

**Before the Zoning Administrator
in and for the County of Monterey, State of California**

In the matter of the application of:

MOORE (PLN170723)

RESOLUTION NO. 18 - 014

Resolution by the Monterey County Zoning Administrator:

- 1) Finding that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval for a construction of a 3,173 two story single-family dwelling with a 1,890 square foot basement and garage.

1026 Rodeo Road, Greater Monterey Peninsula Area Plan (APN: 007-323-002-000)

**REVISED
April 4, 2018**

(This resolution
supersedes the previous
resolution mailed on
March 30, 2018)

The Moore application (PLN170723) came on for a public hearing before the Monterey County Zoning Administrator on March 29, 2018. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS AND EVIDENCE

1. **FINDING:** **CONSISTENCY / HEALTH AND SAFETY / NO VIOLATIONS / SITE SUITABILITY** - The proposed project and/or use, as conditioned, is consistent with the policies of the Monterey County 2010 General Plan, Greater Monterey Peninsula Area Plan, Monterey County Zoning Ordinance (Title 21), and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the development proposed, and no violations exist on the property.

- EVIDENCE:**
- a) The proposed project involves construction of a 3,173 square foot single-family dwelling with a 1,890 square foot basement and garage.
 - b) The property is located at 1026 Rodeo Road, Pebble Beach (Assessor's Parcel Number 007-323-002-000), Greater Monterey Peninsula Area Plan. The parcel is zoned Medium Density Residential, with a Building Site, Design Control, and Parking & Use of Major Recreational Equipment Storage in Seaward zoning overlays (MDR/B-6-D-RES). Development of single-family dwellings are allowed use pursuant to Monterey County Code Section 21.12.030.A. The Design Control zoning overlay requires the granting of a Design Approval for the proposed development (see Finding No. 2 below).
 - c) The project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Greater Monterey Peninsula; and
 - Monterey County Zoning Ordinance (Title 21)

- d) No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in the applicable documents.
- e) Review of Development Standards. The development standards for the MDR zoning district in the Del Monte Forest are identified in MCC Section 21.12.070. Special required setbacks in the MDR district for main dwelling units are 20 feet (front), 10 feet (rear), and 10 feet (sides). Corresponding maximum structure heights is 27 feet. The proposed heights for the single-family dwelling is 26 feet 5 inches. The allowed site coverage maximum in the LDR district is 35 percent on lots less than 20,000 square feet. The property is 8,000 square feet, which would allow site coverage of approximately 2,800 square feet. The proposed single-family dwelling unit would result in site coverage of approximately 2,352 square feet (building & covered entry) or 29.4 percent. The floor area is 39.6 percent, the standard allowance is 35 percent for MDR district. Although, the project exceeds the allowable coverage, the owner obtained a variance which runs with the land to exceed the floor area to 40 percent (PLN010144). The neighboring properties have been developed at floor area ratios ranging from 47 to 54 percent. Furthermore, the existing residence is located on a 8,000 square foot parcel; other parcels in the Country Club have an average size of 9,200 square feet. Therefore, as proposed, the project meets all required development standards.
- f) The project has been reviewed for site suitability by RMA-Planning. The project planner reviewed the application materials and plans, as well as the County's GIS database, to verify that the proposed project on the subject site conforms to the applicable plans, and that the site is suitable for the proposed development. The project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- g) The following technical report has been prepared:
 - *Soil Engineering Investigation (LIB180019) prepared by Landset Engineers, Inc., Salinas, California, October 2017.*
 - *Archaeological Consulting (LIB180040) prepared by Gary Breschini, Salinas, California, June 15, 2017.*
 County staff has independently reviewed this report and concurs with its conclusions.
- h) Necessary public facilities are available. The sewer for the site will be served by Pebble Beach Community Services District and water will be served by Cal-Am.
- i) Design. See Finding No. 2.
- j) Monterey County RMA-Planning and RMA-Building Services records were reviewed, and the County is not aware of any violations existing on subject property.
- k) The project planner conducted a site inspection on February 6, 2018 to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC.
- l) The project was referred to the Del Monte Forest Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure

guidelines adopted by the Monterey County Board of Supervisors, this application warranted referral to the LUAC because the project is a Design Approval subject to review by the Zoning Administrator. The LUAC, at a duly-noticed public meeting on January 9, 2018 voted 5 – 0 to support the project as proposed with 2 absent.

- m) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN170723.

2. **FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

- EVIDENCE:**
- a) The Applicant proposes a single-family dwelling and an attached garage on an existing residential lot.
 - b) Pursuant to Chapter 21.44, Title 21 (Zoning Ordinance) of the Monterey County Code (MCC), the proposed project site and surrounding area are designated as a Design Control Combining District (D District), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
 - c) Material and Color Finishes. The Applicant proposes exterior colors and materials that are consistent with the residential setting. The primary colors and materials include dark brown non-reflective metal roofing, oyster color cement plaster, limestone and wood exterior accents, and white vinyl windows and doors. The proposed exterior finishes would blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and are consistent with other dwellings in the neighborhood.
 - e) The project planner conducted a site inspection on February 6, 2018, to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC, and will not adversely impact the neighborhood character.
 - f) Based on the evidence described above, the proposed structures and uses are consistent with the surrounding residential neighborhood character (i.e., structural design features, colors, and material finishes). As proposed, the project is consistent with neighborhood character, and assures visual integrity.
 - g) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN170723

3. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a) categorically exempts the construction of new, small facilities or structures, including habitable and non-habitable structures accessory to a single-family dwelling or residential use.
 - b) The subject project consists of the construction of a single-family dwellings with an attached garage. Therefore, the proposed

development is consistent with the exemption parameters of CEQA Guidelines Section 15303(a).

- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because there is no feature or condition of the project that distinguishes the project from the exempt class. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway. There is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.
- d) No adverse environmental effects were identified during staff review of the development application.

4. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Monterey County Planning Commission.
- EVIDENCE:** Pursuant to Section 21.80.040.B of the Monterey County Zoning Ordinance (Title 21), the Planning Commission shall consider appeals from the discretionary decisions of the Zoning Administrator. The decision of the Planning Commission would be final and may not be appealed.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- B. Approving a Design Approval to allow construction of a 3,173 two story single-family dwelling with a 1,890 square foot basement and garage. In general conformance with the attached plans, which are incorporated herein by reference.

PASSED AND ADOPTED this 29th day of March, 2018.



Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON MAR 30 2018.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE APR 09 2018.

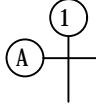
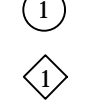
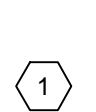

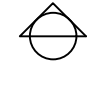
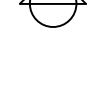
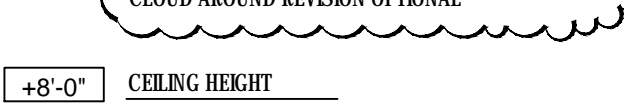
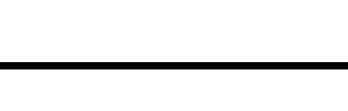
This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

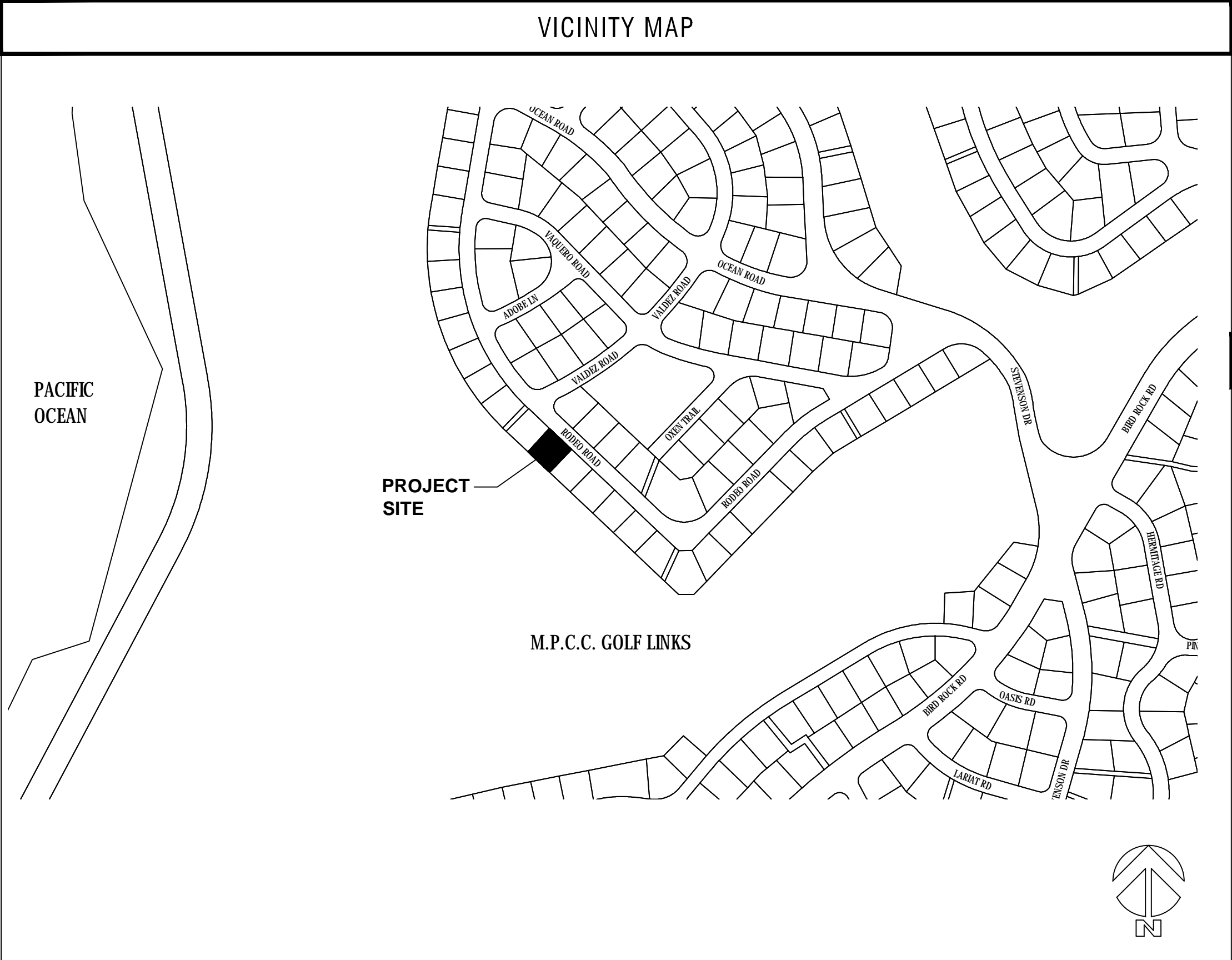
NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

GENERAL CONDITIONS	
1.	Examination of the site and portions thereof which will affect this work shall be made immediately by the contractor, who shall compare it with the drawings and satisfy himself to conditions under which work is to be performed. He shall at such time ascertain and check locations of the existing structures and equipment which may affect his work.
2.	Contractor shall provide a complete cost breakdown and schedule of construction for this project for owner approval prior to commencement of work.
3.	Contractor shall be responsible to obtain and all necessary permits inspections, certificates, lien releases, final inspections, etc. Contractor to coordinate payment of permits with owner.
4.	Contractor shall protect owner's area, new and/or existing materials and finishes from damage which may occur from construction, demolition, dust, water, etc., and shall provide and maintain temporary barricades, closure walls, etc., as required to protect the public and owner during the period of construction. Damage to new and existing materials, finishes, structures, and equipment shall be repaired or replaced. Contractor shall coordinate temporary barricades with owner prior to commencement of work as necessary.
5.	Materials that are specified by their brand names establish standards of quality and performance. any request for substitution shall be submitted to Moore Design llc and owner for review for equal quality and performance and shall not be purchased or installed without their written approval. All non-specified products shall conform to requirements set forth by code compliance or industry standards and contractor shall submit a list of products and manufacturers being used for review by the designer prior to purchase or installation.
6.	All construction work, architectural, mechanical, plumbing, electrical, etc., as may be required, shall conform to the latest edition of the California Building Code/ California Residential Code and the latest edition of all governing codes and regulations as adopted by the governing jurisdiction. All work shall be done in a thorough, workmanlike manner and equal to the best standards of the practice.
7.	All dimensions on constructions drawings are face of stud (f.o.s.), face of cmu, unless otherwise noted to be the center line of mullion, partition, or column, etc.
8.	All dimensions take precedence over scale. Any discrepancies shall be brought immediately to the attention of Moore Design. Contractors shall not scale drawings. Questions regarding dimensions shall be brought to the designer or owner prior to any start of work.
9.	All construction documents are complementary, and what is called for by any will be binding as if called for by all. Any work shown or referred to on any construction documents shall be provided as though on all related documents. Discrepancies shall be brought immediately to the attention of the designer for clarification.
10.	All work listed, shown or implied on any construction document shall be supplied and installed by the contractor except where noted. The contractor shall closely coordinate his work with that of other contractors or vendors to assure that all schedules are met and that all work is done in conformance with manufacturer's requirements. Work required under this contract shall include all labor, materials, equipment, etc. necessary to complete this project. All materials shall be new and unused, unless specifically noted and be a quality acceptable by industry standards.
11.	The use of the word 'provide' in connection with any item specified is intended to mean that such shall be furnished, installed, and connected where so required, except as noted.
12.	The contractor shall submit shop drawings for fabricated items, cut sheets of all fixtures and equipment, and samples of all finishes called for by the designer and owner for approval prior to construction and/or installation.
13.	The contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use of all trades and shall provide all subcontractors with current construction documents as required. The contractor, in assuming responsibility for the work indicated, shall comply with the spirit as well as with the letter in which they were drawn.
14.	The contractor shall remove all rubbish and waste materials of all subcontractors and trades on a regular basis, and shall exercise strict control over job cleaning to prevent any dirt, debris or dust from affecting, in any way, finished areas in or outside the job site.
15.	The construction documents are provided to illustrate the design and general type of construction desired and imply the finest quality of construction, material and workmanship throughout.
16.	All electrical, mechanical, and plumbing work and materials shall be in full accordance with the latest rules and regulations of the national board of fire underwriters, the state fire marshal, the safety orders of the division of industrial safety, and any applicable state or local laws and ordinances. Nothing on these drawings is to be construed to permit work not conforming to these codes.
17.	Work which is obviously required to be performed in order to provide a completely operable installation within the limits and scope of work, but which may not be specifically included in the plans, shall be performed by contractor and included in his bid.
18.	All work shall be guaranteed against defects in design, installation and material for a minimum period of one year from date of completion.
19.	Contractor shall personally supervise and direct the work or shall keep a competent employee, authorized to receive instructions and act on the contractor's behalf, continuously on site during working hours.
20.	Trees adjacent to structures and over driveways shall be trimmed to clear structures and provide 15' clearance over drives. Protect other trees during construction (see forest mgmt. plan). No tree shall be removed unless called for in the plans and a permit is first issued by the local jurisdiction.
ABBREVIATIONS AND SYMBOLS	
APPROX. BLK CLO. CONC. CONT. DS DW (D) F.O.C. F.O.S. GALV. GYP. G.W.B. FLR HWDW N.I.C. N.T.S.	APPROXIMATE BLOCK CLOSET CONCRETE CONTINUOUS DOWNSPOUT DISHWASHER EXISTING FACE OF CONCRETE FACE OF STUD GALVANIZED GYPSUM GYPSUM WALLBOARD FLOOR HARDWOOD NOT IN CONTRACT NOT TO SCALE
O.C. O.D. PLYWD REF R.O. SHWR SM SL T&G T.O.P. TYP. U.O.N. NOTED WP W/ W/O W.I.C.	ON CENTER OUTSIDE DIAMETER PLYWOOD REFRIGERATOR ROUGH OPENING SHOWER SIMILAR SKYLIGHT TONGUE AND GROOVE TOP OF PLATE TYPICAL UNLESS OTHERWISE WATERPROOF WITH WITHOUT WALK IN CLOSET
   	WALL LINE NUMBERS VERTICAL LETTERS HORIZONTAL DOORS SYMBOL NUMBERS WINDOW TYPE-NUMBERS DETAIL NUMBER SHEET WHERE DETAIL IS LOCATED SHEET NOTE
   	SECTION SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN ELEVATION ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN REVISIONS-NUMBERS CLOUD AROUND REVISION OPTIONAL CEILING HEIGHT




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CONTACT: BRIAN PAPURELLO 520 CRAZY HORSE RD. SALINAS, CA 93907 TEL (831) 443-6970 FAX (831) 443-3801 EMAIL: bpapurello@landseteng.com</td></tr><tr><td>■ STRUCTURAL ENGINEER:</td><td>T.B.D.</td></tr><tr><td>■ CIVIL ENGINEER / SURVEYOR:</td><td>LANDSET ENGINEERS, INC. CONTACT: GUY GRILAUDO 520 CRAZY HORSE RD. SALINAS, CA 93907 TEL (831) 443-6970 FAX (831) 443-3801 EMAIL: ggrilaud@landseteng.com</td></tr><tr><td>■ TITLE 24 CONSULTANT:</td><td>MONTEREY ENERGY GROUP CONTACT: DAVID KNIGHT 227 FOREST AVE., SUITE 5 PACIFIC GROVE, CA. 93950 TEL (831) 372-8328 FAX (831) 372-4613 EMAIL: cad@meg4.com</td></tr></table>		■ OWNER:	STEVE & CRISTINA MOORE 1026 RODEO ROAD PEBBLE BEACH, CA 93953 831-333-9000	■ DESIGNER:	MOORE DESIGN, LLC CONTACT: JOHN MOORE 225 CANNERY ROW, SUITE 1 MONTEREY, CA. 93940 OFFICE (831) 642-9732 CELL (831) 239-6868 EMAIL: john@mooredesign.org	■ GENERAL CONTRACTOR:	RENARD CONSTRUCTION CONTACT: RICK RENARD 22082 TORO VIEWS SALINAS, CA 93908 TEL (831) 809-7080 LC: # 437693	■ INTERIOR DESIGNER:	CHRIS REED INTERIOR DESIGN CONTACT: CHRIS REED 726 10TH STREET MODESTO, CA 95354 TEL (209) 526-5835 EMAIL: reeddesign@aol.com	■ GEOTECHNICAL ENGINEER:	LANDSET ENGINEERS, INC. CONTACT: BRIAN PAPURELLO 520 CRAZY HORSE RD. SALINAS, CA 93907 TEL (831) 443-6970 FAX (831) 443-3801 EMAIL: bpapurello@landseteng.com	■ STRUCTURAL ENGINEER:	T.B.D.	■ CIVIL ENGINEER / SURVEYOR:	LANDSET ENGINEERS, INC. CONTACT: GUY GRILAUDO 520 CRAZY HORSE RD. SALINAS, CA 93907 TEL (831) 443-6970 FAX (831) 443-3801 EMAIL: ggrilaud@landseteng.com	■ TITLE 24 CONSULTANT:	MONTEREY ENERGY GROUP CONTACT: DAVID KNIGHT 227 FOREST AVE., SUITE 5 PACIFIC GROVE, CA. 93950 TEL (831) 372-8328 FAX (831) 372-4613 EMAIL: cad@meg4.com	<table><tr><td>■ PROJECT ADDRESS:</td><td>1026 RODEO ROAD PEBBLE BEACH, CA 93953</td></tr><tr><td>■ A.P.N.</td><td>007-323-002</td></tr><tr><td>■ PROJECT SCOPE:</td><td>DEMOLISH EXISTING 2-STORY RESIDENCE. NEW 2-STORY SINGLE FAMILY DWELLING WITH BASEMENT. BACK-UP GENERATOR AND PHOTOVOLTAIC SYSTEM ON UPPER FLOOR ROOF.</td></tr><tr><td>■ PROJECT VALUATION:</td><td>\$925,000</td></tr><tr><td>■ RELATED PERMIT</td><td>PREVIOUS VARIANCE FOR SUB-STANDARD LOT (PLN010144)</td></tr><tr><td>■ PROJECT CODE COMPLIANCE:</td><td>2016 - Title 24, California Residential Code (CRC), California Building Code (CBC), California Mechanical Code (CMC), California Plumbing Code (CPC), California Electrical Code (CEC), California Energy Code (CEC), California Green Building Standards Code (CALGREEN), California Fire Code (CFC), Monterey Co. Code Local Amendments</td></tr><tr><td>■ ZONE:</td><td>MDR/B-6-D-RES</td></tr><tr><td>■ YEAR CONSTRUCTED:</td><td>1955</td></tr><tr><td>■ MAX BLDG. HT:</td><td>26'-5" (27' ALLOWED)</td></tr><tr><td>■ CONSTR. 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■ DESIGNER:	MOORE DESIGN, LLC CONTACT: JOHN MOORE 225 CANNERY ROW, SUITE 1 MONTEREY, CA. 93940 OFFICE (831) 642-9732 CELL (831) 239-6868 EMAIL: john@mooredesign.org																																																																																																																																																																																		
■ GENERAL CONTRACTOR:	RENARD CONSTRUCTION CONTACT: RICK RENARD 22082 TORO VIEWS SALINAS, CA 93908 TEL (831) 809-7080 LC: # 437693																																																																																																																																																																																		
■ INTERIOR DESIGNER:	CHRIS REED INTERIOR DESIGN CONTACT: CHRIS REED 726 10TH STREET MODESTO, CA 95354 TEL (209) 526-5835 EMAIL: reeddesign@aol.com																																																																																																																																																																																		
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PROJECT NAME:

MOORE RESIDENCE

1026 RODEO ROAD
PEBBLE BEACH, CA
93953

APN: 007-323-002



MOORE DESIGN
RESIDENTIAL PLANNING &
CONSTRUCTION ADMINISTRATION

225 CANNERY ROW, SUITE 1
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PB SUBMITTAL	11-28-17
COUNTY PLN SUBMIT	12/12/2017
PLANNING REVISION	3/19/2018

PRINT DATE: 3/19/2018

MEMBER

A I B D[®]

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BUILDING DESIGN

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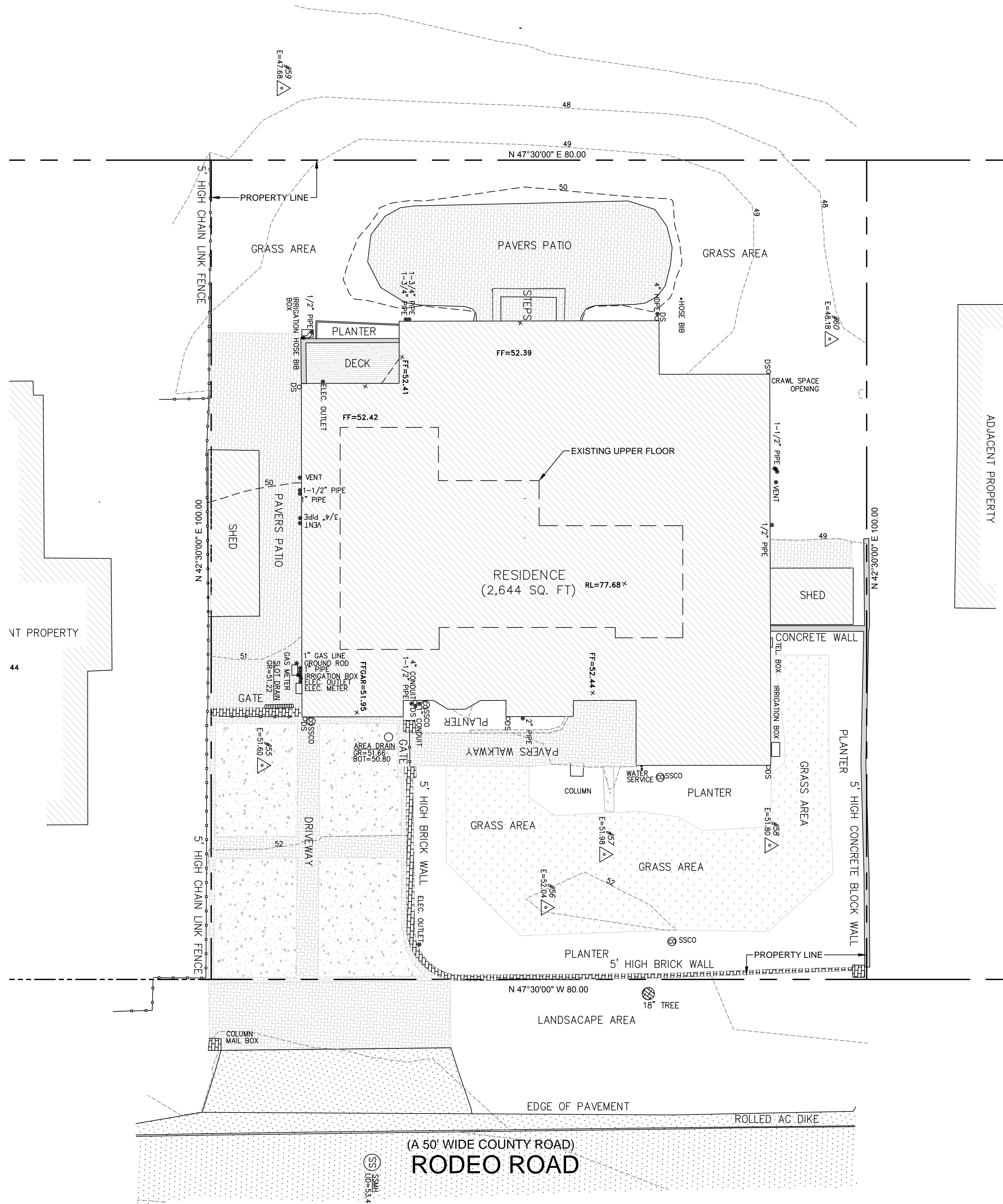
Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:

COVER SHEET / PROJECT INFO

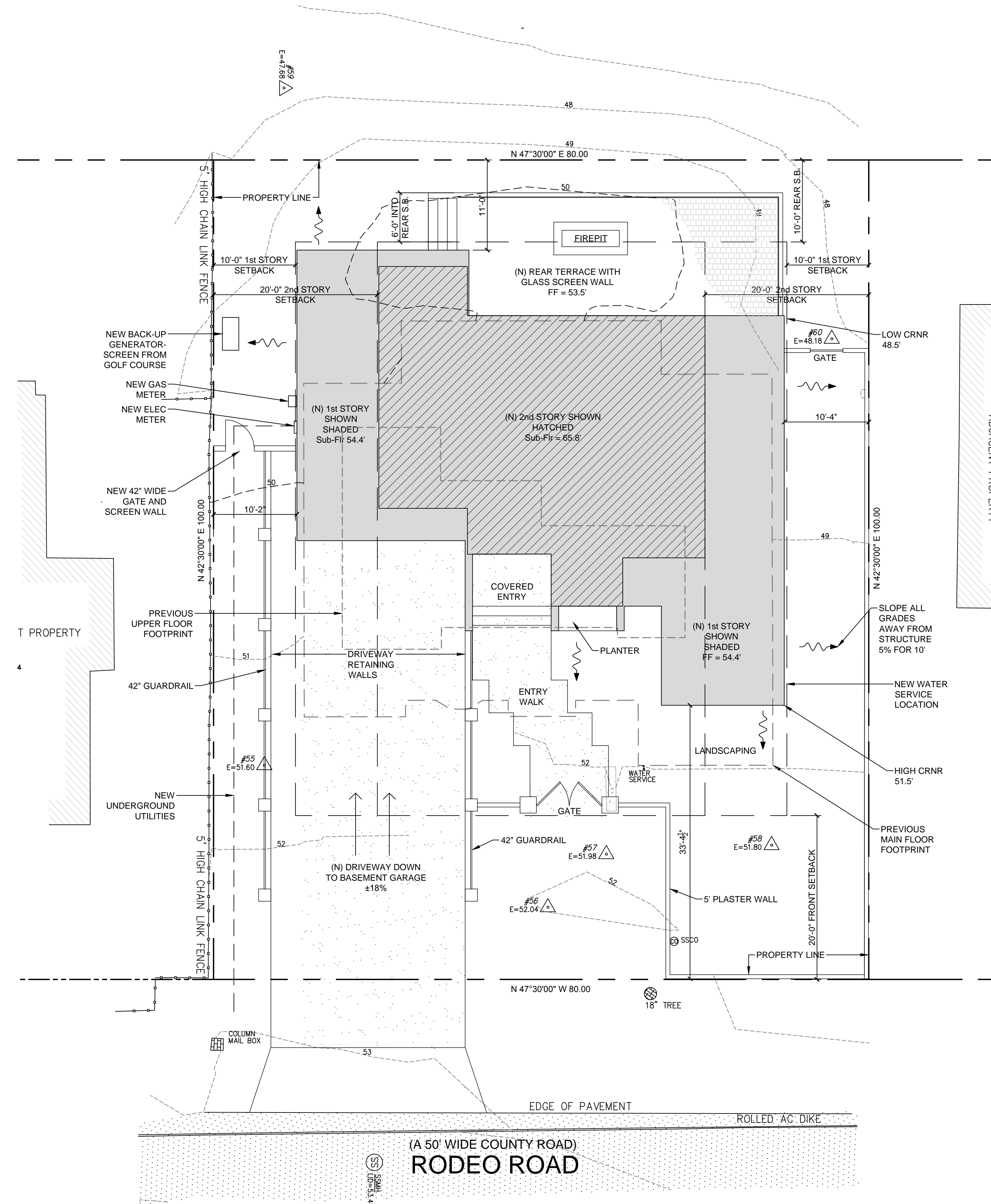
SHEET NUMBER:

A0.1



EXISTING SITE PLAN

1/8" = 1'-0"



PROPOSED SITE PLAN

1/8" = 1'-0"

PROJECT NAME:

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RESIDENCE

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SITE PLAN

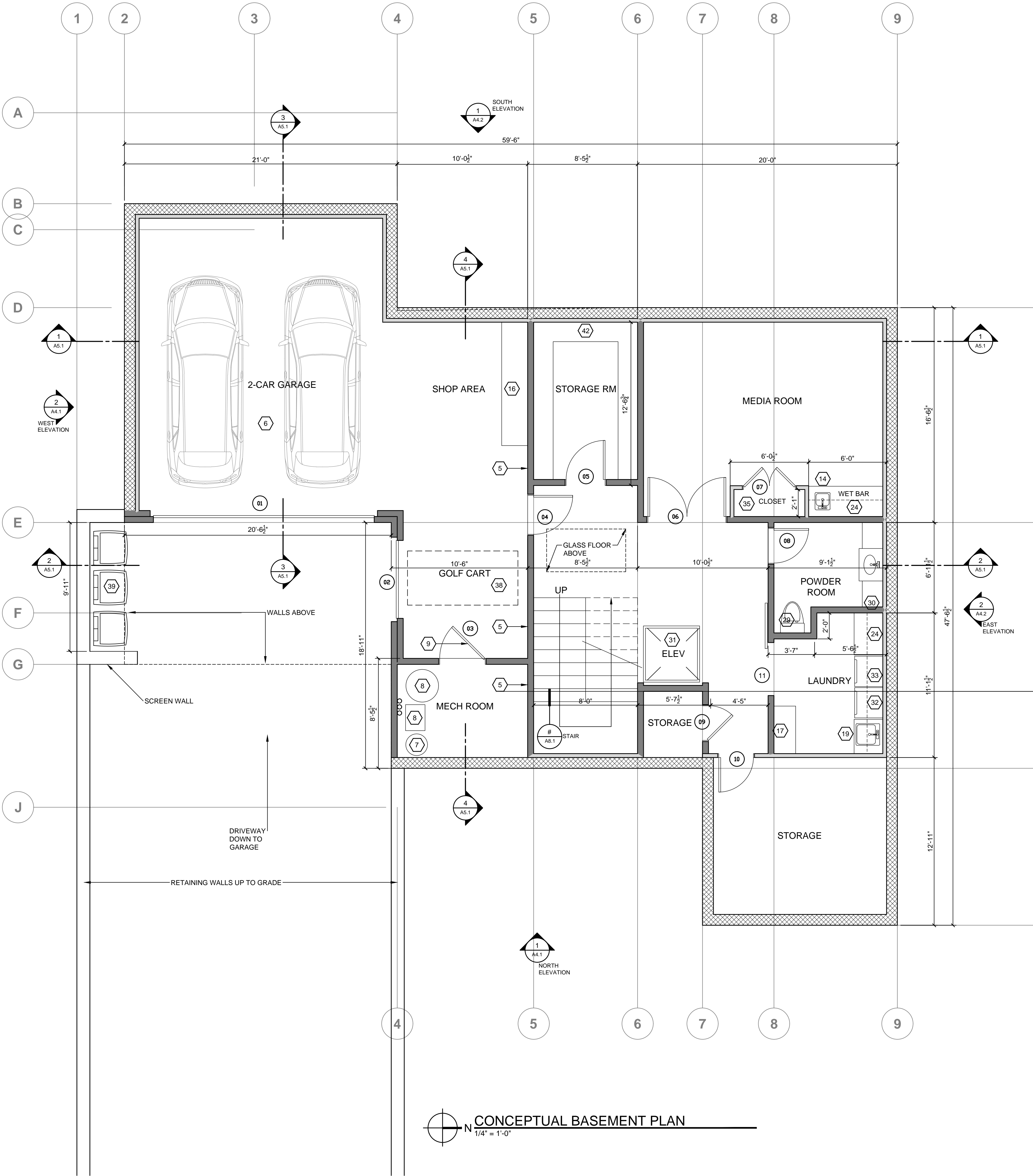
SHEET NUMBER:

A1.1

WALL LEGEND

- NEW 2x4 WALLS
NEW 2x6 WALLS
NEW 10" CONCRETE WALLS

1. EXTERIOR WALLS- 2x6 STUDS @ 16" OC U.O.N. CEMENT PLASTER ON EXTERIOR FACE WITH 5/8" TYPE 'X' GWB ON THE INTERIOR.
2. INTERIOR WALL- 2x4 STUDS @ 16" OC WITH 5/8" TYPE 'X' GWB ON BOTH SIDES.
3. SHOWER AND TUB WALLS SHALL HAVE FLOOR TO CEILING MOISTURE RESISTANT GYPSUM WALLBOARD (CBC 2512).
4. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
5. CONTRACTOR TO SEE ARCHITECTURAL & STRUCTURAL WALL DETAILS FOR ADDITIONAL NOTES REGARDING INSULATION, SHEAR, SOUND, ETC.
6. SEE BUILDING SECTIONS SHEET FOR INSULATION SCHEDULE.
7. PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR LOCATIONS.



PROJECT NAME:

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DRAWING RECORD

DESCRIPTION	ISSUED
PB SUBMITTAL	11-28-17
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PRINT DATE: 3/19/2018

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SHEET TITLE:

BASEMENT
PLAN

SHEET NUMBER:

A2.0

WALL LEGEND

- NEW 2x4 WALLS
NEW 2x6 WALLS
NEW 10" CONCRETE WALLS

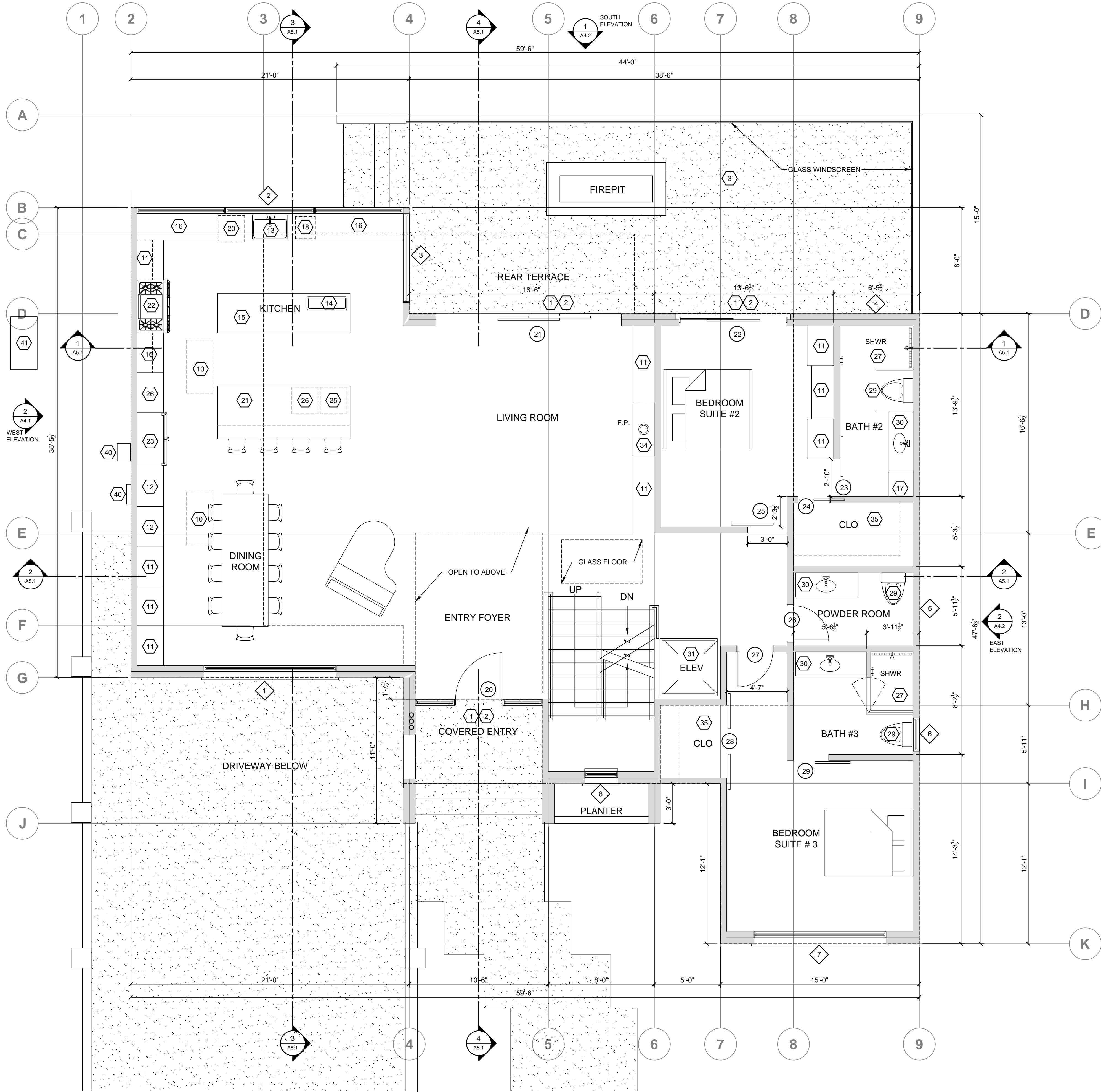
- EXTERIOR WALLS- 2x6 STUDS @ 16" OC U.O.N. CEMENT PLASTER ON EXTERIOR FACE WITH 5/8" TYPE 'X' GWB ON THE INTERIOR.
- INTERIOR WALL- 2x4 STUDS @ 16" OC WITH 5/8" TYPE 'X' GWB ON BOTH SIDES.
- SHOWER AND TUB WALLS SHALL HAVE FLOOR TO CEILING MOISTURE RESISTANT GYPSUM WALLBOARD (CBC 2512).
- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SEE ARCHITECTURAL & STRUCTURAL WALL DETAILS FOR ADDITIONAL NOTES REGARDING INSULATION, SHEAR, SOUND, ETC.
- SEE BUILDING SECTIONS SHEET FOR INSULATION SCHEDULE.
- PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR LOCATIONS.

SHEET NOTES

- Floor elevations at the required Egress Door (1 required) (CRC r311.3.1) landings or floors at the required egress door shall not be more than 1'-1 1/2" lower than the top of the threshold for outswing doors and 7-3/4" for inswing or sliding doors. **Non-egress doors** (CRC r311.3.2) - landings or floors shall be not more than 7-3/4" lower than the top of the threshold for inswing/outswing, or sliding. A landing is not required where a stairway has two or fewer risers is located on the exterior side of the door and the door does not swing over the landing or floor.
- Landing at doors (CRC r311.3) - min. depth 36", min. width shall be not less than the width of the door served. landing may have a slope not to exceed 2% (1/4" vertical in 12" horizontal).
- Terraces and patios- slope at min. 1/4" per ft. away from structure and toward drainage system - see civil drawings
- Hose bib- provide shut off valve for all hose bibs located near the garage or water main. all hose bibs shall have a non-removable back flow device per cbc 603.3.7.
- Fire separation wall (CRC r302.6)- provide 5/8 type 'x' gyp. bd. over framing at walls and ceiling
- Garage Floor- Provide:
 - concrete slab & control joints per structural drawings
 - seal concrete with concrete sealer
 - slope toward garage doors for drainage (min. 2")
 - ±6" curb at all walls for termite and water protection
 - protect finish slab during construction with protection board
- Water softener
- Boiler and hot water holding tank
- Venting- provide 100 sq. in. of venting within the top 12" and bottom 12" of the door/wall for combustion air for fuel burning appliances
- Skylight- see roof plan for size and detail location
- Custom full height casework. Verify with designer
- Custom full height pantry casework. Verify with designer
- Kitchen sink with garbage disposal- owner to select make and model
- Bar / vegetable sink- owner to select make & model
- Casework- 3' x 10' island- owner to select finish, countertop & layout
- Casework- 24" base cabinet. owner to select finish, countertop & layout
- Casework- full height linen cabinet with adjustable shelves
- Casework- slide out trash/recycle center
- Deep laundry sink- owner to select make & model
- 24" dishwasher- low-flow per standards- owner to select make & model
- Casework- 4' x 10' island- owner to select finish, countertop & layout
- Range top- 48" wide with drawers below. owner to select make & model
- Refrigerator- 48" wide, provide recessed plumbing for ice maker- owner to select make & model
- Casework- 24" base cabinet with 14" upper cabinet. owner to select finish, countertop & layout
- Freezer drawer- located under counter
- Beverage cooler- 24" wide, under counter
- Shower- provide :
 - 24" wide minimum (outswing) tempered glass door, door optional
 - shampoo recess, soap shelf & seat per owner's specifications
 - impervious surface to 72" minimum above drain inlet
 - 2"x6" wall for thermostatic valve
 - Control valves and showerheads shall be located on the sidewall of shower compartments or otherwise arranged so that the showerhead does not discharge directly at the entrance to the compartment so that the bather can adjust the valves prior to stepping into the shower spray. [CPC 408.9]
- Jacuzzi tub - owner to select make & model of tub, contractor to adjust tub deck height accordingly. For additional notes see jacuzzi notes under general building notes. provide 12"x 12" minimum access panel for jacuzzi tub, locate access door as close to tub pump as possible for inspection and maintenance.
- Toilet- 1.28 gallons per flush u.o.n. on water permit, provide 30" width clear in the toilet compartment and min. 24" clear from the front of bowl to the wall (cpc 2904)
- Provide sink(s), base cabinet, plumbing fixture, countertop, mirror and optional recessed vanity cabinet per owner's specifications
- Elevator- owner to select make and model. see structural drawings.
- Washing machine- verify make and model with owner (provide plumbing connections recessed in wall
- Clothes dryer- vent to exterior with 4" pipe. 14'-0" maximum horizontal run with (2) 90° bends maximum. Provide in-line booster pump to exterior. Vent discharge location shall be a minimum 3' away from any opening into the building per CMC 504.3.1.
- Fireplace- direct vent 'majestic firebox insert model #r36 icbo #e4837 with xx hearth and metalbestos flue
- Provide a shelf and closet pole system at all wardrobe closets. owner to specify locations for double pole and/or additional shelving/drawer systems
- Chimney flue
- Elevator- owner to select make and model
- Golf cart parking area- provide outlet for charging station
- Refuse area
- Electrical meter & gas meter
- Back up generator- owner to select make and model
- Casework- full height storage cabinets with adjustable shelves. owner to select layout and finish

Floor Plan Notes:

- Refer to general building notes on A0.2 for additional notes.
- SEE DOOR & WINDOW SCHEDULE ON SHEET A2.3



CONCEPTUAL MAIN FLOOR PLAN

1/4" = 1'-0"



NORTH ELEVATION

PROJECT NAME:

MOORE RESIDENCE

1026 RODEO ROAD
PEBBLE BEACH, CA
93953

APN: 007-323-002

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FLOOR PLAN

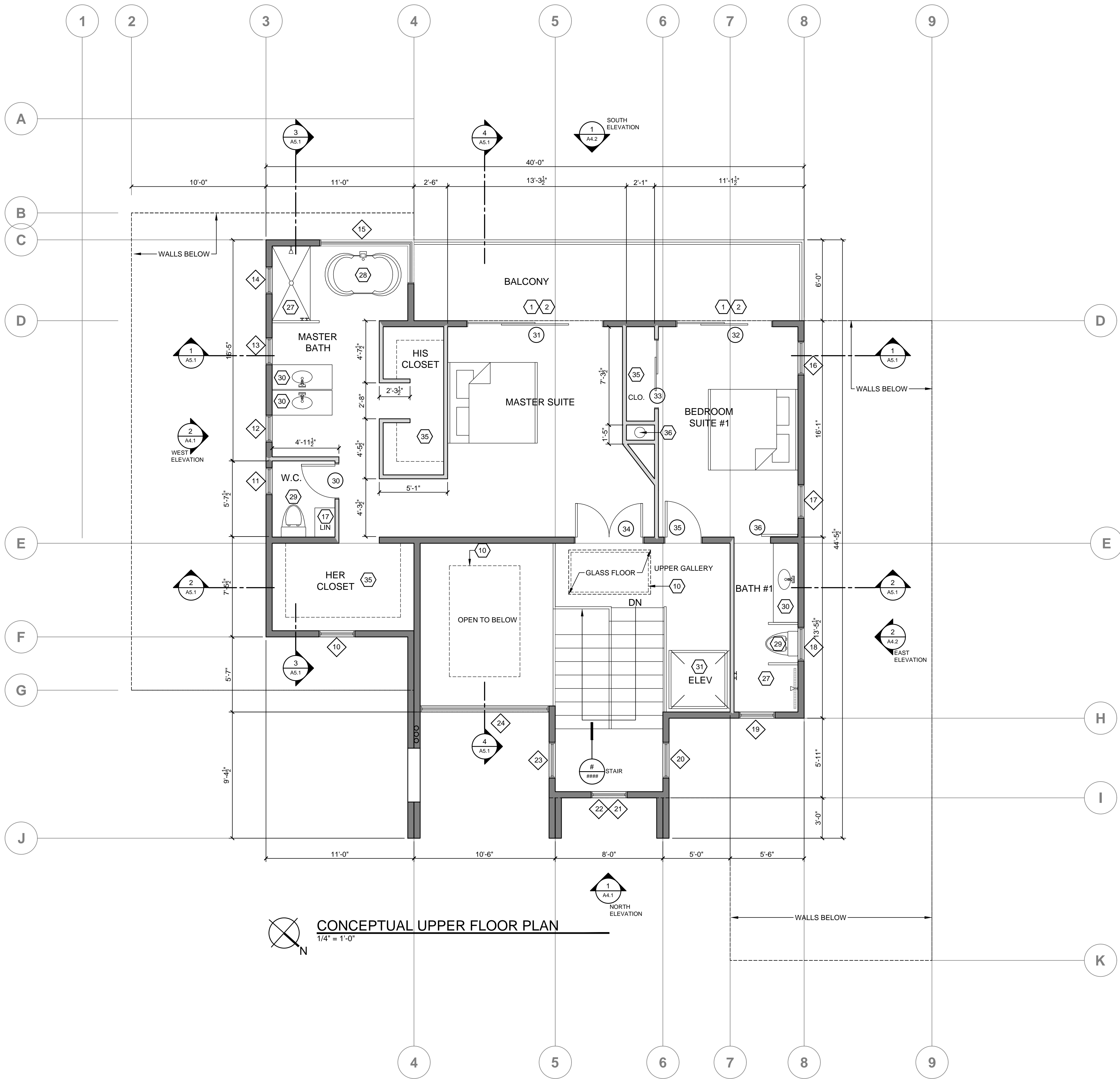
SHEET NUMBER:

A2.1

WALL LEGEND

- NEW 2x4 WALLS
NEW 2x6 WALLS
NEW 10" CONCRETE WALLS

- EXTERIOR WALLS- 2x6 STUDS @ 16" OC U.O.N. CEMENT PLASTER ON EXTERIOR FACE WITH 5/8" TYPE 'X' GWB ON THE INTERIOR.
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SHEET TITLE:

UPPER FLOOR
PLAN

SHEET NUMBER:

A2.2

WINDOW & SKYLIGHTS NOTES

1. CONTRACTOR TO VERIFY ALL ASPECTS OF THE WINDOWS WITH OWNER AND HAVE THE OWNER SIGN OFF ON ALL SIZES, MATERIALS, AND COLORS PRIOR TO ORDERING.
2. All casement windows used in bedrooms as emergency egress must be "break away" type to ensure complete operable area for access. Egress windows shall have a minimum net operable area of 5.7 square feet. the minimum net clear operable height dimension shall be 24". The minimum net clear operable width dimension shall be 20". When windows are provided as a means of escape or rescue, they shall have the bottom of the clear opening not greater than 44" measured from the floor (CBC 1026.2 & 1026.3)
3. Window dimensions are proposed rough opening sizes. general contractor is to verify manufacturer's nearest stock sizes. all window sizes, shapes, colors, hardware, screens, glazing, etc. must be approved in writing by owner prior to ordering.
4. Specialty windows shall be coordinated with the general contractor for site verification and installation.
5. All windows are to be double glazed.
6. Owners to specify which window are to be low "e".
7. Tempered Glazing Required per R308.1

7.1. All glazing located in hazardous locations as defined in Section R308.4.1 through R308.4.7 shall be tempered glass or wire safety glass

7.2. R308.4.1 Glazing in fixed or operable doors

7.3. R308.4.2 Glazing in fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within a 24" arc of either vertical edge of the door in a closed position and where the bottom exposed edge of the glazing is less than 60" above the walking surface shall be safety glass.

7.4. R308.4.3 Glazing in windows where the individual pane is 9 sf or larger, the bottom edge of glazing is less than 18" above the floor, the top edge of glazing is more than 36" above the floor, one or more walking surface are within 36" measured horizontally and in a straight line, of the glazing.

7.5. R308.4.4 Glazing in guards and railing

7.6. R308.4.5 Glazing and wet surfaces- Glazing in wet areas where the bottom edge is less than 60" measured vertically above any standing or walking surface.

7.7. R308.4.6 Glazing adjacent to stairs and ramps- where bottom exposed edge is less than 36" above the adjacent walking surface of stairways, landings between flights of stairs and ramps.

7.8. R308.4.7 Glazing adjacent to bottom of stair landing- Glazing adjacent to the bottom of a stairway where the glazing is less than 36" above the landing and within 60" horizontally of the bottom tread.
8. Skylights R308.6.2- may have the following glazing:

8.1. Laminated glass with a minimum .015-inch ployvinyl butyral interlayer for glass panes 16 sf or less in area located such that the highest point of the glass is not more than 12 feet above the walking surface or other accessible area; for higher or larger sizes, the minimum interlayer thickness shall be .030 inch.

8.2. Fully tempered glass

8.3. Heat-strengthened glass.

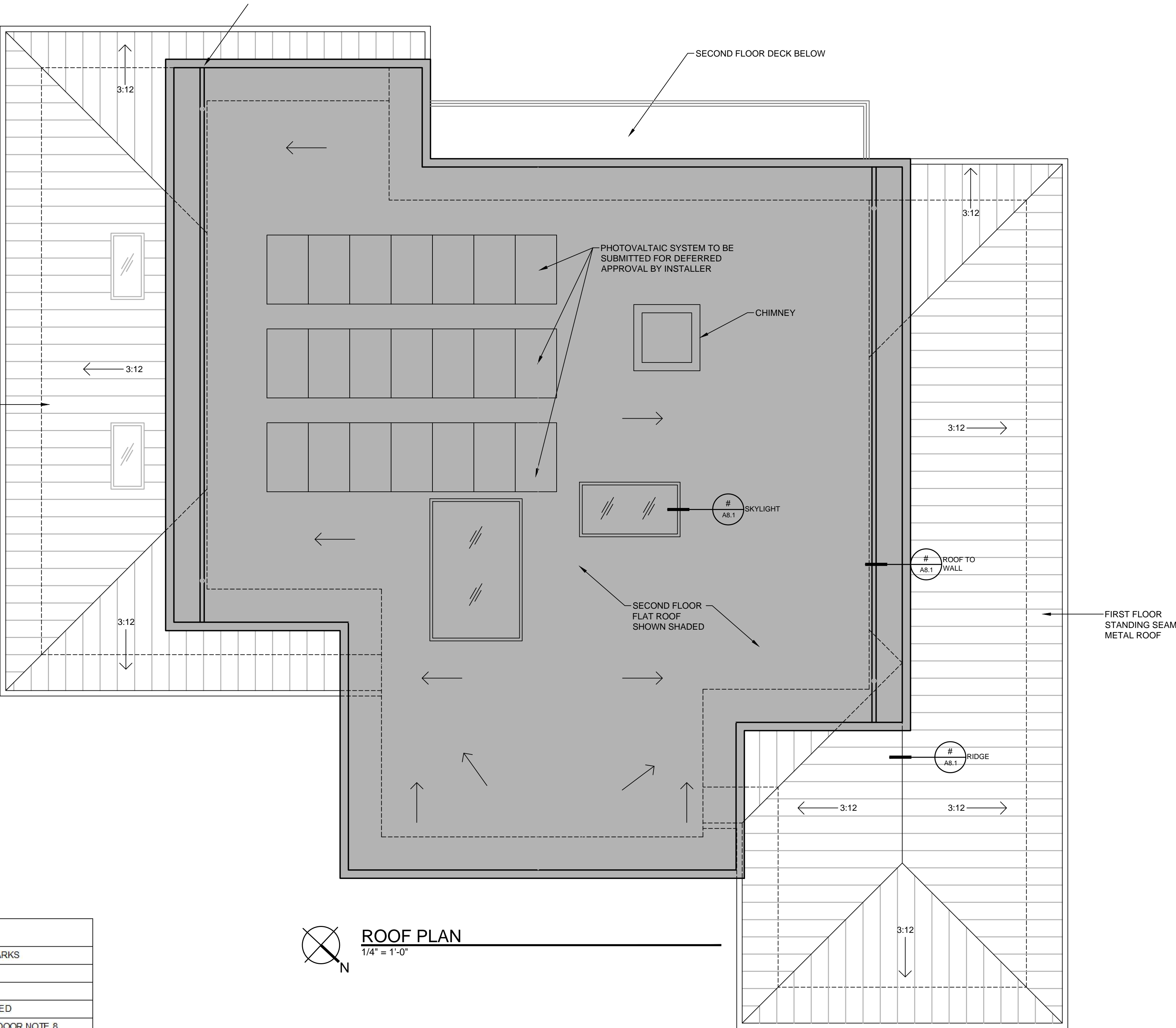
8.4. Wired glass.

8.5. Approved rigid plastics.

DOOR NOTES

1. CONTRACTOR TO VERIFY ALL ASPECTS OF DOORS WITH OWNER AND HAVE THE OWNER SIGN OFF ON ALL SIZES, MATERIALS, AND COLORS PRIOR TO ORDERING.
2. All glazing in doors shall be temp. glass.
3. Door sizes shown are proposed rough opening sizes. general contractor to verify manufacturer's nearest stock sizes for designer/owner to review and approve.
4. Specialty doors shall be coordinated with general contractor for site verification and installation.
5. All exterior doors shall have pan, & brass (weather resistant) hinges.
6. All exposed edges to be sealed to prevent moisture fenestration and warping.
7. All french doors are to have dead bolts.
8. Any door in a 1-hour rated wall shall be 20 minute fire rated, 1-3/8", tight fitting, self closing and self latching per CRC R302.5

BASEMENT DOOR SCHEDULE								
DOOR #	LOCATION	WIDTH	HEIGHT	THICK	MATERIAL	ACTION	TYPE	REMARKS
1	GARAGE	170	7'0	1-3/4"	WD	OH		
2	GARAGE	6'0	7'0	1-3/4"	WD	OH		
3	MECH ROOM	3'6	8'0	1-3/4"	WD	SWING		VENTED
4	SHOP	3'0	8'0	1-3/4"	WD	SWING		SEE DOOR NOTE 8
5	STORAGE	3'0	8'0	1-3/4"	WD	SWING		
6	MEDIA ROOM	6'0	8'0	1-3/4"	WD	SWING		FRENCH
7	MEDIA ROOM	4'0	8'0	1-3/4"	WD	SWING		
8	POWDER RM	2'8	8'0	1-3/4"	WD	SWING		
9	CLO	2'8	8'0	1-3/4"	WD	SWING		
10	STORAGE	2'8	8'0	1-3/4"	WD	SWING		
11	LAUNDRY	3'6	8'0	1-3/4"	WD	SLIDE		BARN
MAIN FLOOR DOOR SCHEDULE								
20	ENTRY	9'0	10'1		ALUM	SLIDE		TEMP
21	LIVING ROOM	14'0	10'1		ALUM	SLIDE		TEMP
22	SUITE 2	9'5	10'1		ALUM	SLIDE		TEMP
23	BATH 2	3'0	8'0	1-3/4"	WD	SLIDE		BARN
24	SUITE 2	2'4	8'0	1-3/4"	WD	POCKET		
25	SUITE 2	3'0	8'0	1-3/4"	WD	SLIDE		BARN
26	POWDER RM	2'8	8'0	1-3/4"	WD	SWING		
27	SUITE 3	2'8	8'0	1-3/4"	WD	SWING		
28	SUITE 3	5'5	8'0	1-3/4"	WD	SLIDE		DOUBLE BARN
29	BATH 3	2'8	8'0	1-3/4"	WD	SLIDE		BARN
UPPER FLOOR DOOR SCHEDULE								
30	MASTER BATH	2'6	8'0	1-3/4"	WD	SWING		
31	MASTER SUITE	10'0	9'1		ALUM	SLIDE		TEMP
32	SUITE 1	6'10	9'1		ALUM	SLIDE		TEMP
33	SUITE 1	5'0	8'0	1-3/4"	WD	SLIDE		
34	MASTER SUITE	5'0	8'0	1-3/4"	WD	SWING		FRENCH
35	SUITE 1	2'8	8'0	1-3/4"	WD	SWING		
36	SUITE 1	2'8	8'0	1-3/4"	WD	SLIDE		BARN
CONTRACTOR TO VERIFY ALL SIZES WITH OWNER								
PROVIDE GALV PAN UNDER ALL EXTERIOR DOORS								



ROOF PLAN
1/4" = 1'-0"

MAIN FLOOR WINDOW SCHEDULE								
WDW #	LOCATION	WIDTH	HEIGHT	HEAD HT	JAMB	ACTION	TYPE	REMARKS
1	DINING ROOM	10'0	8'0	10'1	11"	CASEMENT		
2	KITCHEN	18'8	5'7	9'2	5-1/2"	CASEMENT		
3	KITCHEN	6'8	6'6	10'1	5-1/2"	CASEMENT		
4	BATH 2	3'0	3'6	8'0	11"	CASEMENT		TEMP
5	POWDER RM	2'6	4'0	8'0	5-1/2"	CASEMENT		TEMP
6	BATH 3	2'6	4'0	8'0	5-1/2"	CASEMENT		TEMP
7	SUITE 3	10'0	8'0	10'1	11"	CASEMENT		
8	STAIRWELL	2'8	11'3	5-1/2"	PICTURE			
UPPER FLOOR WINDOW SCHEDULE								
10	HER CLO	2'8	3'6	8'0	5-1/2"	CASEMENT		
11	MASTER BATH	2'0	3'6	8'0	5-1/2"	CASEMENT		TEMP
12	MASTER BATH	2'0	3'6	8'0	5-1/2"	CASEMENT		TEMP
13	MASTER BATH	2'0	3'6	8'0	5-1/2"	CASEMENT		TEMP
14	MASTER BATH	2'0	3'6	8'0	5-1/2"	CASEMENT		TEMP
15	MASTER BATH	10'3	5'6	8'0	5-1/2"	PICTURE		BUTT GLAZED CORNER WINDOW
16	SUITE 1	2'6	3'6	8'0	5-1/2"	CASEMENT		
17	SUITE 1	2'6	3'6	8'0	5-1/2"	CASEMENT		
18	BATH 1	2'6	3'6	8'0	5-1/2"	CASEMENT		
19	BATH 1	2'6	3'6	8'0	5-1/2"	CASEMENT		TEMP
20	STAIRWELL	2'8	2'8	8'0	5-1/2"	PICTURE		TEMP
21	STAIRWELL	2'8	2'8	8'0	5-1/2"	PICTURE		TEMP
22	STAIRWELL	2'8	2'8	3'10	5-1/2"	PICTURE		TEMP
23	STAIRWELL	2'8	2'8	8'0	5-1/2"	PICTURE		TEMP
24	FOYER ABOVE	9'0	8'10	8'10	5-1/2"	PICTURE		

GENERAL ROOF & CHIMNEY NOTES

1. Roof Material = Standing seam metal roof on main floor, single ply PVC membrane on upper floor
2. Field verify with owner and/or Designer color and/or blend of roofing units prior to installation
3. Roof Slope = 3:12 on main floor, flat on upper floor unless otherwise noted
4. Overhang = 2'-4" unless otherwise noted
5. Concealed copper gutters
6. Gang all vent stacks to minimize quantity of roof jacks and locate roof jacks in least visible location
7. SPARK ARRESTER: Net free area of spark arrester shall not be less than four times the net free outlet of the chimney flue it serves. arrester screen shall have heat and corrosion resistance equal to 12 gage wire, 19 gage galvanized steel or 24 gage stainless steel (CRC R1003.9.1).
8. CHIMNEY TERMINATION: Chimneys shall extend a least 2' higher than any portion of a building within 10' horizontally, but shall not be less than 3' above the highest point where the chimney passes through the roof (CRC R1003.9).
9. Metal chimneys shall be anchored at each floor and at the roof with (2) 1-1/2"x1-1/2" metal straps looped around the chimney and nailed with not less than (6) 8d nails per strap at each joist or rafter per UBC 3102.6 to prevent lateral displacement.

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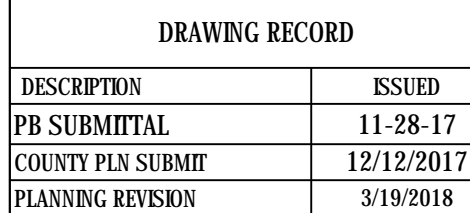
ROOF PLAN

SHEET NUMBER:

A2.3

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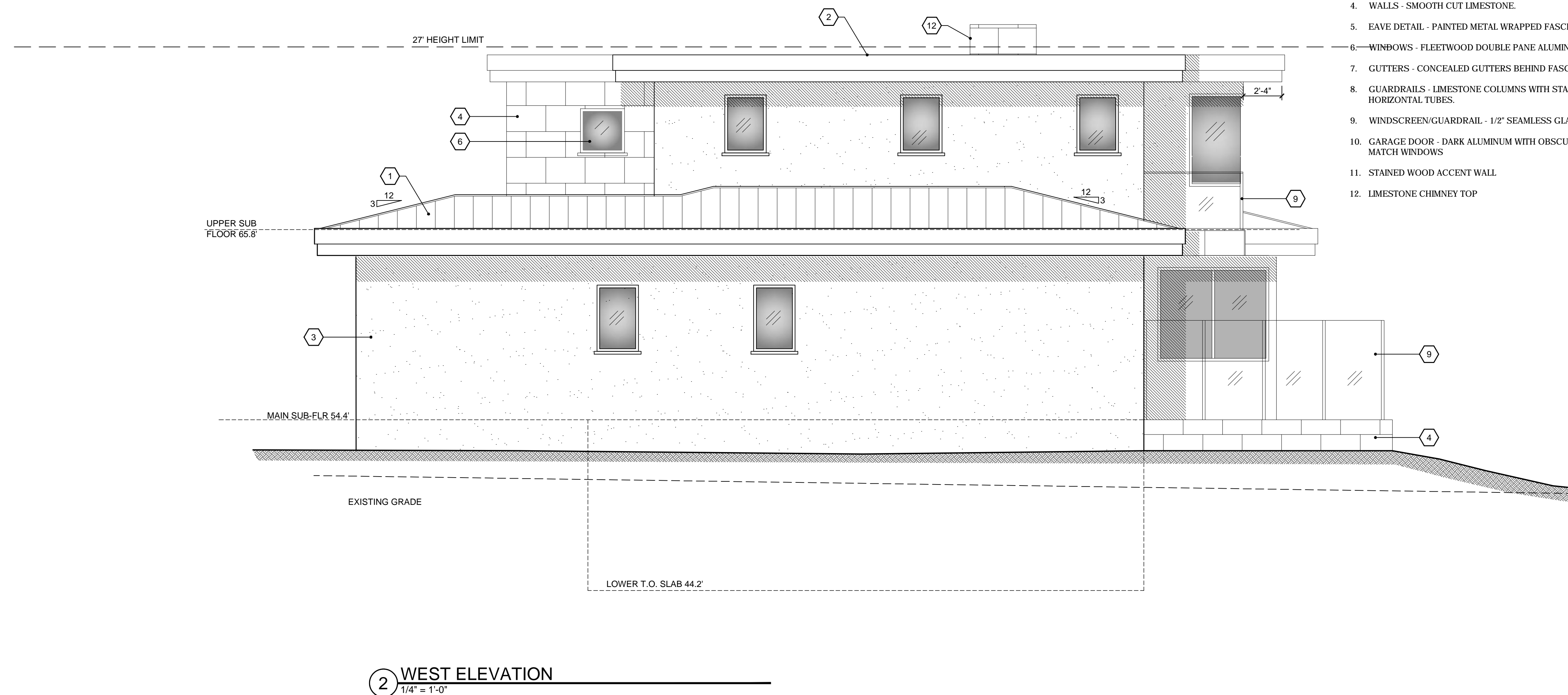
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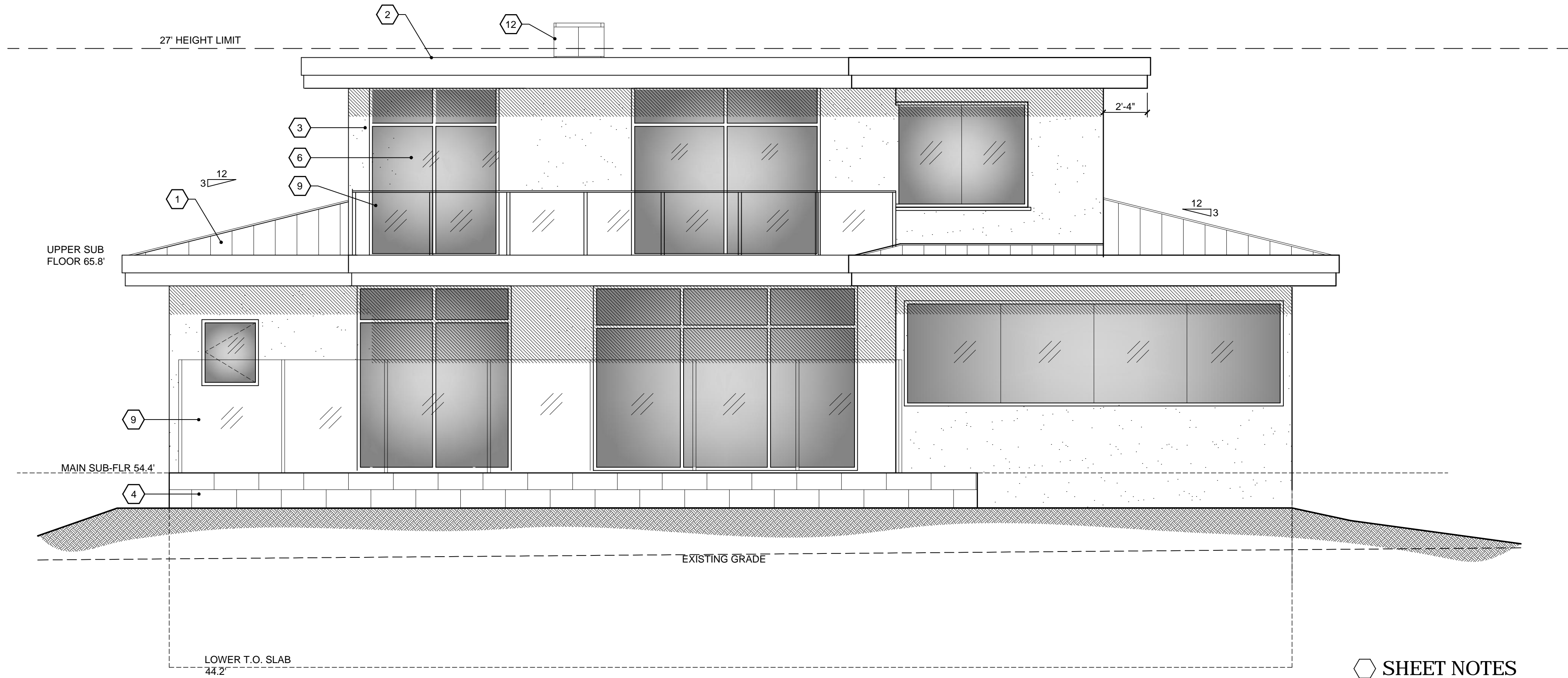
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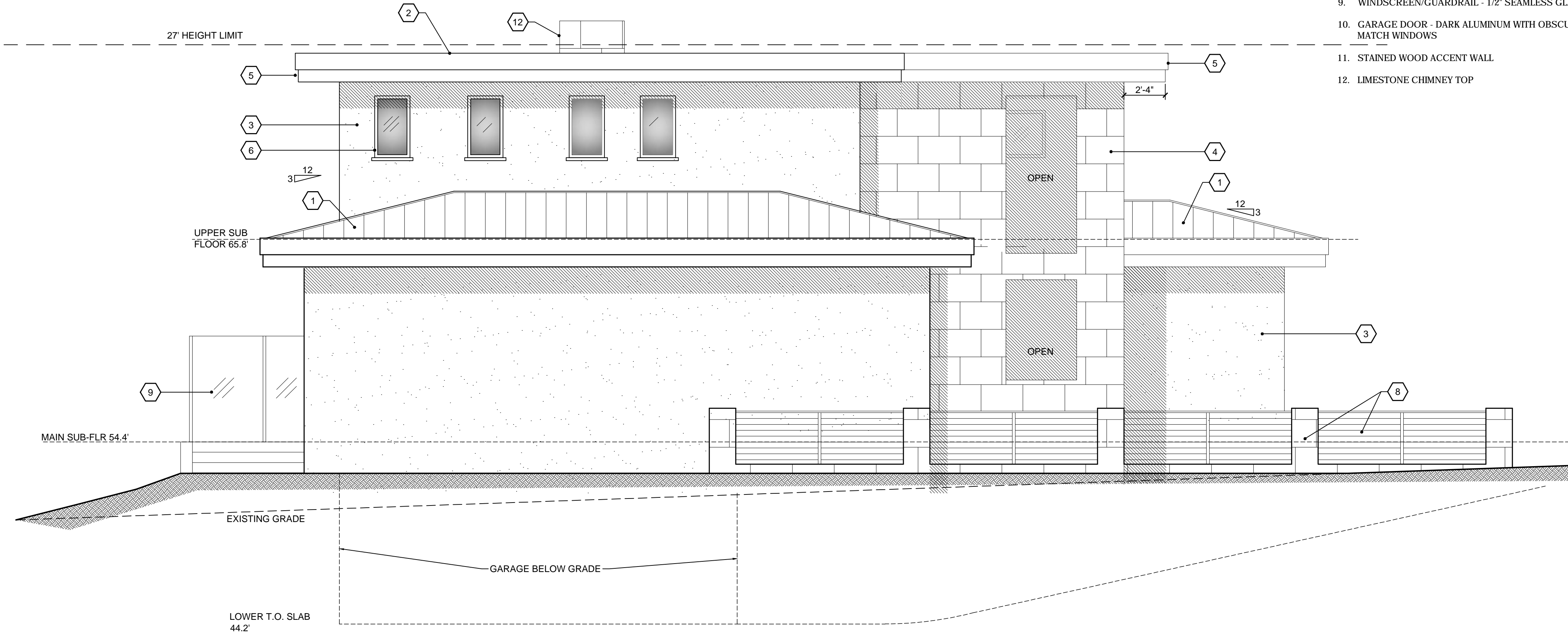


1. ROOF - MAIN FLOOR - STANDING SEAM METAL ROOF.
2. ROOF - UPPER FLOOR - FLAT MEMBRANE ROOFING
3. WALLS - PAINTED CEMENT PLASTER.
4. WALLS - SMOOTH CUT LIMSTONE.
5. EAVE DETAIL - PAINTED METAL WRAPPED FASCIA.
6. ~~WINDOWS~~ - FLEETWOOD DOUBLE PANE ALUMINUM WINDOWS.
7. GUTTERS - CONCEALED GUTTERS BEHIND FASCIA.
8. GUARDRAILS - LIMSTONE COLUMNS WITH STAINLESS STEEL HORIZONTAL TUBES.
9. WINDSCREEN/GUARDRAIL - 1/2" SEAMLESS GLASS PANELS
10. GARAGE DOOR - DARK ALUMINUM WITH OBSCURE GLASS TO MATCH WINDOWS
11. STAINED WOOD ACCENT WALL
12. LIMSTONE CHIMNEY TOP





2 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

SHEET NOTES

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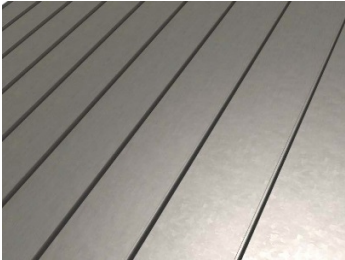
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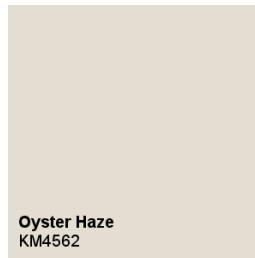
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APN: 007-323-002-000

Roof – Metal Standing Seam



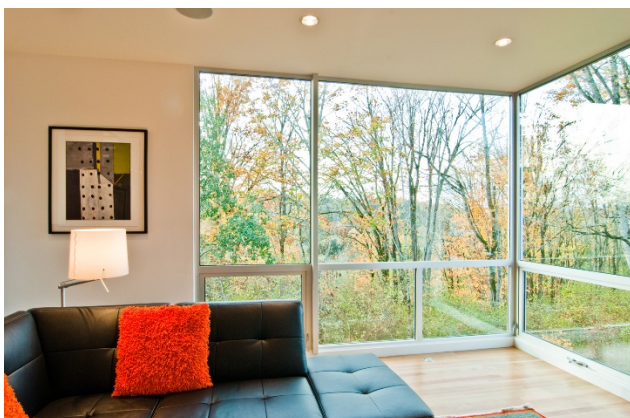
Walls – Painted Cement Plaster



Exterior Accents - Limestone and Wood



Windows and Door



Moore Residence

1026 Rodeo Road Pebble Beach CA

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Upper Balcony Stainless Steel Guardrail



Main Terrace Glass Windscreen

