

# Exhibit B

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# DRAFT RESOLUTION

## Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

**RIVERA STEVEN A & JUNE M TRS (PLN220327)**

**RESOLUTION NO. ----**

Resolution by the Monterey County Zoning  
Administrator:

- 1) Finding the project exempt from CEQA pursuant to section 15303, new structures, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Combined Development Permit consisting of a:
  - a. Coastal Administrative Permit and Design Approval to allow construction of an 856 square foot accessory dwelling unit; and
  - b. Coastal Development Permit to allow the removal of two protected trees, one 10-inch Coast live oak and one 33-inch landmark Monterey pine.

[PLN220327, Rivera Steven A & June M Trs, 4161 Sunridge Rd, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone (APNs: 008-071-012-000 & 008-071-011-000)]

**The Rivera Steven A & June M Trs application (PLN220327) came on for hearing before the Monterey County Zoning Administrator on March 28, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, written testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:**

### FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
  - the 1982 Monterey County General Plan;
  - Del Monte Forest Land Use Plan (DMF LUP);
  - Monterey County Coastal Implementation Plan, Part 1, Zoning Ordinance (Title 20); and
  - Monterey County Coastal Implementation Plan, Part 5, Regulations for Development in the Del Monte Forest Land Use Plan Area (DMF CIP).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Scope. The project consists of construction of an 856 square foot accessory dwelling unit, removal of two protected trees and approximately 75 cubic yards of cut.
- c) Allowed Use. The project is located at 4161 Sunridge Rd, Pebble Beach, (APN: 008-071-012-000 & 008-071-011-000) within the Del Monte Forest Land Use Plan area. The existing main dwelling was built in 1948 and extends across two legal lots of record. Although the proposed ADU will be located on APN: 008-071-011-000, it is accessory to the main structure. Therefore, this Combined Development Permit (PLN220327) will be associated with both legal lots. The parcels are zoned Medium Density Residential with a density of 4 units per acre with Design Control overlay district in the Coastal Zone or “MDR/4-D (CZ)”, which allows one accessory dwelling unit per main dwelling on a lot pursuant to a Coastal Administrative Permit and Design Approval (Title 20 sections 20.12.040.S and 20.44.020.C.3) and removal of protected trees pursuant to a Coastal Development Permit (DMF CIP section 20.147.050.A). Therefore, the project is an allowed use for this site.
- d) Lot Legality. Both lots are shown in their current size and configuration on page 95 of volume 4, Cities and Towns on a map titled Del Monte Forest Subdivision No. 1, Being a Portion of El Pescadero Rancho. The lots are identified as lots 19 and 18 within block 6. Therefore, the County recognizes them as legal lots of record.
- e) Design/Neighborhood and Community Character. The property is subject to the Design Control “D” overlay zoning district regulations which requires design review of proposed development to assure protection of the public viewshed and neighborhood character. Consistent with Title 20, Chapter 20.44, a Design Approval Application was submitted. The proposed colors and materials for the ADU include vertical panel siding painted to match the existing main structure, copper painted aluminum fascia, metal framed glass sliding doors, off-white stucco for the exterior staircase, black metal cable railing, metal framed windows with a white finish, with decorative black posts and a stacked stone chimney to match the existing single family dwelling. The ADU will blend in with the existing main structure and overall neighborhood character. It will not block views of the ocean or be visible from any scenic highways.
- f) Development Standards. Development standards for the Medium Density Residential zoning district can be found in Title 20 section 20.12.060. The proposed development conforms with all regulated site development standards. As mentioned above, there are two lots associated with this project. To remain consistent with the construction of the existing main structure of the property, the lot sizes of both lots have been combined for the sake of lot coverage and floor area ratio. If the main dwelling was ever demolished in the future, the lots would be considered separated, and any new development would need to follow the current regulations. The allowed site coverage for the subject zoning



district is 35% (9,099 square feet), the proposed site coverage, including the ADU, is 20% (5,133 square feet). The proposed ADU will have a total floor area ratio (FAR) of 3.3% (856 square feet) bringing the total FAR of the property to 16% (4,232 square feet). This is below the maximum allowed FAR, 35% (9,099 square feet). The proposed development will be within all required setbacks. California State ADU Law requires ADUs to have a four foot rear and side setback. Title 20 requires habitable accessory structures to have a six foot setback from main structures on the property. The proposed ADU will be over 10 feet from both side property lines, as well as the rear property line. It will be located over 12 feet away from the main structure as well. California State ADU Law does not require a front setback; however, the ADU will be over 97 feet from the front property line and will be placed behind the main residence. The allowed height for ADUs is 16 feet, the proposed ADU will have a height of 15 feet 10 inches from the average natural grade. Therefore, the proposed project is in conformance with all applicable development standards.

- g) Pescadero Watershed. Both parcels are within the Pescadero Watershed area. Pursuant to Policy 77 of the DMF LUP and DMF CIP section 20.147.030.A.1.b, each parcel has an allowance of 9,000 square feet of impervious coverage. Consistent with the policies and regulations, the applicants have proposed a total impervious coverage of 7,084 square feet across both parcels.
- h) Tree Removal. As demonstrated in Finding 5 and supporting evidence, the required finding to allow tree removal have been made.
- i) Historical Resources. The existing single family dwelling on the lot is listed on the Monterey County Register of Historical Resources as the “Ferris Bagely House”. This structure is an example of post WWII Second Bay Region architectural design and received a Mills Act Contract in 2023. Due to the proposed ADU’s proximity to the historical structure, a historical report (LIB240046) was prepared to evaluate any potential impacts. This historical report concluded that the proposed ADU, as designed and sited, would not have any impact on the historical integrity of the Ferris Bagely House. The review process of the application followed the regulations within Monterey County Code section 18.25.150 regarding preservation of historical resources. The proposed development is also in compliance with the Secretary of the Interior's Standards for the treatment of Historic Properties, including Rehabilitation Standards #9 and #10.
- j) Historical Resources Review Board. The proposal for the ADU was brought before the Historical Resources Review Board (HRRB) on March 7, 2024. The HRRB reviewed the proposed plans and adopted a resolution recommending the Zoning Administrator approve the project as proposed. No public comment was made at this meeting.
- k) Land Use Advisory Committee. The project was brought before the Del Monte Forest Land Use Advisory Committee on December 7, 2023. The committee unanimously recommended support of the application as proposed. No comments were made by the public or the committee at this meeting.

- 1) The application, project plans, staking & flagging photos and related support materials submitted by the project applicants to Monterey County HCD- Planning for the proposed development are found in Project File PLN220327.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, Pebble Beach Community Services District (CSD), HCD-Environmental Services and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Recommended conditions have been incorporated.
  - b) Staff identified potential impacts to historic resources, soils and protected trees. The following reports have been prepared:
    - “Geotechnical Investigation” (LIB230299) prepared by Belinda Taluban, Salinas, California, October 4, 2023.
    - “Tree Assessment and Forest Management Plan” (LIB230298) prepared by Frank Ono, Pacific Grove, California, August 10, 2023.
    - “Phase I Historical Assessment” (LIB230300) prepared by Kent Seavey, Pacific Grove, California, September, 1 2014.
    - “Phase II Historical Assessment” (LIB240046) prepared by Kent Seavey, Pacific Grove, California, January 17, 2024.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions. All development shall be in accordance with these reports.

- c) Staff reviewed aerial imagery and site photos and determined the project site to be suitable for the proposed ADU.
- d) The application, project plans, and related support materials submitted by the project applicants to the Monterey County HCD- Planning for the proposed development are found in Project File PLN220327.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, Pebble Beach CSD, HCD-Environmental Services and Environmental Health Bureau. Conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

- b) Necessary public utilities will be provided. Water will be served by Cal Am and the applicant submitted a Monterey Peninsula Water Management District residential water release form indicating they will be increasing the site's fixture counts. The existing fixture count is 25.7, the proposed is 29. They have 29.4 fixture counts available so they are still under their allotted amount. Sewage services by Pebble Beach CSD and ultimately conveyed to the Carmel Area Wastewater District. Necessary public utilities including water and sewage services will be provided by Pebble Beach CSD.
- c) The Pebble Beach CSD reviewed the site plans and application materials for compliance with the fire safety regulations and found the project consistent.
- d) The application, project plans, and related support materials submitted by the project applicants to the Monterey County HCD- Planning for the proposed development are found in Project File PLN220327.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No known violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and Building Services Department records and is not aware of any violations existing on subject property.
  - b) Staff reviewed aerial imagery and photos of the project site and researched County records to assess if any violation exists on the subject property.
  - c) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220327.

5. **FINDING:** **TREE REMOVAL** – The tree removal is the minimum required under the circumstances and will not involve risk of adverse environmental impact.

- EVIDENCE:**
- a) Consistent with section 20.147.050.B.1 of the DMF CIP, a Tree Assessment and Forest Management Plan (LIB230298) was submitted to evaluate the proposed tree removal and address potential impacts.
  - b) The project includes removal of two protected trees included one 10 inch Coast live oak and one 33 inch landmark Monterey Pine. Pursuant to section 20.147.050.A, a Coastal Development Permit has been applied to this project for the proposed tree removal.
  - c) The Tree Assessment states the removal of these protected trees is necessary for the development to occur, the Coast live oak tree is within the proposed footprint of the ADU and the landmark pine is within 4 feet of the structure and will be impacted by the required grading.
  - d) The applicants discussed moving the ADU closer to the middle of the back yard, further from the pine tree to possibly retain it. They stated they are eager to maintain as much of their existing landscaped yard as possible and have sited the ADU in the corner of the lot to preserve the open space. The project arborist stated the existing pine tree is in fair condition with

evidence of some pine pitch canker and some canopy loss due to engraver beetle. Removing this tree and replanting two Monterey pines would benefit the health of the forest on the property.

- e) If the ADU was moved towards the middle of the backyard, further from the landmark Pine, it would potentially interfere with the “indoor-outdoor living” design aspect that contributes to the historical integrity of the Ferris Bagely House (see Finding 1, Evidence “i”). Currently, the ADU is sited as far from the view of the large living room windows of the main structure. If the view from the living room was obstructed, it may diminish the historical setting as a whole.
- f) The arborist report determined short term impacts may include additional pruning and reduced root systems for surrounding trees within the construction envelope. However, no additional removal of protected trees is anticipated. There will be no significant long term impacts on the forest ecosystem.
- g) The arborist has recommended a 1:1 replacement ratio for the oak trees and a 2:1 replacement ratio for the landmark pine tree. Therefore, the project has been conditioned (Condition No. 8) to replant three trees following the construction. The project arborist shall approve the replanting plan and monitor the trees over the course of two years to ensure a 100% success rate.
- h) Existing trees within the vicinity of the project site that are not being removed will be protected throughout construction. Protective fencing will be installed around the drip line of the protected trees to ensure no development occurs within the critical root zone. This measure has been implemented as a condition of approval, Condition No. 4.
- i) To avoid potential impacts to nesting birds, a raptor survey shall be completed prior to any tree removal. This requirement has been implemented as a condition of approval, Condition No. 9.
- j) The application, project plans, and related support materials submitted by the project applicants to Monterey County HCD-Planning are found in Project File PLN220327.

6. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Article 19 Section 15303 categorically exempts the construction of new structures including small habitable accessory structures.
  - b) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project:
    - The location of a project site is not located within an environmentally sensitive area;
    - Successive projects of the same type and in the same place would not contribute to a significant cumulative impact;
    - There are no unusual circumstances regarding this project that would cause a significant effect to the environment (see Findings 1, 2, 5 and 6);

- The project site is not visible from any scenic highways, and the proposed development would not result in damages to scenic resources; and
  - The project site is not located on or near any hazardous waste sites listed in Section 65962.5 of the Government Code.
- c) Staff reviewed aerial imagery and photos of the project site to verify that the site and proposed project meet the criteria for an exemption.
- d) See supporting Finding Nos. 1, 2, 5 and 6. The application, project plans, and related support materials submitted by the project applicants to Monterey County HCD-Planning for the proposed development are found in Project File PLN220327.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to/by the Board of Supervisors and the California Coastal Commission (CCC).
- EVIDENCE:**
- a) Pursuant to Title 20 section 20.86.030, an aggrieved party may appeal a decision of the Zoning Administrator to the Board of Supervisors.
  - b) Title 20 section 20.86.080 states an applicant or any aggrieved person who has exhausted all County appeals, or any two (2) members of the California Coastal Commission, may appeal any approved project located between the sea and the first public road paralleling the sea to the CCC. The project parcel is between the sea and the first public road, that road being Highway 1.

**DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Find the project exempt from CEQA pursuant to section 15303, new structures; and
- 2) Approve a Combined Development Permit consisting of a:
  - a) Coastal Administrative Permit and Design Approval to allow construction of an 856 square foot accessory dwelling unit; and
  - b) Coastal Development Permit to allow the removal of two protected trees, one 10-inch Coast live oak and one 33-inch landmark Monterey pine.

Said decision is to be in substantial conformance with the attached plan and subject to the attached conditions which are incorporated herein by reference.

**PASSED AND ADOPTED** this 28<sup>th</sup> day of March, 2024:

\_\_\_\_\_  
Mike Novo AICP, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON \_\_\_\_\_.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE \_\_\_\_\_.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

#### NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD- Planning and HCD- Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220327

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Combined Development Permit (PLN220327) allows construction of an 856 square foot accessory dwelling unit and the removal of two (2) protected trees [10 inch Coast Live Oak and a 33 inch landmark Monterey Pine]. The property is located at 4161 Sunridge Rd, Pebble Beach (Assessor's Parcel Numbers 008-071-012-000 & 008-071-011-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Combined Development Permit (Resolution Number \_\_\_\_\_) was approved by the Zoning Administrator for Assessor's Parcel Numbers 008-071-012-000 & 008-071-011-000 on March 28, 2024. The permit was granted subject to 11 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

### 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

### 4. PD011 - TREE AND ROOT PROTECTION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.



**5. PD011(A) - TREE REMOVAL**

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

**Compliance or Monitoring Action to be Performed:** Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

**6. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)**

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

## 7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

## 8. PD048 - TREE REPLACEMENT/RELOCATION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Prior to final, the applicant shall replace and or relocate each tree approved for removal as follows:  
- Replacement ratio: 1:1 for Coast live oak, 2:1 for landmark Monterey Pine  
- Replacement ratio recommended by arborist: 1:1 for Coast live oak, 2:1 for landmark Monterey Pine  
- Other:  
Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

## 9. PD050 - RAPTOR/MIGRATORY BIRD NESTING

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

## 10. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

## 11. PW0045 – COUNTYWIDE TRAFFIC FEE

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

# RIVERA A.D.U.

## 4161 Sunridge Rd.

### Pebble Beach, CA 93953

#### GENERAL NOTES

- CONTRACTOR LICENSE:** THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE:** THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL:** IT IS THE DIRECT INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE OWNER AND ARCHITECT SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.
- WARRANTY:** THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS:** UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL/NOTICE/CODE COMPLIANCE:** THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (2019 C.B.C.)
- CONSTRUCTION RESPONSIBILITY:** THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- JOB SITE SAFETY:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.
- INSURANCE:** LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY, INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRE CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- INDEMNIFICATION:** THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT FROM AND AGAINST ALL CLAIMS/DAMAGES/LOSSES/ AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANING UP:** THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- EXISTING CONDITIONS:** CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS, CONDITION AND EXISTING, AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- CONSTRUCTION NOTES:** ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- BUILDING CODES:** THIS PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA FIRE CODE (CFC), CALIFORNIA GREEN BUILDING CODE (CGBC) AND CALIFORNIA TITLE-24 ENERGY CODE.

#### OWNERSHIP NOTES

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

- TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER. HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED.
- THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
- THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHER FOR ANOTHER SITE.
- IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

#### TREE REMOVAL

FIVE (5) TREES TO BE REMOVED: THREE (2) 9" TREES, ONE (1) 6" TREE, ONE (1) 9" OAK, ONE (1) 26" PINE TREE

#### EXTERIOR LIGHTING NOTE

ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING SHALL BE NO HIGHER THAN 10 FEET ABOVE GROUND AND NOT EXCEED 25 WATTS (INCANDESCENT EQUIVALENT) IN POWER PER FIXTURE.

#### PROJECT DATA

ADDRESS: **4161 Sunridge Rd.  
Pebble Beach, CA 93953**

##### LOT DATA

LOT SIZE: APN 012-0-21022942 (12,120 S.F.)  
APN 011-0-31055450 (13,216 S.F.)  
TOTAL= 25,336 S.F.

ZONING: MDR/4-D(CZ)  
A.P.N.: 008-071-011-000 & 008-071-012

BUILDING HEIGHT: 16 FT. MAX  
OCCUPANCY GROUP: GROUP R-3  
TYPE OF CONSTRUCTION: (V-B)

##### SETBACKS

	REQUIRED	PROPOSED
MDR/4-D(CZ)		
FRONT	50'	97'-3 1/2"
REAR	10'	11'-5 1/2"
SIDE	10'	10'-1/2"
ACCESSORY/ MAIN STRUCTURE	10'	12'-10 3/4"
	REQUIRED	PROPOSED
BUILDING HEIGHT	16' MAX	15'-10"
(E) LOW GRADE		606'-5"
(E) HIGH GRADE		607'-5"
(E) AVERAGE NATURAL GRADE		606'-11"
MAXIMUM BUILDING HEIGHT	622'-11"	622'-9"

##### ZONING

	ALLOWED	PROPOSED
MDR/4-D(CZ)		
BUILDING SITE COVERAGE	9,099 S.F. (35%)	5,133 (20%)

##### LOT COVERAGE

###### BUILDING LOT COVERAGE

EXISTING MAIN RESIDENCE	3,376 S.F. (13%)
EXISTING EAVES OVER 30'	831 S.F. (3.2%)
PROPOSED A.D.U.	856 S.F. (3.3%)
PROPOSED A.D.U. EXTERIOR STAIRS	64 S.F. (0.002%)

TOTAL BUILDING SITE COVERAGE	5,133 S.F. (20%)
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###### PROPOSED FLOOR AREA

EXISTING MAIN HOUSE FLOOR AREA	3,376 S.F.
PROPOSED A.D.U. FLOOR AREA	856 S.F.
TOTAL BUILDING FLOOR AREA	4,232 S.F.

###### SITE COVERAGE- IMPERVIOUS

###### ALLOWED

9,000 S.F.

BUILDING SITE COVERAGE	5,002 S.F.
PATIOS & STAIRS	1,351 S.F.
DRIVEWAY	669 S.F.
SITE WALLS	62 S.F.
TOTAL IMPERVIOUS COVERAGE	7,084 S.F.

###### SITE COVERAGE- PERVIOUS

PATHS & WALKWAYS	2,021 S.F.
GRAVEL DRIVEWAY	2,482 S.F.
TOTAL PERVIOUS COVERAGE	4,503 S.F.

TOTAL SITE COVERAGE	11,647 S.F.
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#### PROJECT TEAM

OWNER: STEVEN RIVERA  
4161 SUNRIDGE RD.  
PEBBLE BEACH, CA, 93953  
PH: 925-922-5563

ARCHITECT: ERIC MILLER ARCHITECTS, INC.  
211 HOFFMAN AVE.  
MONTEREY, CA 93940  
PH: 831-372-0410  
CONTACT: CRISTO STAEDLER

SURVEYOR: NEAL DICKEY LAND SURVEYING  
9670 Pollock Lane  
Fremont, CA 94507  
PH: 831-320-1964  
CONTACT: NEAL DICKEY

##### PROJECT DESCRIPTION:

CONSTRUCTION OF A NEW 856 S.F. ACCESSORY DWELLING UNIT, CONSISTING OF A LIVING ROOM, KITCHEN, TWO BEDROOMS, ONE BATHROOM, MECHANICAL ROOM AND ROOF DECK.

##### CUT AND FILL CALCULATIONS

CUT:	75 CY
FILL:	0 CY
NET:	-75 CY

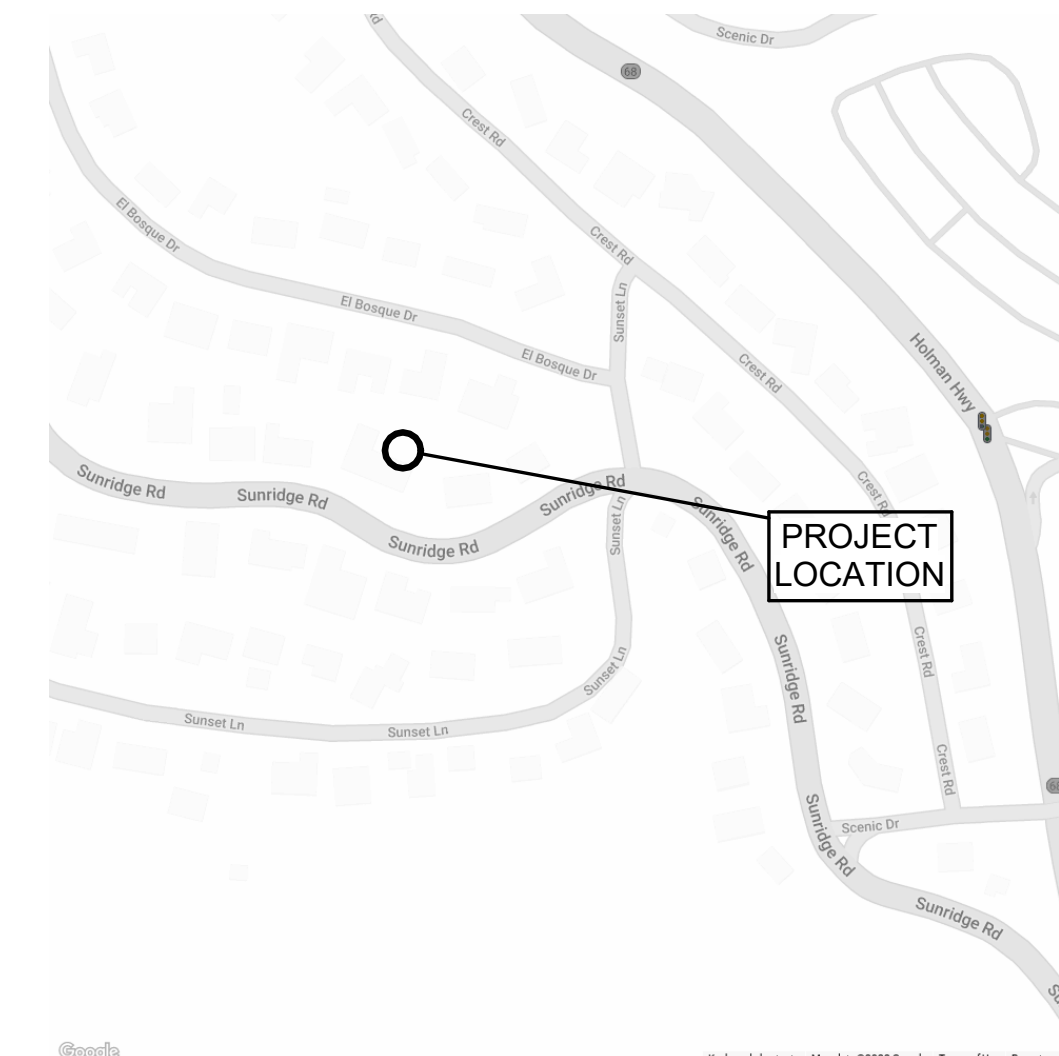
##### WATERSHED

PESCADERO WATERSHED

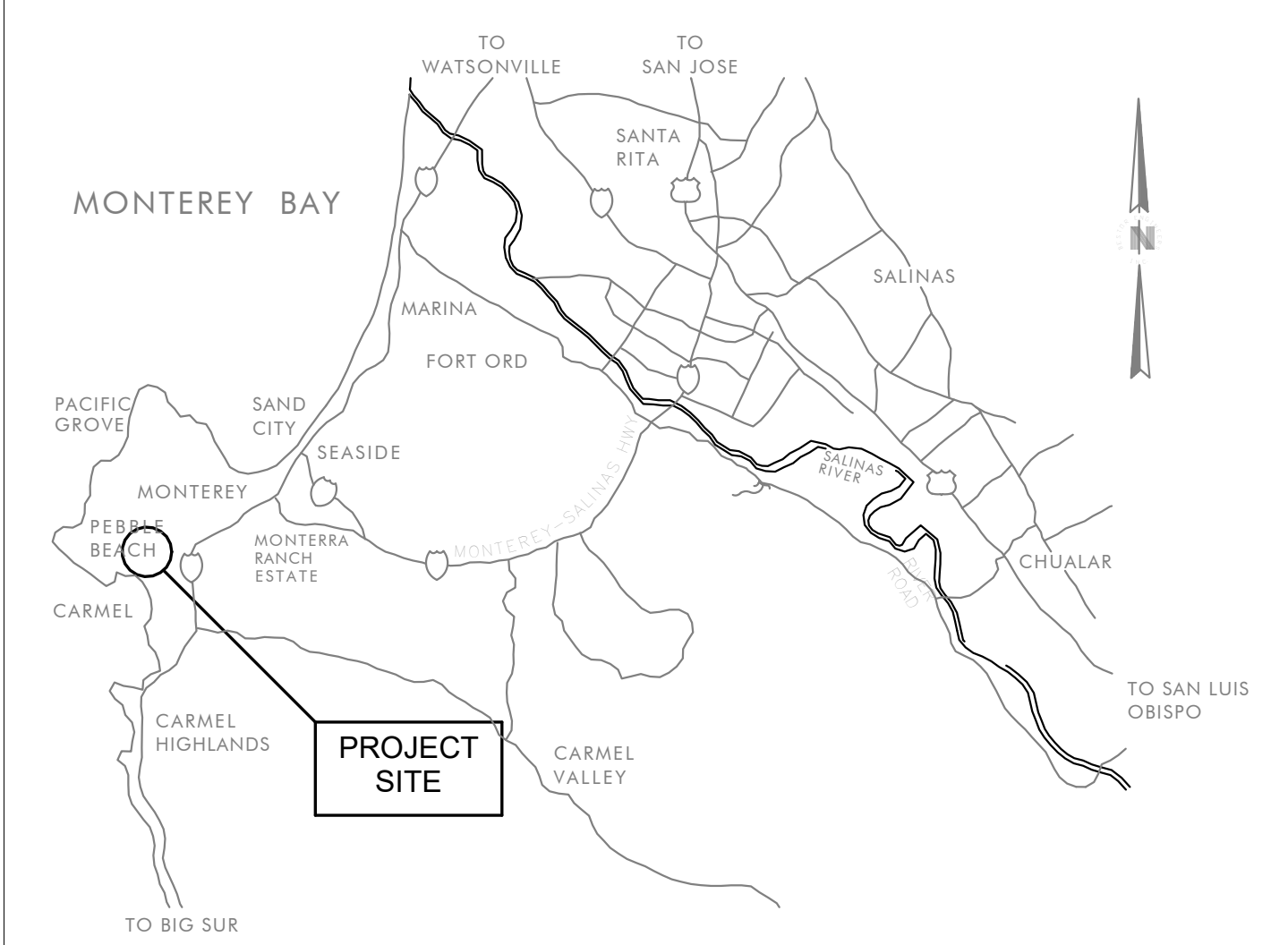
##### UTILITIES

GAS	PACIFIC GAS & ELECTRIC
ELECTRIC	PACIFIC GAS & ELECTRIC
WATER	CALIFORNIA AMERICAN WATER
SEWER	PEBBLE BEACH COMMUNITY SERVICES

#### LOCATION MAP



#### VICINITY MAP



SHEET INDEX		
SHEET NUMBER	SHEET NAME	SCALE
A-0.1	COVER SHEET	
A-0.2	TOPOGRAPHIC MAP	N.T.S.
A-1.1	SITE PLAN	1/8"=1'-0"
A-2.1	FLOOR PLANS	1/4"=1'-0"
A-3.1	SOUTH / WEST ELEVATIONS	1/4"=1'-0"
A-3.2	NORTH / EAST ELEVATION	1/4"=1'-0"
A-4.1	WALL SECTION	1"=1'-0"
A-7.1	MATERIAL SAMPLES	
A-7.2	RENDERINGS	
A-7.3	REVISION DIAGRAMS	
A-7.4	CONTEXT PHOTOS	
EL-1.1	EXTERIOR LIGHTING	1/4"=1'-0"

REVISION	No.

CONSULTANT:



ARCHITECT:  
**ERIC MILLER ARCHITECTS, INC.**  
211 HOFFMAN AVENUE  
MONTEREY, CA 93940  
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

COVER SHEET  
Job Name: Rivera A.D.U.  
4161 Sunridge Rd.  
Pebble Beach, CA 93953  
A.P.N. 008-071-011 & 012-000

DATE: 9/11/23

SCALE:

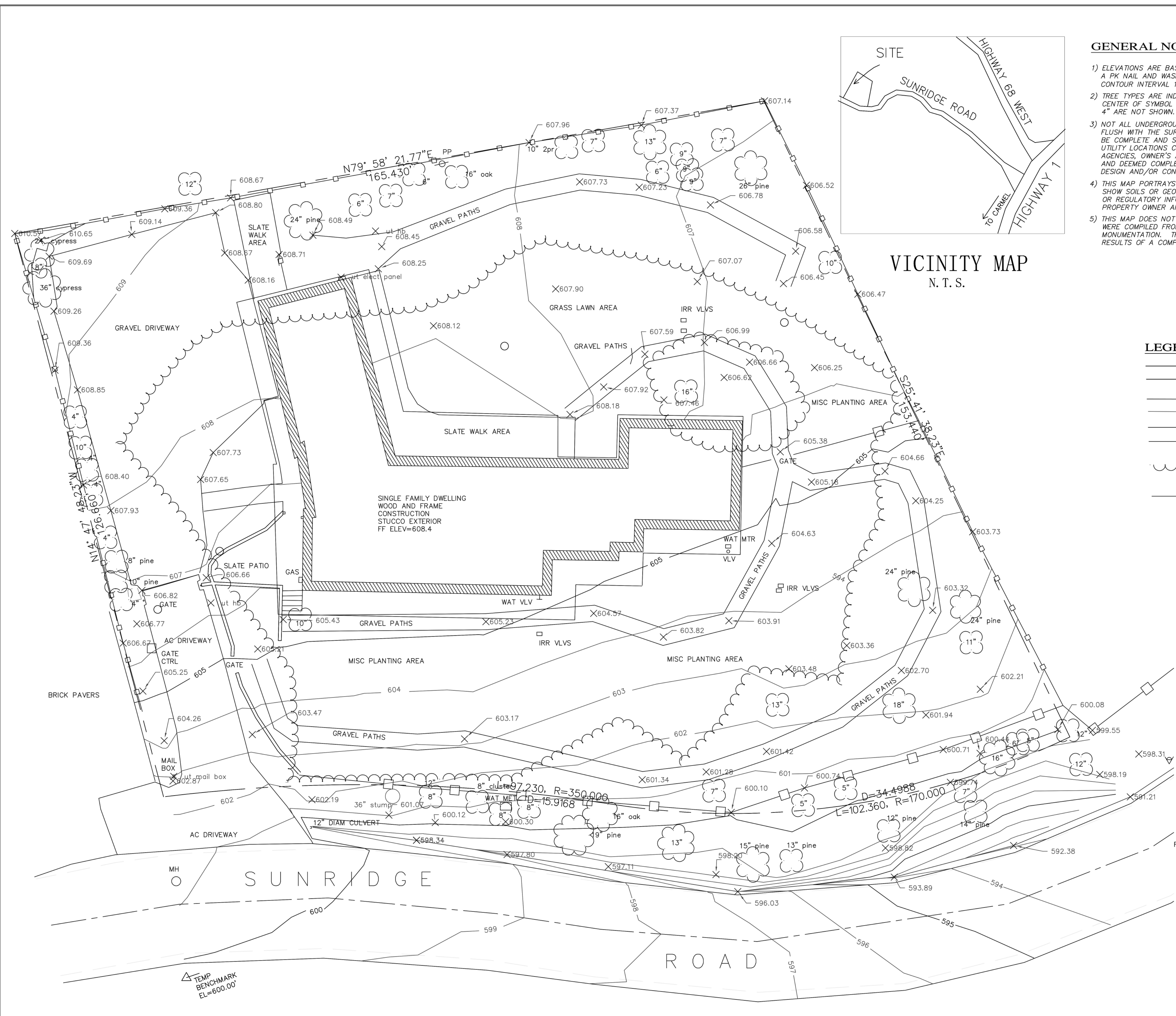
DRAWN: C.S.

JOB NO. 22.08

**A-0.1**

SHEET OF





VICINITY MAP  
N. T. S.

GENERAL NOTES

- ELEVATIONS ARE BASED ON ARBITRARY ELEVATION OF 600' AT CONTROL POINT #100 A PK NAIL AND WASHER SET IN AC ROADBED ON EASTBOUND SIDE SUNRIDGE ROAD CONTOUR INTERVAL 1'.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREES ARE LABELED IN INCHES. CENTER OF SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 4" ARE NOT SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (6/11/22) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

LEGEND:

- DOUBLE YELLOW STRIPE CL ROAD
- PROPERTY BOUNDARY LINE
- MAJOR CONTOUR LINE (5' INTERVAL)
- MINOR CONTOUR LINE (1' INTERVAL)
- ASPHALT EDGE
- CONCRETE EDGE
- TREE CANOPY AND TREES
- FENCE LINE
- SPOT ELEVATION
- SET TEMPORARY CONTROL POINT
- STRUCTURES



APPROVED BY:  
*Neal Dickey*  
NEAL DICKEY  
P.L.S. No. 8296

NEAL DICKEY  
LAND SURVEYING  
LAND SURVEYING - ELEVATION CERTIFICATES  
AERIAL PHOTOGRAPHY - ALTA SUBDIVISIONS  
9970 POLLOCK LANE, SALINAS, CA 93907  
nealdsurvey@gmail.com 831-320-1864

TOPOGRAPHIC MAP  
OF  
4161 SUNRIDGE ROAD, PEBBLE BEACH, CA

SCALE: 1"=10'  
DATE: JUNE 14, 2022  
PREPARED: NCD

SHEET 1  
OF 1 SHEETS

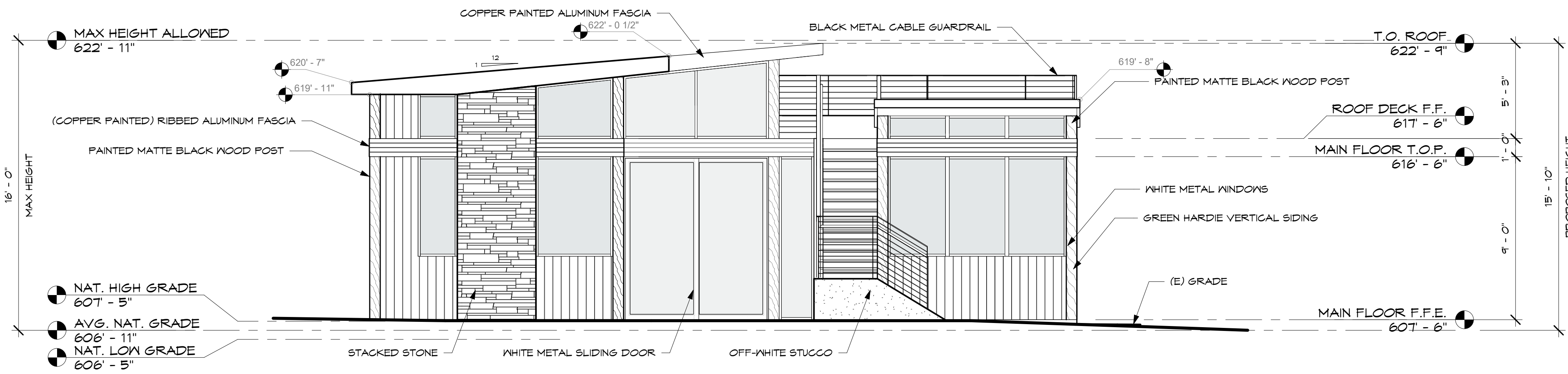
No.	DATE	BY	REVISION



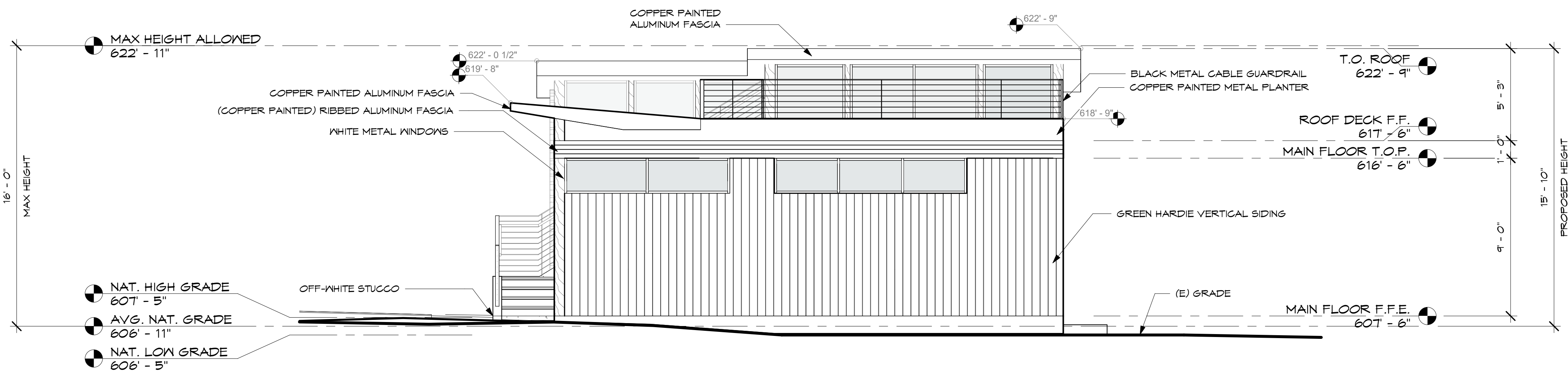
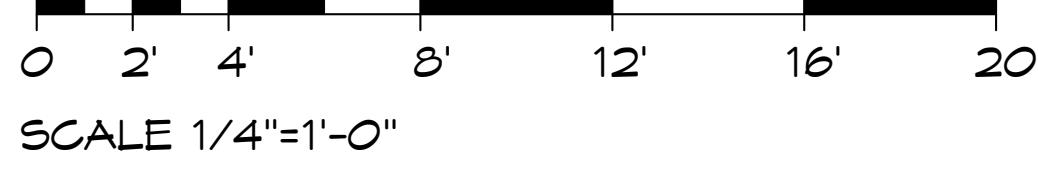




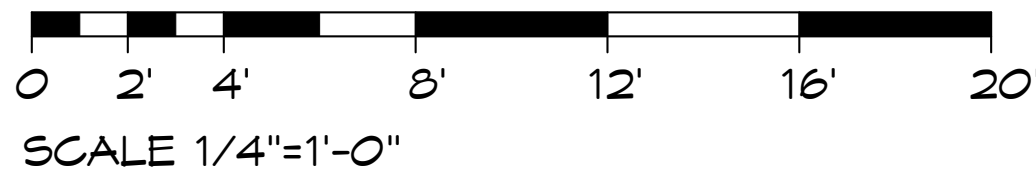




# 1 PROPOSED WEST ELEVATION



# 2 PROPOSED SOUTH ELEVATION



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REVISION	No.

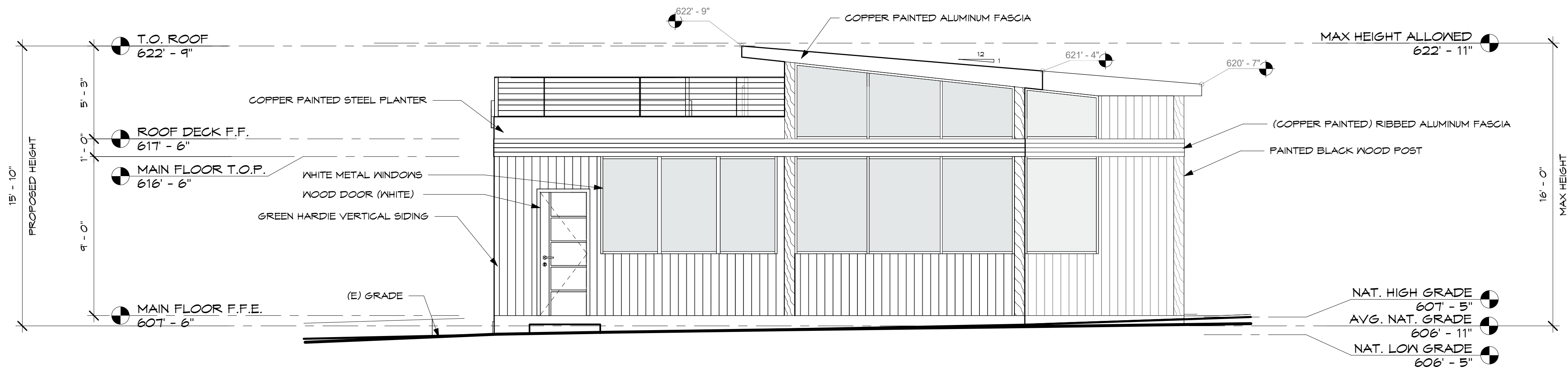
CONSULTANT:  
**ERIC MILLER ARCHITECTS, INC.**  
 211 HOFFMAN AVENUE MONTEREY, CA 93940  
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

**SOUTH / WEST ELEVATIONS**  
 Job Name: **Rivera A.D.U.**  
 4161 Sunridge Rd.  
 Pebble Beach, CA 94953  
 A.P.N. 008-071-011 & 012-000

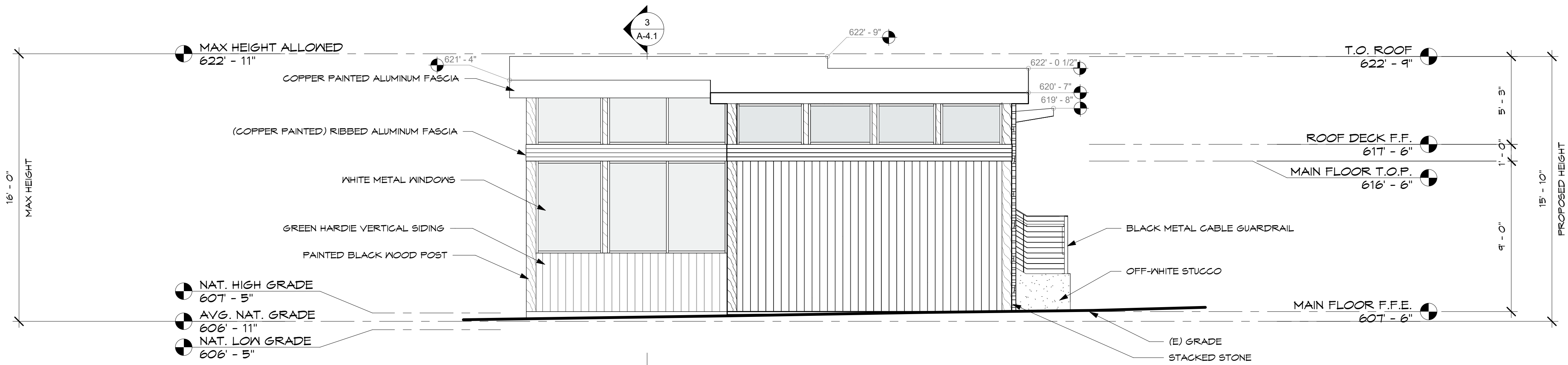
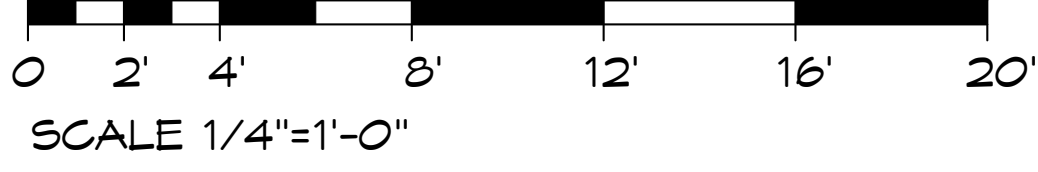
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 DRAWN: C.S.  
 JOB NO. 2208

**A-3.1**  
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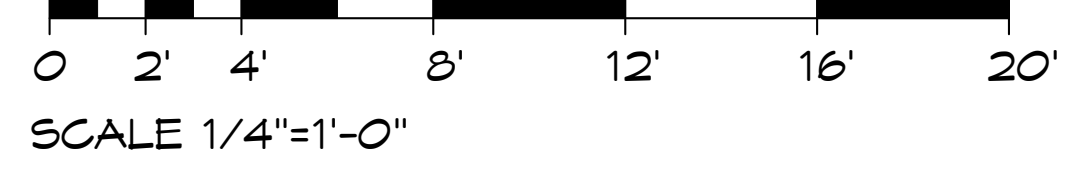
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# 1 PROPOSED EAST ELEVATION

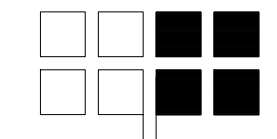


# 2 PROPOSED NORTH ELEVATION



REVISION	No.

CONSULTANT:



ARCHITECT:  
**ERIC MILLER ARCHITECTS, INC.**  
 211 HOFFMAN AVENUE MONTEREY, CA 93940  
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

NORTH / EAST ELEVATION  
 Job Name: **Rivera A.D.U.**  
 4161 Sunridge Rd.  
 Pebble Beach, CA 94953  
 A.P.N. 008-071-011 & 012-000

DATE: 9/11/23  
 SCALE: 1/4" = 1'-0"  
 DRAWN: C.S.  
 JOB NO. 2208

**A-3.2**  
 SHEET OF









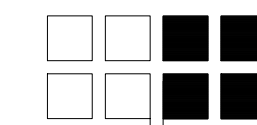


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THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION IN ANY MEDIUM IN WHOLE OR IN PART IS EXPRESSLY PROHIBITED. TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE FRAUDulent EXPENSE OF ACCEPTANCE OF THESE RESTRICTIONS.



REVISION	No.

CONSULTANT:



ARCHITECT:  
**ERIC MILLER ARCHITECTS, INC.**

211 HOFFMAN AVENUE MONTEREY, CA 93940  
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

CONTEXT PHOTOS

Job Name: **Rivera A.D.U.**

4161 Sunridge Rd.

Pebble Beach, CA 94953

A.P.N. 008-071-011 & 012-000

DATE: 9/11/23

SCALE:

DRAWN C.S.

JOB NO. 22.08

**A-7.4**  
SHEET OF



11W HINKLEY TAPER LED WALL SCONCE (LARGE- 11 WATT)

Taper LED Outdoor Wall Sconce  
By Hinkley

Product Options  
Finish: Textured Oil Rubbed Bronze  
Size: Large

Details  
Material: Composite  
Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not Included)  
UL Listed Item  
Warranty: 5 Year Finish, 5 Years on LED components  
Made in China

Dimensions  
Large Option Backplate: Width 9", Height 24"  
Large Option Fixture: Width 9", Height 24", Depth 4", Weight 6.38Lbs

Lighting

Lamp Type	LED Built-in
Total Lumens	800
Total Watts	11.00
Volts	120
Color Temp	3000 (Soft White)
CRI	90
Equipment: Ballasts, CFL or LED Bulb Can Be Used	No

Additional Details  
Product URL:  
<https://www.lumens.com/taper-led-outdoor-wall-sconce-by-hinkley-HK11880391.html>  
Rating: UL Listed Wet  
ITEM#: HK11880391

Created September 27th, 2022



Prepared by: [Signature]  
Prepared for: [Signature]  
Project: [Signature]  
Notes: [Signature]



8W HINKLEY TAPER LED WALL SCONCE (MEDIUM- 8 WATT)

Taper LED Outdoor Wall Sconce  
By Hinkley

Product Options  
Finish: Textured Oil Rubbed Bronze  
Size: Medium

Details  
Material: Composite  
Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not Included)  
UL Listed Item  
Warranty: 5 Year Finish, 5 Years on LED components  
Made in China

Dimensions  
Medium Option Backplate: Width 7", Height 15"  
Medium Option Fixture: Width 7", Height 15", Depth 3.5", Weight 3.52Lbs

Lighting

Lamp Type	LED Built-in
Total Lumens	600
Total Watts	8.00
Volts	120
Color Temp	3000 (Soft White)
CRI	90
Equipment: Ballasts, CFL or LED Bulb Can Be Used	No

Additional Details  
Product URL:  
<https://www.lumens.com/taper-led-outdoor-wall-sconce-by-hinkley-HK11880390.html>  
Rating: UL Listed Wet  
ITEM#: HK11880390

Created September 27th, 2022



Prepared by: [Signature]  
Prepared for: [Signature]  
Project: [Signature]  
Notes: [Signature]



2W WAC HORIZONTAL STEP LIGHT (2 WATT)

Landscape Lighting LED Horizontal Step Light  
By WAC Lighting

Product Options  
Finish: Bronze on Brass  
Light Option: White

Details  
Protected against high pressure water jets  
IPX-6/IPX-65 rating  
30° beam spread  
Solid die-cast brass, corrosion resistant aluminum alloy or cast aluminum and construction  
Infrared remote control (optional) optional color strip  
The item is 4" x 2" with maximum inside dimensions of 3.1" x 2" x 2"  
Includes bracket for 1/8" inset  
Designed in 2015  
Black Material: Powder Coat  
UL Listed Item  
Warranty: 5 Year Functional / 3 Years Functional for Black  
Finish: Made in China

Dimensions  
Fixture: Width 5", Height 3", Depth 1.5"

Lighting

Lamp Type	LED Built-in
Total Lumens	48
Total Watts	2.00
Volts	12
Average Lifespan	60000.00
CRI	90
Equipment: Ballasts, CFL or LED Bulb Can Be Used	No

Additional Details  
Product URL:  
<https://www.lumens.com/landscape-lighting-led-horizontal-step-light-by-wac-lighting-WAC071982.html>  
Rating: UL Listed Wet  
ITEM#: WAC071982

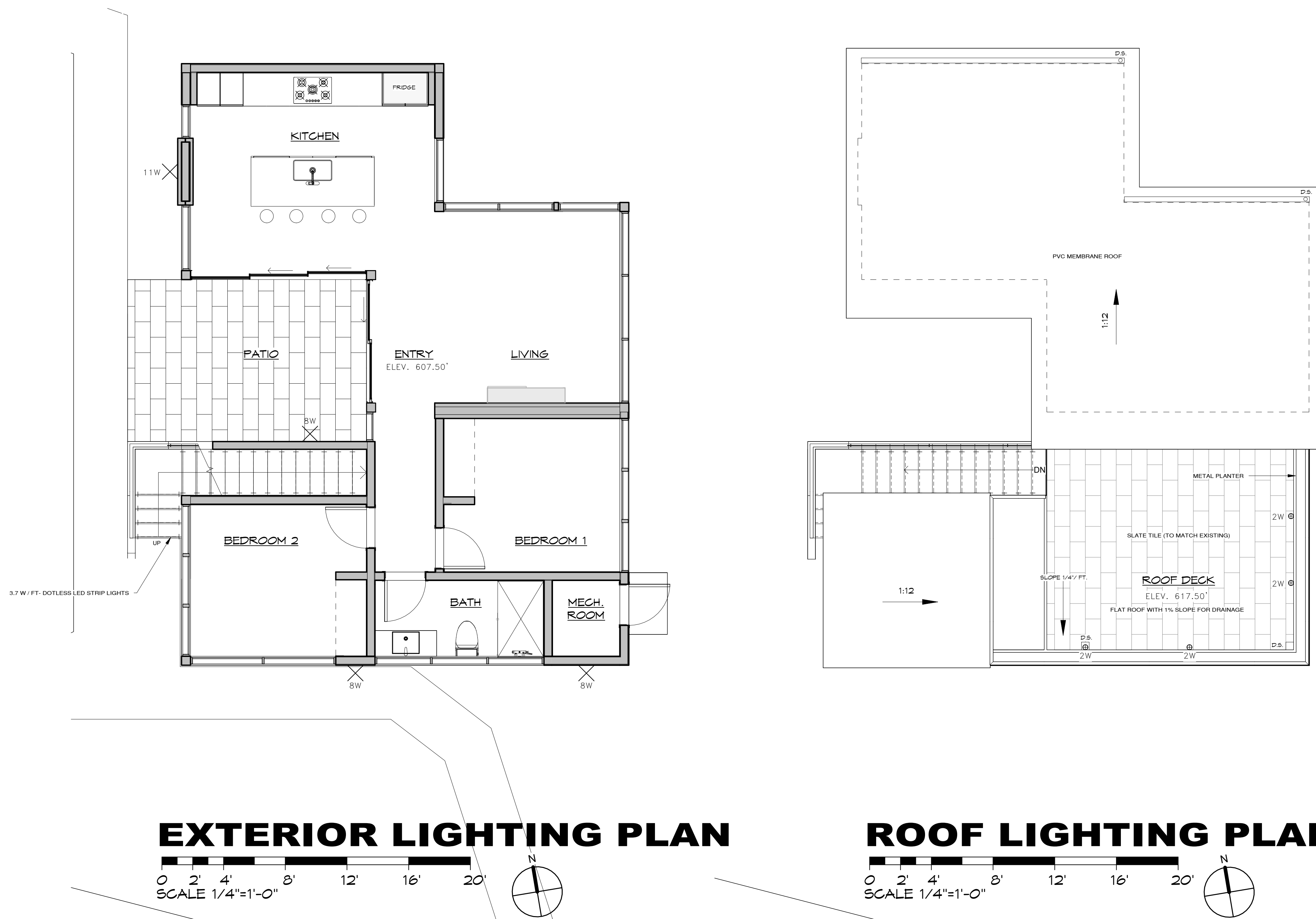
Prepared by: [Signature]  
Prepared for: [Signature]  
Project: [Signature]  
Notes: [Signature]

L-SERIES DOTLESS LINEAR LED STRIP LIGHTING (UNDER STAIR NOSING)

L-SERIES DOTLESS™ LINEAR LED STRIP LIGHTS  
MODEL:AL-SL-L-U

	NON-WATERPROOF	WATER-RESISTANT
Dimensions	5/16" (8mm) wide 1 1/8" (29mm) (BLACK) 16.4" (416mm) long	5/16" (8mm) wide 3 7/8" (98mm) (BLACK) 16.4" (416mm) long
Cut Length	12VDC: 0.7' (21.33mm) 24VDC: 1.37' (41.65mm)	12VDC: 0.7' (21.33mm) 24VDC: 1.37' (41.65mm)
IP Rating	IP20 Indoor Use Dry Location	IP65
PCB Width	8mm	8mm
CR	>90	>90
Adhesive Backing	Yes / 3M Adhesive	Yes / 3M Adhesive
Mounting Method	Adhesive Backing	Adhesive Backing
Input Voltage	12VDC or 24VDC	12VDC or 24VDC
Beam Angle	120 Degrees	120 Degrees
Dimmable	Yes	Yes
Max Power Consumption	12VDC: 3.7 Watts per foot 24VDC: 4.3 Watts per foot	12VDC: 3.7 Watts per foot 24VDC: 4.3 Watts per foot
Color Temperature	Warm White - 3000K Neutral White - 4000K DayWhite - 6000K	Warm White - 3000K Neutral White - 4000K DayWhite - 7000K
Max Luminous Flux	12VDC: 304 Lumens per foot 24VDC: 423 Lumens per foot (varies by LED color)	12VDC: 304 Lumens per foot 24VDC: 423 Lumens per foot (varies by LED color)
Max Run	16.4 feet @ 24VDC	16.4 feet @ 24VDC
Weight	0.4 lbs per reel	0.7 lbs per reel
Estimated Lifespan	50,000 hours	50,000 hours
Warranty	1 Year	1 Year
Suitable Uses	Dry Location Only	Dry, Damp Locations
Standards/Certifications	UL Listed, RoHS	UL Listed, RoHS

www.aspectLED.com | 888.583.1317 | sales@aspectLED.com  
For general information purposes only. Specifications, dimensions and construction not guaranteed and are subject to change without notice. Copyright © 2022 ASP Lighting, Inc. All rights reserved.  
aspectLED  
IP65 Corrosion Resistant (Salt Fog, MIP, MIP2)



REVISION	No.

CONSULTANT:

ARCHITECT:  
**ERIC MILLER ARCHITECTS, INC.**  
211 HOFFMAN AVENUE MONTEREY, CA 93940  
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

EXTERIOR LIGHTING  
Job Name: **Rivera A.D.U.**  
4161 Sunrise Rd.  
Pebble Beach, CA 94953  
A.P.N. 008-071-011 & 012-000

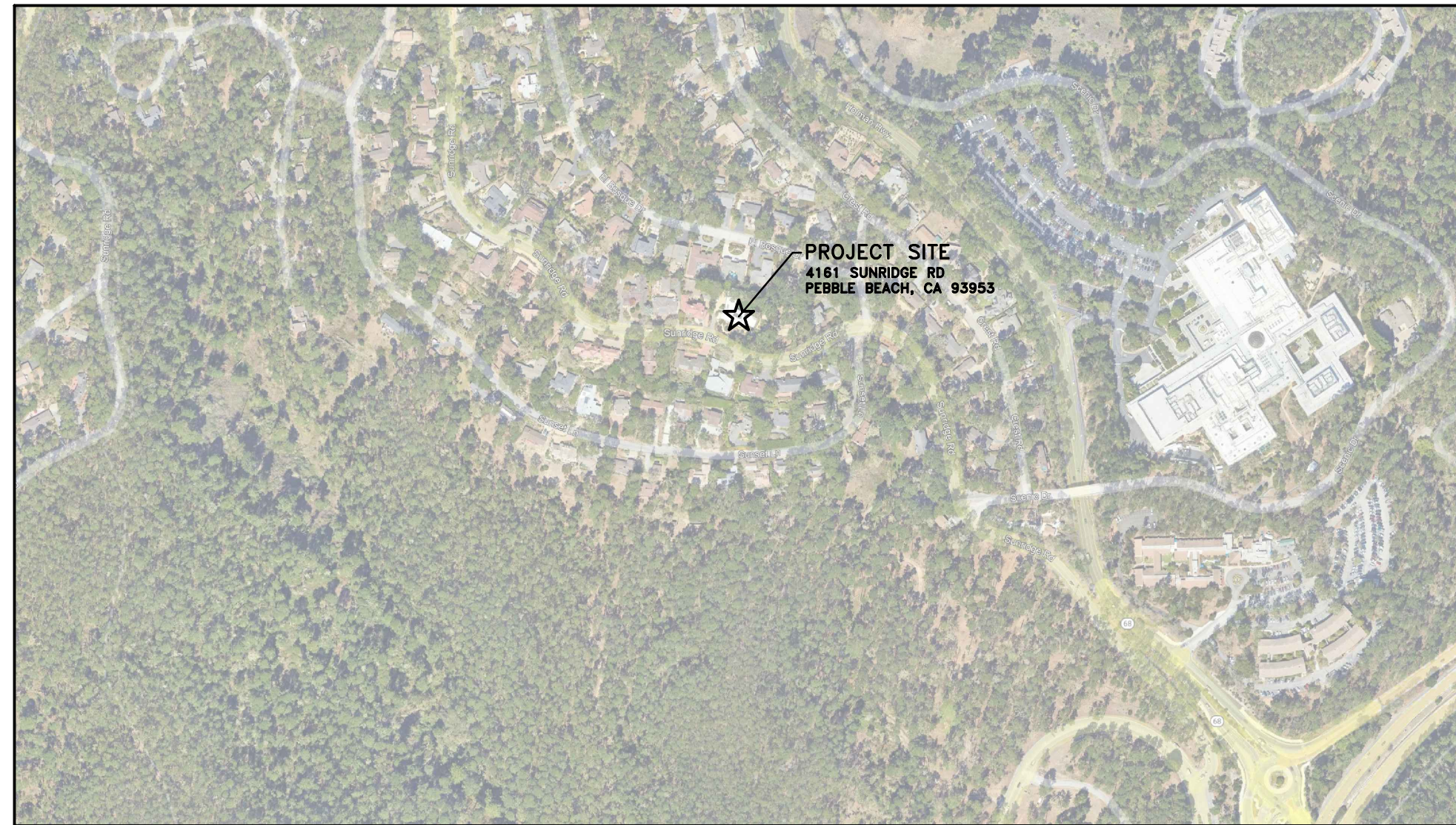
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SCALE: 1/4" = 1'-0"  
DRAWN: C.S.  
JOB NO. 22.08

**EL-1.1**  
SHEET OF

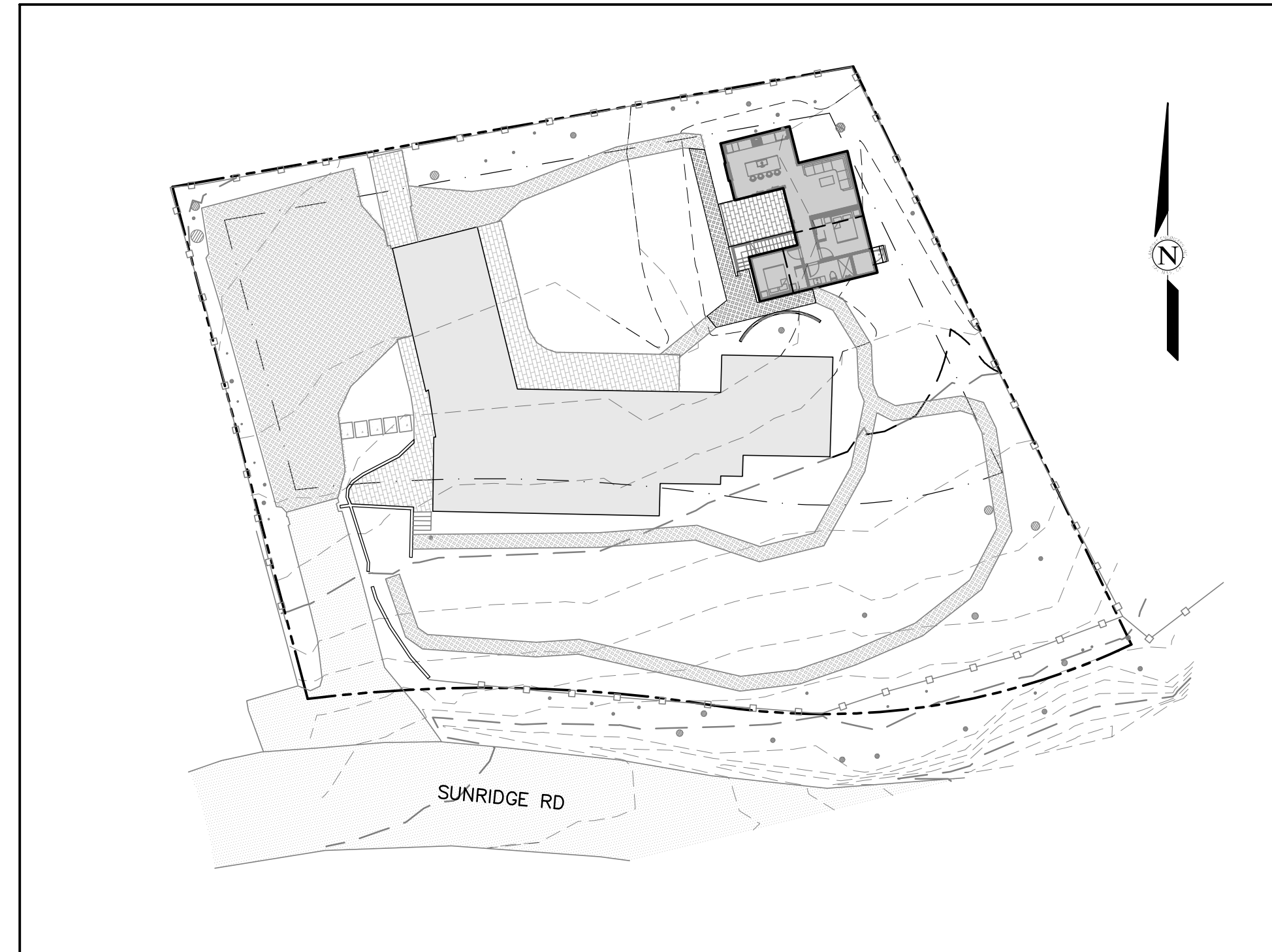


# GRADING, DRAINAGE, & EROSION CONTROL PLAN

OF  
**THE RIVERA RESIDENCE**  
APN: 008-071-012  
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA



**VICINITY MAP**  
NOT TO SCALE



**LOT OVERVIEW**  
SCALE: 1" = 30'

**ABBREVIATIONS:**

Ø = DIAMETER	EX = EXISTING	PVC = POLYVINYL CHLORIDE
AB = AGGREGATE BASE	FC = FLUSH CURB	RC = RELATIVE COMPACTION
ABAN = ABANDON	FD = FIRE DEPARTMENT	RES = RESIDENCE
AC = ASPHALT CONCRETE	FF = FINISHED FLOOR	RM = ROOM
AD = AREA DRAIN	FG = FINISHED GRADE	RND = ROUND
ADD = ADDITION	FL = FLOWLINE	RW = RETAINING WALL
ADU = ACCESSORY DWELLING UNIT	FM = FORCE MAIN	RWL = RAINWATER LEADER
BC = BEGINNING OF CURVE	FP = FINISHED PAD	SD = STORM DRAIN
B.E. = BUILDING ENVELOPE	GAR = GARAGE	SF = SQUARE FEET
BLDC = BUILDING	GB = GRADE BREAK	SG = SUBGRADE
BOT = BOTTOM	GR = GRATE	SO = SQUARE
BSMT = BASEMENT	HDPE = HIGH-DENSITY POLYETHYLENE	SS = SANITARY SEWER
BVC = BEGINNING OF VERTICAL CURVE	HP = HIGH POINT	STA = STATION
CB = CATCH BASIN	HT = HEIGHT	STN = STONE
CF = CUBIC FEET	INV = PIPE INVERT	STP = STEP
CL = CENTERLINE	JB = JUNCTION BOX	SUBD = SUBDRAIN
CO = CLEANOUT	JT = JOINT TRENCH	TBR = TO BE REMOVED
CONC = CONCRETE	LF = LINEAR FEET	TD = TRENCH DRAIN
CY = CUBIC YARDS	LP = LOW POINT	TW = TOP OF WALL
DG = DECOMPOSED GRANITE	MAX = MAXIMUM	TYP = TYPICAL
DK = DECK	MIN = MINIMUM	U.N.O. = UNLESS NOTED OTHERWISE
DS = DOWNSPOUT	OC = ON-CENTER	VC = VERTICAL CURB
DWY = DRIVEWAY	OUT = OUTLET	VIF = VERIFY IN FIELD
EC = END OF CURVE	PCC = PORTLAND CEMENT CONCRETE	W/ = WITH
EG = EXISTING GROUND	PERF = PERFORATED	W/O = WITHOUT
ESMT = EASEMENT	PERM = PERMEABLE	WD = WOOD
EVC = END OF VERTICAL CURVE	PL = PROPERTY LINE	
EW = EACH WAY	POC = POINT OF CONNECTION	

**INDEX TO SHEETS**

SHEET C1	COVER SHEET
SHEET C2	GRADING & DRAINAGE PLAN
SHEET C3	CONSTRUCTION DETAILS
SHEET C4	EROSION & SOURCE CONTROL PLAN
SHEET C5	CONSTRUCTION MANAGEMENT PLAN

**GENERAL NOTES:**

- PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE RIVERA RESIDENCE (SHEET A-1.1 PREPARED BY ERIC MILLER ARCHITECTS) & THE BASE TOPOGRAPHIC INFORMATION PREPARED BY NEAL DICKEY LAND SURVEYING, DATED JUNE 2022.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUBSURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

**GRADING & DRAINAGE NOTES:**

- ALL GRADING SHALL CONFORM TO THE LATEST MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE; THE RECOMMENDATIONS FOUND IN THE PROJECT'S SOIL ENGINEERING INVESTIGATION PREPARED BY THE SOIL ENGINEER; THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS; THE GOVERNING PUBLIC AGENCIES; THE LATEST REVISION OF THE CALIFORNIA BUILDING CODE (CBC); AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL. MATERIAL ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 75 CUBIC YARDS OF CUT AND 0 CUBIC YARDS OF FILL TOTAL WITH A NET EXCESS OF 75 CUBIC YARDS. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. ARE NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOILS REPORT AND BE APPROVED BY THE SOIL ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10' PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO DO SO AND FOR USE IN GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND THE FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10'. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10' OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 2% WHERE LOCATED WITHIN 5' OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE ACCOMPLISHED BY THE USE OF GUTTERS AND DOWNSPOUTS. THE UPPER DECK SHALL BE SLOPED AT A MINIMUM OF 1% AND AREA DRAINS SHALL BE INSTALLED AT THE LOW POINTS. THESE AREA DRAINS SHALL THEN CONNECT TO DOWNSPOUTS (SEE ARCHITECTURAL PLANS FOR DETAILS). THE DOWNSPOUTS SHALL BE CONNECTED TO RAINWATER LEADERS AND TIED INTO THE STORM DRAIN SYSTEM AS SHOWN ON THE SITE UTILITY PLAN. DOWNSPOUTS THAT ARE NOT CONNECTED TO A RAINWATER LEADER SHALL OUTLET ONTO SPLASH BLOCKS. RAINWATER LEADERS SHALL BE CONSTRUCTED WITH 4" SDR35 PVC PIPE. UNDER NO CIRCUMSTANCES SHALL A RAINWATER LEADER BE CONNECTED TO A SUBDRAIN LINE.
- SURFACE RUNOFF SHALL BE COLLECTED BY A SYSTEM OF SWALES AND DRAINS. CAPTURED STORMWATER SHALL BE PIPED TO A DRY WELL AS SHOWN ON THE SITE UTILITY PLAN. STORM DRAIN LINES SHALL DRAIN BY GRAVITY AND BE SLOPED AT A MINIMUM OF 2% TO AN OUTLET. WHERE A 2% SLOPE IS IMPRACTICAL, PIPES SHALL BE SLOPED AT NO LESS THAN 1%. STORM DRAIN LINES SHALL HAVE A MINIMUM COVER OF 12" AND SHALL BE CONSTRUCTED WITH SDR35 PVC PIPE, SIZED AS INDICATED.
- TRENCH DRAINS SHALL BE NDS CHANNEL DRAINS, SIZED AS INDICATED ON THE SITE UTILITY PLAN. FLAT-BOTTOMED CHANNELS SHOULD BE SLOPED AT A MINIMUM OF 0.5% TO AN OUTLET IN ORDER TO ENSURE PROPER DRAINAGE AND PREVENT STANDING WATER IN THE TRENCH. ANY CHANNEL SLOPED AT LESS THAN 0.5% SHALL HAVE OUTLETS SPACED AT NO MORE THAN 10'. GRATES AND CHANNELS SHALL HAVE A LOAD RATING GREATER THAN OR EQUAL TO THE EXPECTED LOADING IN THE INSTALLATION AREA. ALL TRENCH DRAINS SHALL BE SURROUNDED BY A MINIMUM OF 4" OF CONCRETE. TRENCH DRAINS SHOULD BE SIZED TO HANDLE THE PEAK RUNOFF RATE PRODUCED BY A 10-YEAR DESIGN STORM.
- SUBSURFACE WATER BEHIND ANY RETAINING WALLS SHALL BE CONTROLLED BY THE INSTALLATION OF SUBDRAINS. SUBDRAIN LINES SHALL BE CONSTRUCTED WITH PERFORATED 4" SDR35 PVC PIPE PLACED WITH THE HOLES FACING DOWNWARD. COLLECTED WATER SHALL DRAIN TO DAYLIGHT AT A MINIMUM SLOPE OF 1% AS SHOWN ON THE SITE UTILITY PLAN. PIPES CARRYING SURFACE WATER OR ROOF WATER SHALL NOT UNDER ANY CIRCUMSTANCES OUTLET INTO A SUBDRAIN LINE. THE SYSTEM OF SUBDRAINS SHOULD REMAIN INDEPENDENT OF THE SURFACE STORM DRAIN SYSTEM.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- SPECIAL INSPECTIONS BY A SPECIAL INSPECTOR ARE REQUIRED DURING FILL PLACEMENT TO ENSURE PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT, AND PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- STOP WORK WITHIN 50 METERS (165') OF UNCOVERED RESOURCE AND CONTACT THE MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

PROJECT DATA:	
<b>GRADING VOLUMES</b>	
CUT	= 75 CY
FILL	= 0 CY
NET	= 75 CY CUT
<b>IMPERVIOUS AREA*</b>	
ADU	= 856 SF
PATIO	= 163 SF
STEPS	= 64 SF
LANDING	= 14 SF
TOTAL	= 1097 SF
	*CREATED OR REPLACED
<b>PERMEABLE SURFACES</b>	
GRAVEL PATHS	= 257 SF
LANDSCAPE	= 4276 SF
TOTAL	= 4533 SF
<b>AREA OF DISTURBANCE</b>	
TOTAL	= 5630 SF

**LEGEND:**

--- ---	PROPERTY BOUNDARY	▒	EXISTING RESIDENCE FOOTPRINT	■	CATCH BASIN
- - - -	SETBACK	■	PROPOSED BUILDING FOOTPRINT	●	AREA DRAIN
— — — —	MAJOR CONTOUR (5' INTERVAL)	▒	ASPHALT CONCRETE	■	ENERGY DISSIPATOR
- - - -	MINOR CONTOUR (1' INTERVAL)	▒	PORTLAND CEMENT CONCRETE	○	DRY WELL
— — — —	RETAINING WALL	▒	GRAVEL	⊗	TREE TO BE REMOVED
— — — —	SWALE FLOW LINE	▒	IMPERVIOUS PAVERS		
— — — —	STORM DRAIN PIPE				
— — — —	RAINWATER LEADER				

**STORMWATER CONTROL NOTES:**

- THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- THIS PROJECT SHALL IMPLEMENT THE FOLLOWING STRATEGIES: MINIMIZE COMPACTION OF HIGHLY PERMEABLE SOILS; LIMIT CLEARING AND GRADING OF NATIVE VEGETATION; MINIMIZE IMPERVIOUS SURFACES AND LEAVE THE REMAINING LAND IN A NATURAL UNDISTURBED STATE; MINIMIZE STORMWATER RUNOFF BY DIRECTING RUNOFF FROM PATIOS, PORCHES, AND DRIVEWAYS ONTO VEGETATED AREAS AND DIRECTING ROOF RUNOFF INTO AN INFILTRATION SYSTEM SAFELY AWAY FROM BUILDING FOUNDATIONS AND FOOTINGS, CONSISTENT WITH THE CALIFORNIA BUILDING CODE.

**CONTACT INFORMATION:**

**OWNER:**  
STEVEN RIVERA  
4161 SUNRIDGE RD  
PEBBLE BEACH, CA 93953

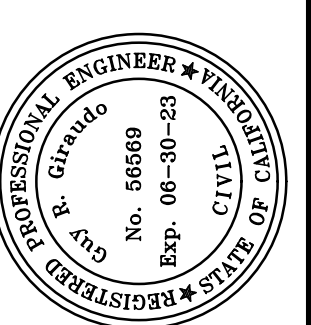
**ARCHITECT:**  
CRISTO STAEHLER  
ERIC MILLER ARCHITECTS  
211 HOFFMAN AVE  
MONTEREY, CA 93940

**SITE LOCATION:**  
4161 SUNRIDGE RD  
PEBBLE BEACH, CA 93953

**NOTE:** PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

**GEOTECHNICAL INSPECTION SCHEDULE**

Inspection Item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	SOIL ENGINEER	Beginning of Project		
Subexcavation, fill placement, and compaction	SOIL ENGINEER	Throughout grading operations		
Foundation Excavations	SOIL ENGINEER	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	SOIL ENGINEER	Prior to trench backfill		
Utility trench compaction	SOIL ENGINEER	During backfill operations		
Retaining wall backfill compaction	SOIL ENGINEER	During backfill operations		
Baserock subgrade compaction	SOIL ENGINEER	Prior to pavement installation		



APPROVED BY:  
  
GUY R. GIRARDINO



**"COVER SHEET"**  
**GRADING, DRAINAGE, & EROSION CONTROL PLAN**  
 OF  
**THE RIVERA RESIDENCE**  
 A.P.N.: 008-071-012  
 PEBBLE BEACH, CALIFORNIA  
 STEVEN RIVERA

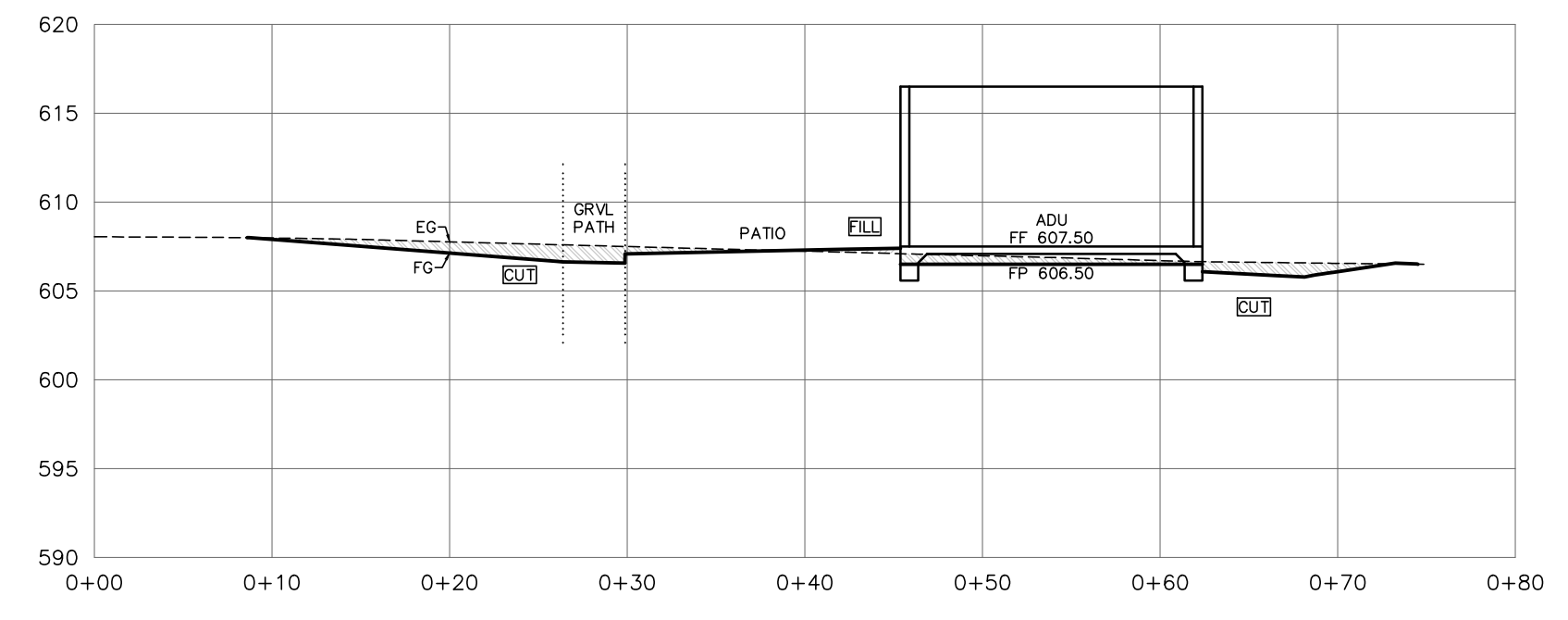
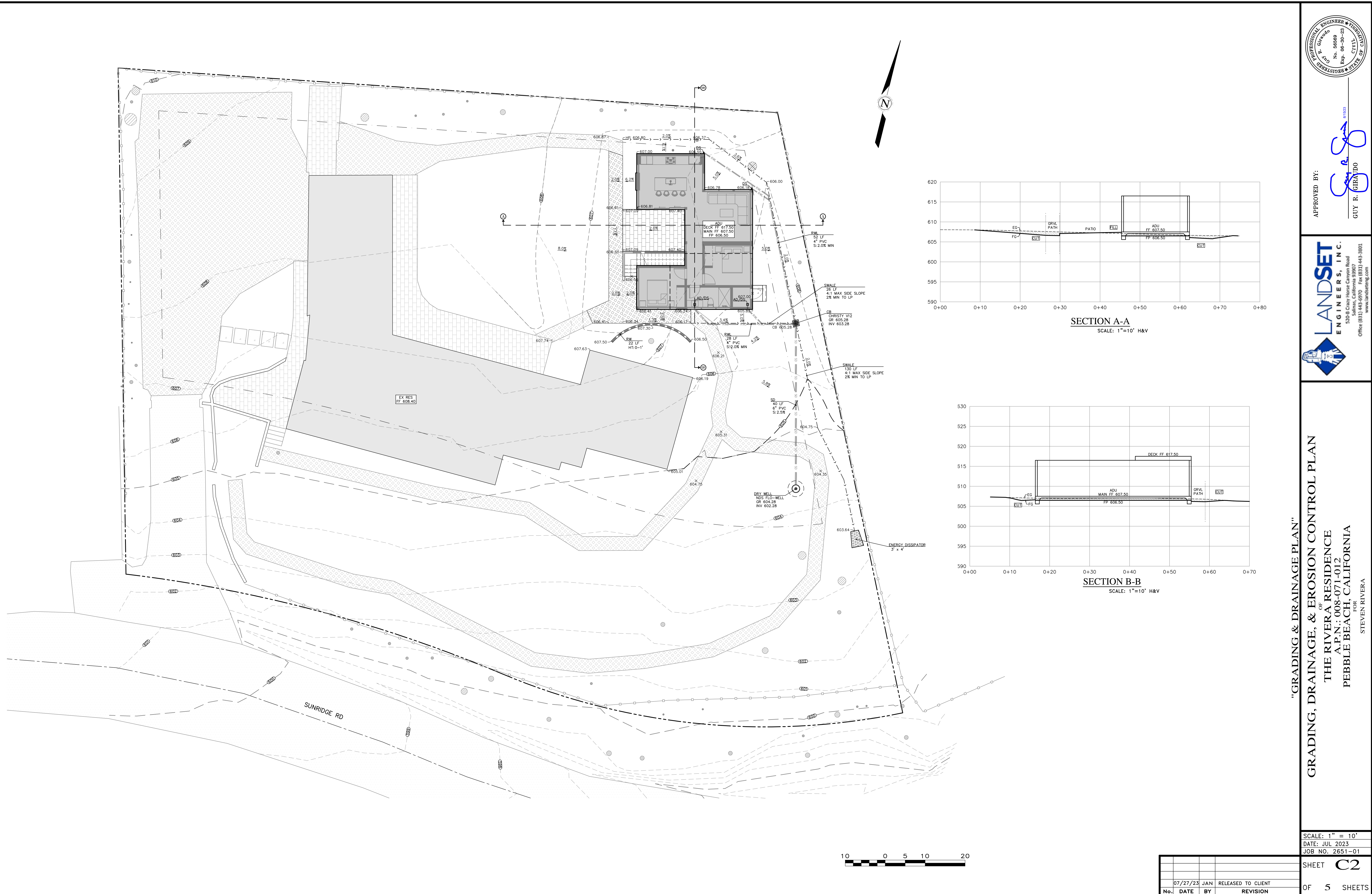
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DATE: JUL 2023  
JOB NO. 2651-01

SHEET **C1**

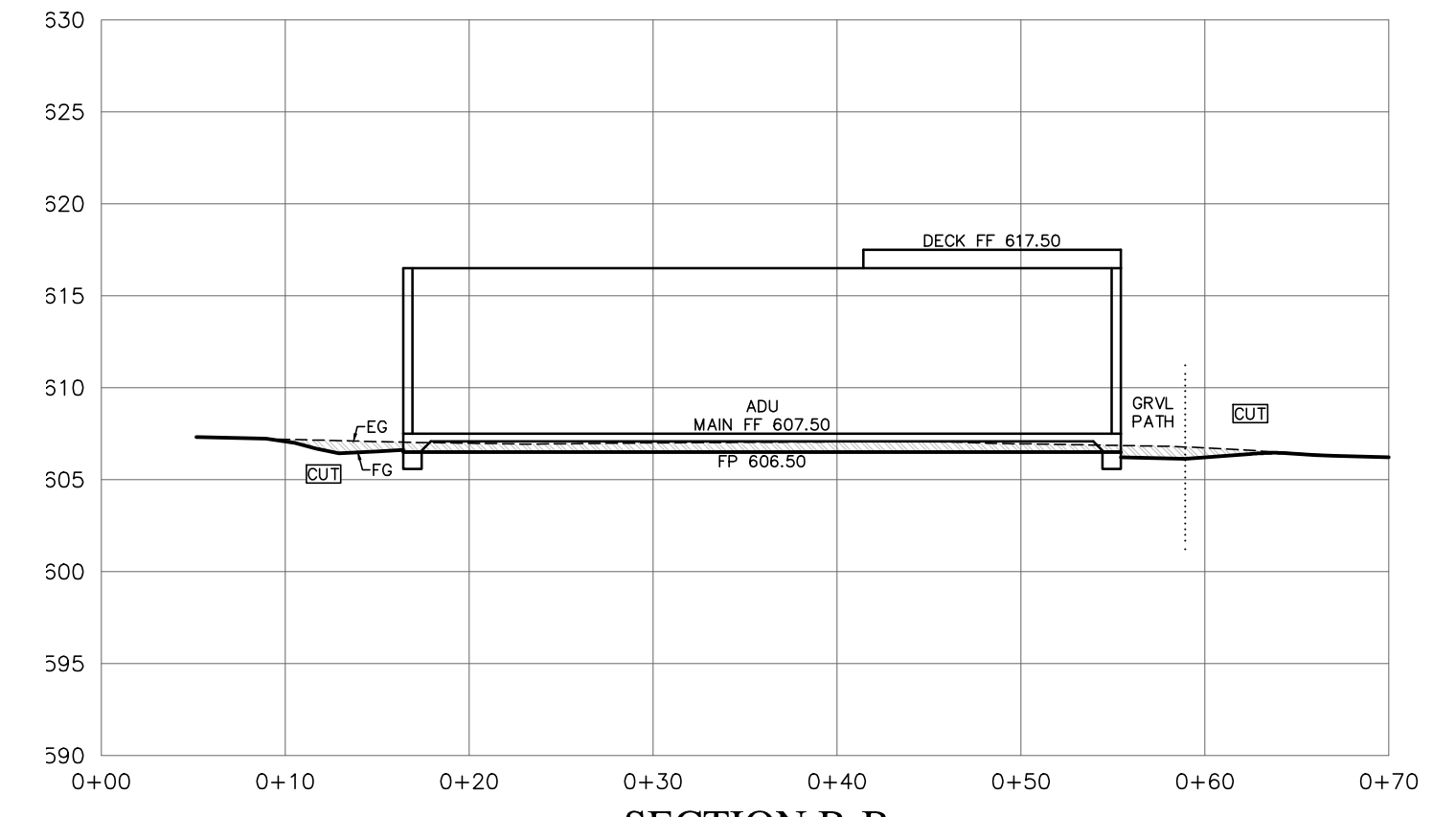
OF 5 SHEETS

No.	DATE	BY	REVISION
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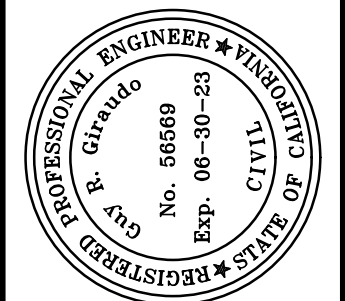
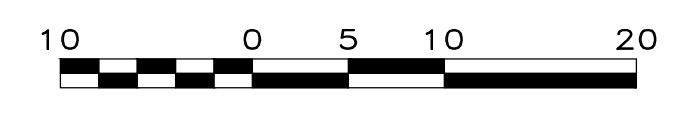




SECTION A-A  
SCALE: 1"=10' H&V



SECTION B-B  
SCALE: 1"=10' H&V



APPROVED BY:  
*Guy R. Girardi*  
GUY R. GIRARDI



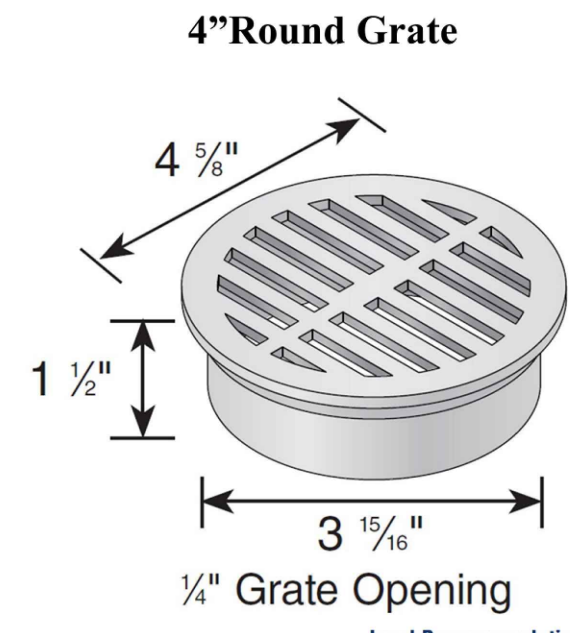
"GRADING & DRAINAGE PLAN"  
GRADING, DRAINAGE, & EROSION CONTROL PLAN  
OF  
THE RIVERA RESIDENCE  
A.P.N.: 008-071-012  
PEBBLE BEACH, CALIFORNIA  
NO. 003  
STEVEN RIVERA

SCALE: 1" = 10'  
DATE: JUL 2023  
JOB NO. 2651-01

No.	DATE	BY	REVISION
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SHEET **C2**  
OF 5 SHEETS





**4" Round Grate**  
1 1/2" Height  
4 5/8" Diameter  
3 15/16" Grate Opening  
1/4" Grate Opening

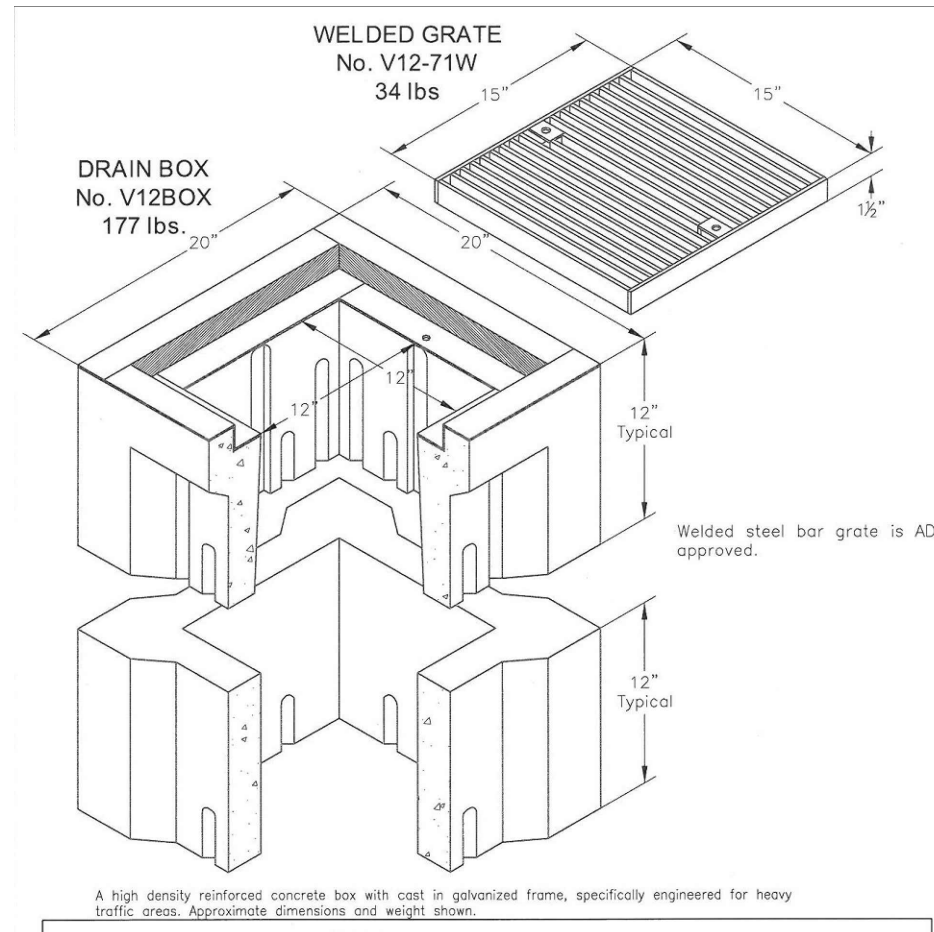
**Load Recommendation Guide**

Part #: 11, 12, 13 and 13S  
Material: HDPE High Density Polypropylene  
Color: #11(Black), #12(Grey), #13(Green), & #13S(Sand)  
Fits: 4" sewer and drain pipe & fittings.  
4" corrugated and triple wall pipe.  
Grate Opening: 1/4"  
Open Surface Area: 3.85 Sq. Inches  
Head Pressure / Flow Rate:  
Head (inches) - Max Flow:  
1" = 16.66 GPM  
0.5" = 11.78 GPM  
Weigh Per Each: 0.16 lbs.  
UV Inhibitor

**Class A**  
+ Loads of 100 psi  
+ Recommended for pedestrians, bicycles and wheel chair traffic.

**ADA Compliant/Heel-proof**

1 NDS 4" ROUND GRATE



**WELDED GRATE**  
No. V12-71W  
34 lbs

**DRAIN BOX**  
No. V12BOX  
177 lbs.

Welded steel bar grate is ADA approved.

A high density reinforced concrete box with cast in galvanized frame, specifically engineered for heavy traffic areas. Approximate dimensions and weight shown.

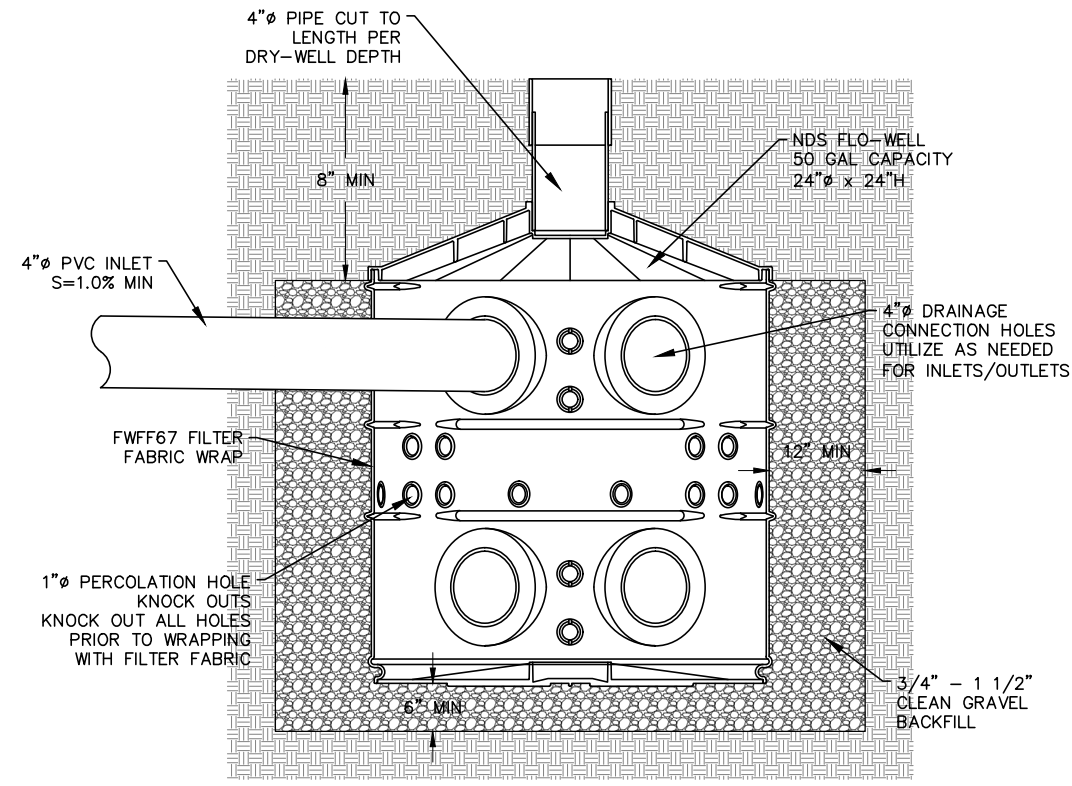
Ordering Code	Item	Approx. Weight	Description
V12BOX	BOX	177	V12 Drain Box (12 x 12") 1/2" Loading, bolt down (interchangeable with Brooks #1212 Box - 12 per pallet)
V12-71W	GRATE	34	Welded steel cross bars, 1/2" loading, galvanized
V12X12	EXTENSION	120	12" Reinforced concrete - 12 per pallet

**Oldcastle Precast®**  
Enclosure Solutions  
8500 W. 120th Street, Overland Park, KS 66204  
Phone: (867) 488-2070 Fax: (867) 488-8804  
www.oldcastleprecast.com

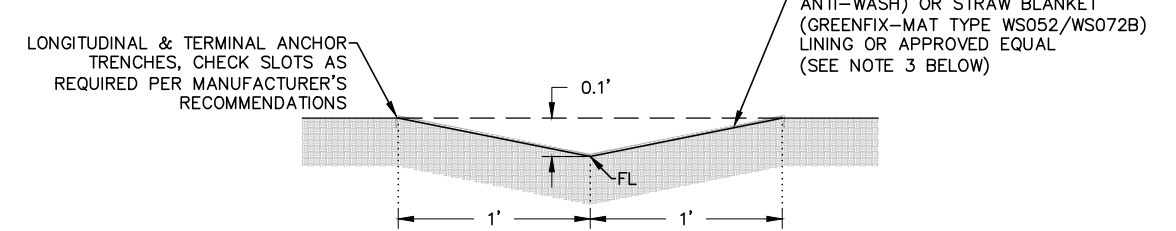
**V12 DRAIN BOX**  
12" x 12"

**Christy**

2 CHRISTY V12 CATCH BASIN

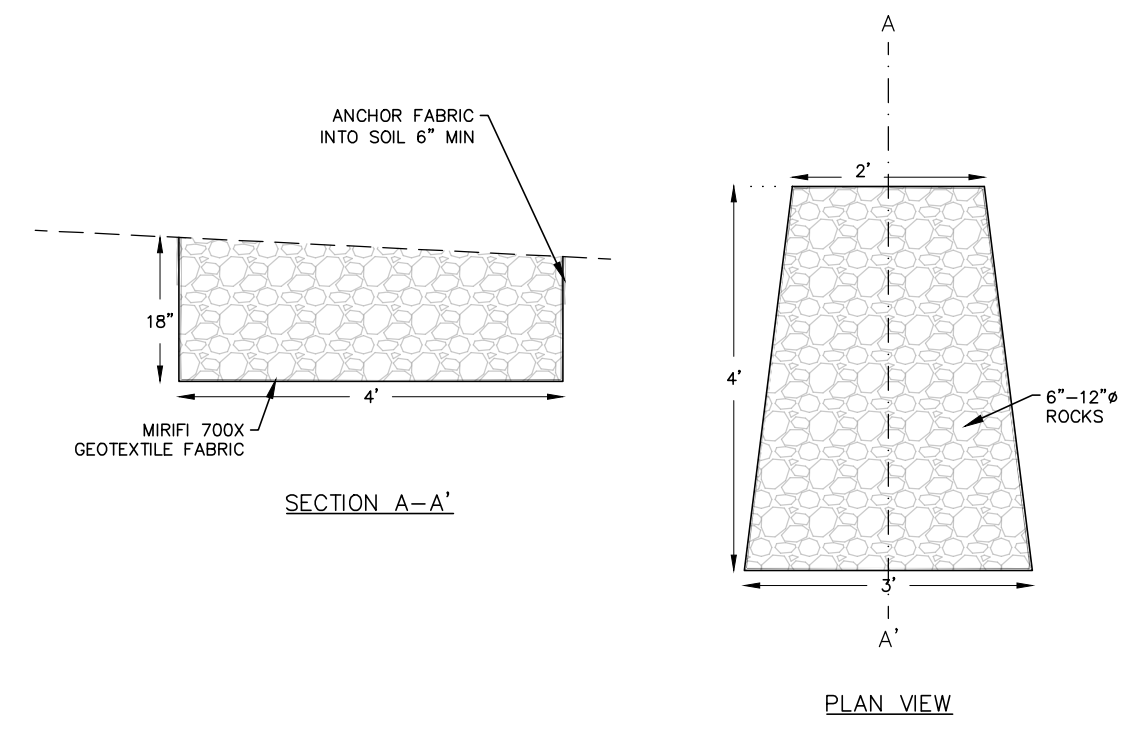


3 DRY WELL SYSTEM



- LONGITUDINAL SLOPE SHALL NOT BE LESS THAN 1% OR GREATER THAN 20%.
- THE SWALE SHALL BE REVEGETATED WITH NATIVE GRASSES BY A HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER UNTIL GROWTH IS ESTABLISHED.
- IF THE SWALE DOES NOT HAVE ADEQUATE GROWTH ESTABLISHED PRIOR TO THE ONSET OF THE WINTER SEASON, OCTOBER 15, IT SHALL BE LINED WITH JUTE NETTING OR STRAW BLANKETS AND PROPERLY SECURED (ANCHORED AND FASTENED) AS OUTLINED PER THE MANUFACTURER'S GUIDELINES AND SPECIFICATIONS IN ORDER TO FUNCTION PROPERLY AND PREVENT ACCELERATED EROSION.
- IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO REGULARLY MAINTAIN THE SWALE AS NEEDED FROM EXCESSIVE GROWTH AND/OR SILTATION.
- GRADED SWALE SHALL BE PROOF-ROLLED AND/OR MECHANICALLY COMPACTED TO MINIMUM 85% RELATIVE COMPACTION.

4 EARTH SWALE



5 ENERGY DISSIPATOR

6 NOT USED

7 NOT USED

8 NOT USED

9 NOT USED

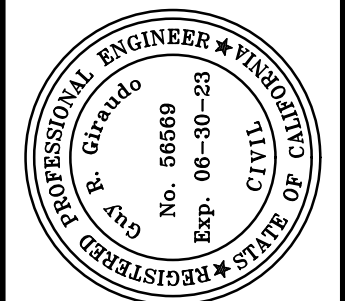
10 NOT USED

11 NOT USED

12 NOT USED

13 NOT USED

14 NOT USED



APPROVED BY:  
**GUY R. GIRARDINO**  
REGISTERED PROFESSIONAL ENGINEER  
No. 86669  
Exp. 06-30-23  
CIVIL  
STATE OF CALIFORNIA

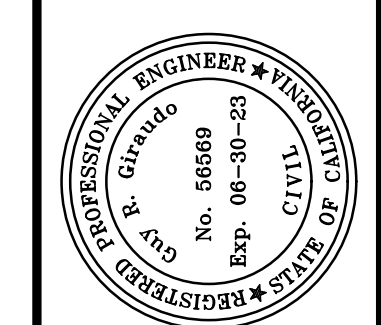


"CONSTRUCTION DETAILS"  
GRADING, DRAINAGE, & EROSION CONTROL PLAN  
OF  
THE RIVERA RESIDENCE  
A.P.N.: 008-071-012  
PEBBLE BEACH, CALIFORNIA  
STEVEN RIVERA

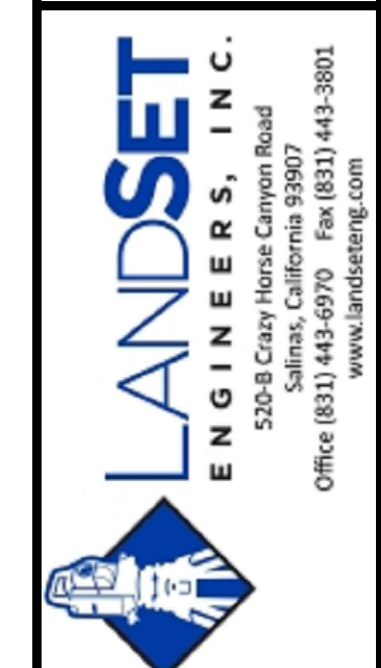
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JOB NO. 2651-01	
SHEET <b>C3</b>	
OF 5 SHEETS	

No.	DATE	BY	REVISION
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APPROVED BY: GUY R. GIRARDINO



EROSION & SOURCE CONTROL PLAN  
GRADING, DRAINAGE, & EROSION CONTROL PLAN  
OF  
THE RIVERA RESIDENCE  
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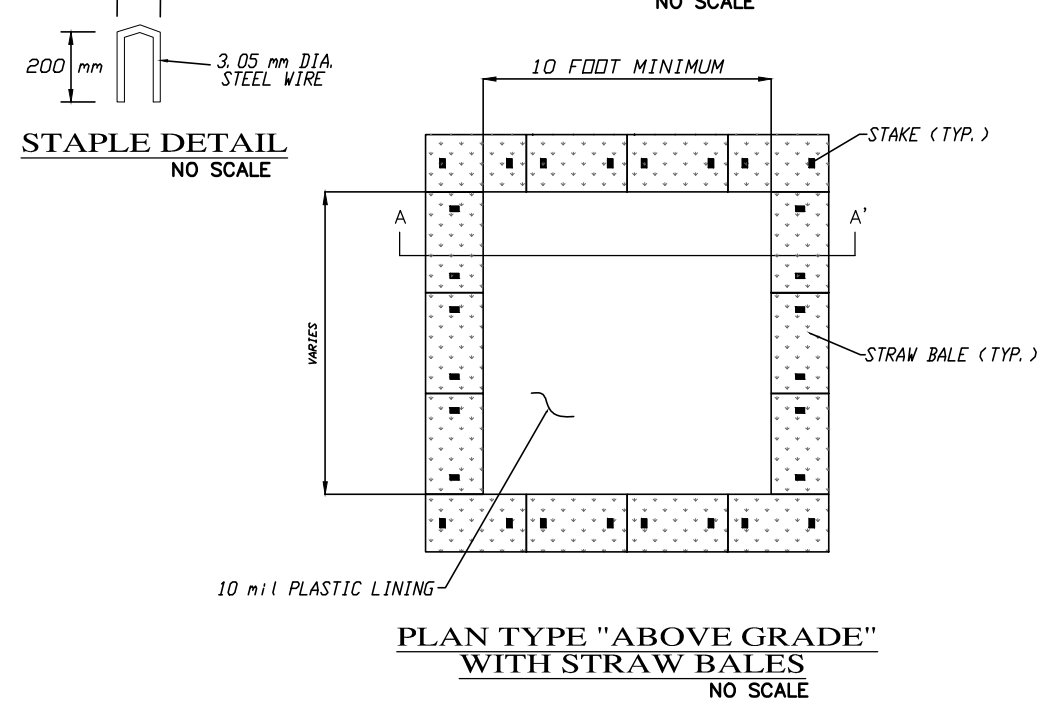
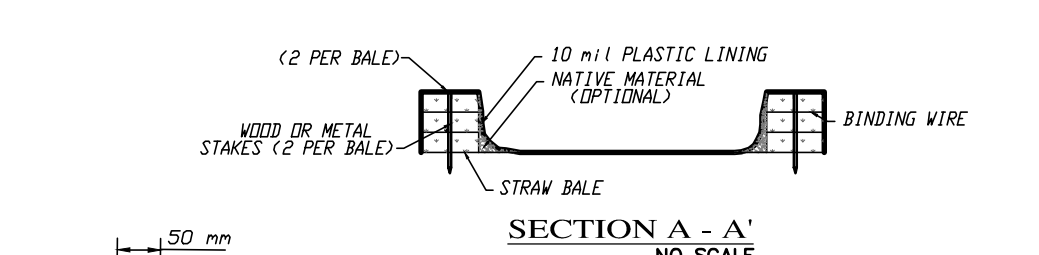
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SHEET C4  
OF 5 SHEETS

**EROSION & SEDIMENT CONTROL NOTES:**

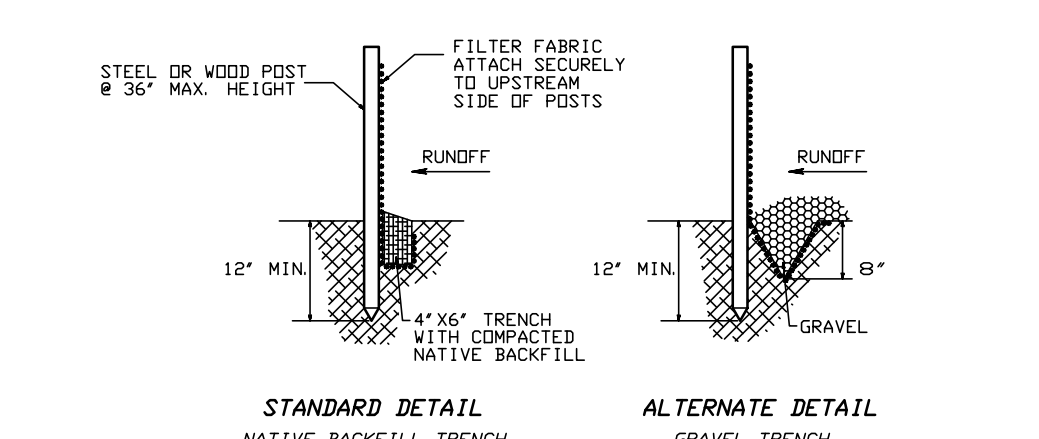
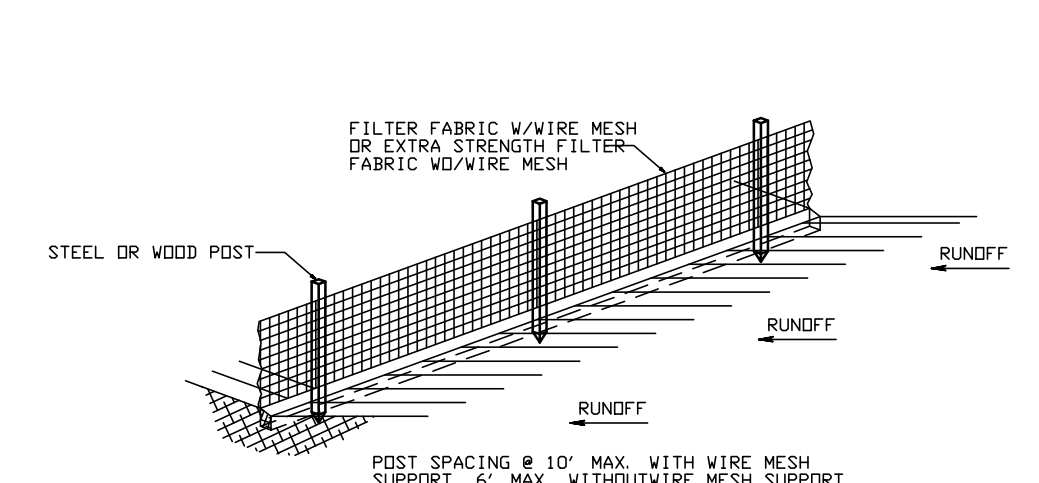
- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 3) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 4) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK. ACCESS ROADS SHALL BE CLEANED DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN EVENT.
- 5) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 6) CONTRACTOR SHALL PROVIDE WATERING FOR DUST CONTROL DURING ALL GROUND DISTURBANCE OPERATIONS.
- 7) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 8) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITEE AT THEIR EXPENSE.
- 9) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRA-MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 10) SEEDING AREAS SHALL BE RETAINED ON-SITE AND SHALL BE PREVENTED FROM FLOWING INTO THE STORM DRAINAGE SYSTEM. SEDIMENT CATCHMENT BARRIERS SHALL BE INSPECTED BY THE APPLICANT IMMEDIATELY AFTER ANY SIGNIFICANT RAINFALL AND AT LEAST DAILY DURING ANY PERIOD OF PROLONGED RAINFALL.
- 11) PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- 12) DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BERMS INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- 13) PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- 14) THE APPLICANT SHALL SCHEDULE WEEKLY INSPECTIONS WITH RMA-ENVIRONMENTAL SERVICES DURING THE RAINY SEASON, OCTOBER 15th TO APRIL 15th, TO ENSURE CONTAMINANTS ARE NOT DISCHARGED INTO THE AREAS OF SPECIAL BIOLOGICAL SIGNIFICANCE.

**BMP LEGEND:**

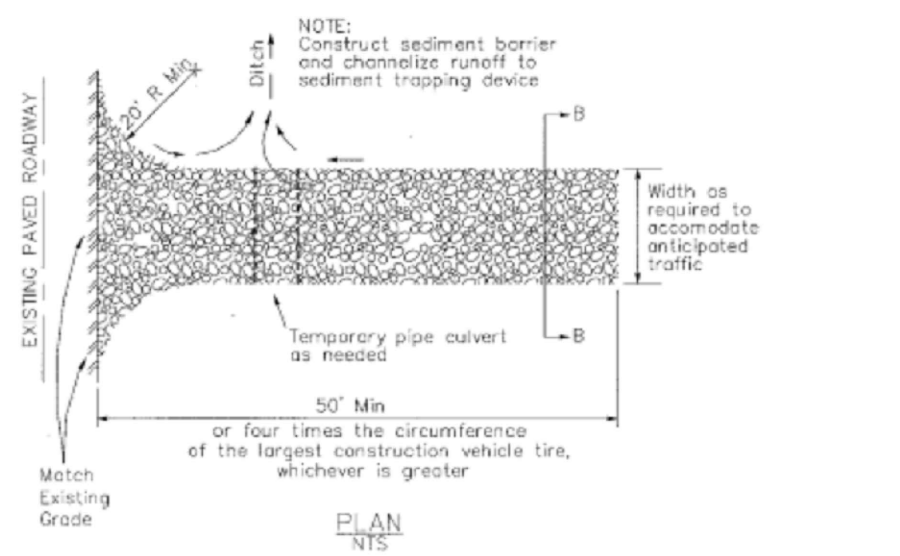
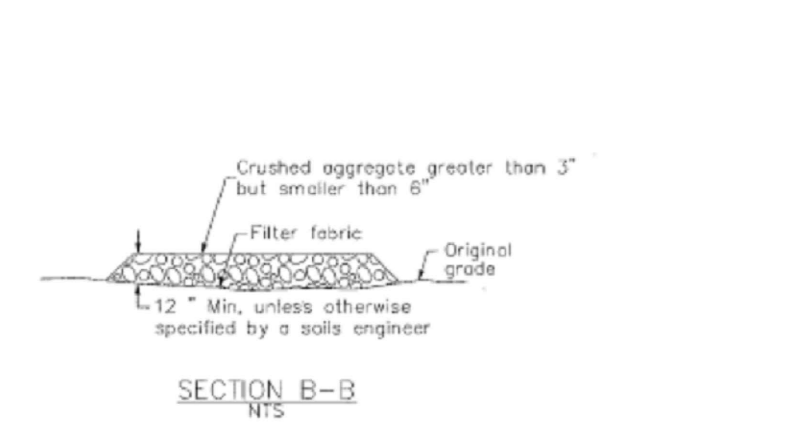
- 1 FR FIBER ROLL
- 2 DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
- 3 STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (IF NECESSARY FOR THIS APPLICATION, SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
- 4 STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCES - STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
- 5 CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- 6 CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- 7 TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
- 8 SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEVED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.
- 9 GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 0.5" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
- 10 WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
- 11 SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.



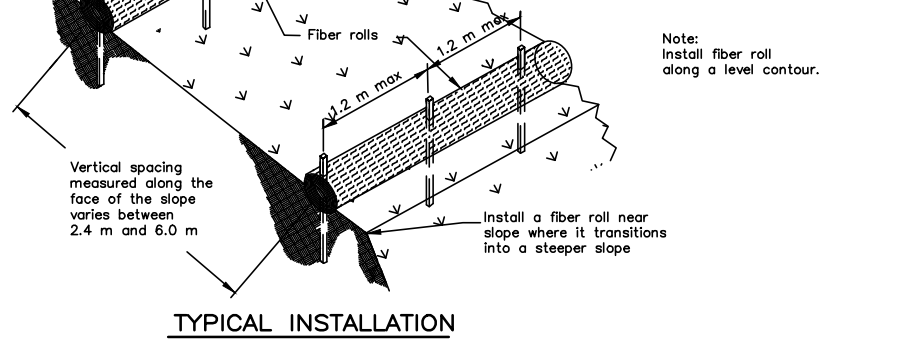
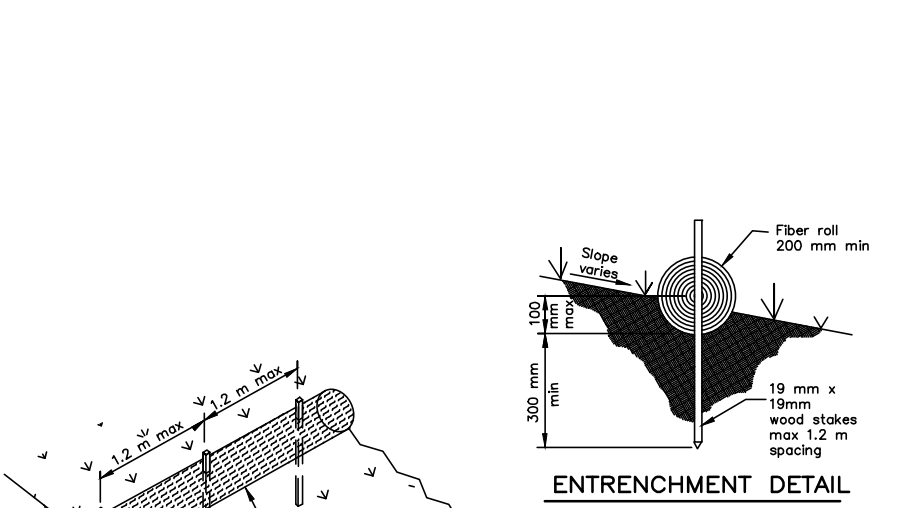
**CONCRETE WASHOUT**  
NOT TO SCALE



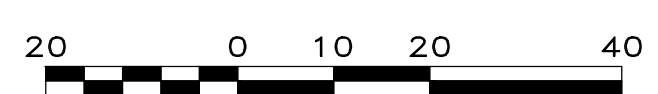
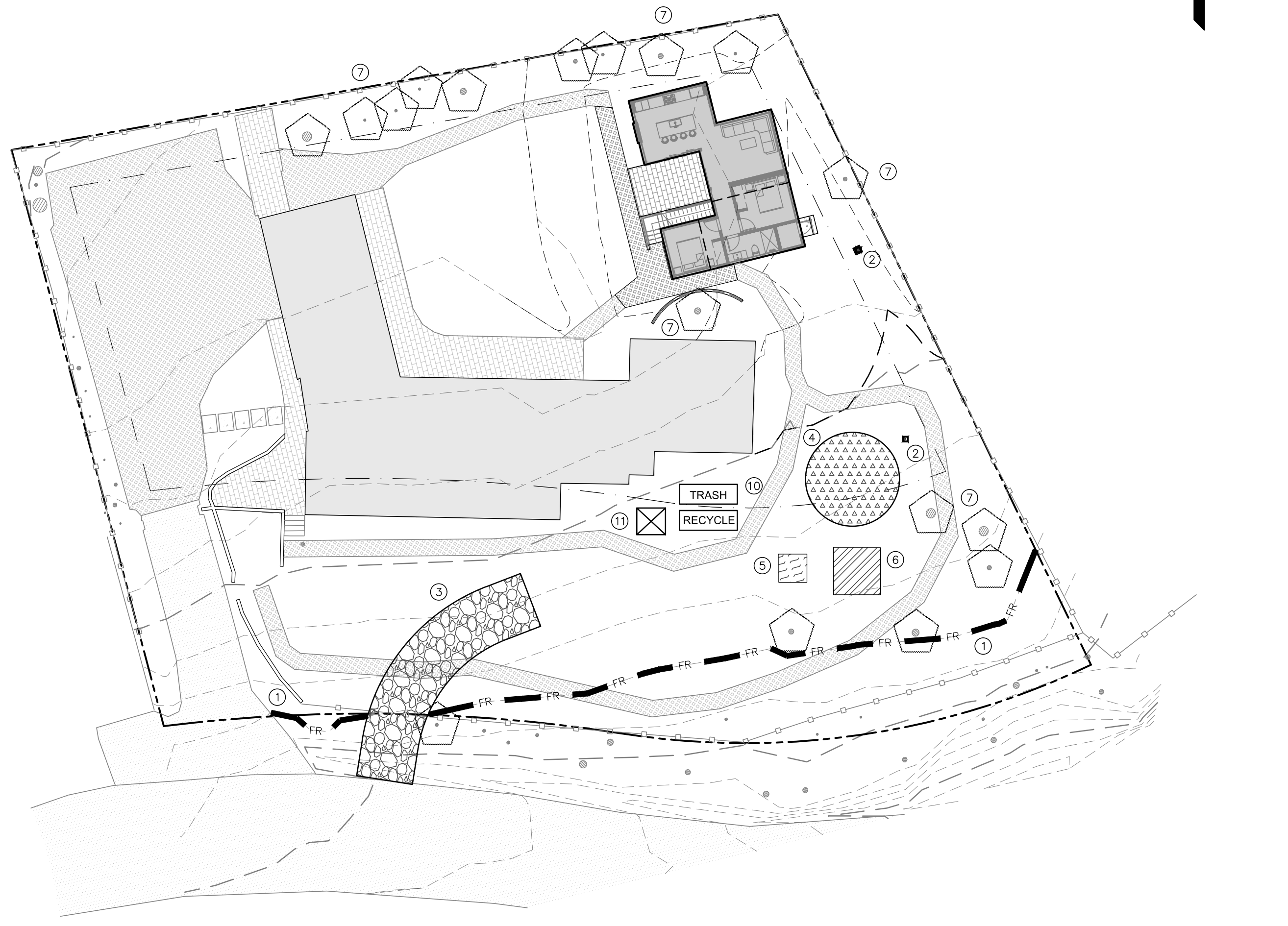
**SILT FENCE**  
NOT TO SCALE



**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**FIBER ROLL**  
NOT TO SCALE



**DETAILS**  
NOT TO SCALE

**Material Delivery and Storage WM-1**

**Categories**

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

**Legend:**

- Primary Category
- Secondary Category

**Targeted Constituents**

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

**Description and Purpose**

Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

**Potential Alternatives**

None

**Solid Waste Management WM-5**

**Categories**

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

**Legend:**

- Primary Objective
- Secondary Objective

**Targeted Constituents**

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

**Description and Purpose**

Prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

**Potential Alternatives**

None

**Hazardous Waste Management WM-6**

**Categories**

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

**Legend:**

- Primary Objective
- Secondary Objective

**Targeted Constituents**

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

**Description and Purpose**

Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

**Potential Alternatives**

None

**Sanitary/Septic Waste Management WM-9**

**Categories**

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

**Legend:**

- Primary Category
- Secondary Category

**Targeted Constituents**

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

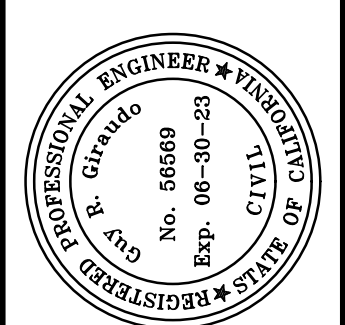
**Description and Purpose**

Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

**Potential Alternatives**

None



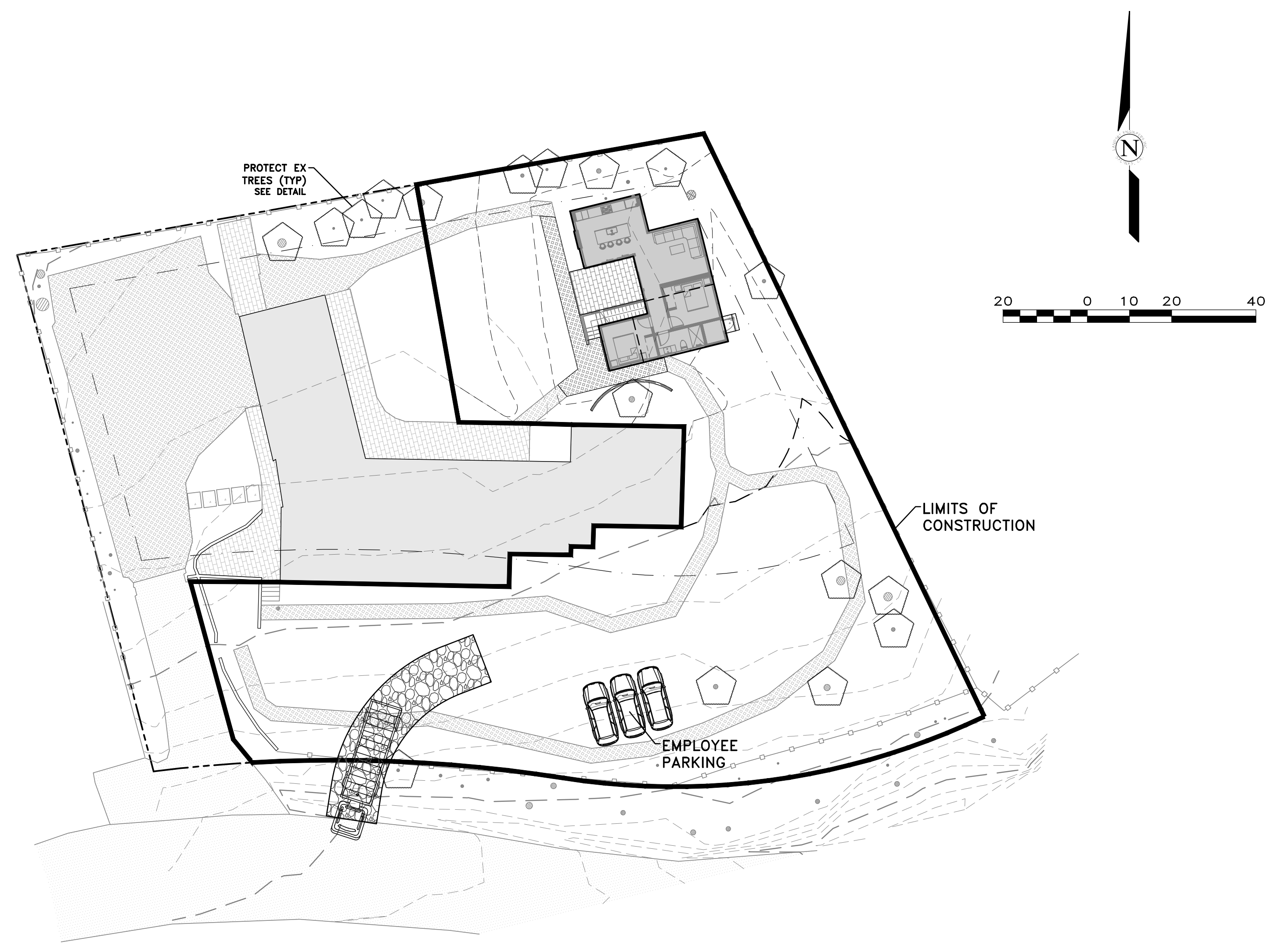
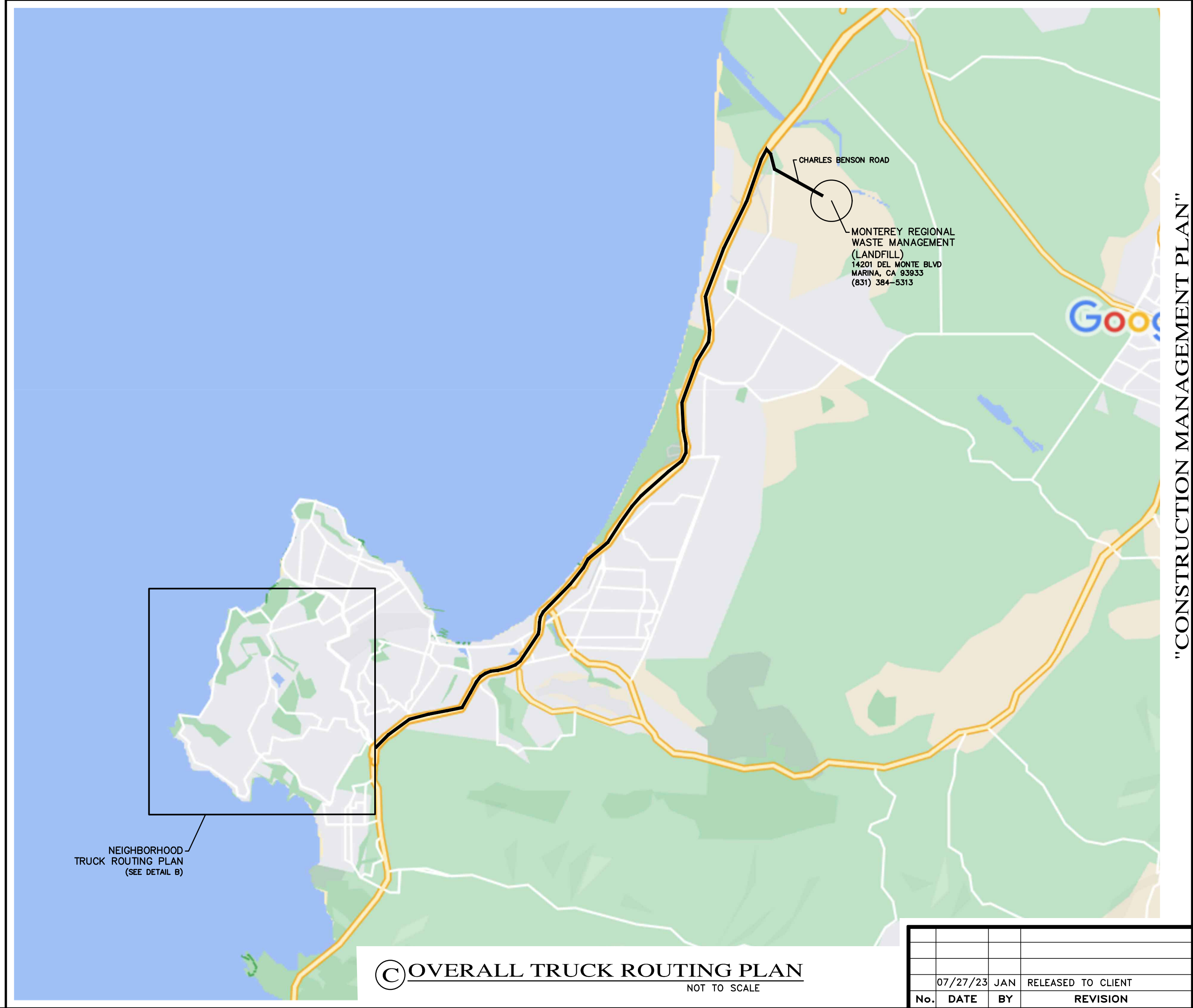
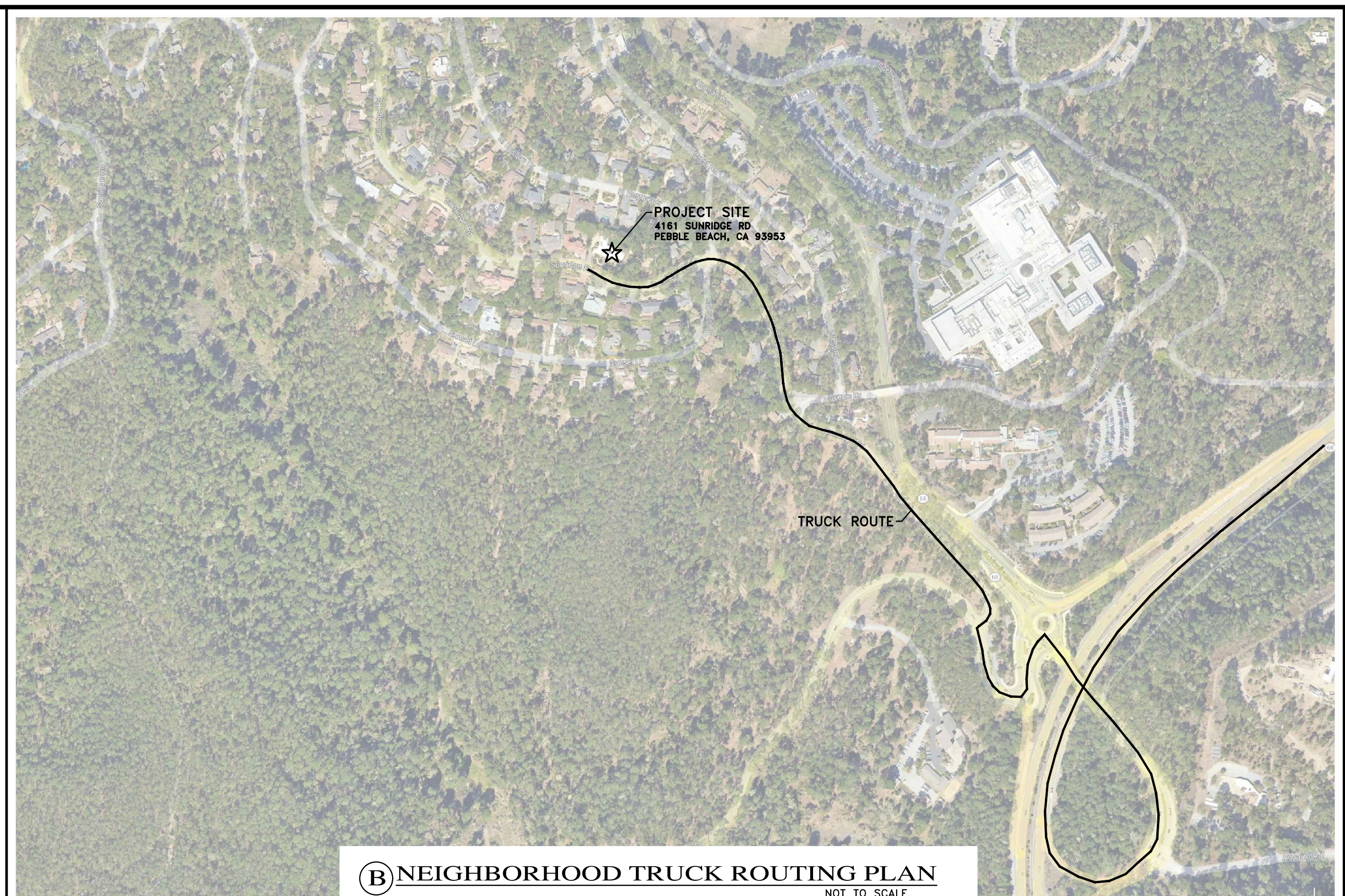


APPROVED BY:  
  
 GUY R. GIRARDO  
 CIVIL ENGINEER



"CONSTRUCTION MANAGEMENT PLAN"  
 GRADING, DRAINAGE, & EROSION CONTROL PLAN  
 OF  
 THE RIVERA RESIDENCE  
 A.P.N.: 008-071-012  
 PEBBLE BEACH, CALIFORNIA  
 STEVEN RIVERA

SCALE: AS SHOWN  
 DATE: JUL 2023  
 JOB NO. 2651-01  
 SHEET **C5**  
 OF 5 SHEETS



**SITE GRADING:**  
 THE PROPOSED GRADING INCLUDES APPROXIMATELY 75 CY OF CUT & 0 CY OF FILL.

- CONSTRUCTION STAGING:**
- A. MOBILIZE, CLEAR AND GRUB
  - B. SITE GRADING
  - C. UTILITY INSTALLATION
  - D. CONSTRUCT STRUCTURE
  - E. INSTALL PAVERS AND LANDSCAPING
  - F. SITE CLEANING, PUNCH LIST

MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY. SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

**HAUL ROUTES:**  
 HAUL TRUCKS SHALL BACK ONTO THE SITE FROM SUNRIDGE RD USING A TEMPORARY CONSTRUCTION ENTRANCE. HAUL TRUCKS WILL EXIT THE SITE, HEADING SOUTHEAST ON SUNRIDGE RD. THEY WILL THEN FOLLOW THE ROUTE SHOWN IN DETAIL B, FROM SUNRIDGE RD TO 1.7 MILE DR TO CA HWY 68 TO CA HWY 1. FLAGGERS SHALL BE STATIONED ON SUNRIDGE RD AS TRUCKS BACK FROM THE PUBLIC RIGHT-OF-WAY ONTO THE SITE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE EASEMENT/DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

**TRUCK STAGING AREA:**  
 VEHICLES OR TRUCKS SHALL NOT QUEUE ON SUNRIDGE RD. TRUCKS SHALL QUEUE ON SITE.

**EMPLOYEE PARKING:**  
 EMPLOYEES SHALL PARK ON SITE WHENEVER POSSIBLE. EMPLOYEES SHALL CARPOOL WHENEVER POSSIBLE. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL. A TEMPORARY CONSTRUCTION PARKING AREA MAY BE CREATED IN THE FRONT YARD OF THE RESIDENCE PROVIDED THAT THE AREA IS PROPERLY COMPACTED/STABILIZED BEFOREHAND.

**LIMITS OF CONSTRUCTION:**  
 ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

**NUMBER OF EMPLOYEES ONSITE PER DAY:** APPROXIMATELY 10-20

**NUMBER OF TRUCK TRIPS/DAY:** 4

**AMOUNT OF GRADING/DAY:** 80 C.Y.

**HOURS OF OPERATION/DAY:** 8

**DAYS OF OPERATION:** MONDAY THROUGH FRIDAY

**TIME OF OPERATION:** 8:00 AM - 4:30 PM

**PROJECT SCHEDULING:** PROJECTED START DATE IS OCTOBER 1, 2023. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

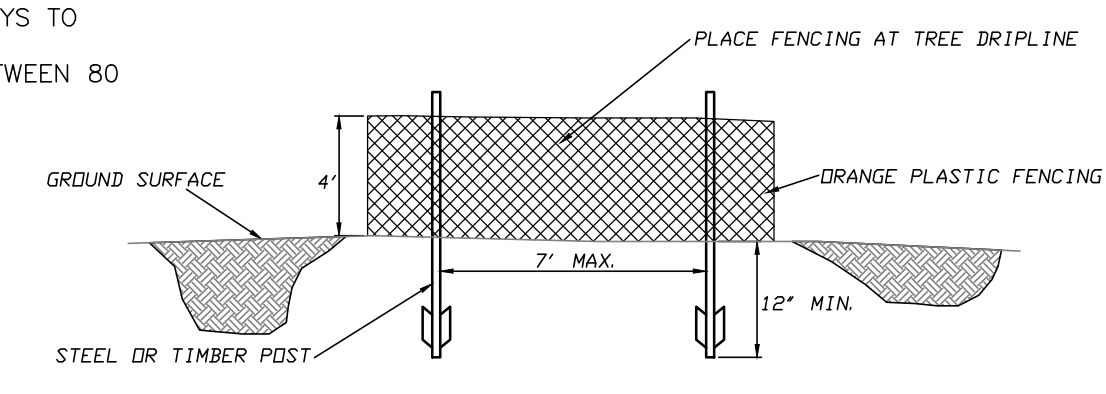
**A PLAN**  
 SCALE: 1" = 20"

**TRUCK TRIP GENERATION CHART:**

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	4	5
GRADING & SOIL REMOVAL (EXPORT)	4	1
ENGINEERING MATERIALS (IMPORT)	-	-
<b>TOTALS</b>	<b>8</b>	<b>6</b>

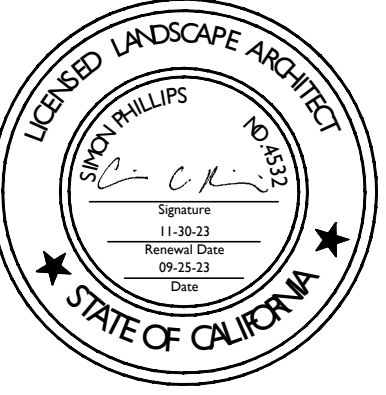
**TRUCK TRIP GENERATION NOTES:**

- TRUCK TRIPS FOR THE GRADING/SOIL IMPORT IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 4 TRUCK LOADS PER DAY.
- THERE ARE APPROXIMATELY 75 CUBIC YARDS OF SOIL MATERIAL TO BE EXPORTED FROM THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 6 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 100 CUBIC YARDS.



**ESA FENCING**  
 NOT TO SCALE





PROJECT NAME:  
**4161 SUNRIDGE RD.  
RESIDENCE**

PROJECT ADDRESS:  
4161 SUNRIDGE RD.  
CARMEL, CA 93921  
APN: 008-071-012-000

ISSUANCE:  
**PLANNING SUBMITTAL**

PROJECT NO: 2023-18  
DATE: 09/29/2023

REVISIONS:  
DATE DESCRIPTION

SHEET NAME:  
**FUEL MANAGEMENT PLAN**

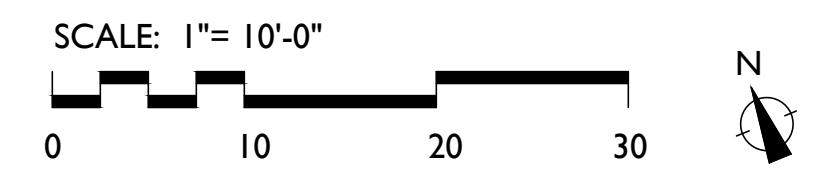
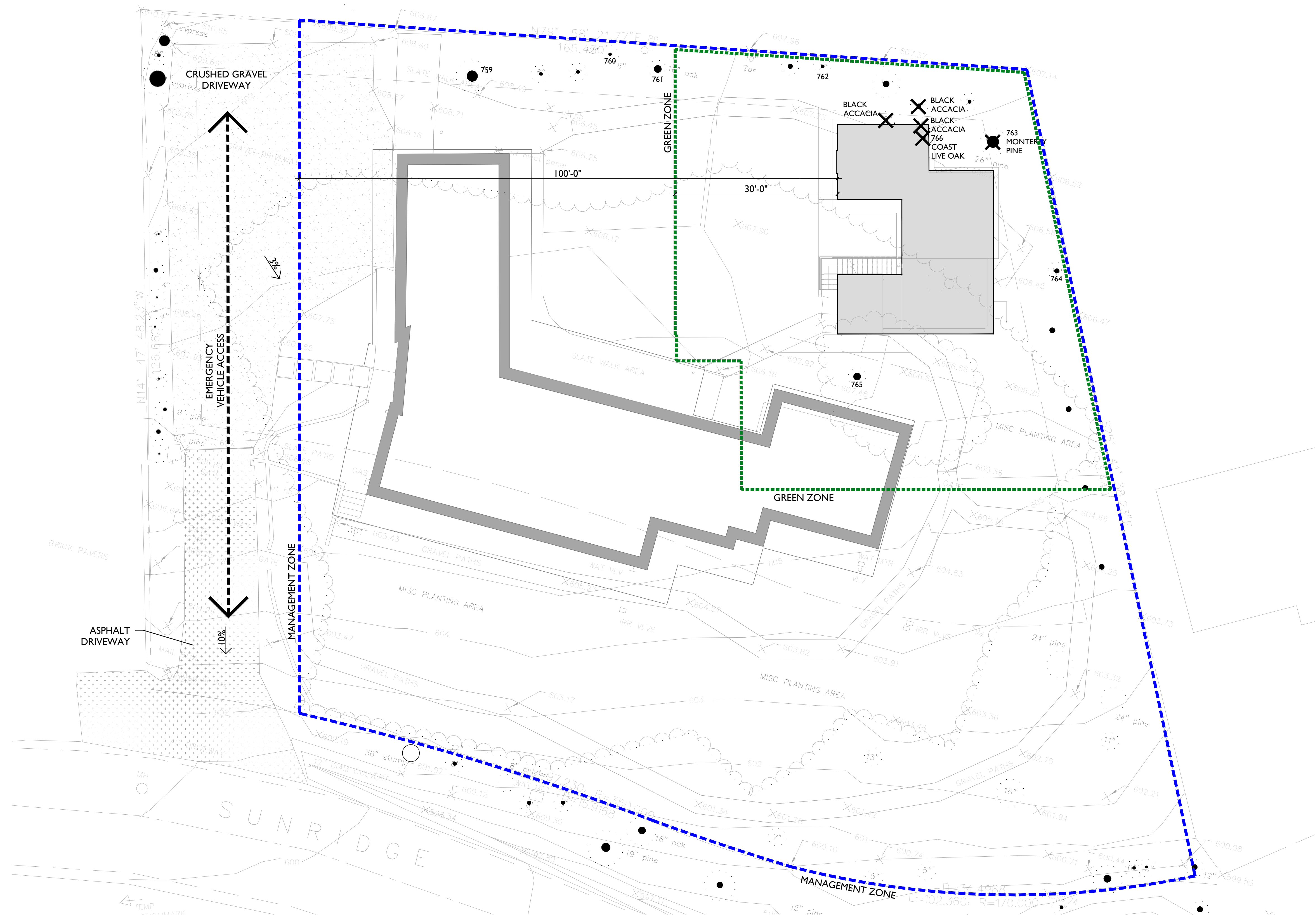
SHEET NO:

SHEET INDEX

SHEET NO:	CONTENTS:
L-1.0	FUEL MANAGEMENT PLAN
L-2.0	PLANTING PLAN
L-3.0	IRRIGATION PLAN

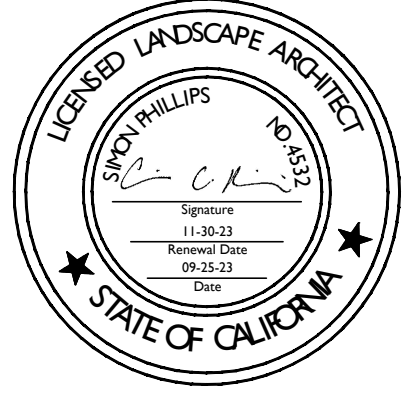
LEGEND

- - - - GREEN ZONE: ZONE EXTENDS 0 - 30' FROM BUILDINGS, STRUCTURES DECKS, ETC. OR TO THE PROPERTY LINE, WHICHEVER IS GREATER.
  - REMOVE ALL DEAD AND DYING WEEDS, GRASS, PLANT, SHRUBS, TREES, BRANCHES AND VEGETATIVE DEBRIS (LEAVES, NEEDLES, CONES, BARK, ETC.); CHECK YOUR ROOFS, GUTTERS, DECKS, PORCHES, STAIRWAYS, ETC.
  - REMOVE ALL BRANCHES WITHIN 10 FEET OF ANY CHIMNEY OR STOVEPIPE OUTLET.
  - RELOCATE FIREWOOD AND LUMBER TO OUTSIDE THIS ZONE.
  - CONSIDER RELOCATING GARBAGE AND RECYCLING CONTAINERS OUTSIDE THIS ZONE.
  - CONSIDER RELOCATING BOATS, RVs, VEHICLES AND OTHER COMBUSTIBLE ITEMS OUTSIDE THIS ZONE.
  - REGULARLY CLEAN ALL ROOF GUTTERS.
- - - - MANAGEMENT ZONE: ZONE EXTENDS 100' FEET FROM ALL SIDES OF BUILDINGS, STRUCTURES, DECKS, ETC OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. WITHIN THIS ZONE, THE FOLLOWING CONDITIONS SHALL BE MAINTAINED:
  - REMOVE ALL DEAD PLANTS, GRASS, AND WEEDS (VEGETATION)
  - REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES FROM YARD, ROOF, AND RAIN GUTTERS.
  - TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10 FEET FROM OTHER TREES.
  - REMOVE BRANCHES THAT HANG OVER ROOFS AND KEEP DEAD BRANCHES A MINIMUM OF 10 FEET AWAY FROM CHIMNEYS AND STOVEPIPES.
  - REMOVE VEGETATION AND ITEMS THAT COULD CATCH FIRE FROM AROUND AND UNDER DECKS, BALCONIES, AND STAIRS.
  - CREATE A SEPARATION BETWEEN TREES, SHRUBS, AND ITEMS THAT COULD CATCH FIRE, SUCH AS PATIO FURNITURE, WOOD PILES, SWING SETS, ETC.
  - MAINTAIN A TREE, SHRUB OR OTHER PLANT ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.
  - MAINTAIN THE ROOF OF A STRUCTURE FREE OF LEAVES, NEEDLES OR OTHER VEGETATIVE MATERIALS.
  - CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
  - REMOVE ALL DEAD TREES.
  - REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF 3 INCHES.



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PROJECT NAME:

4161 SUNRIDGE RD.  
RESIDENCE

PROJECT ADDRESS:

4161 SUNRIDGE RD.  
CARMEL, CA 93921

APN: 008-071-012-000

ISSUANCE:

PLANNING SUBMITTAL

PROJECT NO: 2023-18

DATE: 09/29/2023

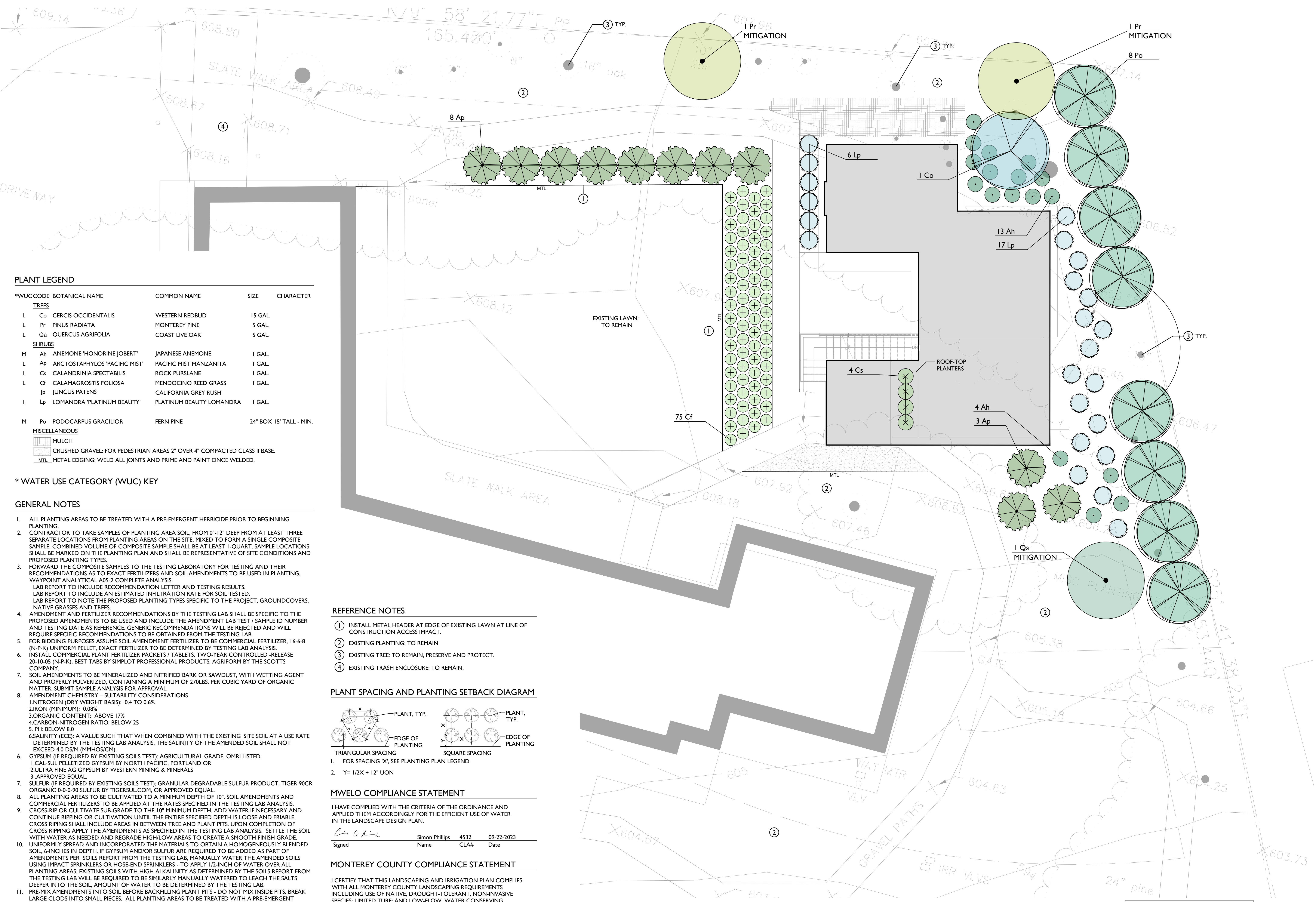
REVISIONS:

DATE	DESCRIPTION

SHEET NAME:

PLANTING PLAN

SHEET NO:



PLANT LEGEND

*WUCCODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
<b>TREES</b>				
L Co	CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL	
L Pr	PINUS RADIATA	MONTEREY PINE	5 GAL	
L Qa	QUERCUS AGRIFOLIA	COAST LIVE OAK	5 GAL	
<b>SHRUBS</b>				
M Ah	ANEMONE 'HONORINE JOBERT'	JAPANESE ANEMONE	1 GAL	
L Ap	ARCTOSTAPHYLOS 'PACIFIC MIST'	PACIFIC MIST MANZANITA	1 GAL	
L Cs	CALANDRINIA SPECTABILIS	ROCK PURSLANE	1 GAL	
L Cf	CALAMAGROSTIS FOLIOSA	MENDOCINO REED GRASS	1 GAL	
Jp	JUNCUS PATENS	CALIFORNIA GREY RUSH		
L Lp	LOMANDRA 'PLATINUM BEAUTY'	PLATINUM BEAUTY LOMANDRA	1 GAL	
M Po	PODOCARPUS GRACILIOR	FERN PINE	24" BOX 15' TALL - MIN.	
<b>MISCELLANEOUS</b>				
[Symbol] MULCH				
[Symbol] CRUSHED GRAVEL: FOR PEDESTRIAN AREAS 2" OVER 4" COMPACTED CLASS II BASE.				
[Symbol] MTL METAL EDGING: WELD ALL JOINTS AND PRIME AND PAINT ONCE WELDED.				

\* WATER USE CATEGORY (WUC) KEY

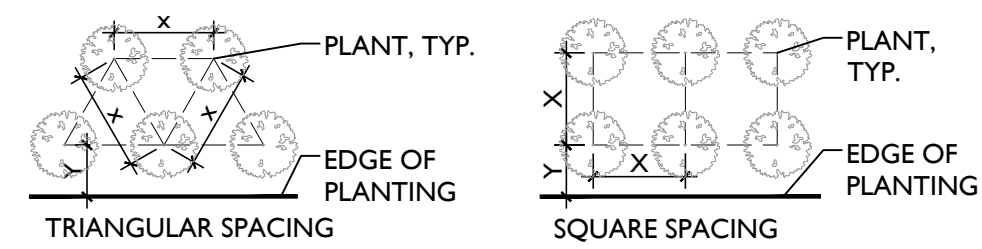
GENERAL NOTES

- ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
- CONTRACTOR TO TAKE SAMPLES OF PLANTING AREA SOIL. FROM 0'-12" DEEP FROM AT LEAST THREE SEPARATE LOCATIONS FROM PLANTING AREAS ON THE SITE, MIXED TO FORM A SINGLE COMPOSITE SAMPLE. COMBINED VOLUME OF COMPOSITE SAMPLE SHALL BE AT LEAST 1-QUART. SAMPLE LOCATIONS SHALL BE MARKED ON THE PLANTING PLAN AND SHALL BE REPRESENTATIVE OF SITE CONDITIONS AND PROPOSED PLANTING TYPES.
- FORWARD THE COMPOSITE SAMPLES TO THE TESTING LABORATORY FOR TESTING AND THEIR RECOMMENDATIONS AS TO EXACT FERTILIZERS AND SOIL AMENDMENTS TO BE USED IN PLANTING. WAYPOINT ANALYTICAL A05-2 COMPLETE ANALYSIS. LAB REPORT TO INCLUDE RECOMMENDATION LETTER AND TESTING RESULTS. LAB REPORT TO INCLUDE AN ESTIMATED INFILTRATION RATE FOR SOIL TESTED. LAB REPORT TO NOTE THE PROPOSED PLANTING TYPES SPECIFIC TO THE PROJECT, GROUNDCOVERS, NATIVE GRASSES AND TREES.
- AMENDMENT AND FERTILIZER RECOMMENDATIONS BY THE TESTING LAB SHALL BE SPECIFIC TO THE PROPOSED AMENDMENTS TO BE USED AND INCLUDE THE AMENDMENT LAB TEST / SAMPLE ID NUMBER AND TESTING DATE AS REFERENCE. GENERIC RECOMMENDATIONS WILL BE REJECTED AND WILL REQUIRE SPECIFIC RECOMMENDATIONS TO BE OBTAINED FROM THE TESTING LAB.
- FOR BIDDING PURPOSES ASSUME SOIL AMENDMENT FERTILIZER TO BE COMMERCIAL FERTILIZER, 16-6-8 (N-P-K) UNIFORM PELLETT. EXACT FERTILIZER TO BE DETERMINED BY TESTING LAB ANALYSIS.
- INSTALL COMMERCIAL PLANT FERTILIZER PACKETS / TABLETS, TWO-YEAR CONTROLLED-RELEASE 20-10-05 (N-P-K). BEST TABS BY SIMPLOT PROFESSIONAL PRODUCTS, AGRIFORM BY THE SCOTT'S COMPANY.
- SOIL AMENDMENTS TO BE MINERALIZED AND NITRIFIED BARK OR SAWDUST, WITH WETTING AGENT AND PROPERLY PULVERIZED, CONTAINING A MINIMUM OF 27LB. PER CUBIC YARD OF ORGANIC MATTER. SUBMIT SAMPLE ANALYSIS FOR APPROVAL.
- AMENDMENT CHEMISTRY - SUITABILITY CONSIDERATIONS
  - NITROGEN (DRY WEIGHT BASIS): 0.4 TO 0.6%
  - IRON (MINIMUM): 0.08%
  - ORGANIC CONTENT: ABOVE 17%
  - CARBON-NITROGEN RATIO: BELOW 25
  - PH: BELOW 8.0
  - SALINITY (ECE): A VALUE SUCH THAT WHEN COMBINED WITH THE EXISTING SITE SOIL AT A USE RATE DETERMINED BY THE TESTING LAB ANALYSIS, THE SALINITY OF THE AMENDED SOIL SHALL NOT EXCEED 4.0 DSM (MPHOS/CM).
- GYPSUM (IF REQUIRED BY EXISTING SOILS TEST): AGRICULTURAL GRADE, OMRI LISTED.
  - CAL-SULFUR FERTILIZED GYPSUM BY NORTH PACIFIC, PORTLAND OR
  - ULTRA FINE AG GYPSUM BY WESTERN MINING & MINERALS
  - APPROVED EQUAL.
- SULFUR (IF REQUIRED BY EXISTING SOILS TEST): GRANULAR DEGRADABLE SULFUR PRODUCT, TIGER 90CR ORGANIC 0-0-0-90 SULFUR BY TIGERSUL.COM, OR APPROVED EQUAL.
- ALL PLANTING AREAS TO BE CULTIVATED TO A MINIMUM DEPTH OF 10". SOIL AMENDMENTS AND COMMERCIAL FERTILIZERS TO BE APPLIED AT THE RATES SPECIFIED IN THE TESTING LAB ANALYSIS.
- CROSS-RIP OR CULTIVATE SUB-GRADE TO THE 10" MINIMUM DEPTH. ADD WATER IF NECESSARY AND CONTINUE RIPPING OR CULTIVATION UNTIL THE ENTIRE SPECIFIED DEPTH IS LOOSE AND FRAGILE. CROSS RIPPING SHALL INCLUDE AREAS IN BETWEEN TREE AND PLANT PITS. UPON COMPLETION OF CROSS RIPPING APPLY THE AMENDMENTS AS SPECIFIED IN THE TESTING LAB ANALYSIS. SETTLE THE SOIL WITH WATER AS NEEDED AND REGRADE HIGH-LOW AREAS TO CREATE A SMOOTH FINISH GRADE. UNIFORMLY SPREAD AND INCORPORATED THE MATERIALS TO OBTAIN A HOMOGENEOUSLY BLENDED SOIL. 6-INCHES IN DEPTH. IF GYPSUM AND/OR SULFUR ARE REQUIRED TO BE ADDED AS PART OF AMENDMENTS PER SOILS REPORT FROM THE TESTING LAB, MANUALLY WATER THE AMENDED SOILS USING IMPACT SPRINKLERS OR HOSE-END SPRINKLERS - TO APPLY 1/2-INCH OF WATER OVER ALL PLANTING AREAS. EXISTING SOILS WITH HIGH ALKALINITY AS DETERMINED BY THE SOILS REPORT FROM THE TESTING LAB WILL BE REQUIRED TO BE SIMILARLY MANUALLY WATERED TO LEACH THE SALTS DEEPER INTO THE SOIL. AMOUNT OF WATER TO BE DETERMINED BY THE TESTING LAB.
- PRE-MIX AMENDMENTS TO SOIL BEFORE BACKFILLING PLANT PITS - DO NOT MIX INSIDE PITS. BREAK LARGE CLODS INTO SMALL PIECES. ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
- INSTALL 3" MULCH TO ALL PLANTING AREAS. MULCH TO BE SHREDDED CEDAR BARK OR SIMILAR. SUBMIT A SAMPLE OF MULCH FOR OWNER & LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION.
- COMPOST: COMPOST MINIMUM OF 4 CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA TILLED TO A DEPTH OF 6".

REFERENCE NOTES

- INSTALL METAL HEADER AT EDGE OF EXISTING LAWN AT LINE OF CONSTRUCTION ACCESS IMPACT.
- EXISTING PLANTING: TO REMAIN
- EXISTING TREE: TO REMAIN, PRESERVE AND PROTECT.
- EXISTING TRASH ENCLOSURE: TO REMAIN.

PLANT SPACING AND PLANTING SETBACK DIAGRAM



MWELO COMPLIANCE STATEMENT

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

Signed: *Simon Phillips* Name: Simon Phillips 4532 09-22-2023 Date

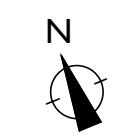
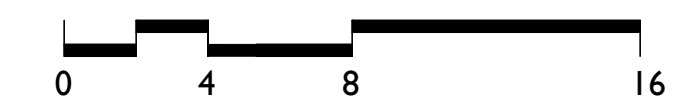
MONTEREY COUNTY COMPLIANCE STATEMENT

I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES, LIMITED TURF, AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

Signed: *Simon Phillips* Name: Simon Phillips 4532 09-22-2023 Date

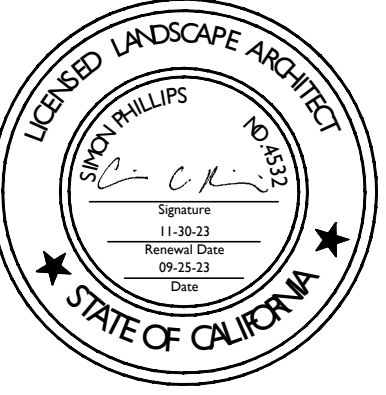
SEE ARCHITECTURAL DRAWINGS FOR PROPOSED TREE REMOVAL.

SCALE: 3/16" = 1'-0"



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PROJECT NAME:  
**4161 SUNRIDGE RD. RESIDENCE**

PROJECT ADDRESS:  
4161 SUNRIDGE RD.  
CARMEL, CA 93921  
APN: 008-071-012-000

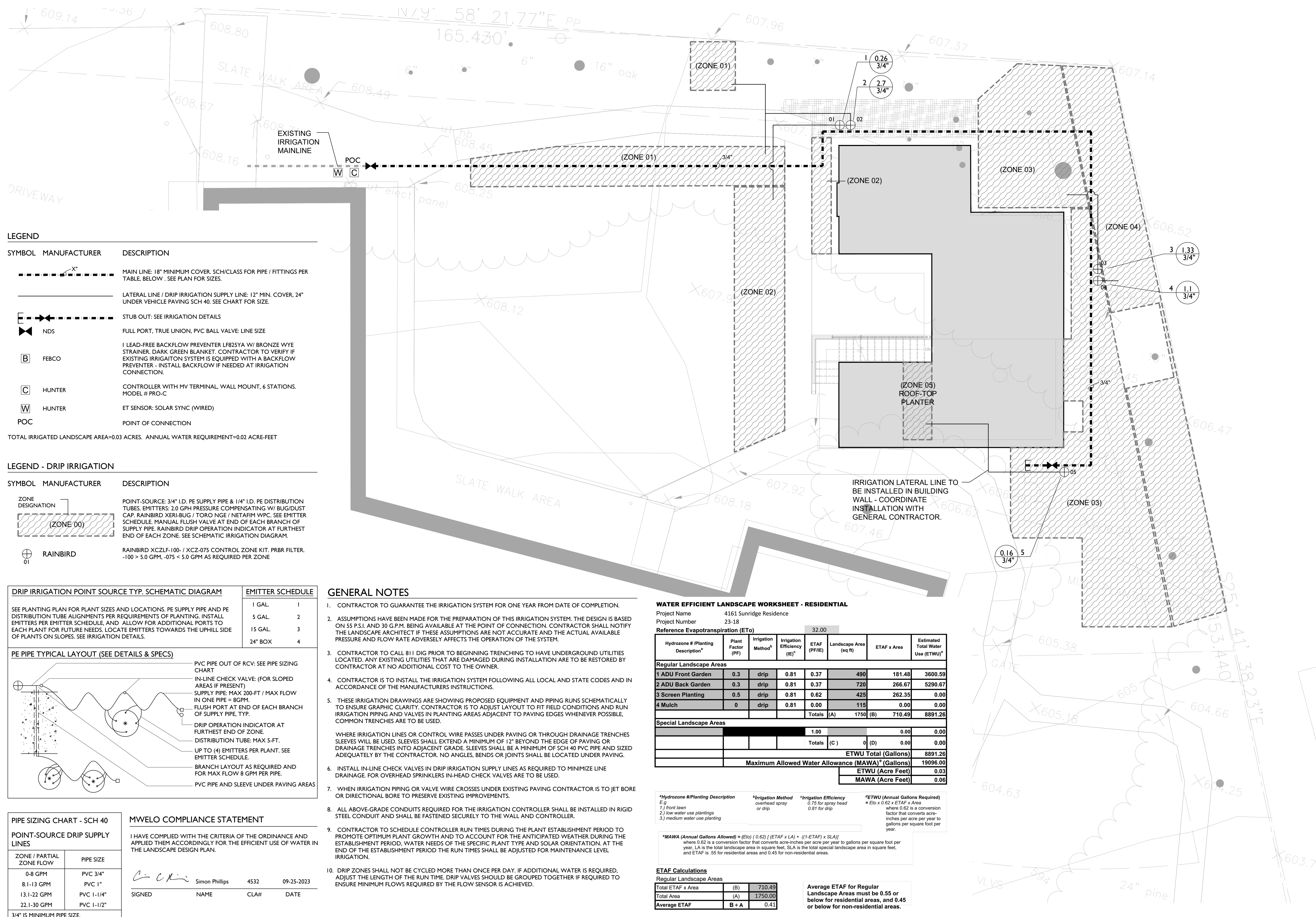
ISSUANCE:  
**PLANNING SUBMITTAL**

PROJECT NO: 2023-18  
DATE: 09/29/2023

REVISIONS:  
DATE DESCRIPTION

SHEET NAME:  
**IRRIGATION PLAN**

SHEET NO:



**LEGEND**

SYMBOL	MANUFACTURER	DESCRIPTION
--- X ---		MAIN LINE: 18" MINIMUM COVER. SCH/CLASS FOR PIPE / FITTINGS PER TABLE, BELOW. SEE PLAN FOR SIZES.
---		LATERAL LINE / DRIP IRRIGATION SUPPLY LINE: 12" MIN. COVER, 24" UNDER VEHICLE PAVING SCH 40. SEE CHART FOR SIZE.
---		STUB OUT: SEE IRRIGATION DETAILS
NDS		FULL PORT, TRUE UNION, PVC BALL VALVE: LINE SIZE
B	FEBCO	1 LEAD-FREE BACKFLOW PREVENTER LF825YA W/ BRONZE WYE STRAINER. DARK GREEN BLANKET. CONTRACTOR TO VERIFY IF EXISTING IRRIGATION SYSTEM IS EQUIPPED WITH A BACKFLOW PREVENTER. INSTALL BACKFLOW IF NEEDED AT IRRIGATION CONNECTION.
C	HUNTER	CONTROLLER WITH MV TERMINAL, WALL MOUNT, 6 STATIONS. MODEL # PRO-C
W	HUNTER	ET SENSOR: SOLAR SYNC (WIRED)
POC		POINT OF CONNECTION

TOTAL IRRIGATED LANDSCAPE AREA=0.03 ACRES. ANNUAL WATER REQUIREMENT=0.02 ACRE-FEET

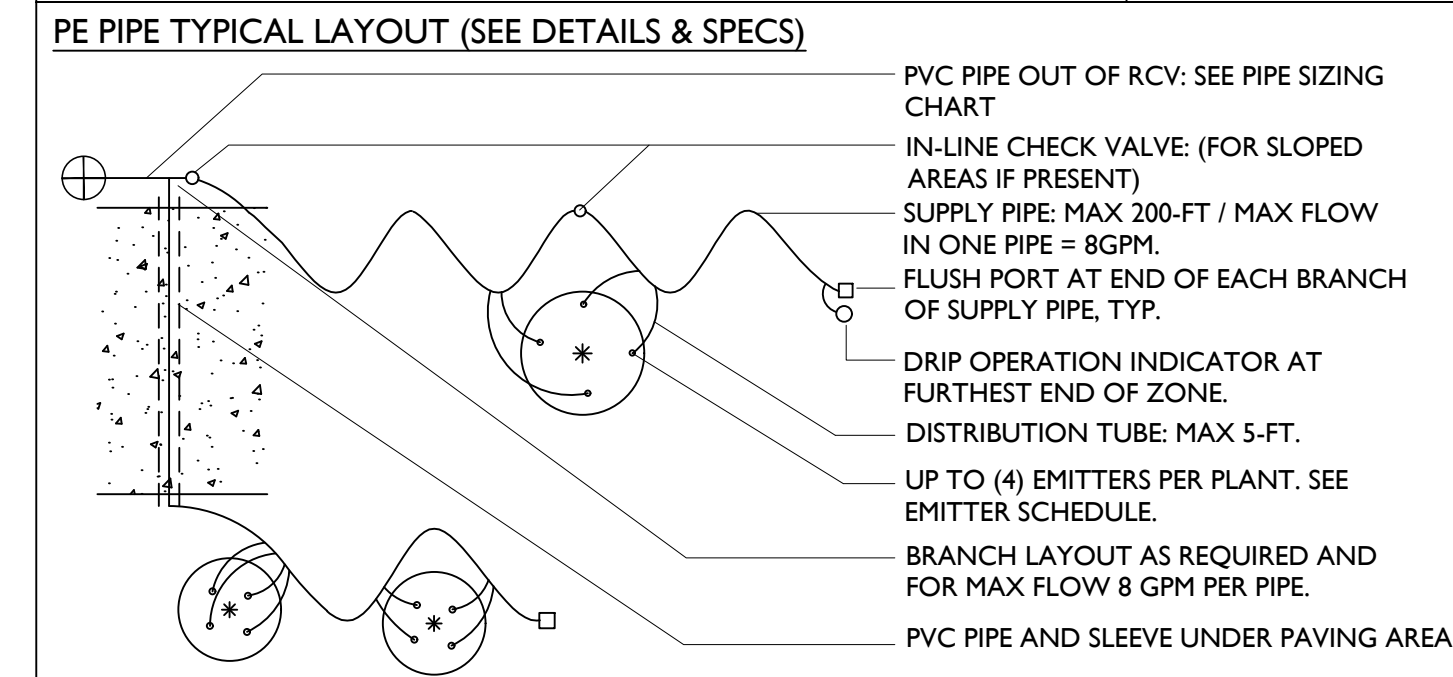
**LEGEND - DRIP IRRIGATION**

SYMBOL	MANUFACTURER	DESCRIPTION
--- (ZONE 00) ---		POINT-SOURCE: 3/4" I.D. PE SUPPLY PIPE & 1/4" I.D. PE DISTRIBUTION TUBES. EMITTERS: 2.0 GPH PRESSURE COMPENSATING W/ BUG/DUST CAP. RAINBIRD XERI-BUG / TORO NGE / NETAFIM WPC. SEE EMITTER SCHEDULE. MANUAL FLUSH VALVE AT END OF EACH BRANCH OF SUPPLY PIPE. RAINBIRD DRIP OPERATION INDICATOR AT FURTHEST END OF EACH ZONE. SEE SCHEMATIC IRRIGATION DIAGRAM.
⊕ 01	RAINBIRD	RAINBIRD XCZLF-100 / XCZ-075 CONTROL ZONE KIT, PRBR FILTER. -100 > 5.0 GPM, -075 < 5.0 GPM AS REQUIRED PER ZONE

**DRIP IRRIGATION POINT SOURCE TYP. SCHEMATIC DIAGRAM**

EMITTER SCHEDULE
1 GAL. 1
5 GAL. 2
15 GAL. 3
24" BOX 4

SEE PLANTING PLAN FOR PLANT SIZES AND LOCATIONS. PE SUPPLY PIPE AND PE DISTRIBUTION TUBE ALIGNMENTS PER REQUIREMENTS OF PLANTING. INSTALL EMITTERS PER EMITTER SCHEDULE. ALLOW FOR ADDITIONAL PORTS TO EACH PLANT FOR FUTURE NEEDS. LOCATE EMITTERS TOWARDS THE UPHILL SIDE OF PLANTS ON SLOPES. SEE IRRIGATION DETAILS.



**PIPE SIZING CHART - SCH 40**

ZONE / PARTIAL ZONE FLOW	PIPE SIZE
0-8 GPM	PVC 3/4"
8.1-13 GPM	PVC 1"
13.1-22 GPM	PVC 1-1/4"
22.1-30 GPM	PVC 1-1/2"

3/4" IS MINIMUM PIPE SIZE.

**MWEO COMPLIANCE STATEMENT**

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

Simon Phillips 4532 09-25-2023

SIGNED	NAME	CLA#	DATE
[Signature]	Simon Phillips	4532	09-25-2023

- GENERAL NOTES**
- CONTRACTOR TO GUARANTEE THE IRRIGATION SYSTEM FOR ONE YEAR FROM DATE OF COMPLETION.
  - ASSUMPTIONS HAVE BEEN MADE FOR THE PREPARATION OF THIS IRRIGATION SYSTEM. THE DESIGN IS BASED ON 55 P.S.I. AND 30 G.P.M. BEING AVAILABLE AT THE POINT OF CONNECTION. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF THESE ASSUMPTIONS ARE NOT ACCURATE AND THE ACTUAL AVAILABLE PRESSURE AND FLOW RATE ADVERSELY AFFECTS THE OPERATION OF THE SYSTEM.
  - CONTRACTOR TO CALL 811 DIG PRIOR TO BEGINNING TRENCHING TO HAVE UNDERGROUND UTILITIES LOCATED. ANY EXISTING UTILITIES THAT ARE DAMAGED DURING INSTALLATION ARE TO BE RESTORED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  - CONTRACTOR IS TO INSTALL THE IRRIGATION SYSTEM FOLLOWING ALL LOCAL AND STATE CODES AND IN ACCORDANCE OF THE MANUFACTURERS INSTRUCTIONS.
  - THESE IRRIGATION DRAWINGS ARE SHOWING PROPOSED EQUIPMENT AND PIPING RUNS SCHEMATICALLY TO ENSURE GRAPHIC CLARITY. CONTRACTOR IS TO ADJUST LAYOUT TO FIT FIELD CONDITIONS AND RUN IRRIGATION PIPING AND VALVES IN PLANTING AREAS ADJACENT TO PAVING EDGES WHENEVER POSSIBLE. COMMON TRENCHES ARE TO BE USED.
  - WHERE IRRIGATION LINES OR CONTROL WIRE PASSES UNDER PAVING OR THROUGH DRAINAGE TRENCHES SLEEVES WILL BE USED. SLEEVES SHALL EXTEND A MINIMUM OF 12" BEYOND THE EDGE OF PAVING OR DRAINAGE TRENCHES INTO ADJACENT GRADE. SLEEVES SHALL BE A MINIMUM OF SCH 40 PVC PIPE AND SIZE ADEQUATELY BY THE CONTRACTOR. NO ANGLES, BENDS OR JOINTS SHALL BE LOCATED UNDER PAVING.
  - INSTALL IN-LINE CHECK VALVES IN DRIP IRRIGATION SUPPLY LINES AS REQUIRED TO MINIMIZE LINE DRAINAGE. FOR OVERHEAD SPRINKLERS IN-HEAD CHECK VALVES ARE TO BE USED.
  - WHEN IRRIGATION PIPING OR VALVE WIRE CROSSES UNDER EXISTING PAVING CONTRACTOR IS TO JET BORE OR DIRECTIONAL BORE TO PRESERVE EXISTING IMPROVEMENTS.
  - ALL ABOVE-GRADE CONDUITS REQUIRED FOR THE IRRIGATION CONTROLLER SHALL BE INSTALLED IN RIGID STEEL CONDUIT AND SHALL BE FASTENED SECURELY TO THE WALL AND CONTROLLER.
  - CONTRACTOR TO SCHEDULE CONTROLLER RUN TIMES DURING THE PLANT ESTABLISHMENT PERIOD TO PROMOTE OPTIMUM PLANT GROWTH AND TO ACCOUNT FOR THE ANTICIPATED WEATHER DURING THE ESTABLISHMENT PERIOD. WATER NEEDS OF THE SPECIFIC PLANT TYPE AND SOLAR ORIENTATION, AT THE END OF THE ESTABLISHMENT PERIOD THE RUN TIMES SHALL BE ADJUSTED FOR MAINTENANCE LEVEL IRRIGATION.
  - DRIP ZONES SHALL NOT BE CYCLED MORE THAN ONCE PER DAY. IF ADDITIONAL WATER IS REQUIRED, ADJUST THE LENGTH OF THE RUN TIME. DRIP VALVES SHOULD BE GROUPED TOGETHER IF REQUIRED TO ENSURE MINIMUM FLOWS REQUIRED BY THE FLOW SENSOR IS ACHIEVED.

**WATER EFFICIENT LANDSCAPE WORKSHEET - RESIDENTIAL**

Project Name: 4161 Sunridge Residence  
Project Number: 23-18  
Reference Evapotranspiration (Eto): 32.00

Hydrozone # / Planting Description <sup>a</sup>	Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PFIE)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>d</sup>
<b>Regular Landscape Areas</b>							
1 ADU Front Garden	0.3	drip	0.81	0.37	490	181.48	3600.59
2 ADU Back Garden	0.3	drip	0.81	0.37	720	266.67	5290.67
3 Screen Planting	0.5	drip	0.81	0.62	425	262.35	0.00
4 Mulch	0	drip	0.81	0.00	115	0.00	0.00
					Totals (A)	1750 (B)	8891.26
<b>Special Landscape Areas</b>							
					1.00	0.00	0.00
					Totals (C)	0 (D)	0.00
						<b>ETWU Total (Gallons)</b>	<b>8891.26</b>
						<b>Maximum Allowed Water Allowance (MAWA)<sup>e</sup> (Gallons)</b>	<b>19096.00</b>
						<b>ETWU (Acre Feet)</b>	<b>0.03</b>
						<b>MAWA (Acre Feet)</b>	<b>0.06</b>

<sup>a</sup>Hydrozone # / Planting Description  
E.g.  
1) front lawn  
2) low water use plantings  
3) medium water use planting

<sup>b</sup>Irrigation Method  
0.75 for spray head  
0.81 for drip

<sup>c</sup>Irrigation Efficiency (IE)  
0.75 for spray head  
0.81 for drip

<sup>d</sup>ETWU (Annual Gallons Required)  
= Eto x 0.62 x ETAF x Area  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

<sup>e</sup>MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

**ETAF Calculations**

Regular Landscape Areas		
Total ETAF x Area	(B)	710.49
Total Area	(A)	1750.00
Average ETAF	B ÷ A	0.41

**All Landscape Areas**

Total ETAF x Area	(B+D)	710.49
Total Area	(A+C)	1750.00
Sitewide ETAF	(B+D) ÷ (A+C)	0.41

**Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.**

