

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

THE 26317 SCENIC ROAD REVOCABLE TRUST (PLN220360)

RESOLUTION NO. 24-009

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding the project exempt from CEQA pursuant to section 15303, new structures and that none of the exceptions to the exemptions listed in section 15300.2 can be made; and
- 2) Approving a Combined Development Permit consisting of a:
 - a. Coastal Administrative and Design Approval to allow demolition of a 425 square foot garage, and construction of a 3,350 square foot two-story single-family dwelling inclusive of a 465 square foot attached two-car garage; and
 - b. Coastal Development Permit to allow development within 750 feet of a known archaeological resource.

[PLN220360, THE 26317 SCENIC ROAD REVOCABLE Trust, 26317 Scenic Dr, Carmel Area Land Use Plan, Coastal Zone (APN: 009-442-019-000)]

The 26317 Scenic Road Revocable Trust application (PLN220360) came on for hearing before the Monterey County Zoning Administrator on February 29, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, written testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - 1982 Monterey County General Plan;
 - Carmel Area Land Use Plan (Carmel Area LUP);
 - Monterey County Coastal Implementation Plan, Part 1, Zoning Ordinance (Title 20); and
 - Monterey County Coastal Implementation Plan, Part 4, Regulations for Development in the Carmel Area Land Use Plan Area (Carmel Area CIP).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Scope. The project consists of demolition of a 425 square foot garage and construction of a 3,350 square foot two-story single-family dwelling, inclusive of a 465 square foot attached two-car garage and development within 750 feet of known archaeological resources. The project also includes changes to the attached plan set including resiting the proposed development two feet north towards Stewart Way and sinking the house two feet below the existing grade
- c) Allowed Use. The property is located at 26317 Scenic Rd, Carmel (APN: 009-442-019-000), in the Carmel Area Land Use Plan. The parcel is zoned Medium Density Residential with a density of 2 units per acre with Design Control overlay district and an 18 foot height limit in the Coastal Zone or “MDR/2-D(18)(CZ)”, which allows the first single family dwelling on a lot pursuant to a Coastal Administrative Permit and Design Approval (Title 20 sections 20.14.030 and 20.44.030). Development within 750 feet of a known archaeological resource is also allowed pursuant to section 20.146.090 of the Carmel Area CIP. Therefore, the project is an allowed use for this site.
- d) Site Inspection. The project planner conducted a site inspection on October 26, 2023 to verify that the project on the subject parcel conforms to the plans listed above.
- e) Lot Legality. The subject parcel is shown in its current size and configuration on page 24 of Volume 2 of Cities and Towns which shows a map of Addition No. 7 to Carmel-By-The-Sea. The subject lot is labeled with a “1” on Blk B14 at the corner of Scenic Rd and Stewart Way. Therefore, the County recognizes the subject parcel as a legal lot of record.
- f) Design/Neighborhood and Community Character. The property is subject to the Design Control “D” overlay zoning district regulations which requires design review of proposed development to assure protection of the public viewshed and neighborhood character. Consistent with Title 20, Chapter 20.44, a Design Approval Application was submitted. The proposed colors and materials include natural, light colored vertical wood paneling for the exterior walls of the structure, exposed board-formed concrete retaining walls, grey aluminum exterior door and window frames, grey metal panels to accent the window frames, angled weathered steel landscape retaining walls and grey vertical metal rods for the fencing and deck guardrails. The modern style of the proposed home will fit in with existing neighborhood character and is similar in style to existing nearby houses. The size and massing of the proposed 3,350 square foot structure is comparable to those in the neighborhood, with the existing homes ranging from 4,385 square feet to 1,600 square feet. Condition No. 7 requires an exterior lighting plan be provided and approved before the issuance of building permits; this condition shall ensure compliance with the Carmel Area LUP, Carmel Area CIP and Title 20.
- g) Development Standards. Development standards for the Medium Density Residential zoning district can be found in Title 20 section

20.12.060. The proposed development conforms with all regulated site development standards. The allowed site coverage for this lot is 35% (2,623 square feet), the proposed site coverage is 35% (2,621 square feet). The proposed two story single family dwelling will have a total floor area ratio (FAR) of 44.7% (3,350 square feet); this is below the maximum allowed 45% (3,373 square feet). The first floor will include the attached garage, a gym, laundry room and unconditioned crawlspace. The second floor will include the kitchen, main living areas and bedrooms. The proposed height of the structure is consistent with the required 18 foot height limit of the area. The property has a slight change in elevation as you move from the front of the property to the rear, giving the structure an average natural grade of 47 feet and 6 inches above sea level. The height of the structure will be 14 feet and 6 inches from this average natural grade. The proposed development will be within all required setbacks. The structure has been sited as far from both Stewart Way and Scenic Road as possible. It will have a front setback from Scenic Road of over 20 feet, a side setback from Stewart Way of over 5 feet, a rear setback of 10 feet and a southern side setback of 5 feet. All setbacks are consistent with requirements for a back to back corner lot.

- h) Archaeological Sensitivity. The project site is within 750 feet of known archaeological resources; pursuant to section 20.146.090 of the Carmel Area CIP an archaeological survey (LIB180067, see Finding 2, Evidence “b”) was prepared for the property. This site has undergone extensive surface and subsurface testing due to its high archaeological sensitivity. The 2017 report was completed for the demolition of the previous single family dwelling on the property and for future development including the proposed single family dwelling. The testing done in 2017 determined future development would not likely have an adverse impact to significant archaeological or cultural resources. The recommendations within this report have been added as a condition of approval (Condition No. 6). See Finding 5 and supporting evidence.
- i) Historical Resources. The previous home that was demolished in 2020 was reviewed for historical significance before its demolition. Although the original structure had some characteristics of the French Eclectic style, it underwent renovations and was not considered a good example of French Eclectic style. It was reviewed by three historians and ultimately determined to not be eligible for listing on the California Register of Historical Resources. The garage that is proposed for demolition was part of the original house but is not considered to be of historical significance. See Finding No. 2 and supporting evidence.
- j) Forest Resources. The proposed project does not include tree removal; however, there are multiple protected trees on the property that may be impacted by the construction. An arborist report was prepared for this project (LIB230167, see Finding 2, Evidence “b”). The arborist did identify potential short term impacts to the protected trees within the project vicinity and no long term impacts are anticipated. The arborist report included recommendations to help reduce impacts and maintain healthy trees on the property, these recommendations have been

implemented as a condition of approval (Condition No. 6). See Finding No. 2 and supporting evidence.

- k) Land Use Advisory Committee. The project was brought before the Carmel Unincorporated/Highlands Land Use Advisory Committee on November 6, 2023. The committee unanimously recommended support of the application as proposed. Comments from the public were made at this meeting; the next door neighbor had concerns regarding privacy. The applicant reached out to this neighbor and offered to accommodate them by adding additional vegetative screening along their shared property line. A condition of approval (Condition No. 4) has been added to this permit to require the applicants to submit a final landscape plan prior to the issuance of building permits.
- l) Public Comment. The applicants received support of their project from two neighbors adjacent to, and across the street from, the subject parcel. Letters of support were submitted to staff and can be found in Exhibit D attached to the February 29, 2024 Zoning Administrator staff report. The applicants have worked with these neighbors to address concerns of the proposed structure's potential to block ocean views and they have agreed upon a height that all parties agree with.
- m) The application, project plans, staking & flagging photos and related support materials submitted by the project applicant to Monterey County HCD- Planning for the proposed development are found in Project File PLN220360.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, Cypress Fire Protection District (FPD), HCD-Environmental Services and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Recommended conditions have been incorporated.
 - b) Staff identified potential impacts to archaeological resources, sensitive biological resources and protected trees. The following reports have been prepared:
 - “Archaeological Subsurface Testing” (LIB180067) prepared by John Schlagheck, San Francisco, California, December 1, 2017.
 - “Biological Resource Review” (LIB180068) prepared by Fred Ballerini, Pacific Grove, California, January 8, 2018.
 - “Peer Review Historical Addendum” (LIB200197) prepared by Meg Clovis, Monterey County, California, October 12, 2020.
 - “Geotechnical Investigation Design Phase” (LIB230168) prepared by Greg Bloom, Carmel, California, June 29, 2022.
 - “Tree Assessment/Forest Management Plan” (LIB230167) prepared by Justin Ono, Pacific Grove, California, April 24, 2023.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on October 26, 2023 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development are found in Project File PLN220360.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, Cypress FPD, HCD-Environmental Services and Environmental Health Bureau. Conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) The property has a verified connection to the Carmel Area Wastewater District (CAWD) for public sewer. The applicants submitted a can and will serve letter from CAWD dated March 29, 2023.
 - c) The property has a verified connection to California-American Water (CalAm) for public drinking water utilities. The applicants have water credits totaling 0.234 acre feet per year and are proposing a fixture count using 0.202 acre feet per year. Therefore, the proposed fixture count is consistent with the existing water credits.
 - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development are found in Project File PLN220360.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No known violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on October 26, 2023 researched County records to assess if any violation exists on the subject property.
 - c) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220360.

5. **FINDING:** **CULTURAL RESOURCES** – The proposed project will not have any adverse impacts to archaeological or cultural resources.

- EVIDENCE:**
- a) Pursuant to Carmel Area CIP section 20.146.090, a Coastal Development Permit was added to the entitlement and an archaeological survey was prepared for this project due to the subject parcel being located within 750 feet of known archaeological resources.

- b) The subject parcel is located in a high archaeological sensitivity area and has undergone multiple archaeological investigations over the years. Archaeological Subsurface Testing (LIB180067) was completed for the demolition of the previous dwelling on the subject property and to provide analysis of future development. Eleven hand auger test probes, more or less evenly distributed over the subject parcel, were completed and the samples were analyzed. All eleven exploratory probes reached a depth of about 160 centimeters/5 feet below surface modern improvements. The results of the auger testing provided new information about the archaeologically sensitive area and was able to strengthen the author's confidence that redevelopment of the lot would not have an adverse impact on archaeological or cultural resources. This 2017 report determined the project site has a low potential to contain any significant resources that could yield new information important to our understanding of prehistory. No further presence/absence testing for significant archaeological resources was recommended.
- c) The applicants have proposed to sink the house two feet below ground with a one foot thick foundation. The proposed ground disturbance to accommodate the foundation and footing will not exceed 5 feet in depth. Therefore, there will be no ground disturbance at a depth not analyzed during the augur tests.
- d) The report did recommend archaeological monitoring for any future development due to the high archaeological sensitivity of the area, this recommendation has been implemented as a condition of approval (Condition No. 6) pursuant to section 20.146.090.D.2.a of the Carmel Area CIP.
- e) The County's standard archaeological/cultural resource condition has been applied to the project (Condition No. 3). In the event of a resource being uncovered at the site, work will be halted immediately within 50 meters of the find until a qualified professional archaeologist can evaluate it.
- f) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220360.

6. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Article 19 Section 15303 categorically exempts the construction of new structures including the first single family dwelling on a vacant lot.
 - b) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project:
 - The location of a project site is not located within an environmentally sensitive area that could result in damages to environmentally significant resources;
 - Successive projects of the same type and in the same place would not contribute to a significant cumulative impact (see Finding 5 and supporting evidence);

- There are no unusual circumstances regarding this project that would cause a significant effect to the environment (see Findings 1, 2 and 5);
 - The project site is not visible from any scenic highways, and the proposed development would not result in damages to scenic resources; and
 - The project site is not located on or near any hazardous waste sites listed in Section 65962.5 of the Government Code.
- c) Staff conducted a site inspection on October 26, 2023 to verify that the site and proposed project meet the criteria for an exemption.
- d) See supporting Finding Nos. 1, 2, and 5. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220360.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to/by the Board of Supervisors and the California Coastal Commission (CCC).
- EVIDENCE:**
- a) Pursuant to Title 20 section 20.86.030, an aggrieved party may appeal a decision of the Zoning Administrator to the Board of Supervisors.
 - b) Title 20 section 20.86.080 states an applicant or any aggrieved person who has exhausted all County appeals, or any two (2) members of the California Coastal Commission, may appeal any approved project located within 300 feet of the inland extent of any beach or of the mean high tide line of the sea. The project parcel is within 300 feet of the inland extent of the beach.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Find the project exempt from CEQA pursuant to section 15303, new structures; and
- 2) Approve a Combined Development Permit consisting of a:
 - a. Coastal Administrative and Design Approval to allow demolition of a 425 square foot garage, and construction of a 3,350 square foot two-story single-family dwelling inclusive of a 465 square foot attached two-car garage; and
 - b. Coastal Development Permit to allow development within 750 feet of a known archaeological resource.

Said decision is to be in substantial conformance with the attached plan and subject to the attached conditions which are incorporated herein by reference.

PASSED AND ADOPTED this 29th day of February, 2024:

DocuSigned by:

 9D46DC219AC247C...
 Mike Novo AICP, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON AUGUST 1, 2024.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE AUGUST 12, 2024.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD- Planning and HCD- Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220360

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN220360) allows demolition of a 425 square foot garage, and construction of a 3,350 square foot two-story single-family dwelling inclusive of a 465 square foot attached two-car garage and development within 750 feet of a known archaeological resource. The property is located at 26317, Carmel (Assessor's Parcel Number 009-442-019-000), Carmel Area Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. The County shall allow flexibility to re-site the main dwelling up to two feet north toward Stewart Way and sink the house two feet below the existing grade. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number 24-009) was approved by the Zoning Administrator for Assessor's Parcel Number 009-442-019-000 on February 29, 2024. The permit was granted subject to 11 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

6. PD016 - NOTICE OF REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:
"An Archaeological Subsurface Testing report (Library No. LIB180067), was prepared by John Schlagheck on December 1, 2017 and is on file in Monterey County HCD - Planning. All development shall be in accordance with this report."

"A Tree Assessment/Forest Management Plan (Library No. LIB230167), was prepared by Justin Ono on April 24, 2023 and is on file in Monterey County HCD - Planning. All development shall be in accordance with this report."

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

7. PW0005 – DRIVEWAY IMPROVEMENTS

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Construct driveway connection(s) to Scenic Road. The design and construction is subject to the approval of the HCD-PWFP. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the HCD-PWFP, obtain an encroachment permit from the HCD -PWFP prior to issuance of building or grading permits, and construct and complete improvements prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

8. PW0031 – BOUNDARY SURVEY

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Owner/Applicant shall have a professional land surveyor perform a boundary survey of the easterly and southerly boundary line(s) of the subject parcel and have said lines monumented.

Compliance or Monitoring Action to be Performed: Prior to foundation inspection, Owner/Applicant shall have a professional land surveyor survey and monument the easterly and southerly boundary line of the subject parcel and provide evidence to the County Surveyor of conformance to the setbacks shown on the approved Site Plan. The surveyor shall be responsible for compliance with the requirements of Section 8762 of the California Business and Professions Code (PLS Act).

9. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

10. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management

11. PDSP001 – HEIGHT VERIFICATION (NON-STANDARD)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Condition / Mitigation Monitoring Measure: In order to address concerns regarding private views by the neighbors, the height of the main residence shall be no taller than 14'-6" above average natural grade. The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to HCD-Building Services for review and approval, that the height of the structure from the benchmark is no taller than 14'-6".

Compliance or Monitoring Action to be Performed: Compliance or Monitoring Action to be Performed: Prior to the issuance of construction permits, the shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the applicant shall provide evidence from a licensed civil engineer or surveyor to HCD-Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to final inspection, the applicant shall provide evidence from a licensed civil engineer or surveyor to HCD-Building Services for review and approval, that the height of of the structure(s) from the benchmark is consistent with what was approved on the building permit.

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SCENIC ROAD RESIDENCE



PIECHOTA
architecture

367 9th St., Suite B San Francisco, 94103 Ph 415.5517600

PRELIMINARY
NOT FOR CONSTRUCTION

SCENIC ROAD RESIDENCE
26317 SCENIC ROAD
CARMEL, CA 93923
APN: 009-442-019-000

PROJECT TEAM	PROJECT TEAM - CONTINUED	DRAWING LIST INDEX		PROJECT SCOPE	SITE LOCATION MAP																																															
<p>OWNER THE 26317 SCENIC ROAD REVOCABLE TRUST C/O THE LAW OFFICE OF AENGUS L. JEFFERS 215 W. FRANKLIN ST., 5TH FLOOR MONTEREY, CA 93940 OFFICE (831) 649-6100 EMAIL aengus@aengusjeffers.com</p> <p>ARCHITECT DANIEL PIECHOTA, PRINCIPAL AARON LEVINE, PROJECT MANAGER PIECHOTA ARCHITECTURE 367 9TH ST., SUITE B SAN FRANCISCO, CA, 94103 OFFICE (415) 551-7608 (Daniel) (415) 551-7617 (Aaron) MOBILE (415) 609-7088 (Aaron) FAX (415) 551-7601 EMAIL daniel@danielpiechota.com aaron@danielpiechota.com</p> <p>CONTRACTOR DAVID STOCKER, OWNER STOCKER & ALLAIRE 21 MANDEVILLE COURT MONTEREY, CA 93940 OFFICE (831) 375-1890 MOBILE (831) 595-1171 EMAIL dstocker@stockerallaire.com</p> <p>CIVIL ENGINEER MARK STERNER, PROJECT ENGINEER L&S ENGINEERING AND SURVEYING 2489 GARDEN ROAD, SUITE G MONTEREY, CA 93940 OFFICE (831) 655-2723 EMAIL mark@landsengineers.com</p> <p>LANDSCAPE ARCHITECT JONI L. JANECKI, PRESIDENT PAIGE PEDERSEN, PROJECT MANAGER JONI L. JANECKI & ASSOCIATES, INC. 515 SWIFT ST. SANTA CRUZ, CA 95060 OFFICE (831) 423-6040 X201 (Joni) (831) 423-6040 X209 (Paige) MOBILE (831) 588-1495 (Joni) EMAIL jj@jja.com ppedersen@jja.com</p> <p>STRUCTURAL ENGINEER JASON POWERS, PRINCIPAL ALEX ALAURA REYES, PROJECT ENGINEER ZFA STRUCTURAL ENGINEERS 601 MONTGOMERY STREET, #1450 SAN FRANCISCO, CALIFORNIA 94111 OFFICE (415) 243-4091 X222 (Alex) MOBILE (415) 314-4482 (Jason) EMAIL jasonp@zfa.com alexar@zfa.com</p>	<p>MECHANICAL ENGINEER PHILIP NEUMANN PHILIP NEUMANN ENERGY DESIGN 150 LITTLEFIELD ROAD MONTEREY, CA 93940 OFFICE (415) 680-7015 EMAIL philip@philipneumann.com</p> <p>SURVEYOR DAVID T. EDSON, LICENSED LAND SURVEYOR CENTRAL COAST SURVEYORS 5 HARRIS COURT, SUITE N-11 MONTEREY, CA 93940 OFFICE (831) 394-4930</p> <p>ARBORIST JUSTIN ONO, LICENSED ARBORIST ONO CONSULTING PO BOX 508 PACIFIC GROVE, CA 93950-0508 EMAIL jonococonsulting@gmail.com</p>	<p>GENERAL G0.1 TITLE SHEET G0.2 GENERAL NOTES G0.3 EXTERIOR MATERIAL PALETTE G0.4 EXTERIOR MATERIAL PALETTE G0.5 EXTERIOR MATERIAL PALETTE</p> <p>ARCHITECTURAL A1.1 EXISTING / DEMO SITE PLAN A1.2 PROPOSED SITE PLAN A2.1 LOWER LEVEL FLOOR PLAN A2.2 UPPER LEVEL FLOOR PLAN A2.3 ROOF PLAN A2.4 ENLARGED FLOOR PLAN - LOWER LEVEL A2.5 ENLARGED FLOOR PLAN - UPPER LEVEL A3.1 EXT. ELEVATIONS</p> <p>CIVIL C1 SITE DEMOLITION PLAN C2 SITE GRADING PLAN C3 SITE DRAINAGE AND UTILITY PLAN C4 EROSION CONTROL PLAN C5 CONSTRUCTION MANAGEMENT PLAN</p> <p>LANDSCAPE L1.0 LANDSCAPE PLAN L2.0 PLANTING PLAN</p>		<p>PROJECT SCOPE</p> <p>THE SCOPE OF WORK UNDER THIS BUILDING PERMIT SHALL INCLUDE ALL THE WORK NECESSARY TO CONSTRUCT THE PROPOSED 2-STORY SINGLE FAMILY RESIDENCE, INCLUDING ALL SURROUNDING LANDSCAPING, STORM DRAINAGE, AND ALL SITE UTILITIES.</p> <p>LEGAL</p> <p>LOCATION: 26317 SCENIC ROAD CARMEL, CA 93923 ACCESSOR'S PARCEL NO: 009-442-019-000 JURISDICTION: COUNTY OF MONTEREY ZONING DISTRICT: MDR2-D(18)(C2) USE: SINGLE FAMILY RESIDENTIAL DWELLING</p> <p>SITE DATA</p> <p>LOT/PARCEL SIZE: 7,496 SQ. FT. (100%)</p> <p>BUILDING AREA CALCULATIONS (GROSS SQUARE FEET)</p> <table border="1"> <thead> <tr> <th></th> <th>PROPOSED</th> <th>ALLOWED</th> </tr> </thead> <tbody> <tr> <td>LOT COVERAGE</td> <td>2,621 SQ. FT. (35%)</td> <td>2,623 SQ. FT. (35%)</td> </tr> <tr> <td>FLOOR AREA</td> <td>3,350 SQ. FT. (44.7%)</td> <td>3373 SQ. FT. (45%)</td> </tr> <tr> <td>LOWER LEVEL</td> <td>550 SQ. FT.</td> <td>--</td> </tr> <tr> <td>UPPER LEVEL</td> <td>2335 SQ. FT.</td> <td>--</td> </tr> <tr> <td>GARAGE</td> <td>465 SQ. FT.</td> <td>--</td> </tr> </tbody> </table> <p>BUILDING HEIGHT LIMIT: 18'-0" ABOVE AVERAGE GRADE PROPOSED HEIGHT: 16'-6" ABOVE AVERAGE GRADE</p> <p>COVERED PARKING: 2 (COVERED)</p> <p>FRONT SETBACK: 20'-0" (EXISTING AND PROPOSED) SIDE SETBACKS (BACK TO BACK CORNER LOT): 5'-0" (EXISTING AND PROPOSED) REAR SETBACK: 10'-0" (EXISTING AND PROPOSED)</p> <p>OCCUPANCY GROUP RESIDENCE: R-3 GARAGE: U</p> <p>CONSTRUCTION TYPE TYPE VB (SPRINKLERED)</p>		PROPOSED	ALLOWED	LOT COVERAGE	2,621 SQ. FT. (35%)	2,623 SQ. FT. (35%)	FLOOR AREA	3,350 SQ. FT. (44.7%)	3373 SQ. FT. (45%)	LOWER LEVEL	550 SQ. FT.	--	UPPER LEVEL	2335 SQ. FT.	--	GARAGE	465 SQ. FT.	--	<p>SITE LOCATION MAP</p> <p>APPLICABLE BUILDING CODES</p> <p>ALL WORK NOTED SHALL BE IN FULL ACCORD AND COMPLY WITH THE LATEST RULES, REGULATIONS, ORDINANCES, CODES AND STANDARDS LISTED BELOW AND ANY AND ALL LOCAL CODES AND ORDINANCES CURRENTLY IN EFFECT IN THE COUNTY OF MONTEREY, CA.</p> <ul style="list-style-type: none"> 2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA FIRE CODE (CFC) 2022 CALIFORNIA PLUMBING CODES (CPC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA RESIDENTIAL BUILDING CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE <p>OPERATION & MAINTENANCE MANUALS:</p> <p>THE COPY OF THE OPERATION AND MAINTENANCE MANUAL IS TO BE PROVIDED TO THE BUILDING INSPECTOR AND BUILDING OCCUPANT DURING FINAL INSPECTION</p> <p>WORK NOT INCLUDED UNDER THIS PERMIT: (SEPARATE PLAN CHECK & PERMIT REQUIRED)</p> <p>SOLAR PERMIT</p>	<p>TITLE SHEET</p> <table border="1"> <thead> <tr> <th>DRAWING ISSUE:</th> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td></td> <td>1</td> <td>12/05/2023</td> <td>PRE-APPLICATION PACKAGE</td> </tr> <tr> <td></td> <td>2</td> <td>05/02/2023</td> <td>PLANNING SUBMITTAL</td> </tr> <tr> <td></td> <td>3</td> <td></td> <td></td> </tr> <tr> <td></td> <td>4</td> <td></td> <td></td> </tr> <tr> <td></td> <td>5</td> <td></td> <td></td> </tr> <tr> <td></td> <td>6</td> <td></td> <td></td> </tr> </tbody> </table> <p>DATE: 2/7/24 SCALE: AS NOTED</p> <p>DRAWING BY: AL CHECKED BY: DP</p> <p>G0.1</p>	DRAWING ISSUE:	NO.	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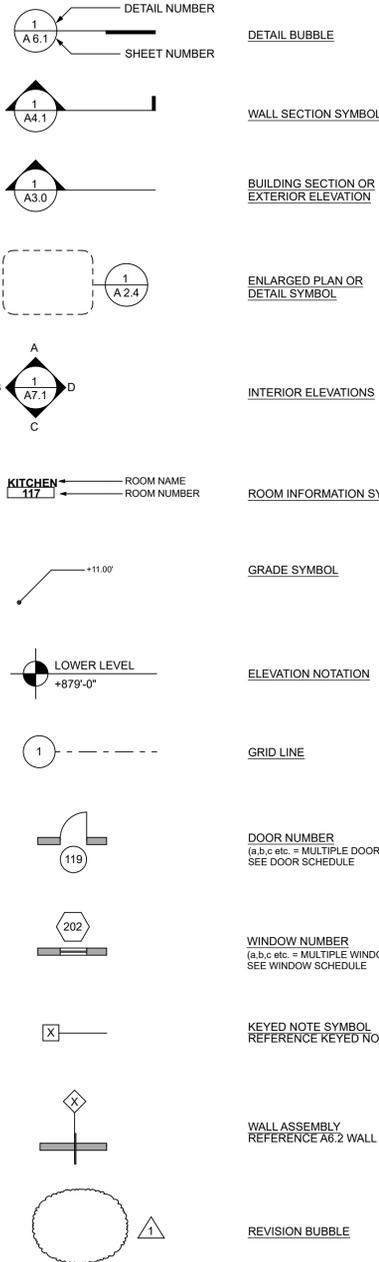
LEGEND

&	And	FTG.	Footing	STD.	Standard
∠	Angle	FURR.	Furring	STL.	Steel
@	At	GA.	Gauge	STOR.	Storage
⊔	Centerline	GALV.	Galvanized	STR.L.	Structural
⌀	Diameter or Round	G.B.	Grab Bar	SUSP.	Suspended
#	Pound or Number	GL.	Glass	SYM.	Symmetrical
		GND.	Ground	T.B.	Towel Bar
ACOUS.	Acoustical	GR.	Grade	T.C.	Top of Curb
A.D.	Area Drain	GYP.	Gypsum	TEL.	Telephone
ADC	Automatic Door Control	H.B.	Hose Bibb	TER.	Terrazzo
ADO	Automatic Door Operator	H.C.	Hollow Core	T.&G.	Tongue and Groove
ADJ.	Adjustable	HD.	Heat Detector	T.J.I.	Truss Joist
A.F.F.	Above Finish Floor	HDWD.	Hardwood	THK.	Thick
A.F.G.	Above Finish Grade	HDWE.	Hardware	T.O.	Top of
AGGR.	Aggregate	HT.	Height	T.O.C.	Top of Curb
ALUM.	Aluminum	H.M.	Hollow Metal	T.O.P.	Top of Plate
AP.	Acoustical Panel	HORIZ.	Horizontal	T.O.S.	Top of Slab
APPROX.	Approximate	HR.	Hour	T.P.	Top of Pavement
ARCH.	Architectural	INSUL.	Insulation	TRD.	Tread
AT.	Acoustical Tile	INT.	Interior	T.V.	Television
ASPH.	Asphalt	IRRIG.	Irrigation	T.W.	Top of Wall
		JAN.	Janitor	TYP.	Typical
BD.	Board	JT.	Joint	U.O.N.	Unless Otherwise Noted
BITUM.	Bituminous	KIT.	Kitchen	VCT.	Vinyl Composition Tile
BLDG.	Building	KIT.M.	Kitchen Machine	VERT.	Vertical
BLK.	Block	LAM.	Laminated	VEST.	Vestibule
BLKG.	Blocking	LAV.	Lavatory	V.I.F.	Verify In Field
BM.	Beam	LT.	Light	W.	Water
B.O.	Bottom of	MAX.	Maximum	W/	With
BOT.	Bottom	M.D.F.	Medium Density Fiber Board	W.C.	Water Closet
		MECH.	Mechanical	WD.	Wood
CAB.	Cabinet	MEMB.	Membrane	WDB.	Wood Base
C.B.	Catch Basin	MTL.	Metal	WH	Water Heater
C.B.U.	Cementitious Backer Unit	MFR.	Manufacturer	W/O	Without
CEM.	Cement	MH.	Manhole	W.O.	Where Occurs
CER.	Ceramic	MIN.	Minimum	WP.	Waterproof
C.G.	Corner Guard	MIR.	Mirror	WSCT.	Wainscot
C.I.	Cast Iron	MISC.	Miscellaneous	WT.	Weight
C.J.	Control Joint	M.O.	Masonry Opening		
CLG.	Ceiling	MTD.	Mounted		
CLKG.	Caulking	MUL.	Mullion		
CLOS.	Closet	MW/OVEN.	Microwave Oven		
CLR.	Clear				
CMU	Concrete Masonry Unit				
CNTR.	Counter				
C.O.	Cased Opening				
C.O.	Cased Opening				
COF.	Coffee Machine				
CONC.	Concrete				
CONN.	Connection				
CONST.	Construction				
CONT.	Continuous				
CS.	Concrete Sealer				
CTR.	Center				
CTSK.	Countersunk				
DBL.	Double				
DEPT.	Department				
DET.	Detail				
DIA.	Diameter				
DIM.	Dimension				
DISP.	Dispenser				
DN.	Down				
D.O.	Door Opening				
DR.	Door				
DS.	Downspout				
D.S.P.	Dry Standpipe				
DW.	Dishwasher				
DWG.	Drawing				
DWR.	Drawer				
(E)	Existing				
E.	Electrical				
EA.	Each				
E.J.	Expansion Joint				
EL.	Elevation				
ELEC.	Electrical				
EMER.	Emergency				
ENCL.	Enclosure				
E.P.	Electrical Panelboard				
EQ.	Equal				
EQPT.	Equipment				
EXP.	Expansion				
EXPO.	Exposed				
EXIST.	Existing				
EXT.	Exterior				
F.A.P.	Fire Alarm Panel				
F.A.	Fire Alarm				
F.B.	Flat Bar				
F.D.	Floor Drain				
FDN.	Foundation				
F.E.	Fire Extinguisher				
F.G.R.	Fiberglass Reinforced				
FIN.	Finish				
FL.	Floor				
FLASH.	Flashing				
FLUOR.	Fluorescent				
F.O.C.	Face of Concrete				
F.O.F.	Face of Finish				
F.O.S.	Face of Studs				
FP	Fireplace				
FRF.	Fireproof				
FRZ.	Freezer				
F.S.	Floor Sink				
F.S.	Full Size				
FT.	Foot or Feet				

DRAWING REFERENCES

S.A.D.	See Architectural Drawings
S.C.D.	See Civil Drawings
S.E.D.	See Electrical Drawings
S.L.D.	See Landscape Drawings
S.M.D.	See Mechanical Drawings
S.P.D.	See Plumbing Drawings
S.S.D.	See Structural Drawings

ARCHITECTURAL SYMBOLS



DIMENSIONING CONVENTIONS

- DIMENSIONS AS NOTED IN THE PLANS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- DIMENSIONS ARE FROM GRID LINE TO FACE OF CONCRETE OR STUD ON PLANS AND FACE OF FINISH ON ALL OTHER DRAWINGS. UNLESS OTHERWISE NOTED, ANY ERRORS, OMISSIONS, OR AMBIGUITIES IN THE PLANS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. SEE ENLARGED PLANS, FOR ADDITIONAL DIMENSIONS & INFORMATION.
- DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE PLANS GOVERN OVER SMALL SCALE PLANS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. IF UNABLE TO LOCATE THE DIMENSIONS FOR ANY ITEM OF WORK, CONSULT THE ARCHITECT PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS ON ELEVATIONS ARE INDICATED FROM FINISH FLOOR ELEVATION TO FIXTURE &/OR FINISH WALL UNLESS OTHERWISE NOTED.
- ALL HEIGHTS ARE DIMENSIONED FROM THE TOP OF SLAB OR PLYWOOD, UNLESS NOTED "A.F.F."
- DIMENSIONS ARE NOT ADJUSTABLE, UNLESS NOTED (+/-), WITHOUT ARCHITECT'S WRITTEN APPROVAL.
- EXCEPT WHERE SPECIFICALLY NOTED TO THE CONTRARY, ALL DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS CONFORM TO THE FOLLOWING CONVENTIONS.
 - STRUCTURAL OR DIMENSIONAL GRID LINES
 - CENTERLINE OF STEEL
 - CENTERLINE OF DOOR, WINDOW, OR CASSED OPENING
- WHERE WALLS AND / OR PARTITIONS OF UNEQUAL THICKNESS ABUT, ALIGN EXPOSED FACES, UNLESS OTHERWISE NOTED.

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING, PLUMBING, MECHANICAL AND FIRE CODES, 2022 CALIFORNIA ELECTRICAL CODE AND THE 2022 CALIFORNIA ENERGY CODE.
- DIMENSIONS AS NOTED IN THE PLANS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS ARE FROM GRID LINE TO FACE OF CONCRETE OR STUD UNLESS OTHERWISE NOTED. ANY ERRORS, OMISSIONS, OR AMBIGUITIES IN THE PLANS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. SEE ENLARGED PLANS, FOR ADDITIONAL DIMENSIONS & INFORMATION.
- ALL DIMENSIONS ON ELEVATIONS ARE INDICATED FROM FINISH FLOOR ELEVATION TO FIXTURE &/OR FINISH WALL UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS AT THE JOB SITE DURING CONSTRUCTION FOR THE USE OF ALL TRADES AND FOR FIELD INSPECTOR'S REVIEW. CONSTRUCTION DOCUMENTS SHALL INCLUDE THE PLANS & SPECIFICATIONS. PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES AND SEQUENCES OF CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE SOLE RESPONSIBILITY FOR ALL SAFETY PROGRAMS AND PROCEDURES DURING CONSTRUCTION. THE CONTRACTOR MUST PROVIDE ADEQUATE SHORING AND BRACING OF THE STRUCTURE DURING CONSTRUCTION AND SHALL MAINTAIN THE SHORING AND BRACING UNTIL THE NEW PERMANENT STRUCTURE CAN PROVIDE ADEQUATE VERTICAL AND LATERAL SUPPORT.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY PORTION OF THE WORK WHICH IS PERFORMED UNDER A PERMIT ISSUED BY REGULATORY AUTHORITY OF MUNICIPALITY IN WHICH THE PROJECT IS LOCATED.
- THE GENERAL CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATORY CITY AND STATE AGENCIES, UON.
- THE GENERAL CONTRACTOR SHALL APPLY, PAY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY ALL APPLICABLE BUILDING CODES AND REGULATORY CITY AND STATE AGENCIES, UON.
- THE CONTRACTOR AND SUBCONTRACTOR SHALL PURCHASE AND MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKERS COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE CERTIFICATES SHALL NAME THE OWNER AS ADDITIONALLY INSURED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK INCLUDING BUT NOT LIMITED TO THE PROTECTION OF PEDESTRIANS AND ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS AND THE CONTRACT DOCUMENTS.
- THROUGHOUT THE DURATION OF THE PROJECT THE CONTRACTOR SHALL REFRAIN FROM ACTIONS THAT COULD LEAD TO THE FILING OF A CLAIM OF LIEN AGAINST THE OWNER BY SUBCONTRACTORS OR SUPPLIERS OF MATERIALS, LABOR, SERVICE, OR EQUIPMENT OR ANY OTHER INDIVIDUAL OR COMPANY SO ENTITLED UNDER GOVERNING LAWS AND REGULATIONS UNLESS HE CAN SHOW REASONABLE AND JUSTIFIABLE CAUSE. APPROVAL FOR FINAL PAYMENT SHALL BE CONTINGENT UPON THE CONTRACTOR'S OBTAINING AND FURNISHING TO THE ARCHITECT UPON REQUEST THE SIGNED RELEASE FROM SUCH INDIVIDUALS OR COMPANIES.
- INFORMATION RELATED TO THE EXISTING CONDITIONS GIVEN HEREIN WAS OBTAINED FROM OWNER-PROVIDED DOCUMENTATION AVAILABLE TO THE ARCHITECT AT THE TIME OF DESIGN. THE ACCURACY OF SUCH INFORMATION HAS NOT BEEN EXHAUSTIVELY VERIFIED. DRAWINGS AND SPECIFICATIONS ARE INTENDED FOR ASSISTANCE AND GUIDANCE BUT EXACT DIMENSIONS AND ELEVATIONS SHALL BE GOVERNED BY ACTUAL FIELD CONDITIONS AND SHALL BE CHECKED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND FOR CONFIRMING THAT THE PROJECT IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH THE CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR SHALL SUBMIT THEM IN WRITING AND IS REQUESTING THE ARCHITECT TO PROVIDE A WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. NO INFORMATION IS CURRENTLY AVAILABLE FOR THE ADJACENT FOUNDATIONS.
- COMMENCEMENT OF WORK BY ANY TRADE SHALL CONSTITUTE CONTRACTOR'S DETERMINATION THAT CONDITIONS ARE ACCEPTABLE FOR SUCH WORK.
- SHOULD ANY PORTION OF THE CONTRACT DOCUMENTS PROVE TO BE, FOR WHATEVER REASON, UNENFORCEABLE, SUCH UNENFORCEABILITY SHALL NOT EXTEND TO THE REMAINDER OF THE CONTRACT NOR SHALL IT VOID ANY OTHER PROVISIONS OF THE CONTRACT.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION. FAILURE TO OBTAIN AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE WILL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.
- SHOP AND FIELD WORK SHALL BE PERFORMED BY MECHANICS, CRAFTSMEN AND WORKERS SKILLED AND EXPERIENCED IN THE FABRICATION AND INSTALLATION OF THE WORK INVOLVED. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST, ESTABLISHED PRACTICE OF THE INDUSTRY STANDARD FOR THE TRADES INVOLVED U.O.N. IN DRAWINGS OR SPECIFICATIONS.
- ALL FURNISHED MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESECT FOR THE WORK IN QUESTION, U.O.N.
- CONTRACTOR SHALL INSTALL PRODUCTS AND APPLY FINISHES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS UNLESS DIRECTED OTHERWISE BY ARCHITECT.
- THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT CONTRACT DOCUMENTS OR, WHERE REQUIRED, APPROVED SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES FOR SUCH PORTION OF WORK.
- NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE DESPITE THE ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. REPLACEMENT OF DEFECTIVE WORK SHALL NOT BE LIMITED TO THE PROJECT WARRANTY PERIOD. SUCH WORK SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONSTRUCTION CONTRACT. NO PAYMENT EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- CONTRACTOR SHALL WAIVE "COMMON PRACTICE" AND "COMMON USAGE" AS CONSTRUCTION CRITERIA WHENEVER CONTRACT DOCUMENTS, GOVERNING CODES OR ORDINANCES REQUIRE GREATER QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR COMMON USAGE WOULD REQUIRE.
- THE DRAWINGS AND SPECIFICATIONS ARE COMPLIMENTARY. EVERY EFFORT HAS BEEN MADE TO COORDINATE THE DRAWINGS AND SPECIFICATION OF THE ARCHITECT AND THE CONSULTING ENGINEERS. IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB AND ANY OMISSIONS IN THESE NOTES OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES IMPLIED BY THE SCOPE OF WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED. ANY ITEM, INSTRUCTION, ETC., SHOWN IN ONE LOCATION SHALL BE REQUIRED AS IF SHOWN ON ALL APPLICABLE LOCATIONS. IN CASE OF DISCREPANCY, CONSULT WITH ARCHITECT BEFORE PROCEEDING.
- WHEN PORTIONS OF THE PROJECT ARE PERFORMED BY THE CONTRACTOR ON A "DESIGN-BUILD" BASIS, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN OF SUCH SYSTEMS AND FOR THE SECURING OF ALL ASSOCIATED PERMITS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE CONTRACTORS, WHO SHALL BE THE ENGINEERS OF RECORD FOR SUCH SYSTEMS. DESIGN-BUILD DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL U.O.N.
- CONTRACTOR SHALL SCHEDULE AND PERFORM THE WORK DURING NORMAL WORKING HOURS UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. ANY OVERTIME REQUIRED SHALL BE INCLUDED IN THE BID. NO CHANGES IN THE CONTRACT AMOUNT WILL BE AUTHORIZED AS A RESULT OF OVERTIME INCURRED.
- CONTRACTOR TO PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM THE CONSTRUCTION AREA. REMOVE AND LAWFULLY DISPOSE OFF SITE ALL RUBBISH AND DEBRIS RESULTING FROM THE CONTRACTOR'S OPERATIONS DAILY. REMOVE RUBBISH AND DEBRIS AS IT ACCUMULATES AND KEEP AREA BROOM CLEAN. CONTRACTOR SHALL NOT STORE RUBBISH ON SITE.
- CONTRACTOR SHALL PROVIDE PROTECTION TO ALL (E) FINISHED IN PUBLIC CORRIDORS AND SPACES, EXTERIOR GLAZING AND SITE FEATURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGES CAUSED THEREIN BY HO OR HIS SUBCONTRACTORS.
- THE CONTRACTOR SHALL PREPARE AND SUBMIT A CONSTRUCTION SCHEDULE FOR THE WORK GIVING APPROXIMATE ON-SITE DELIVERY DATES FOR CONSTRUCTION MATERIALS. THE SCHEDULE SHALL BE SUBMITTED AS PART OF THE BID. THE SCHEDULE WITH NECESSARY MODIFICATIONS AS MUTUALLY AGREEABLE TO OWNER AND CONTRACTOR SHALL BECOME PART OF THE CONTRACT FOR CONSTRUCTION. SUBSTITUTIONS BASED UPON DELIVERY DATES OF SPECIFIED PRODUCTS WILL BE ACCEPTED AFTER CONSTRUCTION HAS COMMENCED.
- THE WORK SHALL INCLUDE THE PROVISION OF ALL LABOR, MATERIALS, DELIVERY AND EQUIPMENT, INCLUDING SCAFFOLDING, SHORING, DISPOSAL, ETC. AS REQUIRED FOR A COMPLETE INSTALLATION OF THE WORK AS INDICATED HEREIN ON THE CONSTRUCTION DOCUMENTS. ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED OTHERWISE. GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE WITH THE CONTRACT DOCUMENTS AND MANUFACTURER'S REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS SUPERVISION AND SHALL MAINTAIN CURRENT CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL HAVE A SUPERINTENDANT AT THE JOB SITE WHENEVER ANY WORK IS BEING PERFORMED, IN ORDER TO PROVIDE CONSTANT SUPERVISION.
- CONTRACTOR SHALL PROVIDE A DEDICATED TELEPHONE AND FAX MACHINE ON SEPARATE LINES AT THE JOB SITE DURING THE ENTIRE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL PREPARE, REVIEW, APPROVE AND SUBMIT TO THE ARCHITECT ALL SHOP DRAWINGS. THE CONTRACTOR SHALL CHECK AND COORDINATE ALL PRODUCT DATA AND SAMPLES AND VERIFY THAT ALL MATERIALS, FIELD MEASUREMENTS AND RELATED FIELD CONSTRUCTION CRITERIA CONTAINED WITHIN SUCH SUBMITTALS CONFORMS WITH THE REQUIREMENTS OF WORK, THE PROJECT AND THE CONTRACT DOCUMENTS. USE THE ARCHITECT'S SUBMITTAL FORM. THE ARCHITECT WILL NOT REVIEW, APPROVE, OR TAKE THE APPROPRIATE ACTION ON SHOP DRAWINGS, PRODUCT DATA AND SAMPLES UNLESS THE CONTRACTOR HAS SUBMITTED A RECOMMENDATION FOR ACTION. SUBMIT SHOP DRAWINGS, MOCK-UPS, ASAMPLES AND OTHER REQUIRED SUBMITTALS IN A TIMELY MANNER SO AS NOT TO DELAY THE PROJECTS. ALLOW THE ARCHITECT ONE WEEK FOR REVIEW AND APPROVAL.
- REQUIRED SUBMITTALS SHALL INCLUDE, (BUT NOT LIMITED) TO THE FOLLOWING:
 - A. MILLWORK AND LAVATORY COUNTERTOPS AND HARDWARE
 - B. ALL INTERIOR AND EXTERIOR FINISHES WITHOUT EXCEPTION
 - C. DOORS, FRAMES, GLAZED PARTITIONS AND WINDOWS
 - D. ANY/ALL FINISH HARDWARE
 - E. LIFE SAFETY DEVICES
 - F. SECURITY DEVICES
 - G. LIGHT FIXTURES
 - H. ELECTRIC HARDWARE AND CONTROLS
 - I. PLUMBING FIXTURES AND FITTINGS
 - J. HVAC DISTRIBUTION AND EQUIPMENT
 - K. STRUCTURAL STEEL
 - L. INDOOR FIREPLACE AND VENT
 - M. METAL GUARDRAILS
 - N. APPLIANCES/ EQUIPMENT
 - O. BATHROOM ACCESSORIES
 - P. ANY/ALL MECH OR PLUMBING ROOF OR WALL VENTS
- CONTRACTOR SHALL SUBMIT A MINIMUM OF FOUR SAMPLES OR FOUR COPIES OF SCHEDULES AND DATA FOR EACH ITEM. SUBMIT ONE REPRODUCIBLE AND THREE PRINTS OF EACH SHOP DRAWING.
- THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S OR OWNER'S REVIEW OF THE SHOP DRAWINGS, PRODUCT DATA OR SAMPLES, UNLESS THE CONTRACTOR HAS SPECIFICALLY NOTIFIED THE ARCHITECT OF SUCH DEVIATION IN WRITING AT THE TIME OF SUBMISSION AND THE ARCHITECT HAS GIVEN SPECIFIC APPROVAL TO THE SPECIFIC DEVIATION.
- THERE SHALL BE NO SUBSTITUTION OF MATERIAL WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR APPROVED EQUAL" IS USED, THE ARCHITECT ALONE SHALL DETERMINE QUALITY BASED UPON COMPLETE INFORMATION SUBMITTED BY THE CONTRACTOR. SUBSTITUTIONS SHALL NOT BE MADE UNLESS DRAWINGS AND / OR CUT SHEETS ARE SUBMITTED TO THE ARCHITECT FOR APPROVAL. USE ARCHITECT'S SUBMITTAL FORMS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, TELEPHONE, ELECTRICAL, SECURITY, LIFE SAFETY AND SPRINKLER WORK SO AS TO ENSURE THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ALL EQUIPMENT ARE PROVIDED. WHERE CONFLICTS OCCUR, VERIFY WITH ARCHITECT BEFORE PROCEEDING.
- FINAL LOCATIONS OF ALL EQUIPMENT, PANEL BOARDS, FIXTURES, ETC. SHALL BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY, SMOOTHLY AND FREE OF VIBRATION. SEE MANUFACTURER'S RECOMMENDATIONS FOR ACOUSTICALLY SOUND CONTRUCTION METHODS.
- THE CONTRACTOR SHALL ASSIST THE OWNER IN THE INSTALLATION AND / OR COORDINATION OF ALL ITEMS NOT IN CONTRACT, INCLUDING BUT NOT LIMITED TO APPLIANCES, FIXTURES, TELEPHONE, AUDIO-VISUAL, CABLE TELEVISION, ARTWORKS, SIGNAGE, ETC.
- UPON COMPLETION OF THE WORK OR SHORTLY BEFORE, THE CONTRACTOR SHALL DIRECT THE ARCHITECT AND ENGINEERS TO PREPARE A "PUNCH LIST" OF CORRECTIONS AND EQUIPMENT UNSATISFACTORY AND / OR INCOMPLETE WORK. FINAL PAYMENT SHALL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS UNDER THE TERMS OF THE OWNER - CONTRACTOR AGREEMENT.
- THE CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF REPRODUCIBLES OF THE CONTRACT DRAWINGS FOR RECORD MARK-UP PURPOSES THROUGHOUT THE CONTRACT TIME AND SHALL MARK-UP THESE DRAWINGS DURING THE COURSE OF WORK TO SHOW BOTH CHANGES AND ACTUAL INSTALLATION IN SUFFICIENT FORM TO COMPRISE A COMPLETE RECORD FOR THE OWNER'S PURPOSES. CONTRACTOR SHALL GIVE PARTICULAR ATTENTION TO WORK WHICH WILL BE CONCEALED AND DIFFICULT TO MEASURE OR RECORD AT A LATER DATE, AND TO WORK WHICH MAY REQUIRE SERVICING OR REPLACEMENT DURING THE LIFE OF THE PROJECT. BIND PRINTS INTO MANAGEABLE SETS WITH DURABLE PAPER COVERS LABELED 'AS-BUILT' DRAWINGS.
- THE CONTRACTOR SHALL FURNISH TO THE OWNER TWO COPIES OF MANUFACTURER'S INSTRUCTION, OPERATION, AND MAINTENANCE MANUALS FOR PRODUCTS AND EQUIPMENT SPECIFIED IN THE CONTRACT DOCUMENTS, INCLUDING SPECIAL TOOLS, ACCESSORIES, SPARE PARTS, ETC.
- GENERAL CONTRACTOR SHALL PROVIDE WRITTEN ONE (1) YEAR WARRANTY FOR ALL WORK PERFORMED, EXCEPT WHERE NOTED OTHERWISE. WARRANTY PERIOD SHALL COMMENCE AT THE DATE OF OCCUPANCY.
- ALL WORK SHALL PROVIDE FOR MATERIAL EXPANSION AND CONTRACTION, SHRINKAGE, BUILDING MOVEMENTS SUFFICIENT TO PREVENT CRACKS, BUCKLING, WARPING, OR OTHER DEFORMATION DUE TO HUMIDITY AND TEMPERATURE CHANG AND NORMAL LOADING.
- ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE. THE DRAWINGS SHOW ONLY SPECIAL CONDITIONS TO ASSIST THE CONTRACTOR; THEY DO NOT ILLUSTRATE EVERY SUCH DETAIL.
- DETAILS SHALL GOVERN OTHER PLANS AND ELEVATIONS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. SEE DIMENSIONING NOTES.
- LIFE SAFETY SYSTEMS WORK SHALL BE PROVIDED ON A DESIGN-BUILD BASIS THROUGH THE GENERAL CONTRACTOR U.O.N. WORK TO COMPLY WITH APPLICABLE CODES.
- MECHANICAL AND PLUMBING SYSTEMS WORK SHALL BE PROVIDED ON A DESIGN / BUILD BASIS THROUGH THE GENERAL CONTRACTOR U.O.N. WORK TO COMPLY WITH APPLICABLE CODES. CONTRACTOR TO FORWARD CUTSHEETS OF UNITS PRIOR TO FIRST FLOOR FRAMING AND NOTIFY ARCHITECT OF CLEARANCES REQUIRED BY UNITS.
- ELECTRICAL SYSTEMS WORK SHALL BE PROVIDED ON A DESIGN / BUILD BASIS THROUGH THE GENERAL CONTRACTOR U.O.N. WORK TO COMPLY WITH APPLICABLE CODES.
- THE APPEARANCE OF THE ARCHITECT'S IDENTIFICATION BLOCK ON DRAWINGS PREPARED BY OTHER FIRMS SHALL NOT BE CONSTRUED TO INDICATE RESPONSIBILITY FOR THE CONTENTS OF SUCH DRAWINGS ON THE PART OF THE ARCHITECT, EXCEPT AS REQUIRED BY LAW.
- THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH THE ARCHITECT.
- THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS, LEAD PAINT, OR OTHER HAZARDOUS MATERIALS ON THE PROJECT SITE. PRIOR TO STARTING WORK, THE CONTRACTOR SHALL MAKE A GOOD FAITH EFFORT TO IDENTIFY ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED PRIOR TO STARTING WORK, OR DURING DEMOLITION, STOP WORK IMMEDIATELY AND CONTACT THE OWNER AND ARCHITECT FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.
- SAGAN PIECHOTA ARCHITECTURE DOES NOT CARRY LIABILITY INSURANCE TO COVER WORK DONE REGARDING THE IDENTIFICATION, REPAIR, REMOVAL OR ENCAPSULATION OF HAZARDOUS MATERIALS. ANY WORK RELATED TO THE IDENTIFICATION AND REMOVAL OF HAZARDOUS MATERIALS IS SPECIFICALLY EXCLUDED FROM THE SCOPE OF WORK REPRESENTED IN THESE DOCUMENTS AND SHALL BE PERFORMED UNDER SEPARATE CONTRACT.

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GENERAL NOTES

DATE: 5/2/23
SCALE: AS NOTED

DRAWING BY: AL
CHECKED BY: DP

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NOTE: RENDERINGS ARE REPRESENTATIONAL ONLY, REFER TO DRAWINGS FOR PROPOSED CONSTRUCTION DETAILS, TYP.

NORTH WEST CORNER

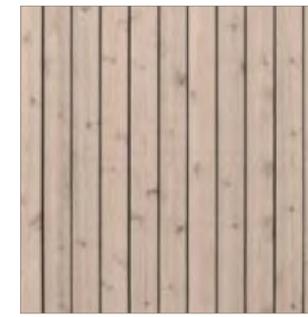
VIEW OF NORTH AND WEST FACADE LOOKING SOUTH EAST FROM STUART WAY



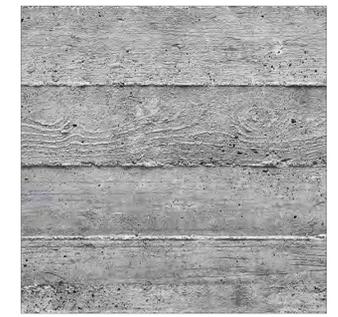
NOTE: RENDERINGS ARE REPRESENTATIONAL ONLY, REFER TO DRAWINGS FOR PROPOSED CONSTRUCTION DETAILS, TYP.

SOUTH WEST CORNER

VIEW OF SOUTH AND WEST FACADE LOOKING NORTH EAST



1 WOOD CLADDING - 2 1/2" PATTERN @ WALLS, 5 1/2" PATTERN @ FENCE & DECK. 7 1/4" PATTERN UNDER WD. SCREEN, WESTER RED CEDAR OR SIM., LIGHT/NATURAL FINISH



2 EXPOSED BOARD-FORMED CONCRETE WALL W/ HORIZONTAL 6"-8" PATTERN, TBD



3 ALUMINUM EXTERIOR DOORS & WINDOW FRAMES - THERMALLY BROKEN; DARK-ANODIZED COLOR



4 PATINAED ZINC METAL OR PAINTED METAL (ALT.) FASCIA; GREY COLOR TO MATCH ALUMINUM WINDOWS & DOORS,



5 VERTICAL WD. SCREEN OVER WINDOW SYSTEM - 2x WD. MEMBERS, SPECIES TBD; LIGHT/NATURAL FINISH



6 GREY PATINAED STEEL PLATE CANOPY, FINISH TO MATCH ADJ. ROOF FASCIA



7 CURVED CORTEN STEEL PLATE LANDSCAPE RETAINING WALL



8 CIRCULAR 1.5" DIAM. WD. ROD FENCE & ENTRY DECK GUARDRAIL, 3' O.C. SPACING, ATTACHED TO CONCRETE CURB FOOTING



9 3/8" P-GRAVEL, TYP. (S.L.D.); MIXED LIGHT/WARM GREY COLOR



10 GREY SAND-BLASTED CONCRETE; NATURAL LIGHT-GREY COLOR, DARK STAINED AT DRIVEWAY ONLY

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EXTERIOR MATERIAL PALETTE

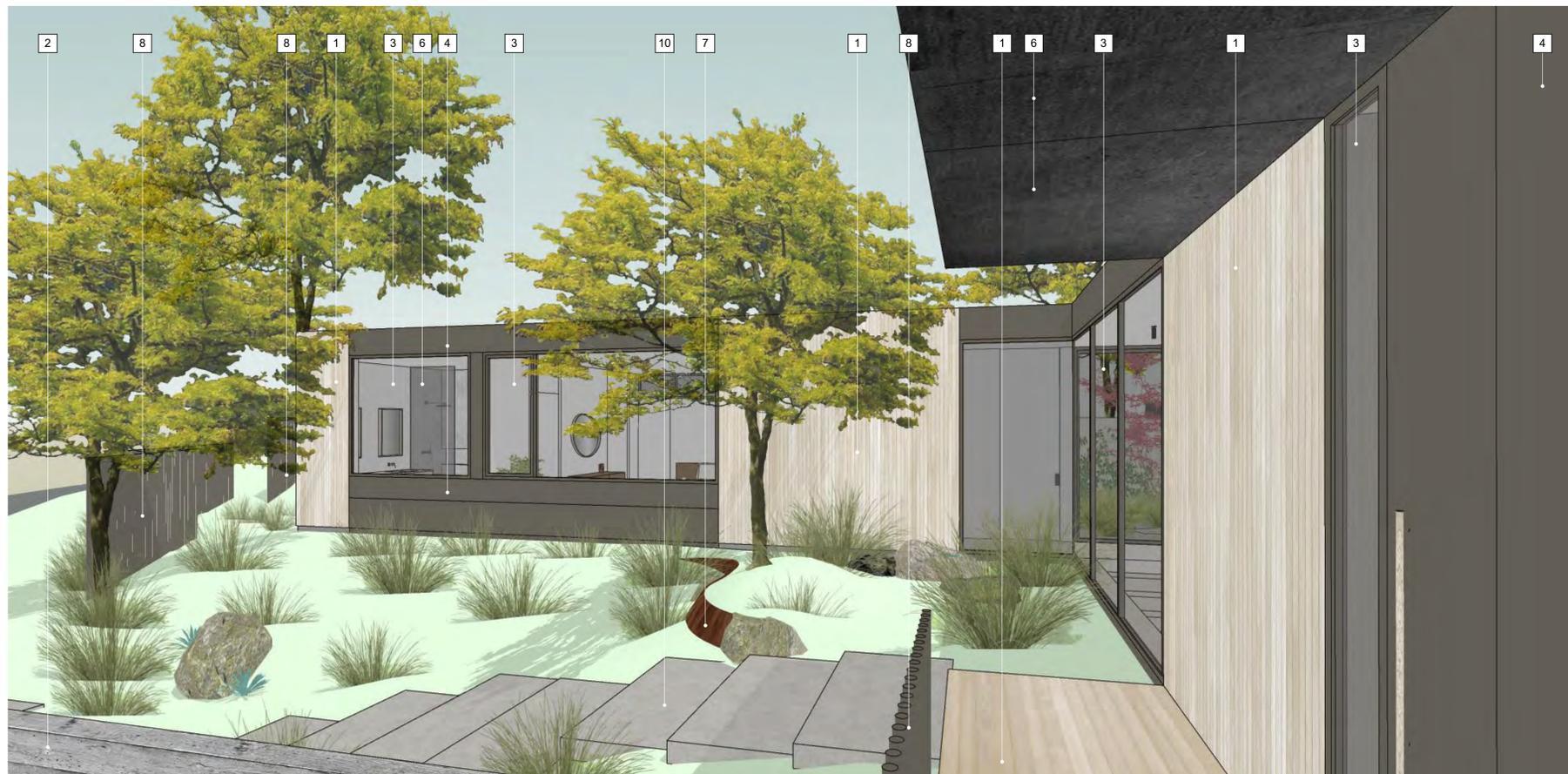
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CHECKED BY: DP

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NORTH ENTRY

VIEW OF NORTH AND WEST FACADE, LOOKING SOUTH FROM STUART WAY

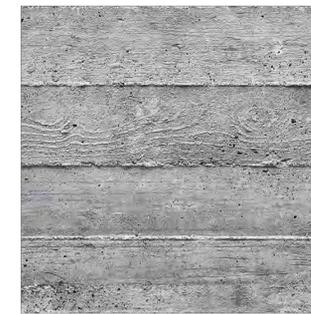


ENTRY DOOR

VIEW OF WEST FACADE LOOKING EAST FROM ENTRY DOOR



1 WOOD CLADDING - 2 1/2" PATTERN @ WALLS, 5 1/2" PATTERN @ FENCE & DECK. 7 1/4" PATTERN UNDER WD. SCREEN, WESTER RED CEDAR OR SIM., LIGHT/NATURAL FINISH



2 EXPOSED BOARD-FORMED CONCRETE WALL W/ HORIZONTAL 6"-8" PATTERN, TBD



3 ALUMINUM EXTERIOR DOORS & WINDOW FRAMES - THERMALLY BROKEN; DARK-ANODIZED COLOR



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EXTERIOR MATERIAL PALETTE

DATE: 2/7/24	DRAWING BY: AL
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REAR COURTYARD

VIEW OF EAST FACADE, LOOKING NORTH WEST NEAR REAR COURTYARD

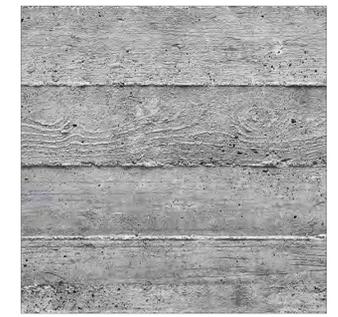


NORTH YARD

VIEW OF NORTH AND EAST FACADE LOOKING SOUTH WEST



1 WOOD CLADDING - 2 1/2" PATTERN @ WALLS, 5 1/2" PATTERN @ FENCE & DECK. 7 1/4" PATTERN UNDER WD. SCREEN, WESTER RED CEDAR OR SIM., LIGHT/NATURAL FINISH



2 EXPOSED BOARD-FORMED CONCRETE WALL W/ HORIZONTAL 6"-8" PATTERN, TBD



3 ALUMINUM EXTERIOR DOORS & WINDOW FRAMES - THERMALLY BROKEN; DARK-ANODIZED COLOR



4 PATINAED ZINC METAL OR PAINTED METAL (ALT.) FASCIA: GREY COLOR TO MATCH ALUMINUM WINDOWS & DOORS,



5 VERTICAL WD. SCREEN OVER WINDOW SYSTEM - 2x WD. MEMBERS, SPECIES TBD; LIGHT/NATURAL FINISH



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8 CIRCULAR 1.5" DIAM. WD. ROD FENCE & ENTRY DECK GUARDRAIL. 31" O.C. SPACING, ATTACHED TO CONCRETE CURB FOOTING



9 3/8" P-GRAVEL, TYP. (S.L.D.); MIXED LIGHT/WARM GREY COLOR



10 GREY SAND-BLASTED CONCRETE; NATURAL LIGHT-GREY COLOR, DARK STAINED AT DRIVEWAY ONLY

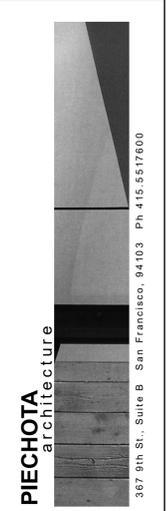
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DATE:	2/7/24	DRAWING BY:	AL
SCALE:	AS NOTED	CHECKED BY:	DP



- KEYED NOTES:**
- 1 (E) GARAGE STRUCTURE AND CHIMNEY STRUCTURE TO BE FULLY DEMOLISHED
 - 2 (E) CONCRETE PAD TO BE DEMOLISHED
 - 3 (E) PATHS TO BE DEMOLISHED
 - 4 (E) RETAINING WALLS TO BE DEMOLISHED
 - 5 ALL EXISTING TREES TO REMAIN
 - 6 (E) ALL LANDSCAPE HARDSCAPING AND INFRASTRUCTURE TO BE DEMOLISHED
 - 7 (E) LANDSCAPE FENCE TO BE DEMOLISHED
 - 8 (E) LANDSCAPE FENCE TO REMAIN

- SHEET NOTES:**
- 11 ALL STRUCTURES, RETAINING WALLS, PATHS, AND REMNANTS OF OLD STRUCTURES TO BE DEMOLISHED



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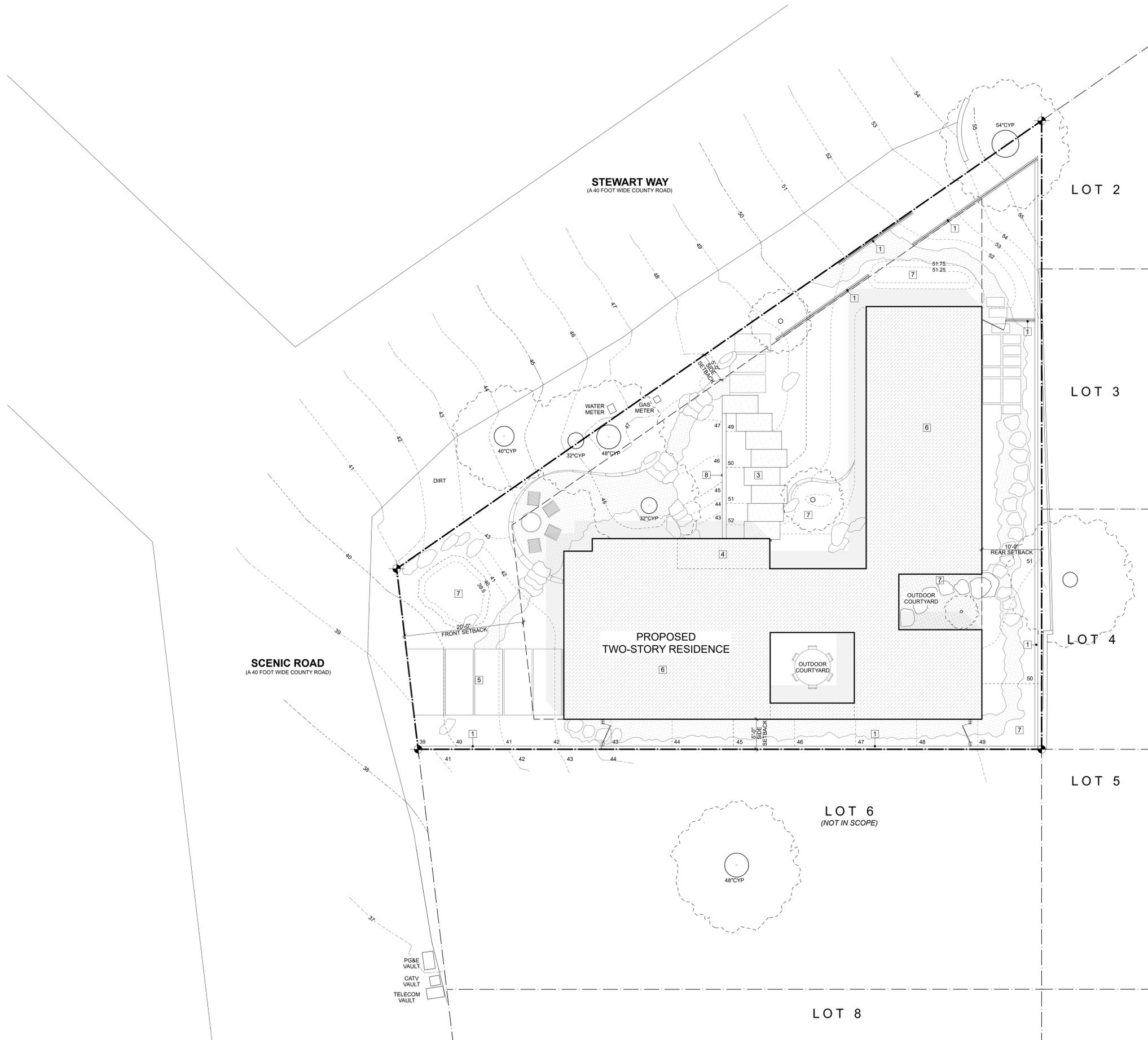
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EXISTING / DEMO SITE PLAN	
DATE: 5/2/23	DRAWING BY: AL
SCALE: AS NOTED	CHECKED BY: DP

EXISTING / DEMO SITE PLAN
SCALE: 1/8" = 1'-0"

A1.1



- KEYED NOTES:**
- 1 (N) LANDSCAPE FENCE
 - 2 (E) LANDSCAPE FENCE TO REMAIN
 - 3 (N) CONCRETE ENTRY PATH/STEPS
 - 4 STL. PLATE OVERHANG
 - 5 (N) CONCRETE DRIVEWAY PAVING FROM STREET TO GARAGE DOOR (5% MIN. SLOPE)
 - 6 (N) FLAT GRAVEL TOP ROOF
 - 7 SEE LANDSCAPE PLANS FOR ALL LANDSCAPE DESIGN AND DETAILS
 - 8 (N) CONCRETE LANDSCAPE WALL

- SHEET NOTES:**
- 1 ALL STRUCTURES, RETAINING WALLS, PATHS, AND REMNANTS OF OLD STRUCTURES TO BE DEMOLISHED

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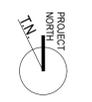
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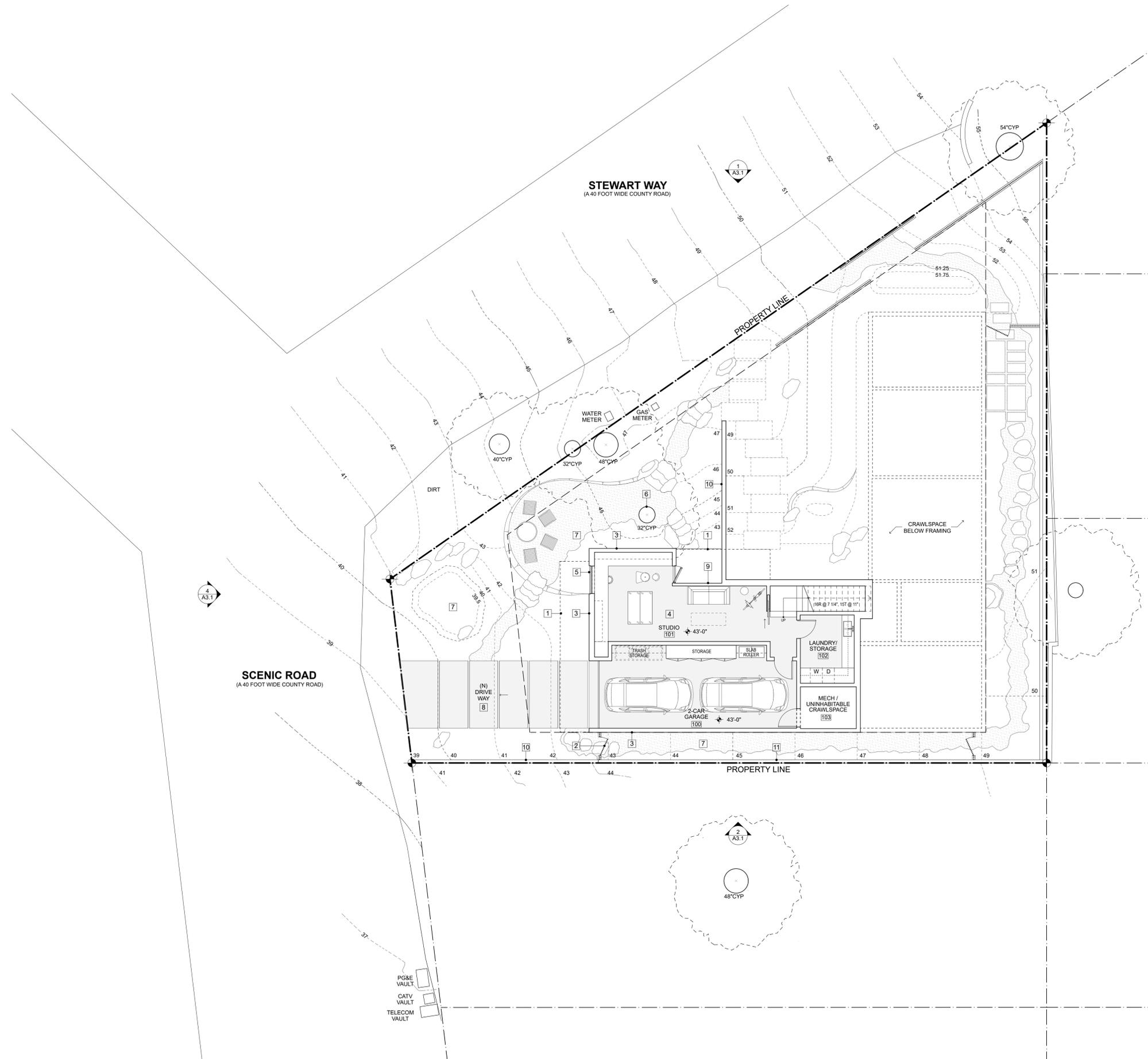
PROPOSED SITE PLAN

DATE: 5/2/23	DRAWING BY: AL
SCALE: AS NOTED	CHECKED BY: DP



PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

A1.2



- KEYED NOTES:**
- 1 LINE OF ROOF OVERHEAD
 - 2 PTD. ROUND POST FENCE & GATE OVER CONCRETE FOOTING
 - 3 3/4" X 3" CEDAR WOOD SIDING, VERTICAL GRAIN
 - 4 CONCRETE FLOOR, FINISH TBD
 - 5 EXT. ALUMINUM WINDOW/DOOR SYSTEM
 - 6 ALL EXISTING TREES TO REMAIN
 - 7 ALL LANDSCAPE DESIGN AND DETAILS BY LANDSCAPE ARCHITECT, S.L.D.
 - 8 POURED IN PLACE CONCRETE DRIVEWAY, SLOPE 5% MIN TO STREET
 - 9 MTL. CLADDING OVER WOOD FRAMED WALL
 - 10 BOARD-FORMED CONCRETE RETAINING WALL
 - 11 CEDAR WD. FENCE. FINISH TO MATCH EXT. WD. WALLS

LOWER LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

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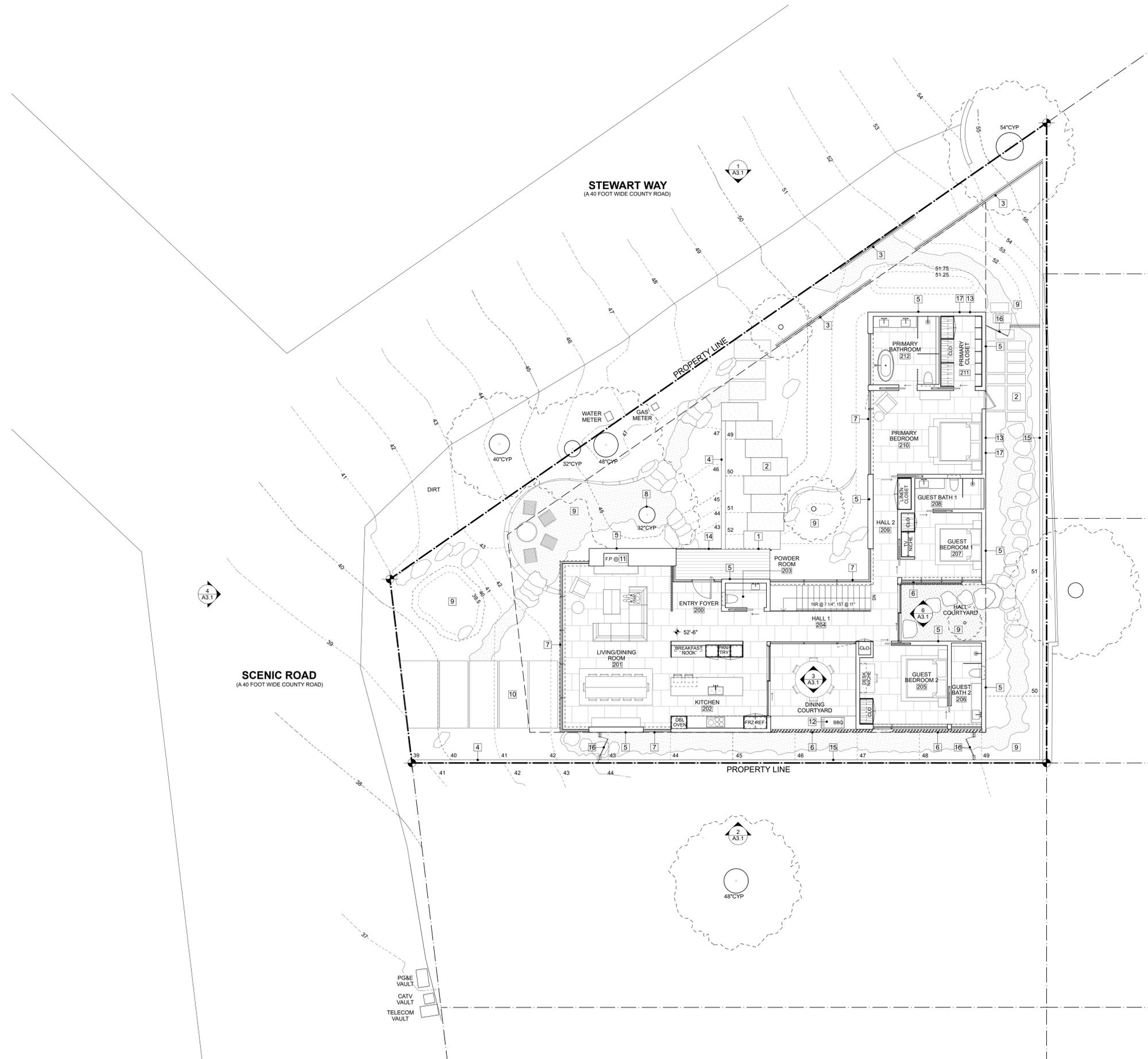
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PROJECT INFORMATION:

DATE:	DRAWING BY:
5/2/23	AL
SCALE:	CHECKED BY:
AS NOTED	DP

A2.1



- KEYED NOTES:**
- 1 LINE OF ROOF OVERHEAD
 - 2 POURED IN PLACE CONCRETE PATH/STEPS
 - 3 PTD. ROUND POST FENCE OVER CONCRETE FOOTING, 6' MAX. HEIGHT, SEE ELEVATIONS
 - 4 (N) BOARD FORMED CONCRETE RETAINING WALL
 - 5 3/4" X 3" CEDAR WOOD SIDING, VERTICAL GRAIN
 - 6 2x CEDAR WOOD SCREEN, SPACING TBD
 - 7 EXT. ALUMINUM WINDOW/DOOR SYSTEM
 - 8 ALL EXISTING TREES TO REMAIN
 - 9 ALL LANDSCAPE DESIGN AND DETAILS BY LANDSCAPE ARCHITECT, S.L.D.
 - 10 POURED IN PLACE CONCRETE DRIVEWAY, SLOPE 5% MIN TO STREET
 - 11 GAS FIREPLACE, SPEC TBD
 - 12 OUTDOOR BBQ IN OPEN AIR COURTYARD
 - 13 FIXED CLERESTORY WINDOWS ABOVE, SEE ELEVATIONS
 - 14 PTD. ROUND POST GUARDRAIL
 - 15 CEDAR FENCE @ PROPERTY LINE, 6' MAX HEIGHT
 - 16 PTD. ROUND POST FENCE DOOR
 - 17 MTL. CLADDING OVER WOOD FRAMED WALL

PRELIMINARY
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UPPER LEVEL FLOOR PLAN

DATE: 5/2/23	DRAWING BY: AL
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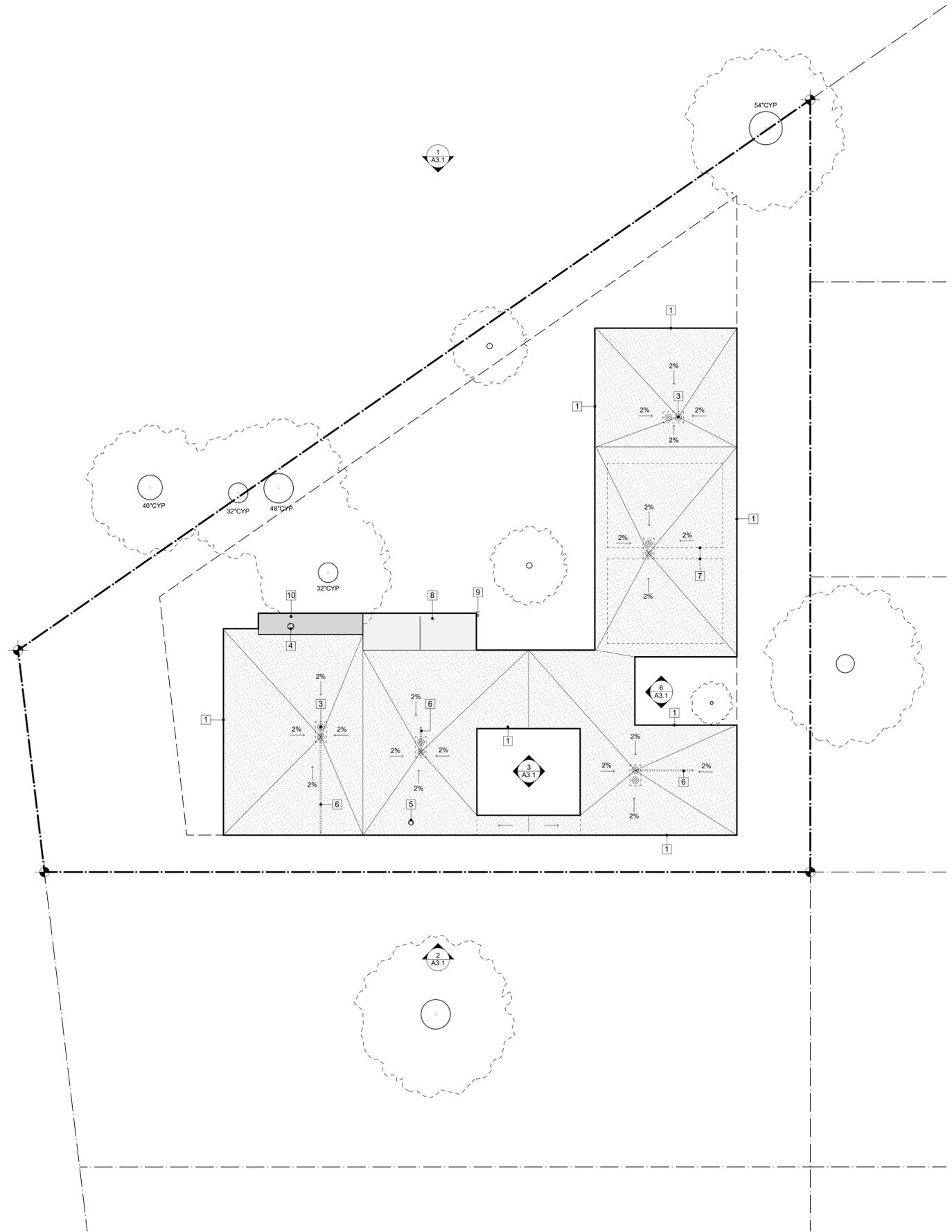


UPPER LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

A2.2

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- KEYED NOTES:**
- 1 DASHED LINE INDICATES ROOFLINE ABOVE OR BELOW.
 - 2 GRAVEL ROOF OVER BUILT UP ROOFING ASSEMBLY
 - 3 THUNDERBIRD BOTTOM OUTLET ROOF DRAIN W/ OVERFLOW, 2\"/>

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architect

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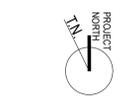
PRELIMINARY
NOT FOR CONSTRUCTION

SCENIC ROAD RESIDENCE
26317 SCENIC ROAD
CARMEL, CA 93923
APN: 009-442-019-000

DRAWING ISSUE:

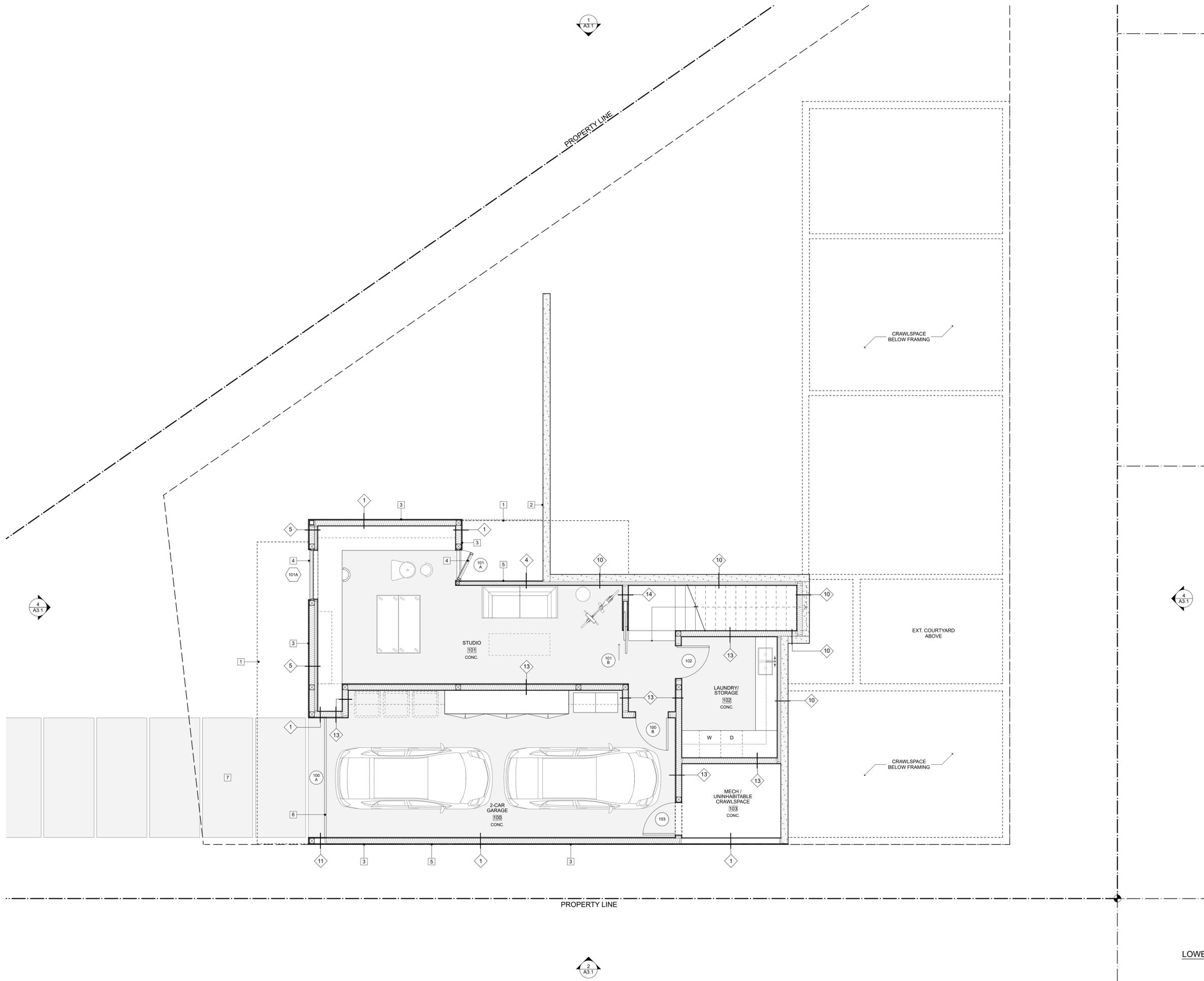
NO.	DATE	DESCRIPTION
1	12/05/2022	PRE-APPLICATION PACKAGE
2	05/02/2023	PLANNING SUBMITTAL
3		
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6		

ROOF PLAN	
DATE: 5/2/23	DRAWING BY: AL
SCALE: AS NOTED	CHECKED BY: DP



ROOF PLAN
SCALE: 1/8" = 1'-0"

A2.3



- KEYED NOTES:**
- 1 LINE OF ROOF OVERHEAD
 - 2 BOARD-FORMED CONCRETE RETAINING WALL
 - 3 3/4" x 3" CEDAR WOOD SIDING, VERTICAL GRAIN
 - 4 EXT. ALUMINUM WINDOW/DOOR SYSTEM
 - 5 PTD. MTL. CLADDING OVER WOOD FRAMED WALL, SEE ELEVATIONS
 - 6 PTD. MTL. CLADDING OVER WOOD GARAGE DOOR, FINISH TO MATCH ALUMINUM WINDOW/DOOR SYSTEM
 - 7 POURED IN PLACE CONCRETE DRIVEWAY, SLOPE 5% MIN TO STREET

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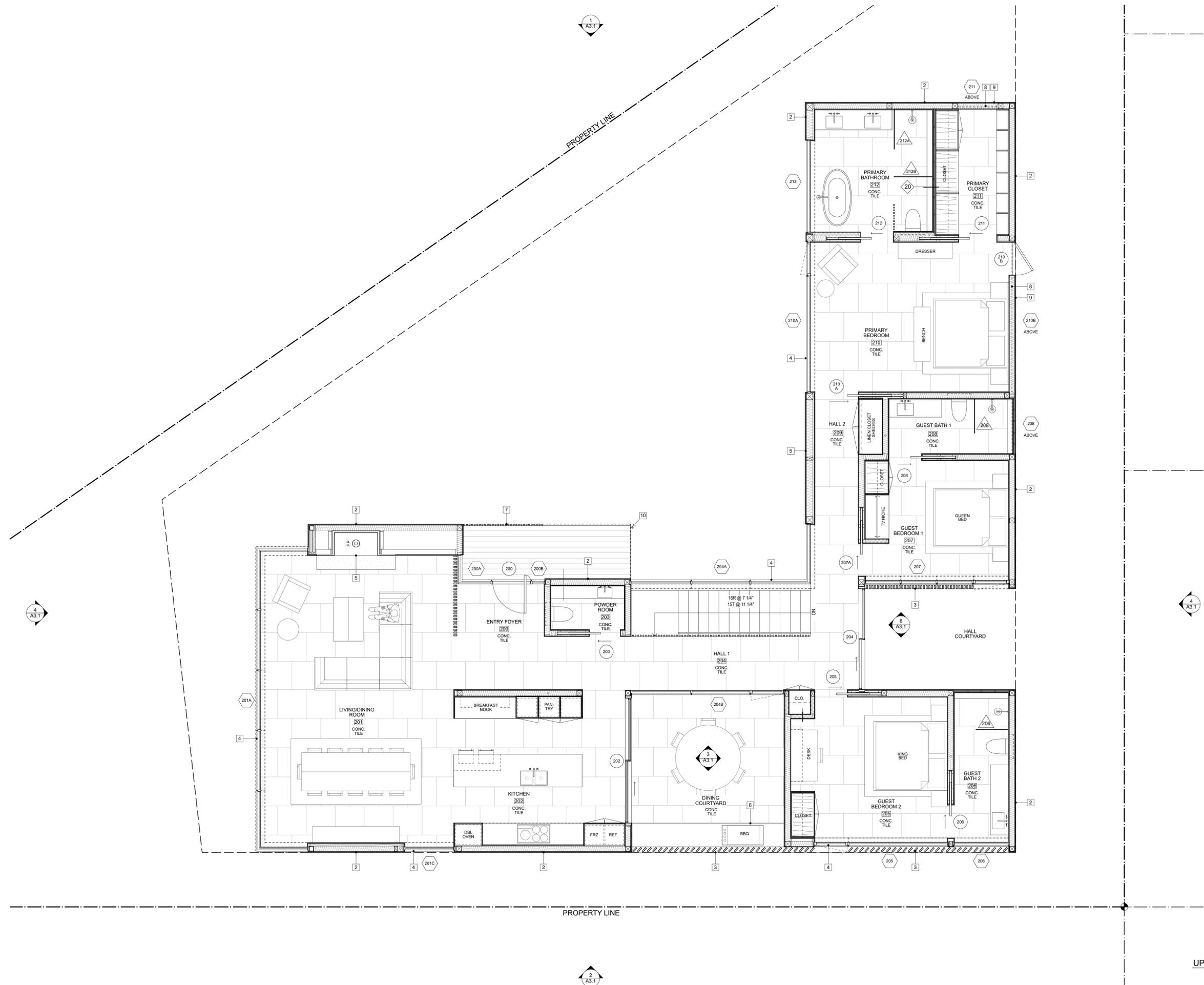
DRAWING ISSUE:

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1	12/05/2023	PRE-APPLICATION PACKAGE
2	05/02/2023	PLANNING SUBMITTAL
3		
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ENLARGED FLOOR PLAN - LOWER LEVEL	
DATE: 5/2/23	DRAWING BY: AL
SCALE: AS NOTED	CHECKED BY: DP

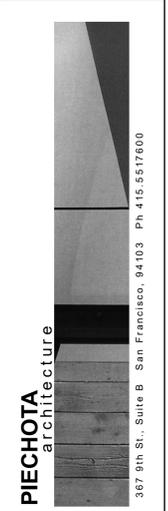
LOWER LEVEL FLOOR PLAN - ENLARGED
SCALE: 1/4" = 1'-0"





- KEYED NOTES:**
- 1 LINE OF ROOF OVERHEAD
 - 2 3/4" X 3" CEDAR WOOD SIDING, VERTICAL GRAIN
 - 3 2x CEDAR WOOD SCREEN, SPACING TBD
 - 4 EXT. ALUMINUM WINDOW/DOOR SYSTEM
 - 5 GAS FIREPLACE, SPEC TBD
 - 6 OUTDOOR BBQ IN OPEN AIR COURTYARD
 - 7 PTD. ROUND POST GUARDRAIL
 - 8 CLERESTORY WINDOWS ABOVE, SEE ELEVATIONS
 - 9 PTD. MTL. CLADDING OVER WOOD FRAMED WALL, SEE ELEVATIONS
 - 10 RAIN CHAIN CONNECTION TO GROUND, TO BE COORDINATED ON SITE

UPPER LEVEL FLOOR PLAN - ENLARGED
SCALE: 1/4" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

SCENIC ROAD RESIDENCE
26317 SCENIC ROAD
CARMEL, CA 93923
APN: 009-442-019-000

DRAWING ISSUE:

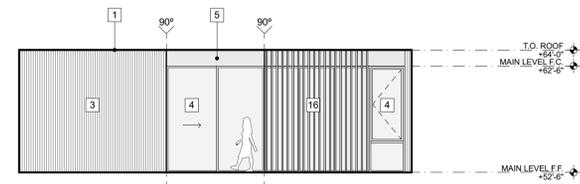
NO.	DATE	DESCRIPTION
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ENLARGED FLOOR PLAN - UPPER LEVEL	
DATE: 5/2/23	DRAWING BY: AL
SCALE: AS NOTED	CHECKED BY: DP

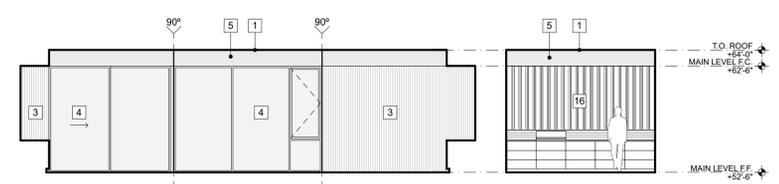
A2.5



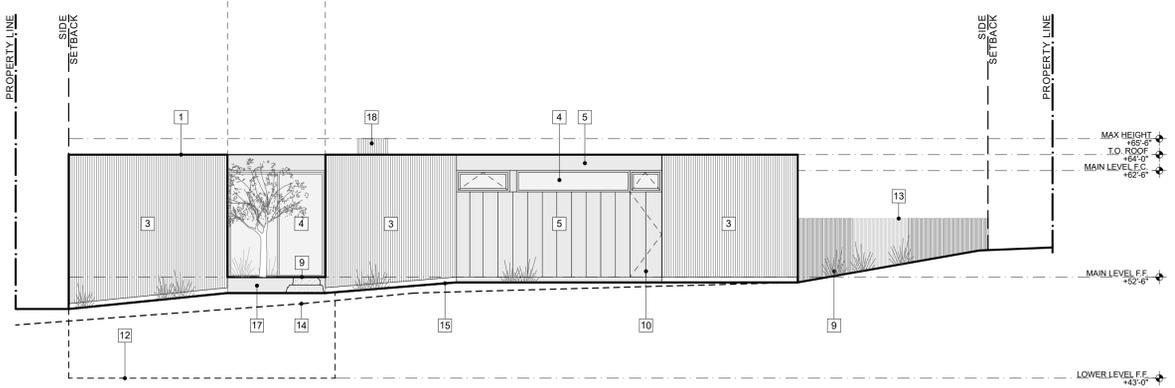
- KEYED NOTES:**
- 1 FLAT GRAVEL TOP ROOF
 - 2 BOARD-FORMED CONCRETE RETAINING WALL
 - 3 3/4" x 3" CEDAR WOOD SIDING, VERTICAL GRAIN, 8" PATTERN ONLY UNDER SCREEN
 - 4 EXT. ALUMINUM WINDOW/DOOR SYSTEM
 - 5 PTD. MTL. CLADDING OVER WOOD FRAMED WALL
 - 6 POURED IN PLACE CONCRETE STEPS/PAVERS
 - 7 PTD. ROUND POST GUARDRAIL
 - 8 FIREPLACE VENT FLUE, SEE DETAILS
 - 9 ALL LANDSCAPE DESIGN AND DETAILS BY
 - 10 PTD. MTL. CLAD DOOR
 - 11 PTD. STEEL PLATE OVERHANG
 - 12 DASHED LINE INDICATES EXTENT OF LOWER BUILDING BEYOND, SEE PLANS
 - 13 PTD. ROUND POST FENCE ON CONCRETE CURB FOUNDATION
 - 14 DASHED LINE INDICATES EXISTING GRADE
 - 15 PROPOSED GRADE, SEE CIVIL PLANS
 - 16 2x CEDAR WOOD SCREEN, SPACING TBD, FINISH TO MATCH WD. SIDING
 - 17 BLACKENED STEEL PLATE OVER CONCRETE RETAINING WALL
 - 18 WD. CLAD FIREPLACE WALL BEYOND
 - 19 RAIN CHAIN TO SPLASH BLOCKS, LOCATION TO BE COORDINATED ON SITE



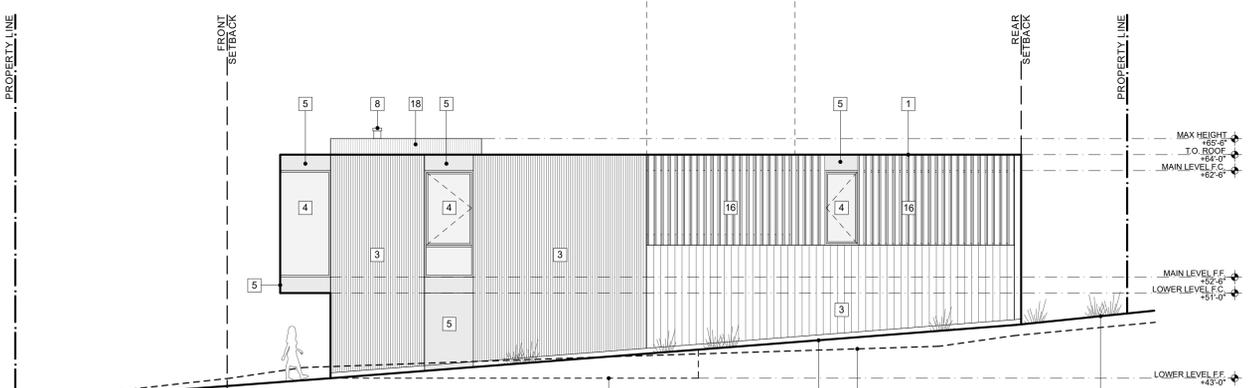
HALL COURTYARD
SCALE: 1/8" = 1'-0"



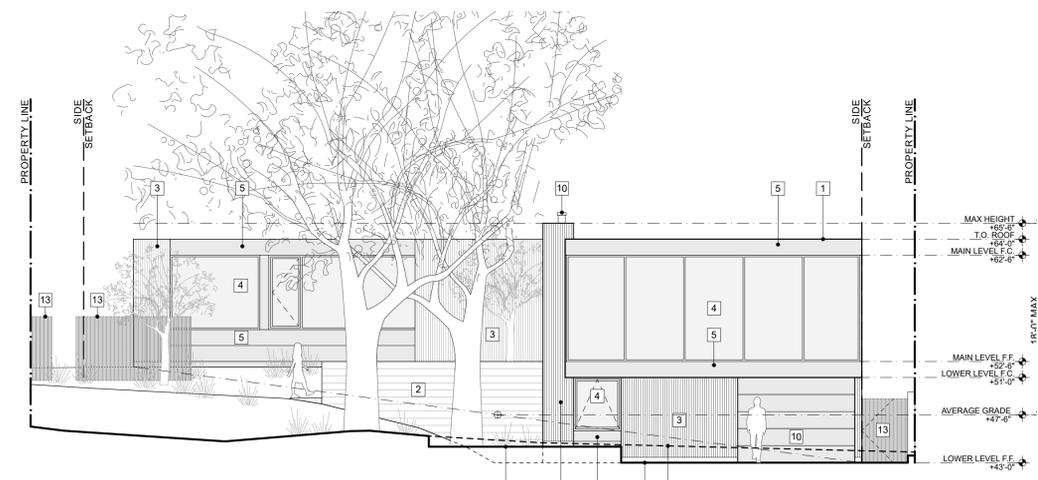
DINING COURTYARD
SCALE: 1/8" = 1'-0"



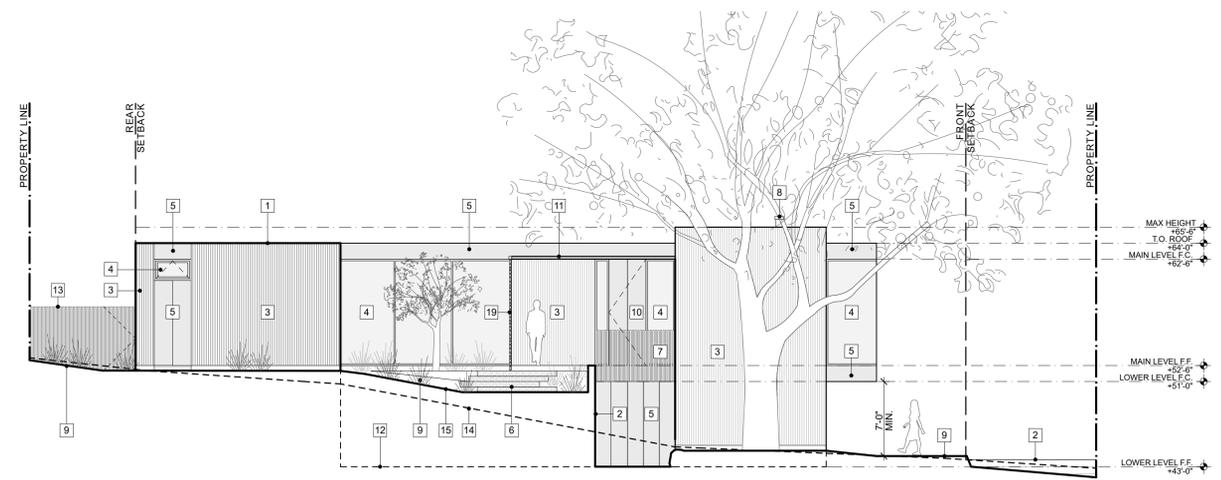
EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

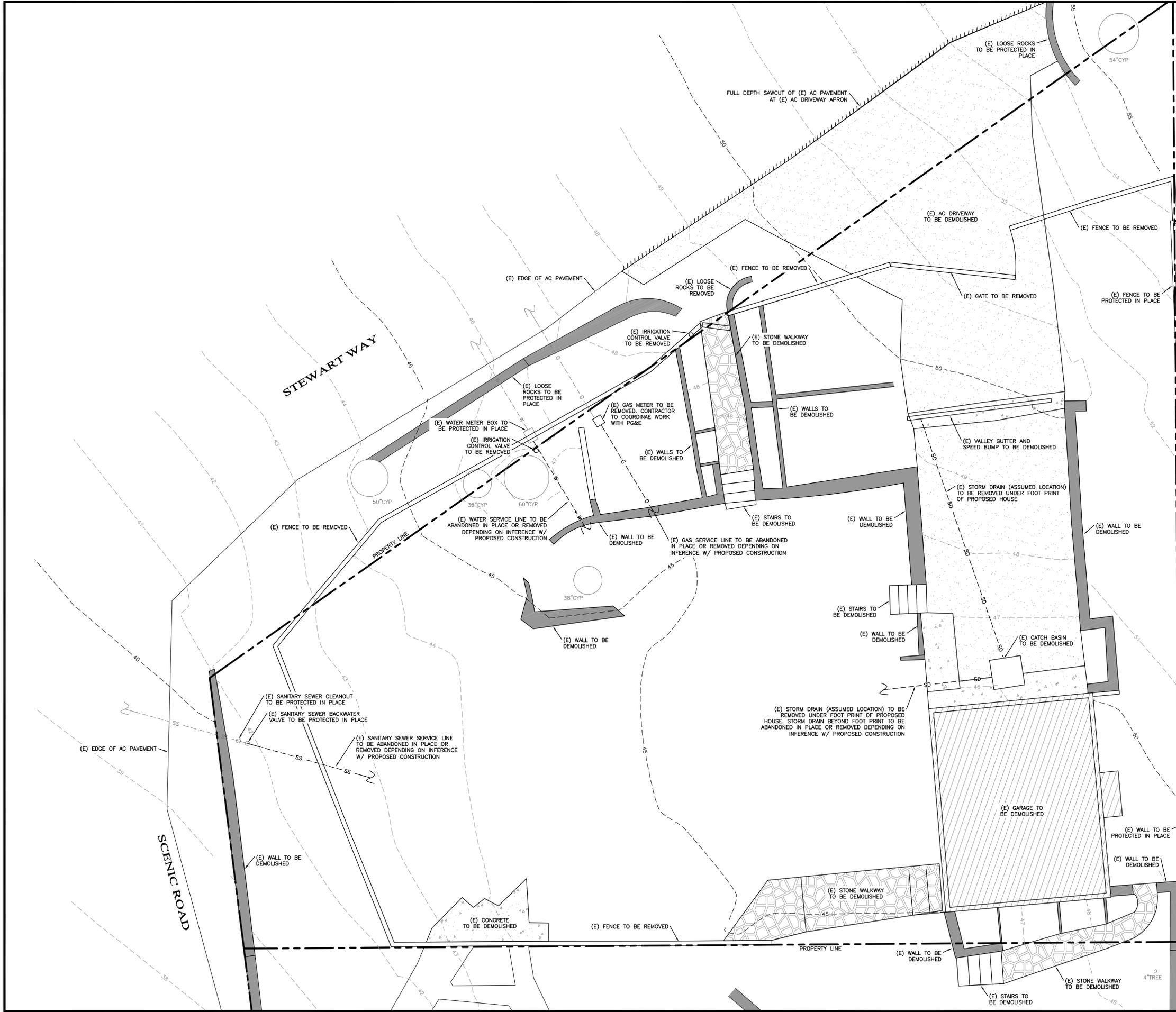
PRELIMINARY
NOT FOR CONSTRUCTION

SCENIC ROAD RESIDENCE
26317 SCENIC ROAD
CARMEL, CA 93923
APN: 009-442-019-000

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EXT. ELEVATIONS	DRAWING BY: AL	CHECKED BY: DP
	DATE: 5/2/23	
	SCALE: AS NOTED	

A3.1



- LEGEND**
-  (E) BUILDING TO BE DEMOLISHED
 -  (E) CONCRETE PAVEMENT TO BE DEMOLISHED
 -  (E) AC PAVEMENT DRIVEWAY TO BE DEMOLISHED
 -  (E) STONE PAVEMENT WALKWAYS TO BE DEMOLISHED

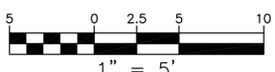
- NOTES:**
1. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SHOWN UNDERGROUND UTILITY LOCATIONS, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED AND ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS HEREBY NOTIFIED THAT, PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THEIR UNDERGROUND UTILITIES AND OR FACILITIES. REPAIR OF DAMAGE TO ANY UNDERGROUND UTILITY OR FACILITY SHALL BE MADE AT THE CONTRACTORS EXPENSE.
 2. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
 3. ALL UTILITIES AND STORM DRAIN TO BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE ON THIS PLAN.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL, AND PROPER DISPOSAL OF ALL ITEMS TO BE DEMOLISHED OR REMOVED.
 5. IF HAZARDOUS MATERIAL IS FOUND DURING DEMOLITION, THIS WORK IS SUBJECT TO ADDITIONAL PERMITTING AND WORK CONTROLS. CONTRACTOR TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND PERMITTING REQUIREMENTS FOR REMOVAL OF TYPE OF HAZARDOUS MATERIAL FOUND.
 6. ALL TREES TO BE PROTECTED IN PLACE UNLESS SHOWN OTHERWISE ON THIS PLAN.

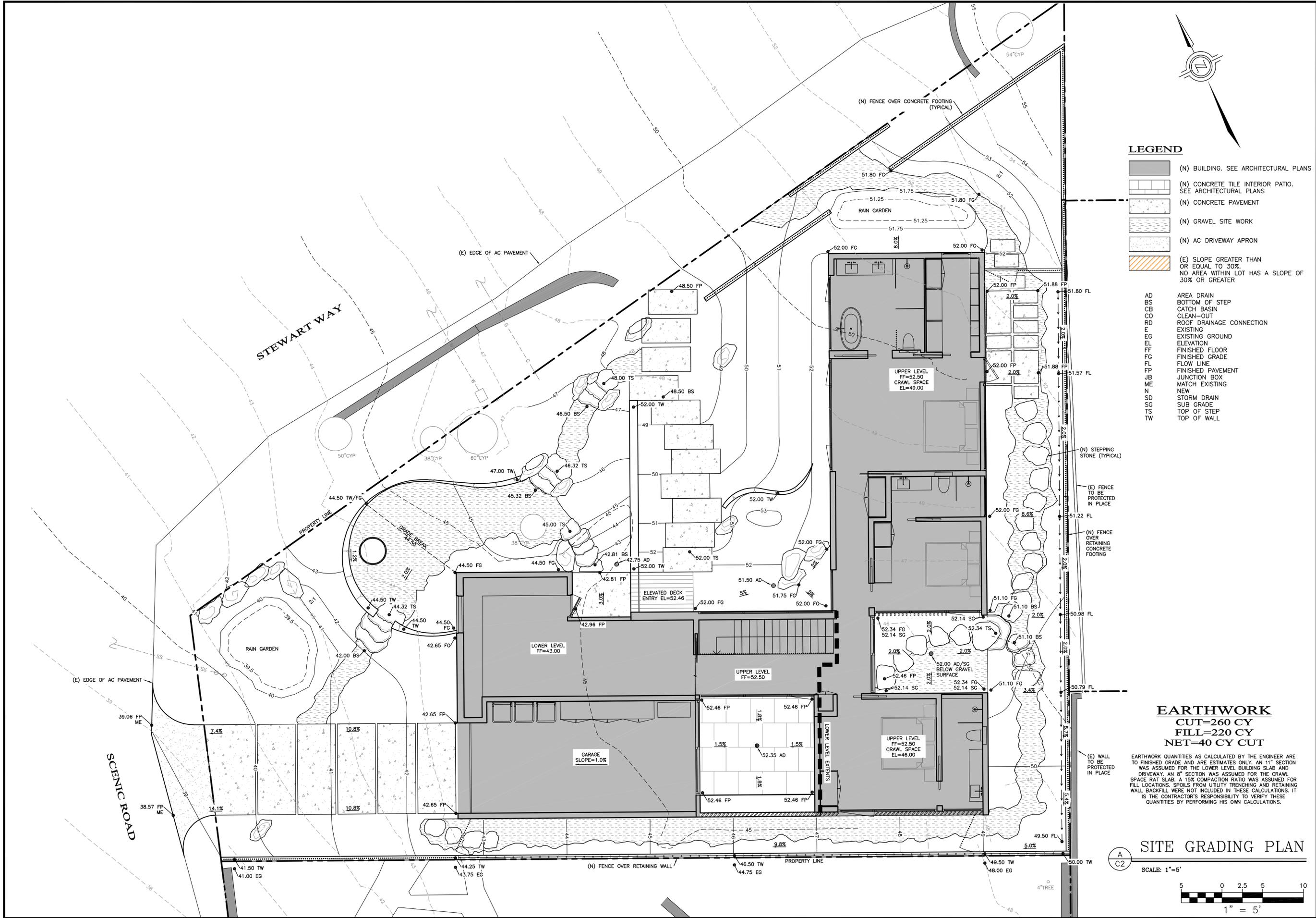


DRAWN BY: MRS
DESIGNED BY: MRS
DATE: 4-26-2023
SCALE: AS SHOWN
JOB NUMBER: 22-109
LAST REVISED: N/A
REVISED BY: N/A

SITE DEMOLITION PLAN

SCENIC ROAD RESIDENCE
 26317 SCENIC ROAD
 CARMEL, CA 93923
 APN 009-442-019

SITE DEMOLITION PLAN
 SCALE: 1"=5'

 1" = 5'



LEGEND

- (N) BUILDING. SEE ARCHITECTURAL PLANS
- (N) CONCRETE TILE INTERIOR PATIO. SEE ARCHITECTURAL PLANS
- (N) CONCRETE PAVEMENT
- (N) GRAVEL SITE WORK
- (N) AC DRIVEWAY APRON
- (E) SLOPE GREATER THAN OR EQUAL TO 30%. NO AREA WITHIN LOT HAS A SLOPE OF 30% OR GREATER

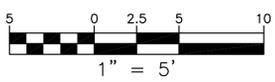
- AD AREA DRAIN
- BS BOTTOM OF STEP
- CB CATCH BASIN
- CO CLEAN-OUT
- RD ROOF DRAINAGE CONNECTION
- E EXISTING
- EG EXISTING GROUND
- EL ELEVATION
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOW LINE
- FP FINISHED PAVEMENT
- JB JUNCTION BOX
- ME MATCH EXISTING
- N NEW
- SD STORM DRAIN
- SG SUB GRADE
- TS TOP OF STEP
- TW TOP OF WALL

EARTHWORK
 CUT=260 CY
 FILL=220 CY
 NET=40 CY CUT

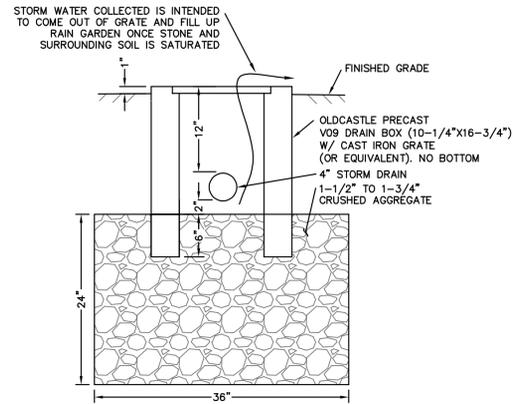
EARTHWORK QUANTITIES AS CALCULATED BY THE ENGINEER ARE TO FINISHED GRADE AND ARE ESTIMATES ONLY. AN 11" SECTION WAS ASSUMED FOR THE LOWER LEVEL BUILDING SLAB AND DRIVEWAY. AN 8" SECTION WAS ASSUMED FOR THE CRAWL SPACE RAT SLAB. A 15% COMPACTION RATIO WAS ASSUMED FOR FILL LOCATIONS. SPOILS FROM UTILITY TRENCHING AND RETAINING WALL BACKFILL WERE NOT INCLUDED IN THESE CALCULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE QUANTITIES BY PERFORMING HIS OWN CALCULATIONS.

SITE GRADING PLAN

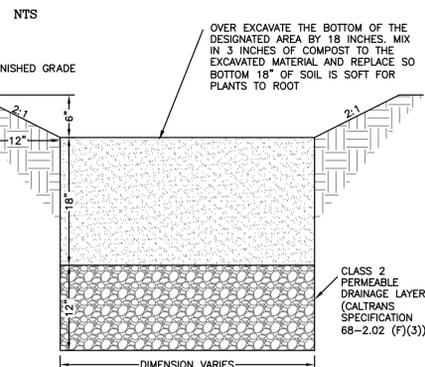
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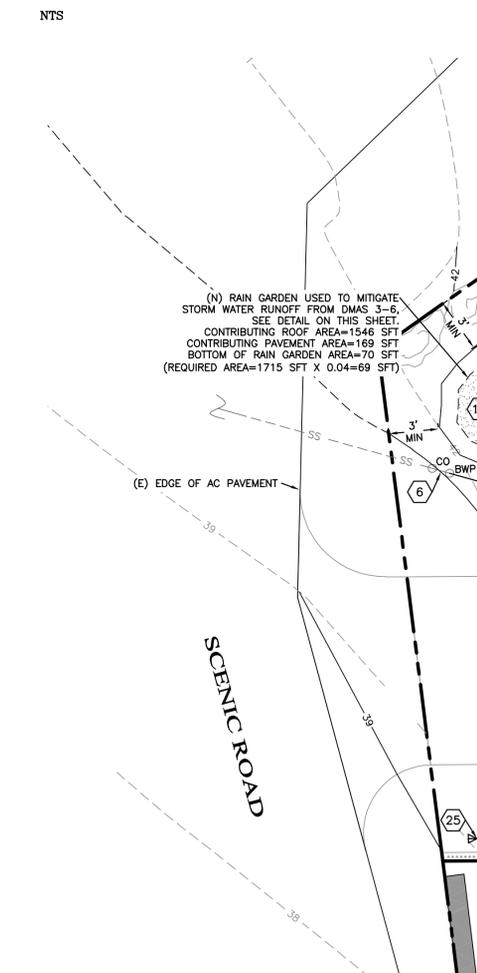
A
C2



DRAIN BOX DETAIL



RAIN GARDEN SECTION



(N) RAIN GARDEN USED TO MITIGATE STORM WATER RUNOFF FROM DMAS 1-2. SEE DETAIL ON THIS SHEET. CONTRIBUTING ROOF AREA=847 SFT. BOTTOM OF RAIN GARDEN AREA=36 SFT. (REQUIRED AREA=847 SFT X 0.04=34 SFT)

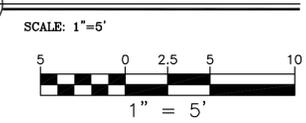
- UTILITY NOTES:**
1. ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND AND INSTALLED WITH PIPE MANUFACTURER'S RECOMMENDED BENDING RADIUS.
 2. STORM DRAIN AND SANITARY SEWER INVERTS TO GOVERN UTILITY LINE INSTALLATIONS.
 3. ALL ELECTRICAL, TV, COMMUNICATION, AND GAS LINES TO BE COORDINATED BY GENERAL CONTRACTOR.
 4. ALL WALLS AND DRAINAGE BEHIND WALLS TO BE DESIGNED BY OTHERS. WALL DRAINS AND FOUNDATION DRAINS ARE NOT TO BE CONNECTED TO THE STORM DRAIN SYSTEM AND ARE TO USE DRAIN LINES SHOWN.
 5. ALL STORM DRAIN LATERALS ARE 4" PVC OR HDPE AND HAVE A MINIMUM SLOPE OF 1.0% UNLESS NOTED OTHERWISE.
 6. ALL STORM DRAIN PIPE TO BE SDR-35 PVC (OR STRONGER) OR ADS N-12 HDPE PIPE (OR EQUIVALENT).
 7. REDUCER TO BE USED TO CONNECT GRATES AND HOUSING TO PVC PIPE SHOWN. WYE FITTING TO BE USED AT AREA DRAIN LOCATIONS WITH NO BOX.
 8. SEE DETAIL 7/CY FOR TRENCH DETAIL.

LEGEND

● AD	(N) AREA DRAIN
○ JB	(N) JUNCTION BOX
● RD	(N) ROOF DRAINAGE CONNECTION
○ CO	(N) CLEAN-OUT
○ BWP	(E) BACKWATER PREVENTION
— SS	(N) GRAVITY SANITARY SEWER
— W	(N) WATER SERVICE
— SD	(N) STORM DRAIN
— FD	(N) FOUNDATION DRAIN
— WD	(N) RETAINING WALL DRAIN
— D	(N) DRAIN LINE FOR FOUNDATION DRAIN
— SS	(E) SEWER SERVICE (ASSUMED LOCATION)
— W	(E) WATER SERVICE (ASSUMED LOCATION)
— G	(E) GAS SERVICE (ASSUMED LOCATION)

- KEYNOTES:**
- 1 (E) WATER METER BOX PROTECTED IN PLACE. CONTRACTOR TO CONNECT (N) WATER SERVICE TO (E) METER. CONTRACTOR TO COORDINATE WORK WITH CAL-AM, WATER UTILITY PROVIDER.
 - 2 (N) 1.5" PVC SCHEDULE 40 WATER SERVICE. PIPE SIZE TO BE VERIFIED BY PLUMBING CONSULTANT. SEE PLUMBING PLANS.
 - 3 (N) WATER SERVICE POINT OF CONNECTION. CONTRACTOR TO INSTALL SHUT-OFF VALVE ABOVE GRADE PRIOR TO CONNECTING TO BUILDING. SEE PLUMBING PLANS.
 - 4 (N) 2-WAY CLEAN-OUT AT SANITARY SEWER POINT OF CONNECTION. SEE PLUMBING PLANS. 4" PVC SEWER INV=39.25
 - 5 (N) 4" PVC SDR 26 SANITARY SEWER. L=30', S=8.6%
 - 6 (E) BACKWATER PREVENTION VALVE AND CLEAN-OUT PROTECTED IN PLACE. CONTRACTOR TO CONNECT (N) SANITARY SEWER SERVICE LATERAL TO (E) SEWER LATERAL. CONTRACTOR TO COORDINATE WORK WITH CARMEL AREA WASTEWATER DISTRICT. (E) 4" SEWER INV=36.67 (ASSUMED)
 - 7 (N) STORM DRAIN LATERAL TO STUB THROUGH WALL OF CRAWL SPACE. 4" SD INV=50.00
 - 8 (N) ROOF DRAINAGE CONNECTION TO STORM DRAIN. STORM DRAIN LATERAL TO BE HUNG FROM FLOOR FRAMING WITHIN CRAWL SPACE.
 - 9 (N) STORM DRAIN LATERAL TO STUB THROUGH WALL OF CRAWL SPACE. 4" SD INV=46.67
 - 10 (N) 4" PVC SDR 35 STORM DRAIN. L=22', S=VARIES% (2.0% MIN)
 - 11 (N) PATIO AREA DRAIN. STORM DRAIN LATERAL TO BE HUNG FROM CEILING WITHIN MECHANICAL ROOM.
 - 12 (N) STORM DRAIN LATERAL TO STUB THROUGH WALL IN MECHANICAL ROOM. 4" SD INV=44.50
 - 13 (N) ROOF DRAINAGE CONNECTION TO STORM DRAIN BELOW GARAGE SLAB. 4" SD INV=40.67
 - 14 (N) 4" PVC SDR 35 STORM DRAIN. L=59', S=11.5%
 - 15 (N) 4" PVC SDR 35 STORM DRAIN. L=33', S=4.7%
 - 16 (N) 10"x16" DRAIN BOX, SEE DETAIL ON THIS SHEET.
 - 17 (N) 4" PVC SDR 35 STORM DRAIN. L=17', S=2.5%
 - 18 (N) 4" PVC SDR 35 STORM DRAIN. L=45', S=4.6%
 - 19 (N) 4" PVC SDR 35 STORM DRAIN. L=35', S=2.0%
 - 20 (N) STORM DRAIN LATERAL TO STUB THROUGH WALL OF CRAWL SPACE. 4" SD INV=50.00
 - 21 (N) CRAWL SPACE FOUNDATION DRAIN LINE, 4" PERFORATED PIPE INV=?±. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR CROSS SECTIONS AND GEOTECHNICAL REPORT FOR SPECIFICATIONS.
 - 22 (N) LOWER LEVEL FOUNDATION DRAIN LINE, 4" PERFORATED PIPE INV=?±. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR CROSS SECTIONS AND GEOTECHNICAL REPORT FOR SPECIFICATIONS.
 - 23 CRAWL SPACE FOUNDATION DRAIN LINE TO BE CONNECTED TO LOWER LEVEL FOUNDATION DRAIN LINE WITH VERTICAL SECTION OF SOLID 4" PVC PIPE (NOT PERFORATED).
 - 24 (N) 4" PVC SDR 35 DRAIN LINE FOR FOUNDATION DRAINAGE. L=27', S=1.0%
 - 25 DAYLIGHT (N) FOUNDATION DRAINAGE LINE. 4" D INV=39.00

SITE DRAINAGE & UTILITY PLAN



DRAWN BY: MRS
DESIGNED BY: MRS
DATE: 4-26-2023
SCALE: AS SHOWN
JOB NUMBER: 22-109
LAST REVISED: N/A
REVISED BY: N/A

SITE DRAINAGE & UTILITY PLAN

SCENIC ROAD RESIDENCE
 26317 SCENIC ROAD
 CARMEL, CA 93923
 APN 009-442-019

EROSION AND SEDIMENT CONTROL GENERAL NOTES

- VEGETATION REMOVAL BETWEEN OCTOBER 15th AND APRIL 15th SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE.
- DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
 - DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
 - DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT. (MONTEREY COUNTY GRADING/EROSION ORD. 2806-16.12.090)
- RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
- ALL CUT AND FILL SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEED, OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING SUBJECT TO THE APPROVAL OF THE DIRECTOR OF PLANNING AND BUILDING SERVICES. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER PAST GERMINATING SEED.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
- THE DIRECTOR OF THE BUILDING INSPECTION DEPARTMENT MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.
 - COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
- CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE EROSION AND PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM. ACCEPTABLE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: INSTALLATION OF SILT FENCES, FIBER ROLLS, INSTALLATION OF STORM DRAIN INLET PROTECTION, AND INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCES. AT THE CONTRACTOR'S DISCRETION, ANY ONE OR A COMBINATION OF THESE MEASURES MAY BE USED ABOVE AND BEYOND WHAT IS SHOWN ON THE PLANS.
- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

CONCRETE WASHOUT

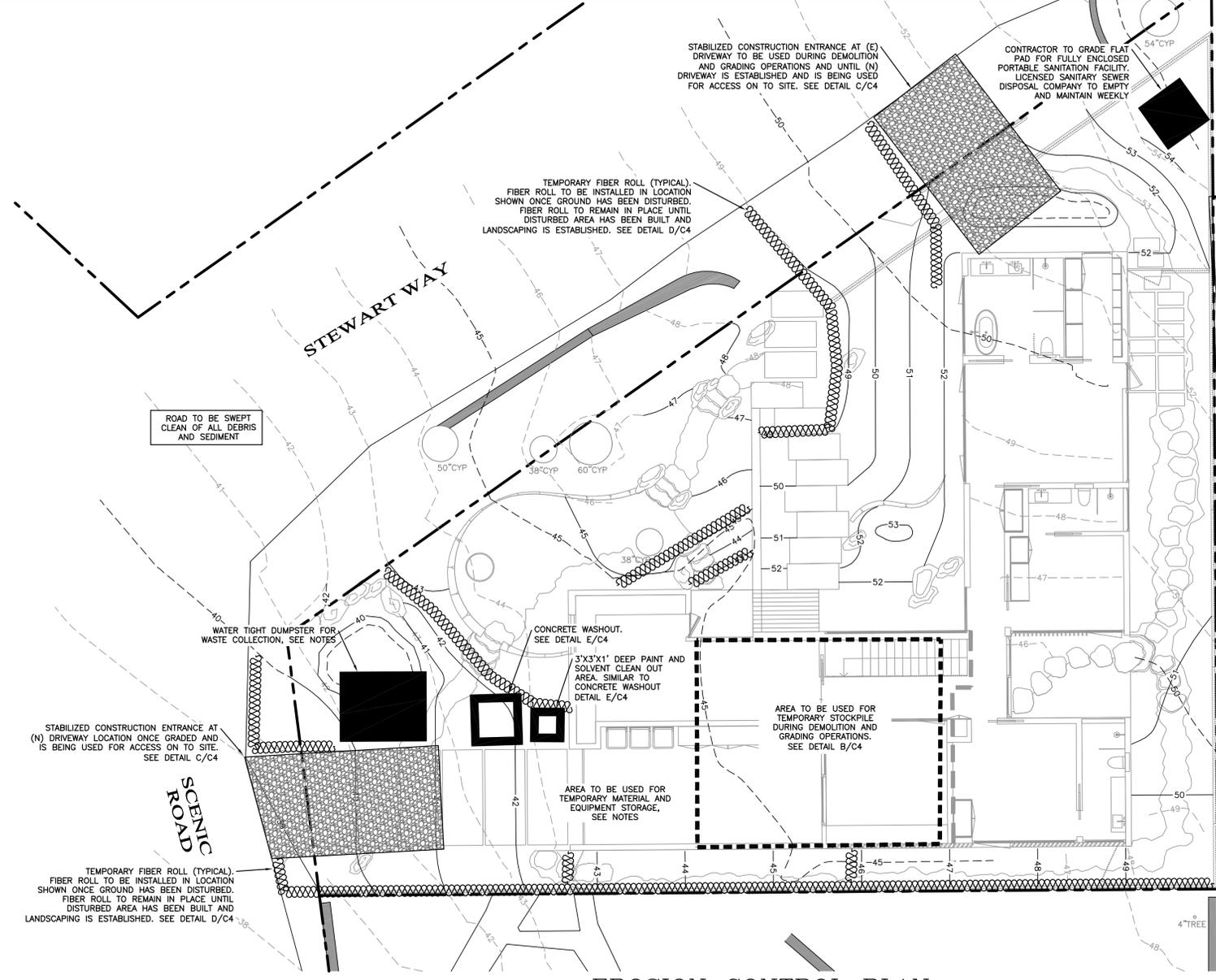
- TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
- A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
- TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
- TEMPORARY WASHOUT FACILITIES SHOULD HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
- WASHOUT OF CONCRETE TRUCKS SHOULD BE PERFORMED IN DESIGNATED AREAS ONLY.
- ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT.
- CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFFSITE.
- ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF PER PROPER WASTE MANAGEMENT PROCEDURES. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.

MATERIAL DELIVERY AND STORAGE

- LIQUIDS, PETROLEUM PRODUCTS, AND SUBSTANCES LISTED IN 40 CFR PARTS 110, 117, OR 302 SHOULD BE STORED IN APPROVED CONTAINERS AND DRUMS AND SHOULD NOT BE OVERFILLED. CONTAINERS AND DRUMS SHOULD BE PLACED IN TEMPORARY CONTAINMENT FACILITIES FOR STORAGE.
- TEMPORARY CONTAINMENT FACILITY SHOULD PROVIDE FOR A SPILL CONTAINMENT VOLUME ABLE TO CONTAIN PRECIPITATION FROM A 25 YEAR STORM EVENT, PLUS THE AGGREGATE VOLUME OF ALL CONTAINERS OR 100% OF THE CAPACITY OF THE LARGEST CONTAINER WITHIN ITS BOUNDARY, WHICHEVER IS GREATER.
- A TEMPORARY CONTAINMENT FACILITY SHOULD BE IMPERVIOUS TO THE MATERIALS STORED THEREIN FOR A MINIMUM CONTACT TIME OF 72 HOURS.
- A TEMPORARY CONTAINMENT FACILITY SHOULD BE MAINTAINED FREE OF ACCUMULATED RAINWATER AND SPILLS. IN THE EVENT OF SPILLS OR LEAKS, ACCUMULATED RAINWATER SHOULD BE COLLECTED AND PLACED INTO DRUMS. THESE LIQUIDS SHOULD BE HANDLED AS A HAZARDOUS WASTE UNLESS TESTING DETERMINES THEM TO BE NON-HAZARDOUS. ALL COLLECTED LIQUIDS OR NON-HAZARDOUS LIQUIDS SHOULD BE SENT TO AN APPROVED DISPOSAL SITE.
- SUFFICIENT SEPARATION SHOULD BE PROVIDED BETWEEN STORED CONTAINERS TO ALLOW FOR SPILL CLEANUP AND EMERGENCY RESPONSE ACCESS.
- INCOMPATIBLE MATERIALS, SUCH AS CHLORINE AND AMMONIA, SHOULD NOT BE STORED IN THE SAME TEMPORARY CONTAINMENT FACILITY.
- THROUGHOUT THE RAINY SEASON, EACH TEMPORARY CONTAINMENT FACILITY SHOULD BE COVERED DURING NON-WORKING DAYS, PRIOR TO, AND DURING RAIN EVENTS.
- MATERIALS SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS AND THE ORIGINAL PRODUCT LABELS SHOULD BE MAINTAINED IN PLACE IN A LEGIBLE CONDITION. DAMAGED OR OTHERWISE ILLEGIBLE LABELS SHOULD BE REPLACED IMMEDIATELY.
- BAGGED AND BOXED MATERIALS SHOULD BE STORED ON PALLETS AND SHOULD NOT BE ALLOWED TO ACCUMULATE ON THE GROUND. TO PROVIDE PROTECTION FROM WIND AND RAIN THROUGHOUT THE RAINY SEASON, BAGGED AND BOXED MATERIALS SHOULD BE COVERED DURING NON-WORKING DAYS AND PRIOR TO AND DURING RAIN EVENTS.
- STOCKPILES SHOULD BE PROTECTED IN ACCORDANCE WITH CALIFORNIA STORM WATER QUALITY HANDBOOK CONSTRUCTION PRACTICES WM-3, STOCKPILE MANAGEMENT.
- MATERIALS SHOULD BE STORED INDOORS WITHIN EXISTING STRUCTURES OR SHEDS WHEN AVAILABLE.
- PROPER STORAGE INSTRUCTIONS SHOULD BE POSTED AT ALL TIMES IN AN OPEN AND CONSPICUOUS LOCATIONS.
- AN AMPLIE SUPPLY OF APPROPRIATE SPILL CLEAN MATERIAL SHOULD BE KEPT NEAR STORAGE AREAS.
- KEEP AN ACCURATE, UP-TO-DATE INVENTORY OF MATERIAL DELIVERED AND STORED ONSITE.
- ARRANGE FOR EMPLOYEES TRAINED IN EMERGENCY SPILL CLEANUP PROCEDURES TO BE PRESENT WHEN DANGEROUS MATERIALS OR LIQUID CHEMICALS ARE UNLOADED.

WASTE COLLECTION AREA

- WATER TIGHT DUMPSTERS OF SUFFICIENT SIZE AND NUMBER SHALL BE PROVIDED TO CONTAIN THE SOLID WASTE GENERATED BY THE PROJECT AND SHALL BE PROPERLY SERVICED.
- LITTERING ON THE PROJECT SITE SHALL BE PROHIBITED.
- TRASH RECEPTACLES SHALL BE PROVIDED IN FIELD TRAILER AREAS AND IN LOCATIONS WHERE WORKERS CONGREGATE FOR LUNCH AND BREAK PERIODS.
- CONSTRUCTION DEBRIS AND LITTER FROM WORK AREAS WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT SITE SHALL BE COLLECTED AND PLACED IN WATER TIGHT DUMPSTERS AT LEAST WEEKLY. COLLECTED LITTER OR DEBRIS SHALL NOT BE PLACED IN OR NEXT TO DRAIN INLETS, STORM WATER DRAINAGE SYSTEMS OR WATERCOURSES.
- FULL DUMPSTERS SHALL BE REMOVED FROM THE PROJECT SITE AND THE CONTENTS SHALL BE DISPOSED OF AT A LEGALLY APPROVED LAND FILL LOCATION.
- ALL DUMPSTERS SHALL BE HANDLED AND DISPOSED OF BY TRASH HAULING CONTRACTOR.
- CONSTRUCTION DEBRIS AND WASTE SHALL BE REMOVED FROM THE SITE EVERY TWO WEEKS OR SOONER IF NEEDED.
- STORM WATER RUN ON SHALL BE PREVENTED FROM CONTACTING STOCKPILED SOLID WASTE THROUGH THE USE OF BERMS OR OTHER TEMPORARY DIVERSION STRUCTURES OR THROUGH THE USE OF MEASURES TO ELEVATE WASTE FROM SURFACE.
- WASTE STORED IN STOCKPILES SHALL BE SECURELY COVERED FROM WIND AND RAIN BY COVERING WASTE WITH TARPS OR PLASTIC SHEETING WHILE WAITING FOR OFF HAUL OR TRANSFER TO DUMPSITER.
- SEGREGATE HAZARDOUS WASTE FROM NON-HAZARDOUS WASTE. FOR DISPOSAL OF HAZARDOUS WASTE SEE BMP WM-6. HAVE HAZARDOUS WASTE HAULED TO AN APPROPRIATE DISPOSAL FACILITY IMMEDIATELY AFTER DEMOLITION OR USE.
- MAKE SURE THAT TOXIC LIQUID WASTES AND CHEMICALS ARE NOT DISPOSED OF IN DUMPSTERS BUT ARE REMOVED OFF SITE APPROPRIATELY.

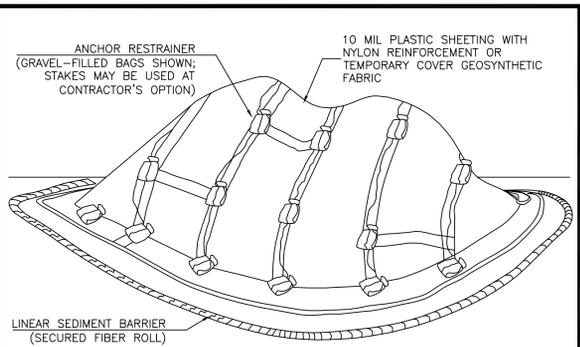


EROSION CONTROL PLAN

TOTAL AREA OF DISTURBANCE=0.17 AC

NOTE: ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15 THROUGH APRIL 15).

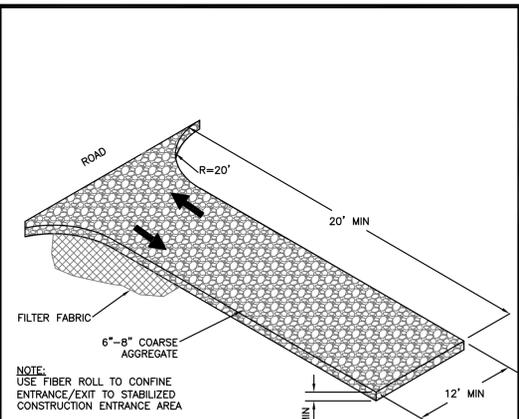
MAINTAIN ALL EROSION CONTROL MEASURES UNTIL LANDSCAPING IS ESTABLISHED



- NOTES:
- ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY.
 - STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS.
 - NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
 - PLASTIC SHEETING HAS LIMITATIONS DUE TO SUNLIGHT BREAKDOWN, HARD TO MANAGE IN WINDY CONDITIONS, AND CAN INCREASE RUNOFF ISSUE FOR PERIMETER CONTROLS. INSPECT FREQUENTLY OR USE GEOSYNTHETIC FABRIC AS APPLICABLE.
 - DO NOT LOCATE WITHIN 50 FEET OF A STORM DRAIN.

STOCKPILE COVER

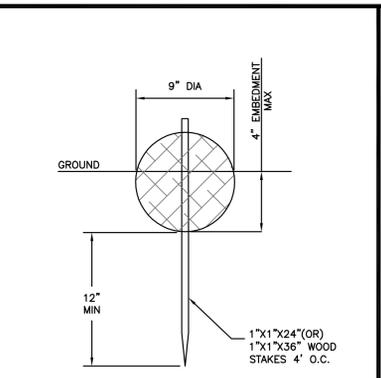
B C4 NTS



- NOTES:
- USE FIBER ROLL TO CONFINE ENTRANCE/EXIT TO STABILIZED CONSTRUCTION ENTRANCE AREA

STABILIZED CONSTRUCTION ENTRANCE

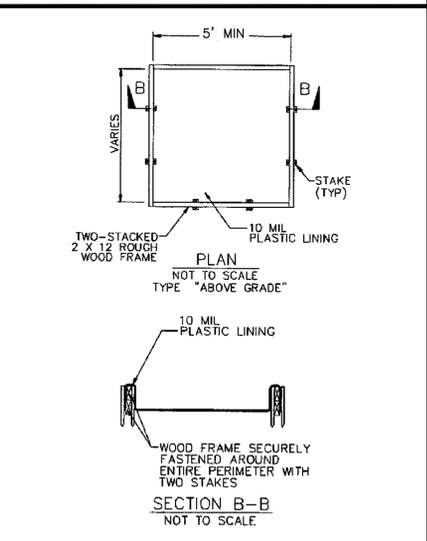
C C4 NTS



- INSTALLATION
- USE 1'x1'x2' OR 1'x1'x3' WOOD STAKES, DEPENDING ON THE SOIL AND SLOPE CONDITIONS. USE LONGER STAKES IN LOOSE SOIL, SHORTER STAKES IN DENSER SOILS.
 - POSITION FIBER ROLLS END-TO-END, TYING THE BUTTED ENDS TOGETHER WITH STRONG TWINE TO ENSURE A GOOD CONNECTION.
 - PLACE FIBER ROLLS SECURELY IN A TRENCH SO THAT SILT LADEN RUN-OFF PASSES OVER OR THROUGH, NOT UNDER THE FIBER ROLL.

FIBER ROLL

D C4 NTS



CONCRETE WASHOUT

E C4 NTS

I&S ENGINEERING AND SURVEYING, INC.
 2460 Garden Road, Suite G, Monterey, California 93940
 P: 831.655.2723 F: 831.655.3425
 LandSengineers.com

REGISTERED PROFESSIONAL ENGINEER
 M.A. MARK R. STEPHENSON
 No. 8930
 EXP. 12-30-24
 CIVIL
 STATE OF CALIFORNIA

DRAWN BY: MRS
 DESIGNED BY: MRS
 DATE: 4-26-2023
 SCALE: AS SHOWN
 JOB NUMBER: 22-109
 LAST REVISED: N/A
 REVISED BY: N/A

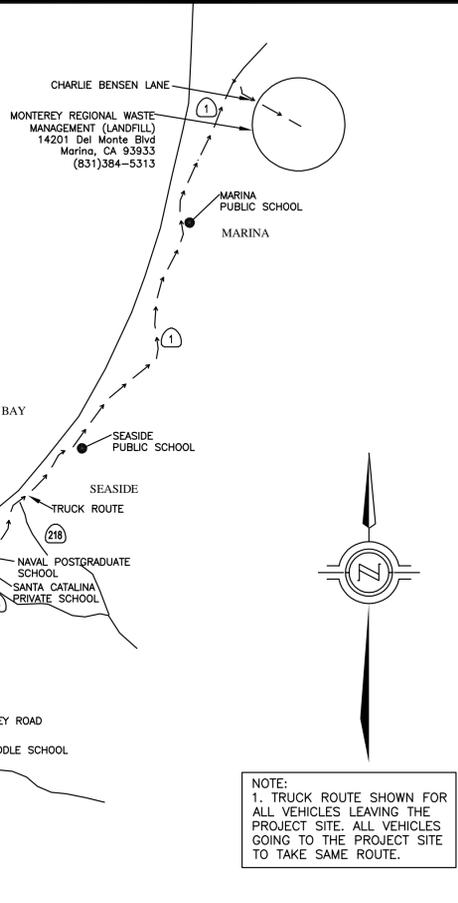
EROSION CONTROL PLAN

SCENIC ROAD RESIDENCE
 26317 SCENIC ROAD
 CARMEL, CA 93923
 APN 009-442-019

SHEET C4
 OF
 5 SHEETS

CONSTRUCTION COORDINATOR

CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION. SHOULD QUESTIONS ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRIES AND IN EMERGENCIES), THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBER) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRIES AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF ALL COMPLAINTS (IF ANY) RECEIVED DURING CONSTRUCTION, AND SHALL INVESTIGATE COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24-HOURS OF RECEIPT OF THE COMPLAINT OR INQUIRY.



NOTE:
1. TRUCK ROUTE SHOWN FOR ALL VEHICLES LEAVING THE PROJECT SITE. ALL VEHICLES GOING TO THE PROJECT SITE TO TAKE SAME ROUTE.

VICINITY MAP/OVERALL TRUCK ROUTING PLAN

A
C5
1"=8000'



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long

<p>MATERIALS & WASTE MANAGEMENT</p> <p>Non-Hazardous Materials</p> <ul style="list-style-type: none"> Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days. Use (but don't overuse) reclaimed water for dust control. <p>Hazardous Materials</p> <ul style="list-style-type: none"> Label all hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast. Report manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours. Arrange for appropriate disposal of all hazardous wastes. 	<p>Waste Management</p> <ul style="list-style-type: none"> Cover waste disposal containers securely with tarps at the end of every work day and during wet weather. Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site. Clean or replace portable toilets, and inspect them frequently for leaks and spills. Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum board, pipe, etc.) Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste. <p>Construction Entrances and Perimeter</p> <ul style="list-style-type: none"> Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sediment control erosion and siltment discharges from site and tracking off site. Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking. 	<p>EQUIPMENT MANAGEMENT & SPILL CONTROL</p> <p>Maintenance and Parking</p> <ul style="list-style-type: none"> Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage. Perform major maintenance, repair jobs, and vehicle and equipment washing off site. If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids as hazardous waste. If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters. Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc. <p>Spill Prevention and Control</p> <ul style="list-style-type: none"> Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times. Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established. Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned. <p>Sediment Control</p> <ul style="list-style-type: none"> Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc. Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins. Keep excavated soil on the site where it will not collect into the street. Transfer excavated materials to dump trucks on the site, not in the street. Contaminated Soils If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board: <ul style="list-style-type: none"> Unusual soil conditions, discoloration, or odor. Abandoned underground tanks Abandoned wells Buried barrels, debris, or trash. 	<p>EARTHWORK & CONTAMINATED SOILS</p> <p>Erosion Control</p> <ul style="list-style-type: none"> Schedule grading and excavation work for dry weather only. Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established. Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned. <p>Sawcutting & Asphalt/Concrete Removal</p> <ul style="list-style-type: none"> Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system. Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner). If sawcut slurry enters a catch basin, clean it up immediately. 	<p>PAVING/ASPHALT WORK</p> <ul style="list-style-type: none"> Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure. Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc. Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters. Do not use water to wash down fresh asphalt concrete pavement. <p>Sawcutting & Asphalt/Concrete Removal</p> <ul style="list-style-type: none"> Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system. Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner). If sawcut slurry enters a catch basin, clean it up immediately. 	<p>CONCRETE, GROUT & MORTAR APPLICATION</p> <ul style="list-style-type: none"> Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain. Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage. Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite. 	<p>PAINTING & PAINT REMOVAL</p> <p>Painting cleanup</p> <ul style="list-style-type: none"> Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters. For water-based paints, paint out brushes to the extent possible. Rinse the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain. For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste. <p>Paint Removal</p> <ul style="list-style-type: none"> Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste. Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash. 	<p>DEWATERING</p> <ul style="list-style-type: none"> Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance. When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required. In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.
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* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

v3.04.2015

To Report a Spill: Call 911 or (831) 994-6811
If you see paint, cement, motor oil, antifreeze or other hazardous materials flowing into or being dumped into a storm drain, immediately call 911 to report it.

Additional Contact Numbers (Non-Emergency):

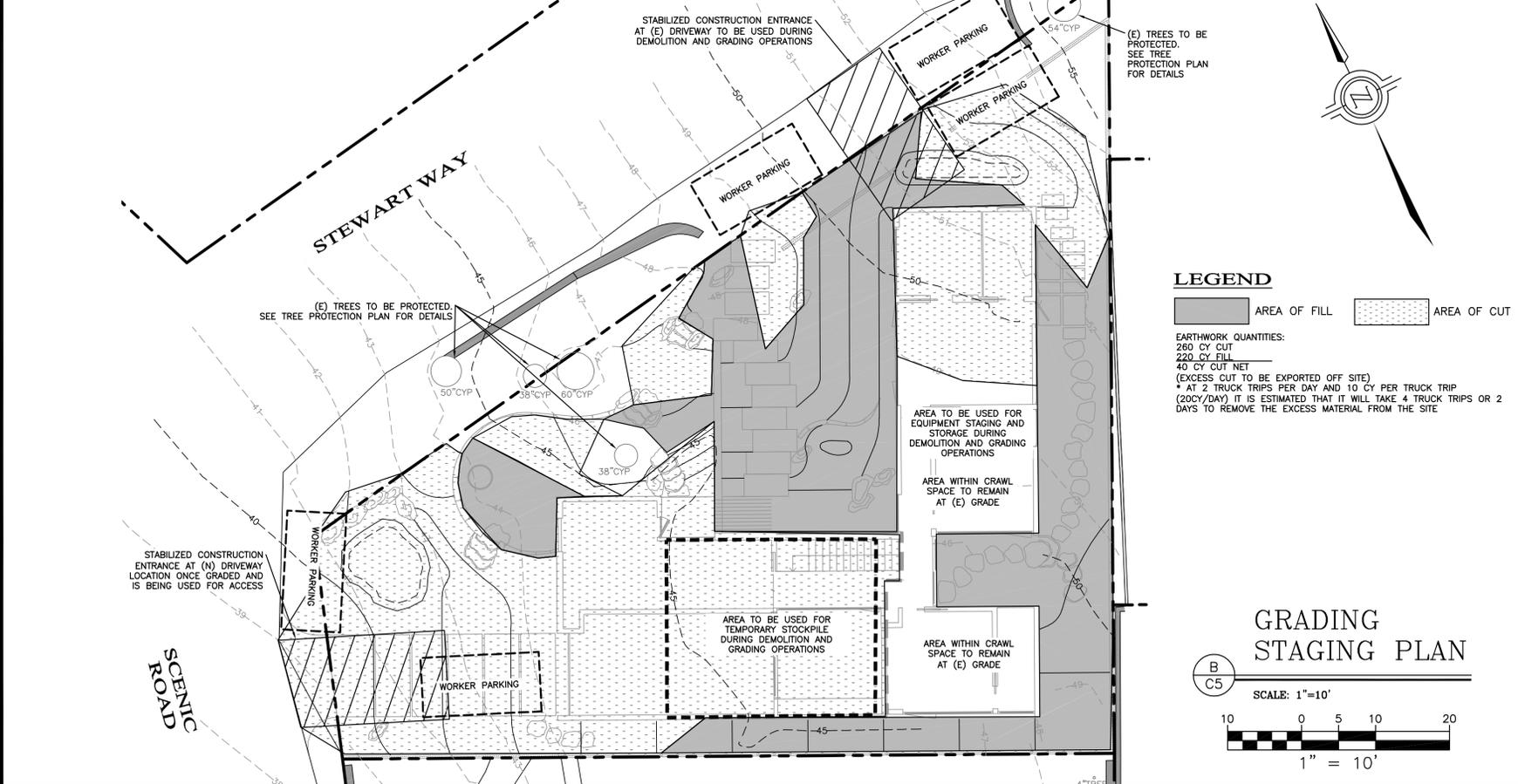
City of Carmel-by-the-Sea	(831) 626-2000
City of Del Rey Oaks	(831) 394-8511
City of Monterey	(831) 466-3921
City of Pacific Grove	(831) 648-9722
City of San Simeon	(831) 394-3054
City of Seaside	(831) 899-6825
County of Monterey	(831) 755-4800

CONSTRUCTION NOTES

- ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY - SATURDAY, 8AM TO 6PM (EXCLUDING NATIONAL HOLIDAYS)
 - THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES, AND THAT SUCH COPIES ARE AVAILABLE FOR AGENCY REVIEW ON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - STOP WORK WITHIN 50 METERS (165 FT) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY HCD-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.
 - EQUIPMENT WASHING, REFUELING AND SERVICING SHALL TAKE PLACE ONLY ONSITE. APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES. SEE BMP HANDOUT ON THIS SHEET.
 - THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES (E.G. CLEANUP AND LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY; KEEP MATERIALS COVERED AND OUT OF THE RAIN, INCLUDING COVERING EXPOSED PILES OF SOIL AND WASTES); DISPOSE OF ALL WASTES PROPERLY, PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER). SEE BMP HANDOUT ON THIS SHEET.
 - ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION-RELATED RUNOFF AND/OR SEDIMENT FROM LEAVING THE SITE.
 - THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING MEASURES TO CONTROL FUGITIVE DUST EMISSIONS DURING CONSTRUCTION (MM AQ C1 - DUST CONTROL):
 - WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. FREQUENCY SHOULD BE BASED ON THE TYPE OF OPERATION, SOIL, AND WIND EXPOSURE.
 - NOT APPLICABLE TO SITE
 - PROHIBIT ALL GRADING ACTIVITIES DURING PERIODS OF HIGH WIND MORE THAN 15 MPH PER HOUR.
 - APPLY CHEMICAL SOIL STABILIZERS ON INACTIVE CONSTRUCTION AREAS SUCH AS DISTURBED LANDS WITHIN CONSTRUCTION PROJECTS THAT ARE UNUSED FOR AT LEAST FOUR CONSECUTIVE DAYS.
 - NOT APPLICABLE TO SITE
 - APPLY NON-TOXIC BINDERS LIKE LATEX ACRYLIC COPOLYMER TO EXPOSED AREAS AFTER CUT AND FILL OPERATIONS AND HYDROSEED AREA.
 - NOT APPLICABLE TO SITE
 - MAINTAIN AT LEAST 2 FEET OF FREEBOARD ON HAUL TRUCKS.
 - COVER ALL TRUCKS HAULING DIRT SAND OR LOOSE MATERIALS.
 - PLANT TREE WINDBREAKS ON THE WINDWARD PERIMETER OF CONSTRUCTION PROJECTS IF ADJACENT TO OPEN LAND, PRIOR TO CONSTRUCTION.
 - NOT APPLICABLE TO SITE
 - PLANT VEGETATIVE GROUND COVER IN DISTURBED AREAS AS SOON AS POSSIBLE.
 - COVER INACTIVE STORAGE PILES.
 - INSTALL WHEEL WASHERS AT THE ENTRANCE TO CONSTRUCTION SITES FOR ALL EXITING TRUCKS - NOT APPLICABLE TO SITE
 - PAVE ALL ROADS ON CONSTRUCTION SITES PRIOR TO USE BY CONSTRUCTION EQUIPMENT - NOT APPLICABLE TO SITE
 - SWEEP STREETS IF VISIBLE SOIL MATERIAL IS CARRIED OUT FROM THE CONSTRUCTION SITE.
 - POST A PUBLICLY VISIBLE SIGN THAT SPECIFIES THE TELEPHONE NUMBER AND PERSON TO CONTACT REGARDING DUST COMPLAINTS. THIS PERSON WILL RESPOND TO COMPLAINTS AND TAKE CORRECTIVE ACTION WITHIN 48 HOURS. THE PHONE NUMBER OF THE MDAQPCD WILL BE VISIBLE TO ENSURE COMPLIANCE WITH RULE 402 NUISANCE.
 - LIMIT THE AREA UNDER CONSTRUCTION AT ANY ONE TIME.
 - THE CONSTRUCTION CONTRACTOR WILL ENSURE THESE MEASURES ARE IMPLEMENTED DURING CONSTRUCTION AS VERIFIABLE UPON COUNTY INSPECTION.
 - THE CONTRACTOR WILL ENSURE THAT ALL STATIONARY NOISE GENERATING EQUIPMENT, SUCH AS PUMPS AND GENERATORS ARE LOCATED AS FAR AS POSSIBLE FROM NEARBY NOISE SENSITIVE RECEPTORS AS PRACTICABLE. WHERE POSSIBLE, NOISE GENERATING EQUIPMENT WILL BE SHIELDED FROM NEARBY NOISE SENSITIVE RECEPTORS BY NOISE ATTENUATING BUFFERS SUCH AS STRUCTURES OR HAUL TRUCK TRAILERS. STATIONARY NOISE SOURCES LOCATED CLOSER THAN 500 FEET FROM NOISE SENSITIVE RECEPTORS WILL BE EQUIPPED WITH NOISE REDUCING ENGINE HOUSINGS. PORTABLE ACOUSTIC BARRIERS WILL BE PLACED AROUND NOISE GENERATING EQUIPMENT LOCATED WITHIN 200 FEET OF RESIDENCES. WATER TANKS AND EQUIPMENT STORAGE, STAGING, AND WARM-UP AREAS WILL BE LOCATED AS FAR FROM NOISE SENSITIVE RECEPTORS AS POSSIBLE.
 - THE CONTRACTOR WILL ENSURE ALL CONSTRUCTION EQUIPMENT POWERED BY GASOLINE OR DIESEL ENGINES HAS SOUND CONTROL DEVICES AT LEAST AS EFFECTIVE AS THOSE ORIGINALLY PROVIDED BY THE MANUFACTURER. NO EQUIPMENT WILL BE PERMITTED TO HAVE AN UNMUFFLED EXHAUST.
 - THE APPLICANT WILL ENSURE THE CONSTRUCTION SPECIFICATIONS SPECIFY THAT ANY MOBILE NOISE-GENERATING EQUIPMENT OR MACHINERY IS SHUT OFF WHEN NOT IN USE. THESE REQUIREMENTS WILL BE INCLUDED IN ALL RELEVANT CONSTRUCTION CONTRACTS AND SHOWN ON CONSTRUCTION PLANS, AND WILL BE IMPLEMENTED DURING CONSTRUCTION.
 - THE CONTRACTOR TO ENSURE THAT CONSTRUCTION VEHICLES ACCESSING THE SITE USE THE SHORTEST POSSIBLE ROUTE TO AND FROM LOCAL FREEWAYS, PROVIDED THE ROUTES DO NOT EXPOSE ADDITIONAL RECEPTORS TO NOISE. SEE APPROVED TRUCK ROUTE ON THIS SHEET.
 - THE APPLICANT AND THE CONTRACTOR WILL ENSURE THAT RESIDENTS WITHIN 500 FEET OF THE CONSTRUCTION AREA ARE NOTIFIED OF THE CONSTRUCTION SCHEDULE IN WRITING BEFORE CONSTRUCTION BEGINS.
- GRADING STAGING:
SEE GRADING PLANS FOR GRADING AND EROSION CONTROL DURING CONSTRUCTION.
STEP 1: DEMOLISH EXISTING BUILDING, PAVED AREAS, AND WALLS IN THEIR ENTIRETY AS SHOWN ON THE DEMOLITION PLAN. ALL DEBRIS TO BE REMOVED OFF SITE TO THE MONTEREY REGIONAL WASTE MANAGEMENT LANDFILL VIA HAUL ROUTE SHOWN IN A/C5. USE DESIGNATED AREA FOR TEMPORARY STOCKPILE AREA.
STEP 2: CLEAR, GRUB, AND PREPARE SITE FOR PROPOSED GRADING PER GEOTECHNICAL REPORT SPECIFICATIONS. ALL DEBRIS TO BE REMOVED OFF SITE TO THE MONTEREY REGIONAL WASTE MANAGEMENT LANDFILL VIA HAUL ROUTE SHOWN IN A/C5. USE DESIGNATED AREA FOR TEMPORARY STOCKPILE AREA.
IMPLEMENT EROSION CONTROL ONCE SITE HAS BEEN DISTURBED. SEE EROSION CONTROL PLAN FOR NECESSARY BMPs DURING GRADING OPERATIONS.
STEP 3: REMOVE CUT MATERIAL AND USE DESIGNATED AREAS FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA. SEE EROSION CONTROL PLAN FOR NECESSARY BMPs DURING GRADING OPERATIONS.
STEP 4: PLACE CUT MATERIAL WITHIN AREAS TO RECEIVE FILL PER GEOTECHNICAL REPORT SPECIFICATIONS.
STEP 5: REMOVE EXCESS CUT MATERIAL OFF SITE TO THE MONTEREY REGIONAL WASTE MANAGEMENT LANDFILL VIA HAUL ROUTE SHOWN IN A/C5.
STEP 6: INSTALL ADDITIONAL BMPs AS SHOWN ON THE EROSION CONTROL PLAN AND MAINTAIN BMPs UNTIL CONSTRUCTION IS FINISHED AND LANDSCAPING IS ESTABLISHED.

ADDITIONAL NOTES:

- THIS PROJECT SITE WILL EXPECT 2-10 WORKERS PER DAY.
- THIS PROJECT SITE WILL EXPECT NO MORE THAN 1 TRUCK DELIVERY PER DAY.
- CONSTRUCTION PARKING WILL BE AT THE SITE WITHIN PROPOSED AREA



I&S ENGINEERING AND SURVEYING, INC.
2460 Garden Road, Suite G, Monterey, California 93940
P: 831.655.2723 F: 831.655.3425
LandSenginers.com

REGISTERED PROFESSIONAL ENGINEER
M. J. R. R. STEVENSON
No. 8930
EXP. 03-24
CIVIL
STATE OF CALIFORNIA

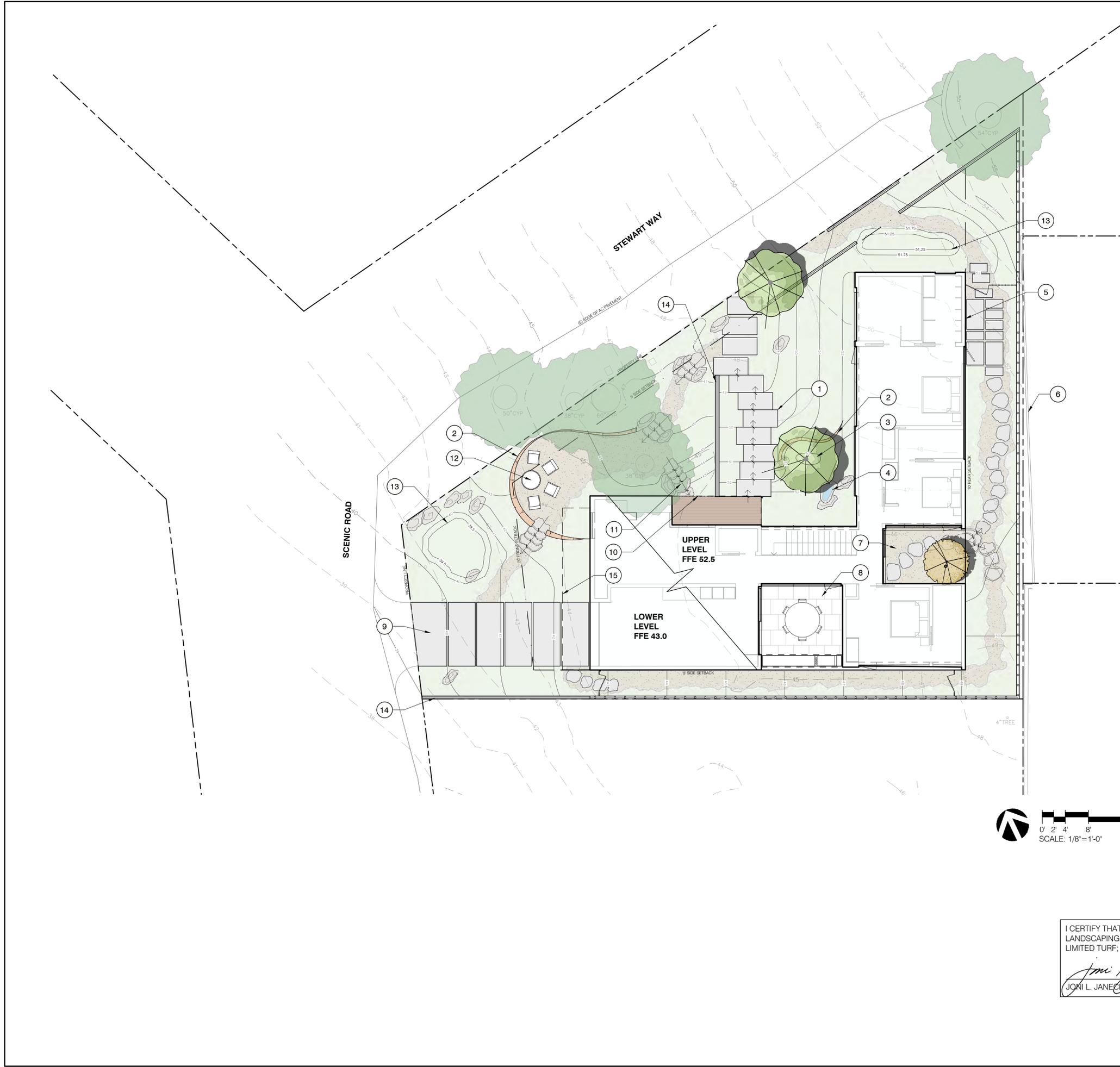
DRAWN BY: MRS
DESIGNED BY: MRS
DATE: 4-26-2023
SCALE: AS SHOWN
JOB NUMBER: 22-109
LAST REVISED: N/A
REVISED BY: N/A

CONSTRUCTION MANAGEMENT PLAN

SCENIC ROAD RESIDENCE
26317 SCENIC ROAD
CARMEL, CA 93923
APN 009-442-019

SHEET C5
OF
5 SHEETS

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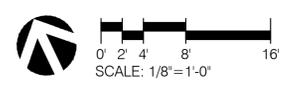


LEGEND

	PROPERTY LINE		STONE PAVERS
	SETBACK LINE		LANDSCAPE BOULDER
	LINE OF ROOF OVERHEAD		STONE STAIRS
	BOARD-FORMED CONCRETE RETAINING WALL, SEE ARCHITECTURE DRAWINGS		EXISTING TREE TO REMAIN, PROTECT IN PLACE
	6'-0" TALL WOOD FENCE ON CONCRETE RETAINING CURB		PLANTING - SEE CONCEPTUAL PLANTING PLAN, SHEET L2.0
	6'-0" TALL WOOD ROD FENCE ON CONCRETE CURB		PROPOSED TREES
	WOOD OR METAL ROD PEDESTRIAN GATE		
	STEPS		
	ANGLED WEATHERED STEEL RETAINING WALL		
	GRAVEL		
	POURED-IN-PLACE CONCRETE		
	WOOD DECK		
	CONCRETE TILE FLOORING, SEE ARCHITECTURAL DRAWINGS		

KEY NOTE SCHEDULE

SYMBOL	DESCRIPTION
1	CONCRETE ENTRY PATH AND STEPS
2	ANGLED WEATHERED STEEL RETAINING WALL
3	PLANTED MOUND
4	RECIRCULATING BOULDER WATER FEATURE
5	OUTDOOR DOG AND FOOT WASH
6	EXISTING FENCE TO REMAIN
7	EAST COURTYARD WITH PLANTING, GRAVEL, AND STEP STONES
8	OUTDOOR OPEN-AIR DINING COURTYARD WITH BBQ
9	POURED-IN-PLACE CONCRETE DRIVEWAY
10	METAL GUARDRAIL, SEE ARCHITECTURE DRAWINGS
11	NATURAL STONE STEPS TO LOWER LEVEL
12	FIRE PIT AND SEATING AREA
13	RAIN GARDEN, SEE CIVIL DRAWINGS
14	BOARD-FORMED CONCRETE RETAINING WALL, SEE ARCHITECTURE MATERIAL PALETTE
15	UPPER LEVEL ABOVE



I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

Joni L. Janecki
 JONI L. JANECKI, ASLA 04/03/2023
DATE

NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

REVISIONS AND RECORD OF ISSUE	
NO.	DATE
1.	04/26/2023
2.	
3.	
4.	
5.	
6.	

JONI L. JANECKI & ASSOCIATES
 515 SWIFT ST. SANTA CRUZ CA 95060
 PHONE 831.423.6040 | WWW.JLJA.COM
 California Landscape Architect License 3163

PROJECT: **SCENIC ROAD RESIDENCE**
 26317 SCENIC RD
 CARMEL, CA 93923
 APN: 009-442-019

SHEET TITLE: **LANDSCAPE PLAN**

SCALE: AS SHOWN
 DRAWN BY: CG/PP
 DATE: 04/26/2023

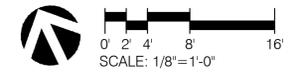
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PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME
	ACER PALMATUM / JAPANESE MAPLE
	ARBUTUS X 'MARINA' / MARINA STRAWBERRY TREE STANDARD
SHRUBS	BOTANICAL / COMMON NAME
	ACACIA COGNATA 'ACCOG01' / COUSIN ITT LITTLE RIVER WATTLE
	ACHILLEA MILLEFOLIUM 'TERRA COTTA' / TERRA COTTA COMMON YARROW
	AGAVE ATTENUATA 'BOUTIN BLUE' / BOUTIN BLUE FOXTAIL AGAVE
	ARCTOSTAPHYLOS X 'DR. HURD' / DR. HURD MANZANITA
	CAREX X 'POMONA' / POMONA SEDGE
	FRANGULA CALIFORNICA / CALIFORNIA COFFEEBERRY
	HEUCHERA MAXIMA CVS. / ISLAND ALUM ROOT CULTIVARS
	LEUCOSPERMUM X 'GOLDFINGER' / GOLDFINGER PINCUSHION
	MIMULUS AURANTIACUS / STICKY MONKEYFLOWER
	PITTIOSPORUM TENUIFOLIUM / TAWHIWHI
	PODOCARPUS GRACILIOR / FERN PINE
	POLYSTICHUM MUNITUM / WESTERN SWORD FERN
	SESLERIA X 'GREENLEE' / GREENLEE'S HYBRID MOOR GRASS
GROUND COVERS	BOTANICAL / COMMON NAME
	SUCCULENTS DUDLEYA CAESPITOSA / SEA LETTUCE DYMONDIA MARGARETAE / SILVER CARPET DYMONDIA SEDUM RUPESTRE 'BLUE SPRUCE' / BLUE SPRUCE SEDUM
	LOW SPREADING GROUND COVER CEANOTHUS THYRSIFLORUS REPENS / CREEPING BLUEBLOSSOM DICHONDRA ARGENTEA 'SILVER FALLS' / SILVER FALLS DICHONDRA THYMUS SERPYLLUM / CREEPING THYME
	LOW-MEDIUM HEIGHT PERENNIAL GRASSES CAREX DIVULSA / BERKELEY SEDGE FESTUCA CALIFORNICA / CALIFORNIA FESCUE SESLERIA AUTUMNALIS / AUTUMN MOOR GRASS SESLERIA X 'GREENLEE HYBRID' / GREENLEE MOOR GRASS



LEGEND

	PROPERTY LINE		ANGLED WEATHERED STEEL RETAINING WALL		STONE PAVERS
	SETBACK LINE		GRAVEL		LANDSCAPE BOULDER
	LINE OF ROOF OVERHEAD		POURED-IN-PLACE CONCRETE		STONE STAIRS
	BOARD-FORMED CONCRETE RETAINING WALL, SEE ARCHITECTURE DRAWINGS		WOOD DECK		EXISTING TREE TO REMAIN, PROTECT IN PLACE
	6'-0" TALL WOOD FENCE ON CONCRETE RETAINING CURB		CONCRETE TILE FLOORING, SEE ARCHITECTURAL DRAWINGS		
	6'-0" TALL WOOD ROD FENCE ON CONCRETE CURB				
	WOOD OR METAL ROD PEDESTRIAN GATE				
	STEPS				

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NO.	DATE	DESCRIPTION
1.	04/26/2023	PLANNING SUBMITTAL
2.		
3.		
4.		
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6.		

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 26317 SCENIC RD
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 APN: 009-442-019

SHEET TITLE: **PLANTING PLAN**

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L2.0