831) 646-1290
EMAIL idg@idg-inc.net
WEB idg-inc.net

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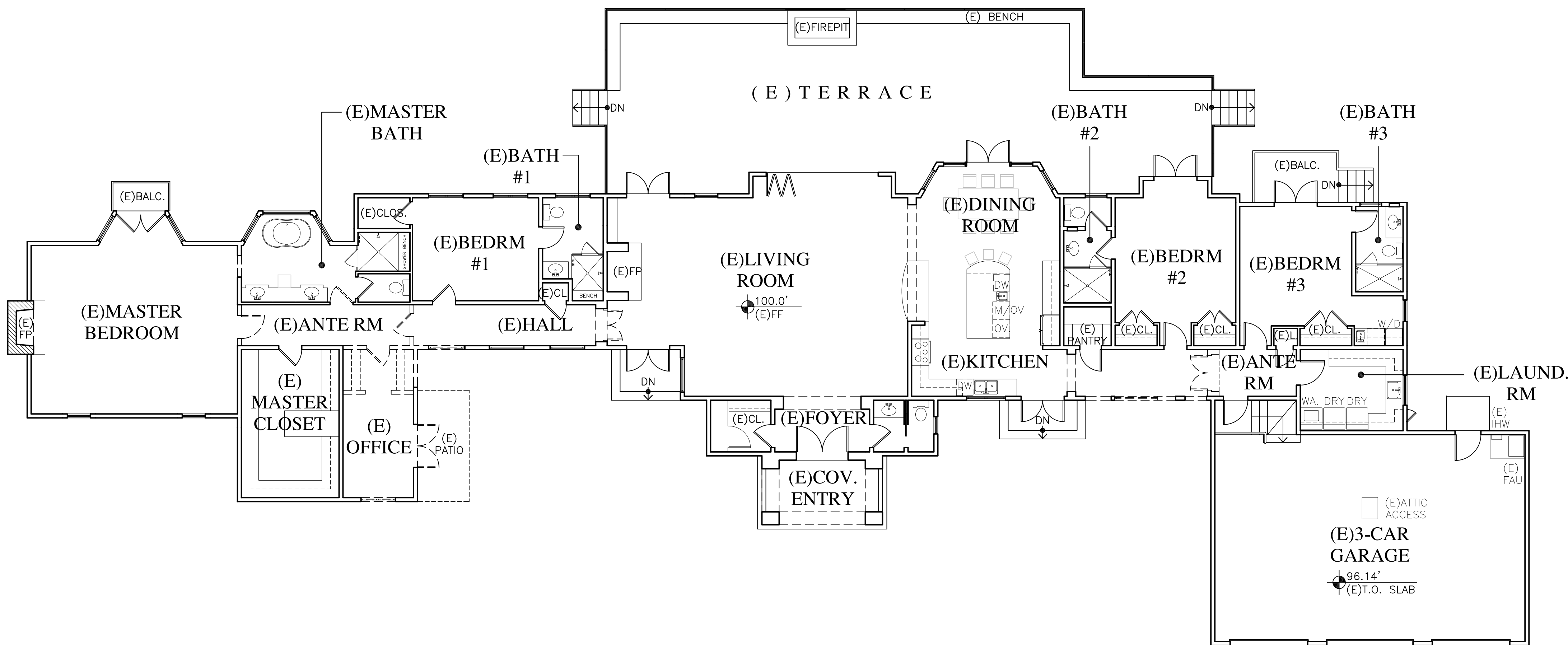
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MAIN LEVEL
EXIST / DEMO

SHEET NO.

D2.0



MAIN LEVEL EXISTING - DEMOLITION PLAN

1/8"=1'-0"

WALL LEGEND

=====	2X EXISTING WALL TO REMAIN
-----	(E) DOOR OR WINDOW TO BE REMOVED
-----	2X EXISTING WALL TO BE REMOVED

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STAMPS:

PROJECT/CLIENT:

OLLE
RESIDENCE

PROJECT ADDRESS:

1139 PORTOLA RD
PEBBLE BEACH
CA, 93953

APN: 008-282-005

DATE: MAY 10, 2023

PLANNING SUBMITTAL

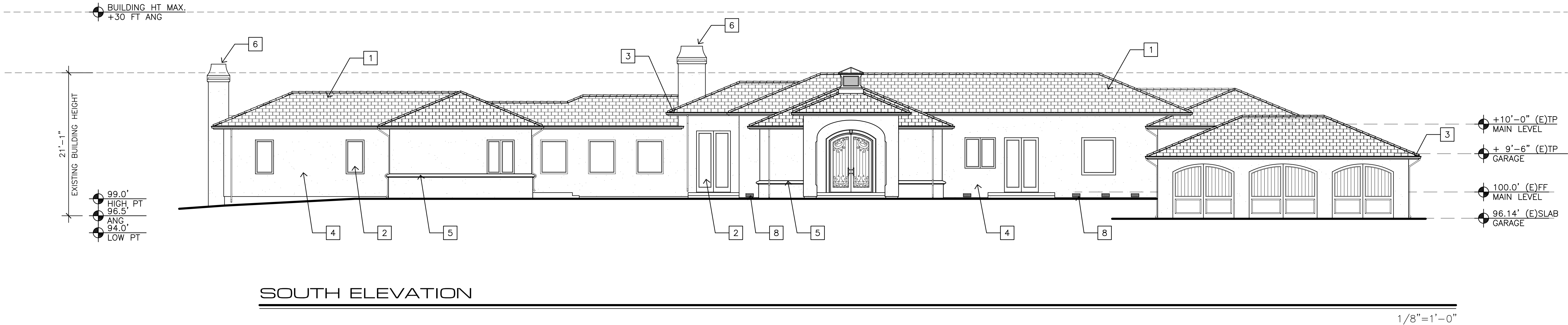
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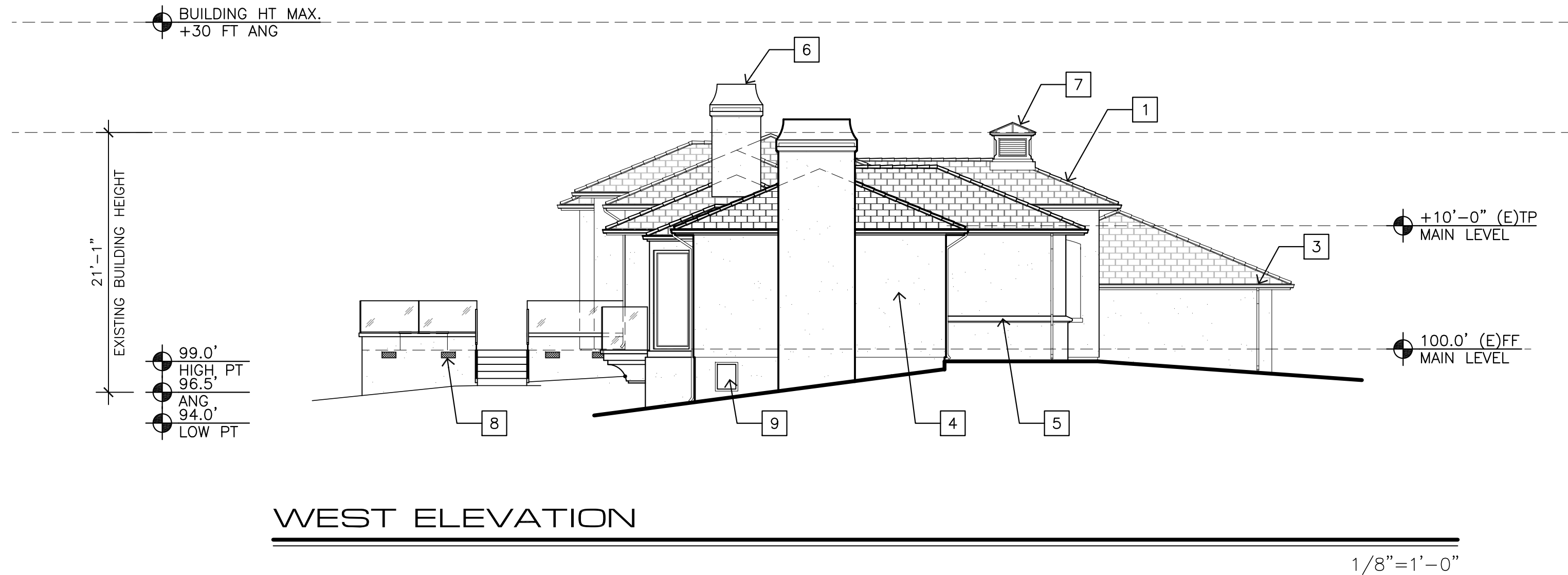
SHEET NO.

D6.0



EXTERIOR FINISH LEGEND

- 1 (E)THIN SIMULATED SLATE ROOF
2 (E)METAL CLAD WOOD EXTERIOR DOORS AND WINDOWS
3 (E)O'GEE G.I. GUTTERS AND DOWNSPOUTS
4 (E)PAINTED EXTERIOR STUCCO
5 (E)SHAPED FOAM MOULDING
6 (E)PAINTED G.I. CHIMNEY CAP
7 (E)MECHANICAL VENT CUPOLA - STANDING SEAM PAINTED G.I. ROOF
8 (E)PAINTED G.I. SCREENED LOUVERED 6X14 VENTS
9 (E)18"x 24" MINIMUM CRAWL SPACE ACCESS



721 LIGHTHOUSE AVE
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93950

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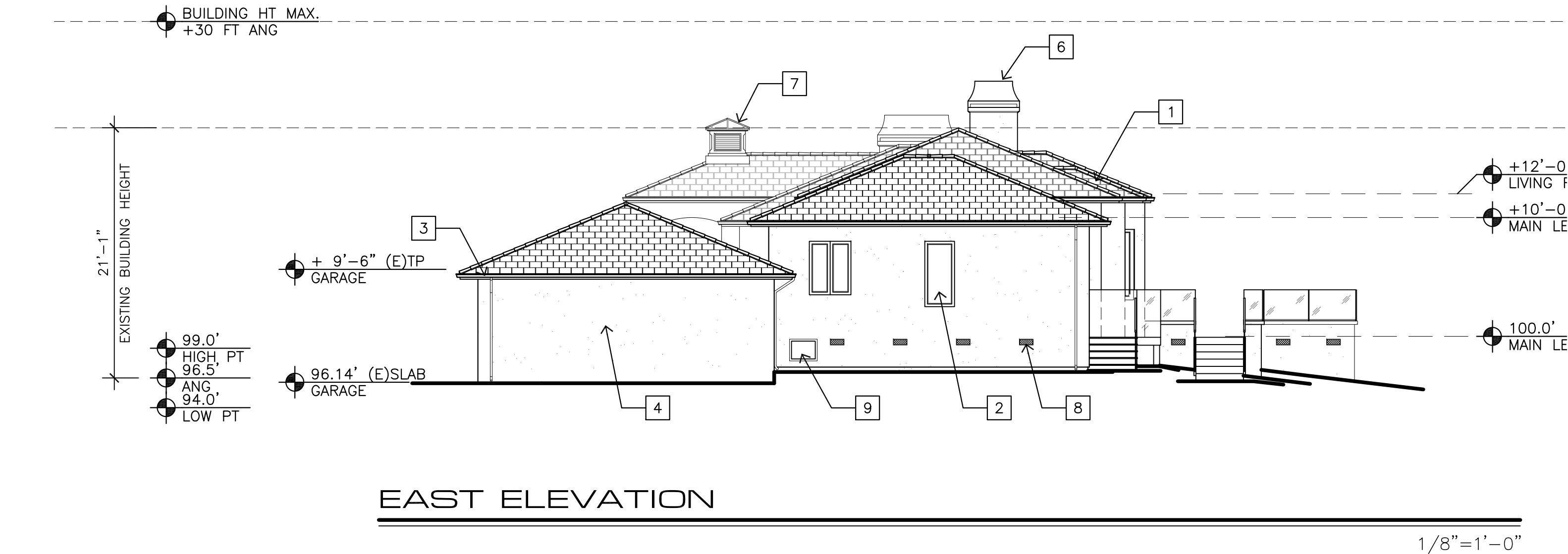
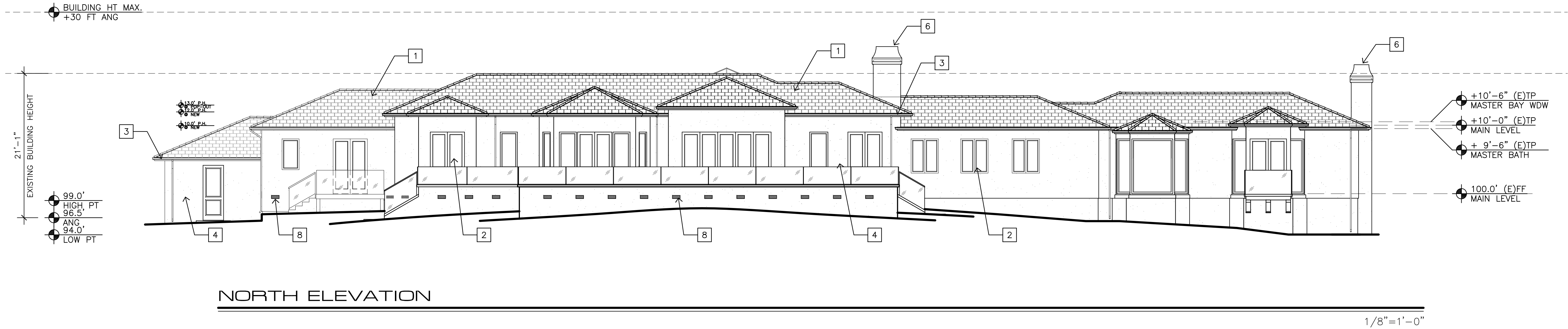
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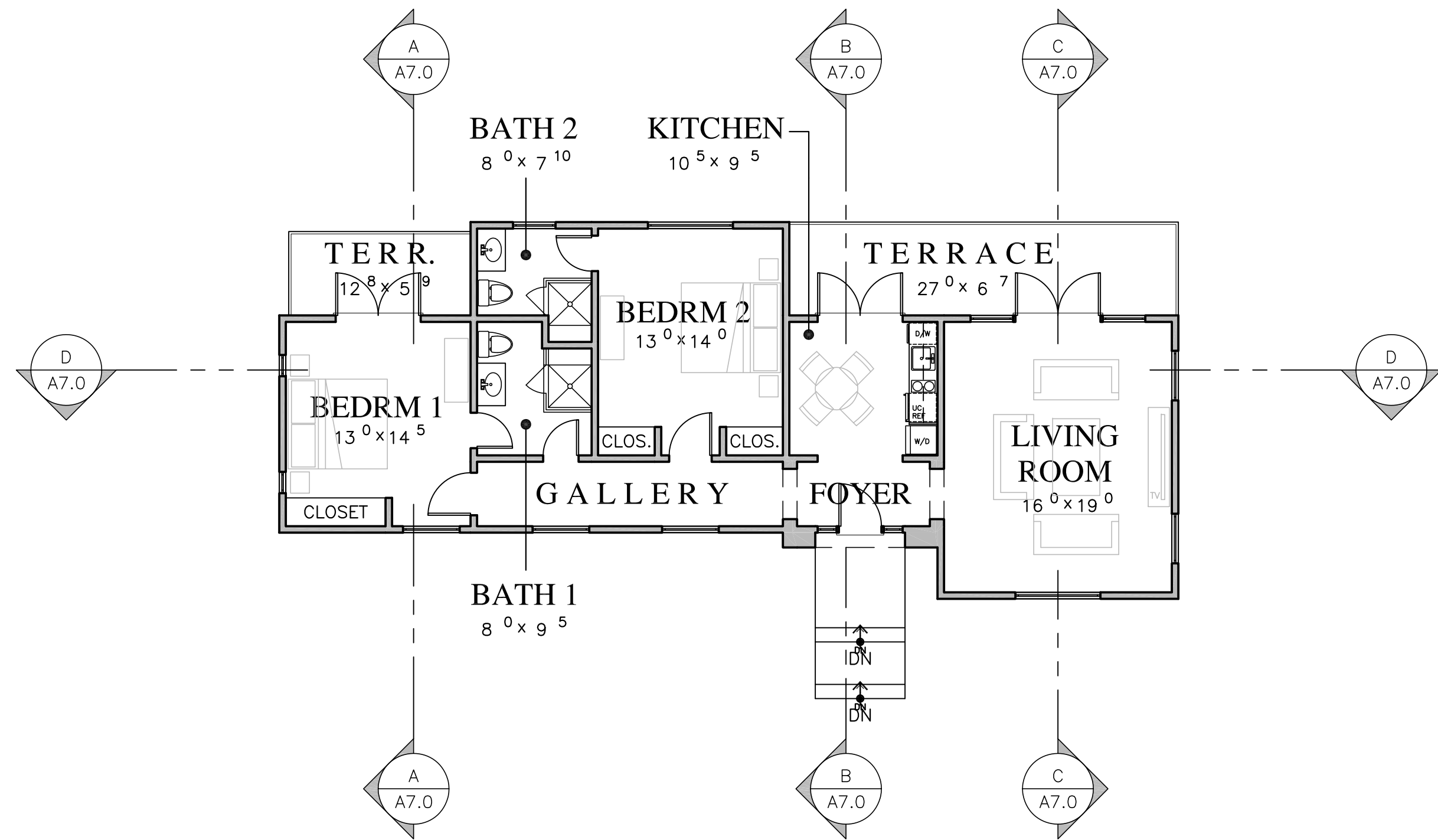
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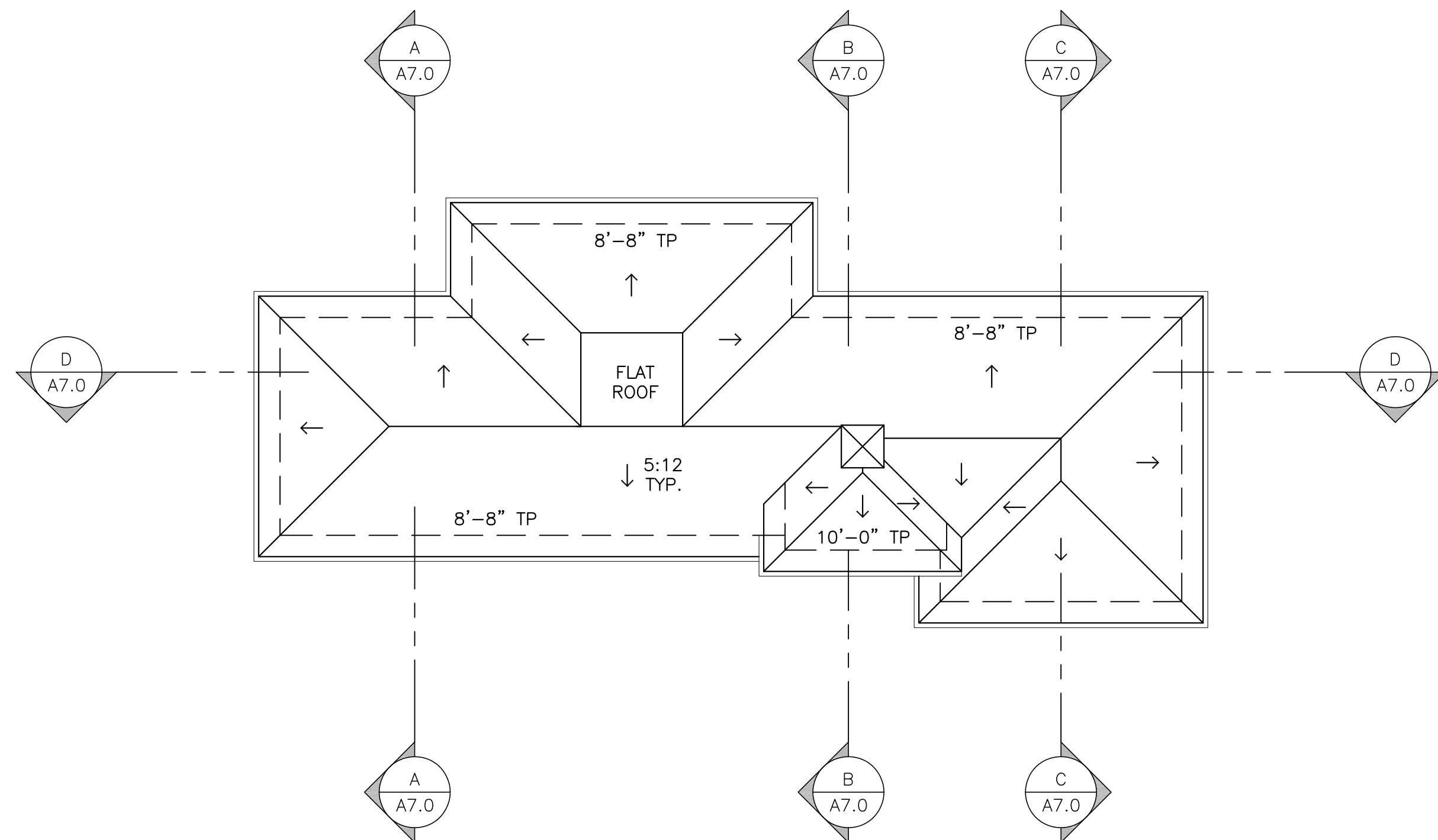
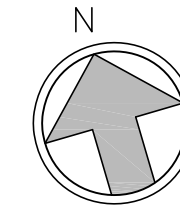
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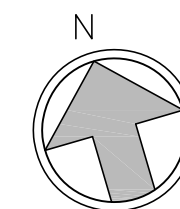
ADU - MAIN LEVEL PLAN

1/8"=1'-0"



ADU - ROOF PLAN

1/8"=1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

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PEBBLE BEACH
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APN: 008-282-005

DATE: MAY 10, 2023

PLANNING SUBMITTAL

REVISIONS:

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ADU FLOOR
& ROOF PLANS

SHEET NO.

A2.0

EXTERIOR FINISH LEGEND

- 1

THIN SIMULATED SLATE ROOF TO MATCH EXISTING HOUSE
- 2

O'GEE G.I. GUTTERS AND DOWNSPOUTS TO MATCH EXISTING HOUSE
- 3

CUPOLA – STANDING SEAM PAINTED G.I. ROOF SIMILAR TO EXISTING HOUSE
- 4

PAINTED EXTERIOR STUCCO TO MATCH EXISTING HOUSE
- 5

METAL CLAD WOOD EXTERIOR DOORS AND WINDOWS TO MATCH EXISTING HOUSE
- 6

GLASS GUARDRAIL TO MATCH EXISTING HOUSE
- 7

CRAWLSPACE VENT TO MATCH EXISTING HOUSE
- 8

EXISTING GRADE
- 9

PROPOSED GRADE

JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

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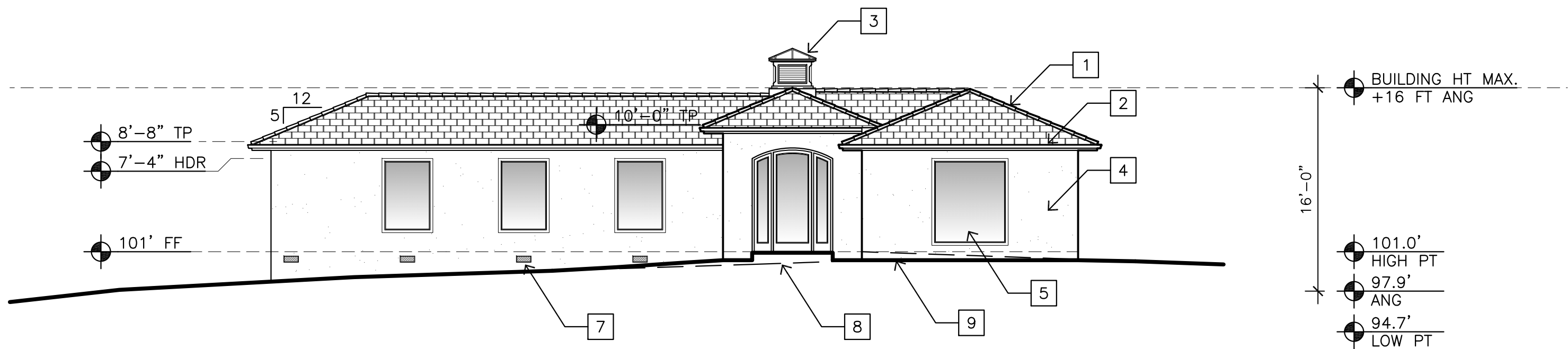
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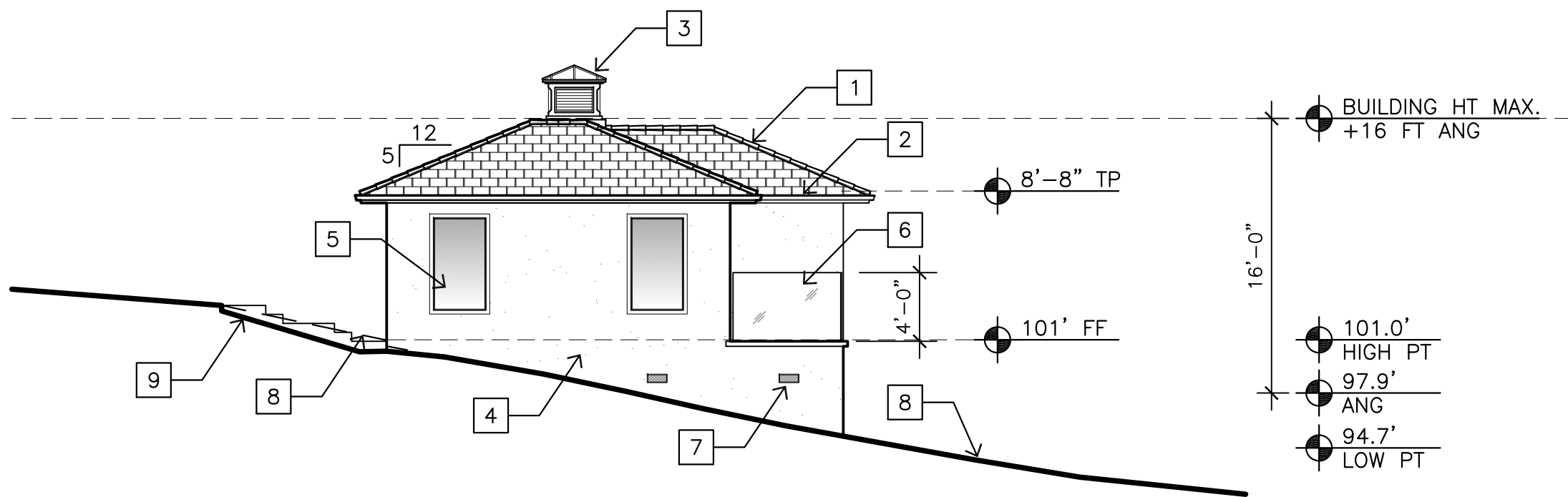
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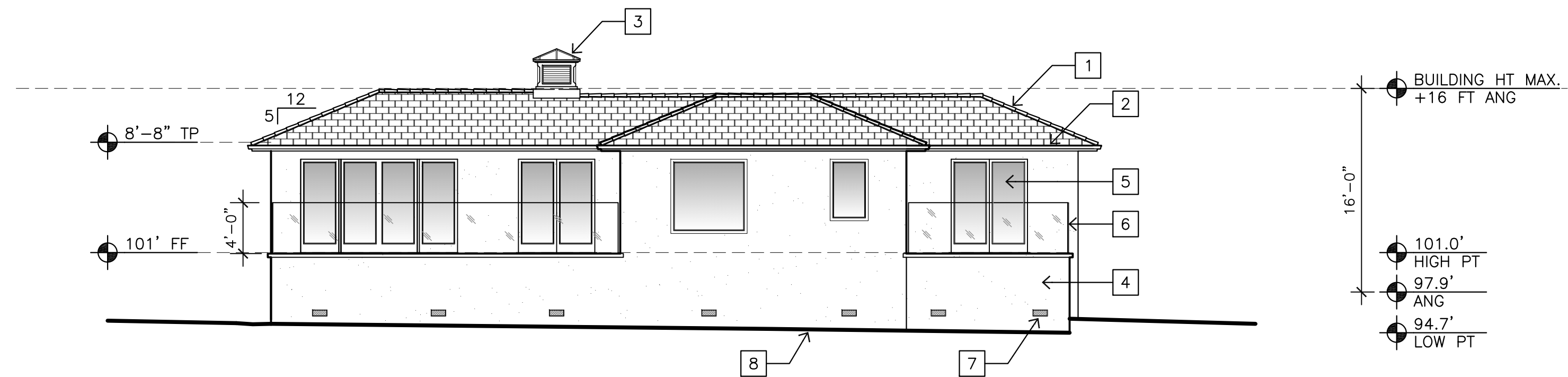
SOUTH ELEVATION

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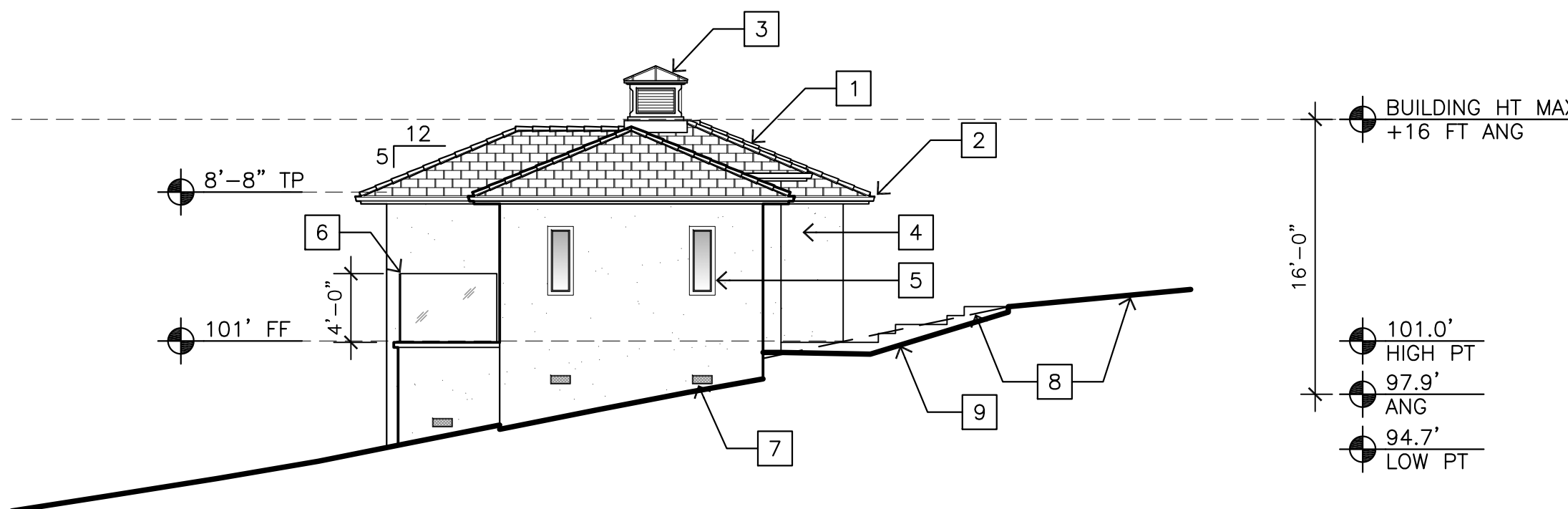
EAST ELEVATION

1/8"=1'-0"



NORTH ELEVATION

1/8"=1'-0"



WEST ELEVATION

1/8"=1'-0"

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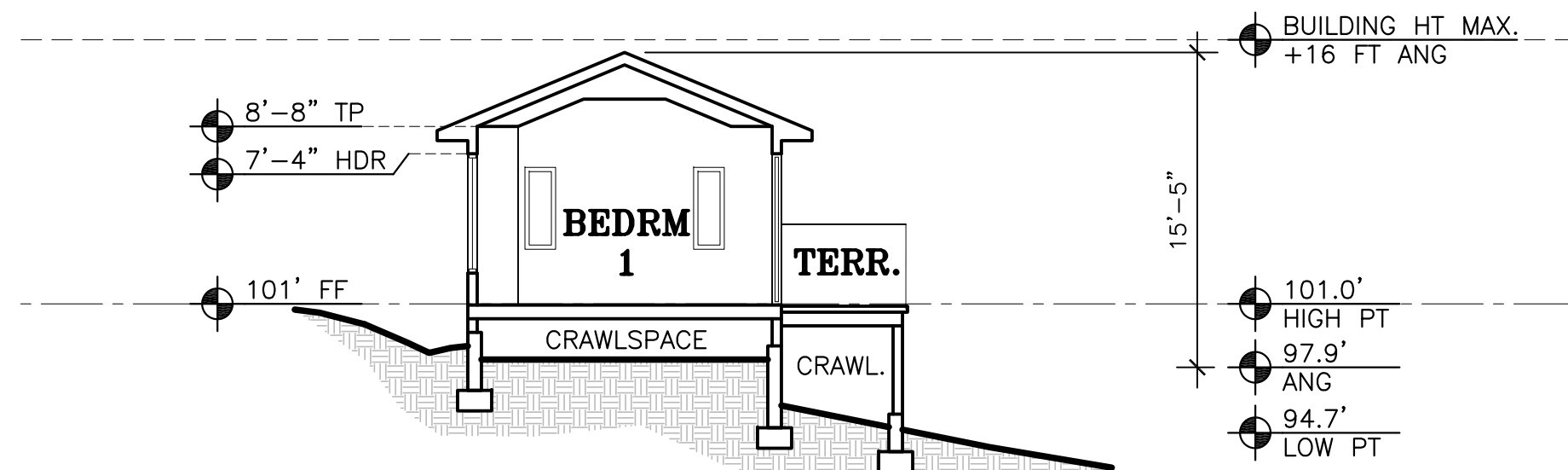
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ADU
SECTIONS

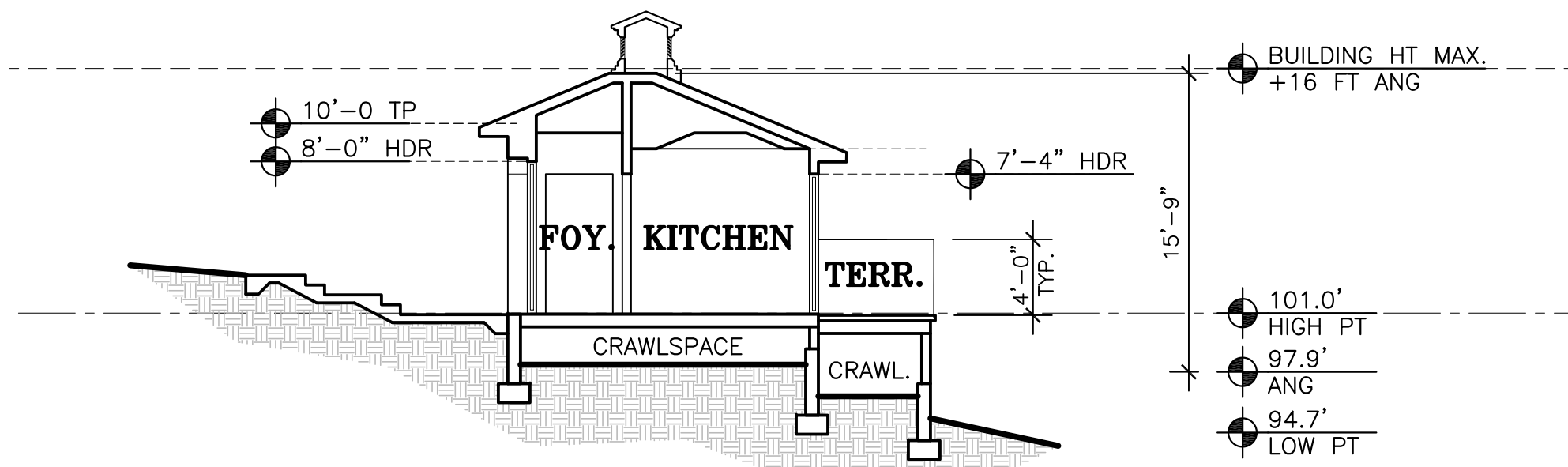
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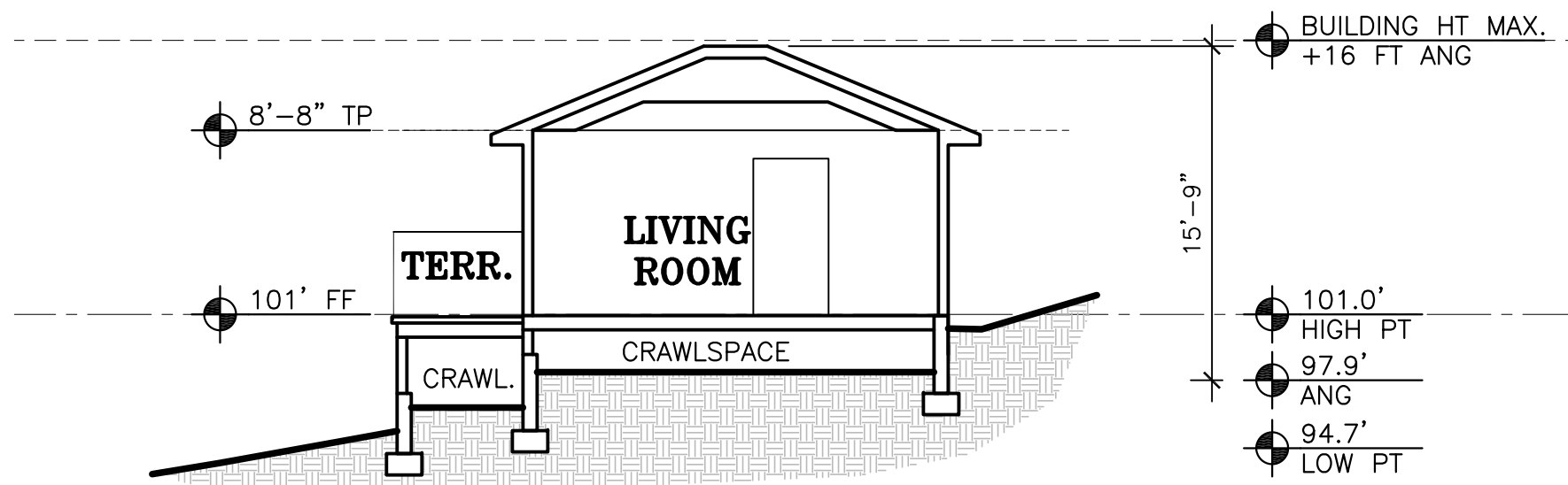
SECTION A-A

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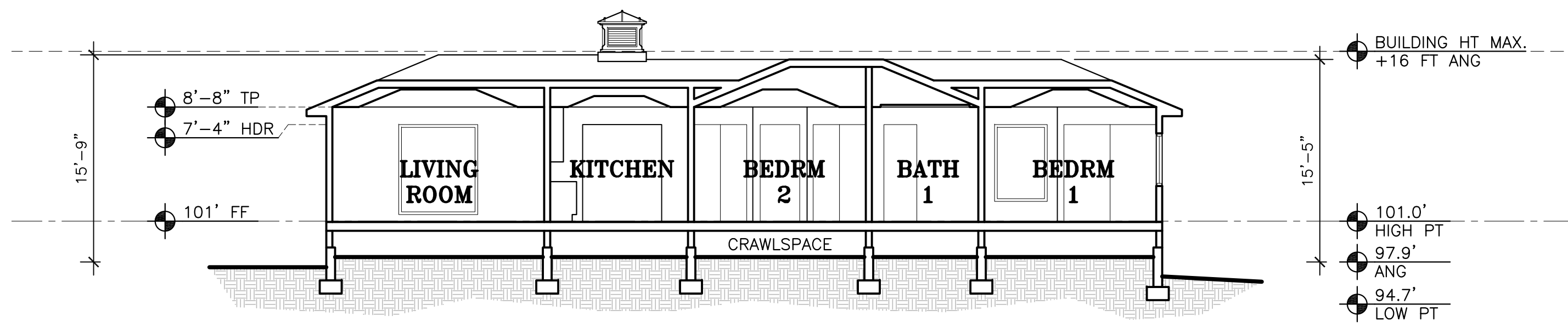
SECTION B-B

1/8"=1'-0"



SECTION C-C

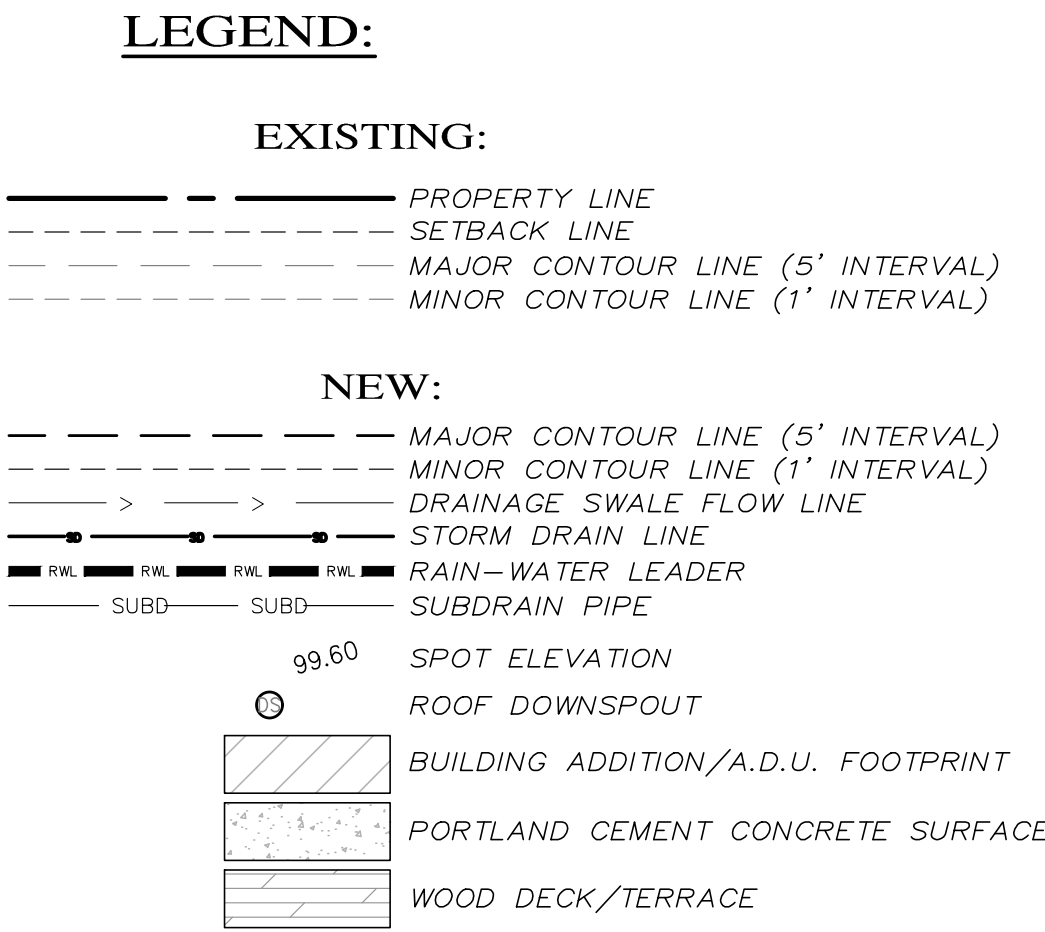
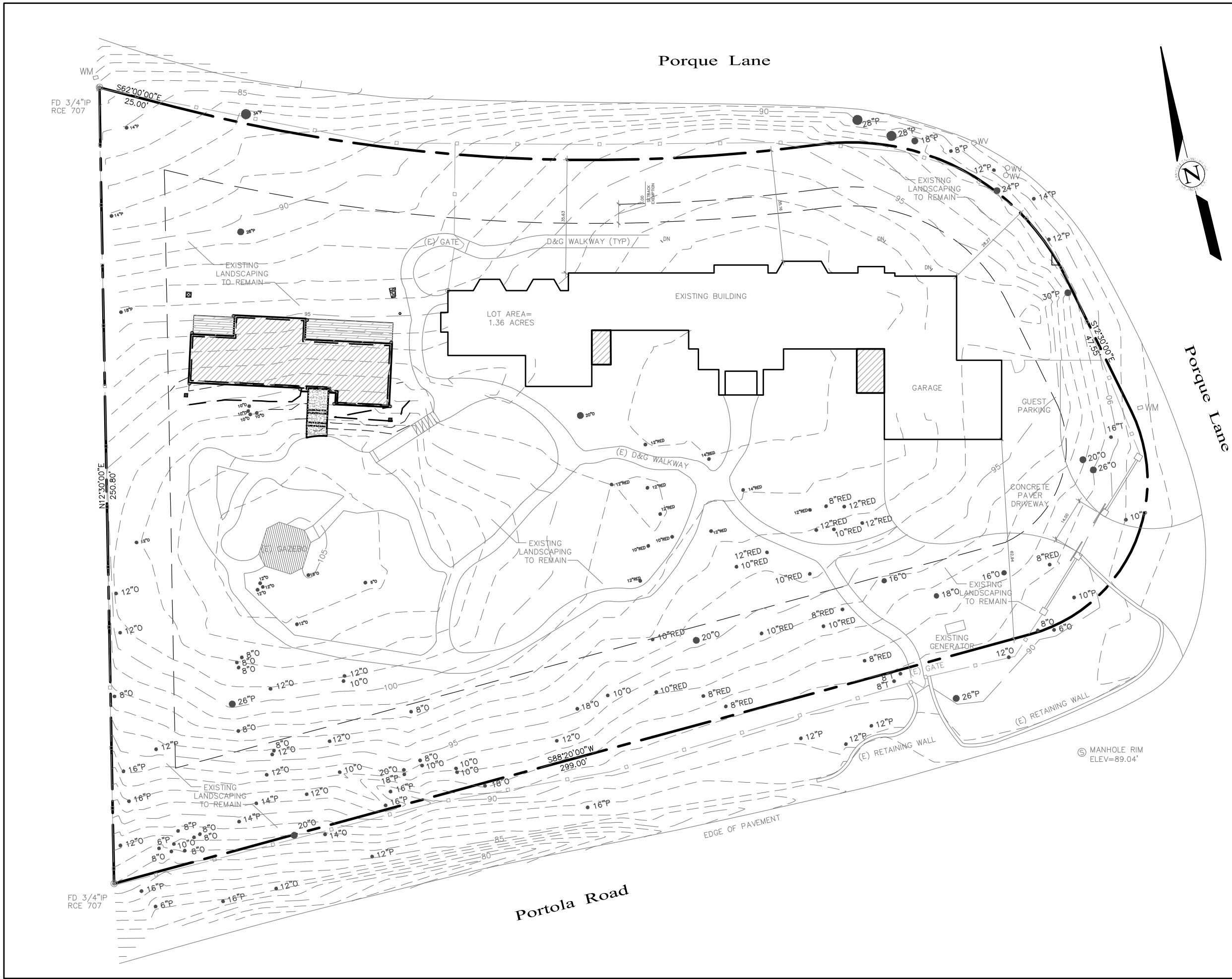
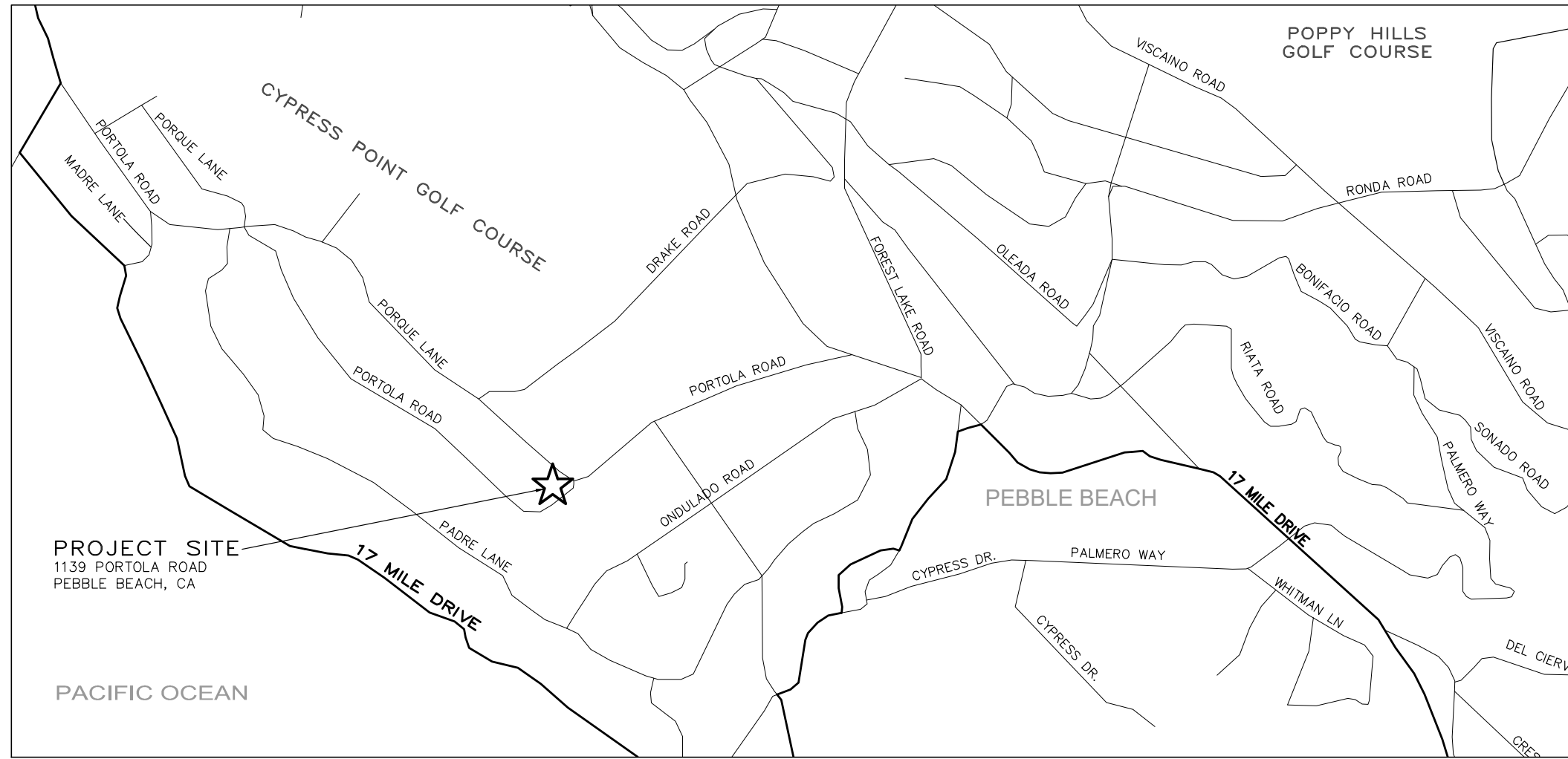
1/8"=1'-0"



SECTION D-D

1/8"=1'-0"

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
OLLE RESIDENCE
APN: 008-282-005
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA



GENERAL NOTES:

- PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE OLLE RESIDENCE A1.0 PREPARED BY INTERNATIONAL DESIGN GROUP, DATED 05/10/23, AND THE BASE TOPOGRAPHIC INFORMATION PREPARED BY OTHERS.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE RECOMMENDATIONS FOUND IN THE PROJECT SOIL'S REPORT PREPARED FOR THE PROJECT BY GRICE ENGINEERING, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE LATEST CALIFORNIA BUILDING CODE (CBC) AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 35 C.Y. OF CUT AND 25 C.Y. OF FILL WITH AN EXPORT OF 10 C.Y. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE ON A LEGAL MANER. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. IS NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MIN. REL. COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL'S ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST DURING AND FOR GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FOOT OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 1% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE CONTROLLED BY GUTTER AND DOWN SPOUTS AND CONNECTED INTO RAIN WATER LEADERS WHICH OUTLET INTO CATCH BASIN AND DISCHARGED TO A DISPERSION TRENCH/ENERGY DISSIPATOR. RAIN WATER LEADERS SHALL BE 4" PVC-SDR 35 PIPE, HAVE A MINIMUM SLOPE OF 1% AND A MINIMUM COVER OF 12". THE RAIN WATER LEADER TRENCHES SHOULD HAVE THEIR BEARING SURFACES FOUNDED BELOW AN IMAGINARY 1:1 (HORIZONTAL TO VERTICAL) LANE PROJECTED UPWARD FROM THE BOTTOM EDGE OF THE BUILDING FOOTINGS.
- STORM WATER (SURFACE RUNOFF) SHALL BE COLLECTED BY A COMBINATION OF AREA DRAIN AND DRAINAGE SWALES OUTLETTING INTO SAID DISPERSION TRENCH AS SHOWN ON THE SITE DRAINAGE PLAN.
- SUBSURFACE DRAINAGE FOR RETAINING/STEM WALLS WILL BE COLLECTED AND PIPED TO DAYLIGHT IN A NON-EROSIVE MANNER.

- THE STORM DRAIN FACILITIES SHALL BE AS SHOWN ON THE PLANS. CATCH BASINS SHALL BE "NDS" PRODUCTS SQUARE 12x12 WITH POLYOLEFIN GRATE OR APPROVED EQUAL. CLEAN-OUT/JUNCTION BOX SHALL BE ROUND SPEE-D BASIN WITH SOLID LID. THE STORM DRAIN PIPE SHALL BE P.V.C. MIN. SDR 35.
- ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN, IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MIN. RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MIN. RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- NO LAND DISTURBING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF RMA - BUILDING SERVICES.
- SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT AND THE PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

STORM WATER CONTROL NOTES:

- THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- THE PROJECT IS NOT IN ANY OF THE CONDITIONED AREAS OF THE PEBBLE BEACH COMPANY DRAINAGE REQUIREMENTS AND IS NOT REQUIRED TO ANY SPECIAL STORM WATER FACILITY DESIGN.
- ALTHOUGH THIS PROJECT IS NOT A REGULATED PROJECT, STORM WATER RUNOFF ORIGINATED BY THE NEW A.D.U. IMPERVIOUS AREAS SHALL BE MITIGATED BY A DISPERSION TRENCH DESIGNED FOR THE REQUIRED RETENTION OF THE 85th PERCENTILE 24-HOUR STORM.

TOTAL LOT AREA = 60,287 SQ.FT.
NEW/REPLACE IMPERVIOUS AREA = 1,484 SQ.FT.
TOTAL AREA OF DISTURBANCE = 2,320 SQ.FT.

GRADING QUANTITIES:
CUT = 35 C.Y.
FILL = 25 C.Y.
NET = 10 C.Y. EXPORT

ABBREVIATIONS:

AB	AGGREGATE BASE	MIN	MINIMUM
AC	ASPHALT CONCRETE	(N)	NEW
BLDG	BUILDING	NO.	NUMBER
BRDY	BOUNDARY	NTS	NOT TO SCALE
BOT	BOTTOM	O.C.	ON CENTER
CB	CATCH BASIN	PL	PROPERTY LINE
CL C/L	CENTERLINE	PUE	PUBLIC UTILITIES EASEMENT
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
DI	DRAIN INLET	R RAD	RADIUS
DW	DRIVEWAY	R/W	RIGHT OF WAY
ELEV EL	ELEVATION	R.C.	RELATIVE COMPACTION
EP	EDGE OF PAVEMENT	RCR	REINFORCED CONCRETE PIPE
EX (E)	EXISTING	REL	RELATIVE
FD	FACE OF DIKE	RET WALL	RETAINING WALL
FF	FINISHED FLOOR	S	SLOPE
FG	FINISHED GRADE	SD	STORM DRAIN
FDC	FIRE DEPARTMENT CONNECTION	SS	SANITARY SEWER
FI	FIRE HYDRANT	SS LAT	SANITARY SEWER LATERAL
FC F/C	FACE OF CURB	SSMH	SANITARY SEWER MANHOLE
FL F/L	FLOW LINE	STA	STATION
FW	FINISHED PAD	S/W	SIDEWALK
GB	GRADE BREAK	TC T/C	TOP OF CURB
GR	GRATE	TD	TOP OF DIKE
HDPE	HIGH DENSITY POLYETHYLENE	TW	TYPICAL
HP	HIGH POINT	UP	UTILITY POLE
LF	LINEAR FEET	W	WATER
LP	LOW POINT	WS	WATER SERVICE
MAX	MAXIMUM		

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	LandSet Engineers, inc.	Beginning of Project		
Subexcavation, fill placement, and compaction	LandSet Engineers, inc.	Throughout grading operations		
Foundation Excavations	LandSet Engineers, inc.	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	LandSet Engineers, inc.	Prior to trench backfill		
Utility trench compaction	LandSet Engineers, inc.	During backfill operations		
Retaining wall backfill compaction	LandSet Engineers, inc.	During backfill operations		
Baserock subgrade compaction	LandSet Engineers, inc.	Prior to pavement installation		

INDEX TO SHEETS

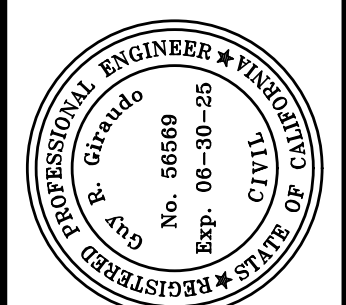
SHEET C1	COVER SHEET
SHEET C2	GRADING, DRAINAGE & UTILITY PLAN
SHEET C3	GRADING SECTIONS, STANDARD PLANS & CONSTRUCTION DETAILS
SHEET C4	EROSION & SEDIMENT CONTROL PLAN
SHEET C5	CONSTRUCTION MANAGEMENT PLAN

CONTACT INFORMATION:

PRIMARY: OWNER
MR. & MRS. SCOTT & LISA OLLE
251 SUNDOWN TERRACE
ORINDA, CA 94563

SECONDARY: ARCHITECT
INTERNATIONAL DESIGN GROUP
ATTN: MS. JULIE PAULSON
721 LIGHT HOUSE AVE.
PEBBLE BEACH, CA 93950
PH (831)646-1261

SITE LOCATION:
1139 PORTOLA ROAD
PEBBLE BEACH, CA 93921



APPROVED BY:

GUY R. GIRARDO

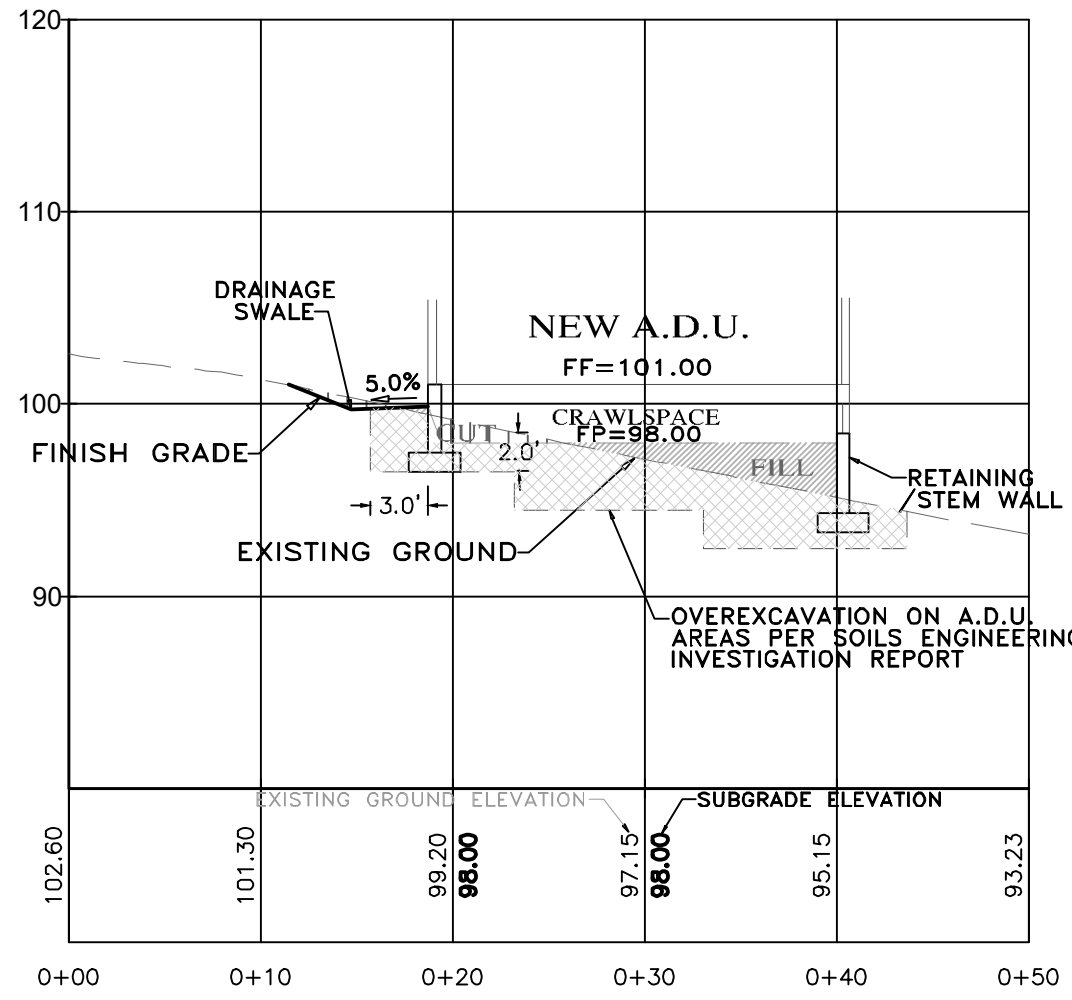


GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
OLLE RESIDENCE
A.P.N.: 008-282-005
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. SCOTT & LISA OLLE

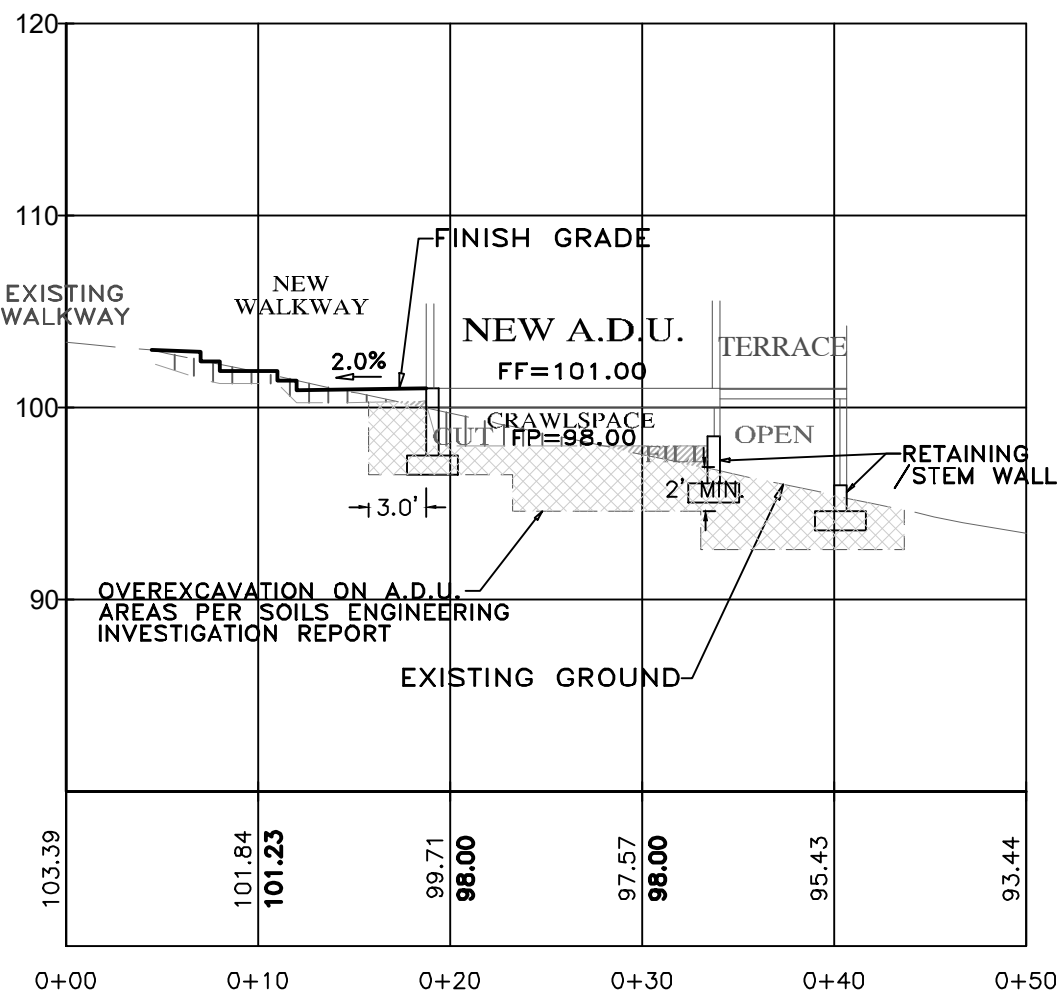
SCALE: AS SHOWN
DATE: JULY 2023
JOB NO. 2650-01

SHEET C1
OF 5 SHEETS

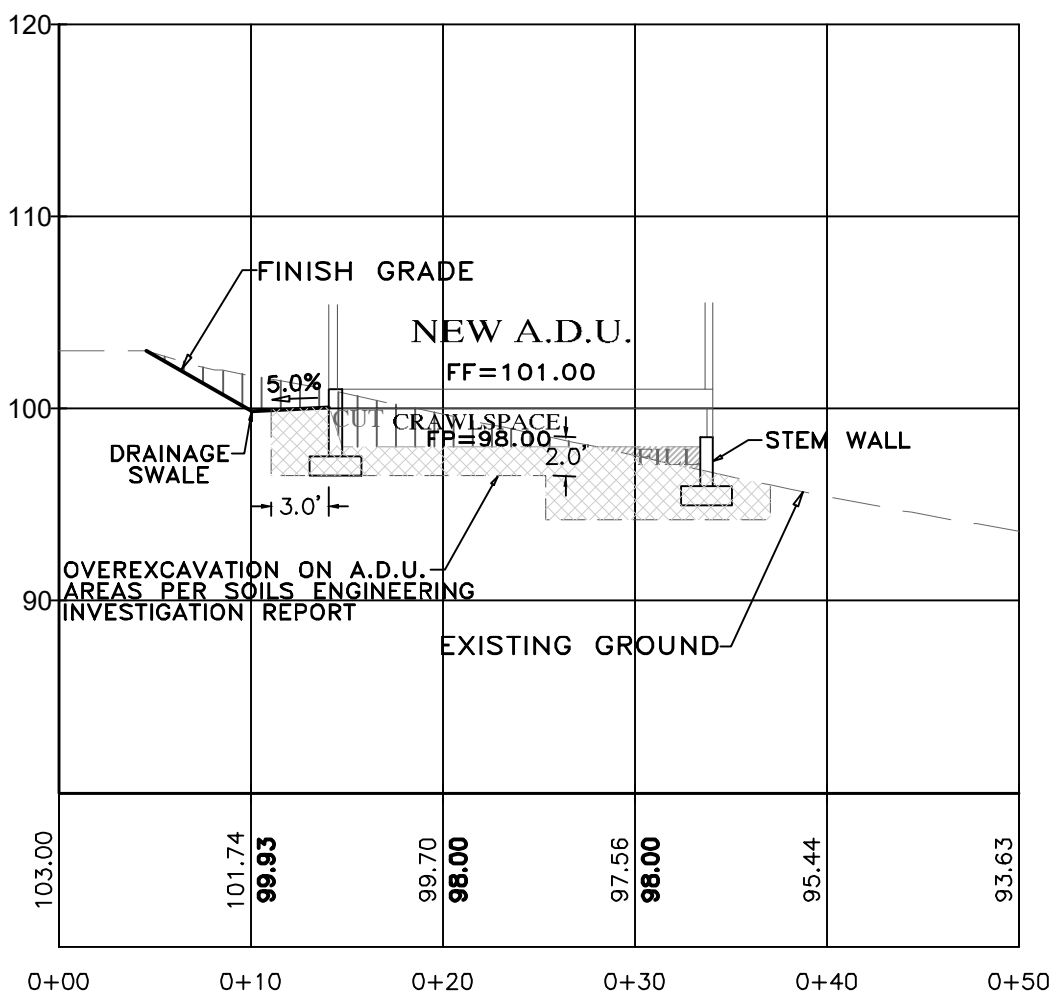
No.	DATE	BY	REVISION
	08/29/23	AMS	RELEASED TO CLIENT
	07/20/23	AMS	RELEASED TO CLIENT



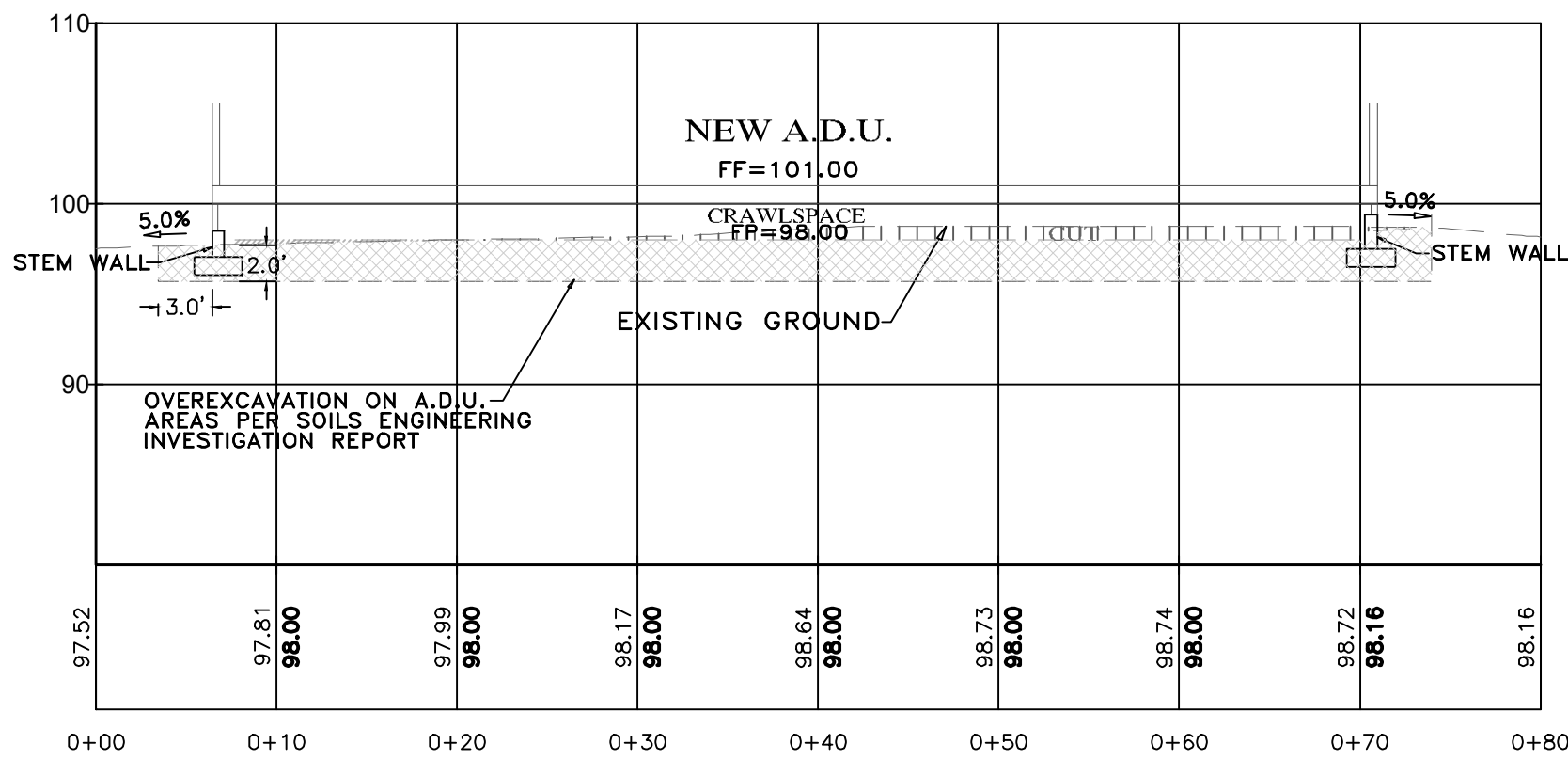
SECTION A-A
SCALE: 1"=10' H&V



SECTION B-B
SCALE: 1"=10' H&V



SECTION C-C
SCALE: 1"=10' H&V

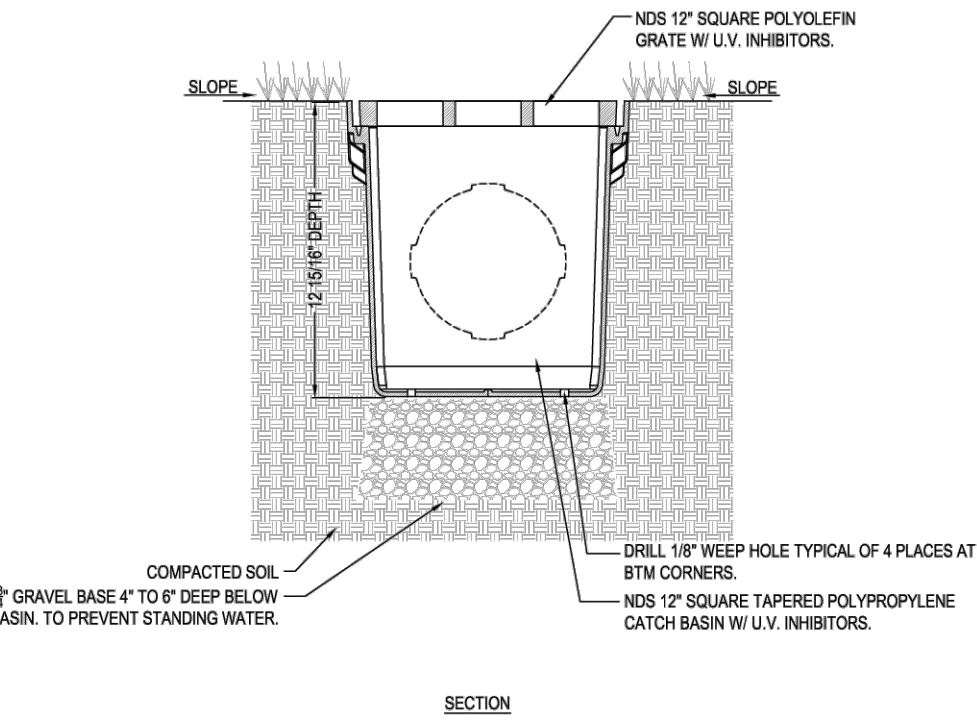


SECTION D-D
SCALE: 1"=10' H&V

GRADING SECTIONS



NDS, INC.
851 NORTH HARVARD AVE.
LINDSAY, CA 93247
TOLL FREE: 1-800-726-1994
PHONE: (559) 562-9888
FAX: (559) 562-4488
www.ndspro.com

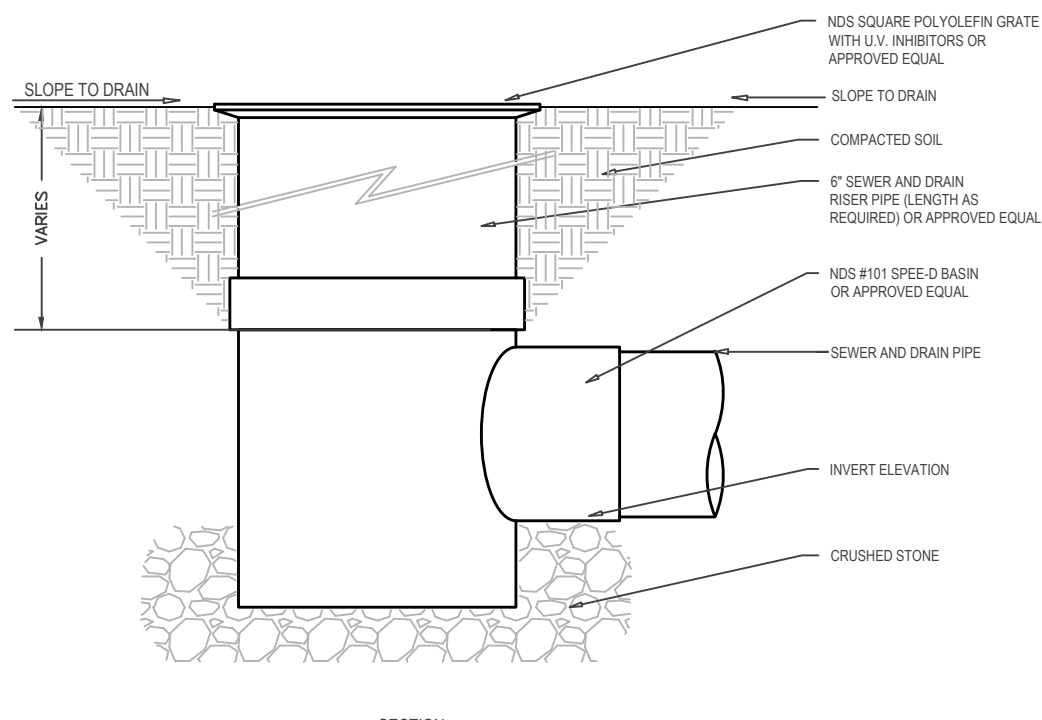


- NOTES:
1. GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW PROVIDED AT TIME OF INSTALLATION.
 2. RISER CAN BE CUT TO ACHIEVE EXACT ELEVATION.
 3. DO NOT USE OVER 5 RISERS WITH CATCH BASIN.
 4. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 5. DO NOT SCALE DRAWING.
 6. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 7. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

SQUARE CATCH BASIN
12" SQUARE CATCH BASIN - TYPICAL INSTALLATION FOR LANDSCAPE APPLICATIONS

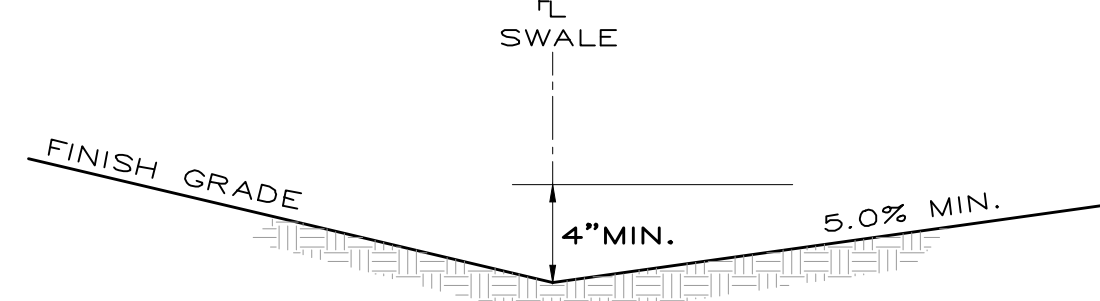


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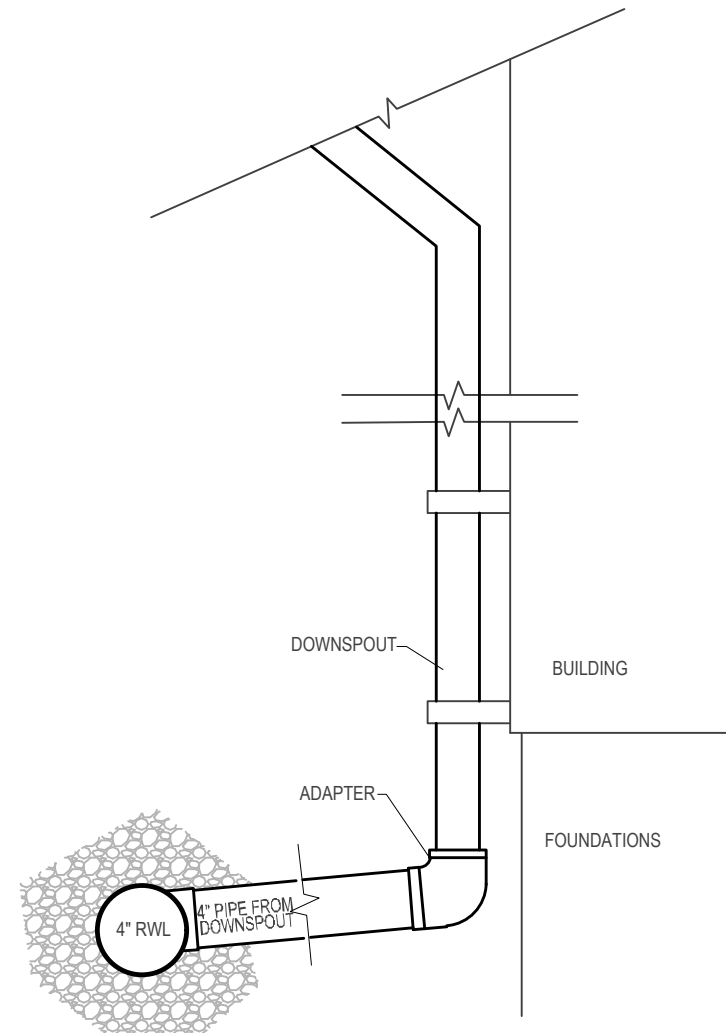
- NOTES:
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 2. DO NOT SCALE DRAWING.
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ROUND SPEED-D BASINS
SQUARE GRATE WITH SPEED-D BASIN

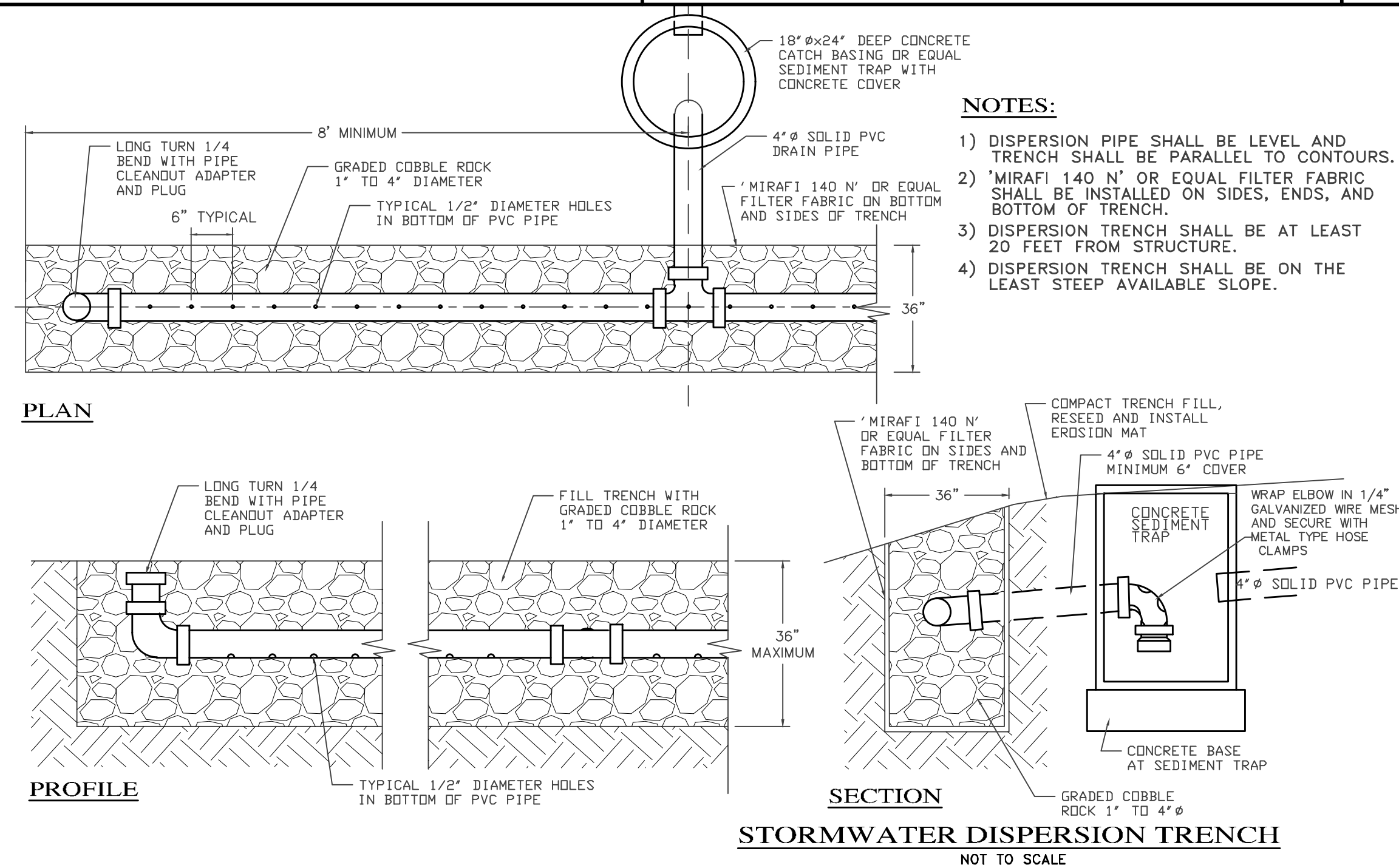


- NOTES:
- 1) MINIMUM LONGITUDINAL SLOPE SHALL BE NOT LESS THAN 1.0%.
 - 2) THE SWALE SHALL BE REVEGETATED WITH A HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER UNTIL GROWTH IS ESTABLISHED.
 - 3) IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO REGULARLY MAINTAIN THE SWALE AS NEEDED FROM EXCESSIVE GROWTH FROM EXCESSIVE GROWTH AND/OR SILTATION.

EARTH DRAINAGE SWALE
NOT TO SCALE

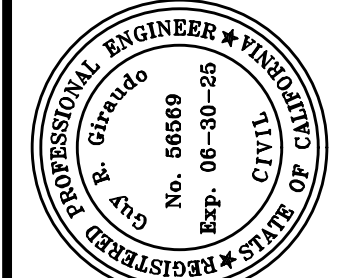


ROOF DOWNSPOUT CONNECTION
NOT TO SCALE



TRENCH SIZE:
IMPERVIOUS AREA OF NEW A.D.U.:
TOTAL AREA = 1,300 SF
COEFFICIENT 'C':
C=1.0
INTENSITY
85TH PERCENTILE = 0.8 IN = 0.067 FT
VOLUME REQ'D
Q=CIA
Q=(1.0)(0.067FT)(1,300 SF) = 87.1 CF
TRENCH VOLUME PROVIDED
VOID RATIO = 0.40
3' WIDE x 2' DEEP x 18LF.
V=((3')(2')(18'))x(0.40) = 43.2 CF
INFILTRATION RATE: 0.5 IN/HR
AREA TO INFILTRATE: 54 SQ.FT.
V=54x(0.04/HR)=2.2 C.F./HR
VOL. INFILTRATED ON 24 HRS.=51.8 C.F.
TOTAL VOLUME PROVIDED = 95.0 C.F.

CALCULATIONS



APPROVED BY:
GUY R. GIRARDO
8/20/23

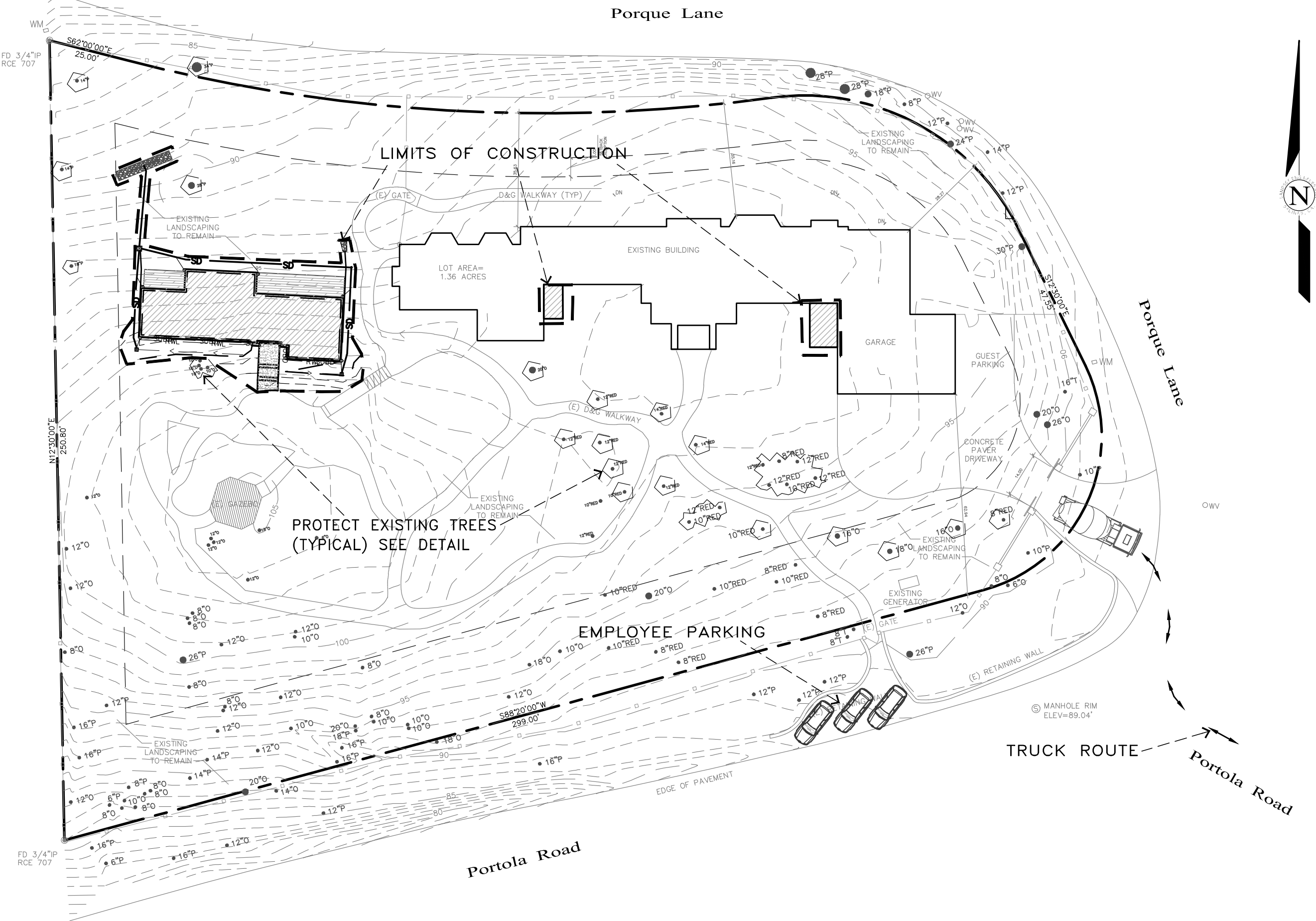


" GRADING SECTIONS, STANDARD PLANS & CONSTRUCTION DETAILS "
GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
OLLE RESIDENCE
A.P.N.: 008-282-005
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. SCOTT & LISA OLLE

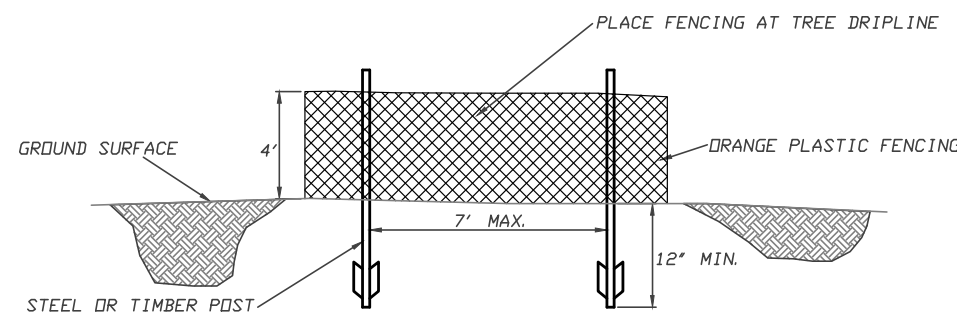
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SHEET C3
OF 5 SHEETS



PLAN
SCALE: 1"=30'



FENCING (ESA) DETAIL
Scale: NTS

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
35 CY CUT
25 CY FILL

CONSTRUCTION STAGING:
DEMOLISH EXISTING HARDSCAPE AND OFFHAUL DEBRIS: EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM MINOR GRADING, CONSTRUCT STRUCTURE ADDITIONS, AND INSTALL UNDERGROUND UTILITIES: EXISTING DRIVEWAY AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW WALKWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON PORTOLA ROAD AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
THE HAUL ROUTE TO THE SITE IS FROM 17 MILE DRIVE TO PORTOLA ROAD. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON PORTOLA ROAD. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN THE PROPOSED PARKING AREA AND IN LEGAL SPACES ALONG PORTOLA ROAD, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

A CONSTRUCTION STAGING PLAN
SCALE: 1"=30'

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	3	2
GRADING & SOIL REMOVAL (EXPORT)	1	1
ENGINEERING MATERIALS (IMPORT)	1	1
TOTALS	5	4

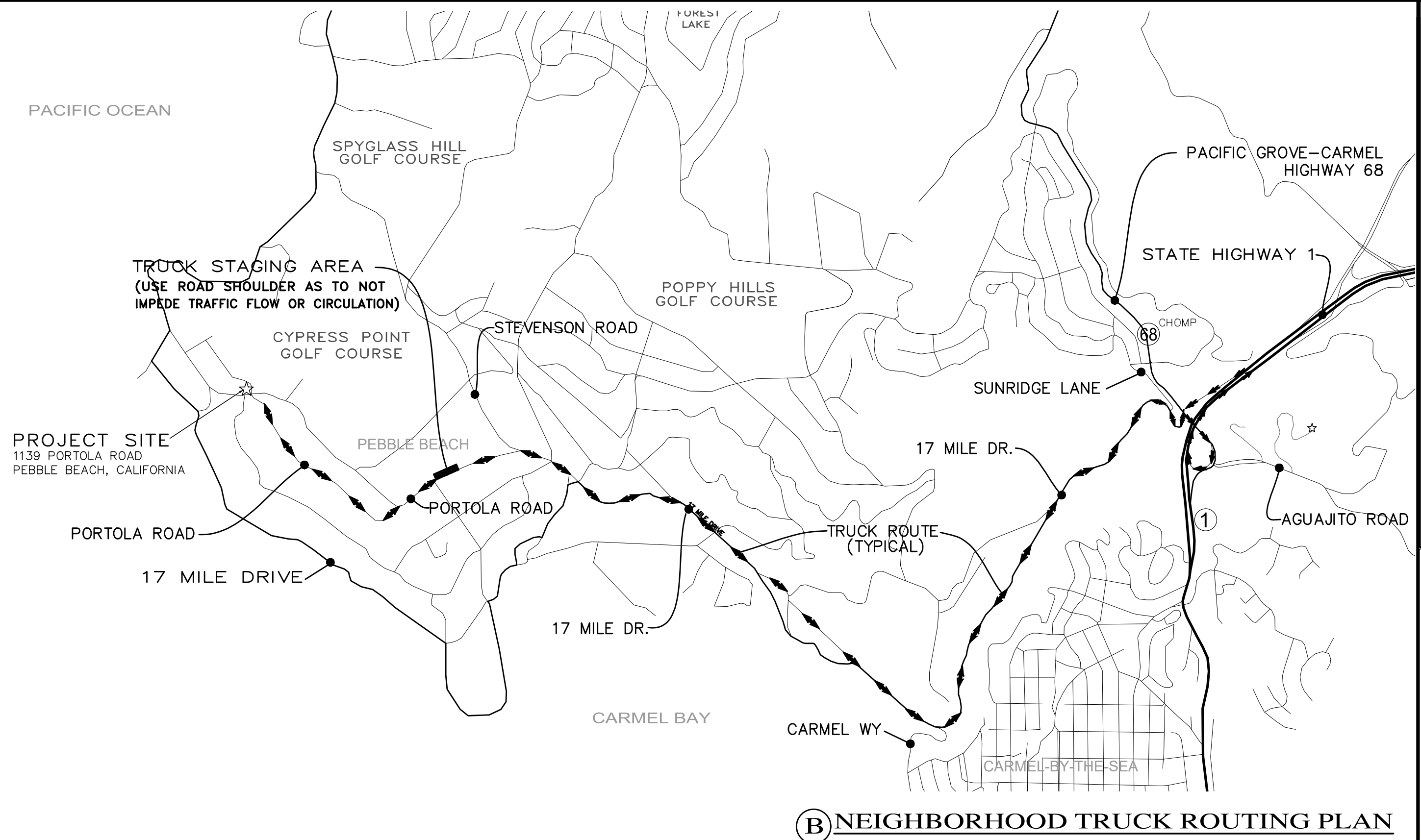
TRUCK TRIP GENERATION NOTES:

- TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 8 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
- THERE ARE 10 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 4 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 50 & 80 CUBIC YARDS.

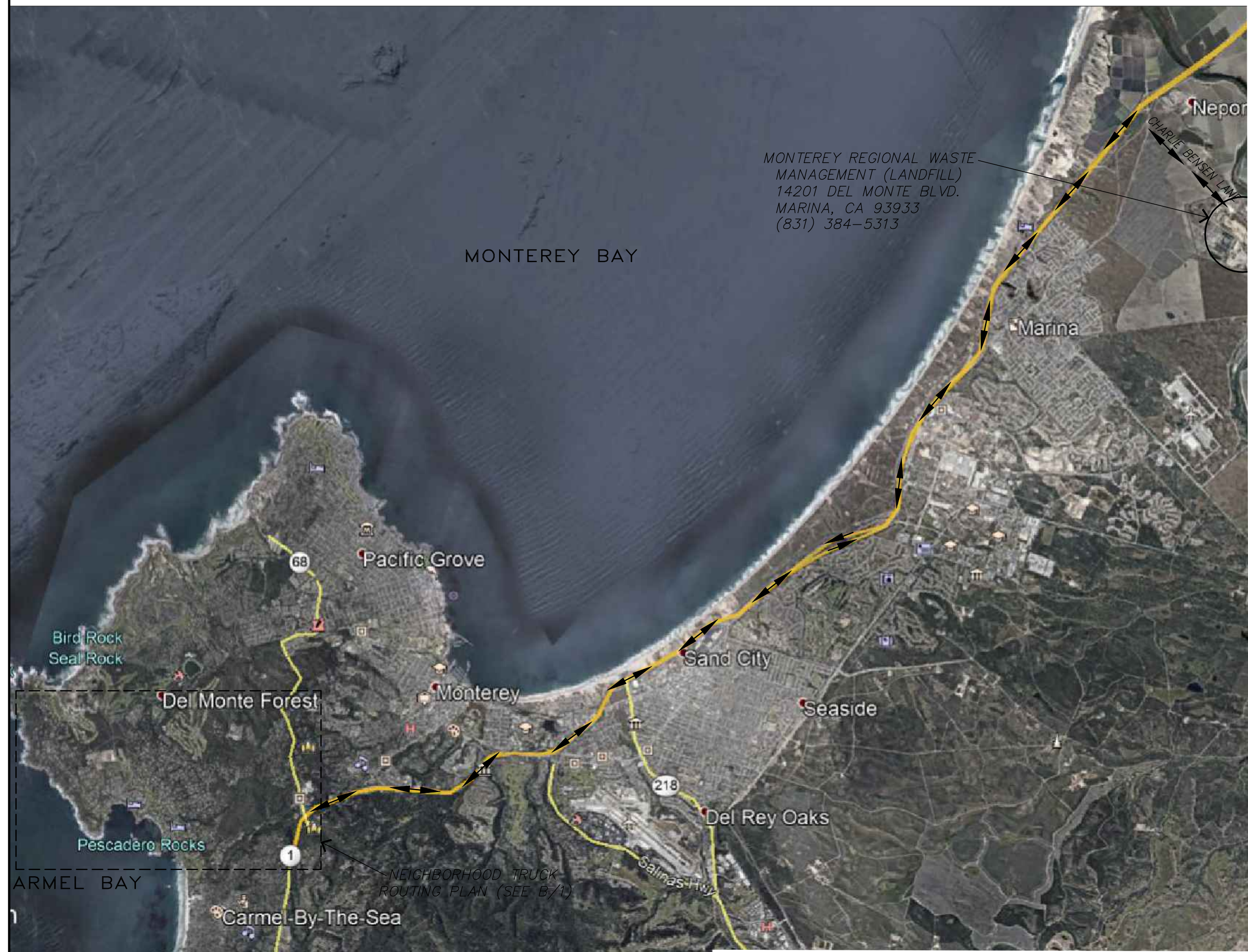
NUMBER OF EMPLOYEES/DAY: 3-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 7 AUGUST 2023, 7 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 10 MONTHS.



B NEIGHBORHOOD TRUCK ROUTING PLAN



C CONSTRUCTION MANAGEMENT PLAN

OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

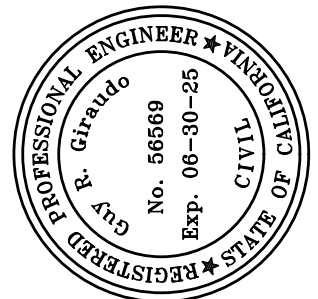
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SHEET C5
OF 5 SHEETS



APPROVED BY:
GUY R. GIRARDO
Professional Engineer



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