

Exhibit B

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RIVERA A.D.U.

4161 Sunridge Rd.

Pebble Beach, CA 93953

GENERAL NOTES

- CONTRACTOR LICENSE:** THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE:** THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL:** IT IS THE DIRECT INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE OWNER AND ARCHITECT SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.
- WARRANTY:** THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS:** UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL/NOTICE/CODE COMPLIANCE:** THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (2019 C.B.C.)
- CONSTRUCTION RESPONSIBILITY:** THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- JOB SITE SAFETY:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.
- INSURANCE:** LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY, INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRE CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- INDEMNIFICATION:** THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT FROM AND AGAINST ALL CLAIMS/DAMAGES/LOSSES/ AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANING UP:** THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- EXISTING CONDITIONS:** CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS, CONDITION AND EXISTING, AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- CONSTRUCTION NOTES:** ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- BUILDING CODES:** THIS PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA FIRE CODE (CFC), CALIFORNIA GREEN BUILDING CODE (CGBC) AND CALIFORNIA TITLE-24 ENERGY CODE.

OWNERSHIP NOTES

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

- TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER. HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED.
- THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
- THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHER FOR ANOTHER SITE.
- IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

TREE REMOVAL

FIVE (5) TREES TO BE REMOVED: THREE (2) 9" TREES, ONE (1) 6" TREE, ONE (1) 9" OAK, ONE (1) 26" PINE TREE

EXTERIOR LIGHTING NOTE

ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING SHALL BE NO HIGHER THAN 10 FEET ABOVE GROUND AND NOT EXCEED 25 WATTS (INCANDESCENT EQUIVALENT) IN POWER PER FIXTURE.

PROJECT DATA

ADDRESS: **4161 Sunridge Rd.
Pebble Beach, CA 93953**

LOT DATA

LOT SIZE: APN 012-0-21022942 (12,120 S.F.)
APN 011-0-31055450 (13,216 S.F.)
TOTAL= 25,336 S.F.

ZONING: MDR/4-D(CZ)
A.P.N.: 008-071-011-000 & 008-071-012

BUILDING HEIGHT: 16 FT. MAX
OCCUPANCY GROUP: GROUP R-3
TYPE OF CONSTRUCTION: (V-B)

SETBACKS

	REQUIRED	PROPOSED
MDR/4-D(CZ)		
FRONT	50'	97'-3 1/2"
REAR	10'	11'-5 1/2"
SIDE	10'	10'-1/2"
ACCESSORY/ MAIN STRUCTURE	10'	12'-10 3/4"
	REQUIRED	PROPOSED
BUILDING HEIGHT	16' MAX	15'-10"
(E) LOW GRADE		606'-5"
(E) HIGH GRADE		607'-5"
(E) AVERAGE NATURAL GRADE		606'-11"
MAXIMUM BUILDING HEIGHT	622'-11"	622'-9"

ZONING

	ALLOWED	PROPOSED
MDR/4-D(CZ)		
BUILDING SITE COVERAGE	9,099 S.F. (35%)	5,133 (20%)

LOT COVERAGE

BUILDING LOT COVERAGE

EXISTING MAIN RESIDENCE	3,376 S.F. (13%)
EXISTING EAVES OVER 30'	831 S.F. (3.2%)
PROPOSED A.D.U.	856 S.F. (3.3%)
PROPOSED A.D.U. EXTERIOR STAIRS	64 S.F. (0.002%)

TOTAL BUILDING SITE COVERAGE	5,133 S.F. (20%)
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PROPOSED FLOOR AREA

EXISTING MAIN HOUSE FLOOR AREA	3,376 S.F.
PROPOSED A.D.U. FLOOR AREA	856 S.F.
TOTAL BUILDING FLOOR AREA	4,232 S.F.

SITE COVERAGE- IMPERVIOUS

ALLOWED

9,000 S.F.

BUILDING SITE COVERAGE	5,002 S.F.
PATIOS & STAIRS	1,351 S.F.
DRIVEWAY	669 S.F.
SITE WALLS	62 S.F.
TOTAL IMPERVIOUS COVERAGE	7,084 S.F.

SITE COVERAGE- PERVIOUS

PATHS & WALKWAYS	2,021 S.F.
GRAVEL DRIVEWAY	2,482 S.F.
TOTAL PERVIOUS COVERAGE	4,503 S.F.
TOTAL SITE COVERAGE	11,647 S.F.

PROJECT TEAM

OWNER: STEVEN RIVERA
4161 SUNRIDGE RD.
PEBBLE BEACH, CA, 93953
PH: 925-922-5563

ARCHITECT: ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVE.
MONTEREY, CA 93940
PH: 831-372-0410
CONTACT: CRISTO STAEDLER

SURVEYOR: NEAL DICKEY LAND SURVEYING
9670 Pollock Lane
Fremont, CA 94507
PH: 831-320-1964
CONTACT: NEAL DICKEY

PROJECT DESCRIPTION:

CONSTRUCTION OF A NEW 856 S.F. ACCESSORY DWELLING UNIT, CONSISTING OF A LIVING ROOM, KITCHEN, TWO BEDROOMS, ONE BATHROOM, MECHANICAL ROOM AND ROOF DECK.

CUT AND FILL CALCULATIONS

CUT:	75 CY
FILL:	0 CY
NET:	-75 CY

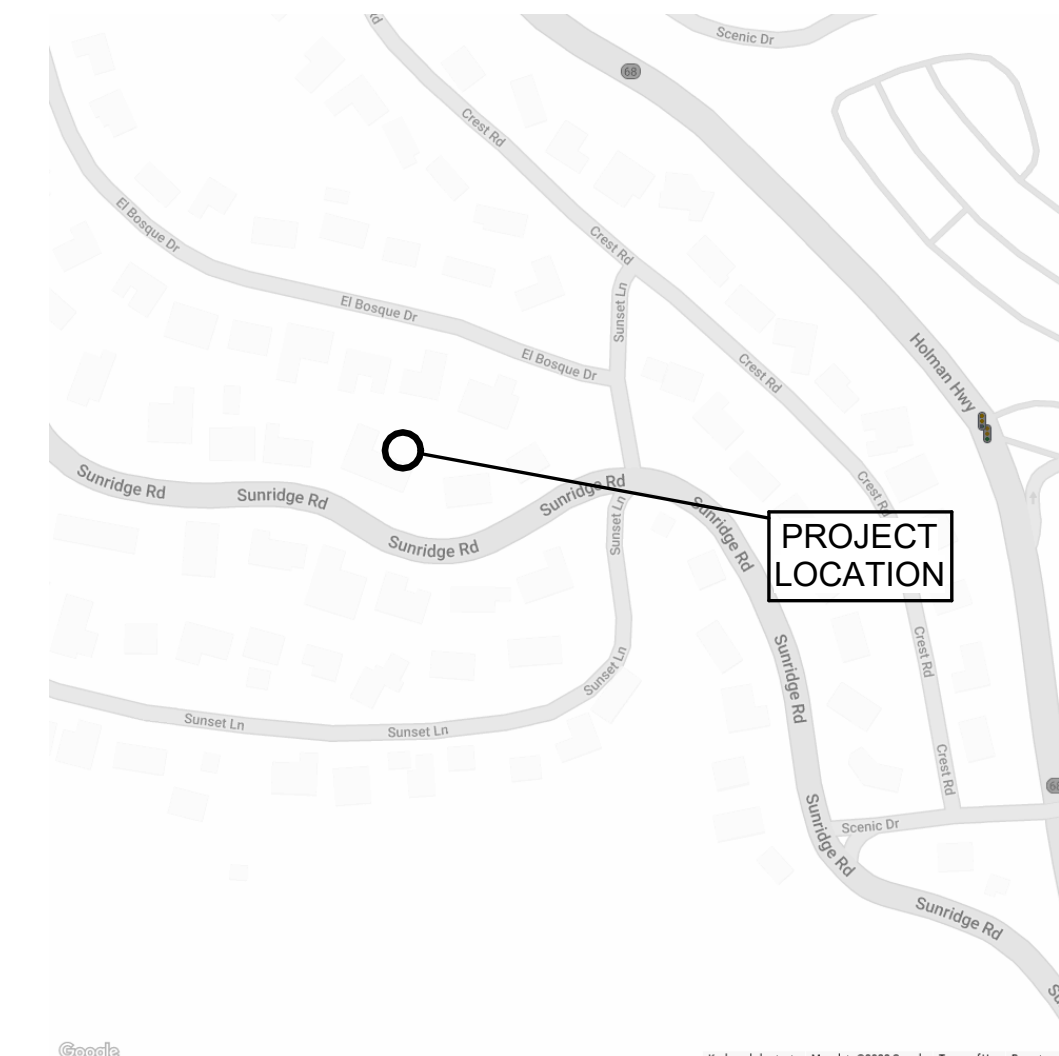
WATERSHED

PESCADERO WATERSHED

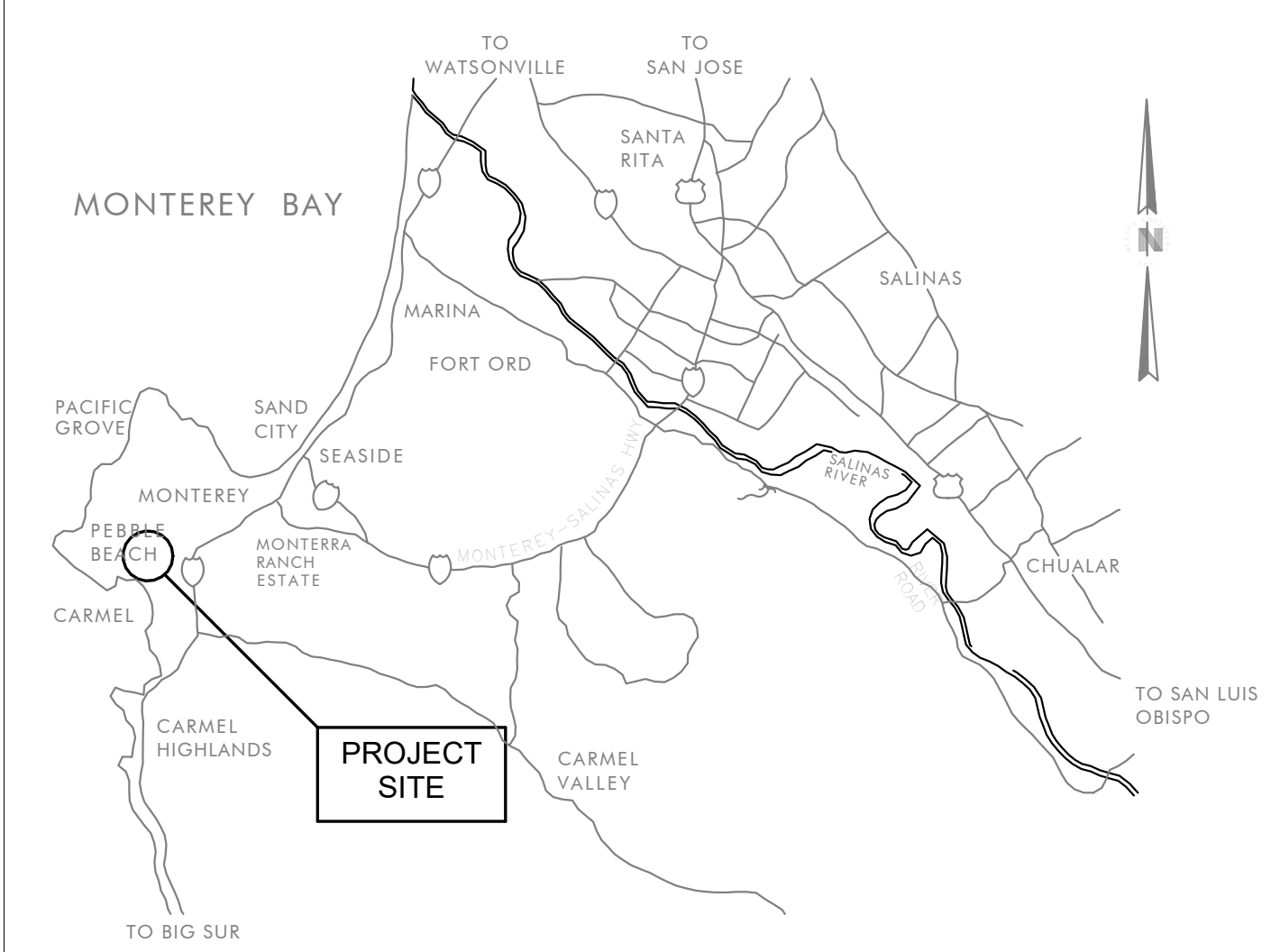
UTILITIES

GAS	PACIFIC GAS & ELECTRIC
ELECTRIC	PACIFIC GAS & ELECTRIC
WATER	CALIFORNIA AMERICAN WATER
SEWER	PEBBLE BEACH COMMUNITY SERVICES

LOCATION MAP



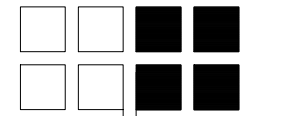
VICINITY MAP



SHEET INDEX		
SHEET NUMBER	SHEET NAME	SCALE
A-0.1	COVER SHEET	
A-0.2	TOPOGRAPHIC MAP	N.T.S.
A-1.1	SITE PLAN	1/8"=1'-0"
A-2.1	FLOOR PLANS	1/4"=1'-0"
A-3.1	SOUTH / WEST ELEVATIONS	1/4"=1'-0"
A-3.2	NORTH / EAST ELEVATION	1/4"=1'-0"
A-4.1	WALL SECTION	1"=1'-0"
A-7.1	MATERIAL SAMPLES	
A-7.2	RENDERINGS	
A-7.3	REVISION DIAGRAMS	
A-7.4	CONTEXT PHOTOS	
EL-1.1	EXTERIOR LIGHTING	1/4"=1'-0"

REVISION	No.

CONSULTANT:



ARCHITECT:
ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

COVER SHEET
Job Name: **Rivera A.D.U.**
4161 Sunridge Rd.
Pebble Beach, CA 93953
A.P.N. 008-071-011 & 012-000

DATE: 9/11/23

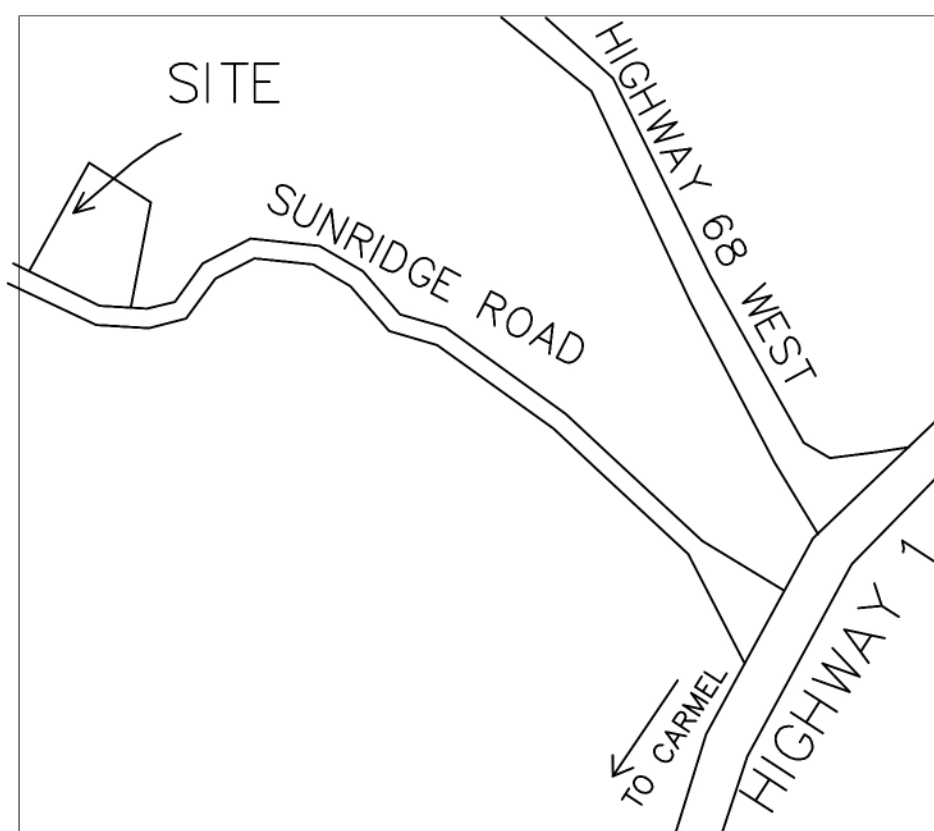
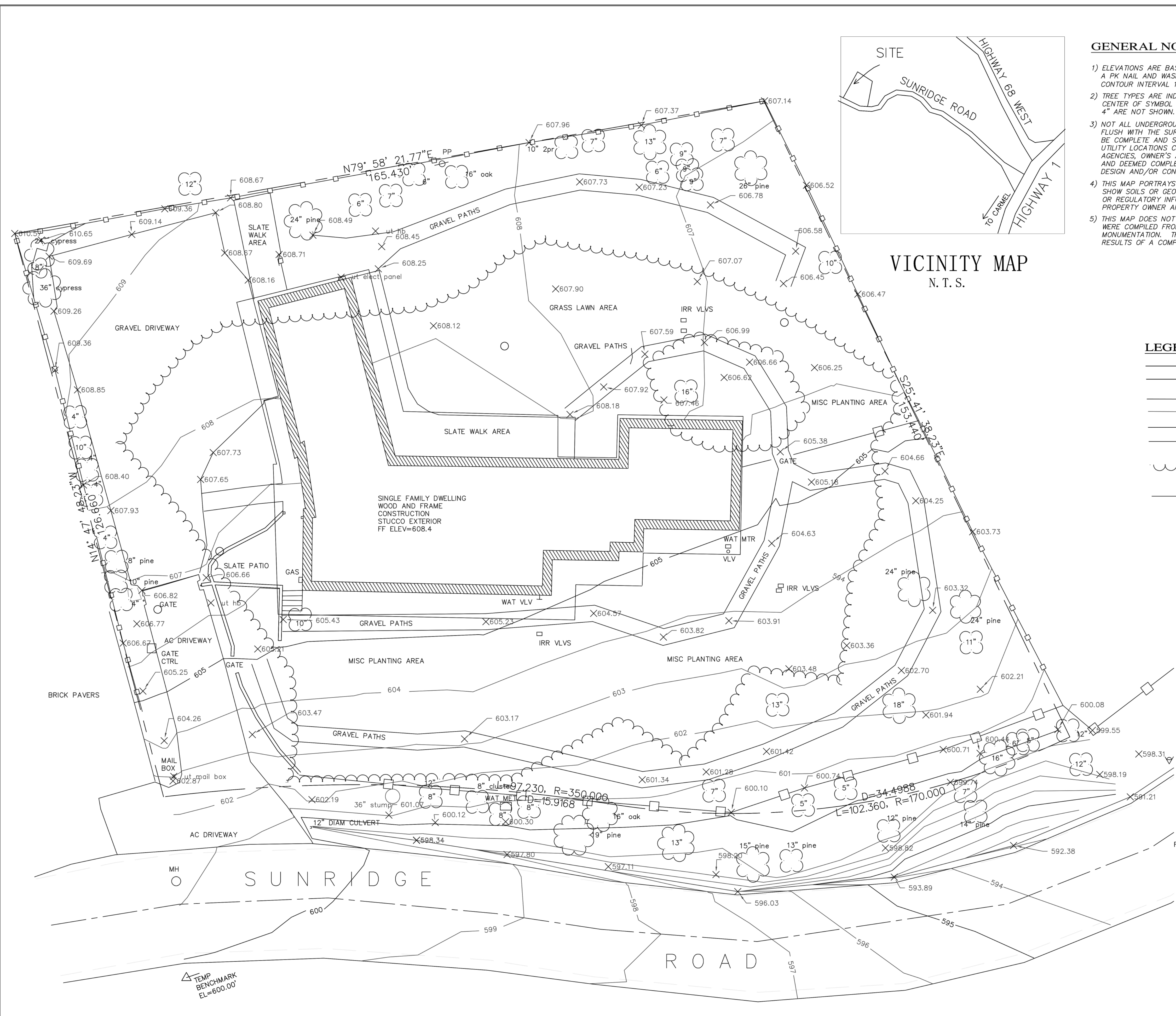
SCALE:

DRAWN: C.S.

JOB NO. 22.08

A-0.1

SHEET OF



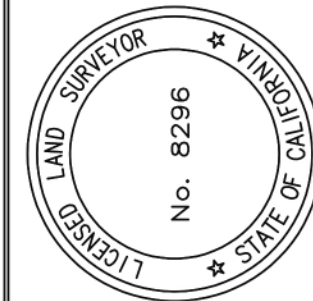
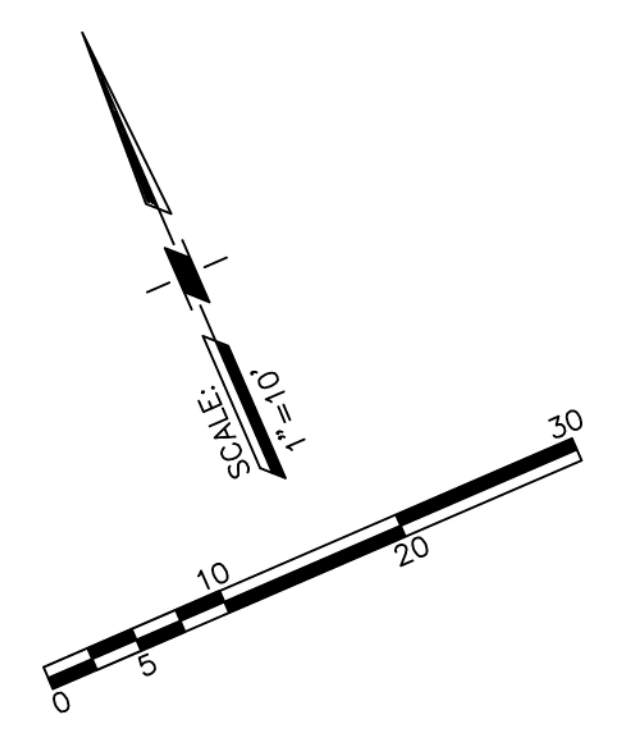
VICINITY MAP
N. T. S.

GENERAL NOTES

- 1) ELEVATIONS ARE BASED ON ARBITRARY ELEVATION OF 600' AT CONTROL POINT #100 A PK NAIL AND WASHER SET IN AC ROADBED ON EASTBOUND SIDE SUNRIDGE ROAD CONTOUR INTERVAL 1'.
- 2) TREE TYPES ARE INDICATED WHEN KNOWN. TREES ARE LABELED IN INCHES. CENTER OF SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 4" ARE NOT SHOWN.
- 3) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- 4) THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (6/11/22) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- 5) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

LEGEND:

- DOUBLE YELLOW STRIPE CL ROAD
- PROPERTY BOUNDARY LINE
- MAJOR CONTOUR LINE (5' INTERVAL)
- MINOR CONTOUR LINE (1' INTERVAL)
- ASPHALT EDGE
- CONCRETE EDGE
- TREE CANOPY AND TREES
- FENCE LINE
- SPOT ELEVATION
- SET TEMPORARY CONTROL POINT
- STRUCTURES



APPROVED BY:
Neal Dickey
NEAL DICKEY
P.L.S. No. 8296

NEAL DICKEY
LAND SURVEYING
LAND SURVEYING - ELEVATION CERTIFICATES
AERIAL PHOTOGRAPHY - ALTA SUBDIVISIONS
9970 POLLOCK LANE, SALINAS, CA 93907
nealdsurvey@gmail.com 831-320-1864

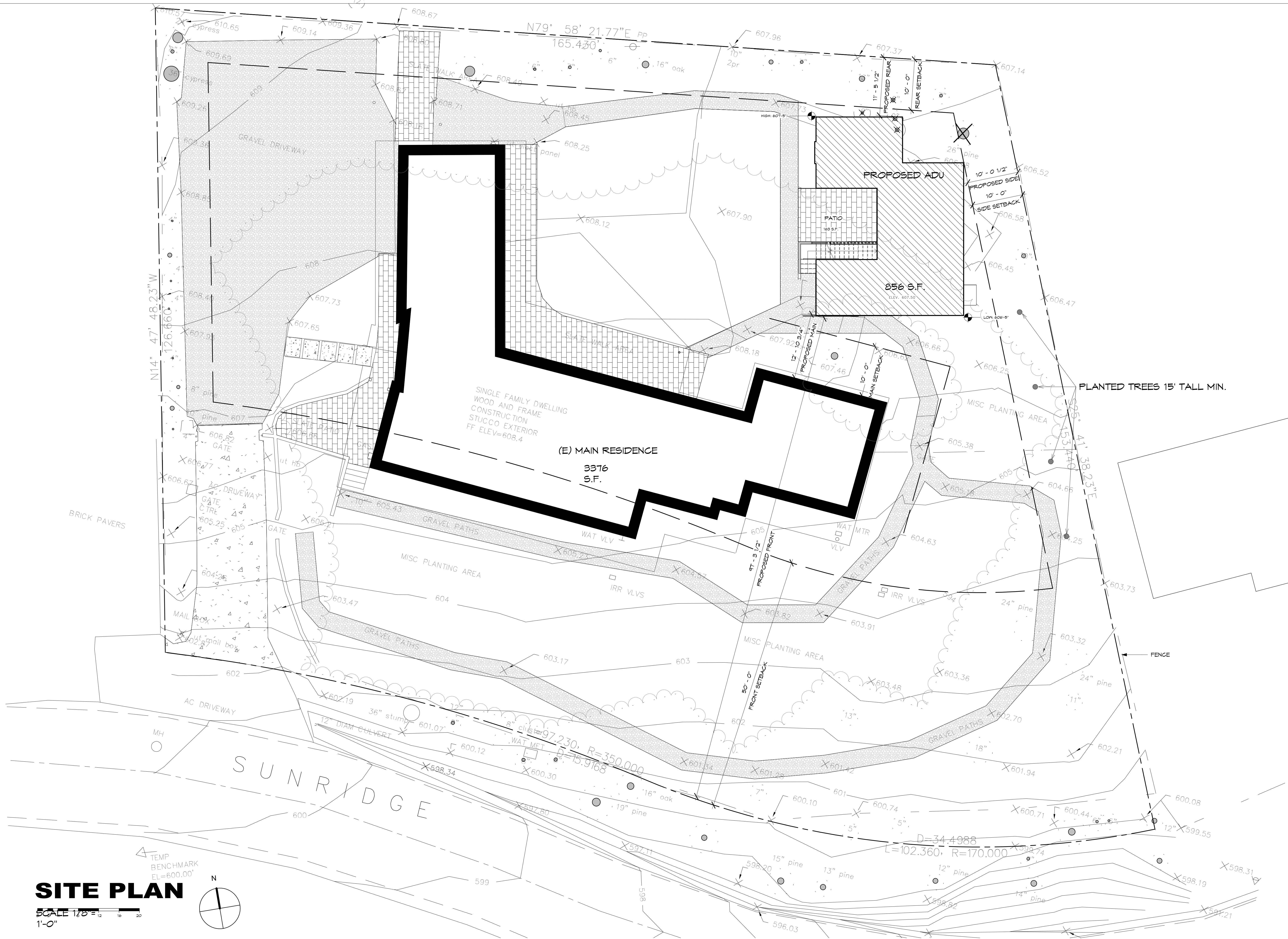
TOPOGRAPHIC MAP
OF
4161 SUNRIDGE ROAD, PEBBLE BEACH, CA

SCALE: 1"=10'
DATE: JUNE 14, 2022
PREPARED: NCD

SHEET 1
OF 1 SHEETS

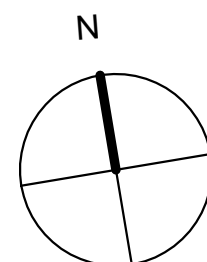
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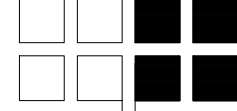


SITE PLAN

SCALE 1/8" = 1'-0"
 1'-0"



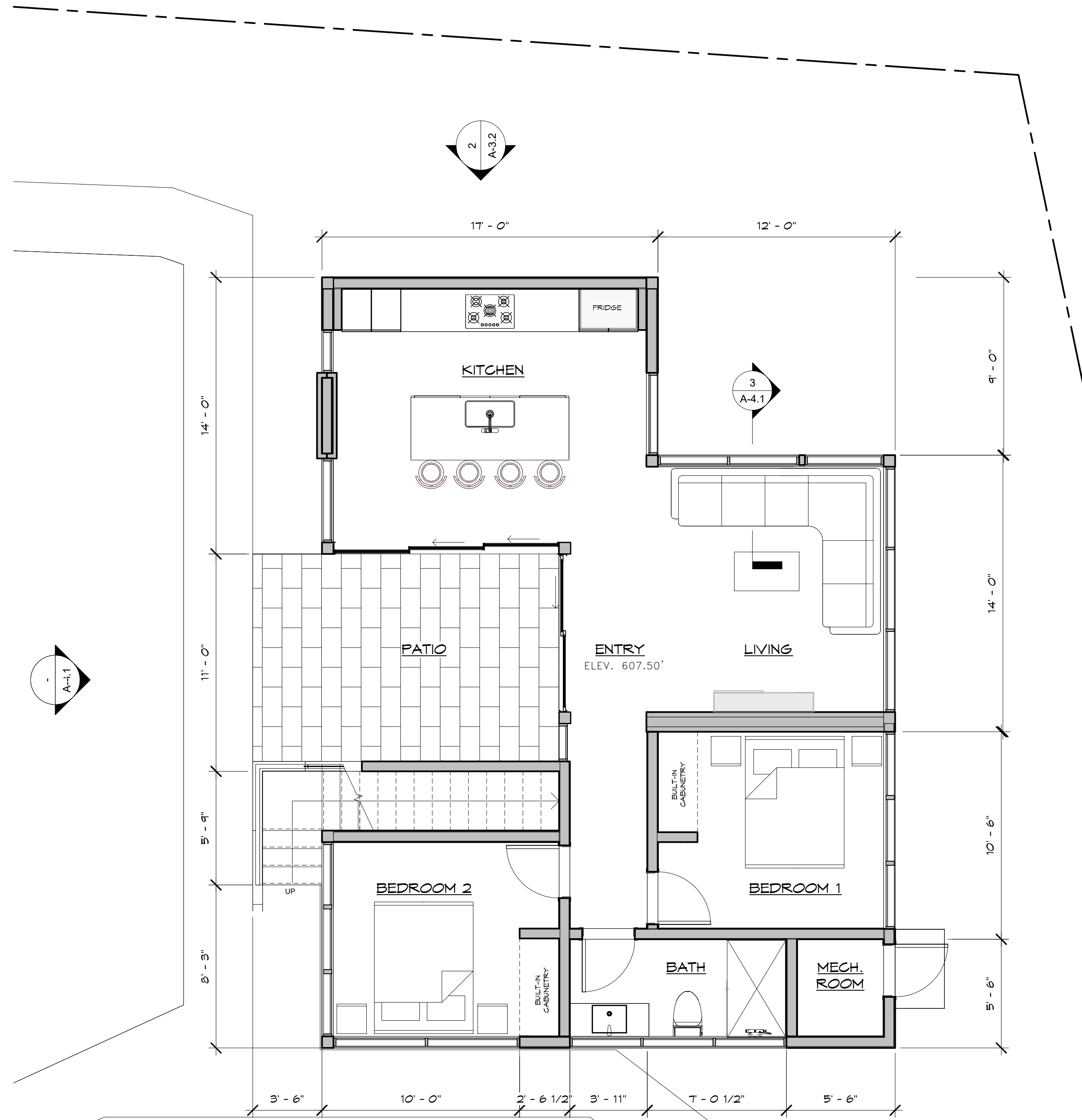
REVISION	No.

CONSULTANT:	
ARCHITECT:	ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

SITE PLAN Job Name: Rivera A.D.U. 4161 Sunridge Rd. Pebble Beach, CA 94953 A.P.N. 008-071-011 & 012-000	
DATE:	9/11/23
SCALE:	1/8" = 1'-0"
DRAWN:	C.S.
JOB NO.	22.08

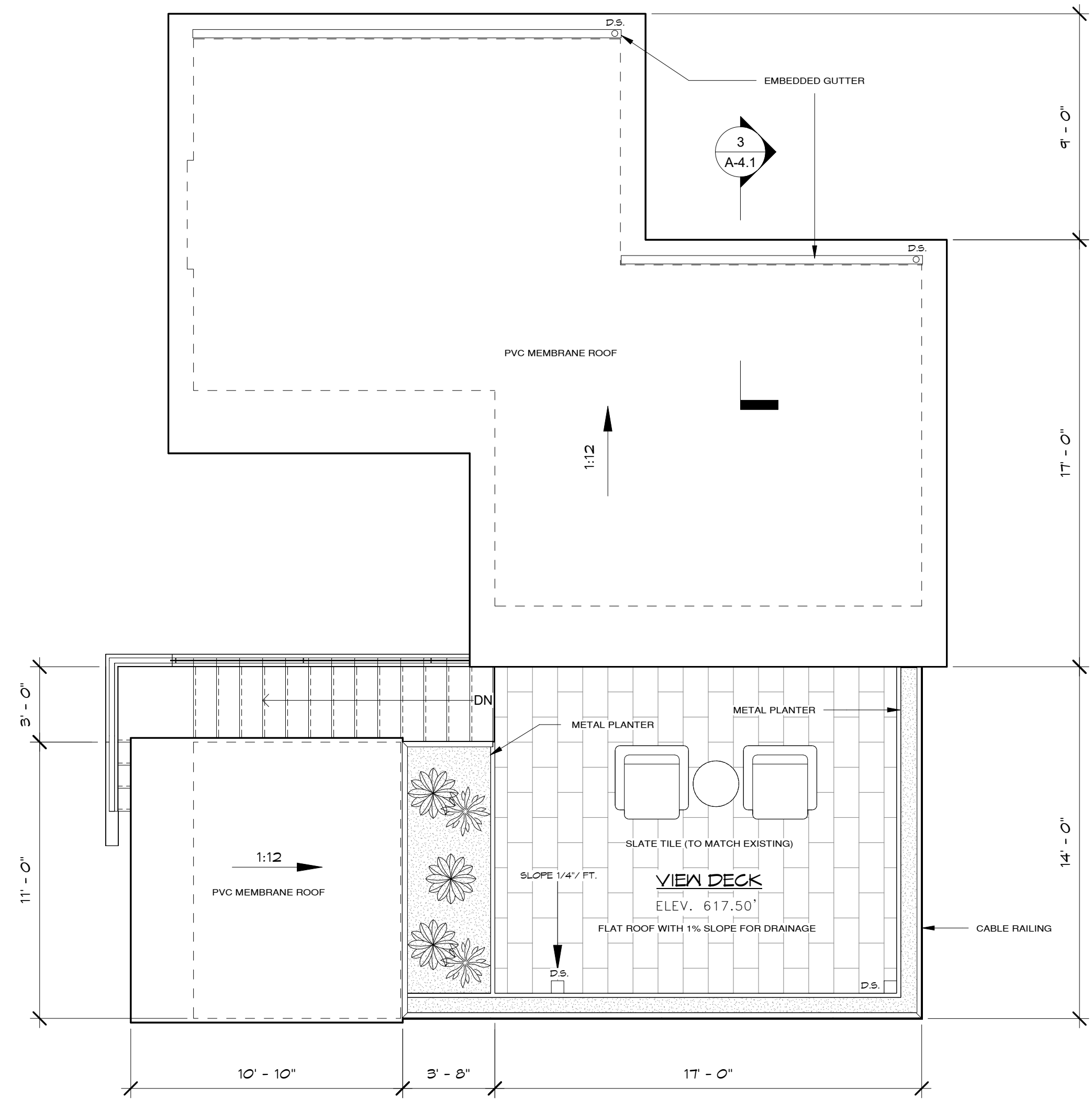
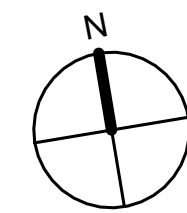
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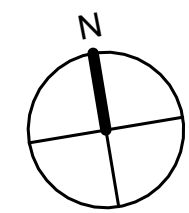
MAIN FLOOR PLAN

0 2' 4' 8' 12' 16' 20'
SCALE 1/4"=1'-0"



ROOF PLAN

0 2' 4' 8' 12' 16' 20'
SCALE 1/4"=1'-0"



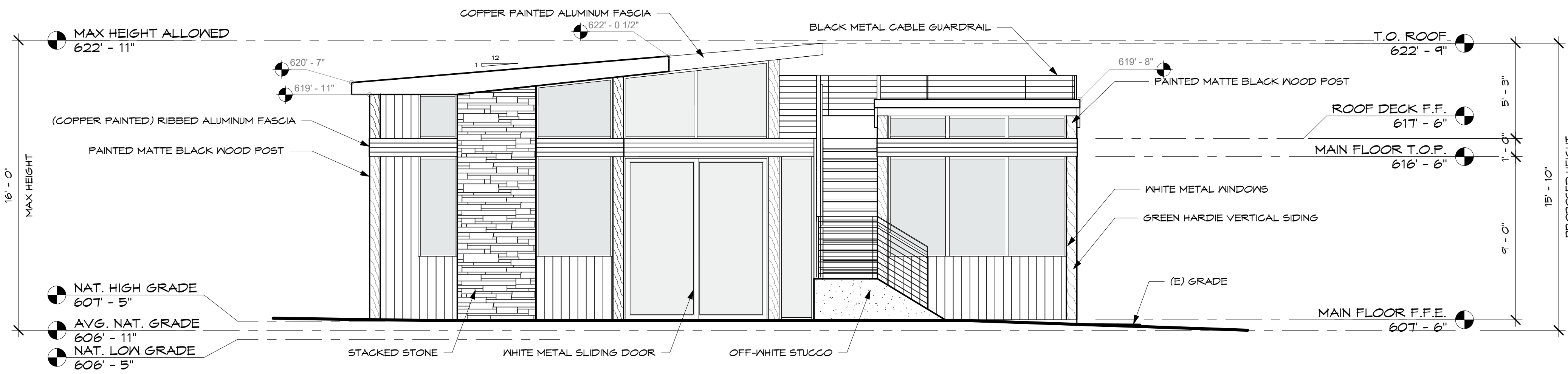
MAIN FLOOR AREA	856 SF
PATIO	163 SF
ROOF DECK (USABLE AREA)	240 SF

REVISION	No.

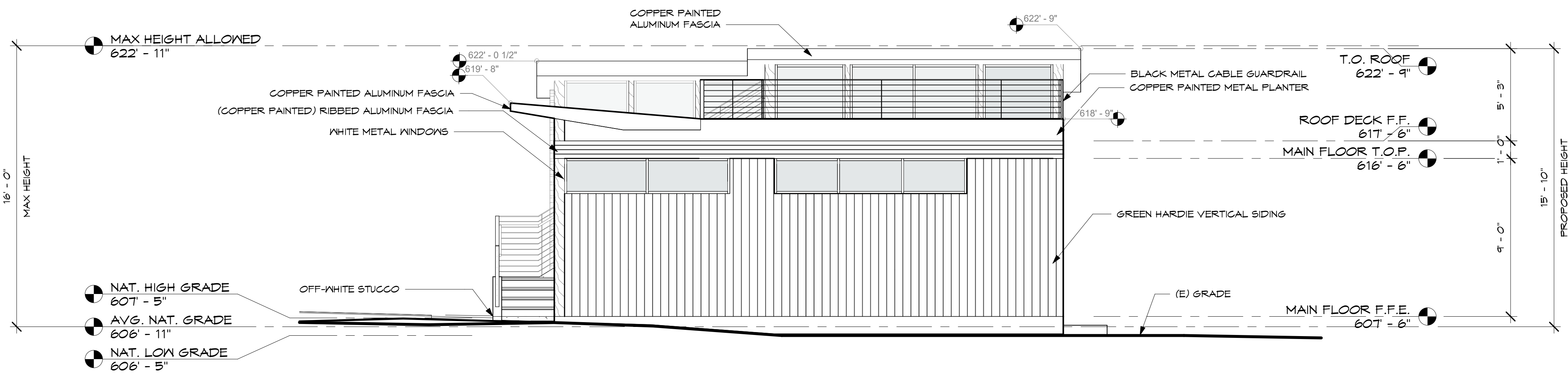
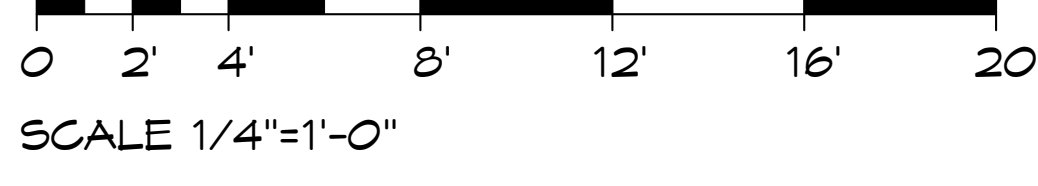
CONSULTANT:
ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

FLOOR PLANS
Job Name: **Rivera A.D.U.**
4161 Sunridge Rd.
Pebble Beach, CA 94953
A.P.N. 008-071-011 & 012-000

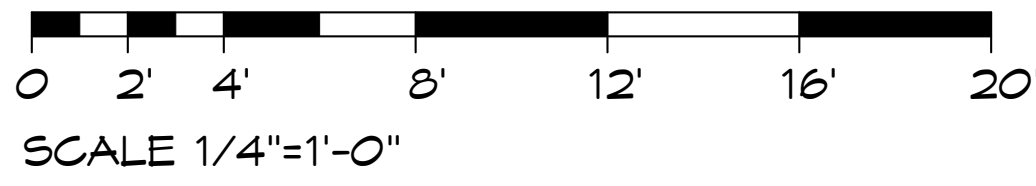
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DRAWN: C.S.
JOB NO. 22.08



1 PROPOSED WEST ELEVATION



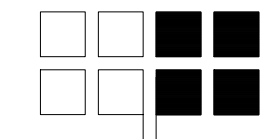
2 PROPOSED SOUTH ELEVATION



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REVISION	No.

CONSULTANT:



ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

ARCHITECT:

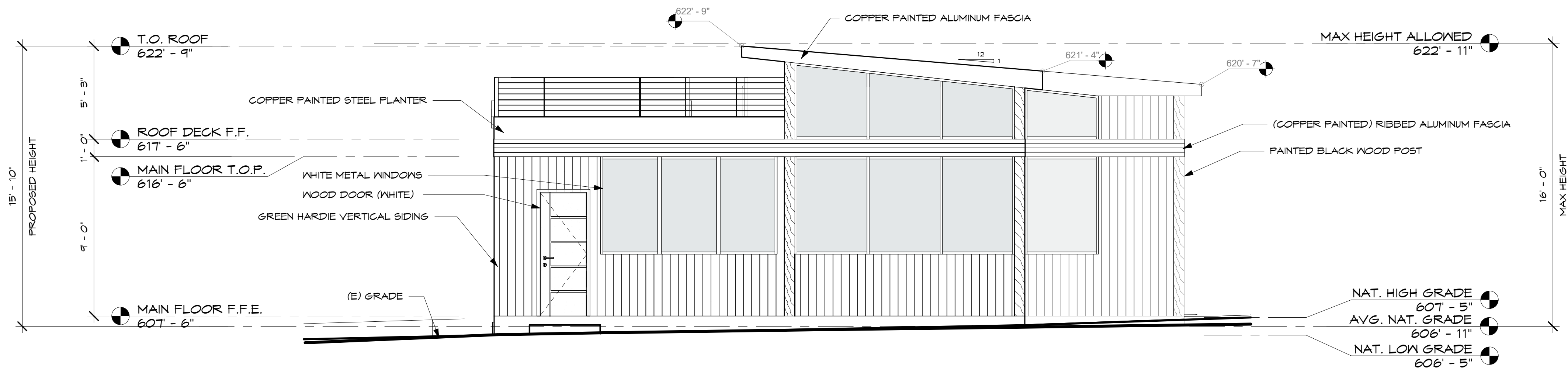
SOUTH / WEST ELEVATIONS

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 Pebble Beach, CA 94953
 A.P.N. 008-071-011 & 012-000

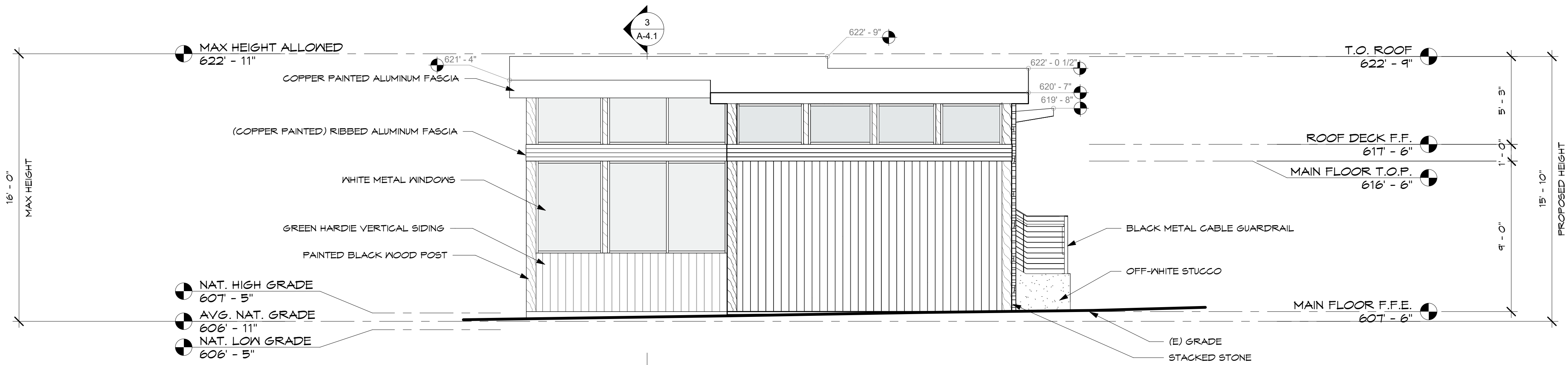
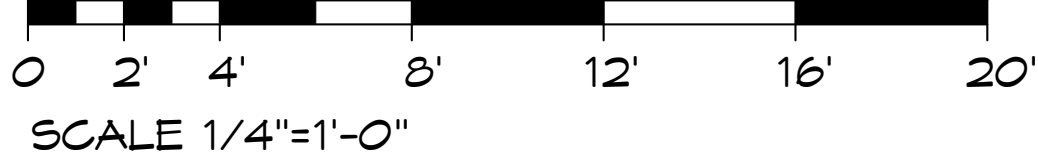
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 DRAWN: C.S.
 JOB NO. 2208

A-3.1
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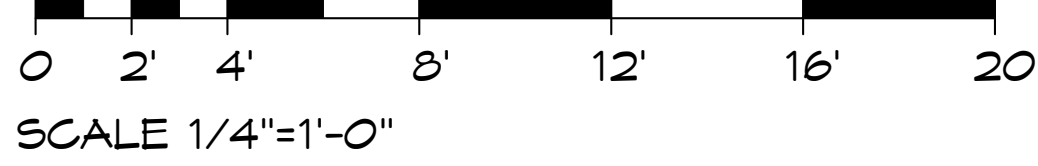
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1 PROPOSED EAST ELEVATION

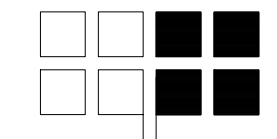


2 PROPOSED NORTH ELEVATION



REVISION	No.

CONSULTANT:



ARCHITECT:
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
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NORTH / EAST ELEVATION
 Job Name: **Rivera A.D.U.**
 4161 Sunridge Rd.
 Pebble Beach, CA 94953
 A.P.N. 008-071-011 & 012-000

DATE: 9/11/23
 SCALE: 1/4" = 1'-0"
 DRAWN: C.S.
 JOB NO. 2208

A-3.2
 SHEET OF

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WAC LED STEP LIGHT-2 WATTS

TAPER LED WALL SCONCE BY HINKLEY LIGHTING-8 AND 11 WATTS

10 EXTERIOR LIGHTING



COPPER PAINTED ALUMINUM FASCIA TO MATCH EXISTING

7 FASCIA (MATCH EXISTING)



PAINT TO MATCH EXISTING MAIN HOUSE



HARDIE® PANEL VERTICAL SIDING
SIERRA 8
 This combination of texture and linear detail adds dimension without getting too fussy.

4 EXTERIOR SIDING



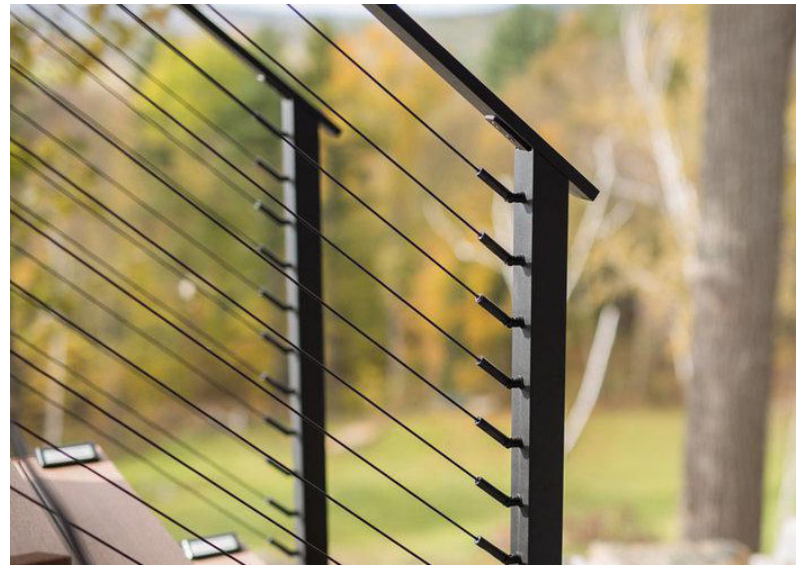
METAL FRAME GLASS SLIDING DOOR WITH WHITE FINISH

1 FRONT ENTRY DOOR



OFF-WHITE STUCCO

11 SMOOTH PLASTER



BLACK METAL CABLE RAILING

8 RAILING



MATCH EXISTING SLATE PAVERS

5 PATIO/ DECK (MATCH EXISTING)



MATCH COLOR OF EXISTING WHITE TRIM WINDOWS AND DOORS



METAL FRAME WINDOWS WITH WHITE FINISH

2 FRAMED GLASS/ WINDOWS



STACKED STONE TO MATCH EXISTING CHIMNEY

3 STONE (MATCH EXISTING)

DURO-LAST® 50-MIL MEMBRANE

Advantages:
 Duro-Last® 50-Mil (DL50) is an excellent choice for projects requiring a long lasting, energy efficient roofing membrane. The membrane is available in custom-fabricated sections or as roll goods. A complete line of custom-fabricated accessories and parapets are available for use with DL50.

Description:
 DL50 is composed of PVC film laminated to both sides of a reinforcement fabric (well-inserted scrim).

Duro-Last membranes must not be used with Duro-Last EV membranes.

PVC Film - Proprietary thermoplastic PVC formulation of resins, plasticizers, stabilizers, biocides, flame retardants, and U.V. absorbers.

- PVC film above well-inserted scrim - 26 mil, nominal

Well-Inserted Scrim - An 18 x 14 polyester fabric construction with well insertion, composed of 840 x 1000 denser threads, provides superior tear and puncture resistance. The polyester thread is treated to prevent wicking. The polyester thread is treated to prevent wicking.

Total Thickness - 50 mil, nominal.

	CRRC ID	Solar Reflectance		Thermal Emittance		Solar Reflective Index (SRI)	
		Initial	3-yr	Initial	3-yr	Initial	3-yr
White	0610-0001a	0.86	0.74	0.89	0.89	108	91
Tan	0610-0004	0.36	0.33	0.89	0.89	43	35
Gray	0610-0004	0.47	0.40	0.89	0.89	54	45
Dark Gray	0610-0006	0.28	0.25	0.87	0.89	25	25
Terra Cotta	0610-0008	0.26	0.24	0.89	0.88	26	23



9 ROOFING



PAINTED BLACK POSTS TO MATCH EXISTING BLACK ACCENTS ON MAIN RESIDENCE



EXISTING BLACK ACCENTS ON MAIN RESIDENCE

6 POSTS



FLUTED WOOD SLAT PANEL CEILING AND SOFFIT

12 SOFFIT

REVISION	No.

CONSULTANT:

ARCHITECT:
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

MATERIAL SAMPLES
 Job Name: **Rivera A.D.U.**
 4161 Sunridge Rd.
 Pebble Beach, CA 94955
 A.P.N. 008-071-011 & 012-000

DATE: 9/11/23
 SCALE:
 DRAWN: C.S.
 JOB NO.: 22.08

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ENTRY PERSPECTIVE FROM MAIN RESIDENCE BACKYARD



ARIAL PERSPECTIVE OF VIEW DECK



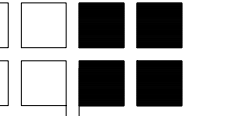
ARIAL PERSPECTIVE OF MAIN RESIDENCE AND ADU



PERSPECTIVE OF SOUTH FACADE FACING SUNRIDGE RD.

REVISION	No.

CONSULTANT:



ARCHITECT:
ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE MONTEREY, CA 93940
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RENDERINGS

Job Name: **Rivera A.D.U.**
4161 Sunridge Rd.
Pebble Beach, CA 95953
A.P.N. 008-071-011 & 012-000

DATE: 9/11/23

SCALE:

DRAWN C.S.

JOB NO. 2208

A-7.2
SHEET OF

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CONSULTANT:

ARCHITECT:
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CONTEXT PHOTOS
 Job Name: **Rivera A.D.U.**
 4161 Sunridge Rd.
 Pebble Beach, CA 94953
 A.P.N. 008-071-011 & 012-000

DATE: 9/11/23
 SCALE:
 DRAWN: C.S.
 JOB NO. 22.08

A-7.4
 SHEET OF

11W HINKLEY TAPER LED WALL SCONCE (LARGE- 11 WATT)

Taper LED Outdoor Wall Sconce
By Hinkley

Product Options
Finish: Textured Oil Rubbed Bronze
Size: Large

Material: Composite
Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not Included)
UL Listed Item
Warranty: 5 Year Finish, 5 Years on LED components
Made in China

Dimensions
Large Option Backplate: Width 9", Height 24"
Large Option Fixture: Width 9", Height 24", Depth 4", Weight 6.38Lbs

Lighting

Lamp Type	LED Built-in
Total Lumens	800
Total Watts	11.00
Volts	120
Color Temp	3000 (Soft White)
CRI	90
Equipment: Ballasts, CFL or LED Bulb Can Be Used	No

Additional Details
Product URL:
<https://www.lumens.com/taper-led-outdoor-wall-sconce-by-hinkley-HK11880391.html>
Rating: UL Listed Wet
ITEM#: HK11880391

Created September 27th, 2022



Prepared by: [Signature]
Prepared for: [Signature]
Project: [Signature]
Notes: [Signature]



8W HINKLEY TAPER LED WALL SCONCE (MEDIUM- 8 WATT)

Taper LED Outdoor Wall Sconce
By Hinkley

Product Options
Finish: Textured Oil Rubbed Bronze
Size: Medium

Material: Composite
Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not Included)
UL Listed Item
Warranty: 5 Year Finish, 5 Years on LED components
Made in China

Dimensions
Medium Option Backplate: Width 7", Height 15"
Medium Option Fixture: Width 7", Height 15", Depth 3.5", Weight 3.52Lbs

Lighting

Lamp Type	LED Built-in
Total Lumens	600
Total Watts	8.00
Volts	120
Color Temp	3000 (Soft White)
CRI	90
Equipment: Ballasts, CFL or LED Bulb Can Be Used	No

Additional Details
Product URL:
<https://www.lumens.com/taper-led-outdoor-wall-sconce-by-hinkley-HK11880390.html>
Rating: UL Listed Wet
ITEM#: HK11880390

Created September 27th, 2022



Prepared by: [Signature]
Prepared for: [Signature]
Project: [Signature]
Notes: [Signature]



2W WAC HORIZONTAL STEP LIGHT (2 WATT)

Landscape Lighting LED Horizontal Step Light
By WAC Lighting

Product Options
Finish: Bronze on Brass
Light Option: White

Protected against high pressure water jets
IPX-6/IPX-65 rating
30° beam spread
Solid die-cast brass, corrosion resistant aluminum alloy or cast aluminum and construction
Infrared remote control (optional) optional remote control
The size is 4" x 2" with maximum inside dimensions of 3.1" x 2" x 2"
Includes bracket for 1/8" hex mount
Designed in 2015
Black Material: Powder Coat
UL Listed Item
Warranty: 5 Year Functional / 3 Years Functional for Black
Made in China

Dimensions
Fixture: Width 5", Height 3", Depth 1.5"

Lighting

Lamp Type	LED Built-in
Total Lumens	48
Total Watts	2.00
Volts	12
Average Lifespan	60000.00
CRI	90
Equipment: Ballasts, CFL or LED Bulb Can Be Used	No

Additional Details
Product URL:
<https://www.lumens.com/landscape-lighting-led-horizontal-step-light-by-wac-lighting-WAC071982.html>
Rating: UL Listed Wet
ITEM#: WAC071982

Prepared by: [Signature]
Prepared for: [Signature]
Project: [Signature]
Notes: [Signature]

L-SERIES DOTLESS LINEAR LED STRIP LIGHTING (UNDER STAIR NOSING)

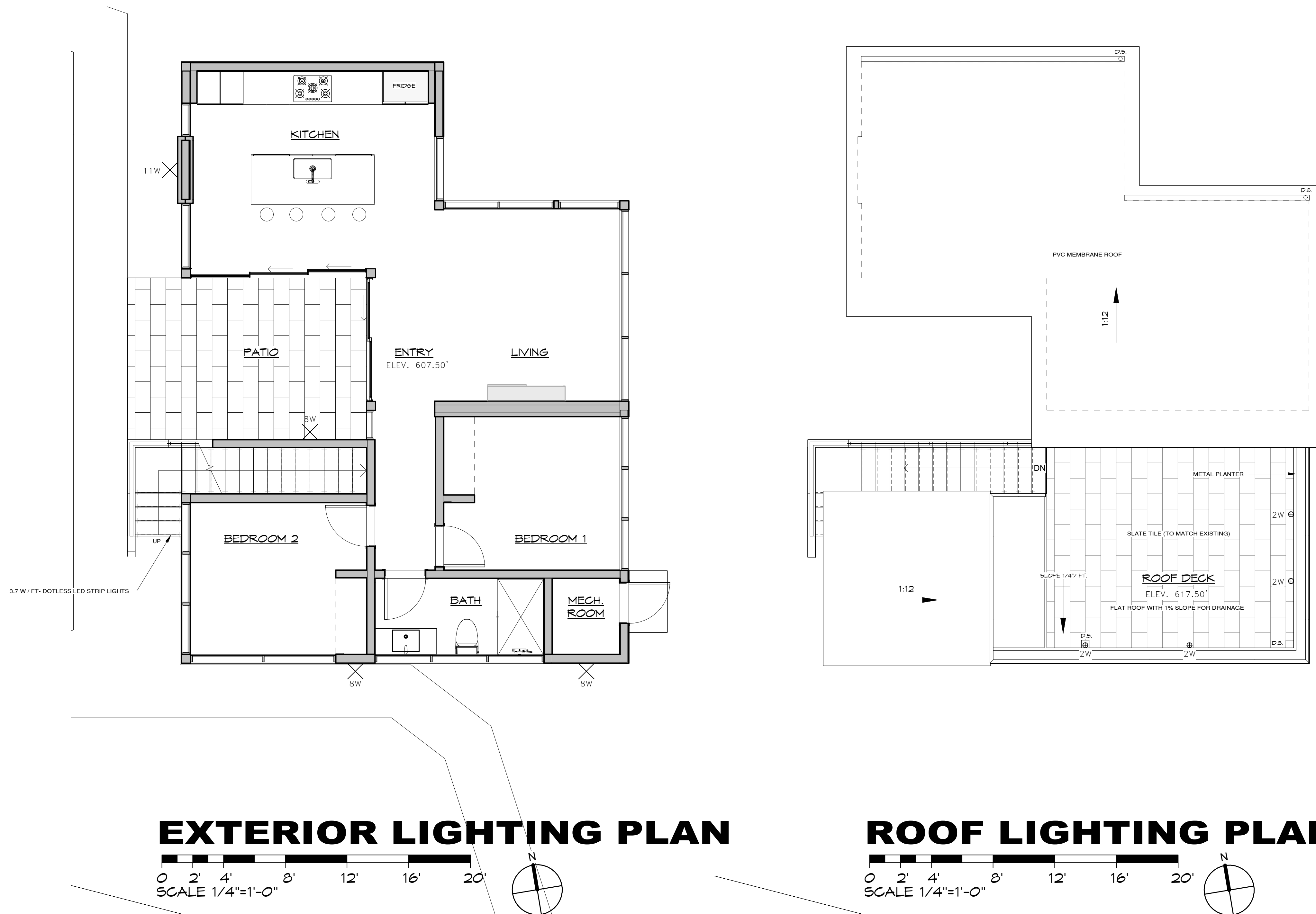
L-SERIES DOTLESS™ LINEAR LED STRIP LIGHTS
MODEL:AL-SL-L-U

Specifications

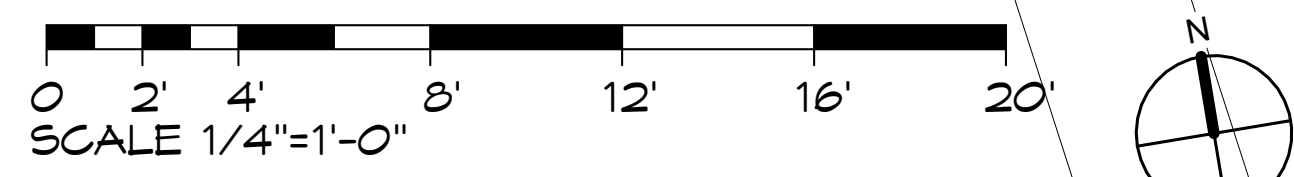
	NON-WATERPROOF	WATER-RESISTANT
Dimensions	5/16" (8mm) wide 1 1/8" (29mm) (BLACK) 16.4" (416mm) long	5/16" (8mm) wide 3/16" (4.8mm) (BLACK) 16.4" (416mm) long
Cut Length	12VDC: 0.7' (21.3mm) 24VDC: 1.37' (41.6mm)	12VDC: 0.7' (21.3mm) 24VDC: 1.37' (41.6mm)
IP Rating	IP20 Indoor Use Dry Location	IP65
PCB Width	8mm	8mm
CR	>90	>90
Adhesive Backing	Yes / 3M Adhesive	Yes / 3M Adhesive
Mounting Method	Adhesive Backing	Adhesive Backing
Input Voltage	12VDC or 24VDC	12VDC or 24VDC
Beam Angle	120 Degrees	120 Degrees
Dimmable	Yes	Yes
Max Power Consumption	12VDC: 3.7 Watts per foot 24VDC: 4.3 Watts per foot	12VDC: 3.7 Watts per foot 24VDC: 4.3 Watts per foot
Color Temperature	Warm White - 3000K Neutral White - 4000K DayWhite - 6000K	Warm White - 3000K Neutral White - 4000K DayWhite - 7000K
Max Luminous Flux	12VDC: 304 Lumens per foot 24VDC: 423 Lumens per foot (varies by LED color)	12VDC: 304 Lumens per foot 24VDC: 423 Lumens per foot (varies by LED color)
Max Run	16.4 feet @ 24VDC	16.4 feet @ 24VDC
Weight	0.4 lbs per reel	0.7 lbs per reel
Estimated Lifespan	50,000 hours	50,000 hours
Warranty	1 Year	1 Year
Suitable Uses	Dry Location Only	Dry, Damp Locations
Standards/Certifications	UL Listed, RoHS	UL Listed, RoHS

www.aspectLED.com | 888.583.1317 | sales@aspectLED.com

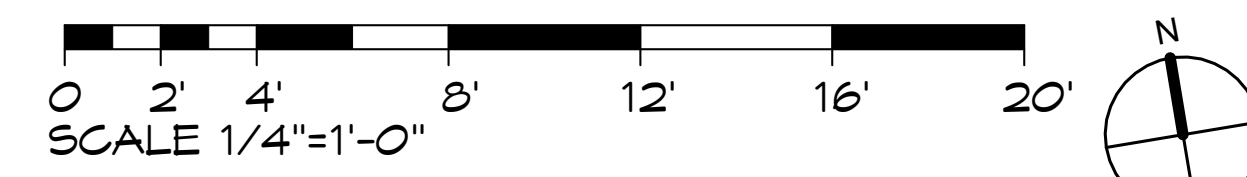
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EXTERIOR LIGHTING PLAN



ROOF LIGHTING PLAN



REVISION	No.

CONSULTANT:

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EXTERIOR LIGHTING
Job Name: **Rivera A.D.U.**
4161 Sunrise Rd.
Pebble Beach, CA 94953
A.P.N. 008-071-011 & 012-000

DATE: 9/11/23
SCALE: 1/4" = 1'-0"
DRAWN: C.S.
JOB NO.: 22.08

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GRADING, DRAINAGE, & EROSION CONTROL PLAN

OF

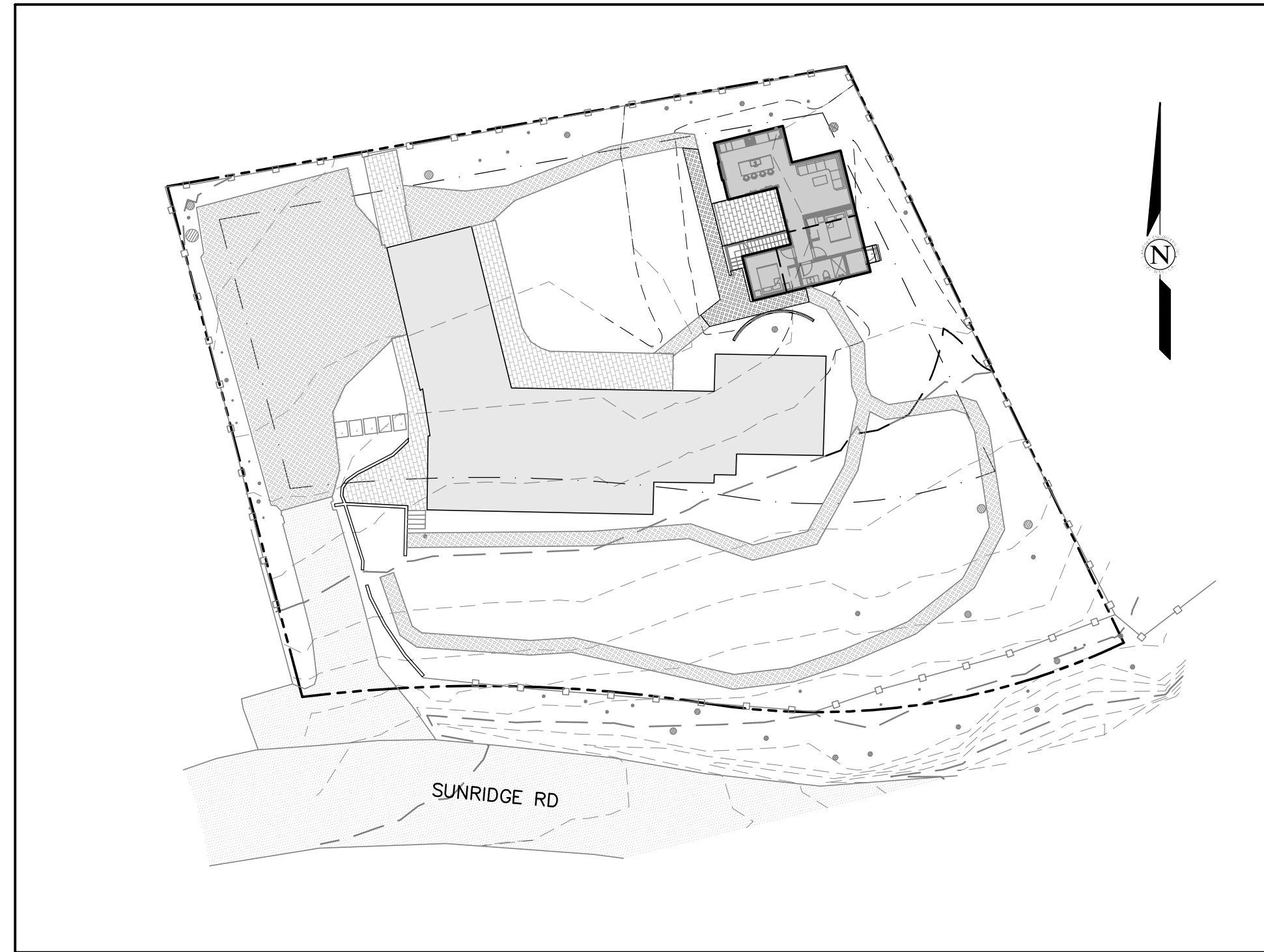
THE RIVERA RESIDENCE

APN: 008-071-012

PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA



VICINITY MAP
NOT TO SCALE



LOT OVERVIEW
SCALE: 1" = 30'

ABBREVIATIONS:

Ø = DIAMETER	EX = EXISTING	PVC = POLYVINYL CHLORIDE
AB = AGGREGATE BASE	FC = FLUSH CURB	RC = RELATIVE COMPACTION
ABAN = ABANDON	FD = FIRE DEPARTMENT	RES = RESIDENCE
AC = ASPHALT CONCRETE	FF = FINISHED FLOOR	RM = ROOM
AD = AREA DRAIN	FG = FINISHED GRADE	RND = ROUND
ADD = ADDITION	FL = FLOWLINE	RW = RETAINING WALL
ADU = ACCESSORY DWELLING UNIT	FM = FORCE MAIN	RWL = RAINWATER LEADER
BC = BEGINNING OF CURVE	FP = FINISHED PAD	SD = STORM DRAIN
B.E. = BUILDING ENVELOPE	GAR = GARAGE	SF = SQUARE FEET
BLDG = BUILDING	GB = GRADE BREAK	SG = SUBGRADE
BOT = BOTTOM	GR = GRATE	SO = SQUARE
BSMT = BASEMENT	HDPE = HIGH-DENSITY POLYETHYLENE	SS = SANITARY SEWER
BVC = BEGINNING OF VERTICAL CURVE	HP = HIGH POINT	STA = STATION
CB = CATCH BASIN	HT = HEIGHT	STN = STONE
CF = CUBIC FEET	INV = PIPE INVERT	STP = STEP
CL = CENTERLINE	JB = JUNCTION BOX	SUBD = SUBDRAIN
CO = CLEANOUT	JT = JOINT TRENCH	TBR = TO BE REMOVED
CONC = CONCRETE	LF = LINEAR FEET	TD = TRENCH DRAIN
CY = CUBIC YARDS	LP = LOW POINT	TW = TOP OF WALL
DG = DECOMPOSED GRANITE	MAX = MAXIMUM	TYP = TYPICAL
DK = DECK	MIN = MINIMUM	U.N.O. = UNLESS NOTED OTHERWISE
DS = DOWNSPOUT	OC = ON-CENTER	VC = VERTICAL CURB
DWY = DRIVEWAY	OUT = OUTLET	VIF = VERIFY IN FIELD
EC = END OF CURVE	PCC = PORTLAND CEMENT CONCRETE	W/ = WITH
EG = EXISTING GROUND	PERF = PERFORATED	W/O = WITHOUT
ESMT = EASEMENT	PERM = PERMEABLE	WD = WOOD
EVC = END OF VERTICAL CURVE	PL = PROPERTY LINE	
EW = EACH WAY	POC = POINT OF CONNECTION	

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	GRADING & DRAINAGE PLAN
SHEET C3	CONSTRUCTION DETAILS
SHEET C4	EROSION & SOURCE CONTROL PLAN
SHEET C5	CONSTRUCTION MANAGEMENT PLAN

GENERAL NOTES:

- PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE RIVERA RESIDENCE (SHEET A-1.1 PREPARED BY ERIC MILLER ARCHITECTS) & THE BASE TOPOGRAPHIC INFORMATION PREPARED BY NEAL DICKEY LAND SURVEYING, DATED JUNE 2022.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUBSURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE LATEST MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE; THE RECOMMENDATIONS FOUND IN THE PROJECT'S SOIL ENGINEERING INVESTIGATION PREPARED BY THE SOIL ENGINEER; THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS; THE GOVERNING PUBLIC AGENCIES; THE LATEST REVISION OF THE CALIFORNIA BUILDING CODE (CBC); AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 75 CUBIC YARDS OF CUT AND 0 CUBIC YARDS OF FILL TOTAL WITH A NET EXCESS OF 75 CUBIC YARDS. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. ARE NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOILS REPORT AND BE APPROVED BY THE SOIL ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10' PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO DO SO AND FOR USE IN GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND THE FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10'. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10' OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 2% WHERE LOCATED WITHIN 5' OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE ACCOMPLISHED BY THE USE OF GUTTERS AND DOWNSPOUTS. THE UPPER DECK SHALL BE SLOPED AT A MINIMUM OF 1% AND AREA DRAINS SHALL BE INSTALLED AT THE LOW POINTS. THESE AREA DRAINS SHALL THEN CONNECT TO DOWNSPOUTS (SEE ARCHITECTURAL PLANS FOR DETAILS). THE DOWNSPOUTS SHALL BE CONNECTED TO RAINWATER LEADERS AND TIED INTO THE STORM DRAIN SYSTEM AS SHOWN ON THE SITE UTILITY PLAN. DOWNSPOUTS THAT ARE NOT CONNECTED TO A RAINWATER LEADER SHALL OUTLET ONTO SPLASH BLOCKS. RAINWATER LEADERS SHALL BE CONSTRUCTED WITH 4" SDR35 PVC PIPE. UNDER NO CIRCUMSTANCES SHALL A RAINWATER LEADER BE CONNECTED TO A SUBDRAIN LINE.
- SURFACE RUNOFF SHALL BE COLLECTED BY A SYSTEM OF SWALES AND DRAINS. CAPTURED STORMWATER SHALL BE PIPED TO A DRY WELL AS SHOWN ON THE SITE UTILITY PLAN. STORM DRAIN LINES SHALL DRAIN BY GRAVITY AND BE SLOPED AT A MINIMUM OF 2% TO AN OUTLET. WHERE A 2% SLOPE IS IMPRACTICAL, PIPES SHALL BE SLOPED AT NO LESS THAN 1%. STORM DRAIN LINES SHALL HAVE A MINIMUM COVER OF 12" AND SHALL BE CONSTRUCTED WITH SDR35 PVC PIPE, SIZED AS INDICATED.
- TRENCH DRAINS SHALL BE NDS CHANNEL DRAINS, SIZED AS INDICATED ON THE SITE UTILITY PLAN. FLAT-BOTTOMED CHANNELS SHOULD BE SLOPED AT A MINIMUM OF 0.5% TO AN OUTLET IN ORDER TO ENSURE PROPER DRAINAGE AND PREVENT STANDING WATER IN THE TRENCH. ANY CHANNEL SLOPED AT LESS THAN 0.5% SHALL HAVE OUTLETS SPACED AT NO MORE THAN 10'. GRATES AND CHANNELS SHALL HAVE A LOAD RATING GREATER THAN OR EQUAL TO THE EXPECTED LOADING IN THE INSTALLATION AREA. ALL TRENCH DRAINS SHALL BE SURROUNDED BY A MINIMUM OF 4" OF CONCRETE. TRENCH DRAINS SHOULD BE SIZED TO HANDLE THE PEAK RUNOFF RATE PRODUCED BY A 10-YEAR DESIGN STORM.
- SUBSURFACE WATER BEHIND ANY RETAINING WALLS SHALL BE CONTROLLED BY THE INSTALLATION OF SUBDRAINS. SUBDRAIN LINES SHALL BE CONSTRUCTED WITH PERFORATED 4" SDR35 PVC PIPE PLACED WITH THE HOLES FACING DOWNWARD. COLLECTED WATER SHALL DRAIN TO DAYLIGHT AT A MINIMUM SLOPE OF 1% AS SHOWN ON THE SITE UTILITY PLAN. PIPES CARRYING SURFACE WATER OR ROOF WATER SHALL NOT UNDER ANY CIRCUMSTANCES OUTLET INTO A SUBDRAIN LINE. THE SYSTEM OF SUBDRAINS SHOULD REMAIN INDEPENDENT OF THE SURFACE STORM DRAIN SYSTEM.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- SPECIAL INSPECTIONS BY A SPECIAL INSPECTOR ARE REQUIRED DURING FILL PLACEMENT TO ENSURE PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT, AND PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- STOP WORK WITHIN 50 METERS (165') OF UNCOVERED RESOURCE AND CONTACT THE MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

PROJECT DATA:	
GRADING VOLUMES	
CUT	= 75 CY
FILL	= 0 CY
NET	= 75 CY CUT
IMPERVIOUS AREA*	
ADU	= 856 SF
PATIO	= 163 SF
STEPS	= 64 SF
LANDING	= 14 SF
TOTAL	= 1097 SF
*CREATED OR REPLACED	
PERMEABLE SURFACES	
GRAVEL PATHS	= 257 SF
LANDSCAPE	= 4276 SF
TOTAL	= 4533 SF
AREA OF DISTURBANCE	
TOTAL	= 5630 SF

LEGEND:

--- ---	PROPERTY BOUNDARY	█	EXISTING RESIDENCE FOOTPRINT	█	CATCH BASIN
- - - -	SETBACK	●	PROPOSED BUILDING FOOTPRINT	█	AREA DRAIN
— — — —	MAJOR CONTOUR (5' INTERVAL)	█	ASPHALT CONCRETE	█	ENERGY DISSIPATOR
- - - -	MINOR CONTOUR (1' INTERVAL)	█	PORTLAND CEMENT CONCRETE	○	DRY WELL
— — — —	RETAINING WALL	█	GRAVEL	⊗	TREE TO BE REMOVED
— — — —	SWALE FLOW LINE	█	IMPERVIOUS PAVERS		
— — — —	STORM DRAIN PIPE				
— — — —	RAINWATER LEADER				

STORMWATER CONTROL NOTES:

- THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- THIS PROJECT SHALL IMPLEMENT THE FOLLOWING STRATEGIES: MINIMIZE COMPACTION OF HIGHLY PERMEABLE SOILS; LIMIT CLEARING AND GRADING OF NATIVE VEGETATION; MINIMIZE IMPERVIOUS SURFACES AND LEAVE THE REMAINING LAND IN A NATURAL UNDISTURBED STATE; MINIMIZE STORMWATER RUNOFF BY DIRECTING RUNOFF FROM PATIOS, PORCHES, AND DRIVEWAYS ONTO VEGETATED AREAS AND DIRECTING ROOF RUNOFF INTO AN INFILTRATION SYSTEM SAFELY AWAY FROM BUILDING FOUNDATIONS AND FOOTINGS, CONSISTENT WITH THE CALIFORNIA BUILDING CODE.

CONTACT INFORMATION:

OWNER:
STEVEN RIVERA
4161 SUNRIDGE RD
PEBBLE BEACH, CA 93953

ARCHITECT:
ERIC MILLER ARCHITECTS
211 HOFFMAN AVE
MONTEREY, CA 93940

SITE LOCATION:
4161 SUNRIDGE RD
PEBBLE BEACH, CA 93953

07/27/23	JAN	RELEASED TO CLIENT
No.	DATE	BY
		REVISION

"COVER SHEET"

GRADING, DRAINAGE, & EROSION CONTROL PLAN
OF
THE RIVERA RESIDENCE
A.P.N.: 008-071-012
PEBBLE BEACH, CALIFORNIA

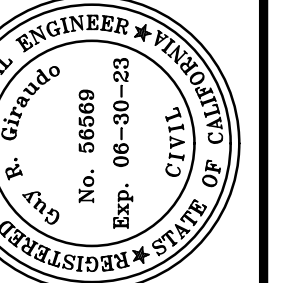
STEVEN RIVERA



LANDSET
ENGINEERS, INC.
530 S. Gray Horse Canyon Road
Salinas, California 95007
Office: (831) 443-6970 Fax: (831) 443-3801
www.landseteng.com

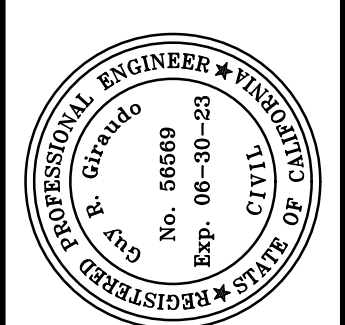
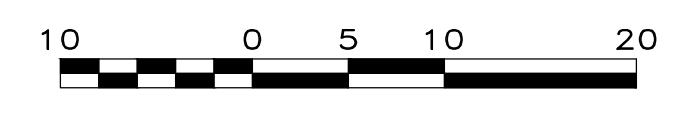
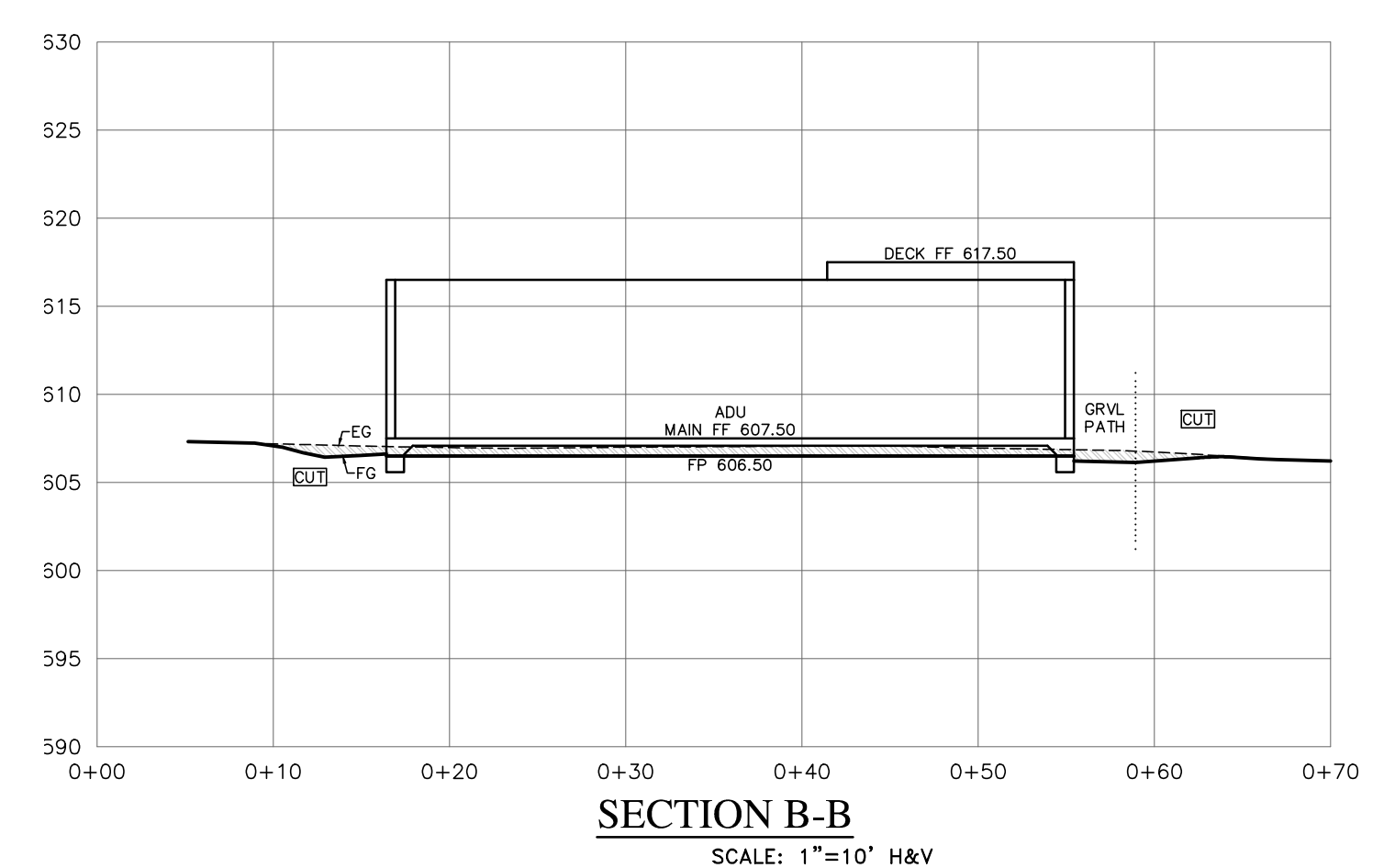
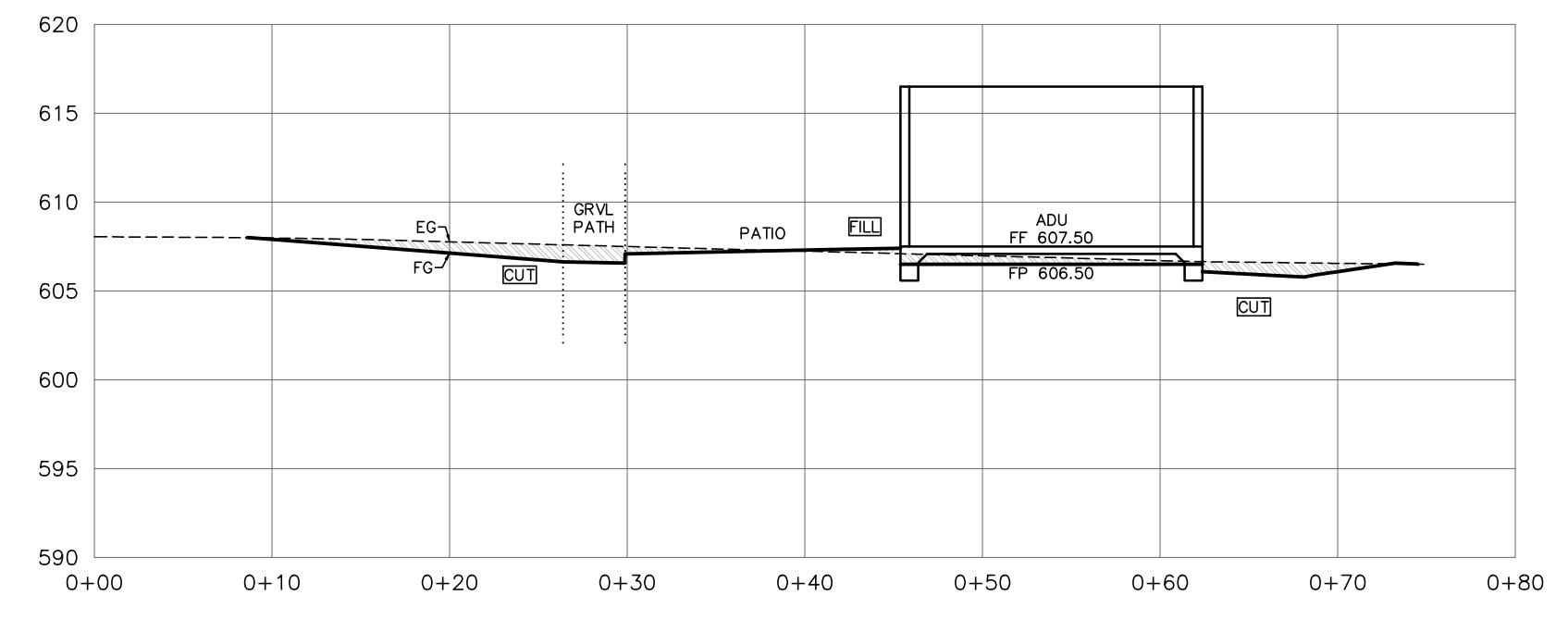
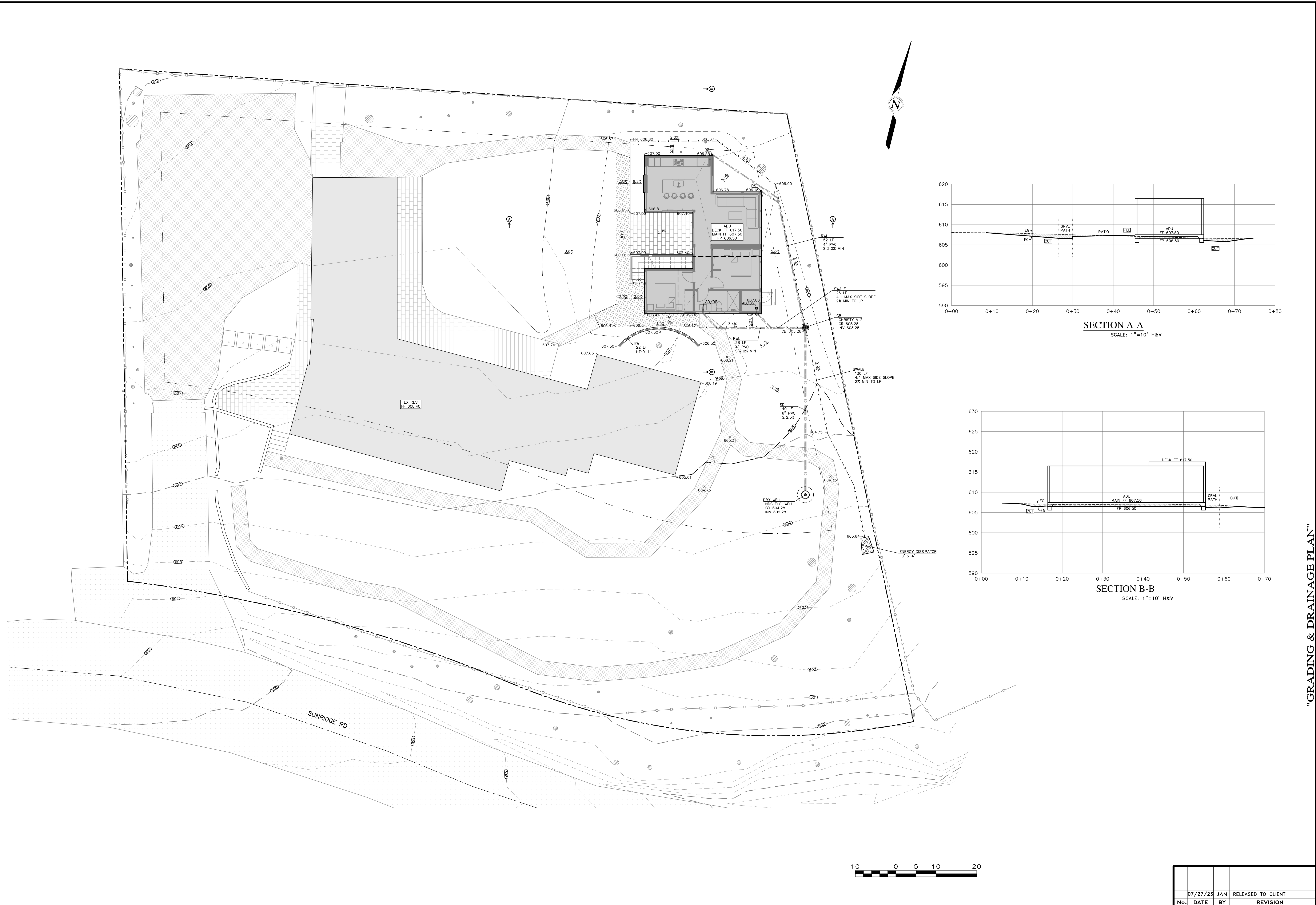
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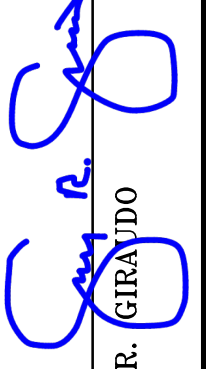
GUY R. GIRAUDO



SHEET **C1**

OF 5 SHEETS



APPROVED BY:

 GUY R. GIRARDO

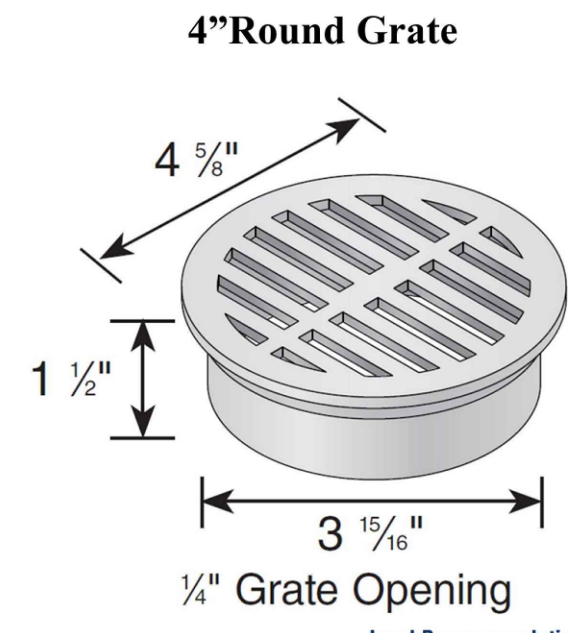


"GRADING & DRAINAGE PLAN"
 GRADING, DRAINAGE, & EROSION CONTROL PLAN
 OF
 THE RIVERA RESIDENCE
 A.P.N.: 008-071-012
 PEBBLE BEACH, CALIFORNIA
 003
 STEVEN RIVERA

SCALE: 1" = 10'
 DATE: JUL 2023
 JOB NO. 2651-01

No.	DATE	BY	REVISION
	07/27/23	JAN	RELEASED TO CLIENT

SHEET **C2**
 OF 5 SHEETS



4" Round Grate

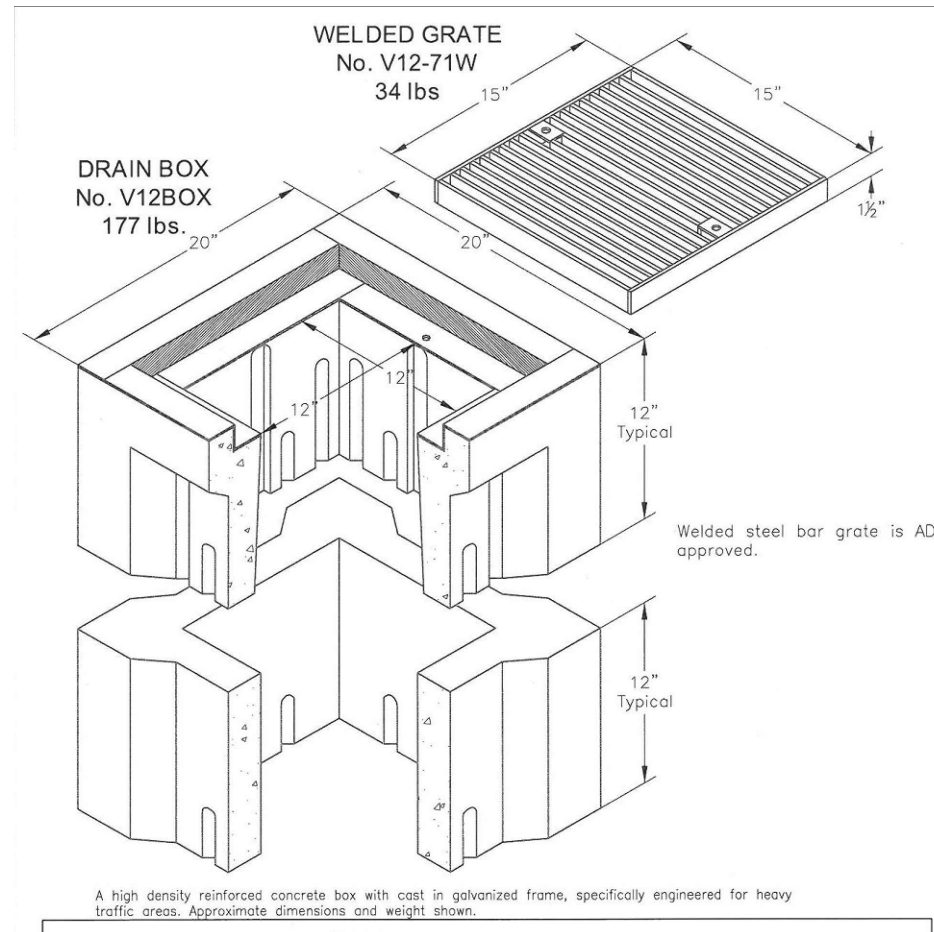
Part #: 11, 12, 13 and 13S
Material: HDPE High Density Polypropylene
Color: #11(Black), #12(Grey), #13(Green), & #13S(Sand)
Fits: 4" sewer and drain pipe & fittings.
4" corrugated and triple wall pipe.
Grate Opening: 1/4"
Open Surface Area: 3.85 Sq. Inches
Head Pressure / Flow Rate:
Head (inches) - Max Flow:
1" = 16.66 GPM
0.5" = 11.78 GPM
Weigh Per Each: 0.16 lbs.
UV Inhibitor

Load Recommendation Guide

Class A
+ Loads of 100 psi
+ Recommended for pedestrians, bicycles and wheel chair traffic.

ADA Compliant/Heel-proof

1 NDS 4" ROUND GRATE



WELDED GRATE
No. V12-71W
34 lbs

DRAIN BOX
No. V12BOX
177 lbs.

A high density reinforced concrete box with cast in galvanized frame, specifically engineered for heavy traffic areas. Approximate dimensions and weight shown.

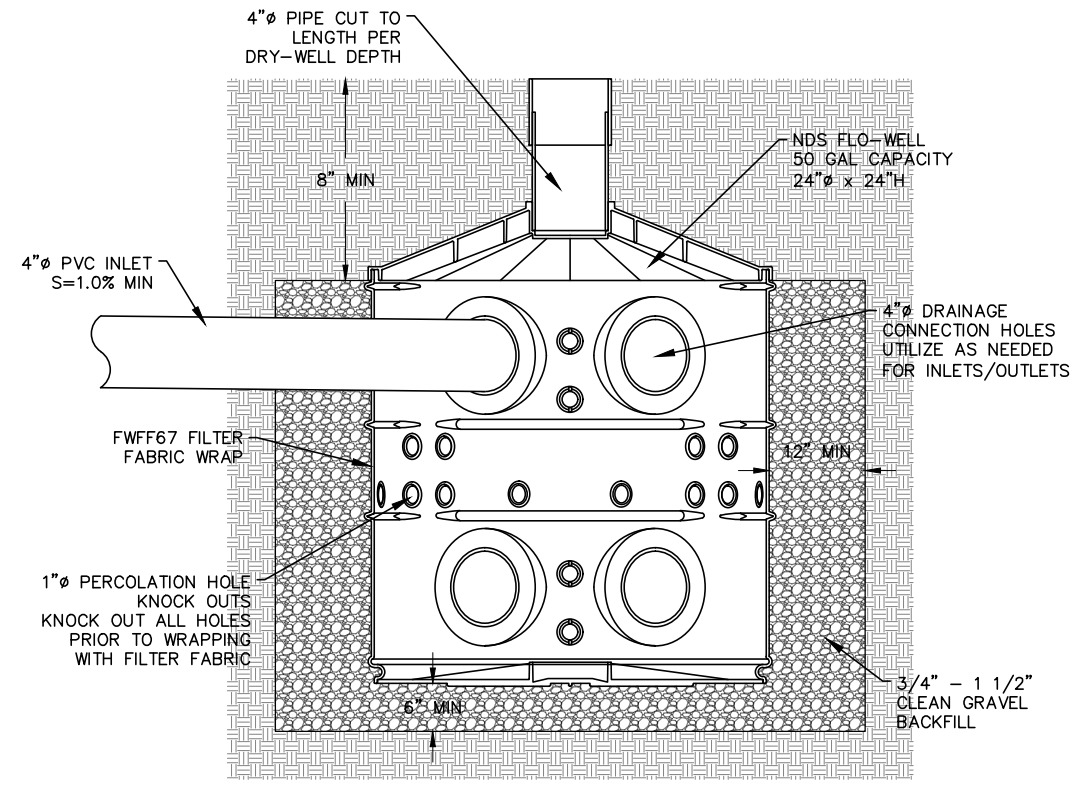
Ordering Code	Item	Approx. Weight	Description
V12BOX	BOX	177	V12 Drain Box (12 x 12") 1/2" Loading, bolt down (interchangeable with Brocks #1212 Box - 12 per pallet)
V12-71W	GRATE	34	Welded steel cross bars, 1/2" loading, galvanized
V12X12	EXTENSION	120	12" Reinforced concrete - 12 per pallet

V12 DRAIN BOX
12" x 12"

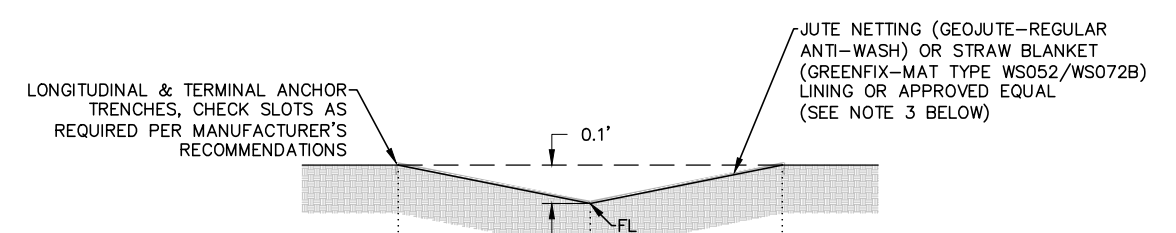
Oldcastle Precast® Enclosure Solutions
WILSON PROMOTIONS/LLP/PHOENIX
Phone: (800) 488-2070 Fax: (800) 488-8804
www.oldcastleprecast.com

Christy

2 CHRISTY V12 CATCH BASIN

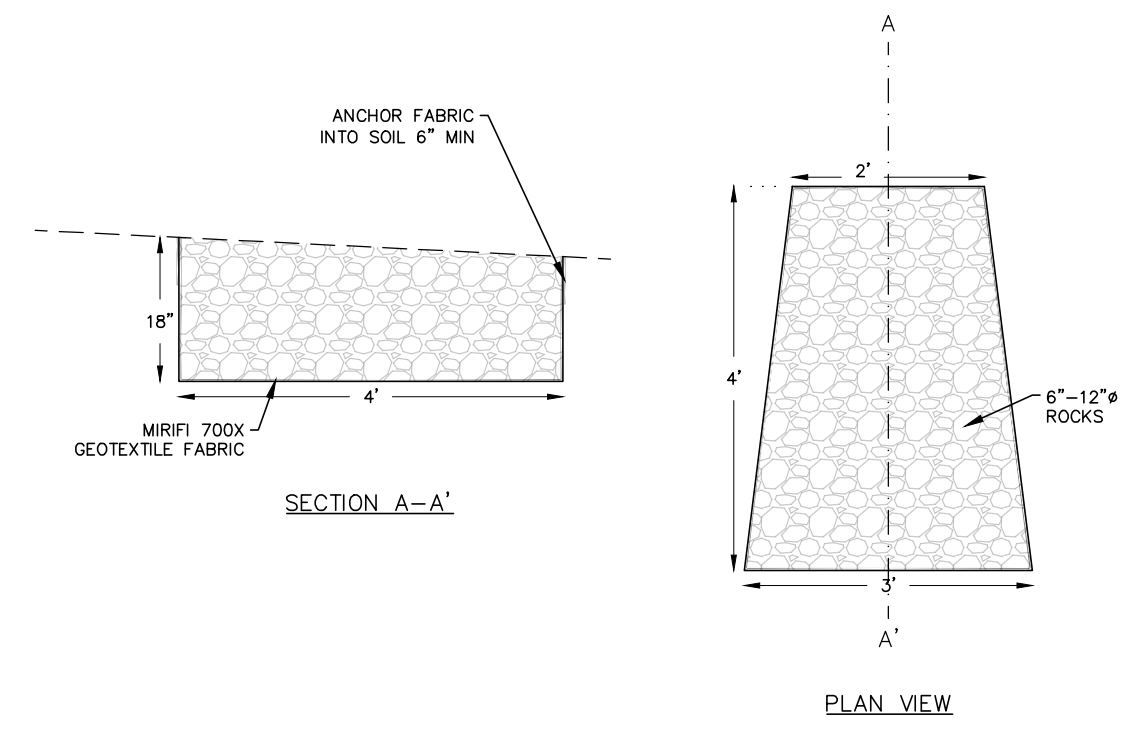


3 DRY WELL SYSTEM



1. LONGITUDINAL SLOPE SHALL NOT BE LESS THAN 1% OR GREATER THAN 20%.
2. THE SWALE SHALL BE REVEGETATED WITH NATIVE GRASSES BY A HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER UNTIL GROWTH IS ESTABLISHED.
3. IF THE SWALE DOES NOT HAVE ADEQUATE GROWTH ESTABLISHED PRIOR TO THE ONSET OF THE WINTER SEASON, OCTOBER 15, IT SHALL BE LINED WITH JUTE NETTING OR STRAW BLANKETS AND PROPERLY SECURED (ANCHORED AND FASTENED) AS OUTLINED PER THE MANUFACTURER'S GUIDELINES AND SPECIFICATIONS IN ORDER TO FUNCTION PROPERLY AND PREVENT ACCELERATED EROSION.
4. IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO REGULARLY MAINTAIN THE SWALE AS NEEDED FROM EXCESSIVE GROWTH AND/OR SILTATION.
5. GRADED SWALE SHALL BE PROOF-ROLLED AND/OR MECHANICALLY COMPACTED TO MINIMUM 85% RELATIVE COMPACTION.

4 EARTH SWALE



5 ENERGY DISSIPATOR

6 NOT USED

7 NOT USED

8 NOT USED

9 NOT USED

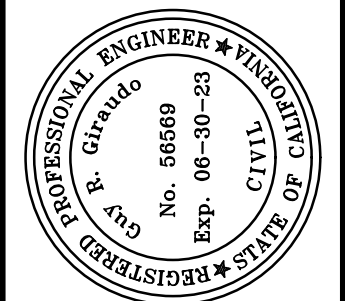
10 NOT USED

11 NOT USED

12 NOT USED

13 NOT USED

14 NOT USED



APPROVED BY:
Guy R. Girardino
GUY R. GIRARDINO

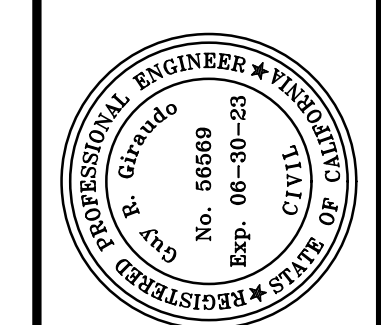


"CONSTRUCTION DETAILS"
GRADING, DRAINAGE, & EROSION CONTROL PLAN
OF
THE RIVERA RESIDENCE
A.P.N.: 008-071-012
PEBBLE BEACH, CALIFORNIA
STEVEN RIVERA

SCALE: AS SHOWN
DATE: JUL 2023
JOB NO. 2651-01

SHEET **C3**
OF 5 SHEETS

No.	DATE	BY	REVISION
07/27/23	JAN	RELEASED TO CLIENT	



APPROVED BY: [Signature] GUY R. GIRARDINO



EROSION & SOURCE CONTROL PLAN THE RIVERA RESIDENCE

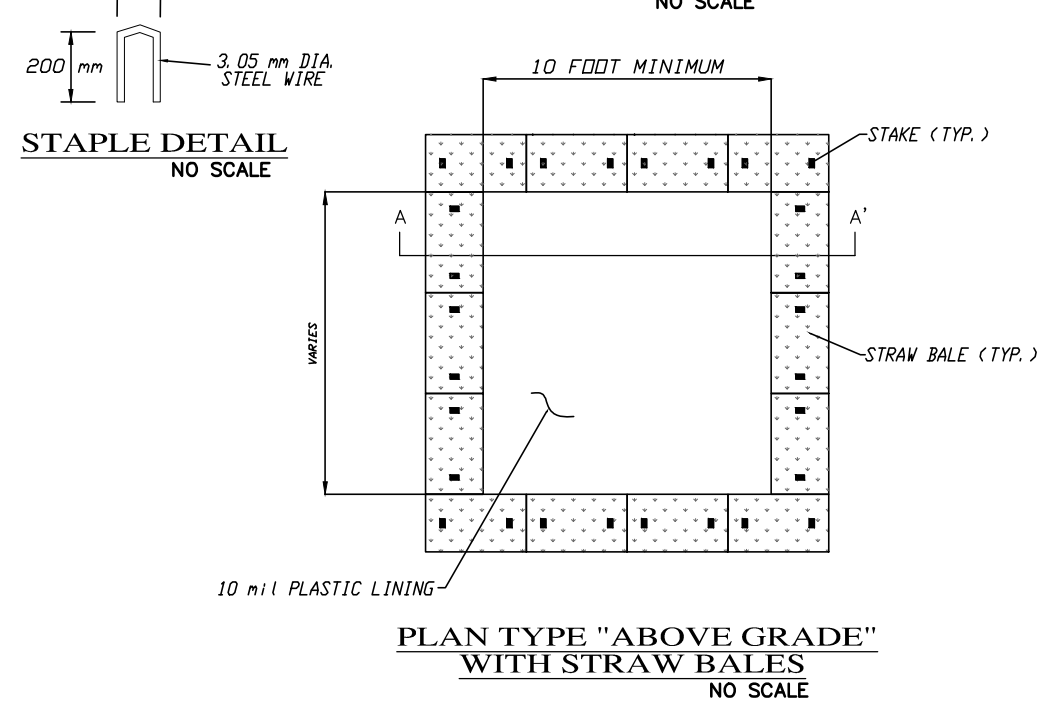
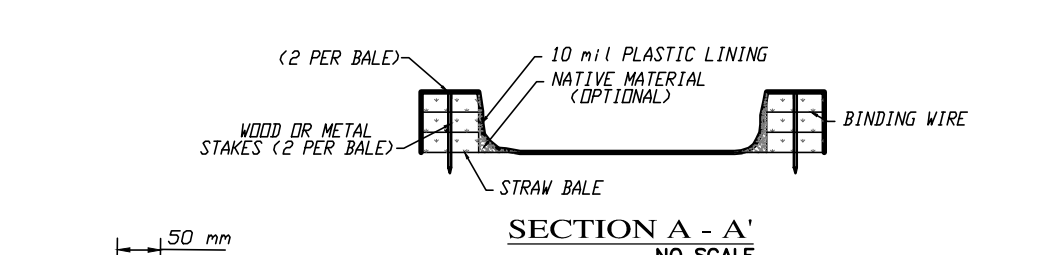
SCALE: AS SHOWN DATE: JUL 2023 JOB NO. 2651-01 SHEET C4 OF 5 SHEETS

EROSION & SEDIMENT CONTROL NOTES:

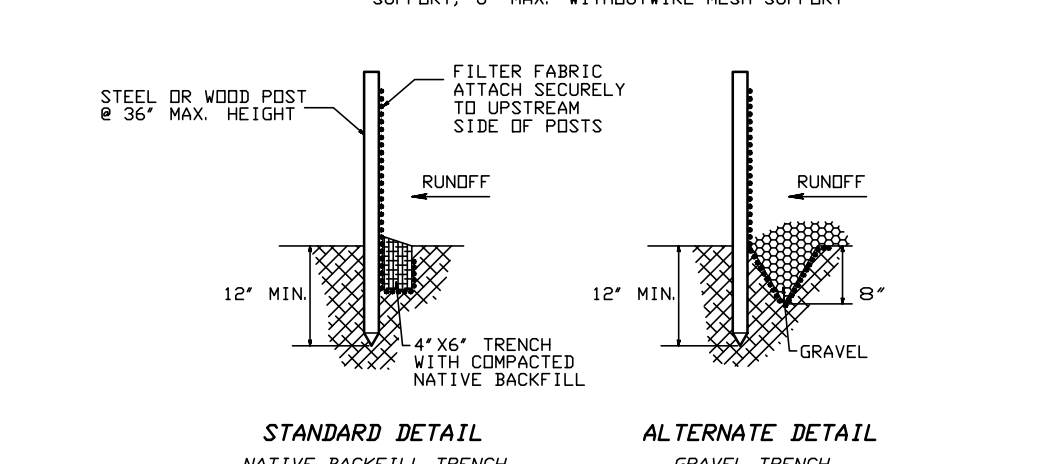
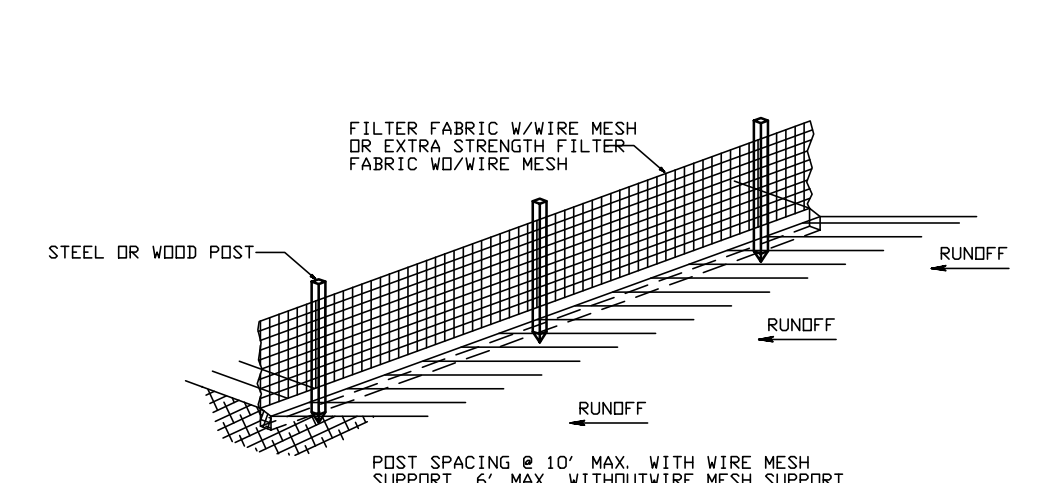
- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE. 2) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED. 3) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. 4) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK. ACCESS ROADS SHALL BE CLEANED DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN EVENT. 5) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES. 6) CONTRACTOR SHALL PROVIDE WATERING FOR DUST CONTROL DURING ALL GROUND DISTURBANCE OPERATIONS. 7) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED. 8) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE. 9) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRA-MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS. 10) SEEDING AREAS SHALL BE RETAINED ON-SITE AND SHALL BE PREVENTED FROM FLOWING INTO THE STORM DRAINAGE SYSTEM. SEDIMENT CATCHMENT BARRIERS SHALL BE INSPECTED BY THE APPLICANT IMMEDIATELY AFTER ANY SIGNIFICANT RAINFALL AND AT LEAST DAILY DURING ANY PERIOD OF PROLONGED RAINFALL. 11) PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS. 12) DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BERMS INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. 13) PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED. 14) THE APPLICANT SHALL SCHEDULE WEEKLY INSPECTIONS WITH RMA-ENVIRONMENTAL SERVICES DURING THE RAINY SEASON, OCTOBER 15th TO APRIL 15th, TO ENSURE CONTAMINANTS ARE NOT DISCHARGED INTO THE AREAS OF SPECIAL BIOLOGICAL SIGNIFICANCE.

BMP LEGEND:

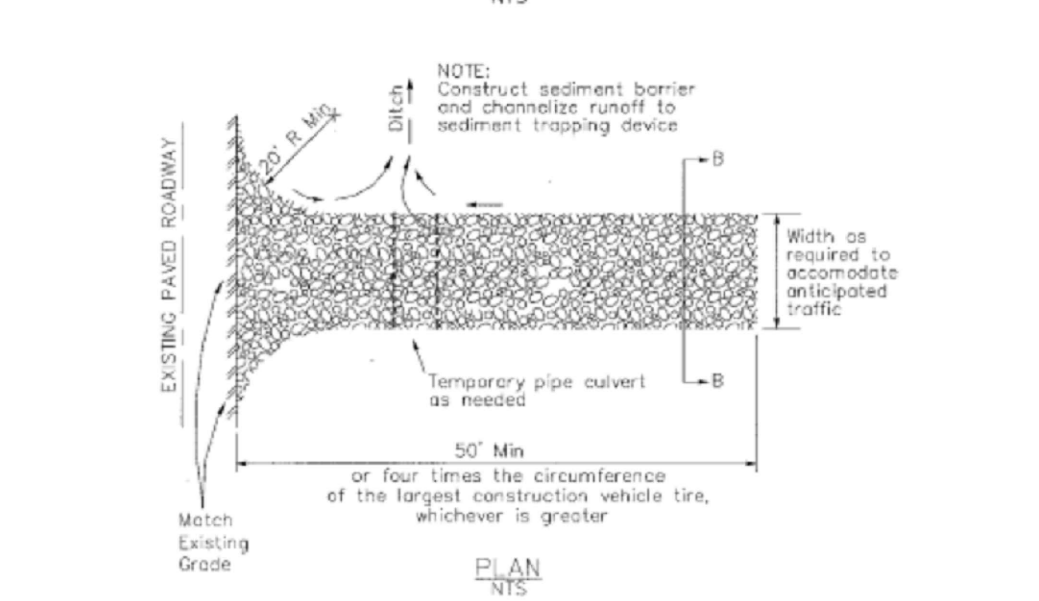
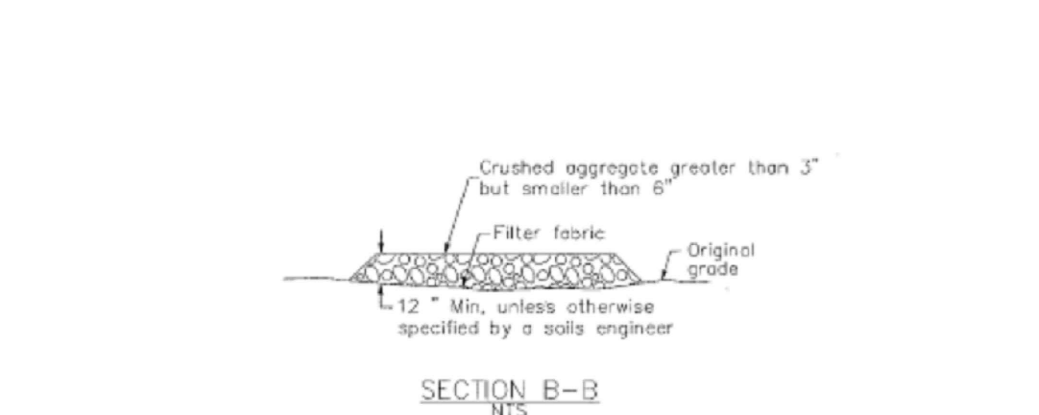
- 1 FR FIBER ROLL: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER), SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY. 2 DI DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY. 3 STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (IF NECESSARY FOR THIS APPLICATION, SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS. 4 STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCES - STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM. 5 CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY. 6 CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLIFIED SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES. 7 TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST. 8 SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEVED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY. 9 GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 0.5" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT. 10 WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ON-SITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS. 11 SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.



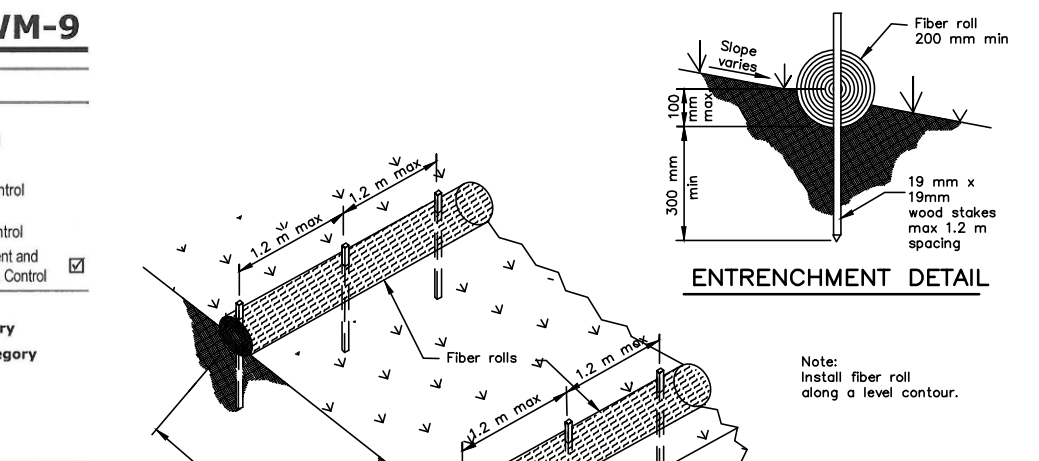
CONCRETE WASHOUT NOT TO SCALE



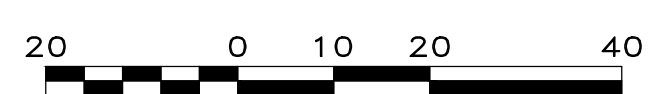
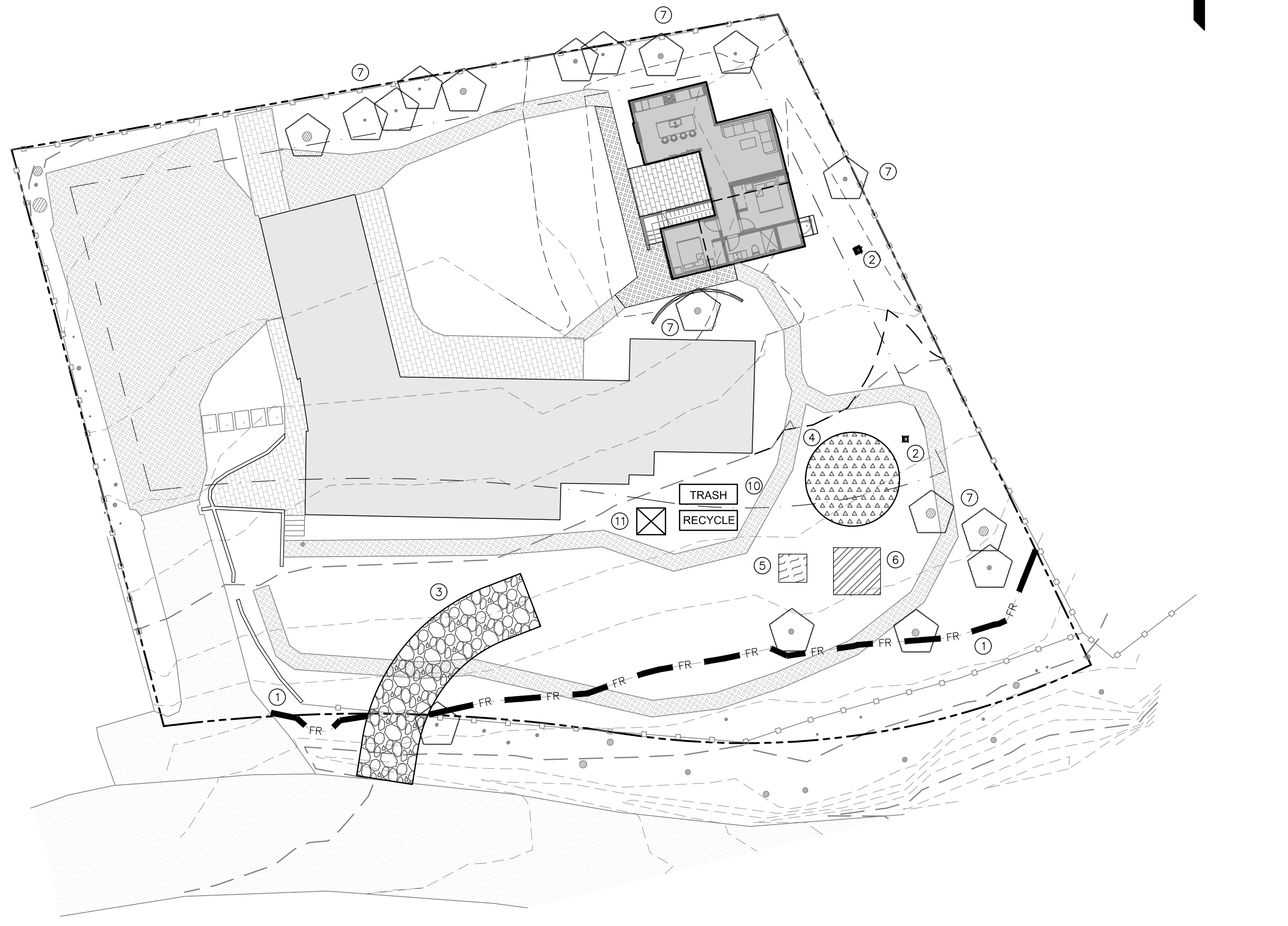
SILT FENCE NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE



FIBER ROLL NOT TO SCALE



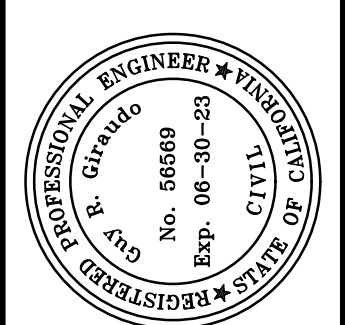
DETAILS NOT TO SCALE

Material Delivery and Storage WM-1. Categories: EC Erosion Control, SE Sediment Control, TC Tracking Control, WE Wind Erosion Control, NS Non-Stormwater Management Control, WM Waste Management and Materials Pollution Control. Legend: Primary Objective, Secondary Objective. Targeted Constituents: Sediment, Nutrients, Trash, Metals, Bacteria, Oil and Grease, Organics. Potential Alternatives: None.

Solid Waste Management WM-5. Categories: EC Erosion Control, SE Sediment Control, TC Tracking Control, WE Wind Erosion Control, NS Non-Stormwater Management Control, WM Waste Management and Materials Pollution Control. Legend: Primary Objective, Secondary Objective. Targeted Constituents: Sediment, Nutrients, Trash, Metals, Bacteria, Oil and Grease, Organics. Potential Alternatives: None.

Hazardous Waste Management WM-6. Categories: EC Erosion Control, SE Sediment Control, TC Tracking Control, WE Wind Erosion Control, NS Non-Stormwater Management Control, WM Waste Management and Materials Pollution Control. Legend: Primary Objective, Secondary Objective. Targeted Constituents: Sediment, Nutrients, Trash, Metals, Bacteria, Oil and Grease, Organics. Potential Alternatives: None.

Sanitary/Septic Waste Management WM-9. Categories: EC Erosion Control, SE Sediment Control, TC Tracking Control, WE Wind Erosion Control, NS Non-Stormwater Management Control, WM Waste Management and Materials Pollution Control. Legend: Primary Objective, Secondary Objective. Targeted Constituents: Sediment, Nutrients, Trash, Metals, Bacteria, Oil and Grease, Organics. Potential Alternatives: None.



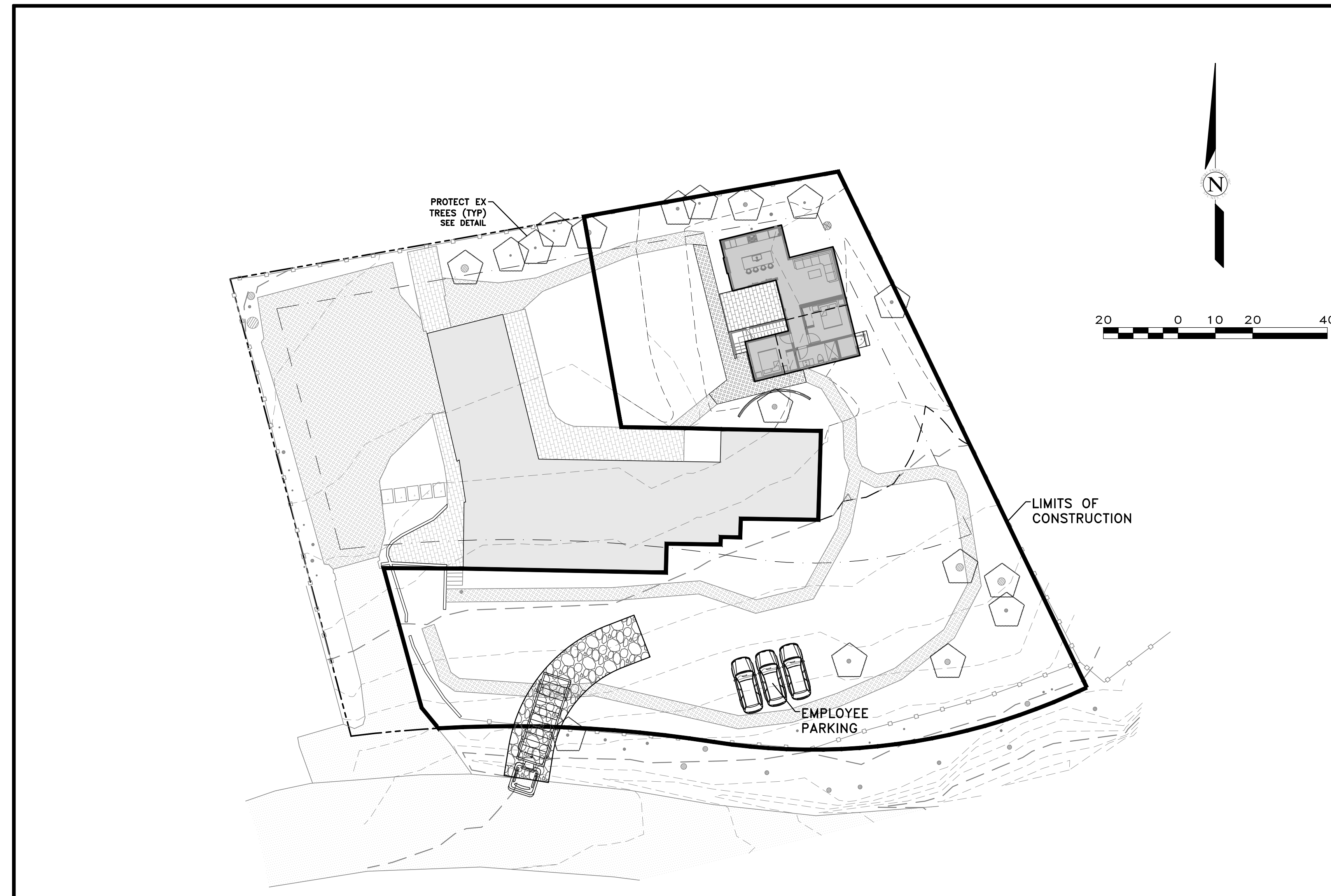
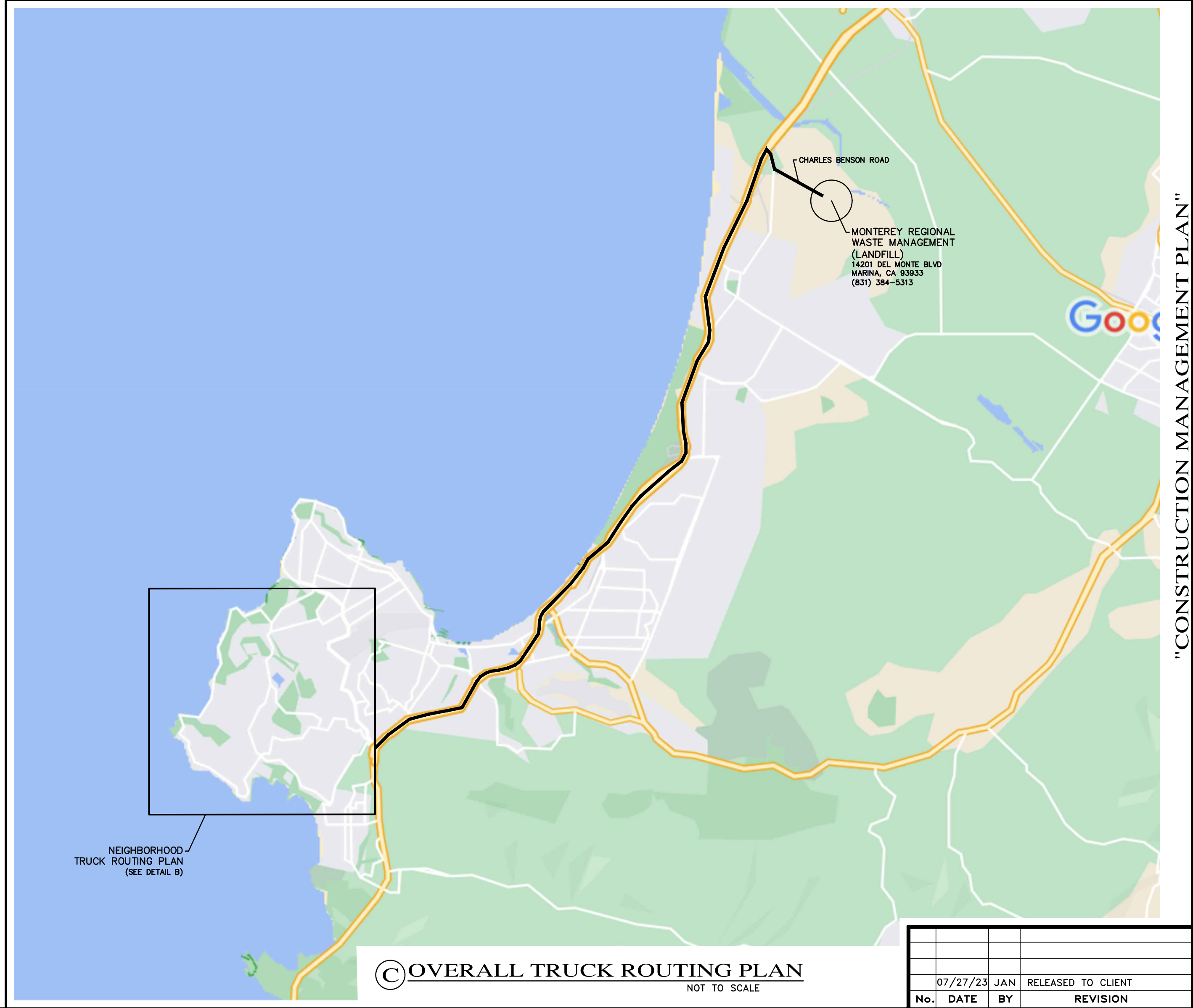
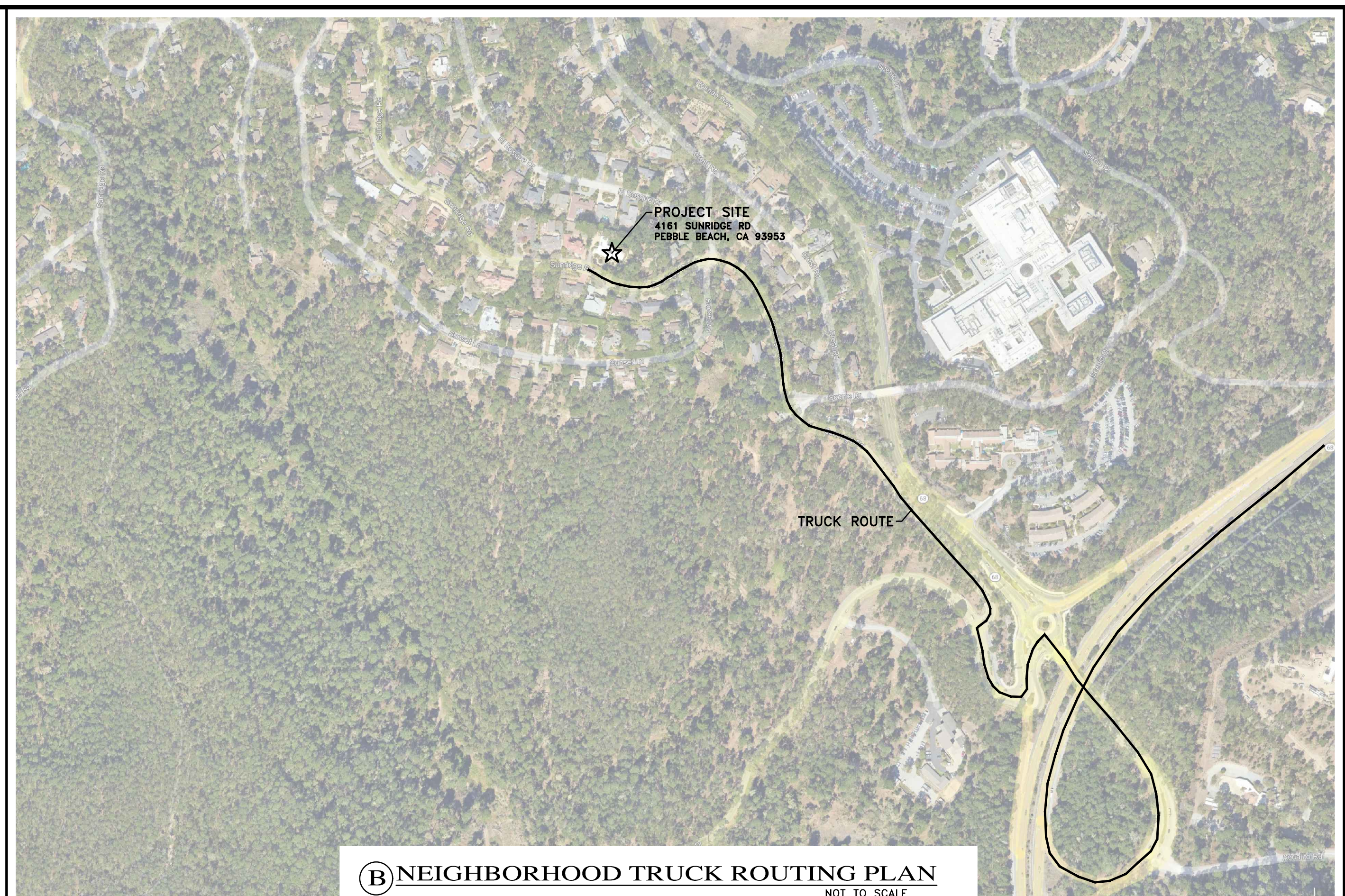
APPROVED BY:

 GUY R. GIRARDO
 CIVIL ENGINEER



"CONSTRUCTION MANAGEMENT PLAN"
 GRADING, DRAINAGE, & EROSION CONTROL PLAN
 OF
 THE RIVERA RESIDENCE
 A.P.N.: 008-071-012
 PEBBLE BEACH, CALIFORNIA
 STEVEN RIVERA

SCALE: AS SHOWN
 DATE: JUL 2023
 JOB NO. 2651-01
 SHEET **C5**
 OF 5 SHEETS



SITE GRADING:
 THE PROPOSED GRADING INCLUDES APPROXIMATELY 75 CY OF CUT & 0 CY OF FILL.

- CONSTRUCTION STAGING:**
- A. MOBILIZE, CLEAR AND GRUB
 - B. SITE GRADING
 - C. UTILITY INSTALLATION
 - D. CONSTRUCT STRUCTURE
 - E. INSTALL PAVERS AND LANDSCAPING
 - F. SITE CLEANING, PUNCH LIST

MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY. SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

HAUL ROUTES:
 HAUL TRUCKS SHALL BACK ONTO THE SITE FROM SUNRIDGE RD USING A TEMPORARY CONSTRUCTION ENTRANCE. HAUL TRUCKS WILL EXIT THE SITE, HEADING SOUTHEAST ON SUNRIDGE RD. THEY WILL THEN FOLLOW THE ROUTE SHOWN IN DETAIL B, FROM SUNRIDGE RD TO 1.7 MILE DR TO CA HWY 68 TO CA HWY 1. FLAGGERS SHALL BE STATIONED ON SUNRIDGE RD AS TRUCKS BACK FROM THE PUBLIC RIGHT-OF-WAY ONTO THE SITE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE EASEMENT/DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

TRUCK STAGING AREA:
 VEHICLES OR TRUCKS SHALL NOT QUEUE ON SUNRIDGE RD. TRUCKS SHALL QUEUE ON SITE.

EMPLOYEE PARKING:
 EMPLOYEES SHALL PARK ON SITE WHENEVER POSSIBLE. EMPLOYEES SHALL CARPOOL WHENEVER POSSIBLE. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL. A TEMPORARY CONSTRUCTION PARKING AREA MAY BE CREATED IN THE FRONT YARD OF THE RESIDENCE PROVIDED THAT THE AREA IS PROPERLY COMPACTED/STABILIZED BEFOREHAND.

LIMITS OF CONSTRUCTION:
 ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

NUMBER OF EMPLOYEES ONSITE PER DAY: APPROXIMATELY 10-20

NUMBER OF TRUCK TRIPS/DAY: 4

AMOUNT OF GRADING/DAY: 80 C.Y.

HOURS OF OPERATION/DAY: 8

DAYS OF OPERATION: MONDAY THROUGH FRIDAY

TIME OF OPERATION: 8:00 AM - 4:30 PM

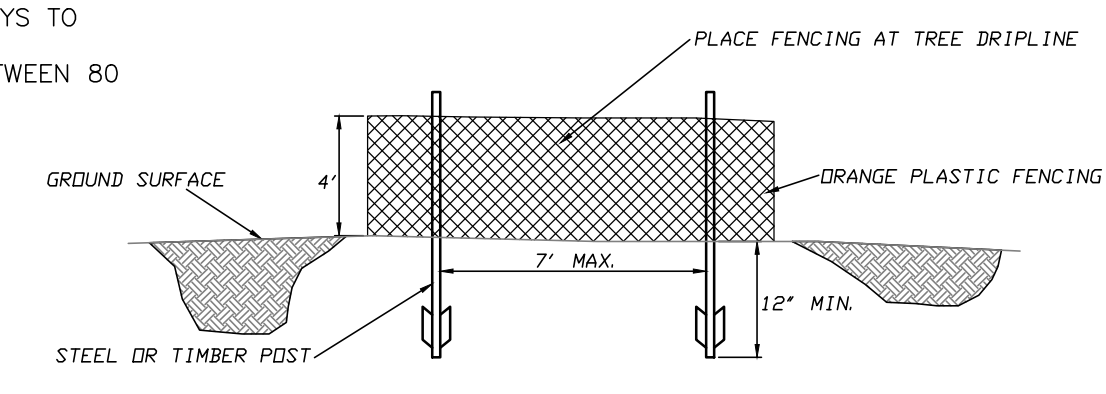
PROJECT SCHEDULING: PROJECTED START DATE IS OCTOBER 1, 2023. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

A PLAN
 SCALE: 1" = 20"

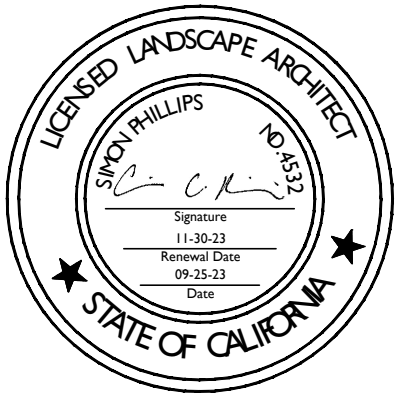
TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	4	5
GRADING & SOIL REMOVAL (EXPORT)	4	1
ENGINEERING MATERIALS (IMPORT)	-	-
TOTALS	8	6

- TRUCK TRIP GENERATION NOTES:**
- TRUCK TRIPS FOR THE GRADING/SOIL IMPORT IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 4 TRUCK LOADS PER DAY.
 - THERE ARE APPROXIMATELY 75 CUBIC YARDS OF SOIL MATERIAL TO BE EXPORTED FROM THE SITE.
 - GRADING OPERATIONS SHALL TAKE APPROXIMATELY 6 WORKING DAYS TO COMPLETE.
 - THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 100 CUBIC YARDS.



ESA FENCING
 NOT TO SCALE



PROJECT NAME:
**4161 SUNRIDGE RD.
RESIDENCE**

PROJECT ADDRESS:
4161 SUNRIDGE RD.
CARMEL, CA 93921
APN: 008-071-012-000

ISSUANCE:
PLANNING SUBMITTAL

PROJECT NO: 2023-18
DATE: 09/29/2023

REVISIONS:
DATE DESCRIPTION

SHEET NAME:
FUEL MANAGEMENT PLAN

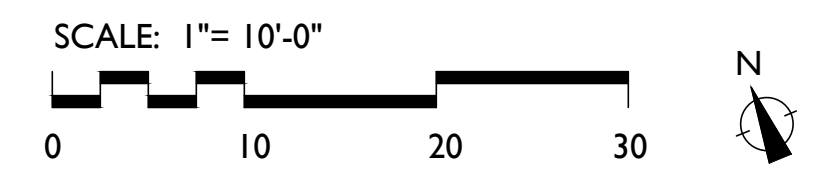
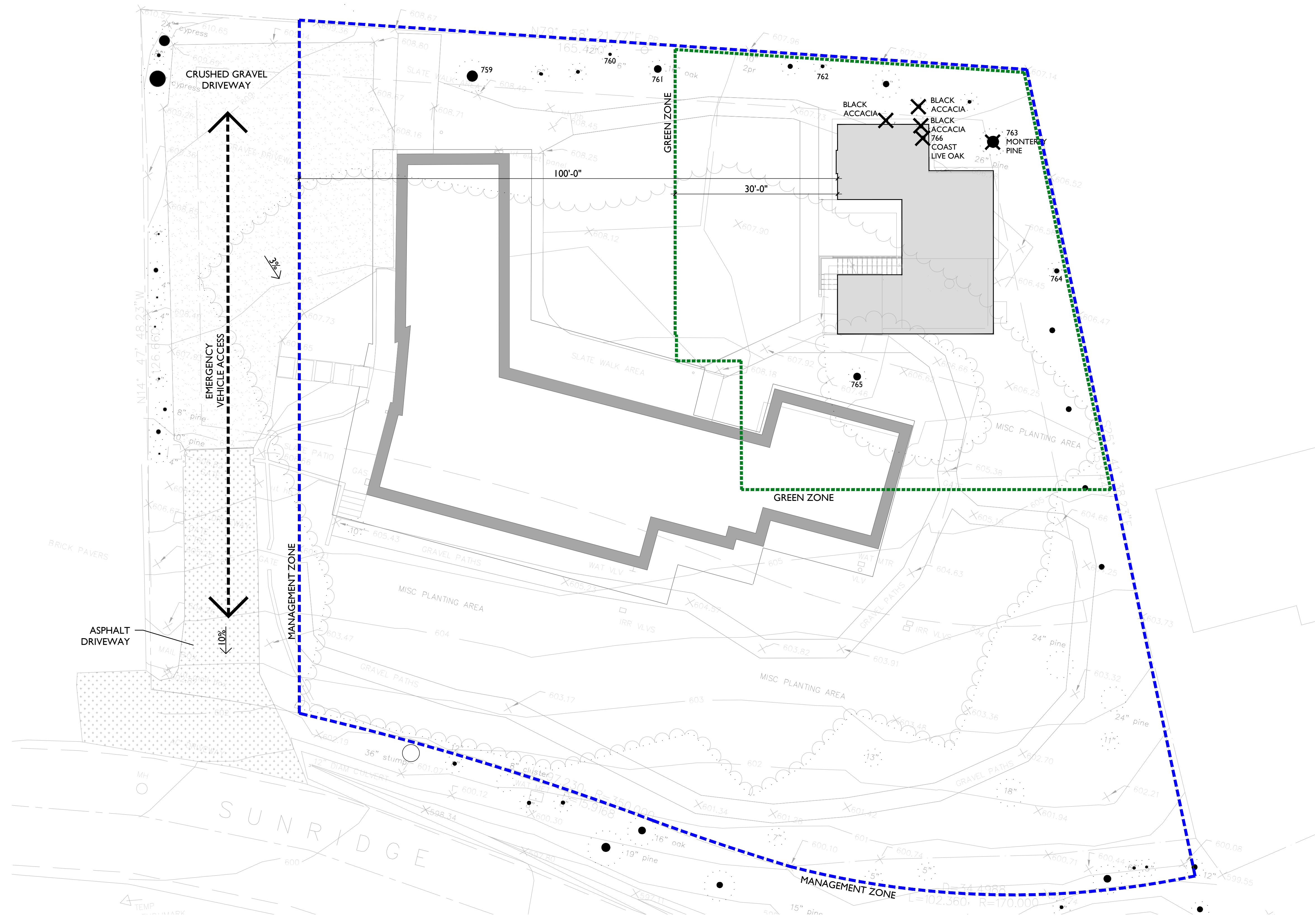
SHEET NO:

SHEET INDEX

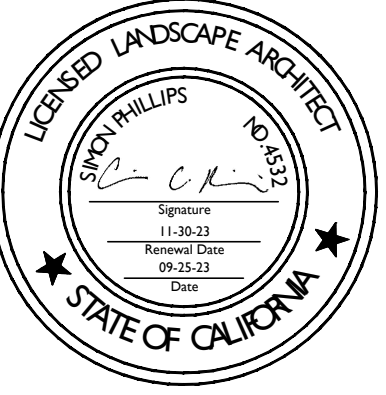
SHEET NO:	CONTENTS:
L-1.0	FUEL MANAGEMENT PLAN
L-2.0	PLANTING PLAN
L-3.0	IRRIGATION PLAN

LEGEND

- - - - GREEN ZONE: ZONE EXTENDS 0 - 30' FROM BUILDINGS, STRUCTURES DECKS, ETC. OR TO THE PROPERTY LINE, WHICHEVER IS GREATER.
 - REMOVE ALL DEAD AND DYING WEEDS, GRASS, PLANT, SHRUBS, TREES, BRANCHES AND VEGETATIVE DEBRIS (LEAVES, NEEDLES, CONES, BARK, ETC.); CHECK YOUR ROOFS, GUTTERS, DECKS, PORCHES, STAIRWAYS, ETC.
 - REMOVE ALL BRANCHES WITHIN 10 FEET OF ANY CHIMNEY OR STOVEPIPE OUTLET.
 - RELOCATE FIREWOOD AND LUMBER TO OUTSIDE THIS ZONE.
 - CONSIDER RELOCATING GARBAGE AND RECYCLING CONTAINERS OUTSIDE THIS ZONE.
 - CONSIDER RELOCATING BOATS, RVs, VEHICLES AND OTHER COMBUSTIBLE ITEMS OUTSIDE THIS ZONE.
 - REGULARLY CLEAN ALL ROOF GUTTERS.
- - - - MANAGEMENT ZONE: ZONE EXTENDS 100' FEET FROM ALL SIDES OF BUILDINGS, STRUCTURES, DECKS, ETC OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. WITHIN THIS ZONE, THE FOLLOWING CONDITIONS SHALL BE MAINTAINED:
 - REMOVE ALL DEAD PLANTS, GRASS, AND WEEDS (VEGETATION)
 - REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES FROM YARD, ROOF, AND RAIN GUTTERS.
 - TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10 FEET FROM OTHER TREES.
 - REMOVE BRANCHES THAT HANG OVER ROOFS AND KEEP DEAD BRANCHES A MINIMUM OF 10 FEET AWAY FROM CHIMNEYS AND STOVEPIPES.
 - REMOVE VEGETATION AND ITEMS THAT COULD CATCH FIRE FROM AROUND AND UNDER DECKS, BALCONIES, AND STAIRS.
 - CREATE A SEPARATION BETWEEN TREES, SHRUBS, AND ITEMS THAT COULD CATCH FIRE, SUCH AS PATIO FURNITURE, WOOD PILES, SWING SETS, ETC.
 - MAINTAIN A TREE, SHRUB OR OTHER PLANT ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.
 - MAINTAIN THE ROOF OF A STRUCTURE FREE OF LEAVES, NEEDLES OR OTHER VEGETATIVE MATERIALS.
 - CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
 - REMOVE ALL DEAD TREES.
 - REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF 3 INCHES.



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PROJECT NAME:

4161 SUNRIDGE RD.
RESIDENCE

PROJECT ADDRESS:

4161 SUNRIDGE RD.
CARMEL, CA 93921

APN: 008-071-012-000

ISSUANCE:

PLANNING SUBMITTAL

PROJECT NO: 2023-18

DATE: 09/29/2023

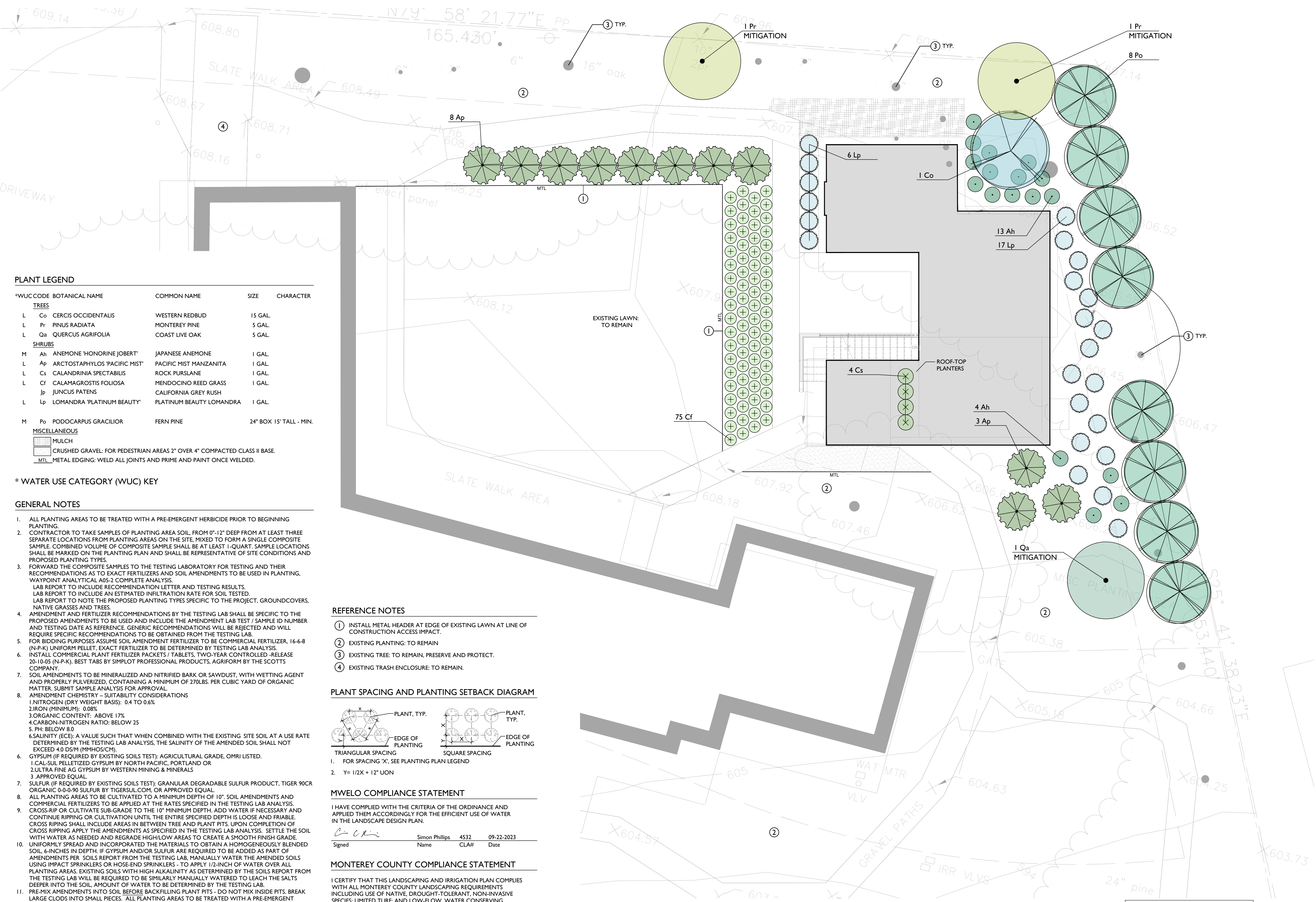
REVISIONS:

DATE	DESCRIPTION

SHEET NAME:

PLANTING PLAN

SHEET NO:



PLANT LEGEND

*WUCODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
TREES				
L Co	CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL	
L Pr	PINUS RADIATA	MONTEREY PINE	5 GAL	
L Qa	QUERCUS AGRIFOLIA	COAST LIVE OAK	5 GAL	
SHRUBS				
M Ah	ANEMONE 'HONORINE JOBERT'	JAPANESE ANEMONE	1 GAL	
L Ap	ARCTOSTAPHYLOS 'PACIFIC MIST'	PACIFIC MIST MANZANITA	1 GAL	
L Cs	CALANDRINIA SPECTABILIS	ROCK PURSLANE	1 GAL	
L Cf	CALAMAGROSTIS FOLIOSA	MENDOCINO REED GRASS	1 GAL	
Jp	JUNCUS PATENS	CALIFORNIA GREY RUSH		
L Lp	LOMANDRA 'PLATINUM BEAUTY'	PLATINUM BEAUTY LOMANDRA	1 GAL	
M Po	PODOCARPUS GRACILIOR	FERN PINE	24" BOX 15' TALL - MIN.	
MISCELLANEOUS				
[Symbol] MULCH				
[Symbol] CRUSHED GRAVEL: FOR PEDESTRIAN AREAS 2" OVER 4" COMPACTED CLASS II BASE.				
[Symbol] MTL METAL EDGING: WELD ALL JOINTS AND PRIME AND PAINT ONCE WELDED.				

* WATER USE CATEGORY (WUC) KEY

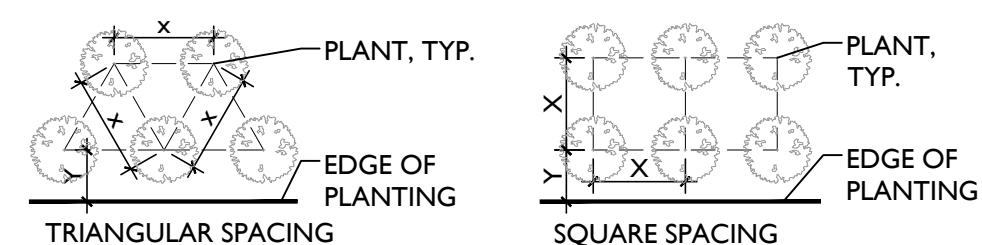
GENERAL NOTES

- ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
- CONTRACTOR TO TAKE SAMPLES OF PLANTING AREA SOIL, FROM 0'-12" DEEP FROM AT LEAST THREE SEPARATE LOCATIONS FROM PLANTING AREAS ON THE SITE, MIXED TO FORM A SINGLE COMPOSITE SAMPLE. COMBINED VOLUME OF COMPOSITE SAMPLE SHALL BE AT LEAST 1-QUART. SAMPLE LOCATIONS SHALL BE MARKED ON THE PLANTING PLAN AND SHALL BE REPRESENTATIVE OF SITE CONDITIONS AND PROPOSED PLANTING TYPES.
- FORWARD THE COMPOSITE SAMPLES TO THE TESTING LABORATORY FOR TESTING AND THEIR RECOMMENDATIONS AS TO EXACT FERTILIZERS AND SOIL AMENDMENTS TO BE USED IN PLANTING. WAYPOINT ANALYTICAL A05-2 COMPLETE ANALYSIS. LAB REPORT TO INCLUDE RECOMMENDATION LETTER AND TESTING RESULTS. LAB REPORT TO INCLUDE AN ESTIMATED INFILTRATION RATE FOR SOIL TESTED. LAB REPORT TO NOTE THE PROPOSED PLANTING TYPES SPECIFIC TO THE PROJECT, GROUNDCOVERS, NATIVE GRASSES AND TREES.
- AMENDMENT AND FERTILIZER RECOMMENDATIONS BY THE TESTING LAB SHALL BE SPECIFIC TO THE PROPOSED AMENDMENTS TO BE USED AND INCLUDE THE AMENDMENT LAB TEST / SAMPLE ID NUMBER AND TESTING DATE AS REFERENCE. GENERIC RECOMMENDATIONS WILL BE REJECTED AND WILL REQUIRE SPECIFIC RECOMMENDATIONS TO BE OBTAINED FROM THE TESTING LAB.
- FOR BIDDING PURPOSES ASSUME SOIL AMENDMENT FERTILIZER TO BE COMMERCIAL FERTILIZER, 16-6-8 (N-P-K) UNIFORM PELLETT. EXACT FERTILIZER TO BE DETERMINED BY TESTING LAB ANALYSIS.
- INSTALL COMMERCIAL PLANT FERTILIZER PACKETS / TABLETS, TWO-YEAR CONTROLLED-RELEASE 20-10-05 (N-P-K). BEST TABS BY SIMPLOT PROFESSIONAL PRODUCTS, AGRIFORM BY THE SCOTT'S COMPANY.
- SOIL AMENDMENTS TO BE MINERALIZED AND NITRIFIED BARK OR SAWDUST, WITH WETTING AGENT AND PROPERLY PULVERIZED, CONTAINING A MINIMUM OF 27LB. PER CUBIC YARD OF ORGANIC MATTER. SUBMIT SAMPLE ANALYSIS FOR APPROVAL.
- AMENDMENT CHEMISTRY - SUITABILITY CONSIDERATIONS
 - NITROGEN (DRY WEIGHT BASIS): 0.4 TO 0.6%
 - IRON (MINIMUM): 0.08%
 - ORGANIC CONTENT: ABOVE 17%
 - CARBON-NITROGEN RATIO: BELOW 25
 - PH: BELOW 8.0
 - SALINITY (ECE): A VALUE SUCH THAT WHEN COMBINED WITH THE EXISTING SITE SOIL AT A USE RATE DETERMINED BY THE TESTING LAB ANALYSIS, THE SALINITY OF THE AMENDED SOIL SHALL NOT EXCEED 4.0 DSM (MPHOS/CM).
- GYPSUM (IF REQUIRED BY EXISTING SOILS TEST): AGRICULTURAL GRADE, OMRI LISTED.
 - CAL-SULFUR FERTILIZED GYPSUM BY NORTH PACIFIC, PORTLAND OR
 - ULTRA FINE AG GYPSUM BY WESTERN MINING & MINERALS
 - APPROVED EQUAL.
- SULFUR (IF REQUIRED BY EXISTING SOILS TEST): GRANULAR DEGRADABLE SULFUR PRODUCT, TIGER 90CR ORGANIC 0-0-0-90 SULFUR BY TIGERSUL.COM, OR APPROVED EQUAL.
- ALL PLANTING AREAS TO BE CULTIVATED TO A MINIMUM DEPTH OF 10". SOIL AMENDMENTS AND COMMERCIAL FERTILIZERS TO BE APPLIED AT THE RATES SPECIFIED IN THE TESTING LAB ANALYSIS.
- CROSS-RIP OR CULTIVATE SUB-GRADE TO THE 10" MINIMUM DEPTH. ADD WATER IF NECESSARY AND CONTINUE RIPPING OR CULTIVATION UNTIL THE ENTIRE SPECIFIED DEPTH IS LOOSE AND FRAGILE. CROSS RIPPING SHALL INCLUDE AREAS IN BETWEEN TREE AND PLANT PITS. UPON COMPLETION OF CROSS RIPPING APPLY THE AMENDMENTS AS SPECIFIED IN THE TESTING LAB ANALYSIS. SETTLE THE SOIL WITH WATER AS NEEDED AND REGRADE HIGH-LOW AREAS TO CREATE A SMOOTH FINISH GRADE. UNIFORMLY SPREAD AND INCORPORATED THE MATERIALS TO OBTAIN A HOMOGENEOUSLY BLENDED SOIL. 6-INCHES IN DEPTH. IF GYPSUM AND/OR SULFUR ARE REQUIRED TO BE ADDED AS PART OF AMENDMENTS PER SOILS REPORT FROM THE TESTING LAB, MANUALLY WATER THE AMENDED SOILS USING IMPACT SPRINKLERS OR HOSE-END SPRINKLERS - TO APPLY 1/2-INCH OF WATER OVER ALL PLANTING AREAS. EXISTING SOILS WITH HIGH ALKALINITY AS DETERMINED BY THE SOILS REPORT FROM THE TESTING LAB WILL BE REQUIRED TO BE SIMILARLY MANUALLY WATERED TO LEACH THE SALTS DEEPER INTO THE SOIL. AMOUNT OF WATER TO BE DETERMINED BY THE TESTING LAB.
- PRE-MIX AMENDMENTS TO SOIL BEFORE BACKFILLING PLANT PITS - DO NOT MIX INSIDE PITS. BREAK LARGE CLODS INTO SMALL PIECES. ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
- INSTALL 3" MULCH TO ALL PLANTING AREAS. MULCH TO BE SHREDDED CEDAR BARK OR SIMILAR. SUBMIT A SAMPLE OF MULCH FOR OWNER & LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION.
- COMPOST: COMPOST MINIMUM OF 4 CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA TILLED TO A DEPTH OF 6".

REFERENCE NOTES

- INSTALL METAL HEADER AT EDGE OF EXISTING LAWN AT LINE OF CONSTRUCTION ACCESS IMPACT.
- EXISTING PLANTING: TO REMAIN
- EXISTING TREE: TO REMAIN, PRESERVE AND PROTECT.
- EXISTING TRASH ENCLOSURE: TO REMAIN.

PLANT SPACING AND PLANTING SETBACK DIAGRAM



MWELO COMPLIANCE STATEMENT

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

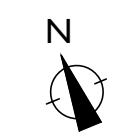
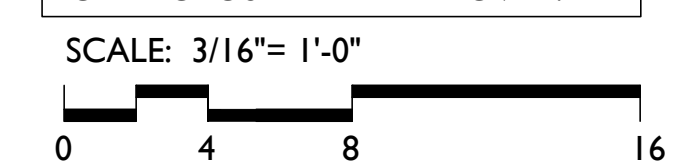
Signed: *Simon Phillips* Name: Simon Phillips 4532 09-22-2023 Date

MONTEREY COUNTY COMPLIANCE STATEMENT

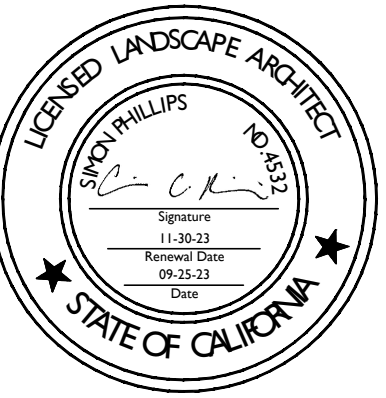
I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES, LIMITED TURF, AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

Signed: *Simon Phillips* Name: Simon Phillips 4532 09-22-2023 Date

SEE ARCHITECTURAL DRAWINGS FOR PROPOSED TREE REMOVAL.



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PROJECT NAME:
4161 SUNRIDGE RD. RESIDENCE

PROJECT ADDRESS:
4161 SUNRIDGE RD.
CARMEL, CA 93921
APN: 008-071-012-000

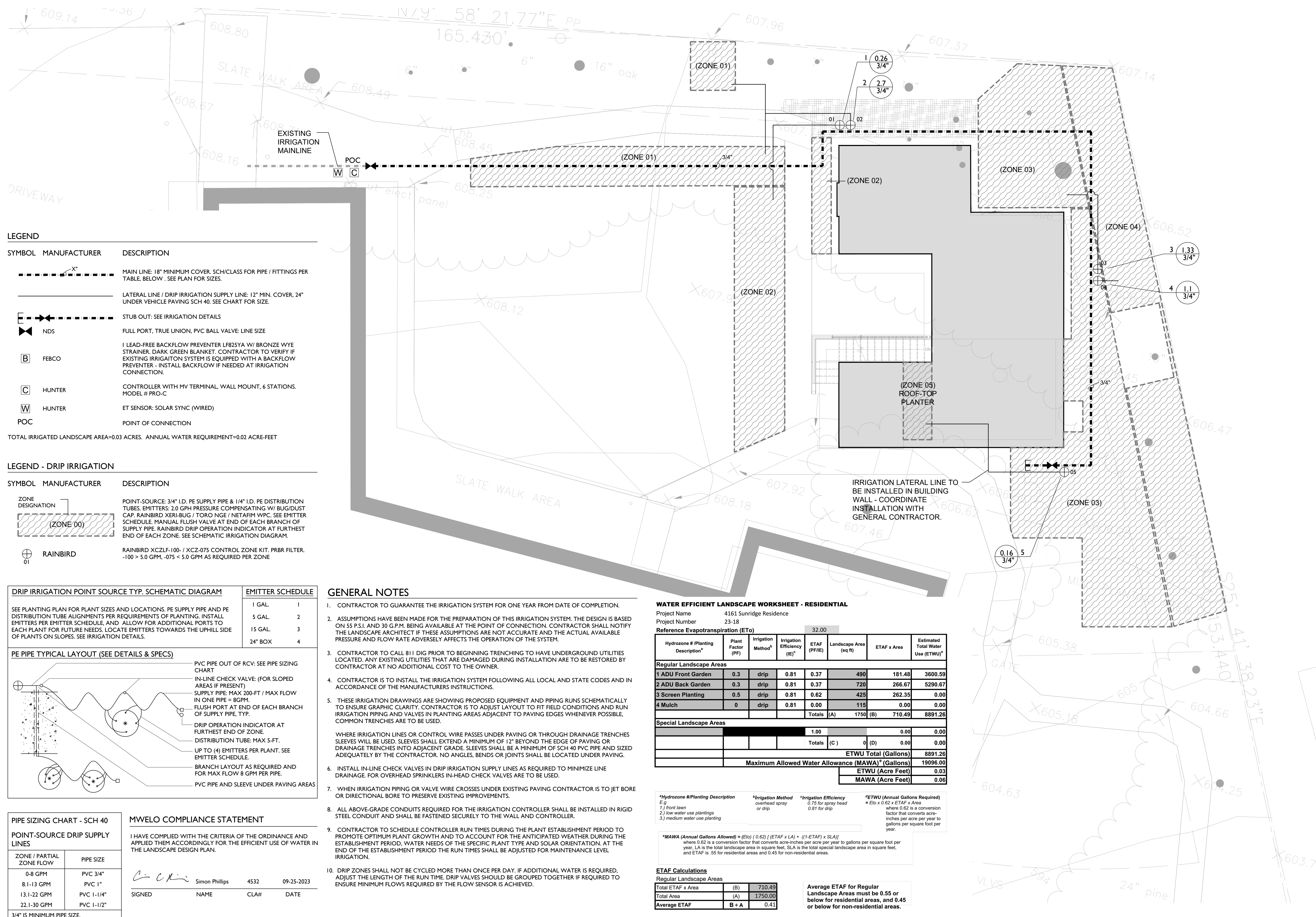
ISSUANCE:
PLANNING SUBMITTAL

PROJECT NO: 2023-18
DATE: 09/29/2023

REVISIONS:
DATE DESCRIPTION

SHEET NAME:
IRRIGATION PLAN

SHEET NO:



LEGEND

SYMBOL	MANUFACTURER	DESCRIPTION
---X---		MAIN LINE: 18" MINIMUM COVER. SCH/CLASS FOR PIPE / FITTINGS PER TABLE, BELOW. SEE PLAN FOR SIZES.
---		LATERAL LINE / DRIP IRRIGATION SUPPLY LINE: 12" MIN. COVER, 24" UNDER VEHICLE PAVING SCH 40. SEE CHART FOR SIZE.
---		STUB OUT: SEE IRRIGATION DETAILS
▲	NDS	FULL PORT, TRUE UNION, PVC BALL VALVE: LINE SIZE
B	FEBCO	1 LEAD-FREE BACKFLOW PREVENTER LF825YA W/ BRONZE WYE STRAINER. DARK GREEN BLANKET. CONTRACTOR TO VERIFY IF EXISTING IRRIGATION SYSTEM IS EQUIPPED WITH A BACKFLOW PREVENTER. INSTALL BACKFLOW IF NEEDED AT IRRIGATION CONNECTION.
C	HUNTER	CONTROLLER WITH MV TERMINAL, WALL MOUNT, 6 STATIONS. MODEL # PRO-C
W	HUNTER	ET SENSOR: SOLAR SYNC (WIRED)
POC		POINT OF CONNECTION

TOTAL IRRIGATED LANDSCAPE AREA=0.03 ACRES. ANNUAL WATER REQUIREMENT=0.02 ACRE-FEET

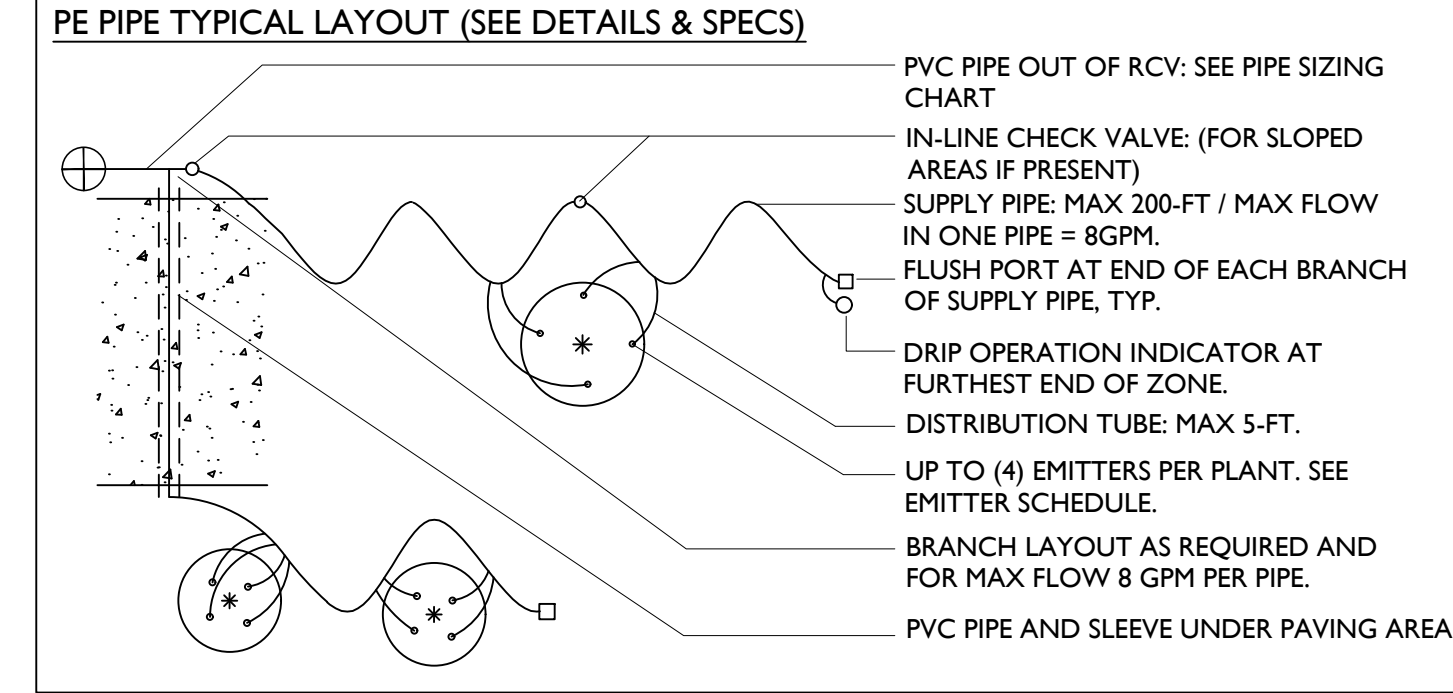
LEGEND - DRIP IRRIGATION

SYMBOL	MANUFACTURER	DESCRIPTION
---X---		POINT-SOURCE: 3/4" I.D. PE SUPPLY PIPE & 1/4" I.D. PE DISTRIBUTION TUBES. EMITTERS: 2.0 GPH PRESSURE COMPENSATING W/ BUG/DUST CAP. RAINBIRD XERI-BUG / TORO NGE / NETAFIM WPC. SEE EMITTER SCHEDULE. MANUAL FLUSH VALVE AT END OF EACH BRANCH OF SUPPLY PIPE. RAINBIRD DRIP OPERATION INDICATOR AT FURTHEST END OF EACH ZONE. SEE SCHEMATIC IRRIGATION DIAGRAM.
⊕	RAINBIRD	RAINBIRD XCZLF-100 / XCZ-075 CONTROL ZONE KIT, PRBR FILTER. -100 > 5.0 GPM, -075 < 5.0 GPM AS REQUIRED PER ZONE

DRIP IRRIGATION POINT SOURCE TYP. SCHEMATIC DIAGRAM

EMITTER SCHEDULE
1 GAL. 1
5 GAL. 2
15 GAL. 3
24" BOX 4

SEE PLANTING PLAN FOR PLANT SIZES AND LOCATIONS. PE SUPPLY PIPE AND PE DISTRIBUTION TUBE ALIGNMENTS PER REQUIREMENTS OF PLANTING. INSTALL EMITTERS PER EMITTER SCHEDULE. ALLOW FOR ADDITIONAL PORTS TO EACH PLANT FOR FUTURE NEEDS. LOCATE EMITTERS TOWARDS THE UPHILL SIDE OF PLANTS ON SLOPES. SEE IRRIGATION DETAILS.



PIPE SIZING CHART - SCH 40

ZONE / PARTIAL ZONE FLOW	PIPE SIZE
0-8 GPM	PVC 3/4"
8.1-13 GPM	PVC 1"
13.1-22 GPM	PVC 1-1/4"
22.1-30 GPM	PVC 1-1/2"

3/4" IS MINIMUM PIPE SIZE.

MWEO COMPLIANCE STATEMENT

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

Simon Phillips 4532 09-25-2023

SIGNED	NAME	CLA#	DATE
[Signature]	Simon Phillips	4532	09-25-2023

- GENERAL NOTES**
- CONTRACTOR TO GUARANTEE THE IRRIGATION SYSTEM FOR ONE YEAR FROM DATE OF COMPLETION.
 - ASSUMPTIONS HAVE BEEN MADE FOR THE PREPARATION OF THIS IRRIGATION SYSTEM. THE DESIGN IS BASED ON 55 P.S.I. AND 30 G.P.M. BEING AVAILABLE AT THE POINT OF CONNECTION. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF THESE ASSUMPTIONS ARE NOT ACCURATE AND THE ACTUAL AVAILABLE PRESSURE AND FLOW RATE ADVERSELY AFFECTS THE OPERATION OF THE SYSTEM.
 - CONTRACTOR TO CALL 811 DIG PRIOR TO BEGINNING TRENCHING TO HAVE UNDERGROUND UTILITIES LOCATED. ANY EXISTING UTILITIES THAT ARE DAMAGED DURING INSTALLATION ARE TO BE RESTORED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR IS TO INSTALL THE IRRIGATION SYSTEM FOLLOWING ALL LOCAL AND STATE CODES AND IN ACCORDANCE OF THE MANUFACTURERS INSTRUCTIONS.
 - THESE IRRIGATION DRAWINGS ARE SHOWING PROPOSED EQUIPMENT AND PIPING RUNS SCHEMATICALLY TO ENSURE GRAPHIC CLARITY. CONTRACTOR IS TO ADJUST LAYOUT TO FIT FIELD CONDITIONS AND RUN IRRIGATION PIPING AND VALVES IN PLANTING AREAS ADJACENT TO PAVING EDGES WHENEVER POSSIBLE. COMMON TRENCHES ARE TO BE USED.
 - WHERE IRRIGATION LINES OR CONTROL WIRE PASSES UNDER PAVING OR THROUGH DRAINAGE TRENCHES SLEEVES WILL BE USED. SLEEVES SHALL EXTEND A MINIMUM OF 12" BEYOND THE EDGE OF PAVING OR DRAINAGE TRENCHES INTO ADJACENT GRADE. SLEEVES SHALL BE A MINIMUM OF SCH 40 PVC PIPE AND SIZE ADEQUATELY BY THE CONTRACTOR. NO ANGLES, BENDS OR JOINTS SHALL BE LOCATED UNDER PAVING.
 - INSTALL IN-LINE CHECK VALVES IN DRIP IRRIGATION SUPPLY LINES AS REQUIRED TO MINIMIZE LINE DRAINAGE. FOR OVERHEAD SPRINKLERS IN-HEAD CHECK VALVES ARE TO BE USED.
 - WHEN IRRIGATION PIPING OR VALVE WIRE CROSSES UNDER EXISTING PAVING CONTRACTOR IS TO JET BORE OR DIRECTIONAL BORE TO PRESERVE EXISTING IMPROVEMENTS.
 - ALL ABOVE-GRADE CONDUITS REQUIRED FOR THE IRRIGATION CONTROLLER SHALL BE INSTALLED IN RIGID STEEL CONDUIT AND SHALL BE FASTENED SECURELY TO THE WALL AND CONTROLLER.
 - CONTRACTOR TO SCHEDULE CONTROLLER RUN TIMES DURING THE PLANT ESTABLISHMENT PERIOD TO PROMOTE OPTIMUM PLANT GROWTH AND TO ACCOUNT FOR THE ANTICIPATED WEATHER DURING THE ESTABLISHMENT PERIOD. WATER NEEDS OF THE SPECIFIC PLANT TYPE AND SOLAR ORIENTATION. AT THE END OF THE ESTABLISHMENT PERIOD THE RUN TIMES SHALL BE ADJUSTED FOR MAINTENANCE LEVEL IRRIGATION.
 - DRIP ZONES SHALL NOT BE CYCLED MORE THAN ONCE PER DAY. IF ADDITIONAL WATER IS REQUIRED, ADJUST THE LENGTH OF THE RUN TIME. DRIP VALVES SHOULD BE GROUPED TOGETHER IF REQUIRED TO ENSURE MINIMUM FLOWS REQUIRED BY THE FLOW SENSOR IS ACHIEVED.

WATER EFFICIENT LANDSCAPE WORKSHEET - RESIDENTIAL

Project Name: 4161 Sunridge Residence
Project Number: 23-18
Reference Evapotranspiration (Eto): 32.00

Hydrozone # / Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PFIE) ^d	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Use (ETWU) ^e	
Regular Landscape Areas								
1 ADU Front Garden	0.3	drip	0.81	0.37	490	181.48	3600.59	
2 ADU Back Garden	0.3	drip	0.81	0.37	720	266.67	5290.67	
3 Screen Planting	0.5	drip	0.81	0.62	425	262.35	0.00	
4 Mulch	0	drip	0.81	0.00	115	0.00	0.00	
					Totals (A)	1750 (B)	710.49	8891.26
Special Landscape Areas								
					1.00	0.00	0.00	
					Totals (C)	0 (D)	0.00	0.00
						ETWU Total (Gallons)	8891.26	
						Maximum Allowed Water Allowance (MAWA)^f (Gallons)	19096.00	
						ETWU (Acre Feet)	0.03	
						MAWA (Acre Feet)	0.06	

^aHydrozone # / Planting Description
E.g.
1) front lawn
2) low water use plantings
3) medium water use planting

^bIrrigation Method
0.75 for spray head
0.81 for drip

^cIrrigation Efficiency (IE)^c

^dETAF (Annual Gallons Required) = Eto x 0.62 x ETAF x Area
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

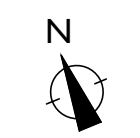
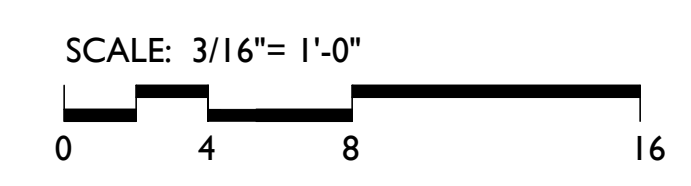
ETAF Calculations

Regular Landscape Areas		
Total ETAF x Area	(B)	710.49
Total Area	(A)	1750.00
Average ETAF	B ÷ A	0.41

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas

Total ETAF x Area	(B+D)	710.49
Total Area	(A+C)	1750.00
Sitewide ETAF	(B+D) ÷ (A+C)	0.41



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