

Exhibit B

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MINUTES
North County Land Use Advisory Committee
November 20, 2024

1. Meeting called to order by David Evans at 5:30 pm

2. Roll Call

Members Present:

David Evans, Lesley Noble, Belinda Talban, Michael Mastroianni, Gina Paolini, Lynn Riddle, John Robinett (7)

Members Absent:

Sherry Owen, Andrea Estrada (2)

3. Approval of Minutes:

A. October 2, 2024 Minutes

Motion: Lesley Noble (LUAC Member's Name)

Second: Michael Mastroianni (LUAC Member's Name)

Ayes: David Evans, Lesley Noble, Michael Mastroianni, Gina Paolini, Lynn Riddle, John Robinett (6)

Noes: 0

Absent: Sherry Owne, Andrea Estrada (2)

Abstain: Belinda Taluban

4. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

NONE

5. Scheduled Item(s)

6. Other Items:

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

NONE

B) Announcements

Lesley Noble announced that she is resigning as the Secretary. It was suggested Committee members be ready To nominate and vote at the next meeting. Noble will remain on the Committee, as solely a member of LUAC.

7. Meeting Adjourned: 5:58 pm

Minutes taken by: _____

Action by Land Use Advisory Committee

Project Referral Sheet

Monterey County Housing & Community Development
1441 Schilling Place 2nd Floor
Salinas CA 93901
(831) 755-5025

Advisory Committee: North County

1. **Project Name:** BOCCONE NORMAN B & VICTORIA E IGEL CO-TRS
File Number: PLN240187
Project Location: 827 ELKHORN RD, ROYAL OAKS, CA 95076
Assessor's Parcel Number(s): 181-011-022-000, 181-151-008-000, & 181-151-009-000
Project Planner: Mary Israel
Area Plan: Royal Oaks, North County Land Use Plan, Coastal Zone
Project Description: Coastal Development Permit to allow a Lot Line Adjustment between three (3) legal lots of record. Parcel A (Assessor's Parcel Number 181-151-009-000, 18.17 acres) will gain 0.48 acres from Parcel C (Assessor's Parcel Number 181-151-008-000, 4.7 acres). Parcel B (Assessor's Parcel Number 181-011-022-000, 286 acres) will gain 5.12 acres from Parcel A (Assessor's Parcel Number 181-151-009-000). The resulting adjusted Parcel A, B, C shall be 13.53 acres, 291.2 acres, and 4.58 acres, respectively.

Was the Owner/Applicant/Representative present at meeting? YES X NO

(Please include the names of the those present)

Norman B. Bocconne, Victoria E. Igel, applicants, and Carol Riewe as Engineer/Architect

Was a County Staff/Representative present at meeting? Benjamin Moulton (Name)

PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
NONE			

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LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
NONE		

ADDITIONAL LUAC COMMENTS

NONE

RECOMMENDATION:

Motion by:

John Robinett

(LUAC Member's Name)

Second by:

Belinda Taluban

(LUAC Member's Name)

X

Support Project as proposed

Support Project with changes

Continue the Item

Reason for Continuance:

Continue to what date:

Ayes:

David Evans, Lesley Noble, Belinda Talban, Michael Mastroianni, Gina Paolini, Lynn Riddle, John Robinett (7)

Noes:	<u>0</u>
Absent:	<u>Sherry Owen, Andrea Estrada (2)</u>
Abstain:	<u>0</u>

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