

Exhibit B

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Zoning Administrator
in and for the County of Monterey, State of California**

In the matter of the application of:

COSTA DAN J & DENISE L TRS (PLN230303)

RESOLUTION NO. -

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding that the project is for the replacement or reconstruction of a single family dwelling which qualify as a Class 2 Categorical Exemption pursuant to Section 15302 of the CEQA Guidelines; and
- 2) Approving a Design Approval to allow the demolition of a 4,211 square feet single family dwelling and garage and construction of a 3,972 square feet two-story single family dwelling with a 726 square feet two-car garage, new driveway and new landscaping.

[966 Coral Drive, Pebble Beach, Greater Monterey Peninsula Area Plan (APN: 007-255-021-000)]

The Costa Dan J & Denise L Trs application (PLN230303) came on for a public hearing before the Monterey County Zoning Administrator on February 29, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY / HEALTH AND SAFETY / NO VIOLATIONS / SITE SUITABILITY** - The proposed project and/or use, as conditioned, is consistent with the policies of the Monterey County 2010 General Plan, Greater Monterey Peninsula Area Plan, Monterey County Zoning Ordinance (Title 21), and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the development proposed, and no violations exist on the property.
EVIDENCE:
 - a) The proposed project involves demolition of a 4,211 square foot single family dwelling and construction of a 3,972 square foot single family dwelling and a 726 square foot garage.
 - b) The property is located at 966 Coral Drive, Pebble Beach (Assessor's Parcel Number 007-255-021-000), Greater Monterey Peninsula Area Plan. The parcel is zoned Medium Density Residential, with a Building Site, Design Control, and Parking & Use of Major

Recreational Equipment Storage in Seaward zoning overlays (MDR/B-6-D-RES). Development of a single family dwelling is an allowed use pursuant to Monterey County Code Section 21.12.030.A within the MDR zone. The Design Control zoning overlay requires the granting of a Design Approval for the proposed development (see Finding No. 2 below).

- c) The project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Greater Monterey Peninsula; and
 - Monterey County Zoning Ordinance (Title 21)
- d) No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in the applicable documents.
- e) Review of Development Standards. The applicable development standards include special regulations for the Medium Density Residential (MDR) zoning district in the Del Monte Forest area as identified in Monterey County Code (MCC) Section 21.12.070. These standards require special setbacks for the main dwelling of 20 feet (front), 10 feet (rear) and 10 feet for 1st story and 20 feet for 2nd story (sides). The proposed dwelling has setbacks of 20 feet (front), 10 feet (rear), and 10 feet and 10 feet for the 1st story and 20 feet and 20 feet for the 2nd story (sides). Maximum allowed structure height is 27 feet. The proposed maximum height for the single family dwelling is 27 feet. The allowed maximum site coverage in the MDR district is 35 percent and the maximum Floor Area Ratio (FAR) is also 35 percent. The property is 13,500 square feet in size, which would allow site coverage and FAR of 4,726 square feet. The proposed single family dwelling and garage would result in site coverage of 4,699 square feet or 35 percent and FAR of 4,699 square feet or 35%. Therefore, as proposed, the project meets all required development standards.
- f) The project has been reviewed for site suitability by HCD-Planning. The project planner reviewed the application materials and plans, as well as the County's GIS database, to verify that the proposed project on the subject site conforms to the applicable plans, and that the site is suitable for the proposed development. The project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- g) The following technical report has been prepared:
 - Soil Engineering Investigation (LIB240009) prepared by Rock Solid Engineering, Inc., Watsonville, California, October 25, 2023.County staff has independently reviewed this report and concurs with the conclusions.
- h) Necessary public facilities are available. The sewer for the site will be served by Pebble Beach Community Services District and water will be served by Cal-Am. Water Entitlement was purchased through the Pebble Beach Company.

- i) Lot Legality. The subject parcel, Assessor’s Parcel Number (APN) 007-255-021-000, is identified as all of Lot 10 and a portion of Lot 9, in Block 23, as shown and designated on that certain map entitled, “Monterey Peninsula Country Club Subdivision No. 1, Being a Subdivision of Portions of El Pescadero and Point Pinos Ranchos, Monterey County, California”, filed May 4, 1925 in Volume 3, Maps of “Cities and Towns”, at Page 26, in the Office of the County Recorder of the County of Monterey, State of California. As such, it predates the Subdivision Map Act of 1972, and is presumed to have been lawfully created, also, by having been purchased and sold by subsequent owners. It is identified in its current configuration in the 1964 Assessor’s Map, the 1972 Assessor’s Map, and the current Assessor’s Map. Therefore, it is a legal lot of record.
- j) Design. As demonstrated in Finding No. 2 and supporting evidence, the project is consistent with MCC Chapter 21.44.
- k) Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on subject property.
- l) The project planner conducted a site inspection on January 9, 2024, to verify that the proposed project on the subject parcel conforms to the applicable plans and Monterey County Code.
- m) The project was sent to the Del Monte Forest Land Use Advisory Committee (LUAC) for review on January 18, 2023. The LUAC members expressed concern for the proximity of landscaping elements to the proposed structures and advised checking fire codes and revising accordingly. The agent agreed to review the landscaping with the architect and to make any needed adjustments.
- n) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN230303.

2. **FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is compatible with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

- EVIDENCE:**
- a) The Applicant proposes a single family dwelling and an attached garage on a lot that is designated for residential use.
 - b) Pursuant to Chapter 21.44, Title 21 (Zoning Ordinance) of the Monterey County Code (MCC), the project site and surrounding area are subject to the Design Control District (D District), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
 - c) The proposed residence is compatible with the surrounding neighborhood character in terms of size, color, location and mass. The neighborhood consists of one and two-story dwellings ranging from 2,000-6,000 square feet within a one-mile radius. The architectural style of the neighborhood is comprised of various styles ranging from traditional California Craftsman to Spanish Revival. The proposed dwelling incorporates architectural aesthetics of contemporary style. The proposed exterior colors and materials are

consistent with the residential setting. The primary colors and materials include stone and stucco walls, driftwood doors, gates and canopies, and bronze metal roofing.

- e) The project planner conducted a site inspection on January 9, 2024, to verify that the proposed project conforms to the applicable plans and will not adversely impact the neighborhood character.
- f) Based on the evidence described above, the proposed structures and uses are consistent with the surrounding residential neighborhood character (i.e., structural design features, colors, and material finishes). As proposed, the project is compatible with neighborhood character, and assures visual integrity. The project was staked and flagged and staff determined the proposed structure was appropriately sited for the lot. No tree removal has been proposed, there are no slopes in excess of 25%, and the development will not adversely affect resources at the site or be adversely affected by those resources.
- g) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN230303.

3. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15302 categorically exempts replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.
 - b) The subject project consists of the demolition of an existing single family dwelling and replacement with a new single family dwelling. Therefore, the proposed development is consistent with the parameters of CEQA Guidelines Section 15302.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because there is no feature or condition of the project that distinguishes the project from the exempt class. The project does not involve a designated historical resource, a hazardous waste site, or development located near or within view of a scenic highway.
 - d) No adverse environmental effects were identified during staff review of the development application.

4. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE: Pursuant to Section 21.44.040 of the Monterey County Zoning Ordinance (Title 21), appeals to any action taken by an Appropriate Authority pursuant to Chapter 21.44 may be appealed to the Board of Supervisors. The decision of the Board of Supervisors would be final and may not be appealed.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find that the project qualifies as a Class 2 Categorical Exemption pursuant to Section 15302 of the CEQA Guidelines, and none of the exceptions to the exemptions apply; and
- B. Approve a Design Approval to allow the demolition of an existing 4,211 square foot single family dwelling with an attached garage and construction of a 3,972 square foot two-story single family dwelling and 726 square foot two-car garage.

All in general conformance with the attached plans, and subject to the conditions of approval, which are incorporated herein by reference.

PASSED AND ADOPTED this 29th day of February, 2024.

Mike Novo, AICP, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

- 1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230303

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Design Approval permit (PLN230303) allows the demolition of a 4,211 square feet single family dwelling and garage and construction of a 3,972 square feet two-story single family dwelling with a 726 square feet two-car garage, new driveway and new landscaping. The property is located at 966 Coral Drive, Pebble Beach (Assessor's Parcel Number 007-255-021-000), Greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Design Approval (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 007-255-021-000 on February 29, 2024. The permit was granted subject to 6 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PDSP001 - MONTEREY PENINSULA WATER MANAGEMENT DISTRICT - RULE 23 WATER PERMIT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: To ensure there is adequate potable water to serve the development, the owner/applicant shall submit evidence that the project complies Monterey Peninsula Water Management District (MPWMD) Rules 21 and 23. Should the existing water credits for the property be insufficient to serve the development, it shall be the responsibility of the owner/applicant to obtain the additional required water credits (not to exceed 0.50 acre feet per year) from the Pebble Beach Company or modify the project and reduce the development to meet the capacity allowed by the existing water credits, prior to building or grading permit issuance. If the development is modified or if water demand exceeds 0.50 acre feet per year, the owner/applicant shall obtain the appropriate permits to amend approval of PLN230303. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building or grading permits, the owner/applicant shall comply with MPWMD Rule 21.B and submit a completed Monterey Peninsula Water Management District Residential Water Release From and Water Permit Application as part of their building or grading permit application to HCD-Building Services.

Prior to issuance of building or permits, the owner/applicant shall obtain a Water Permit for the development in accordance with MPWMD Rule 23.

5. CONSTRUCTION FENCING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to the issuance of the building permits, Applicant shall install temporary construction fencing at the rear of the property to avoid construction activity from encroaching onto Monterey Peninsula Country Club's (MPCC) property.

Compliance or Monitoring Action to be Performed: Prior to the issuance of the building permits, Applicant shall demonstrate and provide evidence that the temporary construction fencing has been placed at the rear of the property. (HCD Planning)

6. PD041 – HEIGHT VERIFICATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.



COSTA RESIDENCE

PEBBLE BEACH, CALIFORNIA

ARCHITECT
EVAN ZEFF ARCHITECTURE
1518 K STREET
MODESTO, CA 95354
PHONE: (209) 572-4436
FAX: (209) 572-4436

PROJECT NAME: **COSTA RESIDENCE**
PROJECT ADDRESS: **966 CORAL DRIVE
PEBBLE BEACH, CA 93953**

ABBREVIATIONS

ACCES	ACCESSORY	GFRG	GLASS FIBER REINFORCED CONCRETE	PNL	PANEL
ACOUS	ACOUSTIC(AL)			POLYST	POLYSTYRENE
AFF	ABOVE FINISHED FLOOR	GFRG	GLASS FIBER REINFORCED GYPSUM	PORT	PORTABLE
AL	ALUMINUM	GFRP	GLASS FIBER REINFORCED PLASTER	PREFAB	PREFABRICATED
ALT	ALTERNATE	GL	GLASS	PREFIN	PREFINISHED
ANOD	ANODIZED	GR	GRAD(E)(I)NG	PRTECN	PROTECTION
APPL	APPLIANCE	GR	GYPSUM	PTN	PARTITION
AUTO	AUTOMATIC	GYP	GYPSUM	RDR	READER
AVG	AVERAGE	HD	HEAD	RECES	RECESS(ED)
BD	BOARD	HDWD	HARDWOOD	RECPT	RECEPTACLE
BLDG	BUILDING	HM	HOLLOW METAL	REF	REFER(ENCE)
BLKG	BLOCKING	HORIZ	HORIZONTAL	REFL	REFLECTED
BRDLM	BROADLOOM	HP	HIGH POINT	REFR	REFRIGERATOR
CAB	CABINET	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	REQD	REQUIRED
CEM	CEMENT(ITIOUS)	INFILTR	INFILTRATION	RESIS	RESIST(ANT)(IVE)
CER	CERAMIC	INFO	INFORMATION	RFG	ROOFING
CLG	CEILING	INSTRUM	INSTRUMENT(ATION)	RM	ROOM
CMU	CONCRETE MASONRY UNIT	INSUL	INSULATION	RN	ROUGH OPENING
COATG	COATING	INT	INTERIOR	RO	ROUGH OPENING
COILG	COILING	INTLK	INTERLOCK(ING)	SCR	SCRIBE
CONC	CONCRETE	JAN	JANITOR	SF	SECURITY
CONSTR	CONSTRUCTION	JANITR	JANITORY	SGL	SINGLE
CONT	CONTINUOUS(ATION)	KB	KITCHEN	SHORG	SHORING
CONTR	CONTRACT(OR)	LAV	LAVATORY	SIM	SIMILAR
COV	COVER	LB	POUND	SST	STAINLESS STEEL
CPT	CARPET	LL	LEASE LINE	STD	STANDARD
DBL	DOUBLE	LOUVER	LOUVER	STL	STEEL
DES	DESIGN(ED)	LP	LOW POINT	STRFR	STOREFRONT
DET	DETAIL	LT	LIGHT	STRUCT	STRUCTURAL
DIA	DIAMETER	LVLG	LEVELING	SURF	SURFACE
DIFF	DIFFUSER	MAX	MAXIMUM	SUSP	SUSPENDED
DIM	DIMENSION	MECH	MECHANICAL	SYS	SYSTEM(S)
DISP	DISPENSER	MEMB	MEMBRANE	T&G	TONGUE AND GROOVE
DIV	DIVISION	MET	METAL	THK	THICK
DN	DOWN	MEZZ	MEZZANINE	TLT	TOILET
DR	DOOR	MFD	MANUFACTURED	TOS	TOP OF STEEL
DSCON	DISCONNECT	MFR	MANUFACTURER	TRAF	TRAFFIC
DWR	DRAWER	MIN	MINIMUM	TRANS	TRANSPARENT
(E)	EXISTING	MISC	MISCELLANEOUS	TRTD	TREATED
ELAST	ELASTOMERIC	MLWK	MILLWORK	TYP	TYPICAL
ELEC	ELECTRICAL	MOIST	MOISTURE	UNDRLY	UNDERLAYMENT
EMBED	EMBEDD(ED)(I)NG	MOT	MOTOR(IZED)	UON	UNLESS OTHERWISE
ENTR	ENTRANCE	MTD	MOUNTED	UTL	UTILITY
EQ	EQUAL	NIC	NOT IN CONTRACT	VEH	VEHICLE
EQUIP	EQUIPMENT	NO	NUMBER	VERT	VERTICLE
EXPS	EXPOSE(D)	NTS	NOT TO SCALE	VIF	VERIFY IN FIELD
EXT	EXTERIOR	OCC	OCCUPANT	W/	WITH
FAB	FABRICATION	OH	OPPOSITE HAND	W/O	WITHOUT
FD	FLOOR DRAIN	OPNG	OPENING(S)	WC	WATER CLOSET
FIN	FINISH	OPR	OPERABLE	WD	WOOD
FLDG	FOLDING	ORNA	ORNAMENTAL	WDW	WINDOW
FLR	FLOOR(ING)	OVFL	OVERFLOW	WT	WEIGHT
FPLC	FIREPLACE	OVHD	OVERHEAD	WTRPRF	WATERPROOFING
FR	FIRE RAT(ING)(ED)	PBD	PARTICLE BOARD		
FRMG	FRAMING	PEDTR	PEDESTRIAN		
FURN	FURNITURE	PLAM	PLASTIC LAMINATE		
FXD	FIXED	PLAS	PLASTER		
FXTR	FIXTURE	PLSTC	PLASTIC		
GA	GAUGE	PLYWD	PLYWOOD		

GENERAL NOTES

- THESE DRAWINGS ARE THE PROPERTY OF EVAN ZEFF ARCHITECT, THEY SHALL NOT BE USED ON ANY JOB OTHER THAN THAT FOR WHICH THEY WERE INTENDED WITHOUT THE EXPRESS WRITTEN AGREEMENT.
- EVAN ZEFF ARCHITECT, ASSUME NO RESPONSIBILITY FOR THE QUALITY OF WORK AND MATERIALS, METHODS OF CONSTRUCTION, OR TIMELINESS IN PERFORMANCE OF WORK AT THE JOB SITE.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE FEATURES OF THE SITE AND THESE DRAWINGS PRIOR TO BEGINNING ANY WORK. IT IS UNDERSTOOD THAT THESE DRAWINGS ARE DIAGRAMMATIC AND THAT, AS SUCH, "ALL" DIMENSIONS ARE TO BE FIELD VERIFIED.
- THE OWNER AND CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THESE DOCUMENTS, ANY ERRORS, OMISSIONS OR CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM PRIOR TO COMMENCEMENT OF WORK.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM PRIOR TO COMMENCEMENT OF WORK.
- ALL MATERIALS AND FIXTURES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, UNLESS OTHERWISE SPECIFIED.
- ALL WORK SHALL BE FIRST QUALITY, PERFORMED IN A WORKMANLIKE MANNER, AND IN KEEPING WITH ACCEPTED BUILDING PRACTICES.
- ALL WORK SHALL CONFORM TO ALL REQUIREMENTS OF THE CURRENT BUILDING AND RESIDENTIAL CODES AND STANISLAUS COUNTY.
- ARCHITECT, PROJECT MANAGER AND THE OWNER SHALL NOT BE RESPONSIBLE FOR ANY COST INCURRED DUE TO THE NEGLIGENCE OF THE CONTRACTOR.
- REFER TO SHEET A0.2 FOR GENERAL CODE REFERENCE.

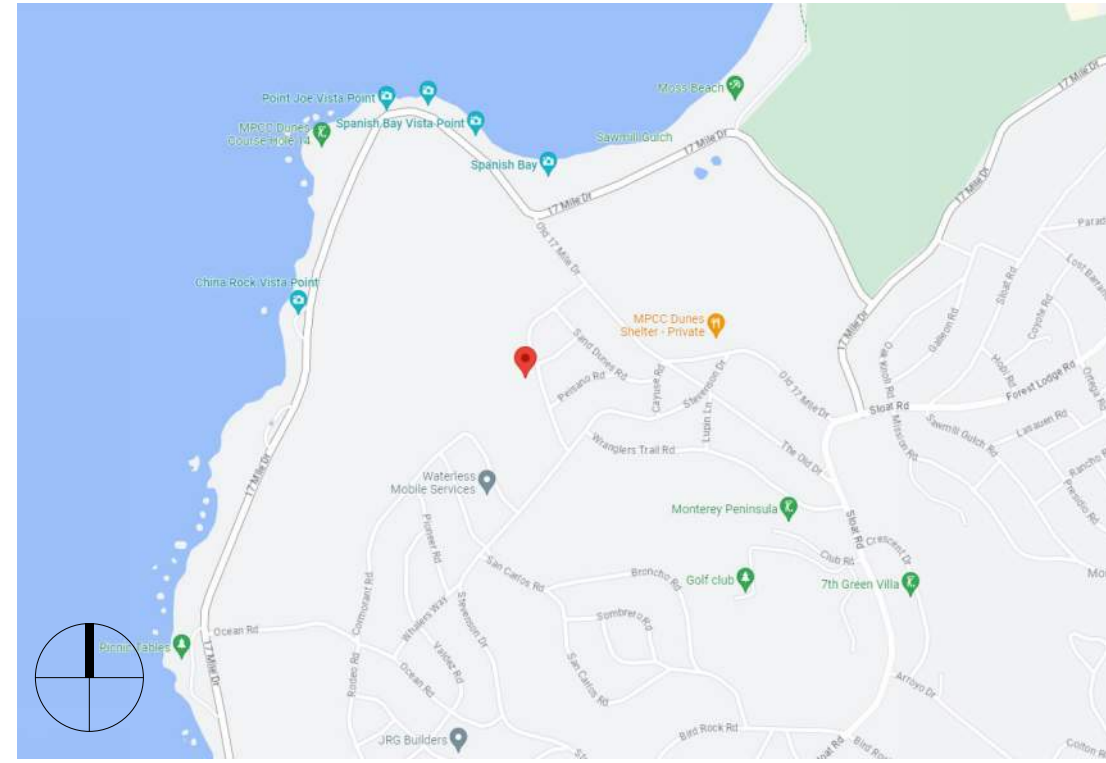
ELECTRICAL PLAN

- THE ELECTRICAL LAYOUT SHOWN IS REFLECTING THE PROPOSED ELECTRICAL IMPROVEMENTS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO APPLY AND COMPLY WITH CURRENT SAFETY, ENERGY AND ELECTRICAL CODE REQUIREMENTS.
- ELECTRICAL CONTRACTOR SHALL PROVIDED ALL ELECTRICAL LOAD CALCULATIONS. (IF NECESSARY)

MECHANICAL AND PLUMBING SYSTEM

- ALL MECHANICAL AND PLUMBING SYSTEMS ARE DESIGN-BUILD. DESIGN-BUILD CONTRACTOR SHALL BE RESPONSIBLE TO APPLY AND COMPLY WITH CURRENT MECHANICAL AND PLUMBING CODE.
- ALL PLUMBING SYSTEMS SHALL BE COMPLY WITH THE CURRENT PLUMBING CODE AND THE 2019 CALGREEN BUILDING CODE.
- SEE SHEET A0.2 FOR CALGREEN NOTES AND PLUMBING NOTES

VICINITY MAP



AERIAL MAP



DEFERRED SUBMITTALS

SUBMITTAL DOCUMENTS FOR DEFERRED ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN & SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

ITEMS TO HAVE DEFERRED SUBMITTAL INCLUDE:

- N/A

PROJECT INFORMATION

PROJECT ADDRESS:	966 CORAL DRIVE PEBBLE BEACH, CALIFORNIA 93953
ASSESSOR'S PARCEL NUMBER:	007-255-021
COMMUNITY:	PEBBLE BEACH
PLANNING AREA:	GREATER MONTEREY PENINSULA
ZONING:	MDR/B-6-D-RES O-D-S-RES
LAND USE ADVISORY COMMITTEE:	DEL MONTE FOREST ADVISORY
WATER MNGMNT AGENCY:	MPWMD
FIRE DISTRICT:	PEBBLE BEACH CSD
BUILDING USE:	RESIDENCE
STORIES:	2-STORY
CONSTRUCTION TYPE:	TYPE VB (SPRINKLERED)
OCCUPANCY GROUP:	R-3 SINGLE FAMILY DWELLING
PROPOSED BUILDING HEIGHT:	27'-0"
LOT SIZE:	13,500 SQ.FT. (0.31 ACRES)
BUILDING SETBACKS:	FRONT: 20 FT. SIDES: 5 FT. / 15 FT. REAR: 30 FT.
ALLOWABLE HEIGHT:	27' MAX.
ALLOWABLE LOT COVERAGE:	35% MAX.
ALLOWABLE FLOOR AREA RATIO:	35% MAX.

AREA ANALYSIS

FLOOR AREA RATIO	ALLOWED 35% X 13,500 :	4,725 SQ.FT.
TOTAL 1st FLOOR LIVING SPACE (CONDITIONED):		2,178 SQ.FT.
TOTAL 2nd FLOOR LIVING SPACE (CONDITIONED):		1,795 SQ.FT.
	GARAGE:	726 SQ.FT.
TOTAL FLOOR AREA:		4,699 SQ.FT.
TOTAL LOT AREA:		13,500 SQ.FT.
FLOOR AREA RATIO:		34.8% (COMPLIES)

LOT COVERAGE	ALLOWED 35% X 13,500 :	4,725 SQ.FT.
	BUILDING COVERAGE:	2,904 SQ.FT.
	PAVED AREAS:	1,588 SQ.FT.
TOTAL LOT COVERAGE:		4,492 SQ.FT.
TOTAL LOT AREA:		13,500 SQ.FT.
LOT COVERAGE PERCENTAGE:		32.2% (COMPLIES)

SHEET INDEX

ARCHITECTURAL	
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A5.1	ELEVATIONS
A5.2	ELEVATIONS
A6.1	PROJECT RENDERINGS
A6.2	PROPOSED FINISHES

CONTACTS

ARCHITECT EVAN ZEFF ARCHITECTURE 1518 K STREET MODESTO, CA 95354 PHONE: (209) 604-8496 CONTACT: EVAN ZEFF	OWNER DAN AND DENISE COSTA 966 CORAL RDIVE PEBBLE BEACH, CA 93953
STRUCTURAL ENGINEER MOZAFFARI ENGINEERING 1504 F STREET MODESTO, CA 95354 PHONE: (209) 572-4430 FAX: (209) 572-4436 CONTACT: ANDRE MOZAFFARI	AGENT PERMIT FACILITATION AND MANAGEMENT 16 LAURELL DRIVE CARMEL, CA 93924 CONTACT: BRITNEY SCHOLOSS

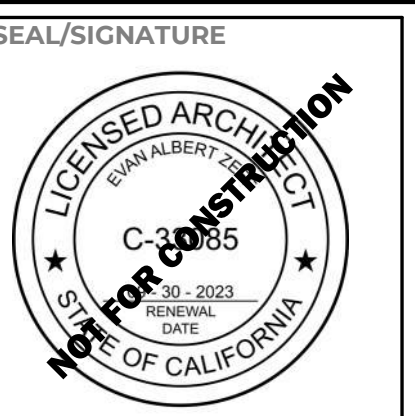
CODE AUTHORITY

2022 CALIFORNIA RESIDENTIAL BUILDING CODE;
2022 CALIFORNIA BUILDING CODE;
2022 CALIFORNIA MECHANICAL CODE;
2022 CALIFORNIA PLUMBING CODE;
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA FIRE CODE
2022 ENERGY CODE & T-24 (SEE TITLE 8 CCR);
2022 (CALGreen) CALIFORNIA GREEN BUILDING STANDARDS;

CONDITIONS OF APPROVAL

DEL MONTE FOREST ARCHITECTURAL REVIEW BOARD CONDITIONS OF APPROVAL

- NO NATIVE TREES SHALL BE REMOVED WITHOUT ISSUANCE OF A TREE REMOVAL PERMIT FROM PEBBLE BEACH COMPANY AND ANY NATIVE TREES REMOVED SHALL BE REPLACED/MITIGATED WITH AN APPROVED REPLANTING PLAN USING NATIVE ENDEMIC TREES SUCH AS COSTAL LIVE OAK OR MONTEREY CYPRESS/PINE.
- FINAL REVIEW OF ACTUAL PAINT/STAIN ON STRUCTURE TO BE STAFF APPROVED.
- ALL DRAINAGE SHALL BE CONTAINED ON-SITE AND ANY DRAINAGE WHICH ADVERSELY AFFECTS NEIGHBORING PROPERTIES OR THE PEBBLE BEACH COMPANY ROAD RIGHT-OF-WAY SHALL BE ADDRESSED AND REMEDIED BY THE APPLICANT, THIS INCLUDES ALL SUMP PUMPS. ALL DRIVEWAY CONNECTIONS TO THE PEBBLE BEACH COMPANY ROAD RIGHT-OF-WAY SHALL BE ASPHALT AND SHALL BE MAINTAINED BY THE APPLICANT.



SET ISSUE DATES

##.##.## - ISSUE FOR ..

REVISIONS

#	DATE	DESCRIPTION
1	12/13/23	PLANNING RESPONSE

DRAWN BY: M.H.

CHECKED BY: E.Z.

PROJECT #: 23_08

SHEET ISSUE DATE: 12/13/23

TITLE

COVER SHEET

SHEET NO.

A0.1

SCALE:



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

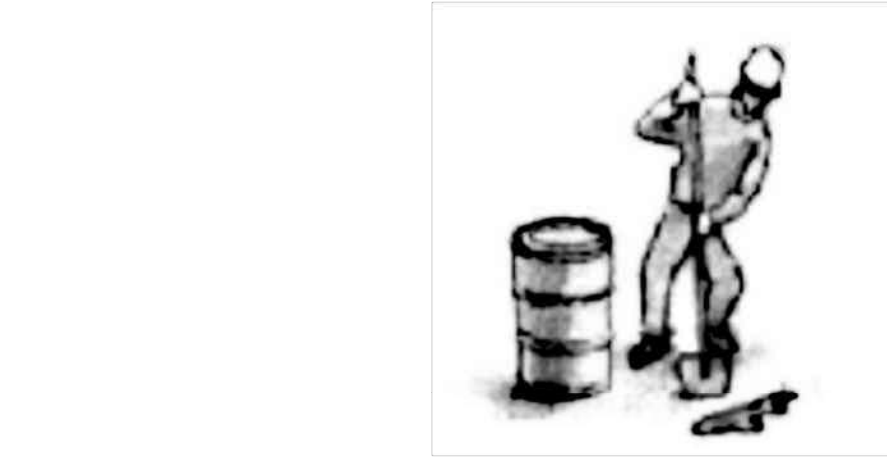
Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.

- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Waste Management

- The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the project.
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).



EQUIPMENT MANAGEMENT & SPILL CONTROL

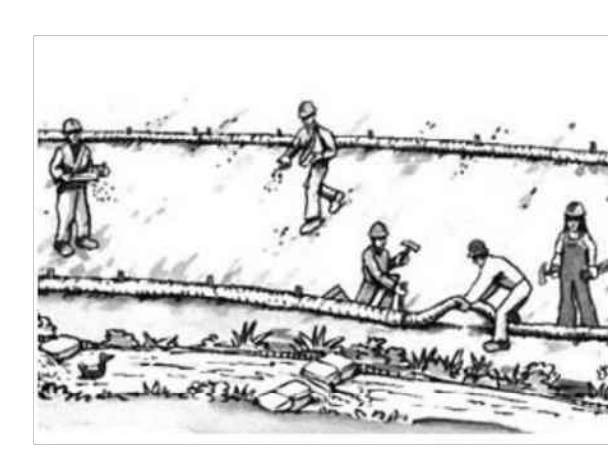
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

- Inlet protection is the last line of spill defense. Drains/inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.

Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.



EARTHWORK & CONTAMINATED SOILS

Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filler, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.
- If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
 - Unusual soil conditions, discoloration, or odor
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.

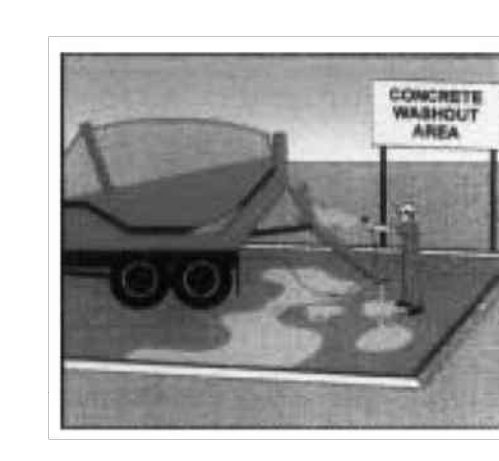


PAVING/ASPHALT WORK

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt or concrete pavement.

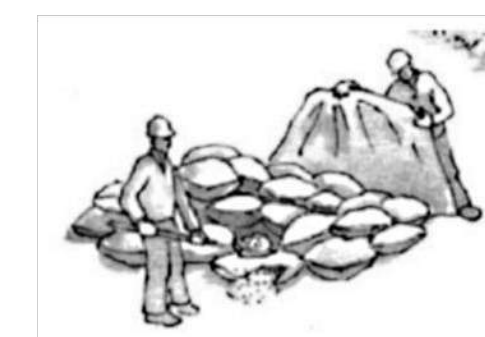
Sawcutting & Asphalt/Concrete Removal

- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.



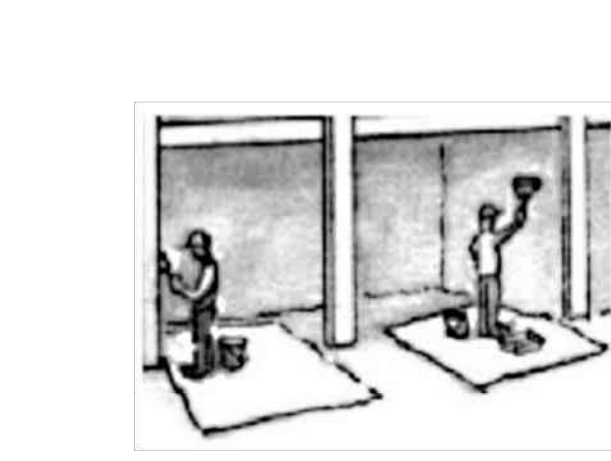
CONCRETE, GROUT & MORTAR APPLICATION

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



LANDSCAPE MATERIALS

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



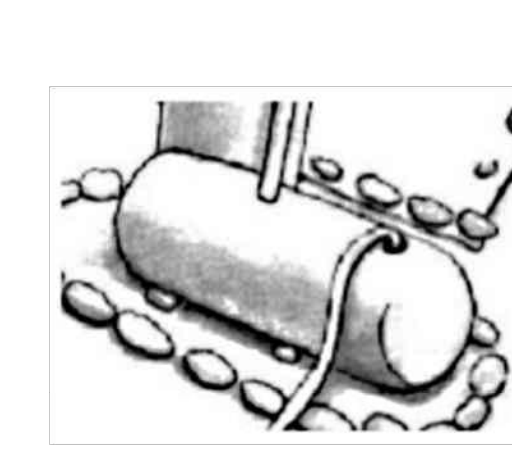
PAINTING & PAINT REMOVAL

Painting cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

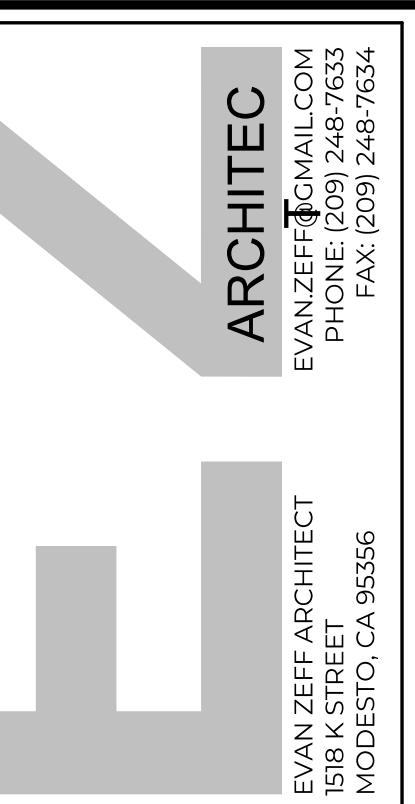
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



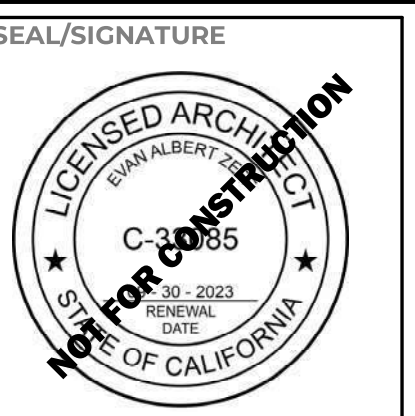
DEWATERING

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
- Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!



PROJECT NAME: **COSTA RESIDENCE**
 PROJECT ADDRESS: **966 CORAL DRIVE PEBBLE BEACH, CA 93953**



SET ISSUE DATES	
##.##.##	ISSUE FOR ..

REVISIONS		
#	DATE	DESCRIPTION

DRAWN BY: M.H.
 CHECKED BY: E.Z.
 PROJECT #: 23_08
 SHEET ISSUE DATE: 10/10/23

TITLE
BEST MANAGEMENT PRACTICES

SHEET NO.
A0.2
 SCALE:

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program



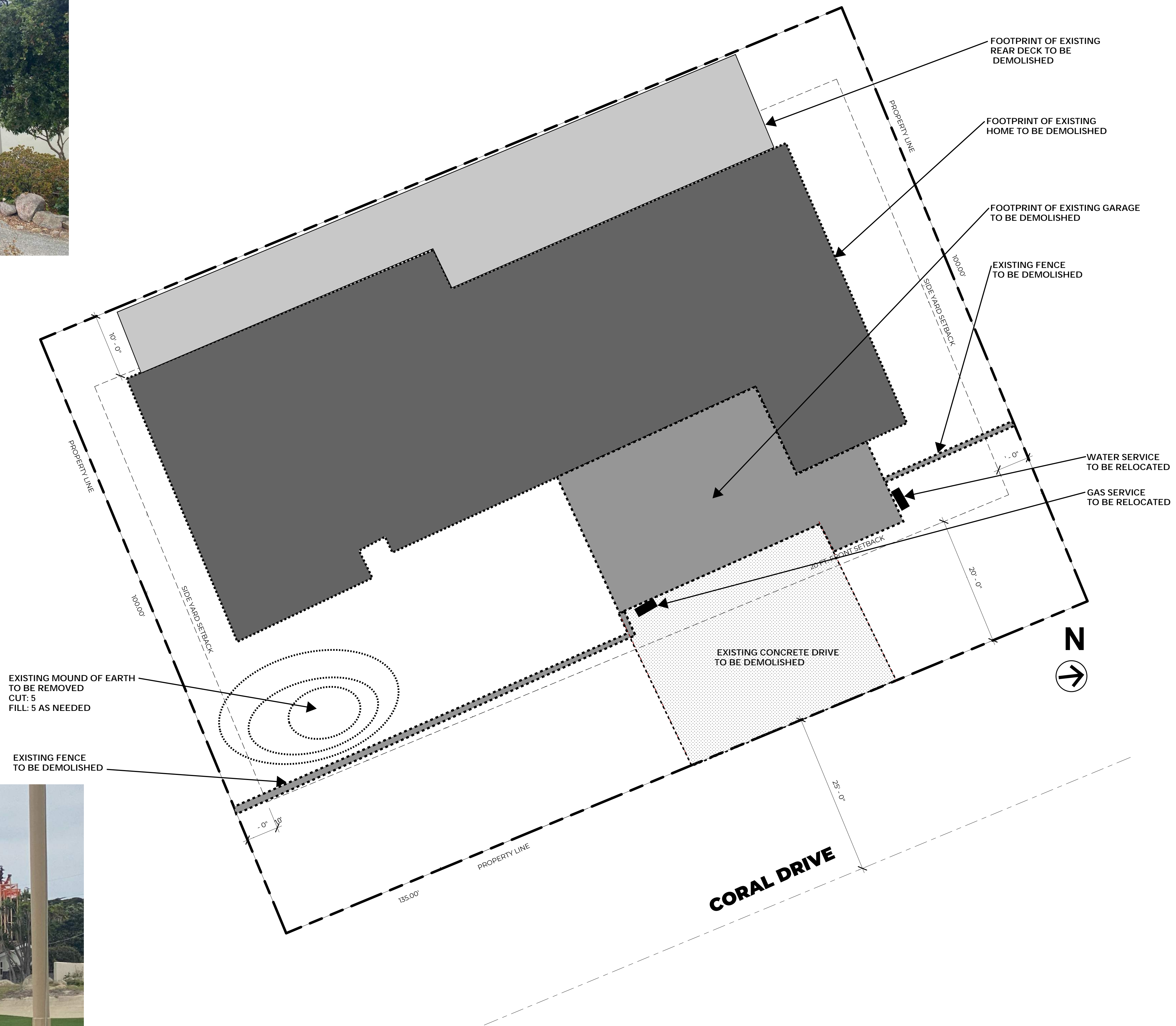
EXISTING STREET VIEW / FRONT ELEVATION



EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



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COSTA RESIDENCE
 PROJECT ADDRESS:
 966 CORAL DRIVE
 PEBBLE BEACH, CA 93953

SEAL/SIGNATURE

 FOR CONSTRUCTION

SET ISSUE DATES

##.##.## - ISSUE FOR ..

REVISIONS

#	DATE	DESCRIPTION

DRAWN BY: M.H.
 CHECKED BY: E.Z.
 PROJECT #: 23_08
 SHEET ISSUE DATE: 09/06/23

TITLE
EXISTING / DEMOLITION SITE PLAN

SHEET NO.
A1.0
 SCALE: 1/8" = 1'-0"

GENERAL SITE GRADING NOTES

CONSTRUCTION WASTE REDUCTION DISPOSAL AND RECYCLING
(CONSTRUCTION MATERIALS) CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR AND APPLY 2022 CalGreen 4.408.1

- A. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
- B. ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
- C. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
- D. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

CONSTRUCTION WASTE MANAGEMENT CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR AND APPLY 2022 CalGreen 4.408.2

- A. DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
- B. SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
- C. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
- D. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
- E. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
- F. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
- G. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
- H. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY; AND CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

VEHICLE STORAGE AND MAINTENANCE

- A. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATER.
- B. ALL EQUIPMENT OR VEHICLES TO BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
- C. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

LANDSCAPE MATERIAL NOTES

- A. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOP SOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
- B. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
- C. DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
- D. APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
- E. STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

IB Roof Systems **PVC MEMBRANE**
COLOR SELECTION AND RATING GUIDE

WHITE		BRONZE	
Solar Reflectance	0.870	Solar Reflectance	0.079
Thermal Emittance	0.88	Thermal Emittance	0.87
SRI Value Initial	110	SRI Value Initial	2
SRI Value 3-Year Aged	91	SRI Value 3-Year Aged	N/A
LRV	94.3	LRV	7.2

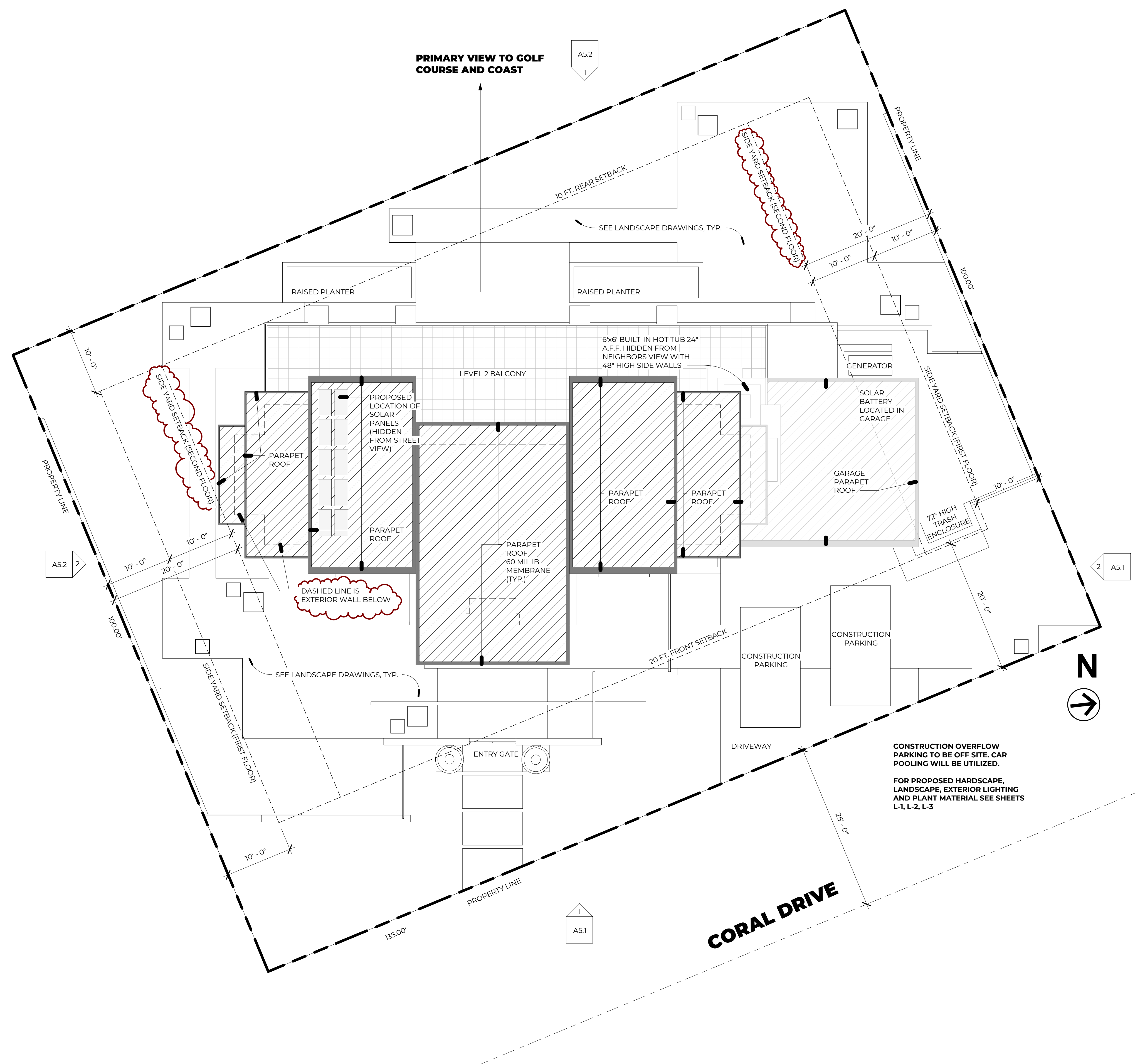
COOLSTONE		GRAY	
Solar Reflectance	0.77	Solar Reflectance	0.163
Thermal Emittance	0.87	Thermal Emittance	0.88
SRI Value Initial	95	SRI Value Initial	13
SRI Value 3-Year Aged	75	SRI Value 3-Year Aged	N/A
LRV	N/A	LRV	18.1

COOLSAND		TAN	
Solar Reflectance	0.77	Solar Reflectance	0.366
Thermal Emittance	0.87	Thermal Emittance	0.87
SRI Value Initial	95	SRI Value Initial	39
SRI Value 3-Year Aged	78	SRI Value 3-Year Aged	N/A
LRV	69.7	LRV	30.2

For more information about IB membrane specifications and details please visit ibroof.com. Colors as shown are for illustration purposes. Please refer to an actual sample for full color consideration. Request a sample online at www.ibroof.com/samples-and-literature/



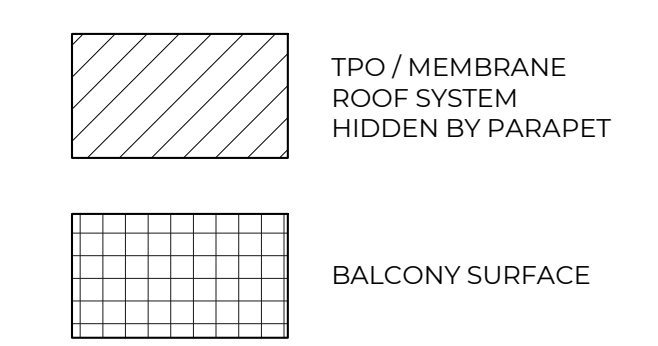
800.426.1626
ibroof.com



KEY NOTES

1. PROVIDE AN APPROVED ILLUMINATED NUMBERS OR ADDRESSES, PLACED IN SUCH POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET. THIS MAY NECESSITATE PLACING ADDRESS NUMBER AT THE DRIVEWAY ENTRANCE TO THE PROPERTY. NUMBERS SHALL CONTRAST WHIT THEIR BACKGROUND. PER C.F.C. 505 (TO BE FIELD VERIFY)
2. THERE SHALL BE LANDING IN ALL EXTERIOR DOOR. (SEE LANDSCAPE DESIGN) THE WIDTH SHALL NOT BE LESS THAN THE DOOR SERVED & 36" MIN. CONCRETE LANDING IN DIRECTION OF TRAVEL.
 - A. THE SLOPE FOR DRAINAGE 1/4:12 MIN.(2 % MAX.) 2019 C.R.C. 311.3.
 - B. LANDING OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THRESHOLD.
 - C. DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD. 2019 C.R.C. R 11.3.1 EXCEPTION & R 11.3.3
 - D. DOORS DOES NOT SWING OVER THE LANDING OR FLOOR. 2019 C.R.C. R11.3.1 EXCEPTION & R11.3.3
3. UNDERGROUND UTILITIES; GENERAL CONTRACTOR TO VERIFY LOCATION.
4. ALL FENESTRATION SHALL COMPLY W/ TITLE 24 ENERGY CALCULATIONS REGARDING ENERGY.
5. CONTRACTOR SHALL READ BECOME FAMILIAR AND APPLY 2022 CALIFORNIA GREEN CODE REQUIREMENTS SHEET A01 SECTIONS 4.106.2, 4.106.3 AND 4.408, 4.408.1, 4.408.2.
 - A. SEE HOUSE KEEPING REQUIREMENTS ON THIS SHEET BY OTHERS
6. DRIVEWAY, SEE LANDSCAPE DESIGN BY OTHERS

LEGEND



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COSTA RESIDENCE
PROJECT ADDRESS:
966 CORAL DRIVE
PEBBLE BEACH, CA 93953

SEAL/SIGNATURE
LICENCED ARCHITECT
EVAN ZIEFF
C-10885
ARCHITECT
STATE OF CALIFORNIA

SET ISSUE DATES
##.##.## - ISSUE FOR ..

REVISIONS		
#	DATE	DESCRIPTION
1	12/13/23	PLANNING RESPONSE

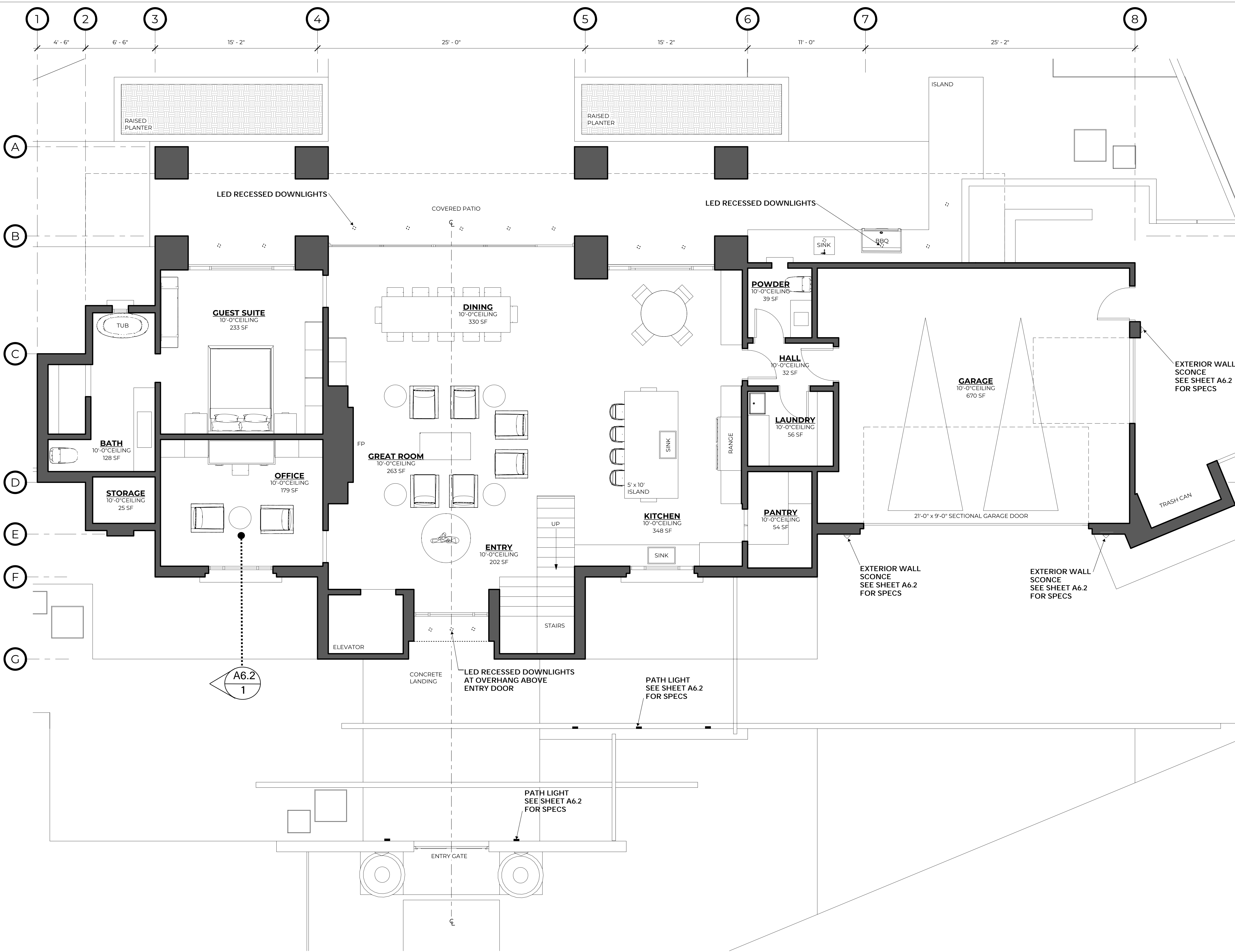
DRAWN BY: M.H.
CHECKED BY: E.Z.
PROJECT #: 23_08
SHEET ISSUE DATE: 12/13/23

TITLE
SITE PLAN

SHEET NO.
A1.1
SCALE: As indicated

GENERAL NOTES

- A. ALL EXTERIOR CONCRETE LANDINGS TO BE 1" BELOW FLOOR. SLOPE FOR DRAINAGE 1/8 :12 MIN. (36")
- B. WEEP SCREED CLEARANCES (4" MIN. ABOVE DIRT, 2" AT PAVED AREAS), AND PROVIDE TWO LAYERS OF BUILDINGS PAPER WHERE STUCCO IS INSTALLED OVER WOOD SHEATHING.



KEY NOTES

INTERIOR WALLS: 2"x6" D.F. WOOD AT 1'-4" O.C. W/ 2"x6" P.T. WOOD SILL PLATE AND DOUBLE PLATE ON TOP, WITH 5/8" TYPE "X" G.W.B. EACH SIDE.

NEW EXTERIOR WALLS: 2"x6" D.F. WOOD STUDS AT 1'-4" O.C. W/ 2"x6" P.T. SILL PLATE AND DOUBLE PLATE ON TOP, WITH 5/8" G.W.B. INTERIOR SIDE, OVER 2 LAYERS GRADE "D" PAPER LAPPED TO DRAIN.

GENERAL NOTES

A. ALL EXTERIOR CONCRETE LANDINGS TO BE 1" BELOW FLOOR, SLOPE FOR DRAINAGE 1/8" - 12 MIN. (36")

B. WINDOWS SHALL COMPLY WITH TITLE 24 CALCS. REGARDING ENERGY. PROVIDE DRAFT STOPPING AS REQUIRED PER CRC 2022

C. PROVIDE STRAPPING OF FACTORY BUILT CHIMNEYS & FLUE CHASES AT FLOORS AND ROOF PER 2022 CRC. WEEP SCREED CLEARANCES (4" MIN. ABOVE DIRT, 2" AT PAVED AREAS), AND PROVIDE TWO LAYERS OF BUILDINGS PAPER WHERE STUCCO IS INSTALLED OVER WOOD SHEATHING.

D. PROVIDE G.I. PAN FOR WASHER & DRYER. DRAIN TO OUTSIDE.

E. WATER CLOSET 16 GALLON PER FLUSH. ALL GLASS DOORS TO BE TEMPERED.

F. ALL APPLIANCES AND FIXTURES TO BE SELECTED BY OWNER.

G. PROVIDE SHOWERS AND TUB - SHOWER COMBINATION WITH CONTROL VALVES OF PRESSURE BALANCE OR THERMOSTATIC MIXING PER 2022 CRC SECTION 418.

H. WINDOW(S) IN SLEEPING ROOM (S) SHALL HAVE A NET OPENABLE AREA OF 5 SQ.FT. THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20" AND THE MIN. NET OPENABLE HEIGHT DIM. SHALL BE 24". THE FINISHED SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR. PROVIDE AN ACCESS OPENING TO THE ATTIC SPACE CAPABLE OF ACCOMMODATING THE LARGEST PIECES OF THE EQUIPMENT BUT NOT SMALLER THAN 20"x30"x30" HIGH CLEAR.

I. SHOWER COMPARTMENTS AND WALLS ABOVE TUBS/TUBS INSTALLED WITH SHOWERS HEADS SHALL BE FINISH WITH 6 HIGH MINIMUM TILE OR SMOOTH NO. ABSORBENT SURFACE ON AN APPROVED MOISTURE RESISTANT BANCKER (MOISTURE RESISTANT GYP. BD. AT ALL SHOWERS)

J. SAFETY GLAZING SHALL BE INSTALLED IN WALL & DOOR ENCLOSING TUB AND SHOWER LESS THAN 60" ABOVE SURFACE AND DRAIN INLET. PER CBC 2406.3 AND TABLE 2406.1.5 & 2022 CRC 308.4

K. MOISTURE RESISTANT GYP BD OR CEMENT BOARD TO BE USED AT ALL WE LOCATIONS U.N.O.

1 FLOOR PLAN - FIRST FLOOR
SCALE: 1/4" = 1'-0"

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COSTA RESIDENCE
PROJECT ADDRESS:
966 CORAL DRIVE
PEBBLE BEACH, CA 93953

SEAL/SIGNATURE

SET ISSUE DATES

##.##.##	- ISSUE FOR ..
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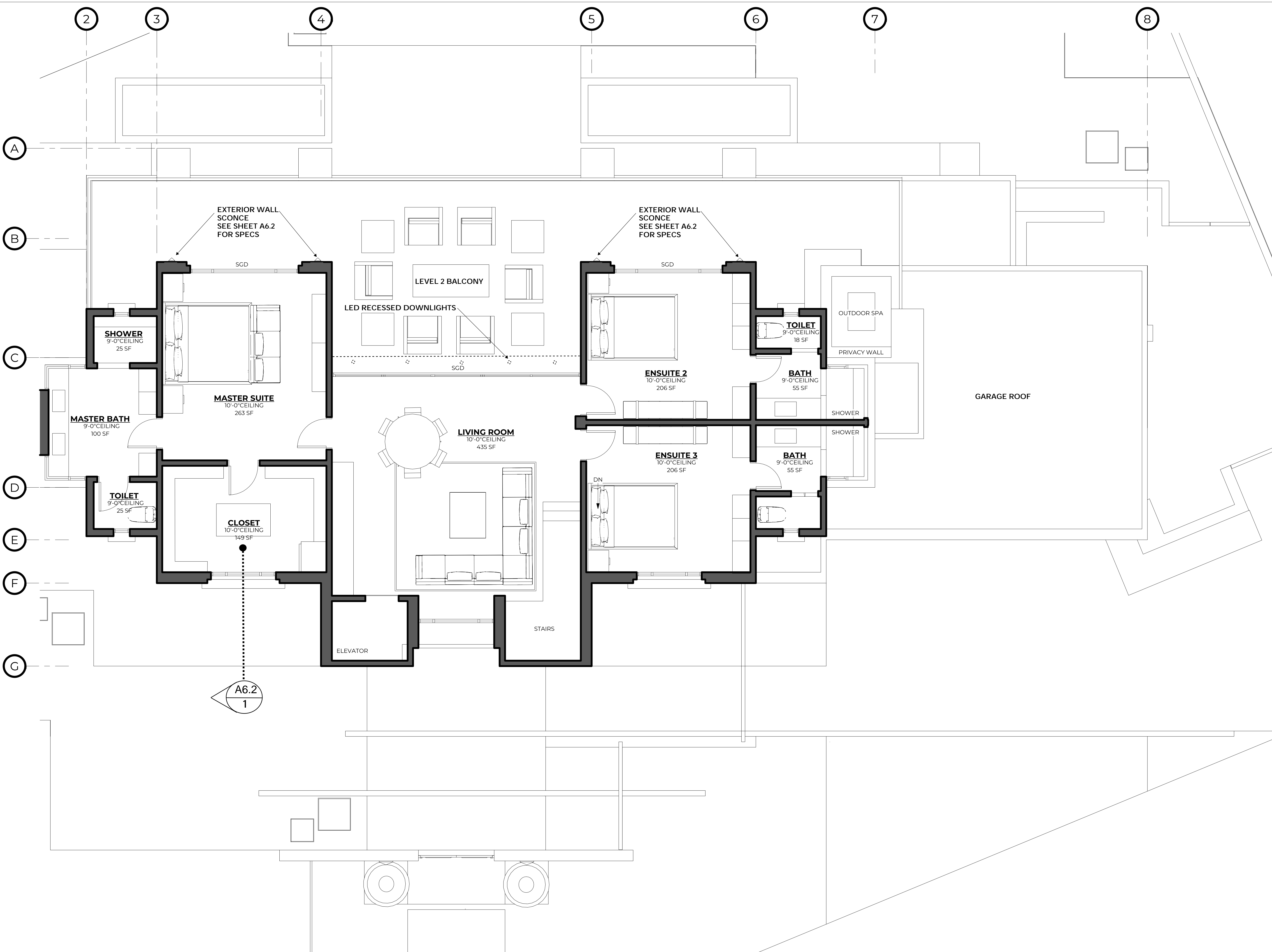
REVISIONS

#	DATE	DESCRIPTION
1	05/25/23	Field Changes

DRAWN BY: M.H.
CHECKED BY: E.Z.
PROJECT #: 23_08
SHEET ISSUE DATE: 10/10/23

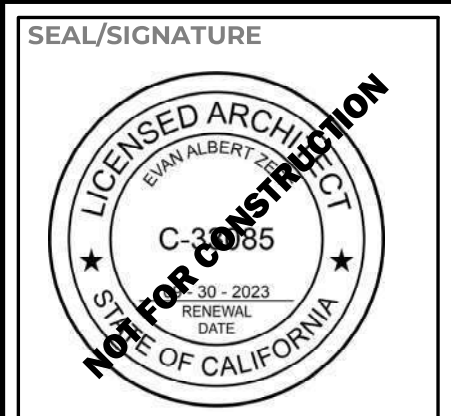
TITLE
FLOOR PLAN - FIRST FLOOR

SHEET NO.
A2.1
SCALE: As indicated



ARCHITECT
 EVAN ZIEFF ARCHITECT
 1518 N STREET
 MODESTO, CA 95356
 PHONE: (209) 248-7633
 FAX: (209) 248-7634

PROJECT NAME:
COSTA RESIDENCE
 PROJECT ADDRESS:
 966 CORAL DRIVE
 PEBBLE BEACH, CA 93953



SET ISSUE DATES

##.##.## - ISSUE FOR ..

REVISIONS

#	DATE	DESCRIPTION

DRAWN BY: M.H.
 CHECKED BY: E.Z.
 PROJECT #: 23_08
 SHEET ISSUE DATE: 10/10/23

TITLE
FLOOR PLAN - SECOND FLOOR

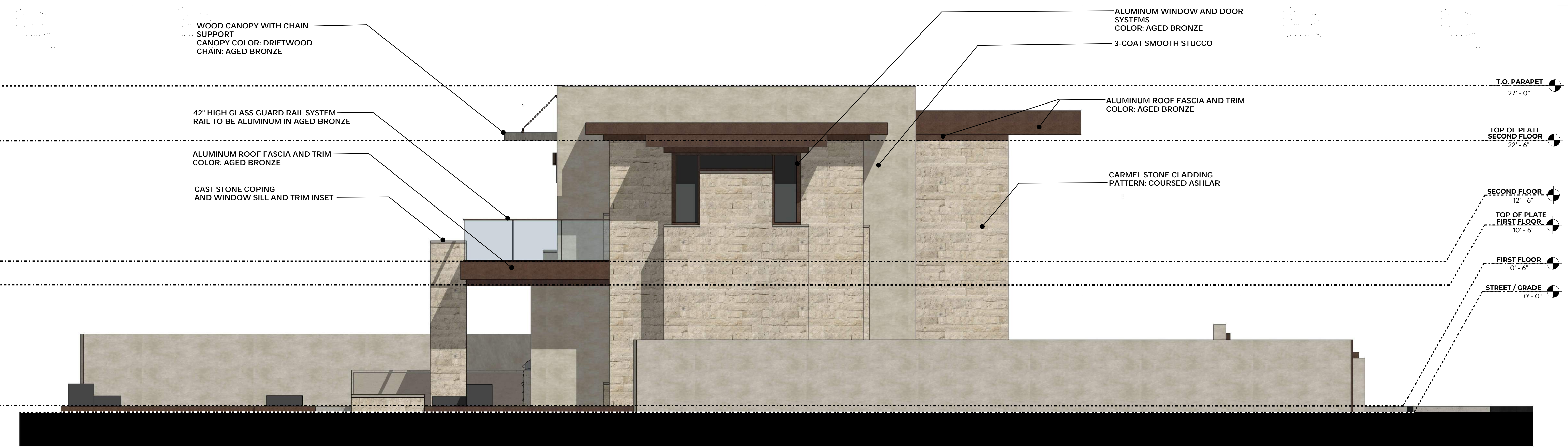
SHEET NO.
A2.2
 SCALE: 1/4" = 1'-0"

1 FLOOR PLAN - SECOND FLOOR
 SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION (EAST FACING)

SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION (NORTH FACING)

SCALE: 1/4" = 1'-0"

- ALUMINUM WINDOW AND DOOR SYSTEMS
COLOR: AGED BRONZE
- 3-COAT SMOOTH STUCCO
- ALUMINUM ROOF FASCIA AND TRIM
COLOR: AGED BRONZE
- CARMEL STONE CLADDING
PATTERN: COURSED ASHLAR
- CAST STONE COPING AND WINDOW SILL AND TRIM INSET
- WOOD GARAGE DOOR AND ENTRY GATE
COLOR: DRIFTWOOD

- T.O. PARAPET
27' - 0"
- TOP OF PLATE
SECOND FLOOR
22' - 6"
- SECOND FLOOR
12' - 6"
- TOP OF PLATE
FIRST FLOOR
10' - 6"
- FIRST FLOOR
0' - 6"
- STREET / GRADE
0' - 0"

- WOOD CANOPY WITH CHAIN SUPPORT
CANOPY COLOR: DRIFTWOOD
CHAIN: AGED BRONZE
- 42" HIGH GLASS GUARD RAIL SYSTEM
RAIL TO BE ALUMINUM IN AGED BRONZE
- ALUMINUM ROOF FASCIA AND TRIM
COLOR: AGED BRONZE
- CAST STONE COPING AND WINDOW SILL AND TRIM INSET

- ALUMINUM WINDOW AND DOOR SYSTEMS
COLOR: AGED BRONZE
- 3-COAT SMOOTH STUCCO
- ALUMINUM ROOF FASCIA AND TRIM
COLOR: AGED BRONZE
- CARMEL STONE CLADDING
PATTERN: COURSED ASHLAR

- T.O. PARAPET
27' - 0"
- TOP OF PLATE
SECOND FLOOR
22' - 6"
- SECOND FLOOR
12' - 6"
- TOP OF PLATE
FIRST FLOOR
10' - 6"
- FIRST FLOOR
0' - 6"
- STREET / GRADE
0' - 0"

ARCHITECT
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 MODESTO, CA 95356
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 FAX: (209) 248-7634

PROJECT NAME:
COSTA RESIDENCE
 PROJECT ADDRESS:
 966 CORAL DRIVE
 PEBBLE BEACH, CA 93953

SEAL/SIGNATURE

 LICENSED ARCHITECT
 STATE OF CALIFORNIA

SET ISSUE DATES

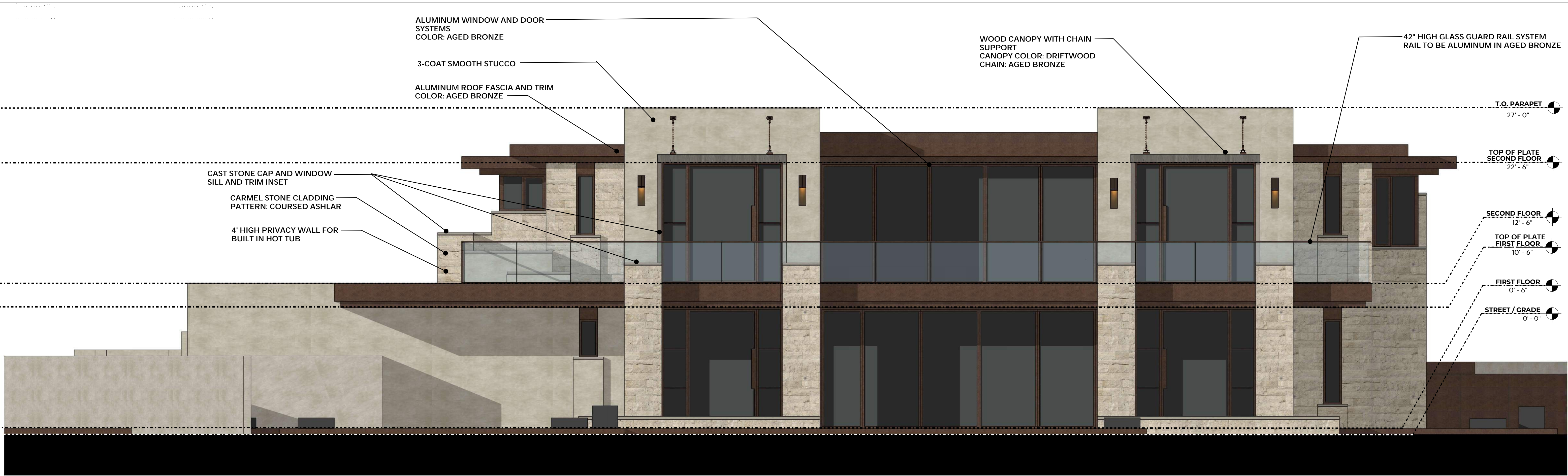
##.##.## - ISSUE FOR ..

REVISIONS		
#	DATE	DESCRIPTION

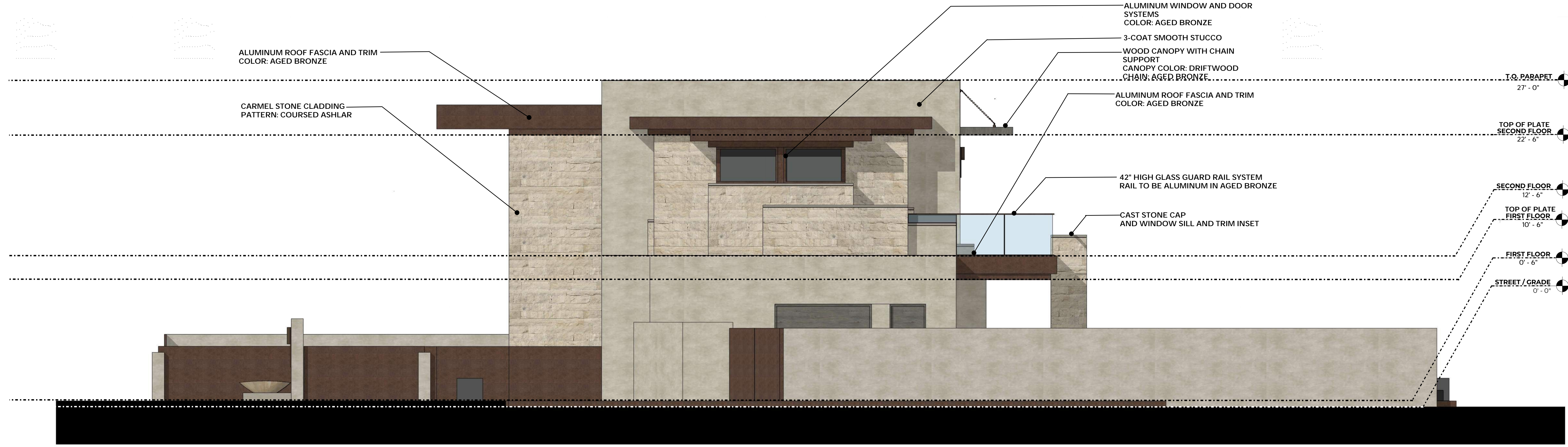
DRAWN BY: M.H.
 CHECKED BY: E.Z.
 PROJECT #: 23_08
 SHEET ISSUE DATE: 10/10/23

TITLE
 ELEVATIONS

SHEET NO.
A5.1
 SCALE: 1/4" = 1'-0"



1 REAR ELEVATION (WEST FACING)
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION (SOUTH FACING)
SCALE: 1/4" = 1'-0"

ARCHITECT
EVAN ZEEF ARCHITECT
1518 V STREET
MODESTO, CA 95356
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FAX: (209) 248-7634

PROJECT NAME:
COSTA RESIDENCE
PROJECT ADDRESS:
966 CORAL DRIVE
PEBBLE BEACH, CA 93953



SET ISSUE DATES

##.##.## - ISSUE FOR ..

REVISIONS

#	DATE	DESCRIPTION

DRAWN BY: M.H.
CHECKED BY: E.Z.
PROJECT #: 23_08
SHEET ISSUE DATE: 10/10/23

TITLE
ELEVATIONS

SHEET NO.
A5.2
SCALE: 1/4" = 1'-0"

ALUMINUM ROOF FASCIA
COLOR: AGED BRONZE

CARMEL STONE WALL CLADDING
COURSED ASHLER PATTERN (TYP.)

ALUMINUM WINDOW AND DOOR SYSTEMS
COLOR: AGED BRONZE

SMOOTH 3-COAT STUCCO
COLOR: MONTEREY SAND

CAST STONE TRIM
COLOR: KHAKI STONE

ENTRY WOOD GATE AND GARAGE DOOR
COLOR: DRIFTWOOD



4 SIDE VIEW (STREET VIEW)

SCALE: NTS

42" HIGH GLASS GUARD RAIL SYSTEM
RAIL TO BE ALUMINUM IN AGED
BRONZE

EXTERIOR WALL SCONCE
SEE SHEET A6.2 FOR SPECS

ALUMINUM ROOF FASCIA
COLOR: AGED BRONZE

CAST STONE CAP AND TRIM
COLOR: KHAKI STONE

CARMEL STONE WALL CLADDING
COURSED ASHLER PATTERN (TYP.)

SMOOTH 3-COAT STUCCO
COLOR: MONTEREY SAND

WOOD CANOPY WITH CHAIN SUPPORT
CANOPY COLOR: DRIFTWOOD
CHAIN: AGED BRONZE



5 REAR VIEW

SCALE: NTS

ALUMINUM WINDOW AND DOOR SYSTEMS
COLOR: AGED BRONZE

EXTERIOR WALL SCONCE
SEE SHEET A6.2 FOR SPECS

ALUMINUM ROOF FASCIA
COLOR: AGED BRONZE

SMOOTH 3-COAT STUCCO
COLOR: MONTEREY SAND

WOOD CANOPY WITH CHAIN
SUPPORT
CANOPY COLOR: DRIFTWOOD
CHAIN: AGED BRONZE



6 REAR VIEW 02

SCALE: NTS

1 STREET VIEW

SCALE: NTS

ALUMINUM ROOF FASCIA
COLOR: AGED BRONZE

ALUMINUM TRIM AND CAP
COLOR: AGED BRONZE

CARMEL STONE WALL CLADDING
COURSED ASHLER PATTERN (TYP.)

SMOOTH 3-COAT STUCCO
COLOR: MONTEREY SAND

ALUMINUM WINDOW AND DOOR SYSTEMS
COLOR: AGED BRONZE

EXTERIOR WALL SCONCE
SEE SHEET A6.2 FOR SPECS

ENTRY WOOD GATE AND GARAGE DOOR
COLOR: DRIFTWOOD



2 GARAGE VIEW

SCALE: NTS

ALUMINUM ROOF FASCIA
COLOR: AGED BRONZE

CAST STONE TRIM
COLOR: KHAKI STONE

CARMEL STONE WALL CLADDING
COURSED ASHLER PATTERN (TYP.)

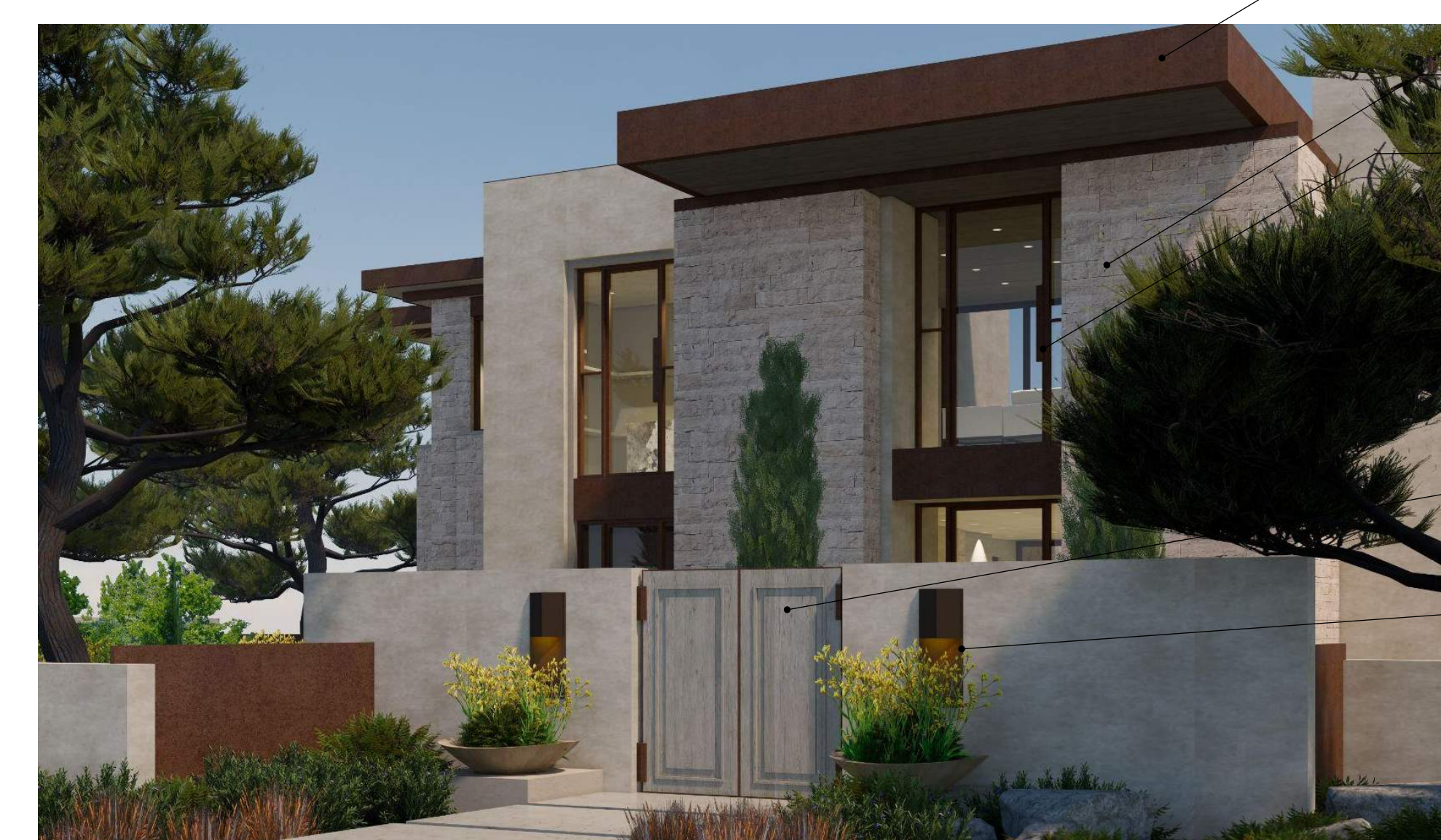
EXTERIOR WALL SCONCE
SEE SHEET A6.2 FOR SPECS

CAST STONE TRIM
COLOR: KHAKI STONE

GARAGE DOOR
COLOR: DRIFTWOOD

CRUSHED STONE DRIVEWAY

SMOOTH 3-COAT STUCCO
COLOR: MONTEREY SAND



3 ENTRY VIEW

SCALE: NTS

ALUMINUM ROOF FASCIA
COLOR: AGED BRONZE

CARMEL STONE WALL CLADDING
COURSED ASHLER PATTERN (TYP.)

ALUMINUM WINDOW AND DOOR SYSTEMS
COLOR: AGED BRONZE

SMOOTH 3-COAT STUCCO
COLOR: MONTEREY SAND

ENTRY WOOD GATE AND GARAGE DOOR
COLOR: DRIFTWOOD

EXTERIOR WALL SCONCE
SEE SHEET A6.2 FOR SPECS



ARCHITECT
EVAN ZEEF ARCHITECT
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PHONE: (209) 248-7633
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PROJECT NAME:
COSTA RESIDENCE
PROJECT ADDRESS:
966 CORAL DRIVE
PEBBLE BEACH, CA 93953



SET ISSUE DATES

##.##.## - ISSUE FOR ..

REVISIONS

#	DATE	DESCRIPTION

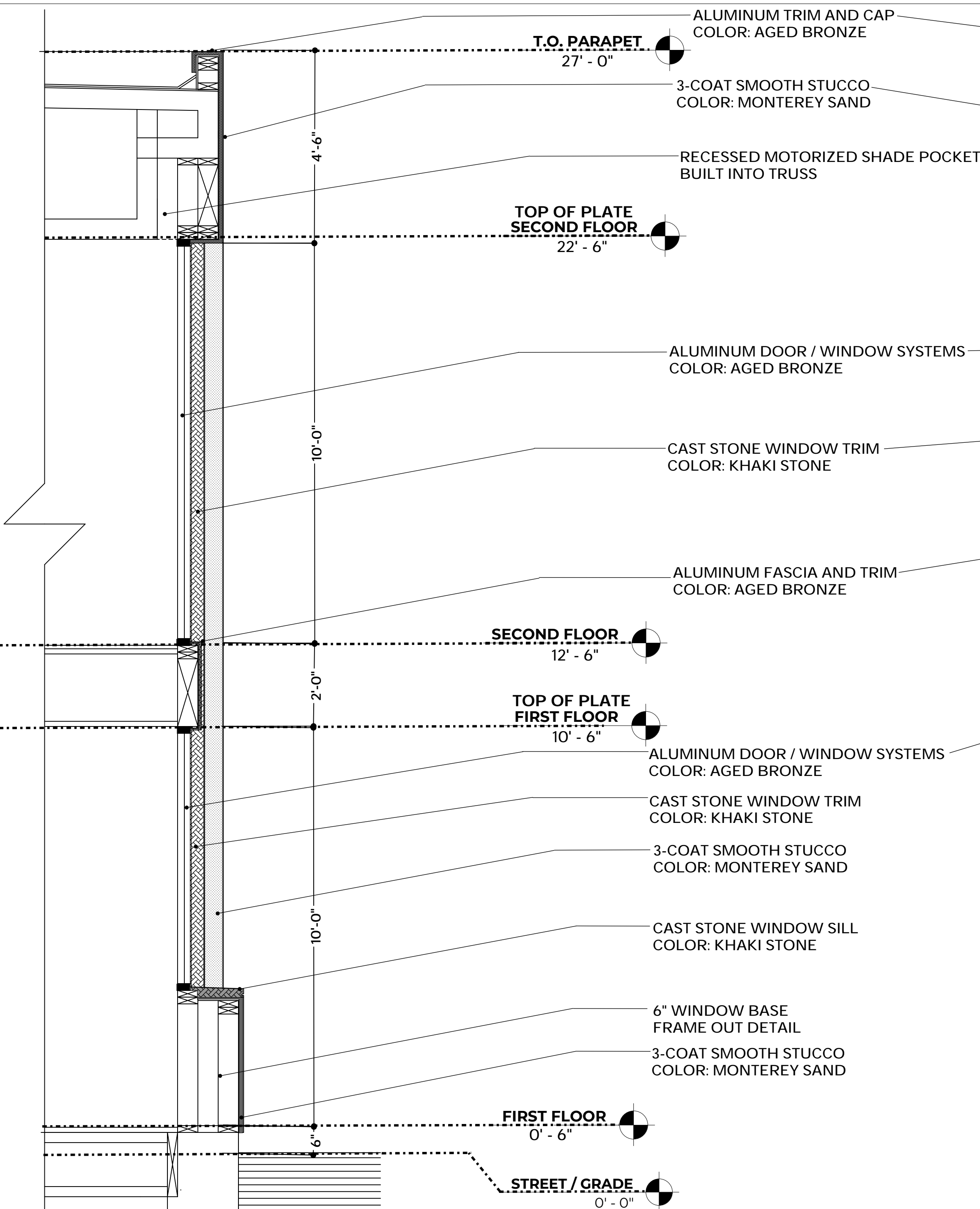
DRAWN BY: M.H.
CHECKED BY: E.Z.
PROJECT #: 23_08
SHEET ISSUE DATE: 10/10/23

TITLE
PROJECT RENDERINGS

SHEET NO.

A6.1

SCALE: 1/2" = 1'-0"



WOOD GATE & GARAGE DOOR & CANOPY
Color: DRIFTWOOD D



CAST STONE WALL COPING, WINDOW TRIM AND SILL
Color: KHAKI STONE



CARMEL STONE CLADDING
Coursed Ashlar pattern



EXTERIOR SMOOTH STUCCO
Color: MONTEREY SAND

1/A6.2 WALL SECTION
SCALE: 1/2" = 1'-0"

EXTERIOR PATH LIGHT

WAC Landscape Black 3000K 90CRI LED Horizontal Outdoor Step and Wall Light by WAC Lighting



Title 24 Compliant	Yes	Height (in)	3
Material	Aluminum, Glass	Width (in)	5
Warranty	5 Years Functional, 2 Years Finish	Length (in)	1.5
Collection	WAC Landscape	Weight (lbs)	0.78
Bulb Information	1/2 Watt LED Module	Resources	Spec Sheet Instruction Sheet
Voltage	12		

R4RD2T, R4SD2T
4.5" Volta - Downlight Trim

WAC LIGHTING
Responsible Lighting®

Feature Type:
Catalog Number:
Project:
Location:

PRODUCT DESCRIPTION
Volta LED downlight series represents an innovation in design and technology for architectural lighting. This high lumen and adaptable family of fixtures with a comprehensive set of round and square fittings, affords a sustainable solution for commercial, corporate, and upscale residential applications.

FEATURES
• 2" lens recess for superior glare control
• Field selectable light engine height for cut-off angle adjustment (80°, 84° and accessory use)
• Integral patterned tempered trim lens included standard
• Compatible with wide range of accessories
• 5 year WAC Lighting product warranty

SPECIFICATIONS
Construction: Durable die-cast self flanged aluminum construction
Input: Universal 120-277V AC, 50/60Hz
Dimming: Electronic Low Voltage (ELV): 100% - 5%
0-10V: 100% - 0%
Lutron® Lume® 1% Ecosystem Fade-to-Black option
Light Source: High output 3-step Mac Adam Ellipse COB
Rated life of 50,000 hours at L70
Heavy gauge stainless steel support trim firmly, safety cabling standard.
Mounting: Ceiling cut out (Round) Ø 5 1/8"
Ceiling cut out (Square) 5 1/8" x 5 1/8"
Accommodates 1 1/2" - 1 1/2" ceiling thickness
Finish: Electrostatically powder coated White, Black, Enamel coated Hazel, Painted and brushed copper Bronze.
Standards: ETL & ETL Wet Location Listed, Energy Star® 2.0, Title 24 JAB-2016 Compliant

Model	Beam Angle	Lumens	CRI	Lumens/Watt	Color Temp	CR	Finish	Reflector/Trim
R4RD2T	S 15°	1405	90	93.9	2700K	85	BK	Black
	N 30°	3145	90	94.8	2700K	90	BRWT	Black/White
	W 40°	3025	90	90.6	3000K	85	CB	Copper Bronze
R4SD2T	S 15°	1440	90	93.3	3000K	85	HC	Hazel
	N 30°	3150	90	95.2	3000K	90	HZWT	Hazel/White
	W 40°	3000	90	90.0	4000K	85	WT	White

*Reference output based on 83005CR 3000K trim with 36 housing. Use multiplier table below to determine the output for other combinations.

Multiplier	837	937	830	930	835	840
HOUSING	36	0.95	0.81	1.00	0.86	1.05
	25	0.66	0.56	0.69	0.59	0.74
	15	0.43	0.37	0.45	0.39	0.49

TRIMS (ORDER HOUSING SEPARATELY)

Model	Beam Angle	Lumens	CRI	Lumens/Watt	Color Temp	CR	Finish	Reflector/Trim
R4SD2T	S 15°	1440	90	93.3	3000K	85	HC	Hazel
	N 30°	3150	90	95.2	3000K	90	HZWT	Hazel/White
	W 40°	3000	90	90.0	4000K	85	WT	White

TRIM

Model	Beam Angle	Lumens	CRI	Lumens/Watt	Color Temp	CR	Finish	Reflector/Trim
R4SD2T	S 15°	1440	90	93.3	3000K	85	HC	Hazel
	N 30°	3150	90	95.2	3000K	90	HZWT	Hazel/White
	W 40°	3000	90	90.0	4000K	85	WT	White

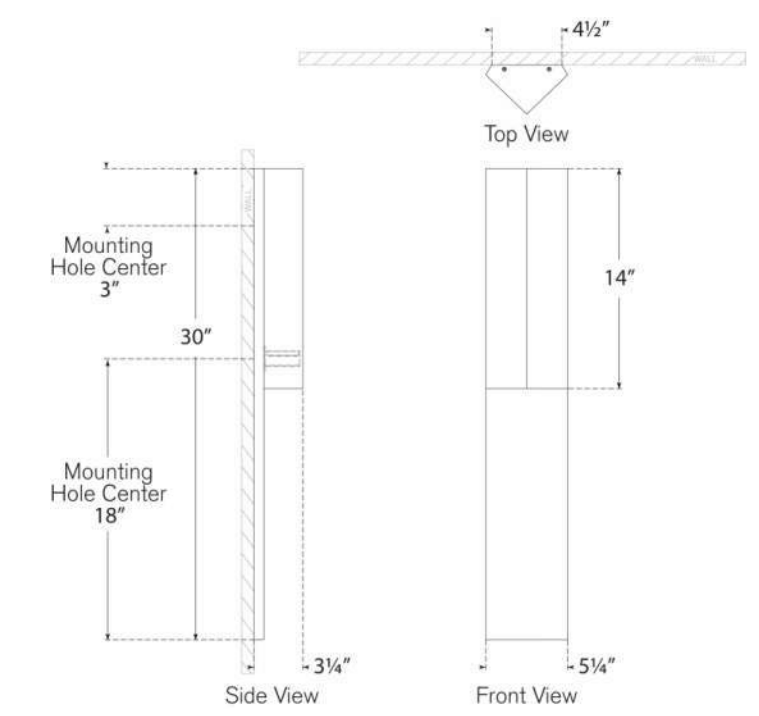
TEAR SHEET
EXTERIOR WALL SCNCE



Rega 30° Folded Sconce
Item # KW 2783BZ

Designer: Kelly Wearstler

Height: 30"
Width: 5.25"
Extension: 3.25"
Backplate: 4.5" x 30" Rectangle
Finishes: AB, BZ, PN
Socket: Dedicated LED
Wattage: 12w (1000lm)
Weight: 8 Pounds



VISUAL COMFORT & Co.



ALUMINUM WINDOW/DOOR SYSTEMS, ROOF FASCIA, AND TRIM/CAP SYSTEMS
Color: AGED BRONZE

ARCHITECT
EVAN ZIEFF ARCHITECT
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MODesto, CA 95356
PHONE: (209) 248-7633
FAX: (209) 248-7634

PROJECT NAME: **COSTA RESIDENCE**
PROJECT ADDRESS: **966 CORAL DRIVE PEBBLE BEACH, CA 93953**

SEAL/SIGNATURE
LICENCED ARCHITECT
EVAN ZIEFF
C-10885
ARCHITECT
STATE OF CALIFORNIA

SET ISSUE DATES
##.##.## - ISSUE FOR ..

#	DATE	DESCRIPTION

DRAWN BY: M.H.
CHECKED BY: E.Z.
PROJECT #: 23_08
SHEET ISSUE DATE: 10/10/23

TITLE
PROPOSED FINISHES

SHEET NO.
A6.2
SCALE:

REVISIONS	BY

Ken Westfall
Landscape Architect CA 4138
PO Box 926
Tonitown, AR 72770
Phone (209) 602-0283
kenwestfall@sbcglobal.net



COSTA RESIDENCE
966 CORAL DRIVE
PEBBLE BEACH, CA
CONCEPTUAL PLANTING PLAN

DRAWN BY:
KEW
DATE:
10/04/23
SCALE:
1/8" = 1'-0"
JOB NUMBER:
2023-33
SHEET:

L-2
OF SHEETS

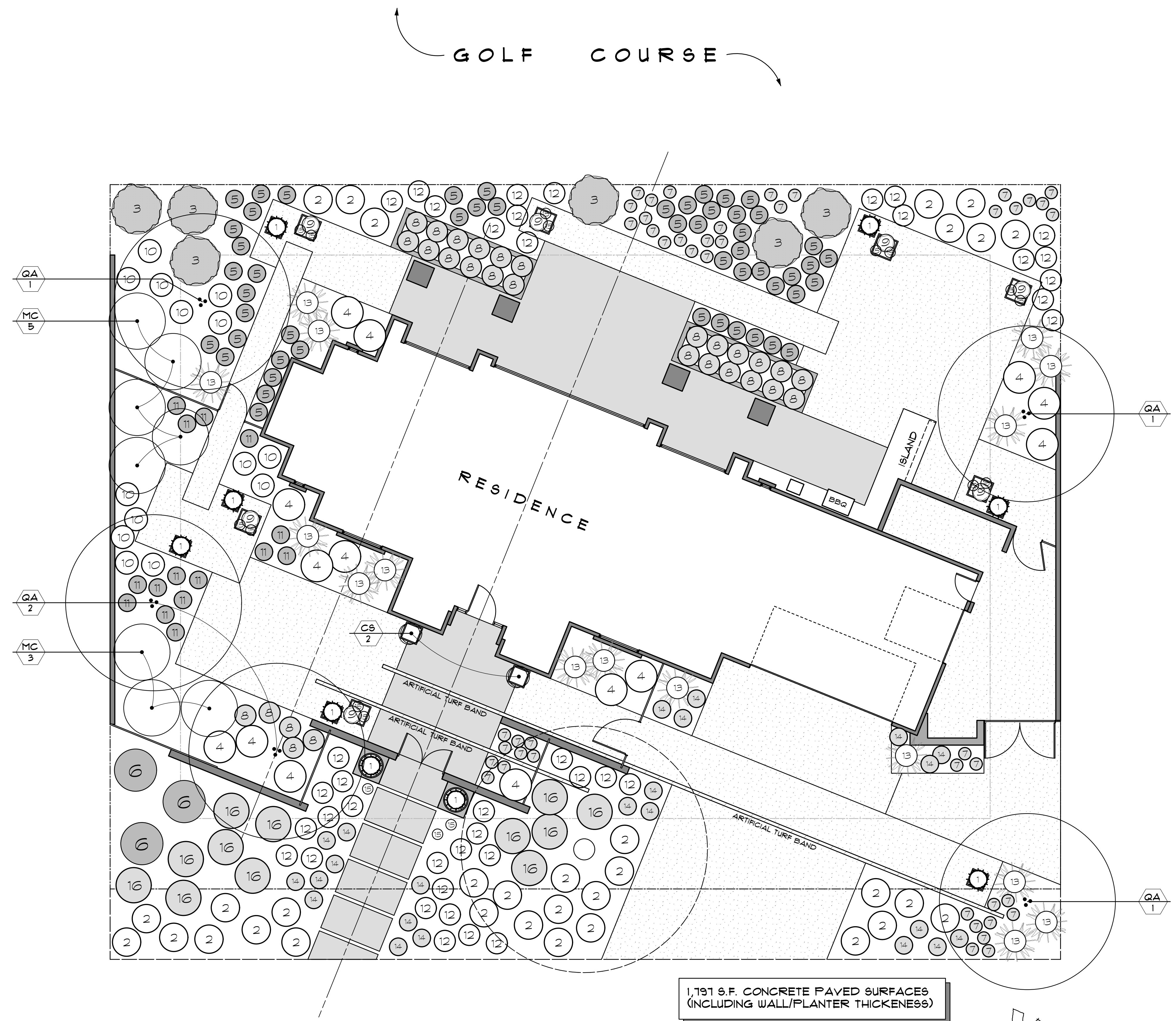
PLANT LEGEND

TREES

Symbol	Botanic Name	Common Name	Size	Water-Use	Qty	Comments
CB	Cupressus 'Tiny Tower'	Dwarf Italian Cypress	24" box	Low	2	Evergreen, Columnar
MC	Myrica californica	Pacific Wax Myrtle	24" box	Low	6	Evergreen, Low Branching, White Flower
QA	Quercus agrifolia (Multi)	Coast Live Oak	60" box	Low	5	Evergreen, Grey/Green Foliage (Multi-trunk)

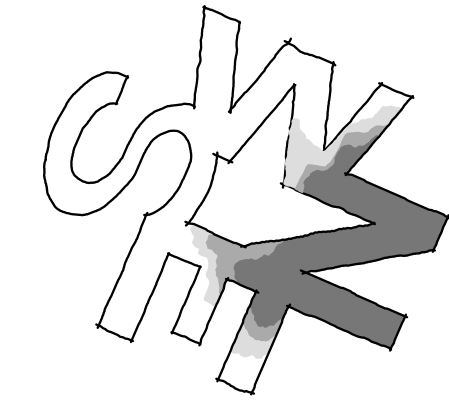
SHRUBS

Symbol	Botanic Name	Common Name	Size	Water-Use	Qty	Comments
1	Angozanthos Bush Gold	Kangaroo Paw	5 gal	Low	9	2-3 High, Yellow Flower
2	Arctostaphylos edmundsi	Little Sur Manzanita	5 gal	Low	32	8-12 High, Spreading
3	Ceanothus 'Yankee Point'	Ceanothus	5 gal	Low	6	2-3 High, Spreading, Purple Flower
4	Correa Ivory Bells	White Australian Fuchsia	5 gal	Low	14	4-5 High x Wide, Cream/White Flower
5	Correa 'Star Showers'	Dwarf Australian Fuchsia	5 gal	Low	52	8-12 High, Spreading, White Flower
6	Echum candicans	Pride of Madeira	5 gal	Low	3	5-6 High x Wide, Purple Flower
7	Festuca 'Elijah Blue'	Blue Fescue	1 gal	Low	48	12 High, Silver Ornamental Grass
8	Helictotrichon sempervirens	Blue Oat Grass	5 gal	Low	29	2+ High Silver Ornamental Grass
9	Lavandula a. 'Hidcote'	Dwarf English Lavender	5 gal	Low	7	12-18 High Grey/Green Foliage, Purple Flower
10	Lomandra 'Platinum Beauty'	Platinum Beauty Lomandra	5 gal	Low	14	2-3 High, Evergreen Grass-Like
11	Mahonia repens	Creeping Mahonia	5 gal	Low	15	1-3 High, Holly-Like Foliage, Yellow Flower
12	Pennisetum 'Eaton Canyon'	Dwarf Purple Fountain Grass	5 gal	Low	40	2-3 High, Burgundy Ornamental Grass
13	Pharbitis 'Rainbow Warrior'	Dwarf Flax	5 gal	Low	16	3-4 High, Striped Red/Green
14	Sedum 'Autumn Joy'	Autumn Joy Sedum	1 gal	Low	23	1-2 High x 2 Wide, Pinkish Flower
15	Senecio cineraria 'Cirrus'	Dusty Miller	1 gal	Low	17	12-18 High, Silver Foliage
16	Westringia frutescens	Coast Rosemary	5 gal	Low	12	3-6 High x Wide, Grey/Green Foliage, White Flower



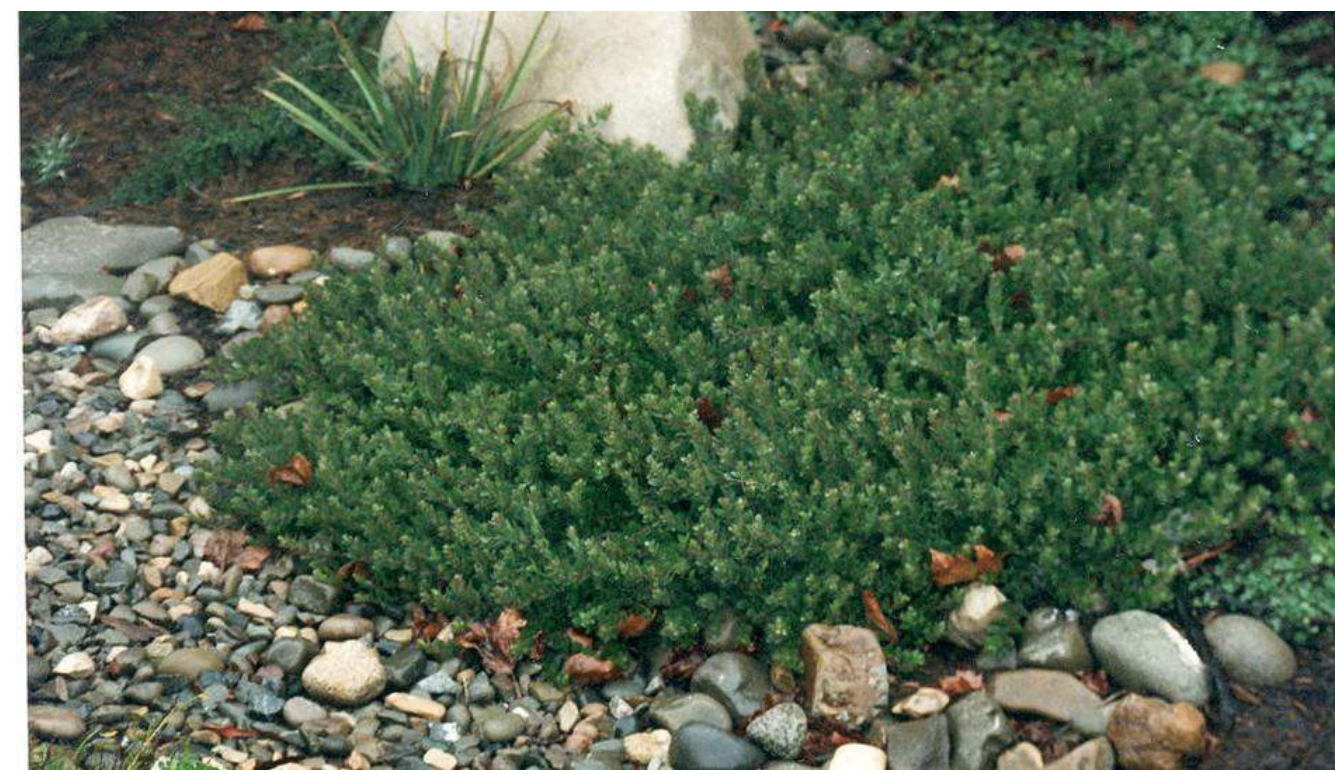
1,191 S.F. CONCRETE PAVED SURFACES
(INCLUDING WALL/PLANTER THICKNESS)

CORAL DRIVE





Anigozanthos hybrids 'Bush Gold'
Kangaroo Paw #1
Evergreen Perennial, 2-3' High



Arctostaphylos edmundsii 'Little Sur'
Little Sur Manzanita #2
6-12" High, Spreading



Monterey Bay Nursery, Inc.
Ceanothus g. 'Yankee point'
Ceanothus #3
2-3' tall, Spreading



Correa 'Ivory Bells'
White Australian Fuchsia #4
Evergreen Shrub, 4-5' High x Wide



Correa alba 'Star Showers'
Dwarf Australian Fuchsia #5
Evergreen Shrub 8-12" High, Spreading



Echium candicans
Pride of Madeira #6
5-6' High and Wide



Festuca 'Elijah Blue'
Blue Fescue #7
Evergreen Ornamental Grass
12" high



Helictotrichon sempervirens
Blue Oat Grass #8
Ornamental Grass, 2'+ High



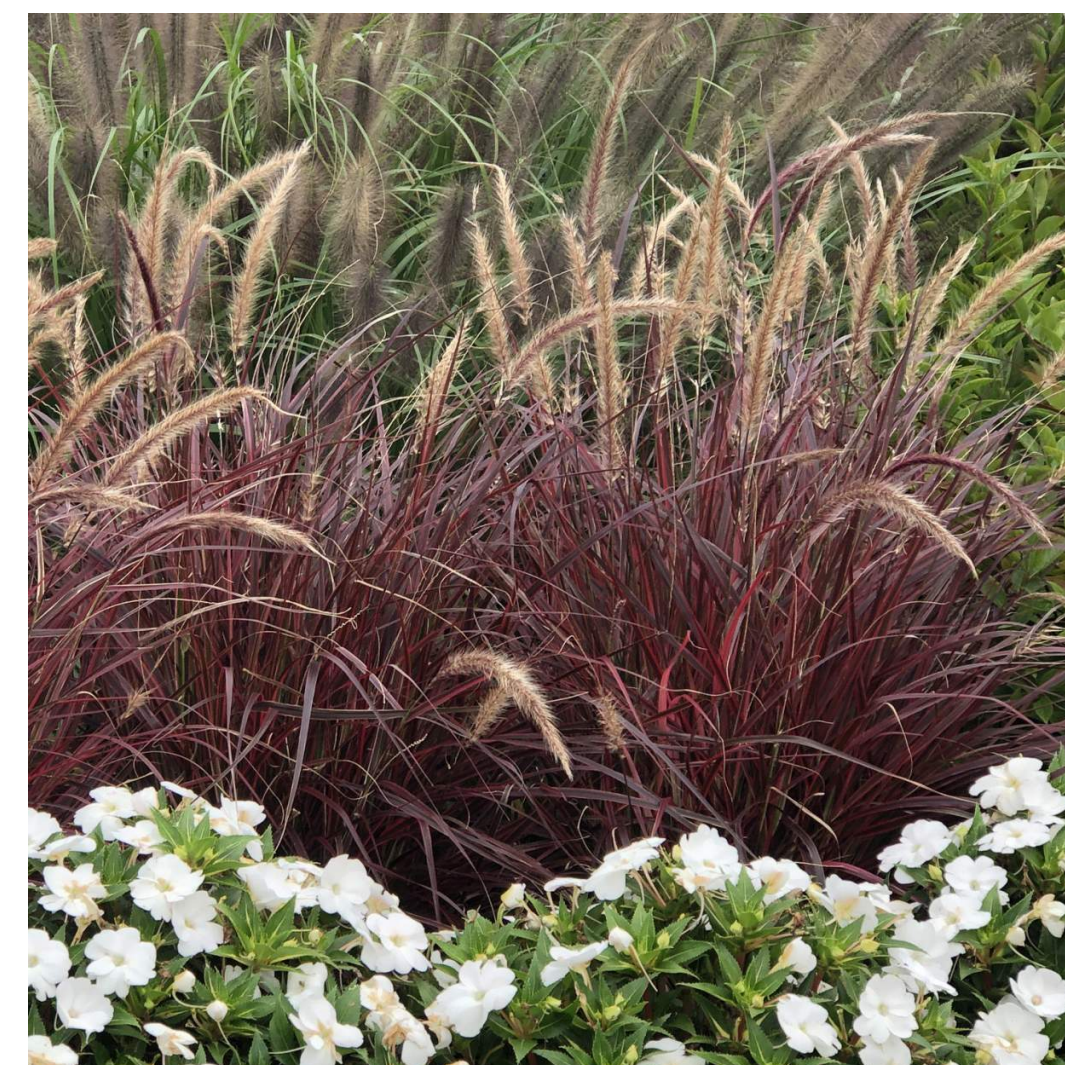
Lavandula a. 'Hidcote'
Dwarf English Lavender #9
Perennial, 12-18" High x Wide



Lomandra 'Platinum Beauty'
Platinum Beauty Lomandra #10
Evergreen Grass-Like Perennial, 3' High



Mahonia repens
Creeping Mahonia #11
Evergreen, 1-3' High



Pennisetum 'Eaton Canyon'
Dwarf Purple Fountain Grass #12
Ornamental Grass, 2-3' High



Phormium 'Rainbow Warrior'
New Zealand Flax #13
Evergreen, 3-4' High



Sedum 'Autumn Joy'
Autumn Joy Sedum #14
1-2' High x 2' Wide



Senecio cineraria 'Cirrus'
Dusty Miller #15
12-18" High



Westringia fruticosa
Coast Rosemary #16
Evergreen, 3-6' Tall x Wide



Myrica californica
Pacific Wax Myrtle #17
Evergreen Native



Quercus agrifolia (Multi-Trunk)
Coast Live Oak #18

REVISIONS	BY

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kenwestfall@sbcglobal.net



COSTA RESIDENCE
966 CORAL DRIVE
PEBBLE BEACH, CA
CONCEPTUAL PLANTING PLAN

DRAWN BY:
KEW
DATE:
10/04/23
SCALE:
1/8"=1'-0"
JOB NUMBER:
2023-33
SHEET:
L-3
OF SHEETS

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