

County of Monterey

Thyme Conference Room
1441 Schilling Place, 2nd Floor
Salinas, CA 93901



Meeting Agenda - Final

Thursday, August 14, 2025

9:30 AM

County of Monterey Zoning Administrator

The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the Zoning Administrator alternative actions on any matter before it.

In addition to attending in person, public participation will be available by ZOOM and/or telephonic means:

PLEASE NOTE: IF THE ZONING ADMINISTRATOR IS PRESENT IN PERSON, PUBLIC PARTICIPATION BY ZOOM IS FOR CONVENIENCE ONLY AND IS NOT REQUIRED BY LAW. IF THE ZOOM FEED IS LOST FOR ANY REASON, THE MEETING MAY BE PAUSED WHILE A FIX IS ATTEMPTED BUT THE MEETING MAY CONTINUE AT THE DISCRETION OF THE ZONING ADMINISTRATOR.

You may participate through ZOOM. For ZOOM participation please join by computer audio at:

<https://montereycty.zoom.us/j/92771458150?from=addon>

OR to participate by phone call any of these numbers below:

- + 1 669 900 6833 US (San Jose)
- + 1 346 248 7799 US (Houston)
- + 1 312 626 6799 US (Chicago)
- + 1 929 205 6099 US (New York)
- + 1 253 215 8782 US
- + 1 301 715 8592 US

Enter this Meeting ID number 927 7145 8150 when prompted.

PUBLIC COMMENT: Please submit your comment (limited to 250 or less) to the Clerk at zahearingcomments@countyofmonterey.gov. In an effort to assist the Clerk in identifying the agenda item relating to your public comment please indicate in the Subject Line, the meeting body (i.e. Zoning Administrator Agenda) and item number (i.e. Item No. 10). Your comment will be placed into the record at the meeting.

Public Comment Prior to Wednesday at 5:00 PM will be distributed to the Zoning Administrator via email.

Public Comment submitted during the meeting can be submitted at any time and every effort will be made to read your comment into the record, but some comments may not be read due to time limitations. Comments received after the agenda item will be made part of the record if received prior to the end of the meeting.

ALTERNATIVE FORMATS: If requested, the agenda shall be made available in appropriate

alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. For information regarding how, to whom and when a person with a disability who requires a modification or accommodation in order to participate in the public meeting may make a request for disability-related modification or accommodation including auxiliary aids or services or if you have any questions about any of the items listed on this agenda, please call the County of Monterey Housing and Community Development at (831) 755-5025.

INTERPRETATION SERVICE POLICY: The County of Monterey Zoning Administrator invites and encourages the participation of Monterey County residents at its meetings. If you require the assistance of an interpreter, please contact the County of Monterey Housing and Community Development Department located in the County of Monterey Government Center, 1441 Schilling Place, 2nd Floor South, Salinas - or by phone at (831) 755-5025. The Clerk will make every effort to accommodate requests for interpreter assistance. Requests should be made as soon as possible, and at a minimum 24 hours in advance of any meeting.

La medida recomendada indica la recomendación del personal en el momento en que se preparó la agenda. Dicha recomendación no limita las acciones alternativas del Administrador de Zonificación sobre cualquier asunto que se le haya sometido.

Además de asistir en persona, la participación del público estará disponible por ZOOM y/o medios telefónicos:

TENGA EN CUENTA: SI EL ADMINISTRADOR DE ZONIFICACIÓN ESTÁ PRESENTE EN PERSONA, LA PARTICIPACIÓN PÚBLICA DE ZOOM ES SOLO POR CONVENIENCIA Y NO ES REQUERIDA POR LA LEY. SI LA TRANSMISIÓN DE ZOOM SE PIERDE POR CUALQUIER MOTIVO, LA REUNIÓN PUEDE PAUSARSE MIENTRAS SE INTENTA UNA SOLUCIÓN, PERO LA REUNIÓN PUEDE CONTINUAR A DISCRECIÓN DEL ADMINISTRADOR DE ZONIFICACIÓN.

Puede participar a través de ZOOM. Para la participación de ZOOM, únase por computadora en:

[https://montereycty.zoom.us/j/927 7145 8150](https://montereycty.zoom.us/j/92771458150)

O para participar por teléfono, llame a cualquiera de estos números a continuación:

- + 1 669 900 6833 US (San Jose)
- + 1 346 248 7799 US (Houston)
- + 1 312 626 6799 US (Chicago)
- + 1 929 205 6099 US (New York)
- + 1 253 215 8782 US
- + 1 301 715 8592 US

Presione el código de acceso de reunión: 927 7145 8150 cuando se le solicite.

COMENTARIO PÚBLICO: Por favor envíe su comentario (limitado a 250 palabras o menos) al personal de la reunión del Administrador de Zonificación al correo electrónico:

zahearingcomments@co.monterey.ca.us. En un esfuerzo por ayudar al personal, indique en la línea de asunto, la audiencia de la reunión (por ejemplo, Administrador de Zonificación) y el número de la agenda (por ejemplo, el No. de agenda 10). Su comentario se incluirá en el registro de la reunión del Administrador de Zonificación.

Los comentarios públicos recibidos antes de las 5:00 p.m. el miércoles antes de la reunión del Administrador de Zonificación del Condado de Monterey se distribuirán por correo electrónico.

El comentario público enviado durante la reunión se puede enviar en cualquier momento y se hará todo lo posible para leer su comentario en el registro, pero algunos comentarios pueden no leerse debido a limitaciones de tiempo. Los comentarios recibidos después del tema de la agenda se incluirán en el registro si se reciben antes de que finalice la junta.

FORMATOS ALTERNATIVOS: Si se solicita, la agenda se pondrá a disposición de las personas con discapacidad en formatos alternativos apropiados, según lo exige la Sección 202 de la Ley de Estadounidenses con Discapacidades de 1990 (42 USC Sec. 12132) y las reglas y regulaciones federales adoptadas en implementación de la misma. Para obtener información sobre cómo, a quién y cuándo una persona con una discapacidad que requiere una modificación o adaptación para participar en la reunión pública puede hacer una solicitud de modificación o adaptación relacionada con la discapacidad, incluidas las ayudas o servicios auxiliares, o si tiene alguna pregunta sobre cualquiera de los temas enumerados en esta agenda, llame al Departamento de Vivienda y Desarrollo Comunitario del Condado de Monterey al (831) 755-5025.

POLÍZA DE SERVICIO DE INTERPRETACIÓN: El Administrador de Zonificación del Condado de Monterey invita y apoya la participación de los residentes del Condado de Monterey en sus reuniones. Si usted requiere la asistencia de un intérprete, por favor comuníquese con el Departamento de Vivienda y Desarrollo Comunitario localizado en el Centro de Gobierno del Condado de Monterey, (County of Monterey Government Center), 1441 Schilling Place, segundo piso sur, Salinas – o por teléfono al (831) 755-5025. La asistente hará el esfuerzo para acomodar los pedidos de asistencia de un intérprete. Los pedidos se deberán hacer lo más pronto posible, y a lo mínimo 24 horas de anticipo para cualquier reunión.

NOTE: All agenda titles related to numbered items are live web links. Click on the title to be directed to corresponding Staff Report.

9:30 A.M - CALL TO ORDER**ROLL CALL**

Mike Novo, Zoning Administrator
Representative from Environmental Health
Representative from Public Works
Representative from Environmental Services

PUBLIC COMMENT

This is a time set aside for the public to comment on a matter that is not on the agenda.

AGENDA ADDITIONS, DELETIONS AND CORRECTIONS

The Zoning Administrator Clerk will announce agenda corrections, deletions and proposed additions, which may be acted on by the Zoning Administrator as provided in Sections 54954.2 of the California Government Code.

9:30 A.M. - SCHEDULED ITEMS**1. PLN240240 - CARMELITE MONASTERY OF CARMEL**

Public hearing to consider action on the construction of a ground-mount photovoltaic solar system within 750 feet of known archaeological resources and within 100 feet of Environmentally Sensitive Habitat Areas.

Project Location: 27601 Highway 1, Carmel 93923.

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to Guidelines section 15300.2.

Attachments: [Staff Report](#)
 [Exhibit A - Project Data Sheet](#)
 [Exhibit B - Draft Resolution](#)
 [Exhibit C - LUAC Minutes](#)
 [Exhibit D - Biological Report](#)
 [Exhibit E - Vicinity Map](#)

2. PLN240107 - CHAMISAL FAMILY PARTNERSHIP LTD ET AL

Continued from April 10, 2025, May 29, 2025, and July 31, 2025 - Public hearing to consider a Minor Amendment to a previously approved Use Permit (PC1584) that allowed the establishment of the Chamisal Tennis and Fitness Club consisting of 14 courts, a clubhouse, and a swimming pool. This Amendment would allow for the conversion of two existing tennis courts into eight pickleball courts, the addition of three new pickleball courts, and the future conversion of one existing tennis court into four pickleball courts.

Project Location: 185 Robley Rd, Salinas

Proposed CEQA action: Find that the project qualifies for a Class 1 Categorical Exemption pursuant

to CEQA Guidelines section 15301, and that no exceptions pursuant to section 15300.2 apply.

Attachments: [Staff Report](#)
 [Exhibit A - Draft Resolution](#)
 [Exhibit B - Vicinity Map](#)
 [Exhibit C - Public Comment](#)
 [Exhibit D - Acoustics Report](#)
 [Exhibit E - Membership Reports and Water Usage](#)

OTHER MATTERS

ADJOURNMENT



County of Monterey

Item No.1

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: ZA 25-041

August 14, 2025

Introduced: 8/7/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Zoning Administrator

PLN240240 - CARMELITE MONASTERY OF CARMEL

Public hearing to consider action on the construction of a ground-mount photovoltaic solar system within 750 feet of known archaeological resources and within 100 feet of Environmentally Sensitive Habitat Areas.

Project Location: 27601 Highway 1, Carmel 93923.

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to Guidelines section 15300.2.

RECOMMENDATION:

It is recommended that the Zoning Administrator adopt a resolution to:

- a. Find that the project for a new photovoltaic system qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303, and that none of the exceptions set forth in Section 15300.2 apply; and
- b. Approve a Combined Development Permit consisting of a: 1) Coastal Administrative Permit and Design Approval to allow construction of a ground-mount solar photovoltaic system consisting of 57.6 kW and 144 panels; 2) Coastal Development Permit to allow development within 750 feet of known archaeological resources; and 3) Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Areas.

The attached draft resolution includes findings and evidence for consideration (**Exhibit B**). Staff recommends approval subject to 5 conditions of approval.

PROJECT INFORMATION:

Agent: Ted Umstead

Property Owner: Carmelite Monastery of Carmel

APN: 243-101-002-000

Parcel Size: 12.59 acres

Zoning: Public/Quasi Public with a Design overlay, Coastal Zone or "PQP-D(CZ)"

Plan Area: Carmel Area Land Use Plan

Flagged and Staked: No

Project Planner: Jade Mason, Assistant Planner

masonj@countyofmonterey.gov, (831) 755-3759

SUMMARY/DISCUSSION:

The subject property is located east of Monastery Beach and north of the San Jose Creek, directly off Highway 1 in the unincorporated area of Carmel. The proposed project includes construction of a

ground mount photovoltaic solar system that includes 144 modules grouped into 3 arrays (48 modules each, approximately 1,045 square feet) and associated battery storage equipment within an existing 158 square foot well house. The project also includes development within 750 feet of a known archaeological resources and development within 100 feet of Environmentally Sensitive Habitat Areas. Although the subject property has adequate water and sewer availability, the proposed photovoltaic solar system does not require additional fixtures or connections.

Based on staff analysis, the proposed project is consistent with the policies and regulations pertaining to zoning uses and any other applicable provisions of the 1982 Monterey County General Plan (General Plan), Carmel Area Land Use Area Plan (Carmel LUP), Carmel Area Coastal Implementation plan (Carmel CIP) and applicable sections of the Monterey County Coastal zoning ordinance (Title 20).

Land Use & Development Standards

The parcel is zoned Public/Quasi Public (“PQP”), with a Design (“D”) overlay. Title 20 section 20.40.040.F allows for the construction of structures accessory to any principal permitted use subject to a Coastal Administrative Permit in each case. The subject property has an existing single-family dwelling known as the “Carmelite Monastery.” The proposed development would be sited and located approximately 130 feet east, downhill from the existing structure. Therefore, the proposed development would be accessory to the established principal use of the property.

Title 20 section 20.40.060 outlines site development standards for the PQP zoning district. For accessory structures, the required minimum setbacks are 50 feet front, 6 feet side on front one-half of the property and 1 foot side on the rear one-half of the property, and 1 foot rear, and the maximum allowed height is 15 feet as measured from average natural grade. As delineated on the attached project plans the photovoltaic system is sited more than 150 feet from the front of the property, 20 feet from the side, and has a proposed height of 6 feet from average natural grade. Therefore, the proposed project complies with applicable site development standards as outlined in Title 20 section 20.40.060.

General Plan Policy 13.3.1 establishes regulations for energy resources within the Coastal Zone and requires lots be oriented so structures may maximize the energy gains from solar sources and minimize energy losses where possible. The proposed project includes construction of a new ground mount photovoltaic solar system that has been sited in the least visible area of the lot while providing energy resource to the existing development. Therefore, the project is consistent with General Plan Policy 13. Additionally, Carmel LUP Policy 4.4.3.J.1, states that public and quasi-public services should be maintained and upgraded as needed; the photovoltaic system would enhance the Carmelite Monastery’s electricity usage by decreasing their utility bill, which allows the services to better serve the local community. Therefore, the proposed project is consistent with Carmel LUP Policy 4.4.3.J.1.

Design and Visual Resources

The subject property is located within the public viewshed as illustrated in the Carmel LUP Map A and is identified as a highly sensitive visual resource by virtue of its prominence according to Carmel LUP Policy 2.2.1. Therefore, Policies 2.2.2 and 2.2.3.4 are applicable to ensure development is clearly subordinate to the natural scenic area and is in the least visible portion of the parcel. The

proposed photovoltaic system would be located approximately 130 feet east and downhill from the Monastery. The system includes three arrays of 48 modules (solar panels) and all associated storage equipment within an existing well house. The area of development is in the least visible area of the property to prevent visibility from the public viewshed and Highway 1. Additionally, Title 20 section 20.44 establishes regulations for Design Control zoning, or “D” districts, which is intended to regulate the location, size, configuration, materials, and colors of development to assure protection of public viewshed and neighborhood character, without imposing undue restrictions on private property. Although the colors and materials would be the standard solar panels consisting of the black anodized aluminum, the solar panels will be sited behind the existing Monastery and screened by mature vegetation. Since the back half of the property (East of Highway 1) is downhill of the existing development, the panels would not be visible from neighboring properties and any common public viewing areas. Carmel LUP Policy 4.3.1 states that development should be sited out of view from major public viewpoints north of San Jose Creek, the proposed solar photovoltaic system is sited in the least visible part of the property thereby preserving the open scenic qualities of the area. Therefore, the project as designed and sited assures protection of the public viewshed, is consistent with the neighborhood character, and assures visual integrity of the Carmel Area.

Archaeological Resources

Carmel CIP section 20.146.090 requires that development of any kind in areas considered to be archaeologically sensitive shall include field surveys and impact analysis by qualified individuals to precisely determine resources that may be impacted by the proposed project. The Monterey County Geographic Information System (GIS) identifies the subject property to be within a high archaeological sensitivity area and within 750 feet of known archaeological resources. As such, a Coastal Development Permit has been applied to this project as required by Carmel CIP section 20.146.090.A.

A previous report (LIB120268) for the subject property identified scattered prehistoric shell fragments around the Monastery which appeared to be associated with a known recorded site on the property. As such, the applicant submitted a Phase I and Phase II Archaeological Report (LIB250080) that reviewed the proposed development area. A field survey and auger testing were conducted directly where the proposed photovoltaic system is to be installed, and results were negative for any significant resources. Although the subject property has a known recorded site and previous findings, this is well outside of the project area. Carmel CIP section 20.146.090.D.3 requires development where archaeological sites are located to be designed to avoid impacts to such resources. The project is to be sited towards the back half of the property, in area confirmed to have negative findings for archaeological resources and the project includes minimal ground disturbance to install the solar panels. As recommended from the project archaeologist, Condition No. 3 has been applied and requires the contractor to stop work if previously unidentified resources are discovered during construction. Additionally, Condition No. 5 requires that a pre-construction cultural resource sensitivity training take place with all construction personnel prior to any ground disturbing activities. As designed and conditioned, the project ensures protection of the site’s cultural resources consistent with the Carmel LUP and Carmel CIP.

Historic Resource

The Carmelite Monastery is identified as an historic resource on the list of Monterey County Registry

of Historic Resources; however, the proposed development as outlined in **Exhibit B** does not include any modifications to the Carmelite Monastery. The proposed solar photovoltaic system is to be sited in area once used for prescribed burns, with associated battery storage equipment in an existing well house. No exterior modifications are proposed to the well house. Therefore, the proposed development does not alter the significant architectural features nor does the development adversely affect the character of the historic nature of the Monastery.

Environmentally Sensitive Habitat Area

Carmel CIP Plan section 20.146.040 requires that development of any kind within any known environmentally sensitive habitat areas shall include field surveys and impact analysis by qualified individuals to precisely determine habitat area, including environmentally sensitive habitat area (ESHA). The Monterey County GIS, specifically the California Natural Diversity Database (CNDDB), identifies the subject property to be within 100 feet of potential ESHA on the property. The applicant submitted a Biological report (LIB250079; **Exhibit D**), which indicated that there are no significant natural vegetation within the project area. However, the subject parcel is located north of the San Jose Creek, which is known to contain dense riparian habitat. Additionally, rare shrubs and wildlife species typically found in Coast Live Oak Woodland, Coastal Scrub, and Monterey Pine Forest were identified to be outside of the proposed project area. Carmel LUP Policy 2.3.1 identifies the riparian habitat, Coast Live Oak Woodland, Coastal Scrub, and Monterey Pine Forest to be environmentally sensitive habitat areas. The biologist conducted a site survey which identified that there were no sensitive or special status habitat observed within the proposed project site and that the environmentally sensitive habitat areas were approximately 200 feet away from the proposed development area of the photovoltaic system. The project biologist also confirmed that the CNDDB illustrated sitings of special status species occurring along San Jose Creek such as California Red-legged Frog. Since these species are known to travel beyond their habitat, staff conservatively included a Coastal Development Permit for development within 100 feet of ESHA.

Carmel CIP sections 20.146.040.B.3 and 20.146.040.C.2 identifies land uses adjacent to locations of ESHA to be compatible with the long-term maintenance of the resource, and appropriately setback from the riparian corridor. The proposed development is to be installed in an area outside of sensitive habitat, approximately 200 feet from the closest identified resource. Condition No. 5 for a pre-construction meeting for biological resource training take place should the likelihood California Red-Legged Frog is encountered. As proposed and conditioned, the project is consistent with the policies and regulations outlined in CAR LUP and CAR CIP and avoids impacts on nearby sensitive habitat areas and does not introduce any uses or development that are incompatible with the continuance of those habitat areas.

Public Comment

In accordance with Title 20 section 20.76.030, the proposed project has been scheduled to be presented to the Zoning Administrator on August 14, 2025. At this time, staff has not received any public comment letters.

CEQA:

California Environmental Quality Act (CEQA) Guidelines section 15303(d) categorically exempts the new construction inclusive of electrical extensions. As proposed, the project involves the construction of a ground mounted photovoltaic system that includes 144 modules (solar panels) and battery storage equipment located inside an existing well house. The project, as proposed, will not create impacts on an environmental or historical resource. The project will not create any cumulative or significant impact, and this site is not a hazardous waste site.

California Environmental Quality Act (CEQA) Guidelines section 15303 (d) and 15303(e) categorically exempts the conversion of small structures inclusive of accessory structures (i.e. new existing well house). As proposed, the project involves minor interior modifications to an existing well house and a ground mounted photovoltaic system. The project as proposed does not create impacts to an environmental resource, any scenic highways, or historical resources; this will not create any cumulative or significant impact, and this site is not a hazardous waste site. No evidence of significant adverse environmental effects was identified during staff's review of the development application.

Although the proposed development is located near Highway 1 (first scenic highway in California's new State Scenic Highway System), the proposed development will not have an adverse visual impact on the scenic highway due to siting, distance, and design (see discussion above). Therefore, the project is consistent with the categorical exemption requirements of CEQA Guidelines section 15303. No evidence of significant adverse environmental effects was identified during the staff's review of the development application.

LAND USE ADVISORY COMMITTEE:

The proposed project was reviewed by the Carmel Land Use Advisory Committee May 19, 2025. The committee recommended approval of the project by a vote of 3-0 in support of the project (**Exhibit C**).

OTHER AGENCY INVOLVEMENT:

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- Environmental Health Bureau
- HCD-Engineering Services
- HCD-Environmental Services
- Monterey County Regional Fire Protection District
- Carmel Land Use Advisory Committee

Prepared by: Jade Mason, Assistant Planner, x5298

Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with the HCD:

Exhibit A - Project Data Sheet

Exhibit B - Draft Resolution including:

- Conditions of approval
- Site Plans

Exhibit C - LUAC Minutes
Exhibit D - Biological Report
Exhibit E - Vicinity Map

cc: Front Counter Copy; Monterey County Regional Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jade Mason, Assistant Planner; Jacquelyn M. Nickerson, Principal Planner; Carmelite Monastery of Carmel, Property Owners; Ted Umstead, Agent; The Open Monterey Project; Land Watch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN240240.



County of Monterey

Item No.1

Zoning Administrator

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: ZA 25-041

August 14, 2025

Introduced: 8/7/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Zoning Administrator

PLN240240 - CARMELITE MONASTERY OF CARMEL

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RECOMMENDATION:

It is recommended that the Zoning Administrator adopt a resolution to:

- a. Find that the project for a new photovoltaic system qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303, and that none of the exceptions set forth in Section 15300.2 apply; and
- b. Approve a Combined Development Permit consisting of a: 1) Coastal Administrative Permit and Design Approval to allow construction of a ground-mount solar photovoltaic system consisting of 57.6 kW and 144 panels; 2) Coastal Development Permit to allow development within 750 feet of known archaeological resources; and 3) Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Areas.

The attached draft resolution includes findings and evidence for consideration (**Exhibit B**). Staff recommends approval subject to 5 conditions of approval.

PROJECT INFORMATION:

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Property Owner: Carmelite Monastery of Carmel

APN: 243-101-002-000

Parcel Size: 12.59 acres

Zoning: Public/Quasi Public with a Design overlay, Coastal Zone or "PQP-D(CZ)"

Plan Area: Carmel Area Land Use Plan

Flagged and Staked: No

Project Planner: Jade Mason, Assistant Planner

masonj@countyofmonterey.gov, (831) 755-3759

SUMMARY/DISCUSSION:

The subject property is located east of Monastery Beach and north of the San Jose Creek, directly off Highway 1 in the unincorporated area of Carmel. The proposed project includes

construction of a ground mount photovoltaic solar system that includes 144 modules grouped into 3 arrays (48 modules each, approximately 1,045 square feet) and associated battery storage equipment within an existing 158 square foot well house. The project also includes development within 750 feet of a known archaeological resources and development within 100 feet of Environmentally Sensitive Habitat Areas. Although the subject property has adequate water and sewer availability, the proposed photovoltaic solar system does not require additional fixtures or connections.

Based on staff analysis, the proposed project is consistent with the policies and regulations pertaining to zoning uses and any other applicable provisions of the 1982 Monterey County General Plan (General Plan), Carmel Area Land Use Area Plan (Carmel LUP), Carmel Area Coastal Implementation plan (Carmel CIP) and applicable sections of the Monterey County Coastal zoning ordinance (Title 20).

Land Use & Development Standards

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Title 20 section 20.40.060 outlines site development standards for the PQP zoning district. For accessory structures, the required minimum setbacks are 50 feet front, 6 feet side on front one-half of the property and 1 foot side on the rear one-half of the property, and 1 foot rear, and the maximum allowed height is 15 feet as measured from average natural grade. As delineated on the attached project plans the photovoltaic system is sited more than 150 feet from the front of the property, 20 feet from the side, and has a proposed height of 6 feet from average natural grade. Therefore, the proposed project complies with applicable site development standards as outlined in Title 20 section 20.40.060.

General Plan Policy 13.3.1 establishes regulations for energy resources within the Coastal Zone and requires lots be oriented so structures may maximize the energy gains from solar sources and minimize energy losses where possible. The proposed project includes construction of a new ground mount photovoltaic solar system that has been sited in the least visible area of the lot while providing energy resource to the existing development. Therefore, the project is consistent with General Plan Policy 13. Additionally, Carmel LUP Policy 4.4.3.J.1, states that public and quasi-public services should be maintained and upgraded as needed; the photovoltaic system would enhance the Carmelite Monastery’s electricity usage by decreasing their utility bill, which allows the services to better serve the local community. Therefore, the proposed project is consistent with Carmel LUP Policy 4.4.3.J.1.

Design and Visual Resources

The subject property is located within the public viewshed as illustrated in the Carmel LUP Map A and is identified as a highly sensitive visual resource by virtue of its prominence according to Carmel LUP Policy 2.2.1. Therefore, Policies 2.2.2 and 2.2.3.4 are applicable to

ensure development is clearly subordinate to the natural scenic area and is in the least visible portion of the parcel. The proposed photovoltaic system would be located approximately 130 feet east and downhill from the Monastery. The system includes three arrays of 48 modules (solar panels) and all associated storage equipment within an existing well house. The area of development is in the least visible area of the property to prevent visibility from the public viewshed and Highway 1. Additionally, Title 20 section 20.44 establishes regulations for Design Control zoning, or "D" districts, which is intended to regulate the location, size, configuration, materials, and colors of development to assure protection of public viewshed and neighborhood character, without imposing undue restrictions on private property. Although the colors and materials would be the standard solar panels consisting of the black anodized aluminum, the solar panels will be sited behind the existing Monastery and screened by mature vegetation. Since the back half of the property (East of Highway 1) is downhill of the existing development, the panels would not be visible from neighboring properties and any common public viewing areas. Carmel LUP Policy 4.3.1 states that development should be sited out of view from major public viewpoints north of San Jose Creek, the proposed solar photovoltaic system is sited in the least visible part of the property thereby preserving the open scenic qualities of the area. Therefore, the project as designed and sited assures protection of the public viewshed, is consistent with the neighborhood character, and assures visual integrity of the Carmel Area.

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A previous report (LIB120268) for the subject property identified scattered prehistoric shell fragments around the Monastery which appeared to be associated with a known recorded site on the property. As such, the applicant submitted a Phase I and Phase II Archaeological Report (LIB250080) that reviewed the proposed development area. A field survey and auger testing were conducted directly where the proposed photovoltaic system is to be installed, and results were negative for any significant resources. Although the subject property has a known recorded site and previous findings, this is well outside of the project area. Carmel CIP section 20.146.090.D.3 requires development where archaeological sites are located to be designed to avoid impacts to such resources. The project is to be sited towards the back half of the property, in area confirmed to have negative findings for archaeological resources and the project includes minimal ground disturbance to install the solar panels. As recommended from the project archaeologist, Condition No. 3 has been applied and requires the contractor to stop work if previously unidentified resources are discovered during construction. Additionally, Condition No. 5 requires that a pre-construction cultural resource sensitivity training take place with all construction personnel prior to any ground disturbing activities. As designed and conditioned, the project ensures protection of the site's cultural resources consistent with the Carmel LUP and Carmel CIP.

Historic Resource

The Carmelite Monastery is identified as an historic resource on the list of Monterey County Registry of Historic Resources; however, the proposed development as outlined in **Exhibit B** does not include any modifications to the Carmelite Monastery. The proposed solar photovoltaic system is to be sited in area once used for prescribed burns, with associated battery storage equipment in an existing well house. No exterior modifications are proposed to the well house. Therefore, the proposed development does not alter the significant architectural features nor does the development adversely affect the character of the historic nature of the Monastery.

Environmentally Sensitive Habitat Area

Carmel CIP Plan section 20.146.040 requires that development of any kind within any known environmentally sensitive habitat areas shall include field surveys and impact analysis by qualified individuals to precisely determine habitat area, including environmentally sensitive habitat area (ESHA). The Monterey County GIS, specifically the California Natural Diversity Database (CNDDDB), identifies the subject property to be within 100 feet of potential ESHA on the property. The applicant submitted a Biological report (LIB250079; **Exhibit D**), which indicated that there are no significant natural vegetation within the project area. However, the subject parcel is located north of the San Jose Creek, which is known to contain dense riparian habitat. Additionally, rare shrubs and wildlife species typically found in Coast Live Oak Woodland, Coastal Scrub, and Monterey Pine Forest were identified to be outside of the proposed project area. Carmel LUP Policy 2.3.1 identifies the riparian habitat, Coast Live Oak Woodland, Coastal Scrub, and Monterey Pine Forest to be environmentally sensitive habitat areas. The biologist conducted a site survey which identified that there were no sensitive or special status habitat observed within the proposed project site and that the environmentally sensitive habitat areas were approximately 200 feet away from the proposed development area of the photovoltaic system. The project biologist also confirmed that the CNDDDB illustrated sitings of special status species occurring along San Jose Creek such as California Red-legged Frog. Since these species are known to travel beyond their habitat, staff conservatively included a Coastal Development Permit for development within 100 feet of ESHA.

Carmel CIP sections 20.146.040.B.3 and 20.146.040.C.2 identifies land uses adjacent to locations of ESHA to be compatible with the long-term maintenance of the resource, and appropriately setback from the riparian corridor. The proposed development is to be installed in an area outside of sensitive habitat, approximately 200 feet from the closest identified resource. Condition No. 5 for a pre-construction meeting for biological resource training take place should the likelihood California Red-Legged Frog is encountered. As proposed and conditioned, the project is consistent with the policies and regulations outlined in CAR LUP and CAR CIP and avoids impacts on nearby sensitive habitat areas and does not introduce any uses or development that are incompatible with the continuance of those habitat areas.

Public Comment

In accordance with Title 20 section 20.76.030, the proposed project has been scheduled to be presented to the Zoning Administrator on August 14, 2025. At this time, staff has not received any public comment letters.

CEQA:

California Environmental Quality Act (CEQA) Guidelines section 15303(d) categorically exempts the new construction inclusive of electrical extensions. As proposed, the project involves the construction of a ground mounted photovoltaic system that includes 144 modules (solar panels) and battery storage equipment located inside an existing well house. The project, as proposed, will not create impacts on an environmental or historical resource. The project will not create any cumulative or significant impact, and this site is not a hazardous waste site.

California Environmental Quality Act (CEQA) Guidelines section 15303 (d) and 15303(e) categorically exempts the conversion of small structures inclusive of accessory structures (i.e. new existing well house). As proposed, the project involves minor interior modifications to an existing well house and a ground mounted photovoltaic system. The project as proposed does not create impacts to an environmental resource, any scenic highways, or historical resources; this will not create any cumulative or significant impact, and this site is not a hazardous waste site. No evidence of significant adverse environmental effects was identified during staff's review of the development application.

Although the proposed development is located near Highway 1 (first scenic highway in California's new State Scenic Highway System), the proposed development will not have an adverse visual impact on the scenic highway due to siting, distance, and design (see discussion above). Therefore, the project is consistent with the categorical exemption requirements of CEQA Guidelines section 15303. No evidence of significant adverse environmental effects was identified during the staff's review of the development application.

LAND USE ADVISORY COMMITTEE:

The proposed project was reviewed by the Carmel Land Use Advisory Committee May 19, 2025. The committee recommended approval of the project by a vote of 3-0 in support of the project (**Exhibit C**).

OTHER AGENCY INVOLVEMENT:

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- Environmental Health Bureau
- HCD-Engineering Services
- HCD-Environmental Services
- Monterey County Regional Fire Protection District
- Carmel Land Use Advisory Committee

Prepared by: Jade Mason, Assistant Planner, x5298

Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with the HCD:

Exhibit A - Project Data Sheet

Exhibit B - Draft Resolution including:

- Conditions of approval
- Site Plans

Exhibit C - LUAC Minutes

Exhibit D - Biological Report

Exhibit E - Vicinity Map

cc: Front Counter Copy; Monterey County Regional Fire Protection District;
HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jade
Mason, Assistant Planner; Jacquelyn M. Nickerson, Principal Planner; Carmelite Monastery of
Carmel, Property Owners; Ted Umstead, Agent; The Open Monterey Project; Land Watch
(Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning
File PLN240240.

Exhibit A

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EXHIBIT A

Project Information for PLN240240

Application Name: Carmelite Monastery Of Carmel
Location: 27601 Hwy 1 Hwy, Carmel
Applicable Plan: Carmel LUP
Advisory Committee: Carmel/Carmel Highlands Advisory Committee
Permit Type: Coastal Development Permit
Environmental Status:
Zoning: PQP-D(CZ)
Primary APN: 243-101-002-000
Coastal Zone: Yes
Final Action Deadline (884):
Land Use Designation: Public/Quasi-Public

Project Site Data:

Lot Size: 12.59	Coverage Allowed:
Existing Structures (sf):	Coverage Proposed:
Proposed Structures (sf):	Height Allowed:
Total Sq. Ft.:	Height Proposed:
Special Setbacks on Parcel:	FAR Allowed:
	FAR Proposed:

Resource Zones and Reports:

Seismic Hazard Zone: III	Soils Report #:
Erosion Hazard Zone: High Moderate Low	Biological Report #: LIB250079
Fire Hazard Zone: Very High	Forest Management Rpt. #:
Flood Hazard Zone: X (unshaded)	Geologic Report #:
Archaeological Sensitivity: high	Archaeological Report #: LIB250080
Visual Sensitivity: Highly Sensitive	Traffic Report #:
	Historic Report #:

Other Information:

Water Source:	Grading (cubic yds.):
Water Purveyor:	Sewage Disposal (method):
Fire District: Carmel Highlands FPD	Sewer District Name:
Tree Removal:	

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Exhibit B

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

CARMELITE MONASTERY OF CARMEL (PLN240240)

RESOLUTION NO. 25__

Resolution by the County of Monterey Zoning
Administrator

- 1) Finding the project Categorically Exempt pursuant to CEQA Guidelines section 15303 and there are no exceptions pursuant to section 15300.2; and
- 2) Combined Development Permit consisting of a: 1) Coastal Administrative Permit and Design Approval to allow construction of a ground mount photovoltaic system consisting of 57.6 kW and 144 panels; 2) Coastal Development Permit to allow development within 750 feet of known archeological resources; and 3) Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Area.

[PLN24024 Carmelite Monastery, 27601 Highway 1, Carmel, Carmel Area Land Use Plan, Coastal Zone (APN: 243-101-002-000)]

The CARMELITE MONASTERY OF CARMEL application (PLN240240) came on for public hearing before the County of Monterey Zoning Administrator on August 14, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan (General Plan);
 - Carmel Area Land Use Plan (Carmel LUP); and
 - Carmel Area Coastal Implementation Plan, Part 4 (Carmel CIP);
 - Monterey County Zoning Ordinance (Title 20);No conflicts were found to exist. Staff has not received communications during the course of project review arguing that the property is in violation of the Title 20 (Zoning Ordinance). The subject

property is located within the Coastal Zone; therefore, the 2010 Monterey County General Plan does not apply.

- b) Allowed Use: The property is located at 27601 Highway 1, Carmel (Assessor's Parcel Number [APN]: 243-101-002-000), Carmel Area Land Use Plan. The parcel is zoned Public/Quasi Public, and Design Control overlay in the Coastal zone or "PQP-D" which allows the construction of structures accessory to any principal permitted use subject to a Coastal Administrative Permit and Design Approval in each case. The proposed project includes construction of 144 modules grouped into 3 arrays (48 modules each, approximately 1,045 square feet) and associated battery storage equipment within an existing 158 square foot well house. The project requires a Coastal Development Permit to allow for development within 750 feet of a known archaeological resource and an additional Coastal Development Permit to allow for development within 100 feet of ESHA, per Carmel CIP section 20.146.090 and 20.146.040, respectively. As further detailed in the evidence below and Finding 5, adequate findings can be made for the granting of a Coastal Development permit in each case. Therefore, the project is an allowed land use for this site.
- c) Lot Legality. The subject property (12.59 acres, Lot 22), APN: 243-101-002-000, is identified as a legal lot of record through the 1972 Assessor's Map, Book 243, Page 10. Therefore, the County of Monterey recognizes this lot as a legal lot of record.
- d) The project planner conducted a virtual site inspection to verify that the project on the subject parcel conforms to the plans listed above.
- e) Design and Visual Resources. The subject property is located within the public viewshed as illustrated in the Carmel LUP Map A and is identified as a highly sensitive visual resource by virtue of its prominence according to Carmel LUP Policy 2.2.1. Therefore, Policies 2.2.2 and 2.2.3.4 are applicable to ensure development is clearly subordinate to the natural scenic area and is in the least visible portion of the parcel. The proposed photovoltaic system would be located approximately 130 feet east and downhill from the Monastery. Surrounding the property are large oak trees and existing structures, which help blend the proposed photovoltaic system and battery storage from public viewshed points. The system includes three arrays of 48 modules (solar panels) and all associated storage equipment within an existing well house. The area of development is in the least visible area of the property to prevent visibility from the public viewshed and Highway 1. Additionally, Title 20 section 20.44 establishes regulations for Design Control zoning, or "D" districts, which is intended to regulate the location, size, configuration, materials, and colors of development to assure protection of public viewshed and neighborhood character, without imposing undue restrictions on private property. Although the colors and materials would be the standard solar panels consisting of black anodized aluminum, the solar panels will be sited behind the existing Monastery and screened by mature vegetation. Since the back half of the property (East of Highway 1) is downhill of the existing development, the panels would not be visible from neighboring properties and any common public viewing areas. In the Carmel Area

LUP, Policy 4.3.1 states that development should be sited out of view from major public viewpoints north of San Jose Creek, and the proposed solar panels preserve the open scenic qualities of the area. Therefore, the project as designed and sited assures protection of the public viewshed, is consistent with the neighborhood character, and assures visual integrity of the Carmel Area.

- f) Development Standards. The project is within the PQP zoning district and is subject to development standards established in Title 20 section 20.40.060. For accessory structures, the required minimum setbacks are 50 feet front, 6 feet side on front one-half of the property and 1 foot side on the rear one-half of the property, and 1 foot rear, and the maximum allowed height is 15 feet as measured from average natural grade. As delineated on the attached project plans the photovoltaic system is sited more than 150 feet from the front of the property, 20 feet from the side, and has a proposed height of 6 feet from average natural grade. Therefore, the proposed project complies with applicable site development standards as outlined in Title 20 section 20.40.060.
- g) Cultural Resources. Carmel CIP section 20.146.090 requires that development of any kind in areas considered to be archaeologically sensitive shall include field surveys and impact analysis by qualified individuals to precisely determine resources that may be impacted by the proposed project. The Monterey County Geographic Information System (GIS) identifies the subject property to be within a high archaeological sensitivity area and within 750 feet of known archaeological resources. As such, a Coastal Development Permit has been applied to this project as required by Carmel CIP section 20.146.090.A.

A previous report (LIB120268) for the subject property identified scattered prehistoric shell fragments around the Monastery which appeared to be associated with a known recorded site on the property. As such, the applicant submitted a Phase I and Phase II Archaeological Report (LIB250080) that reviewed the proposed development area. A field survey and auger testing were conducted directly where the proposed photovoltaic system is to be installed, and results were negative for any significant resources. Although the subject property has a known recorded site and previous findings, this is well outside of the project area. Carmel CIP section 20.146.090.D.3 requires development where archaeological sites are located to be designed to avoid impacts to such resources. The project is to be sited towards the back half of the property, in area confirmed to have negative findings for archaeological resources and the project includes minimal ground disturbance to install the solar panels. As recommended from the project archaeologist, Condition No. 3 has been applied and requires the contractor to stop work if previously unidentified resources are discovered during construction. Additionally, Condition No. 5 requires that a pre-construction cultural resource sensitivity training take place with all construction personnel prior to any ground disturbing activities. As designed and conditioned, the project ensures protection of the site's cultural resources consistent with the Carmel LUP and Carmel CIP.

- h) Historic Resource. The Carmelite Monastery is identified as an historic resource on the list of Monterey County Registry of Historic Resources; however, the development of the ground-mount photovoltaic solar system does not include any modifications to the Carmelite Monastery. The solar photovoltaic system is to be sited in area once used for prescribed burns, with associated battery storage equipment in an existing well house. No exterior modifications are proposed to the well house. Therefore, the proposed development does not alter the significant architectural features nor does the development adversely affect the character of the historic nature of the Monastery.
- i) Environmentally Sensitive Habitat Areas. As demonstrated in Finding 5, the development is consistent with biological resource policies of the Carmel LUP.
- j) Public Access. As demonstrated in Finding 6, the development is consistent with public access policies of the Carmel LUP.
- k) Land Use Advisory Committee. The proposed project was reviewed by the Carmel Land Use Advisory Committee May 19, 2025. The committee recommended approval of the project by a vote of 3-0 in support of the project.
- l) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240240.

2. **FINDING:**

EVIDENCE:

- SITE SUITABILITY** – The site is physically suitable for the use proposed.
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD- Planning, Carmel Highlands Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) The following reports have been prepared:
 - Phase 1 and Phase 2 Archaeological Assessment in Support of the Carmelite Monastery Solar Array Project (LIB250080) prepared by Susan Morley, Marina, CA on December 4, 2024;
 - Biological Assessment for proposed Carmelite Monastery – Solar Array Project (LIB250079) prepared by Nicole Nedeff, Carmel Valley, CA on December 12, 2024;

Upon independent review, staff concurs with conclusions of the report. There are no physical or environmental constraints that render the site unsuitable for the use proposed.
 - c) Staff conducted a virtual site inspection to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD - Planning for the proposed development found in Project File PLN240240.

3. **FINDING:**

HEALTH AND SAFETY - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety,

peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD - Planning, Carmel Highlands Fire Protection District, HCD- Engineering Services, Environmental Health Bureau, and HCD - Environmental Services. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) All necessary public facilities are available to the subject property. Sewer service will be provided; the wastewater collection and treatment system has adequate remaining capacity for sewage disposal. Potable water is provided by the California American Water Company. The proposed solar photovoltaic system does not require additional fixtures or connections.
 - c) Staff conducted a virtual site inspection to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD - Planning for the proposed development found in Project File PLN240240.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD - Planning and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a virtual site inspection and researched County records to assess if any violation exists on the subject property.
 - c) There are no known violations on the subject parcel.
 - d) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN240240.

-
5. **FINDING:** **ENVIRONMENTALLY SENSITIVE HABITAT** – The siting, location, size and design has been established to minimize impact to environmentally sensitive habitat areas and has been limited to that required for the overall health and long-term maintenance of the property.

- EVIDENCE:**
- a) The project includes development within 100 feet of ESHA. In accordance with Carmel CIP section 20.146.040, a Coastal Development Permit is required and the criteria to grant said permit have been met.
 - b) P Carmel CIP Plan section 20.146.040 requires that development of any kind within any known environmentally sensitive habitat areas shall include field surveys and impact analysis by qualified individuals to precisely determine habitat area, including environmentally sensitive habitat area (ESHA). The Monterey County GIS, specifically the

California Natural Diversity Database (CNDDDB), identifies the subject property to be within 100 feet of potential ESHA on the property. The applicant submitted a Biological report (LIB250079; **Exhibit D**), which indicated that there are no significant natural vegetation within the project area. However, the subject parcel is located north of the San Jose Creek, which is known to contain dense riparian habitat. Additionally, rare shrubs and wildlife species typically found in Coast Live Oak Woodland, Coastal Scrub, and Monterey Pine Forest were identified to be outside of the proposed project area. Carmel LUP Policy 2.3.1 identifies the riparian habitat, Coast Live Oak Woodland, Coastal Scrub, and Monterey Pine Forest to be environmentally sensitive habitat areas. The biologist conducted a site survey which identified that there were no sensitive or special status habitat observed within the proposed project site and that the environmentally sensitive habitat areas were approximately 200 feet away from the proposed development area of the photovoltaic system. The project biologist also confirmed that the CNDDDB illustrated sitings of special status species occurring along San Jose Creek such as California Red-legged Frog. Since these species are known to travel beyond their habitat, staff conservatively included a Coastal Development Permit for development within 100 feet of ESHA.

- c) Carmel CIP sections 20.146.040.B.3 and 20.146.040.C.2 identifies land uses adjacent to locations of ESHA to be compatible with the long-term maintenance of the resource, and appropriately setback from the riparian corridor. The proposed development is to be installed in an area outside of sensitive habitat, approximately 200 feet from the closest identified resource. Condition No. 5 for a pre-construction meeting for biological resource training take place should the likelihood California Red-Legged Frog is encountered. As proposed and conditioned, the project is consistent with the policies and regulations outlined in CAR LUP and CAR CIP and avoids impacts on nearby sensitive habitat areas and does not introduce any uses or development that are incompatible with the continuance of those habitat areas.
- d) No significant long-term effects on the environmentally sensitive habitat are anticipated. The project as proposed will not significantly reduce the availability of wildlife over the long term as the site as surrounding areas which are to remain untouched.
- e) Staff conducted a virtual site inspection to verify that the site and proposed project meet the criteria for an exemption.
- f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN24040.
- g) Staff conducted a virtual site inspection to verify that the site is suitable for this use.
- h) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240240.

6. FINDING:

PUBLIC ACCESS- The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3

- of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Carmel CIP Section 20.146.130, can be demonstrated.
 - b) Although the Carmelite Monastery is identified as an historic resource on the list of Monterey County Registry of Historic Resources, no proposed development or changes are included in this application to this part of the property. As discussed in Finding 1, the proposed development will be sited approximately 130 feet from the Carmelite Monastery with associated battery energy storage equipment within an existing well house. No exterior changes to the existing structures will be made as part of this application.
 - c) The subject property is described as an area where the Local Coastal Program requires physical public access (Figure 3, Local Coastal Program Public Access, in the Carmel LUP).
 - d) The subject project site is identified as an area where the Local Coastal Program requires visual public access (Map A- Local Coastal Program General Viewshed, in the Carmel LUP).
 - e) Based on the project location, and its topographical relationship to visual public access points in the area, the development proposal will not interfere with visual access along Highway 1. Consistent with Carmel LUP Policy 5.3.2.4, the proposed development will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity.
 - f) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN240240.

7. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts construction of new electrical extension and conversion of an existing accessory structure.
 - b) The project includes construction of a new photovoltaic system and conversion of an existing well house for battery storage, which meets this exemption.
 - c) No adverse environmental effects were identified during staff review of the development application during a virtual site visit.
 - d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. There is no cumulative impact without any prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered on a hazardous waste site. Historical resources found in the archaeological report (Finding 1.g) are less than significant and would

not be impacted by the proposed development. It is not visible from Highway 1 or designated public access areas/vista points.

- e) Staff conducted a virtual site inspection to verify that the site is suitable for this use.
- f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240240.

8. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.
- EVIDENCE:** a) Board of Supervisors. Pursuant to Title 20, Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
- b) Coastal Commission. Pursuant to Title 20, Section 20.86.080.A, the project is subject to appeal by/to the California Coastal Commission because it involves development that is permitted in the underlying zone as a conditional use.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the County of Monterey Zoning Administrator does hereby:

1. Find the project involves construction of a new for a new photovoltaic system, which qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(d) and 15303(e) of the CEQA guidelines and there are no exceptions pursuant to Section 15300.2 of the CEQA guidelines; and
2. Approve a Combined Development Permit consisting of a: 1) Coastal Administrative Permit and Design Approval to allow a ground mount photovoltaic system consisting of 57.6 kW and 144 panels; 2) Coastal Development Permit for development within 750 feet of known archeological resources; and 3) Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Area.

All general conformance with attached plans and subject to the attached 5 conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 14th day of August, 2025.

Mike Novo, AICP
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or

until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240240

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This Combined Development permit (PLN240240) allows a 1) Coastal Administrative Permit and Design Approval to allow construction of a ground mount photovoltaic system consisting of 57.6 kW and 144 panels; 2) Coastal Development Permit to allow development within 750 feet of known archeological resources; and 3) Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Area. The property is located at 27601 Highway 1, Carmel (Assessor's Parcel Number 243-101-002-000), Carmel Area Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Combined Development Permit (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 243-101-002-000 on August 14, 2025. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(B) - CULTURAL RESOURCES POSITIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If archaeological resources or human remains are accidentally discovered during construction, the following steps will be taken:

There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until the coroner of the county in which the remain are discovered must be contacted to determine that no investigation of the cause of death is required.

If the coroner determines the remains to be Native American:

- The coroner shall contact the Native American Heritage Commission and HCD - Planning within 24 hours.
- The Native American Heritage Commission shall identify the person or persons from a recognized local tribe of the Esselen, Salinan, Costonoans/Ohlone and Chumash tribal groups, as appropriate, to be the most likely descendant.
- The most likely descendant may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in Public Resources Code Section 5097.9 and 5097.993, Or

Where the following conditions occur, the landowner or his authorized representatives shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further subsurface disturbance:

1. The Native American Heritage Commission is unable to identify a most likely descendant or the most likely descendant failed to make a recommendation within 24 hours after being notified by the commission.
2. The descendant identified fails to make a recommendation; or
3. The landowner or his authorized representative rejects the recommendation of the descendant, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of any construction permits, the Owner/Applicant, per the archaeologist, shall submit the contract with a Registered Professional Archaeologist for on-call archaeological services should resources be discovered during construction activities. Submit the letter to the Director of the HCD – Planning for approval.

Prior to the issuance of any construction permits, the Owner/Applicant shall include requirements of this condition as a note on all construction plans.

Prior to Final, the Owner/Applicant, per the Archaeologist, shall submit a report or letter from the archaeologist summarizing their methods, findings, and recommendations if their services are needed during construction or if no resources were found.

4. PD016 - NOTICE OF REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:
"Biological Assessment for proposed Carmelite Monastery – Solar Array Project" (LIB250079), was prepared by Nicole Nedeff, Carmel Valley, CA on December 12, 2024, and is on file in Monterey County HCD - Planning.

"Phase 1 and Phase 2 Archaeological Assessment in Support of the Carmelite Monastery Solar Array Project" (LIB250080) was prepared by Susan Morley, Marina, CA on December 4, 2024, and is on file in Monterey County HCD - Planning.

All development shall be in accordance with these reports."
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

5. PD052 - PRE-CONSTRUCTION MEETING

Responsible Department: Planning

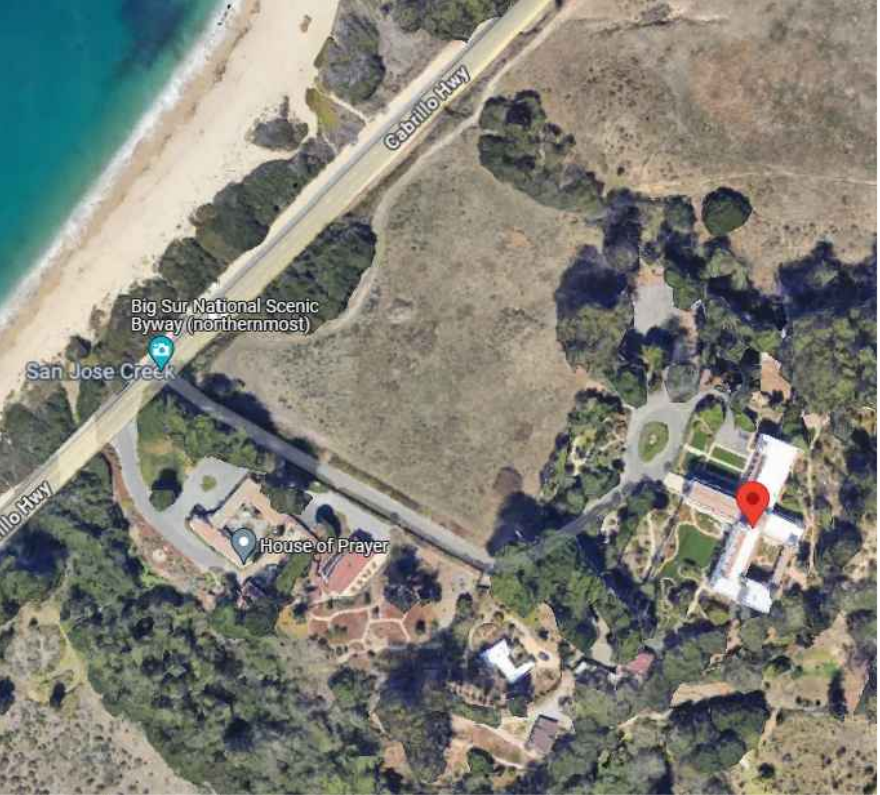
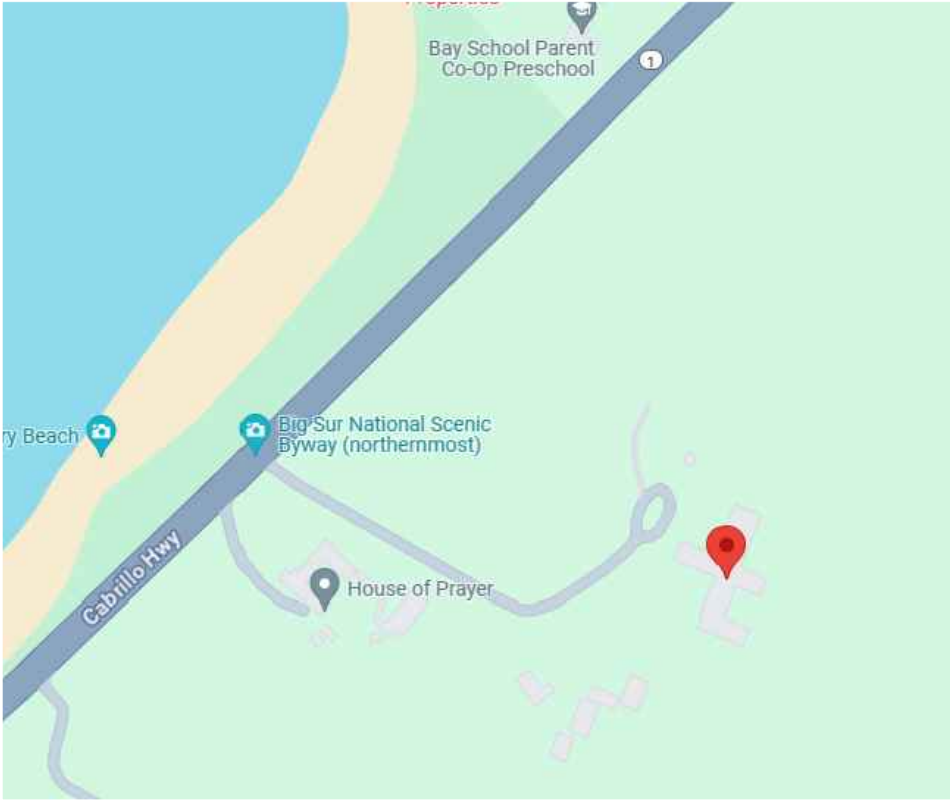
Condition/Mitigation Monitoring Measure: Prior to the commencement of any grading or construction activities, a pre-construction meeting shall be held on the site by a qualified biologist and archaeologist. The meeting shall include representatives of each of the selected contractors, any consultant who will conduct required monitoring, the Owner/Applicant, the HCD -Planning Department and any other appropriate County Departments. The purpose of the meeting is to review the conditions of approval that are applicable to the grading and construction of the approved development and applicable recommendations identified in the biological and archaeological reports. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to commencement of any grading or construction activities, the Owner/Applicant shall contact HCD -Planning to schedule a pre-construction meeting prior to commencement of any grading or construction activities. The Owner/Applicant shall be responsible for ensuring that all appropriate contractors and technical consultants are in attendance. HCD -Planning staff shall be responsible for identifying and notifying other County Departments that should attend the meeting (if applicable).

GENERAL NOTES:

1. LOCAL UTILITY PROVIDER SHALL BE NOTIFIED PRIOR TO USE AND ACTIVATION OF ANY SOLAR PHOTOVOLTAIC INSTALLATION.
2. NO SHEET METAL OR TECH SCREWS SHALL BE USED TO GROUND DISCONNECT ENCLOSURE WITH TIN-PLATED ALUMINUM LUGS; PROPER GROUNDING/GROUND BAR KITS SHOULD BE USED.
3. ALL EXTERIOR CONDUIT, FITTINGS, AND BOXES SHALL BE WITH RAIN TIGHT AND APPROVED FOR USE IN WET LOCATIONS.
4. BACK-FED BREAKER MUST BE AT THE OPPOSITE END OF BUS BAR FROM THE MAIN BREAKER OR MAIN LUG SUPPLYING CURRENT FROM THE UTILITIES.
5. ALL CONDUCTORS EXPOSED TO SUNLIGHT ARE LISTED AS SUNLIGHT RESISTANT.
6. INSTALLER TO FOLLOW ALL LOCAL JURISDICTION GUIDELINES.
7. GROUNDING BUSHINGS ARE REQUIRED AROUND PRE-PUNCHED CONCENTRIC KNOCKOUTS ON THE DC SIDE OF THE SYSTEM.
8. DRAWINGS ARE DIAGRAMMATIC ONLY. THE LOCATION AND ROUTING OF RACEWAYS SHALL BE DETERMINED BY THE CONTRACTOR UNLESS OTHERWISE NOTED OR STANDARDIZED.
9. ALL EQUATIONS ACCOUNT FOR WORST CASE CONDITIONS.
10. IF A DISCREPANCY IN QUANTITY OR SIZE OF CONDUIT, WIRE, EQUIPMENT DEVICES, OVERCURRENT PROTECTION, GROUNDING SYSTEMS, ETC. (ALL EQUIPMENT AND MATERIALS) THE CONTRACTOR AND OR HOME OWNER SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS AND SERVICES REQUIRED BY THE STRICTEST CONDITIONS IN THE SPECIFICATIONS OR NOTED ON THE PLANS TO ENSURE COMPLETE COMPLIANCE WITH ALL CODES AND TO ENSURE THE LONGEVITY AND SAFETY OF THE OPERABLE SYSTEM.
11. ALL OUTDOOR EQUIPMENT SHALL BE MIN. NEMA 3R RATED.
12. THE ELECTRICAL CONTRACTOR SHALL COMPLY WITH ANY AND ALL REQUIREMENTS GIVEN BY UTILITY COMPANIES.
13. FOR ADDITIONAL EQUIPMENT SPECIFICATIONS, SEE PROVIDED CUT SHEETS.
14. ALL LABELS AND MARKINGS SHALL BE ATTACHED ACCORDING TO REQUIREMENTS BY LOCAL AHJ. THE AHJ MAY HAVE SPECIAL LABEL REQUIREMENTS BEYOND THE SCOPE OF THIS DOCUMENT.

VICINITY MAP



Prepared by(N.H.)

www.solarpermitservices.com
info@solarpermitservices.com
(949) 872-8236



SCOPE OF WORK:

GROUND MOUNT PV SOLAR

ARRAY / MODULES:

(144)HYUNDAI SOLAR HIS-S400YH(BK) 400W

INVERTER(S) / MICRO / OPTIMIZERS:

(2)SOL-ARK C&I HYBIRD 30K-3P-208V

(36)(9X4)DEKA DD5300 HIGH
VOLTAGE DURATION 5.3
BATTERIES

ARRAY PITCH: 15°

AZIMUTH: 180°

ONE-STORY HOUSE

LISTED BY UNDERWRITERS
LABORATORIES FOR ELECTRICAL
AND FIRE SAFETY(CLASS A FIRE RATING)
1) NO DISCHARGE OF ANY POLLUTANTS
TO ANY STORM DRAIN SYSTEM.
2) UL 1703 FOR MODULES & UL 1741
FOR INVERTERS PER CITY SOLAR
REQUIRMENTS.

THIS PROJECT SHALL COMPLY WITH THE :
2022 CA BUILDING CODE
2022 CA PLUMBING CODE
2022 CA RESIDENTIAL CODE
2022 CA ENERGY CODE
2022 CA MECHANICAL CODE
2022 CA FIRE CODE
2022 CA ELECTRICAL CODE
ORDINANCES OF CITY AND OR COUNTY OF
CARMEL

INDEX SHEET :

- CS1 COVER SHEET
- B2 SITE PLAN
- B3 PLOT PLAN
- B4 EQUIPMENT PLAN
- E5 ELECTRICAL DIAGRAM
- S6 SIDE VIEW
- S7 SIDE VIEW
- S8 SIDE VIEW
- S9 SIDE VIEW
- S10 SIDE VIEW
- B11 WARNING LABELS
- B12 SPECS
- B13 SPECS
- B14 SPECS

UMSTEAD ELECTRIC

MODULES / INVERTER(S) / OPTIMIZERS

(144)HYUNDAI SOLAR HIS-S400YH(BK) 400W
(2)SOL-ARK C&I HYBIRD 30K-3P-208V
(36)DEKA DD5300 HIGH VOLTAGE
DURATION 5.3 BATTERIES

SYSTEM SIZE:

57.600 KW DC (STC)
52.430 KW DC (PTC)
50.857 KW AC (CEC)

COMPLETED:	8/20/2024
REVISION #1:	
REVISION #2:	

PROJECT: PHONE# 831 214 3497

CARMELITE MONASTERY
27601 CA-1
CARMEL, CA 93923
OCCUPANCY TYPE: A GROUP:A-3
APN# 243-101-002-000
36.523111349, -121.9228852910

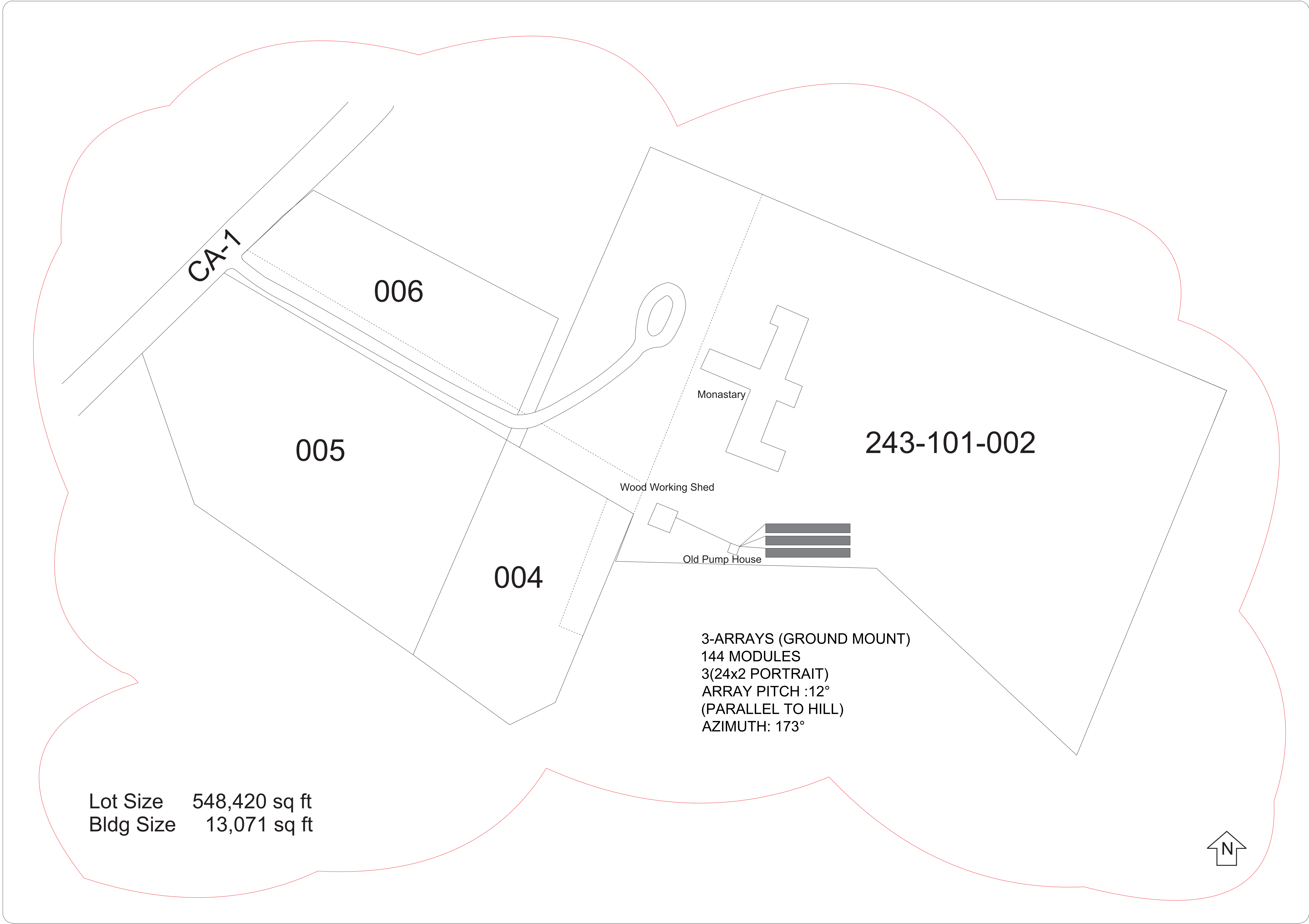
UMSTEAD ELECTRIC
602 S 1ST ST.
KING CITY, CA 93930
PHONE: 831 214 3497

CONTRACTOR: TED UMSTEAD
STATE LICENSE # 778831

EXPIRATION DATE 05/31/2026
LICENSE CLASS C-10

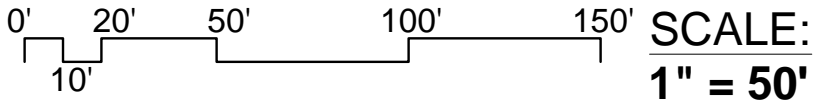
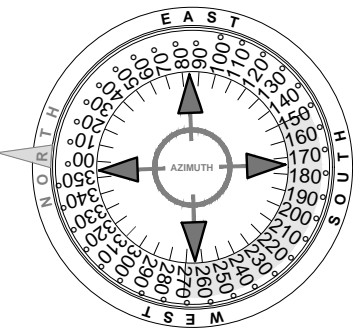
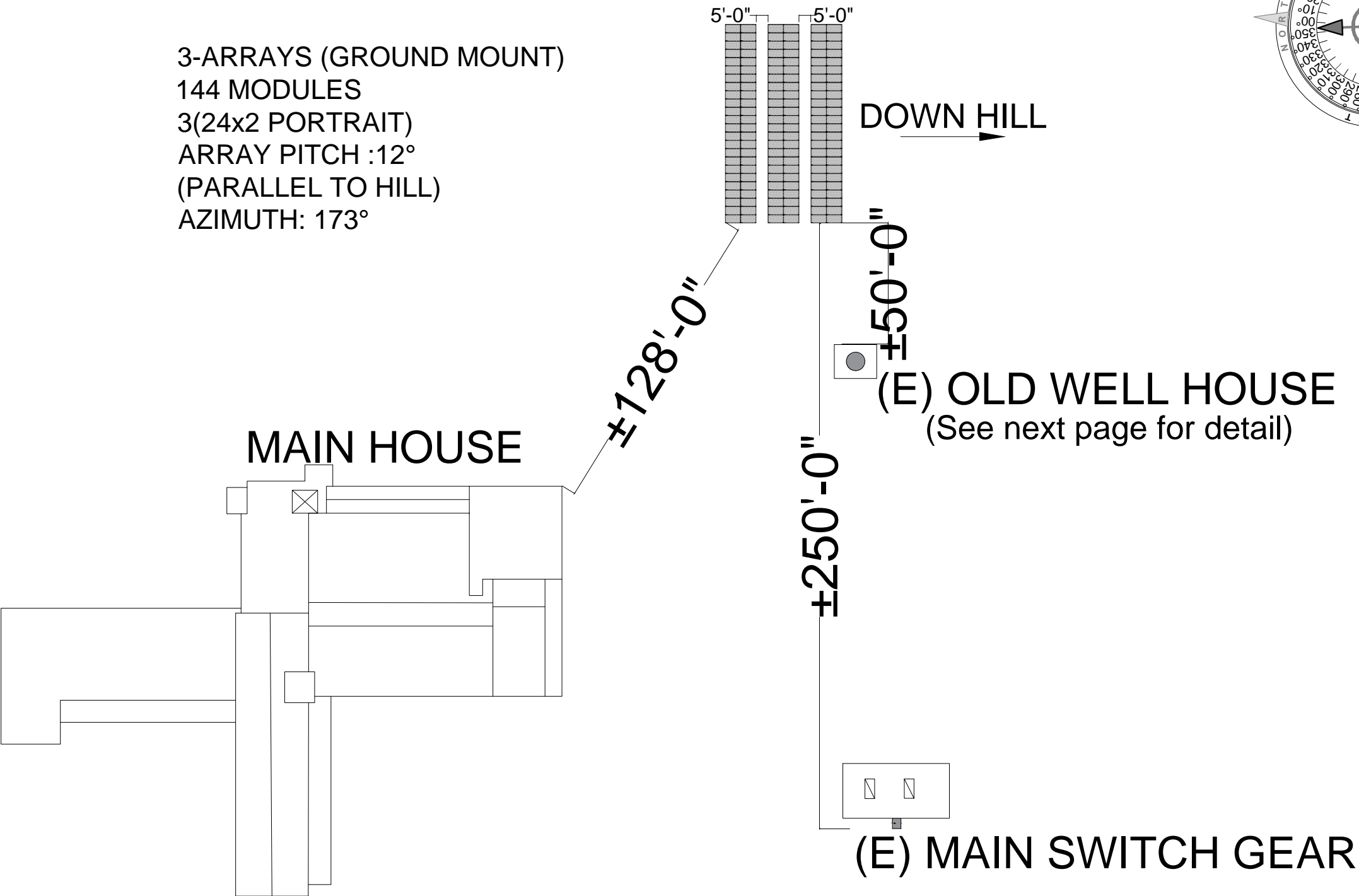
CS1

DISCLAIMER: If any Errors, Discrepancies or Omissions appear in these drawings, specifications or other contract documents; The Owner or General Contractor shall notify the Designer, in writing, of such error or omission. In the event that the Owner or General Contractor falls to give such notice, before construction and/or fabrication of the work, the Owner or General Contractor will be held responsible to the result of any errors, discrepancies or omissions and the cost of rectifying them.

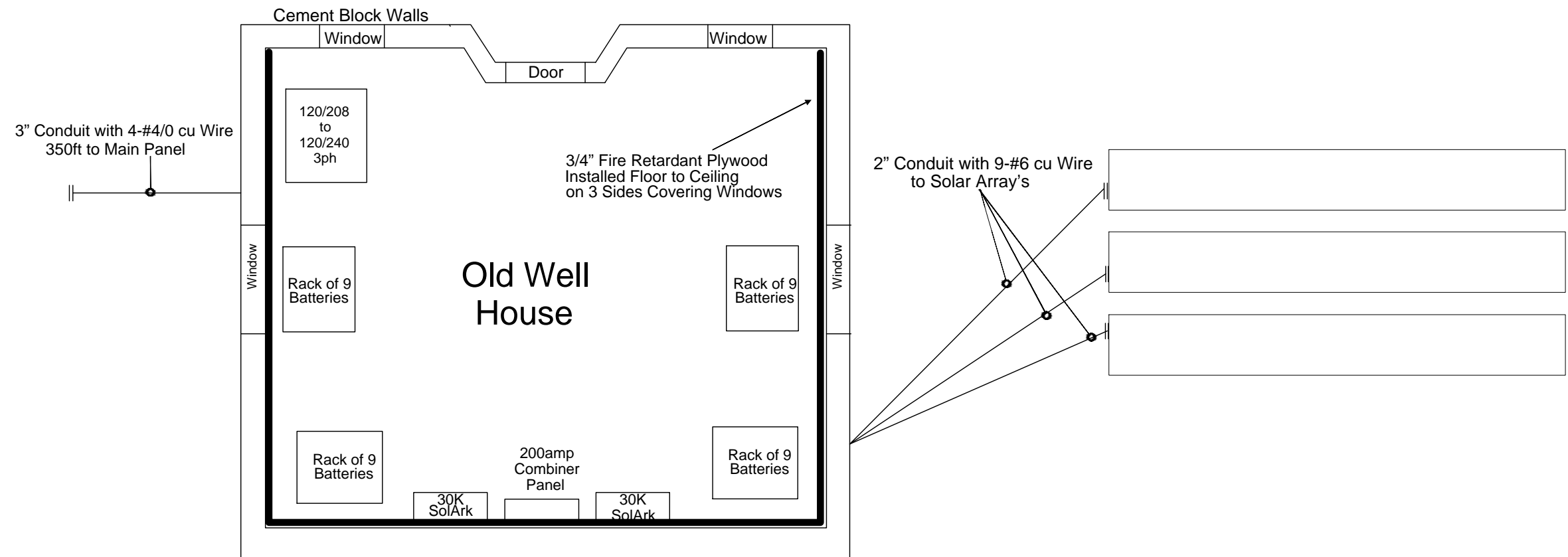
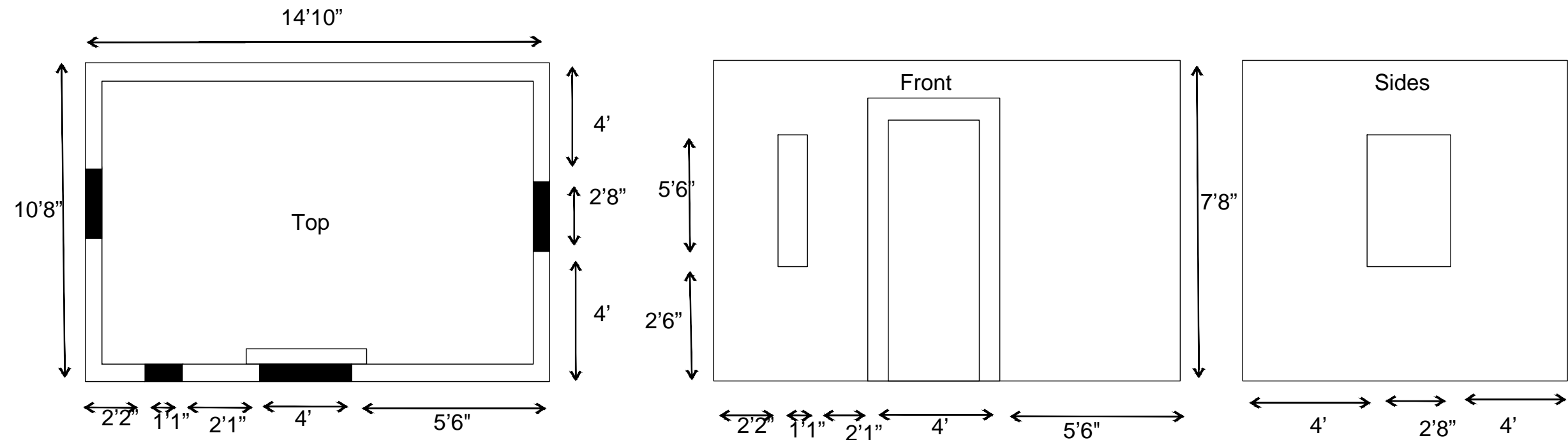


UMSTEAD ELECTRIC			
UMSTEAD ELECTRIC 602 S 1ST ST. KING CITY, CA 93930 PHONE: 831 214 3497		PROJECT: PHONE# 831 214 3497	
		CARMELITE MONASTERY 27601 CA-1 CARMEL, CA 93923 OCCUPANCY TYPE: A GROUP:A-3 APN# 243-101-002-000 36.523111349, -121.9228852910	
CONTRACTOR: TED UMSTEAD STATE LICENSE # 778831	CONTRACTOR: TED UMSTEAD LICENSE CLASS C-10	CONTRACTOR: TED UMSTEAD EXPIRATION DATE 05/31/2026	MODULES / INVERTER(S) / OPTIMIZERS (144)HYUNDAI SOLAR HIS-S400YH(BK) 400W (2)SOL-ARK C&I HYBRID 30K-3P-208V (36)DEKA DD5300 HIGH VOLTAGE DURATION 5.3 BATTERIES SYSTEM SIZE: 57.600 KW DC (STC) 52.430 KW DC (PTC) 50.857 KW AC (CEC)
B2			

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UMSTEAD ELECTRIC			
UMSTEAD ELECTRIC 602 S 1ST ST. KING CITY, CA 93930 PHONE: 831 214 3497		MODULES / INVERTER(S) / OPTIMIZERS (144) HYUNDAI SOLAR HIS-S400YH(BK) 400W (2) SOL-ARK C&I HYBRID 30K-3P-208V (36) DEKA DD5300 HIGH VOLTAGE DURATION 5.3 BATTERIES	
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PROJECT: PHONE# 831 214 3497		CARMELITE MONASTERY 27601 CA-1 CARMEL, CA 93923 OCCUPANCY TYPE: A GROUP:A-3 APN# 243-101-002-000 36.523111349, -121.9228852910	
CONTRACTOR: TED UMSTEAD		EXPIRATION DATE 05/31/2026	
STATE LICENSE # 778831	LICENSE CLASS C-10	B3	



UMSTEAD ELECTRIC

MODULES / INVERTER(S) / OPTIMIZERS

(144) HYUNDAI SOLAR HIS-S400YH(BK) 400W
(2) SOL-ARK C&I HYBRID 30K-3P-208V
(36) DEKA DD5300 HIGH VOLTAGE
DURATION 5.3 BATTERIES

SYSTEM SIZE:

57.600 KW DC (STC)
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CARMELITE MONASTERY

27601 CA-1

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602 S 1ST ST.

KING CITY, CA 93930

PHONE: 831 214 3497

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STATE LICENSE # 778831

LICENSE CLASS C-10

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B4

ELECTRICAL NOTES:

- E1. ALL EQUIPMENT IS LISTED FOR USE.
E2. MAXIMUM VOLTAGE DOES NOT EXCEED 600VDC.
E3. ANY EQUIPMENT OR ELECTRICAL MATERIALS USED FOR THIS INSTALLATION SHALL BE NEW AND LISTED BY A RECOGNIZED ELECTRICAL TESTING LABORATORY.
E4. CONDUIT RUNS SHALL BE PROVIDED WITH SUFFICIENT WEATHERPROOF PULL BOXES OR JUNCTION BOXES/COMBINER BOXES PER APPROPRIATE JURISDICTIONAL REQUIREMENTS.
E5. ALL PV ARRAYS SHALL BE EQUIPPED WITH DC GROUND FAULT PROTECTION.
E6. ANY AC COMPONENT SHALL MEET OR EXCEED THE AVAILABLE FAULT CURRENT CALCULATED AT THAT COMPONENT.
E7. ALL MODULES AND ANY RELATED ROOF MOUNTED METALLIC EQUIPMENT SHALL BE PROPERLY GROUNDED.
E8. DC EQUIPMENT SHALL BE 600VDC RATED MINIMUM.
E9. MARKINGS SHALL BE PROVIDED TO INDICATE THAT ALL CONTACTS OF THE DISCONNECT EQUIPMENT MIGHT BE ENERGIZED.
E10. INVERTER(S) SHALL CONTAIN A GROUND FAULT DETECTION AND INTERRUPTION DEVICE.
E11. ALL METALLIC RACEWAYS AND EQUIPMENT SHALL BE BONDED AND ELECTRICALLY CONTINUOUS.
E12. THE POINT OF CONNECTION COMPLIES WITH APPLICABLE CEC/NEC.
E13. BACKFED SOLAR BREAKER(S) SHALL BE INSTALLED AT THE OPPOSITE END OF THE CIRCUIT OR FURTHEST AWAY FROM THE MAIN BREAKER.
E14. ALL WIRE, VOLTAGES, AMPERAGES AND EQUIPMENT IS SIZED ACCORDING TO TEMPERATURE DERATING AND LOCATION.
E15. ONLY COPPER (CU) CONDUCTORS SHALL BE USED. CONDUCTORS SHALL BE STRANDED OR SOLID WITH PROPERLY RATED CONNECTORS.
E16. DISCONNECT SHALL BE WIRED SO NO BLADES ARE ENERGIZED
E17. ALL MODULES AND RACKING SHALL BE GROUNDED USING 2703 UL LISTED RAIL INTEGRATED GROUNDING SYSTEM OR WITH TIN PLATED DIRECT BURIAL RATED LAY IN LUGS USING STAINLESS STEEL HARDWARE, STAR WASHERS, AND THREAD FORMING BOLTS OR WEEBS.
E18. ALL EQUIPMENT SHALL BE GROUNDED, INCLUDING BONDING JUMPERS WHERE NECESSARY ACROSS RAIL SPLICE PLATES TO BOND INDIVIDUAL PIECES OF RAIL THAT ARE CONNECTED AS AN EXPANSION SPLICE.

5' EXTERIOR, 2-1/2" EMT AC CONDUIT
(4)#4/0 CU THHN CONDUCTORS
(1)#1 CU THHN GROUND

250' TRENCH, 24" DEEP,
2-1/2" PVC SCH. 40 AC CONDUIT
(4)#4/0 CU THHN CONDUCTORS
(1)#1 CU THHN GROUND

TO UTILITY GRID
120/240V
THREE PHASE
BI-DIRECTIONAL
UTILITY METER

(N)225A 240V AC DISCONNECT
200A FUSES, 3-POLE, LOCKABLE
KNIFE BLADE, NEMA 3R 6.3 &
NEC690.17

MOUNTS AND EQUIPMENT
ENCLOSURES GROUNDED
TO MAIN PANEL GROUND (E) UFER GND

LINE SIDE TAP W/
IRREVERSIBLE
CONNECTORS

(N) 75 KVA TRANSFORMER
INSIDE OLD WELL HOUSE

120/240V
3PHASE

120/208V
3PHASE

2' EXTERIOR, 2-1/2" EMT AC CONDUIT
(4)#4/0 CU THHN CONDUCTORS
(1)#1 CU THHN GROUND

(E) 120/208V 3PHASE 200A
PANEL W/ 200A MCB
(N) 2- 120A PV BREAKERS
INSIDE OLD WELL HOUSE

PER BREAKER
5' EXTERIOR/INTERIOR 1-1/2" EMT AC CONDUIT
(4)#2 CU THNN CONDUCTORS
(1)#8 CU THNN GROUND
INSIDE OLD WELL HOUSE

PER INVERTER

PTC RATING IS: 364.10W					
72	x	364.1	x	0.965	/ 1000 = 25.298 KW-AC (CEC)
72	x	364.1	/	1000	= 26.215 KW-DC (PTC)

VOLTAGE DROP % CALCULATION

VD=100' x 2 x 1.24 x 10.61/1000= 2.63V
% =2.63V / 240V = 0.0110 1.10%

ARRAY RATING

VOC: 271.80 VDC
VMP: 226.20 VDC
ISC: 45.00 ADC
IMP: 42.44 ADC

CEC 690.8(A)(1),(B)(1)EACH

ISC = 11.25 x 1.25 x 1.25 = 17.58A
INVERTER DC MAX. INPUT CURRENT = 36.0A
voc =45.3 x 1.13 x 6 = 307.1V/DC
INVERTER MAX. INPUT VOLTAGE = 550 V/DC

SUB PANEL PV-CB SIZE = 120A

83.4A x 1.25 = 104.25A

CALCULATIONS FOR CURRENT CARRYING
CONDUCTORS:
DC REQUIRED CONDUCTOR AMPACITY

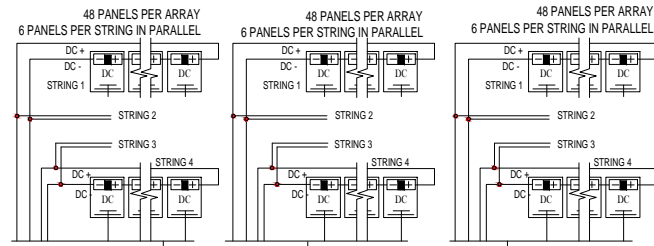
11.25 x 1.25 x 1.25 = 17.58A
AWG #10 DERATED AMPACITY:
40 X 0.58 X 0.8 = 18.6A
% 1) 5 ~ 17.58A

THEREFORE DC WIRE SIZE IS VALID

CALCULATIONS FOR CURRENT CARRYING
CONDUCTORS:
AC REQUIRED CONDUCTOR AMPACITY

83.4A x 1.25 = 104.25A
AWG #2 DERATED AMPACITY:
155 X 0.91 X 0.8 = 112.8A
% 2", (5 ~ 104.25A

THEREFORE AC WIRE SIZE IS VALID



PER ARRAY
100' TRENCH, 24" DEEP,
2" PVC SCH. 40 DC CONDUIT
(4)#6 CU THHN CONDUCTORS
(1)#6 CU THHN GROUND

PER BATTERY
1-1/4" EMT DC CONDUIT
(2)#2/0 CU THWN-2 CONDUCTORS
(1)#4 CU THWN-2 NEUTRAL
90°C WET & DRY

SOL-ARK
47.7kWh
HV (9)
5.3kWh
BATTERIES

SOL-ARK
47.7kWh
HV (9)
5.3kWh
BATTERIES

SOL-ARK
47.7kWh
HV (9)
5.3kWh
BATTERIES

SOL-ARK
47.7kWh
HV (9)
5.3kWh
BATTERIES

INSIDE OLD WELL HOUSE

GUTTER - WIRING MANAGEMENT

INSIDE OLD WELL HOUSE

UNGROUND
INVERTER#2
SOL-ARK
30K-3P-208V[120/208V]
MAX. EFFIC. 96.5%
1 A
550VDC
EGC
INTEGRATED
DC DISCONNECT

UNGROUND
INVERTER#1
SOL-ARK
30K-3P-208V[120/208V]
MAX. EFFIC. 96.5%
1 A
550VDC
EGC
INTEGRATED
DC DISCONNECT

PER INVERTER
1" EMT DC CONDUIT
(4)#6 CU THNN CONDUCTORS
(1)#6 CU THNN NEUTRAL
(1)#6 CU THNN GROUND

4 STRING PER INVERTER

UMSTEAD ELECTRIC

MODULES / INVERTER(S) / OPTIMIZERS

(144)HYUNDAI SOLAR HIS-S400YH(BK) 400W
(2)SOL-ARK C&I HYBRID 30K-3P-208V
DEKA DD5300 HIGH VOLTAGE
(36) DURATION 5.3 BATTERIES

SYSTEM SIZE:

57.600 KW DC (STC)
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50.857 KW AC (CEC)

PHONE# 831 214 3497

PROJECT:

CARMELITE MONASTERY

27601 CA-1

CARMEL, CA 93923

OCCUPANCY TYPE: A GROUP:A-3

APN# 243-101-002-000

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PHONE: 831 214 3497

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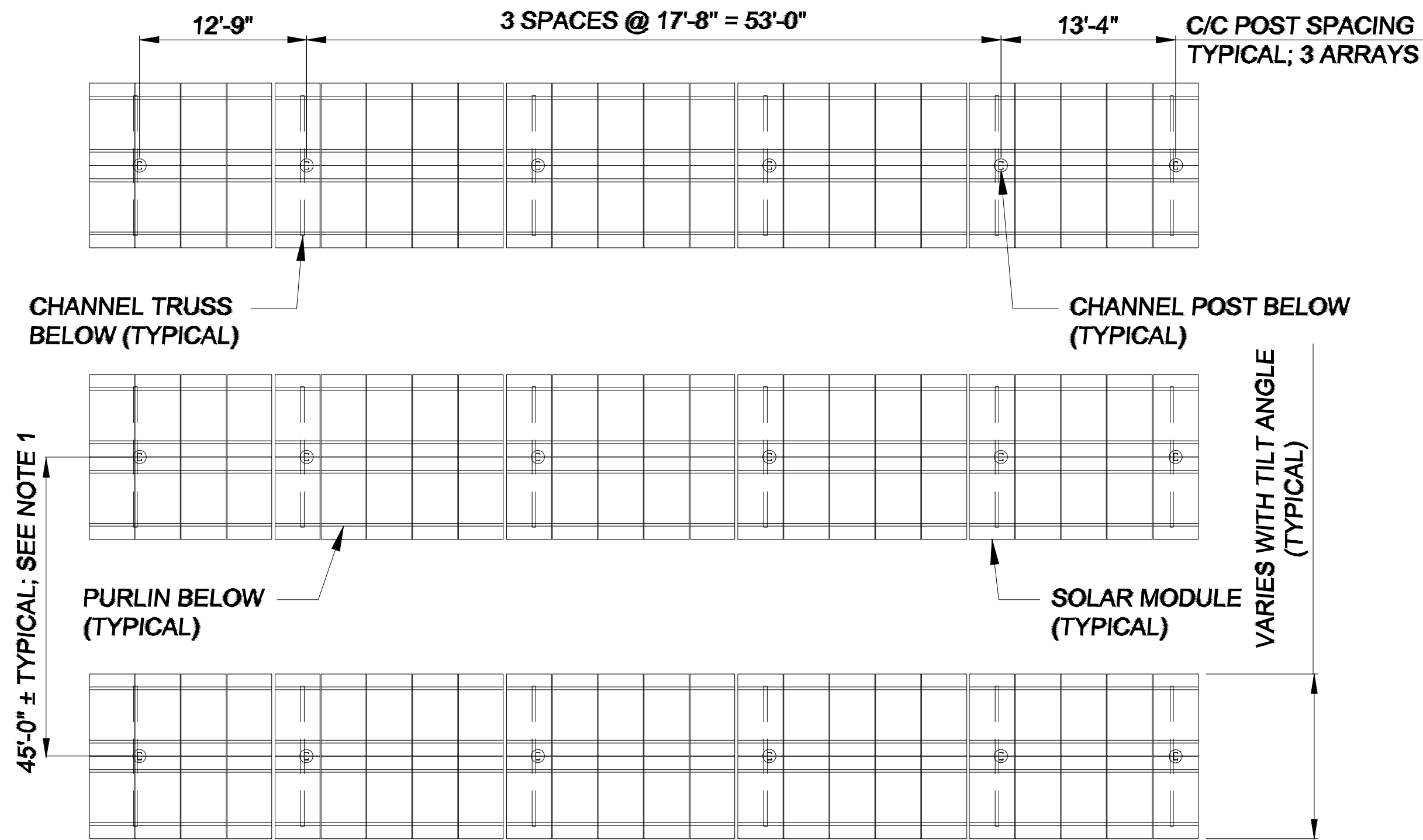
STATE LICENSE # 778831

LICENSE CLASS C-10

EXPIRATION DATE 05/31/2026

E5

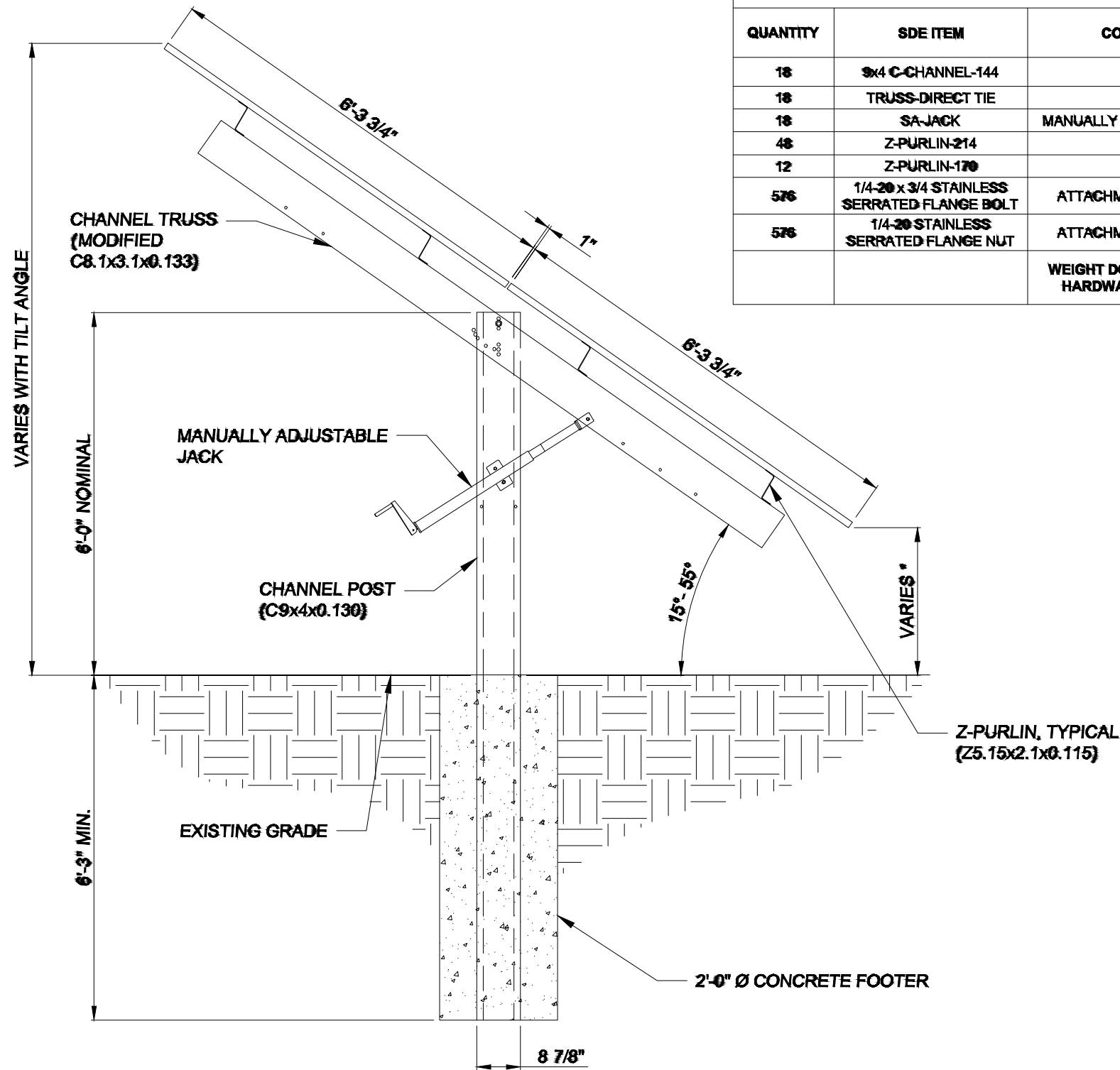
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- NOTES**
- 1. C/C POST DIMENSION AS SHOWN MAY BE FIELD MODIFIED; HOWEVER, CONSIDERATION SHOULD BE GIVEN TO SHADING
 - 2. WEST FACING POST SHOWN IN RACKING SIDE ELEVATION VIEW. EAST FACING POST SIMILAR
 - 3. BOTTOM OF POST SHALL BE NO MORE THAN 2'-0" ABOVE BOTTOM OF CONCRETE FOUNDATION
 - 4. FOUNDATION BORINGS SHALL BE MADE INTO UNDISTURBED SOIL
 - 5. ALL CONCRETE SHALL BE AIR ENTRAINED (5% TO 8%), HAVE A 3 1/2" TO 4 1/2" SLUMP, AND OBTAIN A MINIMUM COMPRESSIVE STRENGTH (1%) OF 4,000 PSI AT 28 DAYS
 - 6. SYSTEM SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION GUIDE AND SPECIFICATIONS
 - 7. DRAINAGE SHALL BE DIVERTED AWAY FROM POSTS. POSTS SHALL NOT BE INSTALLED IN SWALES, DRAINAGE AREAS, OR WHERE WATER MAY BE ALLOWED TO FLOW OR STAND
 - 8. EXISTING GRADE SHALL BE NOMINALLY FLAT WITH NO MORE THAN 5" SLOPE
 - 9. DAMAGED COMPONENTS SHALL BE REJECTED AND REPLACED
 - 10. 55 DEGREES (FROM HORIZONTAL) SHALL BE THE MAXIMUM TILT IN THE WINTER AND 15 DEGREES (FROM HORIZONTAL) SHALL BE THE MINIMUM TILT IN THE SUMMER. THE SYSTEM SHALL BE ADJUSTED THROUGHOUT THE YEAR BETWEEN THESE TWO TILT ANGLES
 - 11. SEE SHEETS C1 THROUGH C3 FOR STANDARD CONNECTION DETAILS AND NOTES

TOTAL MODULE COUNT: 144
RACKING PLAN VIEW
SCALE: NONE

UMSTEAD ELECTRIC	
MODULES / INVERTER(S) / OPTIMIZERS (144) HYUNDAI SOLAR HIS-S400YH(BK) 400W (2) SOL-ARK C&I HYBRID 30K-3P-208V (36) DEKA DD5300 HIGH VOLTAGE DURATION 5.3 BATTERIES	
SYSTEM SIZE: 57.600 KW DC (STC) 52.430 KW DC (PTC) 50.857 KW AC (CEC)	
PROJECT: PHONE# 831 214 3497 CARMELITE MONASTERY 27601 CA-1 CARMEL, CA 93923 OCCUPANCY TYPE: A GROUP: A-3 APN# 243-101-002-000 36.523111349, -121.9228852910	UMSTEAD ELECTRIC 602 S 1ST ST. KING CITY, CA 93930 PHONE: 831 214 3497 CONTRACTOR: TED UMSTEAD STATE LICENSE # 778831 LICENSE CLASS C-10 EXPIRATION DATE 05/31/2026
S6	



RACKING SIDE ELEVATION VIEW
SCALE: NONE

TRUSS TOP AND BOTTOM FLANGES
NOT SHOWN FOR CLARITY

* APPROX. 1'-4" @ 55 DEGREES
APPROX. 4'-10" @ 15 DEGREES

BILL OF MATERIALS				
QUANTITY	SDE ITEM	COMPONENT	COMPONENT WEIGHT (LBS)	TOTALS (LBS)
18	3x4 C-CHANNEL-144	POST	95	1710
18	TRUSS-DIRECT TIE	TRUSS	75	1350
18	SA-JACK	MANUALLY ADJUSTABLE JACK	15	270
48	Z-PURLIN-214	PURLIN	62	2976
12	Z-PURLIN-170	PURLIN	49	588
576	1/4-20 x 3/4 STAINLESS SERRATED FLANGE BOLT	ATTACHMENT HARDWARE	NA	-
576	1/4-20 STAINLESS SERRATED FLANGE NUT	ATTACHMENT HARDWARE	NA	-
		WEIGHT DOES NOT INCLUDE HARDWARE OR CLAMPS	TOTAL WEIGHT (LBS)	6894

UMSTEAD ELECTRIC

MODULES / INVERTER(S) / OPTIMIZERS

(144) HYUNDAI SOLAR HIS-S400YH(BK) 400W
(2) SOL-ARK C&I HYBRID 30K-3P-208V
(36) DEKA DD5300 HIGH VOLTAGE
DURATION 5.3 BATTERIES

SYSTEM SIZE:

57,600 KW DC (STC)
52,430 KW DC (PTC)
50,857 KW AC (CEC)

PROJECT: PHONE# 831 214 3497

CARMELITE MONASTERY

27601 CA-1

CARMEL, CA 93923

OCCUPANCY TYPE: A GROUP: A-3

APN# 243-101-002-000

36.52311349, -121.9228852910

UMSTEAD ELECTRIC
602 S 1ST ST.
KING CITY, CA 93930
PHONE: 831 214 3497

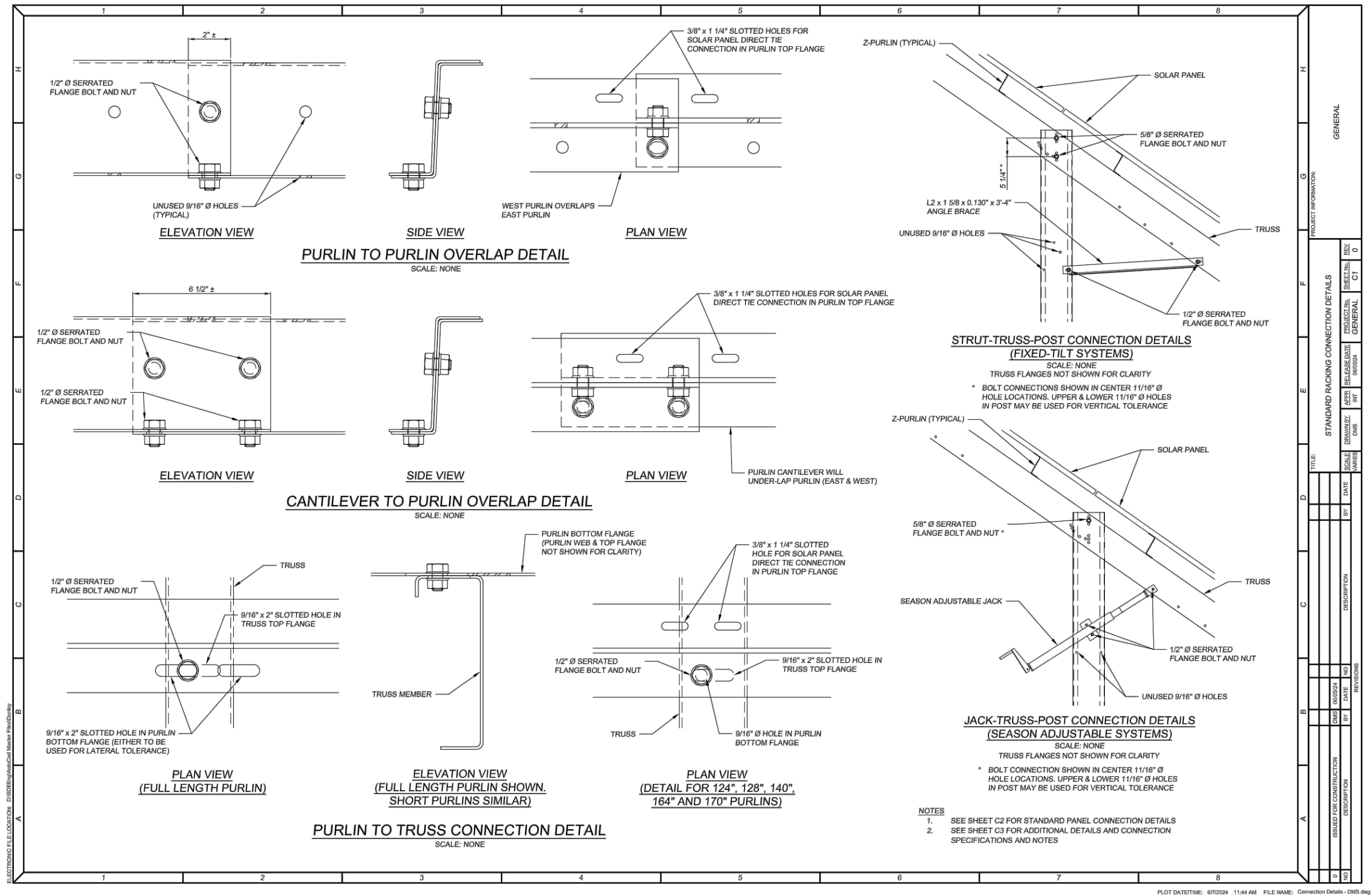
CONTRACTOR: TED UMSTEAD

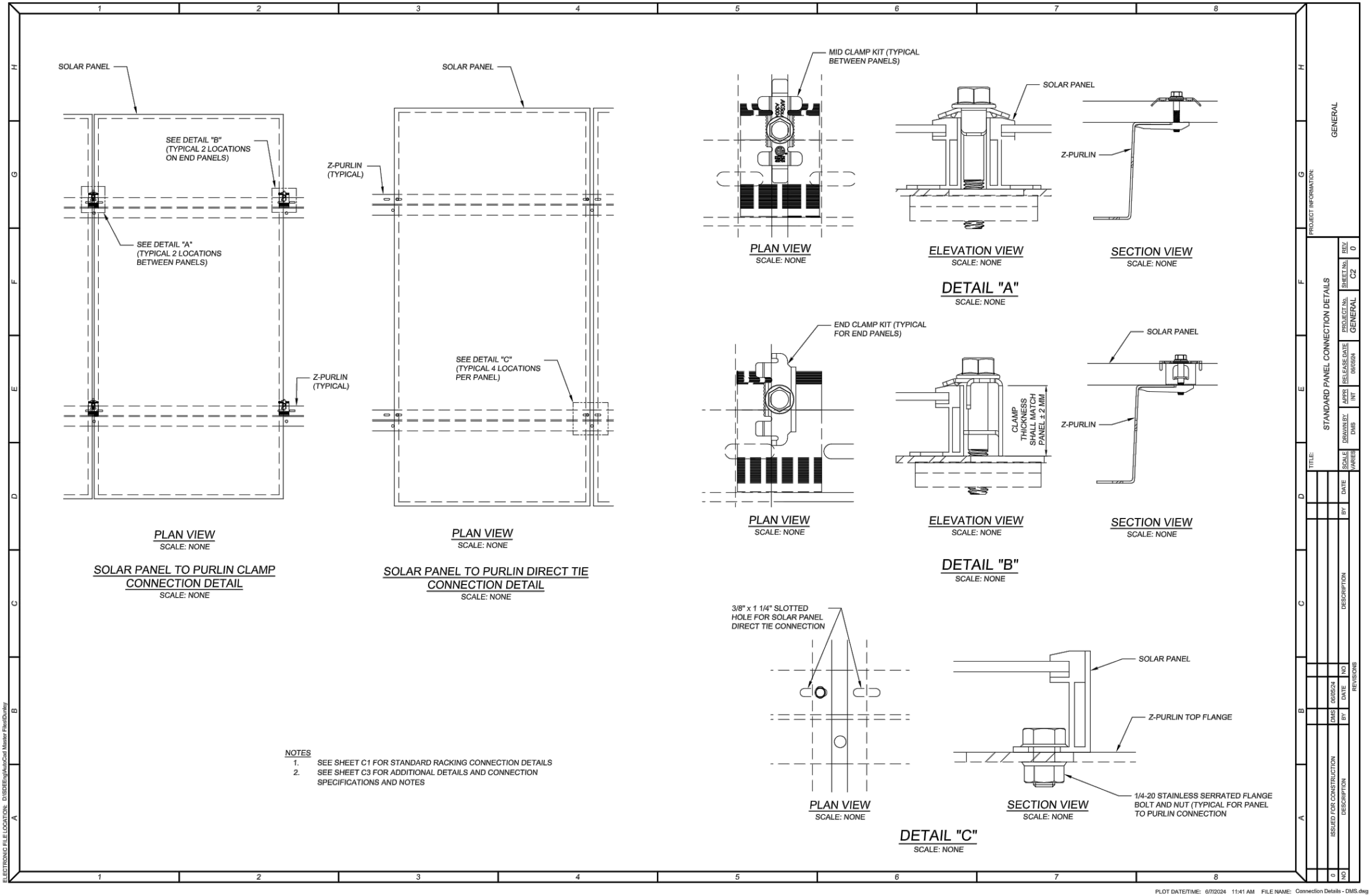
STATE LICENSE # 778831

LICENSE CLASS C-10

EXPIRATION DATE 05/31/2026

S7





UMSTEAD ELECTRIC

602 S 1ST ST.
KING CITY, CA 93930
PHONE: 831 214 3497

CONTRACTOR: TED UMSTEAD
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LICENSE CLASS C-10

EXPIRATION DATE 05/31/2026

PROJECT: PHONE# 831 214 3497

CARMELITE MONASTERY
27601 CA-1
CARMEL, CA 93923
OCCUPANCY TYPE: A GROUP:A-3
APN# 243-101-002-000
36.523111349, -121.9228852910

MODULES / INVERTER(S) / OPTIMIZERS

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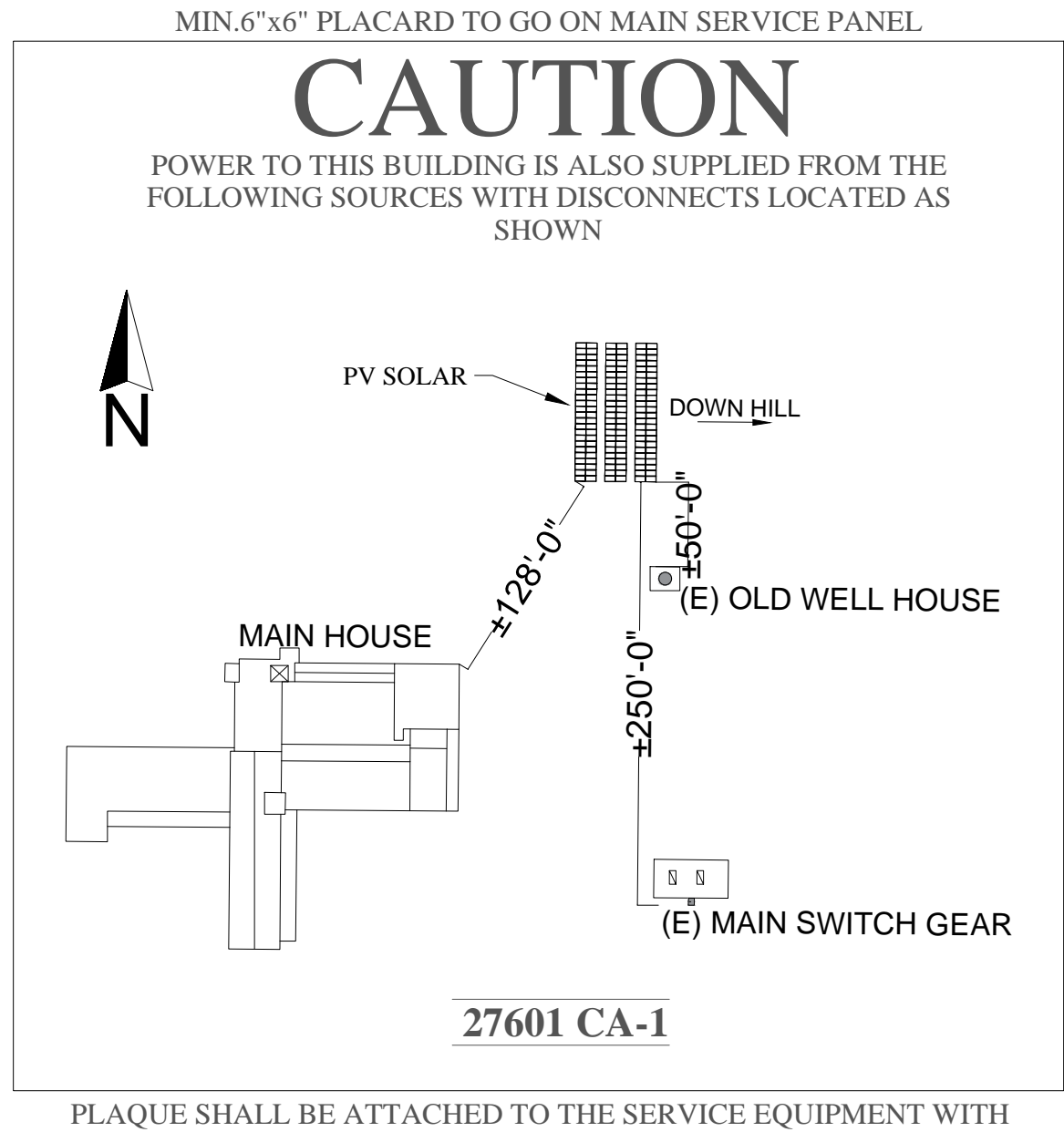
SYSTEM SIZE:
57.600 KW DC (STC)
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50.857 KW AC (CEC)



S10

48

- NOTES
- 1. ARTICLES 690 AND 705 MARKINGS SHOWN HEREON
 - 2. ALL MARKINGS SHALL CONSIST OF THE FOLLOWING:
 - A. UV RESISTANT SIGN MATERIAL WITH ENGRAVED OR MACHINE PRINTED LETTERS OR ELECTRO-PLATING
 - B. RED BACKGROUND COLOR WITH WHITE TEXT AND LINE WORK
 - C. ARIAL FONT
 - 3. ALL SIGNS SHALL BE SIZED APPROPRIATELY AND PLACED IN THE LOCATIONS SPECIFIED.
 - 4. SIGNS SHALL BE ATTACHED TO THE SERVICE EQUIPMENT USING PERMANENT ADHESIVE, POP-RIVETS, OR SCREWS



WARNING
INVERTER OUTPUT CONNECTION DO NOT
RELOCATE THIS OVER CURRENT DEVICE

**CAUTION: SOLAR ELECTRIC
SYSTEM CONNECTED**

CEC690.15,CEC690.13(B)
BLACK TEXT WITH
YELLOW BACKGROUND

**WARNING:
PHOTOVOLTAIC POWER SOURCE**

CEC690.13.G3&CEC690.13.G.4
TO BE PLACED AT LEAST EVERY
10FT WHITE LETTERS WHITE
RED BACKGROUND.

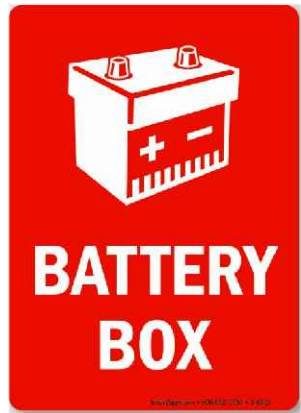
SOLAR DISCONNECT

CEC690.13.(B)
WHITE LETTERS WHITE
RED BACKGROUND.

WARNING

ELECTRICAL SHOCK HAZARD
A GROUNDED FAULT IS INDICATED,
NORMALLY GROUNDED CONDUCTORS
MAY BE UNGROUNDED AND ENERGIZED

CEC690.35(F)
BLACK OUTLINE WITH BLACK TEXT /
WARNING IS IN BLACK TEXT AND
ORANGE BACKGROUND



PHOTOVOLTAIC SYSTEM AC DISCONNECT
RATED AC OPERATING CURRENT **L.S.T.** AMPS
AC NOMINAL OPERATING VOLTAGE **240** VOLTS

CEC 690.54
WHITE LETTERS WITH RED BACKGROUND

WARNING

ELECTRICAL SHOCK HAZARD

TERMINALS ON BOTH LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION

DC VOLTAGE IS ALWAYS PRESENT
WHEN SOLAR MODULES ARE
EXPOSED TO SUNLIGHT

CEC690.17(E)
BLACK OUTLINE WITH BLACK TEXT /
WARNING IS IN BLACK TEXT
AND ORANGE BACKGROUND

WARNING

ELECTRICAL SHOCK HAZARD
THE DC CONDUCTORS OF THIS
PHOTOVOLTAIC SYSTEM ARE
UNGROUNDED AND MAY BE
ENERGIZED

CEC690.35(F)
BLACK OUTLINE WITH BLACK TEXT /
WARNING IS IN BLACK TEXT AND
ORANGE BACKGROUND

UMSTEAD ELECTRIC

MODULES / INVERTER(S) / OPTIMIZERS

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50.857 KW AC (CEC)

PROJECT: PHONE# 831 214 3497

CARMELITE MONASTERY

27601 CA-1

CARMEL, CA 93923

OCCUPANCY TYPE: A GROUP:A-3

APN# 243-101-002-000

36.523111349, -121.9228852910

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STATE LICENSE # 778831
LICENSE CLASS C-10
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B11

DISCLAIMER: If any Errors, Discrepancies or Omissions appear in these drawings, specifications or other contract documents; The Owner or General Contractor shall notify the Designer, in writing, of such error or omission. In the event that the Owner or General Contractor falls to give such notice, before construction and/or fabrication of the work, the Owner or General Contractor will be held responsible to the result of any errors, discrepancies or omissions and the cost of rectifying them.

HD HYUNDAI SOLAR MODULE

YH
SERIES

Dual Black Max

HiS-S400YH(BK) HiS-S405YH(BK) HiS-S410YH(BK)



Bifacial Cells
132



More Power
Generation
In Low Light



All black Module
For Sleek Design
(Black Meshed
T-Backsheet)



Hyundai Cell



Maximized Power
Generation

Increased total power output through capturing light from both the front and back of Bifacial solar modules. Back side power gain up to 25% of the front output depending on PV system design.



Mechanical Strength

Tempered glass and reinforced frame design withstand rigorous weather conditions such as heavy snow(5,400Pa) and strong wind(5,400Pa).



Half-Cut &
Multi-Wire Technology

Improved current flow with half-cut technology and 9 thin wiring technology allows high module efficiency of up to 20.5%. It also reduces power generation loss due to micro-cracks.



UL / VDE Test Labs

HD Hyundai's R&D center is an accredited test laboratory of both UL and VDE.



Anti-LID / PID

Both LID(Light Induced Degradation) and PID(Potential Induced Degradation) are significantly reduced to ensure higher actual yield during lifetime.



Reliable Warranty

Global brand with powerful financial strength provide reliable 25-year warranty.

Hyundai's Warranty Provisions



- 25-Year Product Warranty
- Materials and workmanship



- 25-Year Performance Warranty
- Initial year : 98.0%
- Linear warranty after second year: with 0.54%p annual degradation, 85.0% is guaranteed up to 25 years

Certification



UL61730 certified by UL, Type 1(for Fire Class A)

About HD Hyundai Energy Solutions

Established in 1972, HD Hyundai Group is one of the most trusted names in the heavy industries sector and is a Fortune 500 company. As a global leader and innovator, HD Hyundai is committed to building a future growth engine by developing and investing heavily in the field of renewable energy.

As a core energy business entity of HD, HD Hyundai Energy Solutions has strong pride in providing high-quality PV products to more than 3,000 customers worldwide.



Electrical Characteristics

		Mono-Crystalline Type(HiS-S400YH(BK))		
		400	405	410
Nominal Output (P _{mp})	W	400	405	410
Open Circuit Voltage (V _{oc})	V	45.3	45.6	45.9
Short Circuit Current (I _{sc})	A	11.25	11.33	11.40
Voltage at P _{max} (V _{mp})	V	37.7	37.9	38.1
Current at P _{max} (I _{mp})	A	10.61	10.69	10.76
Module Efficiency	%	20.0	20.3	20.5
Cell Type	-	Mono crystalline, 9busbar		
Maximum System Voltage	V	1,500		
Temperature Coefficient of P _{max}	%/K	-0.347		
Temperature Coefficient of V _{oc}	%/K	-0.268		
Temperature Coefficient of I _{sc}	%/K	+0.032		

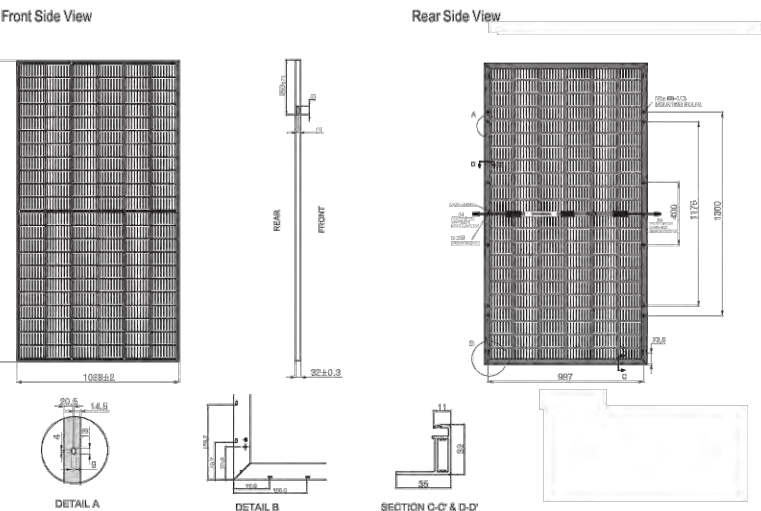
*All data at STC / Measurement tolerances P_{mp} ±3%; I_{sc} ; V_{oc} ±3%. Above data may be changed without prior notice.

Additional Power Gain from rear side		400	405	410
5%	W	415	425	431
15%	W	454	466	472
25%	W	494	506	513

Mechanical Characteristics

Dimensions	75.7 in (L) x 40.9 in (W) x 1.3 in (H) (1,924mm x 1,038mm x 32mm)
Weight	Approx. 46.5 lbs (21.1 kg)
Solar Cells	132 half cut bifacial cells (2 parallel x 66 half cells in series)
Output Cables	Cable : 47.2 in (1,200mm) / 4mm ² Connector : MC4 genuine connector
Junction Box	IP68, weatherproof, IEC certified (UL listed)
Bypass Diodes	3 bypass diodes to prevent power decrease by partial shade
Construction	Front : 3.2mm, High Transmission, AR Coated Tempered Glass Encapsulant : EVA Back Sheet : Black Meshed Transparent Backsheet
Frame	Anodized aluminum alloy type 6063

Module Diagram (unit : mm)

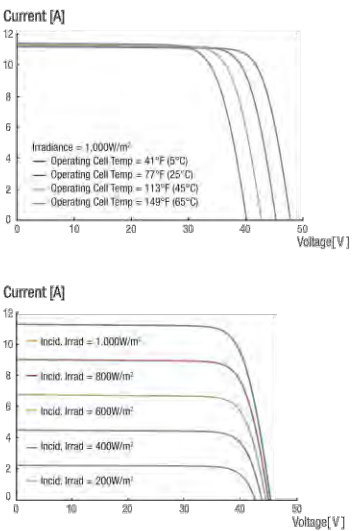


Installation Safety Guide

- Only qualified personnel should install or perform maintenance.
- Be aware of dangerous high DC voltage.
- Do not damage or scratch the rear surface of the module.
- Do not handle or install modules when they are wet.

Nominal Operating Cell Temperature	113.9°F ± 3.6°F (45.5°C ± 2°C)
Operating Temperature	-40°F ~ + 185°F (-40°C ~ + 85°C)
Maximum System Voltage	DC 1,500V
Maximum Reverse Current	20A
Maximum Test Load	Front 5,400 Pa (113 psf) Rear 5,400 Pa (113 psf)

I-V Curves



UMSTEAD ELECTRIC

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50.857 KW AC (CEC)

PHONE# 831 214 3497

PROJECT:

CARMELITE MONASTERY

27601 CA-1

CARMEL, CA 93923

OCCUPANCY TYPE: A GROUP:A-3

APN# 243-101-002-000

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B12



Sol-Ark Commercial Energy Solutions

A global energy technology leader with over 6 generations of hybrid inverters

Deep engineering expertise in smart energy solutions

A track record of results. For over a decade, Sol-Ark has been solving complex energy challenges with innovation and technology

Powered by a vast ecosystem including thousands of distributors, installers, EPCs, integrators, and battery manufacturers

Trusted by global Fortune 500 companies in telecommunications, retail, big tech, restaurants, and the largest space agency in the world

DATASHEET

30K-208V C&I Hybrid Inverter

Inverter Model Name: 30K-3P-208V
Sol-Ark Product SKU: 30K-3P-208V

Input Data (PV)	
Max. Allowed PV Power (STC)	39,000W
MPPT Voltage Range	150-500V
Startup Voltage	180V
Max. Input Voltage ¹	550V
Max. operating input current per MPPT	36A
Max. short circuit current per MPPT	55A
No. of MPP Trackers	4
No. of PV Strings per MPPT	2
Max. AC Coupled Input Power	30,000W
Output Data (AC)	
Nominal AC Voltage (3Φ)	120/208V
Grid Frequency	50 / 60Hz
Real Power, max continuous (3Φ)	30,000W
Max. Output Current	83.4A
Peak Apparent Power (10s, off-grid, 3Φ)	45,000VA
Max. Grid Passthrough Current (10min)	200A
Continuous Grid Passthrough Current	180A
Power Factor Output Range	+/- 0.8 adjustable
Backup Transfer Time	5ms (adjustable)
CEC Efficiency	96.5%
Max Efficiency	97.5%
Design (DC to AC)	Transformerless DC
Stackable	Up to 10 in parallel
Battery Input Data (DC)	
Battery Chemistry	Lithium iron phosphate
No. of Battery Inputs	2
Battery Input Terminal Rating	50A
Nominal DC Voltage	≥300V
Operating Voltage Range	160 - 500V
Battery Capacity Range	50 – 9900Ah
Max. Battery Charge / Discharge Current	100A (50A per input)
Charge Controller Type	3-Stage with Equalization
Grid to Battery Charging Efficiency	96.0%
Automatic Generator Start (AGS)	2 Wire Start - Integrated
BMS Communication ²	CANBus & RS485
General Data	
Dimensions (H x W x D)	894 x 528 x 295 mm (35.2 x 20.8 x 11.6 in)
Weight	80 Kg / 176 lb.
Enclosure	IP65 / NEMA 3R
Ambient Temperature	-40 – 60°C, >45°C Derating
Noise	< 30 dB @ 25°C (77°F)
Idle Consumption - No Load	60W
Communication and Monitoring	Wi-Fi & LAN Hardware Included
Warranty ³	10 Years (15 Years)
Category	
Certifications and Listings (Grid Support Interactive Inverter)	UL 1741-2021 (UL1741SB), CSA C22.2 No 107.1-16, IEEE 1547-2018 & 1547a-2020 & 1547.1-2020 (SRD V2.0), UL 1741 CRD-PCS, UL1699B, CEC, SGIP ⁴
PV DC Disconnect Switch – NEC 240.15	Integrated
Ground Fault Detection – NEC 690.5	Integrated
PV Rapid Shutdown Control – NEC 690.12	Integrated
PV Arc Fault Detection – NEC 690.11	Integrated
PV Input Lightning Protection	Integrated
PV String Input Reverse Polarity Protection	Integrated
Surge Protection	DC Type II / AC Type III

1. See Installation Guide for more details on sizing array strings. The highest input voltage is based on the open-circuit voltage of the array at the minimum design temperature.
2. Active BMS communication is required for all lithium batteries. A list of compatible batteries can be found on our website.
3. 5-year extension is available for purchase by registered Gold level installers only.
4. Pending listing.

UMSTEAD ELECTRIC

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(36) DEKA DD5300 HIGH VOLTAGE
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CARMEL, CA 93923
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B13



BY MK BATTERY
DUAL VOLTAGE DD5300



Lithium Energy Storage System

DD5300

SINGLE MODULE LV/HV
DD5300



BASIC PARAMETERS	DD5300 LV/HV
Cell Type	LiFePO4 Lithium Iron Phosphate (LFP)
Battery System Capacity	5.3 kWh
Single Module Nominal Voltage	52 Vdc
Application	Dual Voltage LV/HV
Modules Expandibility	HV-16 in series (up to 9 cluster in parallel with DD21002 HVBOX) LV-15 modules in parallel without DD21001 Intelligent Can Bus Combiner
Cluster Net Capacity	556.5 kWh (LV) / 763.2 kWh (HV)
Voltage Range	48.5-1000 Vdc
Net Capacity	110 Ah
Usable Capacity	100 Ah
Dimensions L x W x H (mm)	593 x 470 x 163
Weight	126.3 lb (57.3 kg)
Charge / Discharge Current	110 A / 110 A (LV)
Discharge Current Peak	200 A (5 sec)
Depth of Discharge	Up to 100%
Communication Port	RS485, CAN, 232, (Wi-Fi external device)
HV String Modules	Up to 16
Discharge Temperature	-4 ~ +131°F (-20 ~ +55°C)
Charge Temperature	+14 ~ +131°F (-10 ~ +55°C)
Shelf Temperature	+14 ~ +122°F (-10 ~ +50°C)
Humidity	5% ~ 95%
Altitude	<3000 m
Design life	15 Years (77°F / 25°C)
Expected Cycle Life @ STC	Up to 7000 @ 86°F (30°C) (Testing is 1°C @ 100% DoD with at least 80% residual capacity)
Standards	UL 1973 IEC62619 CE UN38.3
Features	Pre-Charge + Fuse LV + Fuse HV + Auto Contactor + Dual BMS + Multi BMS FW Management
	Suitable for low voltage and high voltage systems, 4 protection levels with DD21002 HV BOX for HV application, BMS with real time balancing, adaptive charge/discharge CAN logic, 3 steps adaptive charging logic, 2xDI/DO programmable, mobile app for monitoring and remote control, update, debug, data save

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B14

57.6 Kw Solar System
with 81.92 Kwh Battery

Carmelite Monastery

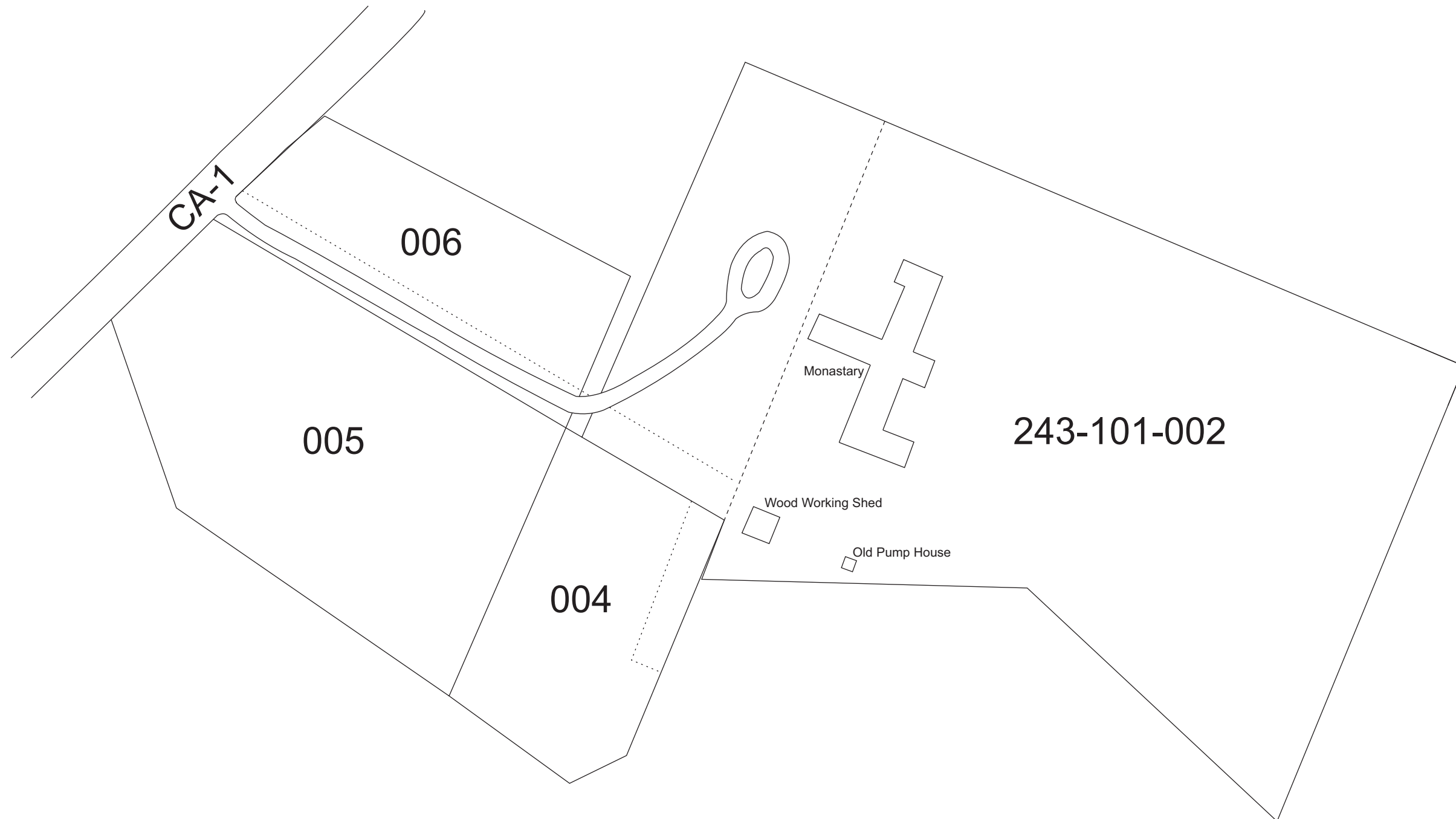
27601 CA-1
Carmel, CA 93923

APN: 243-101-002-000

OWNER:
Carmelite Monastery
27601 CA-1
Carmel CA 93923

Design and Installed By

Umstead Electric
PO Box 2160
King City, CA 93930
(831) 385-0411



Lot Size 548,420 sq ft
Bldg Size 13,071 sq ft



57.6 Kw Solar System with 81.92 Kwh Battery

Carmelite Monastery

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Carmel, CA 93923

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27601 CA-1
Carmel CA 93923

Design and Installed By

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Page 2





57.6 Kw Solar System
with 81.92 Kwh Battery

Carmelite Monastary

27601 CA-1
Carmel, CA 93923

APN: 243-101-002-000

OWNER:
Carmelite Monastary
27601 CA-1
Carmel CA 93923

Design and Installed By

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King City, CA 93930
(831) 385-0411



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Exhibit C

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MINUTES
Carmel Unincorporated/Highlands Land Use Advisory Committee
Monday, May 19, 2025

1. Meeting called to order by Donna Kostigen at 4:14 pm

2. Roll Call

Members Present:

Dan Keig, Clyde Freedman, Donna Kostigen

Members Absent:

Doug Paul, Chip Moreland

3. Approval of Minutes:

A. April 7, 2025 minutes

Motion: Clyde Feedman (LUAC Member's Name)

Second: Dan Keig (LUAC Member's Name)

Ayes: All

Noes: none

Absent: Doug Paul, Chip Moreland

Abstain: _____

4. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

N/A

5. Scheduled Item(s)

6. Other Items:

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

B) Announcements

7. Meeting Adjourned: 4:20 pm

Minutes taken by: Donna Kostigen

Action by Land Use Advisory Committee

Project Referral Sheet

Monterey County Housing & Community Development
1441 Schilling Place 2nd Floor
Salinas CA 93901
(831) 755-5025

Advisory Committee: Carmel Unincorporated/Highlands

1. **Project Name:** CARMELITE MONASTERY OF CARMEL
 File Number: PLN240240
 Project Location: 27601 HIGHWAY 1, CARMEL
Assessor's Parcel Number(s): 243-101-002-000
 Project Planner: FIONNA JENSEN
 Area Plan: CARMEL LAND USE PLAN, COASTAL ZONE
Project Description: COMBINED DEVELOPMENT PERMIT CONSISTING OF A: 1) COASTAL ADMINISTRATIVE PERMIT AND DESIGN APPROVAL TO ALLOW A GROUND MOUNT PHOTOVOLTAIC SYSTEM CONSISTING OF 57.6 kW AND TO 144 PANELS; 2) COASTAL DEVELOPMENT PERMIT FOR DEVELOPMENT WITHIN 750 FEET OF KNOWN ARCHEOLOGICAL RESOURCES; AND 3) COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT WITHIN 100 FEET OF ENVIRONMENTALLY SENSITIVE HABITAT AREA.

Was the Owner/Applicant/Representative present at meeting? YES X NO

(Please include the names of those present)

Paul Hayes - Representative
Ted Limstead – Electrical Contractor

Was a County Staff/Representative present at meeting? Hya Honorato (Name)

PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
N/A			

--	--	--	--

PUBLIC COMMENT (CONTINUED):

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
A site visit was performed by Donna Kostigen, Clyde Freedman, Dan Keig. The site visit was extremely helpful. No issues/concerns		

ADDITIONAL LUAC COMMENTS

With no elected chair, Donna Kostigen (Secretary) ran the meeting.

A site visit was agendized and conducted which was extremely helpful, many questions were asked and the project representatives were very helpful and knowledgeable. It identified that the proposed solar panel placement would not be seen by anyone or adjacent neighbors, the adjacent park or even the nuns living in the monastery. The prososed battery placement will be inside an existing pump house and not visible. The Monatery electric bill is roughly \$2,400 each month and they have patiently waited more than 18 months to get this approval. With no income they have raised donations to pay for this but need this project completed expeditiously to reduce their monthly expenses. LUAC members voiced their disappointed that this process has taken so much time.

RECOMMENDATION:

Motion by: Clyde Freedman (LUAC Member's Name)

Second by: Dan Keig (LUAC Member's Name)

☒ Support Project as proposed

☐ Support Project with changes

☐ Continue the Item

Reason for Continuance: _____

Continue to what date: _____

Ayes: All

Noes: none

Absent: Doug Paul, Chip Moreland

Abstain: _____

Exhibit D

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BIOLOGICAL ASSESSMENT

APN 243-101-002-000

PLN 240240

December 12, 2024

Carmelite Monastery – Solar Array Project
27601 Highway 1, Carmel, CA 93923

Prepared For: Mother Teresita Flynn OCD, Prioress
Carmelite Monastery
27601 Highway 1, Carmel, CA 93923

Prepared By: Nicole Nedeff, Consulting Ecologist
11630 McCarthy Road
Carmel Valley, CA 93924
(831) 320-9463
nikki@ventanaview.net

PROPERTY PROFILE

DATE: December 12, 2024

PREPARED BY: Nicole Nedeff, Consulting Ecologist. nikki@ventanaview.net
11630 McCarthy Road, Carmel Valley, CA 93924; (831) 320-9463.

SITE NAME, APN: Carmelite Monastery, APN 243-101-002-000.

PHYSICAL ADDRESS: 27601 Highway 1, Carmel, CA 93923.

ACREAGE: Total acreage in subject parcel = 12.59 acres.

USGS QUAD: Monterey USGS 7.5' quadrangle, T16S, R1W, unsurveyed section.

OWNER AGENT: Paul Hayes, (206) 419-8099, paul93923@gmail.com

MONTEREY COUNTY PLANNING AREA: Carmel Area, Coastal Zone.

ZONING/PRESENT LAND USE: Monterey County Zoning Designation = PQP-D(CZ). The Zoning code designation indicates that under Title 20, the property is in a Public/Quasi-Public District, with Design Control requirements in the Coastal Zone. Portions of the subject parcel are within the viewshed of Highway 1 and public trails in the adjoining Lshxenta State Park to the south (Point Lobos Ranch), however the proposed solar array project site is not within the critical viewshed. The subject parcel is developed with the Carmelite Monastery grounds - the solar array project will be situated within a fenced area that formerly served as the Monastery vegetable garden and bee hive location. The Monterey County project number for processing the Carmelite Monastery development permit application is PLN 240240.

SITE LOCATION: The site proposed for a new solar array to serve the Monastery is immediately south and downslope of the primary Monastery structures and within the fenced, former vegetable garden and bee hive apiary. Bee hives are no longer on-site and the area is no longer cultivated. The project area is north of San Jose Creek and the boundary of the new Lshxenta State Park.

PROJECT DESCRIPTION: The proposed project involves the installation of a solar array in the Monastery's former vegetable garden and apiary. Batteries will be housed in an existing pump house inside the former garden area.

SITE VISIT: December 6, 2024.

HABITAT IN PROJECT AREA: Ruderal vegetation in a highly disturbed site.

SIGNIFICANT BIOLOGICAL ATTRIBUTES: None in the project area. Proximity to San Jose Creek.

1. INTRODUCTION and PROPERTY DESCRIPTION

In early December 2024, I was contacted by Paul Hayes on behalf of the Mother Teresita, Prioress of the Carmelite Monastery, and asked to prepare a Biological Assessment for a small portion of the Monastery grounds south of Carmel, APN 243-101-002-000. The physical address for the parcel is 27601 Highway 1, Carmel, CA, and access to the proposed solar array project site is through locked gates on the grounds of the Carmelite Monastery.

The project site is located on granitic-based alluvium at the northly margin of the San Jose Creek drainage. The project area is situated on flat terrain at approximately 45 feet in elevation and approximately 210-feet from the Environmentally Sensitive Habitat Area (ESHA) comprising the Riparian corridor of San Jose Creek. The area proposed for the installation of a solar array has been highly disturbed and served as the former vegetable garden and apiary for the Sisters at the Monastery. The garden and apiary are no longer in use and the site remains vacant at this time.

A small pump house/shed occurs on the south-westerly edge of the relatively flat area where the solar array will be constructed. This building will house the battery units and points of connection for the solar system. No new, substantive, exterior construction will be required to retrofit the small structure and trenching for electrical conduit will traverse through weedy vegetation. A stairway provides pedestrian access to the former vegetable garden and apiary.



FIGURE 1 – Project site on map of Monterey County Planning Areas.

There is no significant natural vegetation in the project area. The site has been cleared for decades and is regularly weed-whacked to control weedy plants that have recruited vigorously in the area that previously supported a vegetable garden and bee hives. Large eucalyptus trees formerly existed on the site – these were felled some time ago and currently exhibit moderate sprouting – and at least one old Monterey pine died within the garden and was subsequently removed. Existing vegetation is ruderal (invasive, non-native and weedy) and is dominated by

non-native species of plants. Natural vegetation in areas outside the former garden area and Monastery grounds consists of Coastal Scrub, Coast Live Oak Woodland and Monterey Pine Forest, with Riparian habitat to the south along San Jose Creek (Figure 3).

Soils on the subject parcel are alluvial in nature and largely derived from granodiorite, with a prominent rocky granite outcrop on the hillside between the project area and the Monastery chapel above.

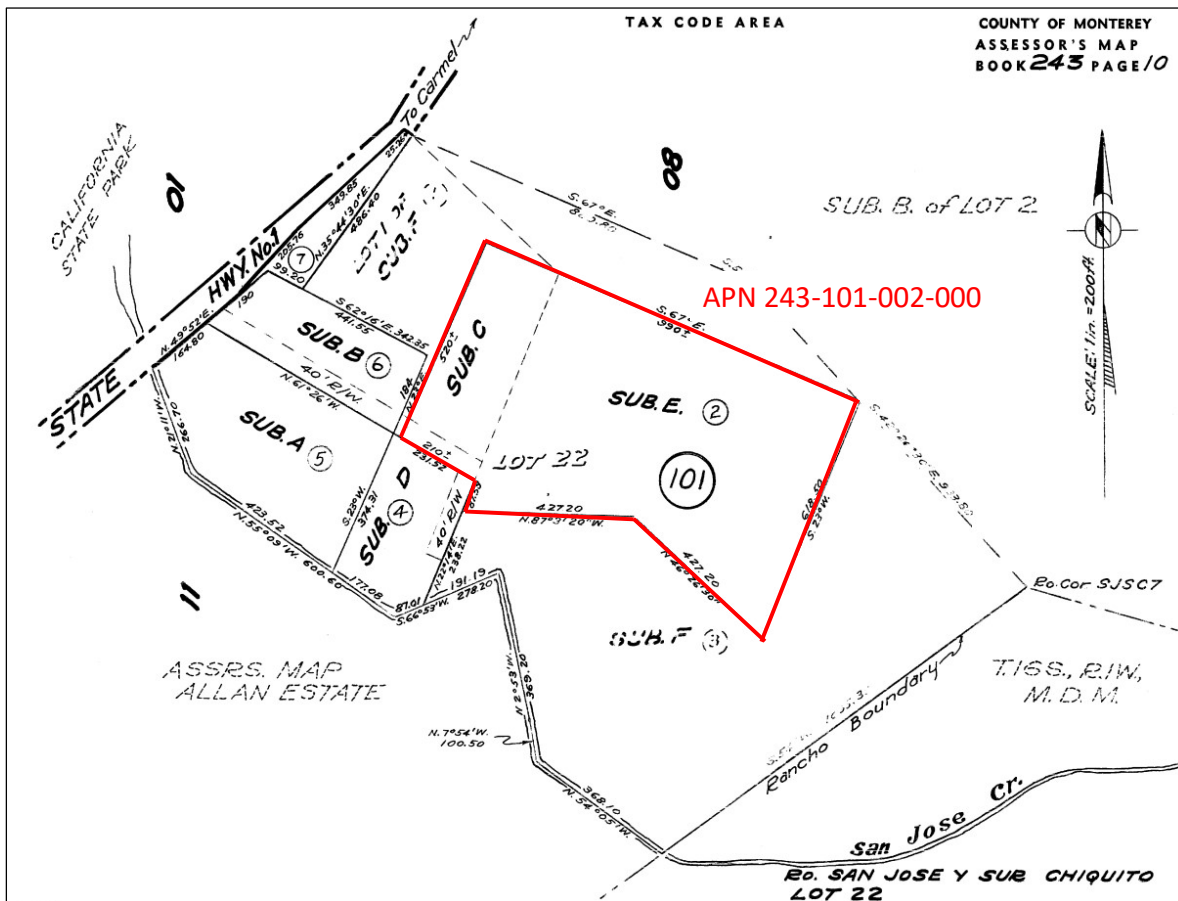


FIGURE 2 – Monterey County Parcel Map, APN 243-101-002-000 highlighted in red.

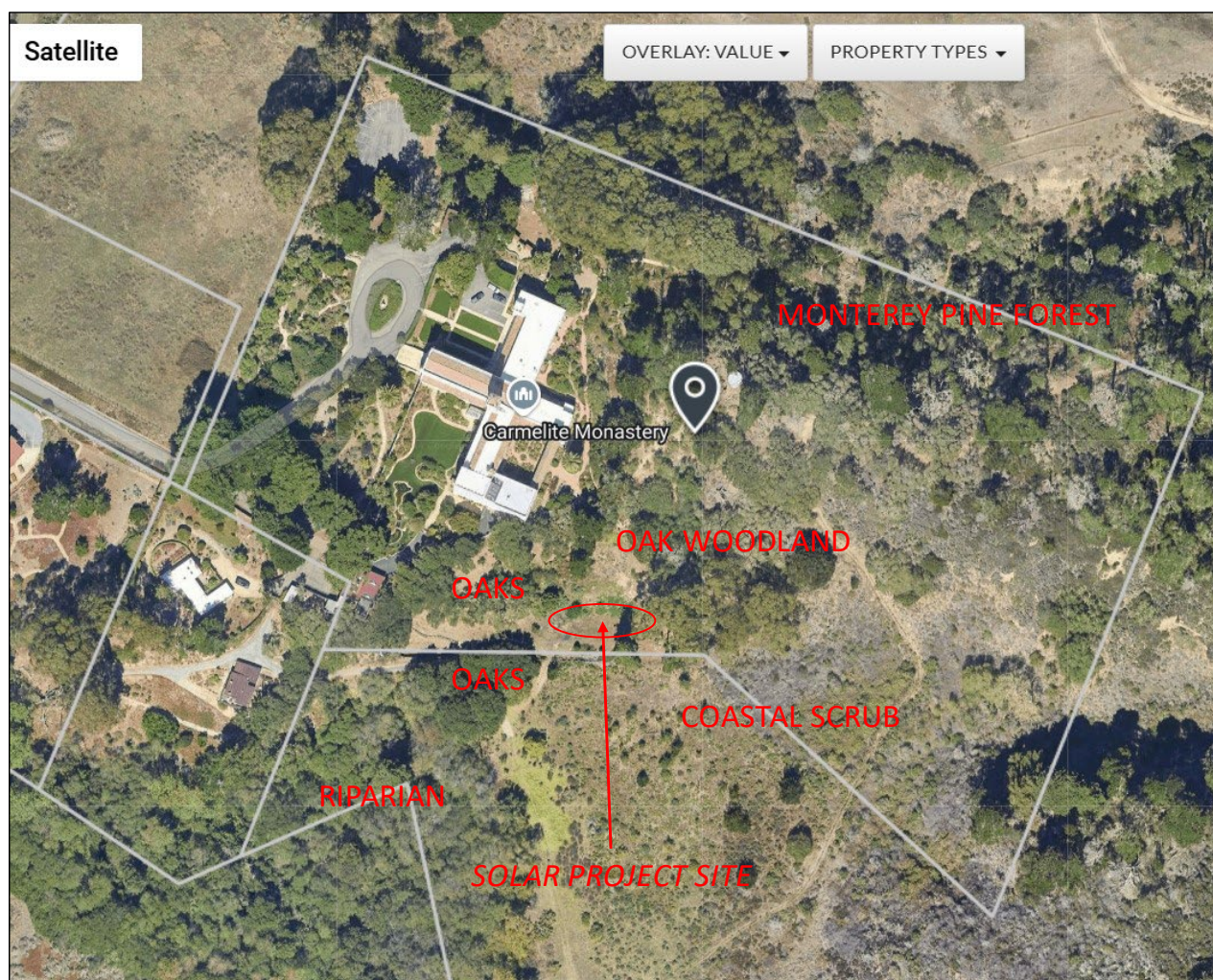


FIGURE 3 – Aerial image of vegetation cover and proposed project site.

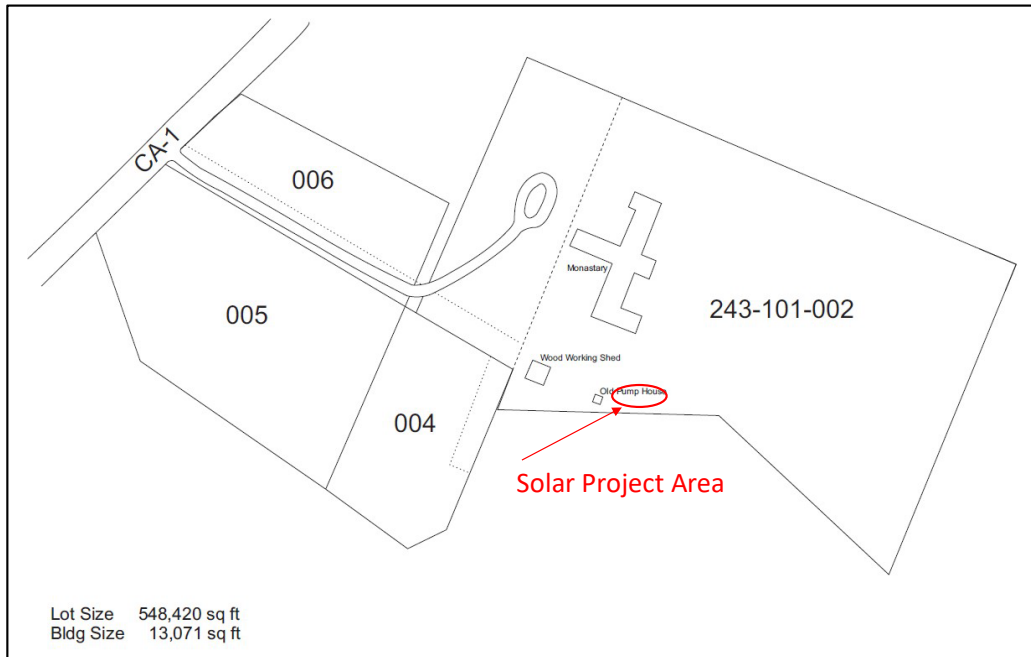


FIGURE 4 – Conceptual site plan for the solar array project.

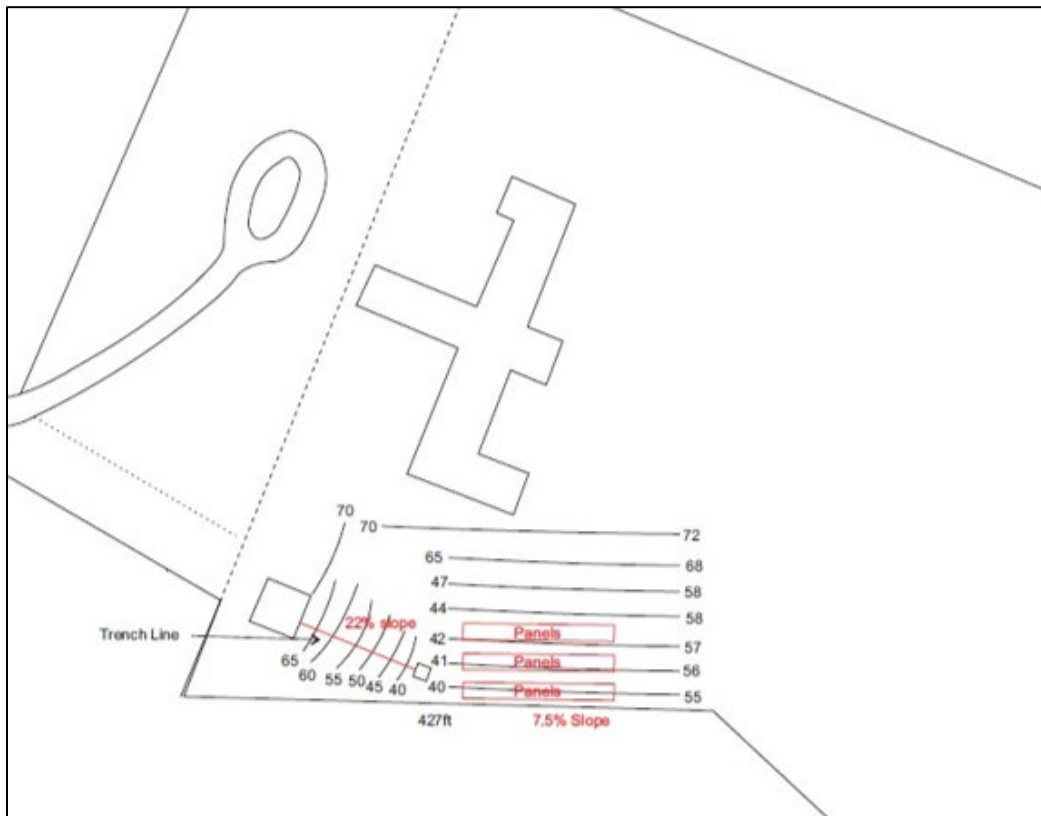


FIGURE 5 – Proposed location for solar panel installation.

2. SURVEY METHODS

On-site inspection, local maps, place-based knowledge, literature references, and Internet data searches were used during the preparation of the Biological Assessment for the Monastery solar array project. A preliminary conceptual site plan was provided by the land owner's agent (Figure 4 and Figure 5).

Floristic field survey methods utilized in the Biological Assessment of the project area conform to protocols outlined by the California Department of Fish and Wildlife (November 2009). The purpose of the statewide survey protocols is to facilitate a comprehensive, consistent and systematic approach for the identification of plants, natural communities and special status elements in project areas. The goal is to produce reliable information and maximize the potential for locating special status species and communities. The Biological Assessment also conforms to protocols for analysis outlined in Monterey County Zoning Ordinance Section 21.66.020, Standards for Environmentally Sensitive Habitats.

On-site field survey for the Biological Assessment of the project site focused on the following objectives:

- Identify and map natural communities.
- Locate and map special status plants and wildlife species.
- Identify and map significant biological features.
- Assess potential impacts to biological resources.
- Consider site conditions for potential restoration strategies, if needed.
- Consider recommendations to reduce or eliminate potential impacts to biological resources, if needed.

Botanical and habitat survey of the garden/apiary area was conducted on December 6, 2024. Prior to the December 6, 2024 field survey, California Department of Fish and Wildlife - California Natural Diversity Database (CNDDB) RareFind computer print-outs and BIOS maps were consulted for the general region around the Carmelite Monastery. CNDDB database information displays several records, or "element occurrences", of sensitive or special status species occurring along San Jose Creek, in State Park lands and the surrounding region. Specific habitat requirements for element occurrences in this general region do not occur in the Monastery solar project site, which has been heavily modified for some time by cultivation.

The project area is noted by the blue star on the attached CNDDB map (Figure 6) and element occurrences in the broader general vicinity are listed in Appendix A. In addition, a query of the California Native Plant Society web-based "Inventory of Rare and Endangered Vascular Plant Species" was consulted to identify occurrences of special status plants in the region and natural communities where the subject parcel is located. Although the CNDDB map depicts a green cross-hatched overlay of Monterey Pine Forest over the entire Monastery project site, no Monterey pines occur in the former garden/apiary. Monterey pines occur above the project site near the Monastery chapel and to the north and southeast on neighboring properties.

The December 2024 botanical survey and biological resource site inspection around and through the project area was conducted on foot. The December survey period was not optimal to record nesting birds or sensitive native plant species that could potentially occupy the project site, however the survey period was entirely appropriate for the identification of rare shrubs and

typical indicator plant and wildlife species common in the Monterey Pine Forest, Coast Live Oak Woodlands and Riparian habitat areas that occur near the solar project site.

Common names for plants and wildlife species are noted with scientific names when they are first mentioned in the text and thereafter only common names are used. Scientific nomenclature for plants described in this report follows conventions used in Matthews and Mitchell (2015), and Baldwin, et al (2012). A full plant list of species observed in the project area is included in Appendix B.

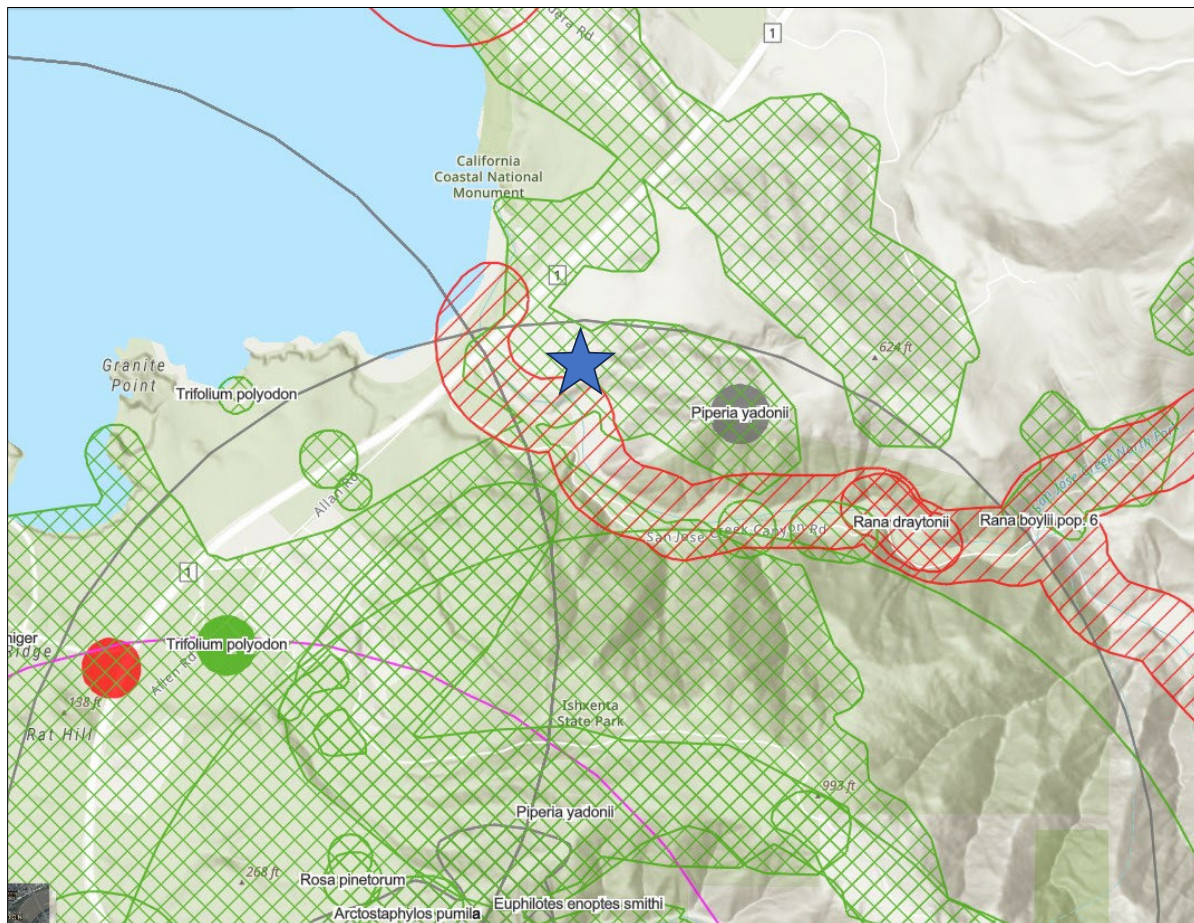


FIGURE 6 – CNDDDB map of sensitive habitats, plants and wildlife species in and around the Carmelite Monastery (December 2024 data). The Carmelite Monastery parcel is marked with the blue star. Green cross—hatch depicts Monterey Pine Forest and the red cross-hatched polygon signified Riparian and Aquatic habitat along San Jose Creek.

3. SURVEY RESULTS

Vegetation cover on the proposed project site is largely composed of weedy, non-native, ruderal habitat and horticultural species that reflect a long history of cultivation and disturbance. The project site includes patches of Cape ivy (*Delairea odorata*), pride-of-Madeira (*Echium candicans*), Kikuyu grass (*Pennisetum clandestinum*), mustard (*Brassica nigra*), wild radish (*Raphanus sativus*), gopher purge (*Euphorbia lathyris*) and scattered French broom (*Genista monspessulana*), among other non-native species. A few native Douglas nightshade (*Solanum douglasii*), coyote brush (*Baccharis pilularis*), toyon (*Heteromeles arbutifolia*) and patches of poison oak (*Toxicodendron diversilobum*) are widely scattered in the former garden area.

A habitat mosaic of Coast Live Oak Woodland, Coastal Scrub and Monterey Pine Forest occurs well outside the project area, with dense Riparian habitat flanking San Jose Creek to the south. Five seedling coast live oaks (*Quercus agrifolia*) were observed in and around the project footprint. These seedlings all were less than 0.75-inches in diameter measured two feet above ground level.

Installation of the solar array on the flat, former garden area will not impact any natural habitat, trees, or sensitive biological resources.

3.1. SPECIAL STATUS SPECIES: No sensitive or special status plants or animals listed by the California Native Plant Society, State of California, or the Federal Government as Rare, Threatened or Endangered were observed on the property.

A. Animals: No wildlife, other than evidence of gophers and several birds, was observed in the project area.

CNDDDB mapping shown in Figure 6 for the vicinity of the subject parcel includes observations of California Red-legged Frog (*Rana draytonii*), Foothill Yellow-legged Frog (*Rana boylei*) and Steelhead (*Oncorhynchus mykiss*). All of these species occur within the Aquatic or Riparian habitat of San Jose Creek and are not expected to occur in, or near the project area. However, California Red-legged Frog, a Federally Threatened species, occasionally travels beyond breeding habitat and individual frogs could conceivably wander into the project site. A training program for construction workers and protocols for daily monitoring during construction are recommended in Section 4 below.

CNDDDB also records a population of Smith's Blue Butterfly (*Euphilotes enoptes smithi*, Federally Endangered), Monarch butterfly roosting habitat (*Danaus plexippus*, Proposed Federally Threatened), and a nesting site of Black Swift (*Cypseloides niger*, Species of Special Concern) in the general vicinity and on State Park lands. Monarch butterflies do not have appropriate roosting habitat in the vicinity of the proposed solar array project and there is no suitable nesting site for Black Swift. There are no seacliff buckwheat plants (*Eriogonum parvifolium*) in the vicinity of the project area – these plants are required hosts for the Endangered butterfly. No sensitive wildlife or butterflies will be impacted by the proposed project.

B. Plants: Of note are the occurrences shown in green and gray circles with some cross-hatching on the regional CNDDDB map in Figure 6. The circles depict several known locations of special status plants documented in Point Lobos State Reserve and the adjoining Ishxenta State Park: Yaden's rein-orchid (*Piperia yadonii*, Federally Endangered), Pacific Grove clover

(*Trifolium polyodon*, California Rare), pine rose (*Rosa pinetorum*, California Rare Plant Rank 1B2, rare, threatened, or endangered in CA and elsewhere) and sandmat manzanita (*Arctostaphylos pumila*, also California Rare Plant Rank 1B2). The project area does not have appropriate habitat conditions to support any of these uncommon species documented in nearby locations. The orchid is found in Maritime Chaparral or Monterey Pine Forest, as are the pine rose and sandmat manzanita, while the uncommon clover occurs in wet meadow grassland areas.

3.2. NESTING BIRDS: No nesting or roosting birds were observed during field work for this Biological Assessment. Dark-eyed Juncos and Golden-crowned Sparrows were seen foraging for seeds in the weedy habitat that characterizes the project area.

3.3. ENVIRONMENTALLY SENSITIVE HABITAT AREAS: The Monterey County Local Coastal Plan, which provides fundamental guidelines for development in the Carmel Area Land Use Planning Area and the Coastal Zone in this portion of Monterey County, provides a list of environmentally sensitive habitats that includes Riparian corridors, Monterey Cypress Forest, Gowen Cypress Woodland, significant stands of Monterey Pine, Coast Redwood Forest, North Coastal Prairie, and Maritime Chaparral (CA Coastal Commission, 2003). The Local Coastal Plan directs that these environmentally sensitive habitats should be protected for a variety of reasons: their high scientific and educational values, scenic values, high wildlife values and importance in watershed protection.

None of these unique, regional, environmentally sensitive habitat types occur in the proposed solar array site and sensitive habitat near the project area will not be impacted by the implementation of the proposed solar array project. Figure 7 is an aerial image from Google Earth, with a measurement of approximately 210-feet between the edge of the solar project site and nearby Riparian habitat along San Jose Creek.

3.4 OTHER CONSIDERATIONS: The proposed solar array project site is relatively flat. No development is proposed on slopes in excess of 25-percent and ground trenching for electrical conduit will not impact natural vegetation. There will be no visual impacts in the Critical Viewshed of Highway 1 or from public trails on adjoining State Park lands.

Figure 8 is a photograph of the Carmelite Monastery's former vegetable garden where the solar array installation is proposed and Figure 9 depicts the project area looking in a westerly direction.

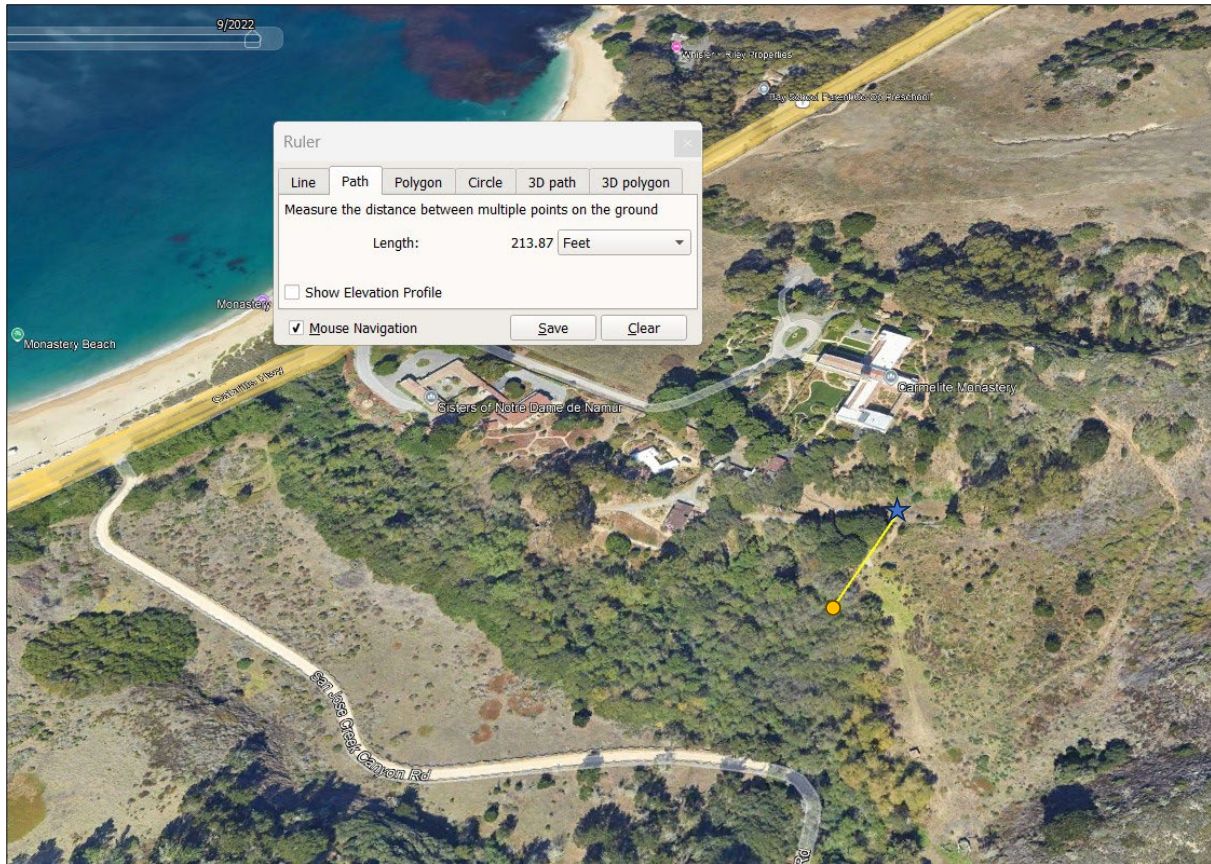


FIGURE 7 – Google Earth image of the Carmelite Monastery complex and environs, with a measurement of 213.87-feet between the edge of the solar array construction area (blue star) and nearby Riparian habitat along San Jose Creek (yellow circle).



FIGURE 8 – View of the proposed solar array construction site in former Monastery garden area, looking eastwards. The Monastery chapel is towards the left on the top of the slope above the old garden and State Park land is to the right of the photograph (December 6, 2024).



FIGURE 9 – View across solar project site, looking west. Note the small pump house near the oak canopy in the right-center portion of the photo. Ruderal vegetation in the foreground, San Jose Creek Riparian corridor just above center and Monterey Pine Forest on the ridge in the top left. (December 6, 2024)

4. SUGGESTIONS TO REDUCE POTENTIAL ENVIRONMENTAL IMPACTS ASSOCIATED WITH PROJECT IMPLEMENTATION

General resource management policies in the County of Monterey, Carmel Planning Area require that development activities, including vegetation removal, excavation, grading, filling and the construction of roads and structures, shall have a less than significant impact on special status plants, wildlife and natural communities. With the following specifications incorporated into this project, the development of the Carmelite Monastery solar array will have a less than significant impact on the project site and the surrounding environment.

4.1. COORDINATION: Include Project Biologist in pre-construction meetings to communicate biotic concerns and share information regarding the sensitivity and habitat preferences of California Red-legged Frog.

- 4.2. DAILY MONITORING: During site preparation and construction of the solar array, conduct daily inspections prior to commencing activity to determine whether California Red-legged Frogs could have wandered into the project area during the night. Inspect under equipment and staged materials where frogs may have sought refuge. Frogs are known to move through vegetation away from breeding sites, particularly during damp, foggy nights.
- 4.3. GEOTECH and ARCHAEOLOGICAL CONDITIONS: Conform to any conditions outlined in the Geotechnical, Soils or Archaeological Reports that are required. Erosion prevention Best Management Practices should be utilized during all phases of construction.
- 4.4. GRUBBED VEGETATION or FILL MATERIAL: All loose material, debris and grubbed weedy vegetation shall be removed from the work site. Care should be taken to very carefully remove highly invasive Cape ivy, French broom and pampas grass plumes so that no biomass or seed heads of these extremely invasive species remain on-site.
- 4.5. INVASIVE PLANTS: Maintain active and rigorous weed eradication to eliminate, or at least control invasive, non-native plant species in the former vegetable garden area. Attention should be focused on disturbed soil in the project area to remove undesirable invasive plants in the project area.
- 4.6. CONTROL DUST: Maintain a dust-free environment, to the extent possible, by sprinkling disturbed soil during site preparation and construction activities.
- 4.7. SEEDING POST-CONSTRUCTION: Soils disturbed during installation of the solar panels system should be seeded with an erosion control mix of native grass seed that includes blue wild rye (*Elymus glauca*), purple needle-grass (*Stipa pulchra*) and California brome (*Bromus carinatus*).

5. CONCLUDING REMARKS:

The installation of a solar array to serve the electrical needs of the Carmelite Monastery is proposed in a highly disturbed, fenced, former garden area that harbors a predominance of non-native, invasive plant species. No sensitive plants, habitats or animal species occur in the project area. With the recommendations suggested above, the proposed solar array project on a portion of the Carmelite Monastery grounds will have a less than significant impact on natural communities, viewsheds, plants and animals protected by local, state or federal regulations.

REFERENCES

- Baldwin, B. et al. 2012. The Jepson Manual; Vascular Plants of California. U.C. Press. Berkeley, CA.
- California Coastal Commission. December 2003. Draft Findings of the Monterey County LCP Periodic Review, Chapter 3: Environmentally Sensitive Habitat Areas.
- California Natural Resources Agency, Department of Fish and Wildlife. 2009. Protocols for Surveying and Evaluating Impacts to Special Status Native Plant Populations and Natural Communities. November 24, 2009. Sacramento, CA.
- California Native Plant Society. Inventory of Rare and Endangered Plants in California. Sacramento, CA. 2024 web-based update.
- California Natural Diversity Database (CNDDB), Biogeographic Data Branch, Department of Fish and Game. Web-based mapping and element occurrence data.
- CNDDB Natural Communities Lists, Sept. 2010.
http://www.dfg.ca.gov/biogeodata/vegcamp/natural_comm_list.asp
- Matthews, M.A. 1993. An Illustrated Field Key to the Flowering Plants of Monterey County. (2006 Version 1.1) California Native Plant Society. Sacramento, CA.
- Matthews, M.A. and M. Mitchell. 2015. The Plants of Monterey County. California Native Plant Society-Monterey Bay Chapter. Sacramento, CA.
- Sawyer, J.O., T. Keeler-Wolf, J.M. Evans. 2008 (updated regularly on-line). A Manual of California Vegetation. 2nd. Edition. California Native Plant Society and The California Department of Fish and Game. Sacramento, CA.

APPENDIX A

Federal or State Status and California Rare Plant Rank for Significant Natural Communities, Plants and Wildlife in the Vicinity of APN 243-1010-004

		STATUS			PREFERRED HABITAT	FOUND/ NOT FOUND
SCIENTIFIC NAME	COMMON NAME	FEDERAL	STATE	CA RANK		
NATURAL COMMUNITIES						
Riparian Habitat					Streams	NOT FOUND
Wetlands					Seeps, springs, damp areas	NOT FOUND
PLANTS						
Allium hickmanii	Hickman's onion			1B.2	Coastal Prairie	NOT FOUND
Arctostaphylos hookeri	Hooker's manzanita			1B.2	Maritime Chaparral	NOT FOUND
Arctostaphylos pumila	sandmat manzanita			1B.2	Maritime Chaparral	NOT FOUND
Castilleja ambigua var. insalutata	pink johnny-nip			1B.1	Wet Meadows, Vernal Pools	NOT FOUND
Microseris paludosa	marsh scorzonella			1B.2	Wet Meadows	NOT FOUND
Piperia yadonii	Yadon's rein-orchid	FE		1B.1	Maritime Chaparral, Monterey Pine Forest	NOT FOUND
Rosa pinetorum	pine rose			1B.2	Monterey Pine Forest	NOT FOUND
Trifolium polyodon	Pacific Grove clover		R	1B.1	Wet Meadows	NOT FOUND
ANIMALS						
REPTILES/FISH/AMPHIBIANS						
Anniella pulchra	CA Legless Lizard	Proposed	SC		Sandy soils, dunes	NOT FOUND
Clemmys marmorota	Western Pond Turtle	SC	CP, SC		Streams, creeks, ponds	NOT FOUND
Oncorhynchus mykiss irideus	Steelhead	T	SC		Streams	NOT FOUND
Phrynosoma coronatum frontale	CA Horned Lizard	SC	SC		Grassland, Chaparral, Coastal Scrub	NOT FOUND
Rana draytonii	CA Red-legged Frog	T	SC		Streams, ponds	NOT FOUND
Rana boylei	Foothill Yellow-legged Frog	T	E		Rocky streams	NOT FOUND
Taricha torosa torosa	Coast Range Newt		SC		Streams, ponds, Woodlands	NOT FOUND
MAMMALS						
Neotoma fuscipes luciana	Monterey Dusky-footed Woodrat	SC	SC		Coastal Scrub, Oak Woodlands/Forest, Chaparral, Riparian	FOUND
BIRDS						
Cypseloides niger	Black Swift	SC			Nests on rocky cliffs	NOT FOUND
INVERTEBRATES						
Danaus plexippus	Monarch Butterfly	Candidate E			Roosts in eucalyptus, pines; forages and oviposits on milkweed	NOT FOUND
Euphilotes enoptes smithi	Smith's Blue Butterfly	E			Coastal Scrub, Dunes	NOT FOUND

Abbreviations for Status Codes

E = Endangered

T = Threatened

SC = Species of Concern

R = Rare

FSS = Forest Service Sensitive Species

1B = CNPS List 1B, Plants rare, threatened or endangered in California and elsewhere

APPENDIX B – PLANT LIST

Project Area – Carmelite Monastery, southerly portion of APN 243-101-004

Plant Species Observed on December 6, 2024

Trees:

Eucalyptus globulus, blue gum * (sprouts from cut stumps)
Quercus agrifolia, coast live oak (four seedlings with DBH <0.75" measured 2 feet above grade)
Podocarpus sp., podocarpus * (one horticultural specimen outside the project area on the NW side)
Salix lasiolepis, arroyo willow (one very small tree outside the project area on the NW side)

Shrubs:

Baccharis pilularis, coyote brush
Diplacus aurantiacus, sticky monkey flower
Echium candicans, pride-of-Madeira *
Frangula californica, coffeeberry
Genista monspessulana, French broom, or genista *
Heteromeles arbutifolia, toyon
Ribes sp. (currant, not in bloom)
Salvia mellifera, black sage
Solanum douglasii, Douglas' poison nightshade
Toxicodendron diversilobum, poison oak

Herbaceous species:

Brassica nigra, black mustard *
Carduus pycnocephalus, Italian thistle *
Carprobrotus chilense, ice plant *
Conium maculatum, poison hemlock *
Crocosmia sp., crocosmia *
Delairea odorata, Cape ivy *
Euphorbia lathyris, gopher purge *
Lysimachia arvensis, scarlet pimpernel *
Malva parviflora, cheeseweed *
Oxalis pes-caprae, Bermuda buttercup *
Raphanus sativus, wild radish *
Rumex acetosella, sheep sorrel *
Rumex crispus, curly dock *
Stachys bullata, wood mint
Sonchus oleraceus, common sow thistle *
Tanacetum parthenium, feverfew *
Tetragonia tetragonoides, New Zealand spinach *
Vinca major, periwinkle *
Zantedeschia aethiopica, calla lily *
misc. succulents *

Ferns, Grasses and Vines:

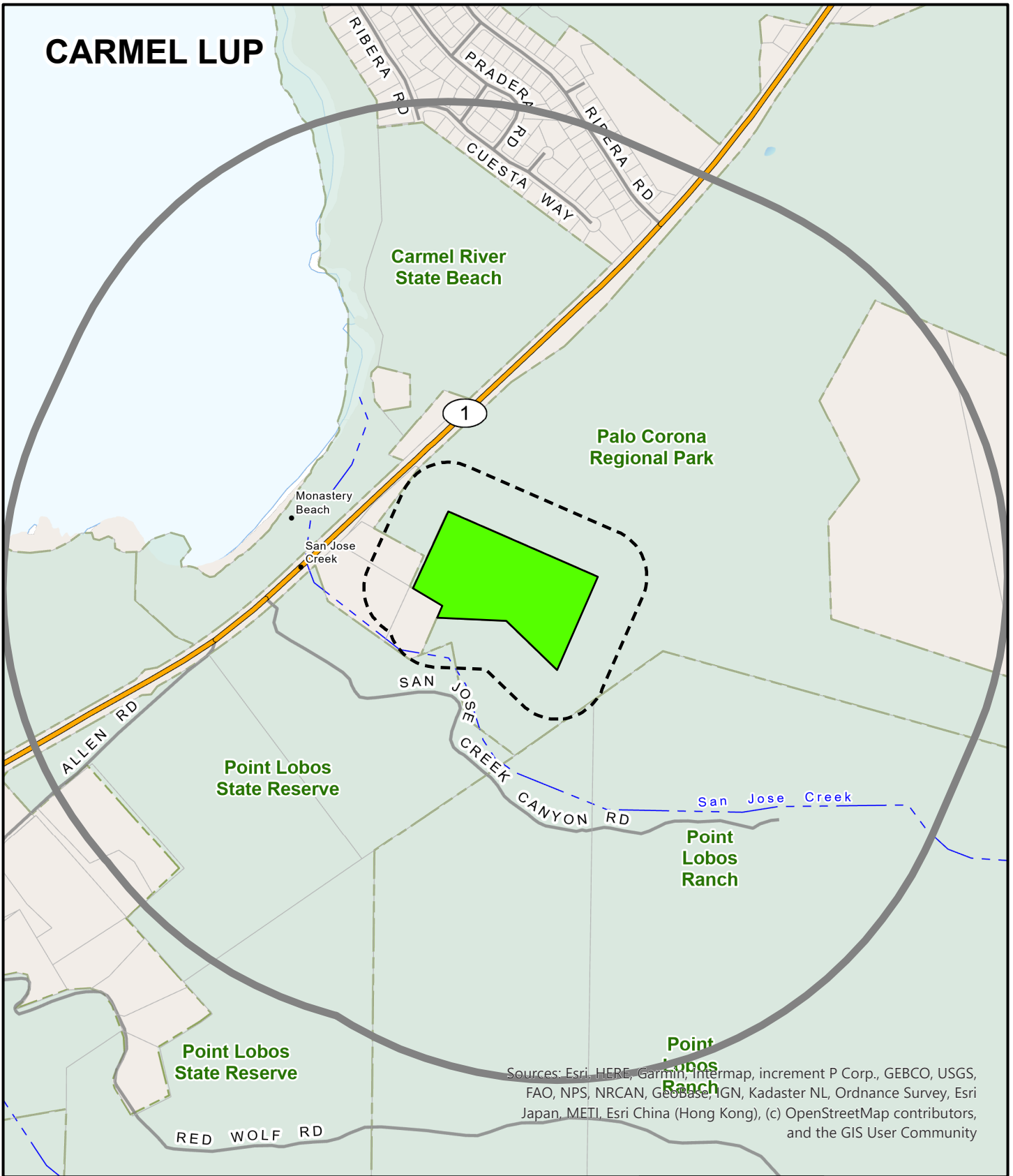
Avena fatua, wild oats *
Convolvulus arvensis, bindweed *
Cortaderia jubata, jubata or Pampas grass *
Ehrharta erecta, Veldt grass *
Pennisetum clandestinum, Kikuyu grass *
Rubus ursinus, wild blackberry

* Indicates a non-native, horticultural or invasive species

Exhibit E

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CARMEL LUP



APPLICANT: MOTHER TERESITA FLYNN

APN: 243101002000

FILE # PLN240240



Project Site



300 FT Buffer



2500 FT Buffer



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County of Monterey

Item No.2

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: ZA 25-039

August 14, 2025

Introduced: 8/5/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Zoning Administrator

PLN240107 - CHAMISAL FAMILY PARTNERSHIP LTD ET AL

Continued from April 10, 2025, May 29, 2025, and July 31, 2025 - Public hearing to consider a Minor Amendment to a previously approved Use Permit (PC1584) that allowed the establishment of the Chamisal Tennis and Fitness Club consisting of 14 courts, a clubhouse, and a swimming pool. This Amendment would allow for the conversion of two existing tennis courts into eight pickleball courts, the addition of three new pickleball courts, and the future conversion of one existing tennis court into four pickleball courts.

Project Location: 185 Robley Rd, Salinas

Proposed CEQA action: Find that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301, and that no exceptions pursuant to section 15300.2 apply.

RECOMMENDATION:

It is recommended that the Zoning Administrator adopt a resolution to:

1. Find the project Categorically Exempt pursuant to section 15301 of the CEQA Guidelines, and there are no exceptions pursuant to section 15300.2; and
2. Approve a Minor and Trivial Amendment to a previously approved Use Permit (PC01584) that allowed the establishment of the Chamisal Tennis and Fitness Club consisting of 14 courts, a clubhouse, and a swimming pool. This Amendment would allow for the conversion of two tennis courts into eight pickleball courts, the addition of three pickleball courts, and the future conversion of one tennis court into four additional pickleball courts (total of 25 tennis or pickleball courts).

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval/denial subject to 4 conditions of approval.

PROJECT INFORMATION:

Agent: Stephen Lyon

Property Owner: Robert Mitchell

APN: 416-321-017-000

Parcel Size: 9 acres

Zoning: PQP/B-8-VS

Plan Area: Toro

Flagged and Staked: No

Project Planner: Joseph Alameda, Assistant Planner

alamedaj@countyofmonterey.gov, (831)783-7079

SUMMARY:

The subject property is located at 185 Robley Road in Salinas, within the Toro Area Plan. On December 20, 1972, the County of Monterey Planning Commission approved a Use Permit (PC01584) that allowed the establishment of the Chamisal Tennis and Fitness Club, consisting of 14 courts, a clubhouse, and a swimming pool. The applicant proposes a Minor and Trivial Amendment to the original Use Permit to allow for the conversion of two tennis courts into eight pickleball courts, the addition of three pickleball courts, and the future potential to convert one tennis court into four additional pickleball courts. At full build-out, a total of 25 athletic courts would be available to the Chamisal Tennis and Fitness Club members. No increase in membership numbers is anticipated, and the installation of pickleball courts is proposed to respond to a shift in facility demands. The Chamisal Tennis and Fitness Club would continue to hold events, including but not limited to sports and gatherings associated with a country club. No other changes to the uses or development approved under PC01584 are proposed.

The Zoning Administrator considered this project on April 10, 2025. After public testimony, the Zoning Administrator continued the hearing to May 29, 2025, and requested that the applicant provide staff with additional materials related to noise quality, water use, and membership numbers. On May 29, 2025, the Zoning Administrator continued the item to a date uncertain to allow additional time to obtain the requested information. Staff returned with a revised draft resolution on July 31, 2025 that incorporated the project's water demand, historical membership numbers, and an updated noise analysis. The Zoning Administrator continued the project to a date certain of August 14, 2025, and requested HCD staff prepare a Condition of Approval (Condition No.2, **Exhibit A.1**) that requires the club work with an Acoustical Engineer to prepare and install noise reduction screening and measures for everyday activity as well as for events/tournaments, to create a parking plan indicating overflow areas, and to restrict pickle-ball play to the hours between 8:00am and 8:00pm.

DISCUSSION:

Noise

Chamisal Fitness & Tennis Club ("Club") hours are typically between 5:00 a.m. and 8:00 p.m. Sources of noise associated with the Club are generally limited to noise associated with on-site activities, including human voices, tennis and pickleball matches, and various other on-site activities. Sources of noise observed in the vicinity of the Club that were not related to Club activities included noise from traffic on nearby roadways, residential landscaping activities, and noise associated with aircraft overflights on approach to the Monterey Regional Airport. In accordance with Title 10, Chapter 10.60 and the 2010 General Plan Safety Element, an Acoustics report (County of Monterey Library No. LIB250054) was prepared to assess the potential impacts of the additional courts (conversion and proposed). The report involved both long-term and short-term ambient noise level measurements at six locations in the vicinity of the Chamisal Fitness & Tennis Club and the surrounding residential areas. The closest existing residential land uses to the pickleball courts are located at setback distances of 500 feet or greater from the center of the eight pickleball courts. With the construction of the proposed pickleball court adjacent to Robley Road, the nearest residence would be approximately 325 feet northeast (site R-2).

The noise levels measured at sites ST-3 and ST-5 are the most accurate representation of the proposed pickleball noise levels that may be heard within 50 to 100 feet of the perimeter of Club

activities. At these locations, pickleball noise levels were measured to be between 40.6 and 64.8 decibels (dB). At 75 feet from the nearest court line, pickleball activities generated noise between 71 to 73 decibels. When measured from the nearest (proposed) court, the acoustical engineer found that the maximum noise levels at the closest residential land uses (325 feet and 500 feet) would be in the range of approximately 58-62 dB. When measured from the nearest residence (325 feet), proposed pickleball activities would generate approximately 9 to 11 additional decibels than the Club's existing tennis activities, which generate approximately 49-51 dB. See **Exhibit D**.

In general, the rapid and repetitive nature of pickleball rallies can create a more noticeable "pop" that can be disruptive to nearby residents, especially in quiet residential areas. Additionally, pickleball strikes can produce a higher-pitched sound (~1.2 kHz) compared to tennis balls. While the noise levels and pitch associated with tennis activities would be noticeably lower than those associated with pickleball activities, the noise levels associated with both activities (tennis and pickleball) when measured from nearby residential uses are not expected to exceed the Monterey County daytime or nighttime maximum noise level standards of 70 and 65 dBS. In relation to general public welfare, peace, and health, the acoustical report found that "noise produced by tennis and/or pickleball activities during the hours of operation are not considered to be a detriment to the health, life, or safety of the neighbors and neighborhood overall, at any sensitive receptor (residential land use) location in the vicinity of the Club" (**Exhibit D**).

2010 General Plan Policy S-7.4 requires that new noise generators may be allowed in areas where projected noise levels are "conditionally acceptable". Additionally, Table S-2 of the Safety Element (2010 General Plan) finds that development generating noise between 55 to 70 dB is considered to be conditionally acceptable within Residential Land Use areas. Title 10 section 10.60.030 prohibits any machine, mechanism, device, or contrivance that produces a noise level that exceeds seventy (70) dBA measured fifty (50) feet from being operated. Noise generated from playing pickleball, specifically the paddle hitting the ball, would be considered a contrivance or device in this case. Based on the conclusions of the prepared Acoustics report, the proposed pickleball use will not generate noise that exceeds the 70 dBA maximum established by Title 10 and is within the acceptable levels established by the 2010 General Plan Safety Element. Further, Title 10 section 10.60.040(C) exempts outdoor gatherings and sporting events on commercial or institutional premises from the allowed daytime and nighttime noise thresholds of Title 10, provided such use is conducted pursuant to applicable rules, regulations, and zoning restrictions. The Chamisal Fitness & Tennis Club property is zoned Public Quasi-Public and allows sporting events and outdoor gatherings. Thus, although the proposed use complies with applicable regulations and policies related to noise, the noise generated by the proposed pickleball use is also exempt from the requirements of Title 10.

Though the project proposes to allow the establishment of pickleball at the Club, this use has been occurring on-site for a few years. HCD-Staff is unaware of any complaints received by neighbors regarding noise, traffic, or other potential nuisances associated with pickleball/outdoor activities. Use of the proposed pickleball courts would conclude around 8:00 pm, prior to the start of the County's nighttime noise regulations (9:00pm). The proposed conversion of tennis courts to pickleball courts and the installation of additional pickleball courts are in keeping with the intention of the original Use Permit and are an appropriate use under the PQP zoning district. Based on the above information, staff believes the proposed use would not introduce a noise that is inconsistent with the allowed uses of

the underlying zoning (public recreational uses and country clubs) or detrimental to the surrounding residential community. The Applicant has also recently installed noise-reducing panels on the exterior of the pickleball courts to address the raised noise concerns (see **Exhibit E**).

Water Use/Demand

The B-8 zoning overlay was enacted in November 1992 (and amended in September 1993) due to concerns associated with groundwater supply in the Toro Area (Ordinance No. 03647, November 24, 1992; Ordinance No. 3704, September 7, 1993).

The B-8 overlay was adopted primarily to prevent new parcels from being created in the Toro Area (Board of Supervisors Resolution No. 12-040). The stated purpose of the B-8 overlay is to “restrict development and/or intensification of land use in areas where, due to water supply, water quality, sewage disposal capabilities, traffic impacts or similar measurable public-facility type constraints, additional development and/or intensification of land use if found to be detrimental to the health, safety, and welfare of the residents of the area, or the County as a whole” (Title 21 section 21.42.030.H). “Intensification” is defined in Chapter 21.42 as “the change in the use of a building site which increases the demand on the constraint(s) which caused the ‘B-8’ District to be applied over that use existing at that time the ‘B-8’ District is applied to the property.”

The B-8 District expressly allows “[c]onstruction or expansion of commercial uses where such construction or expansion can be found to not adversely affect the constraints which caused the ‘B-8’ District to be applied to the property” (Title 21 section 21.42.030.H.2). As described above, the constraint which caused the B-8 zoning overlay to be applied to a portion of the Toro planning area, inclusive of the project site, was groundwater supply.

As described above, the Club was established (permitted) in 1972, approximately 20 years prior to the enactment of the B-8 overlay. Accordingly, the Club’s water demand would have been accounted for in baseline groundwater conditions that established the B-8 overlay. Historical water demand information is not available, and thus, the following discussion is provided to demonstrate that the proposed project will not conflict with the B-8 overlay. According to 2021 through 2024 Chamisal Water Association statements, the Club’s water usage ranged between 2.9-acre feet per year (AFY) to 4.5 AFY (**Exhibit E**). During this timeframe, the Club was actively offering pickleball facilities and had between 757 and 780 active members. Based on membership reports produced by the Applicant/Owner, the Club had 768 active units in 1994, two years following the enactment of B-8 overlay. Accordingly, it is presumed that historical water demand would be similar to today’s demand (2.9 to 4.5 AFY), given that membership rates have not substantially changed. It is recognized that during the early 2000s (2001-2003), the Club had up to 1,097 active members. However, the additional approximately 200 members were unlikely to demand a substantially larger amount of water than required by the overall Club operation (pool, restaurant, plumbing, etc.).

Pickleball has existed on site for the past few years, and active memberships have remained steady (750-800) during this time. Accordingly, the Club has indicated to staff that they do not expect a substantial increase in memberships upon issuance of this permit. Based on this information, the proposed project is not expected to adversely affect the constraints that caused the ‘B-8’ District to be applied to the property and surrounding area (groundwater), and the project is consistent with the

limitations of Title 21 Chapter 21.42.

OTHER AGENCY INVOLVEMENT:

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- HCD-Engineering Services
- Environmental Health Bureau
- HCD-Environmental Services
- Monterey County Regional Fire Protection District

Prepared by: Joseph Alameda, Associate Planner, x7079

Reviewed and Approved by: Fionna Jensen, Principal Planner (WOC)

The following attachments are on file with the HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Plans

Exhibit B - Vicinity Map

Exhibit C - Public Comment

Exhibit D - Acoustics Report

Exhibit E - Membership Reports and Water Usage

cc: Front Counter Copy; Monterey County Regional Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Joseph Alameda, Planner; Fionna Jensen, Principal Planner (WOC); Robert Mitchell, Property Owners; Stephen Lyon, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Chrstina McGinnis, Keep Big Sur Wild; Holger Kappler, Herman Campos, Interested Parties; Planning File PLN240107.



County of Monterey

Item No.2

Zoning Administrator

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: ZA 25-039

August 14, 2025

Introduced: 8/5/2025

Current Status: Agenda Ready

Version: 1

Matter Type: Zoning Administrator

PLN240107 - CHAMISAL FAMILY PARTNERSHIP LTD ET AL

Continued from April 10, 2025, May 29, 2025, and July 31, 2025 - Public hearing to consider a Minor Amendment to a previously approved Use Permit (PC1584) that allowed the establishment of the Chamisal Tennis and Fitness Club consisting of 14 courts, a clubhouse, and a swimming pool. This Amendment would allow for the conversion of two existing tennis courts into eight pickleball courts, the addition of three new pickleball courts, and the future conversion of one existing tennis court into four pickleball courts.

Project Location: 185 Robley Rd, Salinas

Proposed CEQA action: Find that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301, and that no exceptions pursuant to section 15300.2 apply.

RECOMMENDATION:

It is recommended that the Zoning Administrator adopt a resolution to:

1. Find the project Categorically Exempt pursuant to section 15301 of the CEQA Guidelines, and there are no exceptions pursuant to section 15300.2; and
2. Approve a Minor and Trivial Amendment to a previously approved Use Permit (PC01584) that allowed the establishment of the Chamisal Tennis and Fitness Club consisting of 14 courts, a clubhouse, and a swimming pool. This Amendment would allow for the conversion of two tennis courts into eight pickleball courts, the addition of three pickleball courts, and the future conversion of one tennis court into four additional pickleball courts (total of 25 tennis or pickleball courts).

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval/denial subject to 4 conditions of approval.

PROJECT INFORMATION:

Agent: Stephen Lyon

Property Owner: Robert Mitchell

APN: 416-321-017-000

Parcel Size: 9 acres

Zoning: PQP/B-8-VS

Plan Area: Toro

Flagged and Staked: No

Project Planner: Joseph Alameda, Assistant Planner

alamedaj@countyofmonterey.gov, (831)783-7079

SUMMARY:

The subject property is located at 185 Robley Road in Salinas, within the Toro Area Plan. On December 20, 1972, the County of Monterey Planning Commission approved a Use Permit (PC01584) that allowed the establishment of the Chamisal Tennis and Fitness Club, consisting of 14 courts, a clubhouse, and a swimming pool. The applicant proposes a Minor and Trivial Amendment to the original Use Permit to allow for the conversion of two tennis courts into eight pickleball courts, the addition of three pickleball courts, and the future potential to convert one tennis court into four additional pickleball courts. At full build-out, a total of 25 athletic courts would be available to the Chamisal Tennis and Fitness Club members. No increase in membership numbers is anticipated, and the installation of pickleball courts is proposed to respond to a shift in facility demands. The Chamisal Tennis and Fitness Club would continue to hold events, including but not limited to sports and gatherings associated with a country club. No other changes to the uses or development approved under PC01584 are proposed.

The Zoning Administrator considered this project on April 10, 2025. After public testimony, the Zoning Administrator continued the hearing to May 29, 2025, and requested that the applicant provide staff with additional materials related to noise quality, water use, and membership numbers. On May 29, 2025, the Zoning Administrator continued the item to a date uncertain to allow additional time to obtain the requested information. Staff returned with a revised draft resolution on July 31, 2025 that incorporated the project's water demand, historical membership numbers, and an updated noise analysis. The Zoning Administrator continued the project to a date certain of August 14, 2025, and requested HCD staff prepare a Condition of Approval (Condition No.2, **Exhibit A.1**) that requires the club work with an Acoustical Engineer to prepare and install noise reduction screening and measures for everyday activity as well as for events/tournaments, to create a parking plan indicating overflow areas, and to restrict pickle-ball play to the hours between 8:00am and 8:00pm.

DISCUSSION:

Noise

Chamisal Fitness & Tennis Club ("Club") hours are typically between 5:00 a.m. and 8:00 p.m. Sources of noise associated with the Club are generally limited to noise associated with on-site activities, including human voices, tennis and pickleball matches, and various other on-site activities. Sources of noise observed in the vicinity of the Club that were not related to Club activities included noise from traffic on nearby roadways, residential landscaping activities, and noise associated with aircraft overflights on approach to the Monterey Regional Airport. In accordance with Title 10, Chapter 10.60 and the 2010 General Plan Safety Element, an Acoustics report (County of Monterey Library No. LIB250054) was prepared to assess the potential impacts of the additional courts (conversion and proposed). The report involved both long-term and short-term ambient noise level measurements at six locations in the vicinity of the Chamisal Fitness & Tennis Club and the surrounding residential areas. The closest existing residential land uses to the pickleball courts are located at setback distances of 500 feet or greater from the center of the eight pickleball courts. With the construction of the proposed pickleball court adjacent to Robley Road, the nearest residence would be approximately 325 feet northeast (site R-2).

The noise levels measured at sites ST-3 and ST-5 are the most accurate representation of the proposed pickleball noise levels that may be heard within 50 to 100 feet of the perimeter of Club

activities. At these locations, pickleball noise levels were measured to be between 40.6 and 64.8 decibels (dB). At 75 feet from the nearest court line, pickleball activities generated noise between 71 to 73 decibels. When measured from the nearest (proposed) court, the acoustical engineer found that the maximum noise levels at the closest residential land uses (325 feet and 500 feet) would be in the range of approximately 58-62 dB. When measured from the nearest residence (325 feet), proposed pickleball activities would generate approximately 9 to 11 additional decibels than the Club's existing tennis activities, which generate approximately 49-51 dB. See **Exhibit D**.

In general, the rapid and repetitive nature of pickleball rallies can create a more noticeable "pop" that can be disruptive to nearby residents, especially in quiet residential areas. Additionally, pickleball strikes can produce a higher-pitched sound (~1.2 kHz) compared to tennis balls. While the noise levels and pitch associated with tennis activities would be noticeably lower than those associated with pickleball activities, the noise levels associated with both activities (tennis and pickleball) when measured from nearby residential uses are not expected to exceed the Monterey County daytime or nighttime maximum noise level standards of 70 and 65 dBS. In relation to general public welfare, peace, and health, the acoustical report found that "noise produced by tennis and/or pickleball activities during the hours of operation are not considered to be a detriment to the health, life, or safety of the neighbors and neighborhood overall, at any sensitive receptor (residential land use) location in the vicinity of the Club" (**Exhibit D**).

2010 General Plan Policy S-7.4 requires that new noise generators may be allowed in areas where projected noise levels are "conditionally acceptable". Additionally, Table S-2 of the Safety Element (2010 General Plan) finds that development generating noise between 55 to 70 dB is considered to be conditionally acceptable within Residential Land Use areas. Title 10 section 10.60.030 prohibits any machine, mechanism, device, or contrivance that produces a noise level that exceeds seventy (70) dBA measured fifty (50) feet from being operated. Noise generated from playing pickleball, specifically the paddle hitting the ball, would be considered a contrivance or device in this case. Based on the conclusions of the prepared Acoustics report, the proposed pickleball use will not generate noise that exceeds the 70 dBA maximum established by Title 10 and is within the acceptable levels established by the 2010 General Plan Safety Element. Further, Title 10 section 10.60.040(C) exempts outdoor gatherings and sporting events on commercial or institutional premises from the allowed daytime and nighttime noise thresholds of Title 10, provided such use is conducted pursuant to applicable rules, regulations, and zoning restrictions. The Chamisal Fitness & Tennis Club property is zoned Public Quasi-Public and allows sporting events and outdoor gatherings. Thus, although the proposed use complies with applicable regulations and policies related to noise, the noise generated by the proposed pickleball use is also exempt from the requirements of Title 10.

Though the project proposes to allow the establishment of pickleball at the Club, this use has been occurring on-site for a few years. HCD-Staff is unaware of any complaints received by neighbors regarding noise, traffic, or other potential nuisances associated with pickleball/outdoor activities. Use of the proposed pickleball courts would conclude around 8:00 pm, prior to the start of the County's nighttime noise regulations (9:00pm). The proposed conversion of tennis courts to pickleball courts and the installation of additional pickleball courts are in keeping with the intention of the original Use Permit and are an appropriate use under the PQP zoning district. Based on the above information, staff believes the proposed use would not introduce a noise that is inconsistent with the allowed uses of

the underlying zoning (public recreational uses and country clubs) or detrimental to the surrounding residential community. The Applicant has also recently installed noise-reducing panels on the exterior of the pickleball courts to address the raised noise concerns (see **Exhibit E**).

Water Use/Demand

The B-8 zoning overlay was enacted in November 1992 (and amended in September 1993) due to concerns associated with groundwater supply in the Toro Area (Ordinance No. 03647, November 24, 1992; Ordinance No. 3704, September 7, 1993).

The B-8 overlay was adopted primarily to prevent new parcels from being created in the Toro Area (Board of Supervisors Resolution No. 12-040). The stated purpose of the B-8 overlay is to “restrict development and/or intensification of land use in areas where, due to water supply, water quality, sewage disposal capabilities, traffic impacts or similar measurable public-facility type constraints, additional development and/or intensification of land use if found to be detrimental to the health, safety, and welfare of the residents of the area, or the County as a whole” (Title 21 section 21.42.030.H). “Intensification” is defined in Chapter 21.42 as “the change in the use of a building site which increases the demand on the constraint(s) which caused the ‘B-8’ District to be applied over that use existing at that time the ‘B-8’ District is applied to the property.”

The B-8 District expressly allows “[c]onstruction or expansion of commercial uses where such construction or expansion can be found to not adversely affect the constraints which caused the ‘B-8’ District to be applied to the property” (Title 21 section 21.42.030.H.2). As described above, the constraint which caused the B-8 zoning overlay to be applied to a portion of the Toro planning area, inclusive of the project site, was groundwater supply.

As described above, the Club was established (permitted) in 1972, approximately 20 years prior to the enactment of the B-8 overlay. Accordingly, the Club’s water demand would have been accounted for in baseline groundwater conditions that established the B-8 overlay. Historical water demand information is not available, and thus, the following discussion is provided to demonstrate that the proposed project will not conflict with the B-8 overlay. According to 2021 through 2024 Chamisal Water Association statements, the Club’s water usage ranged between 2.9-acre feet per year (AFY) to 4.5 AFY (**Exhibit E**). During this timeframe, the Club was actively offering pickleball facilities and had between 757 and 780 active members. Based on membership reports produced by the Applicant/Owner, the Club had 768 active units in 1994, two years following the enactment of B-8 overlay. Accordingly, it is presumed that historical water demand would be similar to today’s demand (2.9 to 4.5 AFY), given that membership rates have not substantially changed. It is recognized that during the early 2000s (2001-2003), the Club had up to 1,097 active members. However, the additional approximately 200 members were unlikely to demand a substantially larger amount of water than required by the overall Club operation (pool, restaurant, plumbing, etc.).

Pickleball has existed on site for the past few years, and active memberships have remained steady (750-800) during this time. Accordingly, the Club has indicated to staff that they do not expect a substantial increase in memberships upon issuance of this permit. Based on this information, the proposed project is not expected to adversely affect the constraints that caused the ‘B-8’ District to be applied to the property and surrounding area (groundwater), and the project is consistent with the

limitations of Title 21 Chapter 21.42.

OTHER AGENCY INVOLVEMENT:

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- HCD-Engineering Services
- Environmental Health Bureau
- HCD-Environmental Services
- Monterey County Regional Fire Protection District

Prepared by: Joseph Alameda, Associate Planner, x7079

Reviewed and Approved by: Fionna Jensen, Principal Planner (WOC)

The following attachments are on file with the HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Plans

Exhibit B - Vicinity Map

Exhibit C - Public Comment

Exhibit D - Acoustics Report

Exhibit E - Membership Reports and Water Usage

cc: Front Counter Copy; Monterey County Regional Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Joseph Alameda, Planner; Fionna Jensen, Principal Planner (WOC); Robert Mitchell, Property Owners; Stephen Lyon, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Chrstina McGinnis, Keep Big Sur Wild; Holger Kappler, Herman Campos, Interested Parties; Planning File PLN240107.

Exhibit A

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

CHAMISAL FAMILY PARTNERSHIP LTD ET AL (PLN240107)

RESOLUTION NO. 25 -

Resolution by the County of Monterey Zoning Administrator:

1. Finding the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301, and there are no exceptions pursuant to 15300.2; and
2. Approving a Minor and Trivial Amendment to a previously approved Use Permit (PC01584) that allowed the establishment of the Chamisal Tennis and Fitness Club consisting of 14 courts, a clubhouse, and swimming pool. This Amendment would allow for the conversion of two tennis courts into eight pickleball courts, the addition of one tennis court, and future conversion of one tennis court into four additional pickleball courts (total of 23 tennis or pickleball courts).

(PLN240107, Robert Mitchell, 185 Robley Road, Salinas, Toro Area Plan (APN: 416-321-017-000))

The CHAMISAL FAMILY PARTNERSHIP LTD ET AL application (PLN240107) came on for a public hearing before the County of Monterey Zoning Administrator on April 10, 2025, May 29, 2025, July 31, 2025, and August 14, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **PROCESS** - The County has received and processed a minor amendment to HCD-Planning File No. PLN240107.
EVIDENCE:
 - a) An application for a Minor and Trivial Amendment was submitted to HCD-Planning on July 08, 2024.
 - b) On December 20, 1972, the County of Monterey Planning Commission approved a Use Permit (PC01584) that allowed the establishment of the Chamisal Tennis and Fitness Club consisting of 14 courts, a clubhouse, and swimming pool.
 - c) The proposed Amendment would allow for the conversion of two tennis courts into eight pickleball courts, the addition of tennis court, and the future potential to convert one tennis court into four additional pickleball courts. At full build out, a total of 23 athletic courts would be available to the Chamisal Tennis and Fitness Club members. No increase in membership numbers is anticipated and the installation of pickleball courts are proposed to respond to

a shift in facility demands. No other changes to the uses or development approved under PC01584 are proposed. Therefore, the amendment is of a minor and trivial nature.

- d) This Minor and Trivial Amendment (HCD-Planning File No. PLN240107) amends PC01584. Given the proposed scope is limited to amending the number of previously approved athletic courts, PC01584 remains as the site's operative permit.
- e) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed amendment are found in project file PLN240107.

2. **FINDING:**

CONSISTENCY - The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE:

- a) Allowed Use. The property is located at 185 Robley Road, Salinas (Assessor's Parcel Number 416-321-017-000), Toro Area Plan. The parcel is zoned Public/Quasi-Public with Building Site 8 and Visual Sensitivity overlays, or "PQP/B-8-VS". The PQP zoning allows country clubs as a principle use subject to the granting of a Use Permit. A Use Permit was approved in 1972 to allow the establishment of a country club. The proposed project involves modifications to the country club's tennis courts, increasing the number of athletic courts from 14 to 23. In this case, the County determined that a Minor and Trivial Amendment to the previously approved Use Permit (HCD-Planning File No. PC01584) is the applicable and appropriate entitlement to consider the conversion of tennis courts to pickle ball courts and establishment of new pickle ball courts. (See Finding No. 2, Evidence No. "g"). Therefore, the proposed project is an allowed land use for this site.
- b) The project has been reviewed for consistency with the text, policies, and regulations in the:
 - 2010 Monterey County General Plan;
 - Toro Area Plan; and
 - Monterey County Zoning Ordinance - Inland (Title 21)No conflicts were found to exist. The County received no communications from interested members of the public during the course of project review indicating any inconsistencies with the text, policies, and/or regulations of the Monterey County Code (MCC), and the County finds that the project is consistent with the text, policies, and regulations in the applicable documents.
- c) Development Standards. As proposed, the project meets all required development standards established in Title 21 section 21.40.060. The proposed amendment will only involve re-paving of tennis courts and does not involve any changes or new impacts to the current development standards, which are all being met.
- d) Lot Legality. The subject property is shown in its current configuration as Parcel 2 in Volume 3, Page 81 of a Parcel Map recorded for Minor Subdivision 72-214, dated November 1972. Therefore, the County recognizes the project site as a legal lot of record.

- e) Land Use Advisory Committee. The project was not referred to the Toro Land Use Advisory Committee (LUAC) for review because it does not involve a public hearing Design Approval, a Lot Line Adjustment, preparation of an Initial study, or a Variance.
- f) Noise. Chamisal Fitness & Tennis Club (“Club”) hours are typically between 5:00 a.m. and 8:00 p.m. Sources of noise associated with the Club are generally limited to noise associated with on-site activities, including human voices, tennis and pickleball matches, and various other on-site activities. Sources of noise observed in the vicinity of the Club that were not related to Club activities included noise from traffic on nearby roadways, residential landscaping activities, and noise associated with aircraft overflights on approach to the Monterey Regional Airport. In accordance with Title 10 Chapter 10.60 and the 2010 General Plan Safety Element, an Acoustics report (LIB250054) was prepared to assess the potential impacts of the additional courts. The report involved both long-term and short-term ambient noise level measurements at various locations in the vicinity of the Chamisal Fitness & Tennis Club and the surrounding residential areas. With the construction of the proposed Tennis court adjacent to Camino De Chamisal, the nearest residence would be approximately 325 feet northeast (site R-2).

The noise levels measured at sites ST-3 and ST-5 are the most accurate representation of the proposed pickleball noise levels that may be heard within 50 to 100 feet of the perimeter of Club activities. At these locations, pickleball noise levels were measured to be between 40.6 and 64.8 decibels (dB). The acoustical engineer also measures noise levels near an off-site residence (site ST-4). When measured from the nearest (proposed) court, the acoustical engineer found that the maximum noise levels at the closest residential land uses (325 feet and 500 feet) would be in the range of approximately 58-62 dB. When measured from the nearest residence (325 feet), proposed pickleball activities would generate approximately 9 to 11 additional decibels than the Club’s existing tennis activities, which generate approximately 49-51 dB. Pickleball strikes can produce a higher-pitched sound (~1.2 kHz) compared to tennis balls. While the noise levels and pitch associated with tennis activities would be noticeably lower than those associated with pickleball activities, the noise levels associated with both activities (tennis and pickleball) when measured from nearby residential uses are not expected to exceed the Monterey County daytime or nighttime maximum noise level standards of 70 and 65 dBs. In relation to general public welfare, peace, and health, the acoustical report found that “noise produced by tennis and/or pickleball activities during the hours of operation are not considered to be a detriment to the health, life, or safety of the neighbors and neighborhood overall, at any sensitive receptor (residential land use) location in the vicinity of the Club.” The Club has also installed noise-reducing panels on the exterior of the pickleball courts to lessen the amplification of noise.

2010 General Plan Policy S-7.4 requires that new noise generators may be allowed in areas where projected noise levels are “conditionally acceptable”. Additionally, Table S-2 of the Safety Element (2010 General Plan) finds that development generating noise between 55 to 70 dB is considered to be conditionally acceptable within Residential Land Use areas. Title 10 section 10.60.030 prohibits any machine, mechanism, device, or contrivance that produces a noise level that exceeds seventy (70) dBA measured fifty (50) feet from being operated. Noise generated from playing pickleball, specifically the paddle hitting the ball, would be considered a contrivance or device in this case. Based on the conclusions of the prepared Acoustics report, the proposed pickleball use will not generate noise that exceed the 70 dBA maximum off site, and is within the acceptable levels established by the 2010 General Plan Safety Element. Further, Title 10 section 10.60.040(C) exempts outdoor gatherings and sporting events on commercial or institutional premises from the allowed daytime and nighttime noise thresholds of Title 10, provided such use is conducted pursuant to applicable rules, regulations, and zoning restrictions. The Chamisal Fitness & Tennis Club property is zoned Public Quasi Public and allows sporting events and outdoor gatherings. Condition No.4 has been added to ensure noise reduction measures are taken in consultation with an Acoustical Engineer for both everyday play and events/tournaments. Thus, although the proposed use complies with applicable regulations and policies related to noise, the noise generated by the proposed pickleball use is also exempt from requirements of Title 10.

- g) B-8 Overlay. The B-8 zoning overlay was enacted in November 1992 (and amended in September 1993) due to concerns associated with groundwater supply in the Toro Area (Ordinance No. 03647, November 24, 1992; Ordinance No. 3704, September 7, 1993). The B-8 District expressly allows “[c]onstruction or expansion of commercial uses where such construction or expansion can be found to not adversely affect the constraints which caused the ‘B-8’ District to be applied to the property” (Title 21 section 21.42.030.H.2). The Club was established (permitted) in 1972, approximately 20 years prior to the enactment of the B-8 overlay. Accordingly, the Club’s water demand would have been accounted for in baseline groundwater conditions that established the B-8 overlay. According to 2021 through 2024 Chamisal Water Association statements, the Club’s water usage ranged between 2.9-acre feet per year (AFY) to 4.5 AFY. During this timeframe, the Club was actively offering pickleball facilities and had between 757 and 780 active members. Based on membership reports produced by the Applicant/Owner, the Club had 768 active units in 1994, two years following the enactment of B-8 overlay. Accordingly, it is presumed that historical water demand would be similar to today’s demand (2.9 to 4.5 AFY), given that membership rates have not substantially changed. The Club has indicated to staff that they do not expect a substantial increase in memberships upon issuance of this permit. Based on this information, the proposed project is not expected to adversely affect the constraints that caused the ‘B-8’ District to be applied to the property

and surrounding area (groundwater), and the project is consistent with the limitations of Title 21 Chapter 21.42.

- h) Pursuant to MCC Section 21.74.120.A, the County has determined that the proposed project qualifies as a minor amendment to the previously approved Use Permit. The amendment is minor in nature as follows:
- The project would not create new environmental impacts;
 - The project would not increase the severity of environmental impacts identified in the original Use Permit;
 - The project is in keeping with the action of the appropriate authority
 - The project meets all relevant site development standards.
- i) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in project file PLN240107.

3. FINDING: **SITE SUITABILITY** - The site is physically suitable for the use proposed.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Monterey County Regional Fire Protection District (FPD) and the Environmental Health Bureau. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

- b) The following technical report has been prepared:
- “Acoustical Analysis” (LIB250054), prepared by WJV Acoustics, Visalia, CA, on October 2, 2024, updated on May 15, 2025.

Upon independent review, staff concurs with the conclusions of the report (see Finding No. 2, Evidence “F”). There are no physical or environmental constraints that render the site unsuitable for the proposed project.

- c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240107.

4. FINDING: **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

EVIDENCE: a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.

b) The application, project plans, and related support materials submitted by the project applicant to are found in Project File PLN240107.

5. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, Monterey County Regional Fire Protection District, HCD-Public Works, HCD-Environmental Services, and Environmental Health Bureau, and conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood
 - b) Necessary public facilities will be provided. For potable water, the parcel will continue to be served by the Chamisal Water Association. For wastewater and collection/treatment, the property contains an on-site wastewater treatment system, which was reviewed by EHB and was deemed to be sufficient. No additional fixtures are proposed with implementation of the proposed project. As proposed, the minor amendment will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240107.
6. **FINDING:** **CEQA (EXEMPT)** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15301 categorically exempts minor alterations of existing public or private structures involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.
 - b) As proposed, the project involves a minor and trivial amendment to a previously approved Use Permit (PC01584) that allowed the establishment of the Chamisal Tennis and Fitness Club consisting of 14 courts, a clubhouse and swimming pool. This Amendment would allow for the conversion of two tennis courts into eight pickleball courts, the addition of one tennis court, and the future conversion of one tennis court into four more pickleball courts. Although the expansion would allow for a greater number of courts than previously assessed under the original Use Permit, the amendment proposes conversion of existing courts rather than development of new courts to limit to impacts of the expansion. The new tennis (not converted) court will be sited within a previous parking area. Membership is not anticipated to increase with implementation of the project as pickleball has been offered as a Club facility for a few years. Additionally, no additional wastewater or potable water connections are proposed. The Chamisal Tennis and Fitness Club will continue to be closed to the general public. Therefore, the proposed expansion is negligible and qualifies for a Class 1 Categorical Exemption.

- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. No trees are proposed for removal. Although the project site is visible from Laureles Grade, the proposed development will not degrade or be substantially visible from any scenic corridor or scenic highway. There is no cumulative impact as there has been no prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the
- d) Government Code to be considered on a hazardous waste site. No known historical or archaeological resources are present.
- e) No adverse environmental effects were identified during staff review of the development application.
See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240107.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Monterey County Planning Commission.
- EVIDENCE:** a) Planning Commission. Pursuant to Title 21, Section 21.80.040.B, an appeal may be made to the Planning Commission by any public agency or person aggrieved by the discretionary decision of the Zoning Administrator.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project Categorically Exempt pursuant to section 15301 of the CEQA Guidelines, and there are no exceptions pursuant to section 15300.2; and
2. Approve a Minor and Trivial Amendment to a previously approved Use Permit (PC01584) that allowed the establishment of the Chamisal Tennis and Fitness Club consisting of 14 courts, a clubhouse and swimming pool. This Amendment would allow for the conversion of two tennis courts to eight pickleball courts, the addition of one tennis court, and the future conversion of one tennis court into four additional pickleball courts (total of 23 tennis or pickleball courts).

PASSED AND ADOPTED this 14th day of August 2025.

Mike Novo, AICP
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE PLANNING COMMISSION SECRETARY ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.
2. Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.
3. Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services offices in Salinas.
4. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240107

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Minor and Trivial amendment to a previously approved Use permit (PLN240107) allows allow for the conversion of two (2) tennis courts to eight (8) Pickleball courts, the addition of three (3) new pickleball courts and the potential for up to four (4) more pickleball courts. The property is located at 185 Robley Road, Salinas (Assessor's Parcel Number 416-321-017-000), Toro Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Minor and Trivial amendment (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 416-321-017-000 on August 14, 2025. The permit was granted subject to 4 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

4. PDSP001 - Pickle-Ball Activities

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: To ensure pickle-ball related noise at the Chamisal Tennis Club is consistent with Monterey County Code requirements (Chapter 10.60), the applicant/owner shall consult with an Acoustical Engineer to determine appropriate locations for permanent noise mitigation screening and install said screening. Applicant/Owner shall consult with an Acoustical Engineer to develop a specific noise reduction plan for events/tournaments. Applicant/Owner shall prepare an overflow parking plan, which identifies locations and capacity for overflow parking. Pickle-ball activities at the club shall take place only between the hours of 8:00am and 8:00pm.

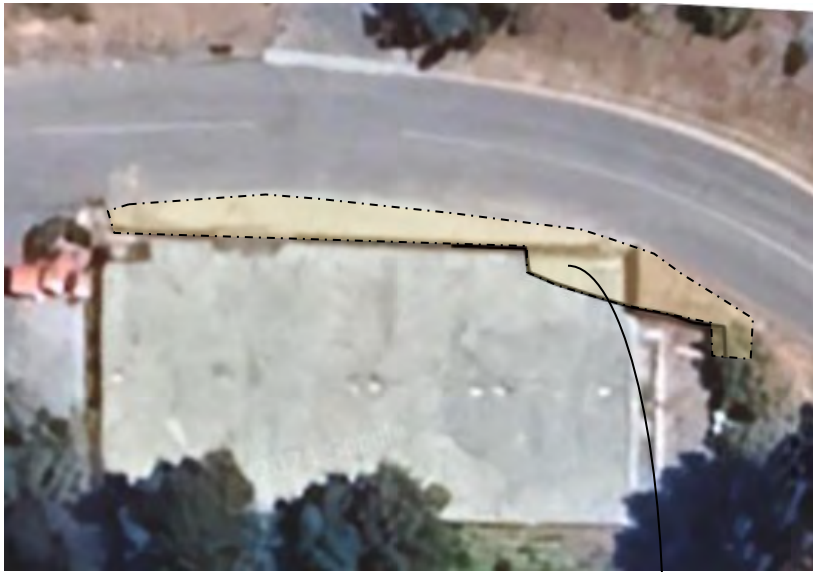
Compliance or Monitoring Action to be Performed:

- Within 90 days of issuance, applicant/owner shall demonstrate to HCD, consultation with an Acoustical Engineer and installation of permanent noise mitigation screening; as well as an event/tournament noise mitigation plan, inclusive of an overflow parking plan indicating locations and capacity for overflow sites.
- On an on-going basis, the club shall conduct pickle-ball play and related activities between the hours of 8:00am and 8:00pm and adhere to the requirements and guidelines of the noise reduction plan and overflow parking plan.

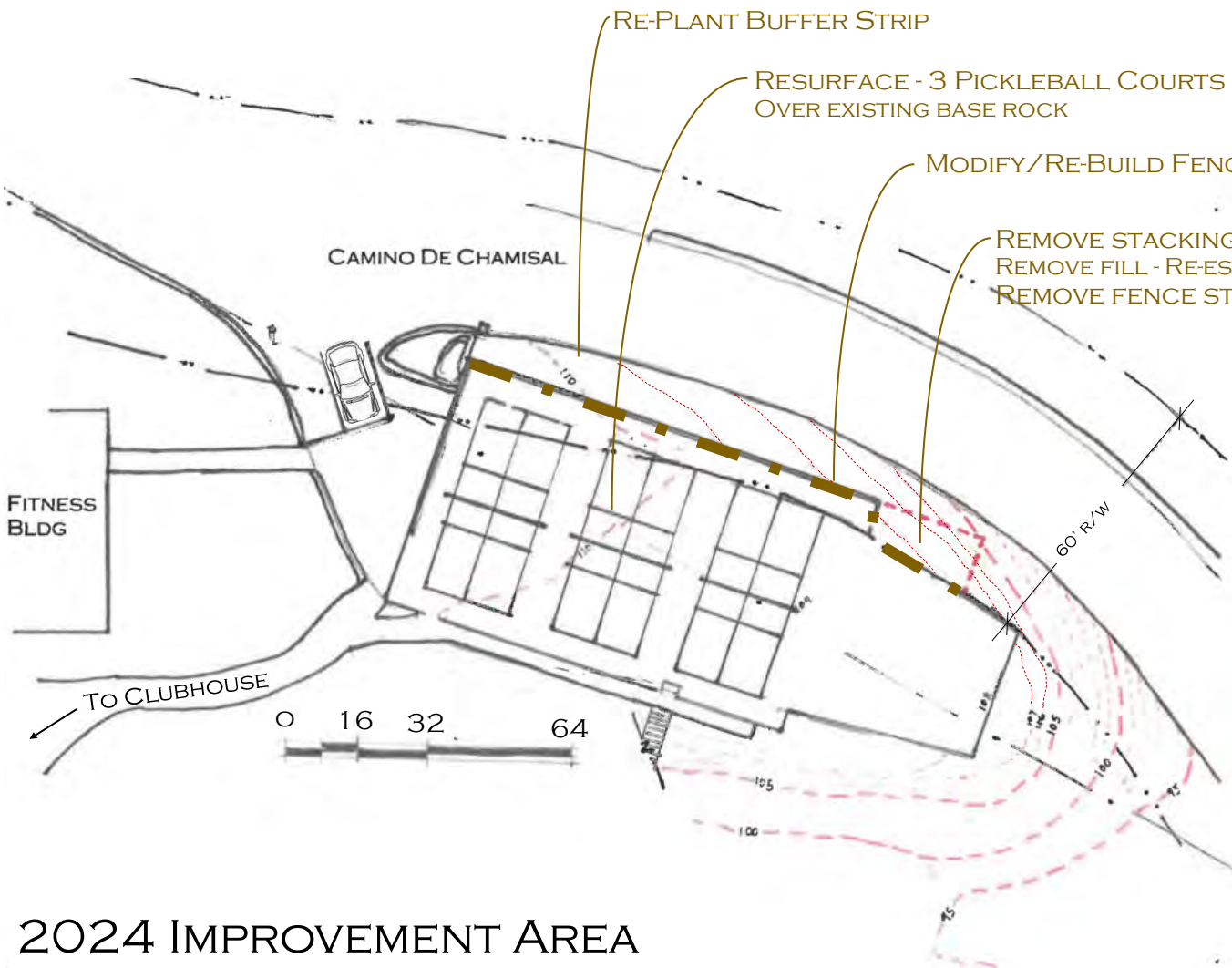
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PARTIAL SITE - FORMER
NO SCALE



PARTIAL SITE - CURRENT
NO SCALE
RESTORATION AREA
Cut +/- 33 CY



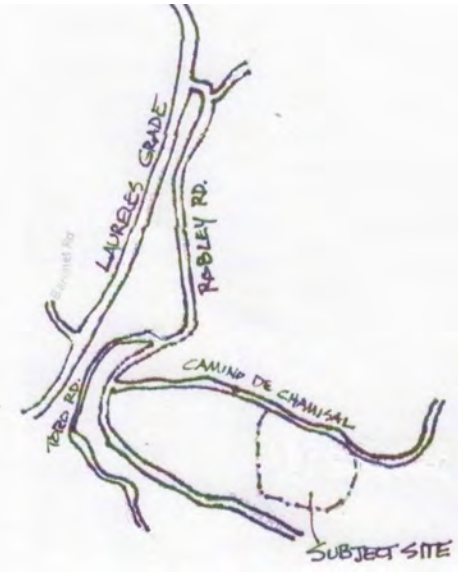
2024 IMPROVEMENT AREA

PARTIAL SITE PLAN
SCALE: 1" = 40'0"

TOPOGRAPHIC SURVEY - BASELINE LAND SURVEYORS - 2003



OVERALL SITE PLAN
NO SCALE



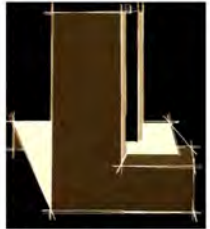
VICINITY MAP
NO SCALE

General Information:

- 1) Project: Chamisal Tennis & Fitness Club – Use Permit Minor & Trivial Amendment
185 Robley Road
Salinas CA 93908
- 2) Owner: 5 Ownership Entities, c/o
Chamisal Family Partnership LTD – Mr. Robert Mitchell
Michael & Elizabeth Tonti – Mr. Mike Tonti
185 Robley Road
Salinas CA 93908
(831) 484-1135
- 3) Owner's Rep: lyondesign – Carmel CA
Contact: Mr. Stephen Lyon
(831) 601-4718
- 4) Assessor Parcel Number: **416-321-017-000** Zoning: **PQP/B-8-VS**
- 5) Reference Number(s): **PLN240107** Original Use Permit: **PC1584**
- 6) Project Description:
Adjust number of allowable 'courts' on subject property. Other terms & conditions of previous agreements and use permit adjustments remain without change. Original use permit allowed 14 courts. Modify Use Permit to allow 25 courts, to include a mix of tennis courts and pickleball courts. Approved number allows for 10 existing tennis courts & 15 pickleball courts whose total includes 8 existing pickleball courts, 3 pickleball courts to be re-installed installed at paving beside Camino De Chamisal, and 4 future pickleball courts whose exact positioning on site is TBD.

Sheet Index

ExH 1 – Site Plan & Notes



lyondesign
design/build services
Lic# 818580

CHAMISAL - USE PERMIT MINOR & TRIVIAL MODIFICATION
185 ROBLEY ROAD, SALINAS CA 93908

SITE PLAN & NOTES

DATE: 7/1/2024

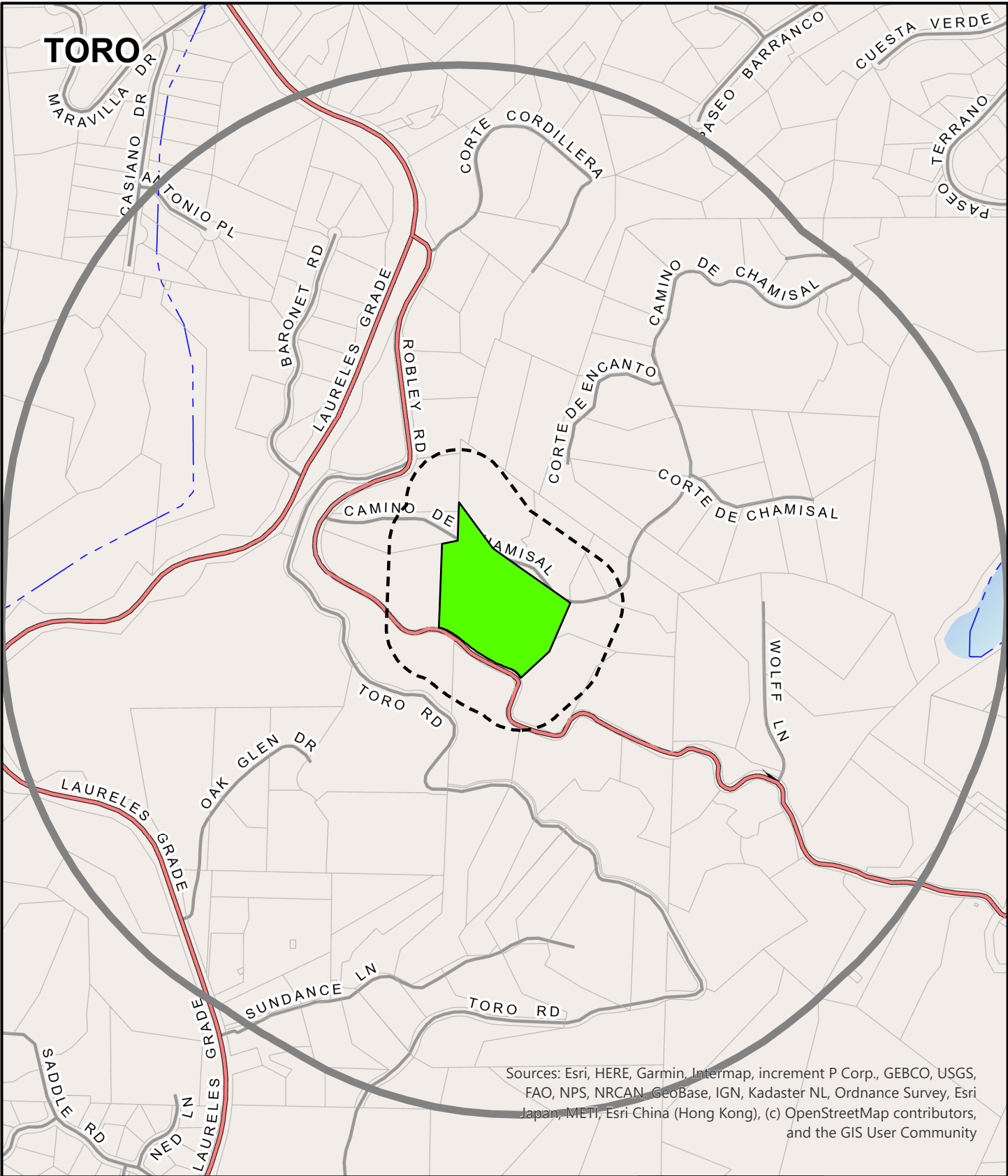
SCALE: as noted

DRAWN: SLyon

EXH-1

Exhibit B

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Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

APPLICANT: CHAMISAL		
APN: 416321017000	FILE # PLN240107	
Project Site 300 FT Buffer 2500 FT Buffer		

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Exhibit C

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From: [herman C](#)
To: [Alameda, Joseph](#)
Subject: PLN240107-please respond
Date: Monday, March 17, 2025 12:57:20 PM

You don't often get email from hcamp19@gmail.com. [Learn why this is important](#)

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Joseph Alameda
County of Monterey
Re: File PLN 240107

Dear Mr Alameda,

We are writing regarding the above-mentioned action. We live in a rural residential area and pickleball is an extremely noisy sport. Pickleball uses equipment which is louder than tennis and puts multiple times the number of players on the area of each tennis court. It is the antithesis of the quiet enjoyment of our property. Because of public pushback and lawsuits, most governing bodies locally (and nationally) have reduced and restricted pickleball activities, not expanded them.

For years, Chamisal Tennis Club (CTC) has hosted numerous pickleball tournaments and we have experienced many traffic issues due to the lack of available parking at the facility. In fact, the proposed site for 3 pickleball courts is routinely used by CTC for parking for these tournaments. Where will those cars go? Even when that area is used for parking, the lack of spaces results in attendees searching the neighborhood and parking off road in unpaved areas on private property. Not only is this a fire hazard but there has been damage to roadside utility boxes.

What is the plan for lighting the new courts? Is CTC in compliance with use permit 2140 with its current lighting or parking requirements? Has this been considered?

Besides traffic, noise and lighting, there is a concern regarding water. We have 15 users, including CTC on our water system. The water table from our single well has dropped significantly over time and is now within 60 feet of the pump depth. Additional activities means additional showers, toilets, restaurant water use and an overall strain on our water system which may not be sustainable.

After 37 years living here, we believe the increase in noise, traffic, parking and water use are more than what the county of Monterey envisioned when CTC was granted a use permit over 50 years ago and that a full review of the existing situation would be appropriate before any expansion should be considered.

Please confirm receipt of this correspondence by return email.

Regards,
Herman and Robin Campos

From: [Holger Kappler](#)
To: [Alameda, Joseph](#)
Cc: [Meike Kappler](#)
Subject: Formal Objection to Minor Amendment PLN240107 – Chamisal Tennis and Fitness Club
Date: Saturday, March 15, 2025 11:18:20 AM

You don't often get email from h.kappler@kappler.de. [Learn why this is important](#)

[CAUTION: This email originated from outside of the County. Do not click links or open attachments unless you recognize the sender and know the content is safe.]

Dear Mr. Alameda,

I am writing to **formally object** to the proposed **Minor Amendment PLN240107** for the **Chamisal Tennis and Fitness Club**, which seeks to convert existing tennis courts into additional pickleball courts. As a **neighbor to the facility**, I have **serious concerns** about the ongoing and increasing noise issues caused by pickleball play, which significantly impact our quality of life and the character of our neighborhood.

This is not the first time I have raised this issue. On **May 5, 2024**, I sent an email outlining these concerns regarding noise pollution and parking issues related to the pickleball courts at **185 Robley Road, Salinas** (Parcel Number **416-321-017-000**). In that communication, I formally requested clarification on whether the previous pickleball courts had been approved and highlighted the **severe noise disturbances already caused by the existing courts**.

Fundamental Change to Neighborhood Character

This neighborhood was chosen by residents **because of its peaceful and quiet environment**—a place where we can enjoy the outdoors, nature, and a **high quality of life** without the disruptions of urban noise pollution. The expansion of pickleball courts will fundamentally **alter the character of our community** by:

- **Introducing constant, disruptive noise** that prevents residents from enjoying their own outdoor spaces.
- **Increasing traffic and parking congestion**, making the area less safe and accessible.
- **Creating a commercial, high-impact recreational zone** in a residential setting.

The very reason why people **move to and invest in this area**—the **tranquility and peaceful surroundings**—is being destroyed by this expansion. With the continued **increase in pickleball courts and loud special events**, the ability to enjoy a **quiet residential lifestyle** is disappearing entirely.

Noise Impact on Residents

The noise generated by the current pickleball courts frequently **exceeds 50 dB**, making it nearly impossible for residents to enjoy their own properties. Expanding to **5 additional pickleball courts** will

only **worsen this issue**, leading to:

- **Increased and prolonged exposure to disruptive noise levels** from 6:00 AM to 9:00 PM daily.
- **Negative mental health effects** due to constant noise pollution.
- **Significant decline in the quality of life** for residents who already struggle with existing noise levels.

Despite prior **direct communication with the Chamisal Tennis and Fitness Club ownership**, including Michael (one of the owners), **no effective noise reduction measures have been implemented**. This lack of action demonstrates that further expansion of pickleball courts will **only amplify the existing problem** without proper mitigation.

Existing Pickleball Courts Were Never Approved

It is important to note that the **current pickleball courts at Chamisal Tennis and Fitness Club have not been officially approved**. The club was originally permitted as a **tennis facility**, and pickleball was never part of the original **land use approval**. Given this, the County should **not even consider additional pickleball courts** until a full **review of the existing unapproved courts** is completed.

Allowing further expansion without first addressing the **unauthorized use** of the existing courts would be highly inappropriate and set a dangerous precedent for land use violations. The County must carefully evaluate whether pickleball should even be permitted at this location, rather than **rubber-stamping an expansion** that only worsens the current issues.

Extreme Noise from Special Events (Up to 38 Pickleball Courts & Loud Parties)

According to the **Chamisal Tennis and Fitness Club's website**, they currently have **11 permanent pickleball courts** but **expand up to 38 courts** during special events. These events occur **every second weekend between April and November**, and the club **converts additional tennis courts into pickleball courts** using temporary markings.

These events take place between **5:00 PM and 9:00 PM**, generating **excessive noise that extends well into the evening**. The problem is not just the **extreme noise from up to 38 active pickleball courts**, but also **loud parties held at the club during these events**, which further disrupt the peace and quiet of the neighborhood.

For nearby residents, this means that every **second weekend for more than half the year**, it is nearly **impossible to enjoy any outdoor time at home** due to:

- **Continuous pickleball noise from an excessive number of courts.**
- **Loud event music, voices, and crowd noise.**
- **Extended disturbance until late evening hours (9:00 PM).**

This is completely **unacceptable for a residential area**, and any additional expansion will only **worsen an already intolerable situation**.

Additional Concern: Parking Issues

Beyond noise concerns, the **conversion of existing parking space into additional courts** will create further **parking congestion and traffic issues**, especially during special events. This will significantly impact **residents and visitors**, making it more difficult to access the area safely and conveniently.

Requested Actions Before Approval:

Given these serious concerns, I **strongly urge the County to impose the following conditions** before approving the Minor Amendment:

1. **Mandatory Noise Reduction Measures** – Require **sound-dampening walls, acoustic fencing, or alternative noise reduction solutions** before additional courts are approved.
2. **Independent Noise Study** – Conduct an **independent, third-party noise impact assessment** to evaluate the true effect of the expansion.
3. **Restricted Hours for Pickleball Play** – Limit pickleball hours to a more reasonable timeframe, such as **8:00 AM to 7:00 PM**, to minimize early morning and late evening disruptions.
4. **Prohibition of Temporary Pickleball Court Expansions** – Restrict the **conversion of tennis courts into additional pickleball courts** for special events to prevent extreme noise levels.
5. **Limitations on Special Event Noise & Hours** – Impose **strict noise limits** and require the club to **end all events by 7:00 PM** to minimize residential disturbances.
6. **Parking Impact Assessment** – Evaluate how the loss of parking space will affect congestion and safety in the area before approving any court conversions.
7. **Full Review of Existing Unapproved Pickleball Courts** – Require the Chamisal Tennis and Fitness Club to **apply for proper approval of the current courts** before considering any expansion.

This matter is of **serious concern** to me and **many other neighbors** who have already **expressed dissatisfaction with the current noise levels**. The failure to address these issues before expanding the pickleball facilities would be highly irresponsible.

I urge the County of Monterey to **prioritize the well-being of the surrounding residents** and ensure that effective mitigation measures are in place before allowing any further development of pickleball courts at the Chamisal Tennis and Fitness Club.

Please confirm receipt of this objection and inform me of any further actions I may need to take.

Best regards

K A P P L E R
The Solutions Company

Holger Kappler
-CEO-

e-mail: h.kappler@kappler.de

www.kappler.de

www.kapplerus.com

www.kapplerdesign.com

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Exhibit D

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ACOUSTICAL ANALYSIS

**CHAMISAL FITNESS & TENNIS CLUB
MONTEREY COUNTY, CALIFORNIA**

WJVA Project No. 24-13

PREPARED FOR

**CHAMISAL FITNESS & TENNIS CLUB
185 ROBLEY ROAD
SALINAS, CALIFORNIA 93908**

PREPARED BY

**WJV ACOUSTICS, INC.
VISALIA, CALIFORNIA**



wjv acoustics

OCTOBER 3, 2024

INTRODUCTION

As requested, WJV Acoustics, Inc. (WJVA) has conducted an ambient noise survey associated with recreational activities occurring at the Chamisal Fitness and Tennis Club (referred hereafter as Club), in Monterey County. The analysis provided in this report is intended to specifically document noise levels associated with pickleball activities, and to estimate pickleball noise levels at nearby existing residential land uses. The Club currently operates eight (8) pickleball courts with plans to convert one (1) additional tennis court (adjacent to existing pickleball courts to the east) to four (4) new pickleball courts. This analysis, prepared by WJV Acoustics, Inc. (WJVA), is based upon the findings of on-site and off-site noise level measurements. The methods, data, and findings of the analysis are summarized below.

Appendix A provides a description of the acoustical terminology used in this report. Unless otherwise stated, all sound levels reported are in A-weighted decibels (dB). A-weighting de-emphasizes the very low and very high frequencies of sound in a manner similar to the human ear. Most community noise standards utilize A-weighting, as it provides a high degree of correlation with human annoyance and health effects. Appendix B provides typical A-weighted sound levels for common noise sources.

NOISE EXPOSURE CRITERIA

General Plan

The Safety Element of the Monterey County General Plan (adopted October 26, 2010) establishes land use compatibility criteria in terms of the Community Noise Equivalent Level (CNEL) to describe noise exposure for noise compatibility planning purposes. The CNEL is the time-weighted energy average noise level for a 24-hour day, with a 5 dB (technically 4.77 dB) penalty added to noise levels occurring during the evening hours between 7:00 p.m. and 10:00 p.m. and a 10 dB penalty added to noise levels occurring during the nighttime hours between 10:00 p.m. and 7:00 a.m. The CNEL represents cumulative exposure to noise over an extended period of time and is therefore calculated based upon *annual average* conditions.

The “Noise Hazards” section of the Safety Element provides the following Goals and Policies that are relevant to the project:

Goal S-7: ***Maintain a healthy and quiet environment free from annoying and harmful sounds.***

Policy S-7.1: New Noise Sensitive land uses may only be allowed in areas where existing and projected noise levels are “acceptable” according to “Land Use Compatibility for Community Noise Table” (Table S-2).

Policy S-7.2: Proposed development shall incorporate design elements necessary to minimize noise impacts on surrounding land uses and to reduce noise in indoor spaces to an acceptable level.

Policy S-7.3: Development may occur in areas identified as “normally acceptable” provided effective measures to reduce both the indoor and outdoor noise levels to acceptable levels are taken.

Policy S-7.4: New noise generators may be allowed in areas where projected noise levels are “conditionally acceptable” only after a detailed analysis of the noise reduction requirements is made and needed noise mitigation features are included in project design.

Policy S-7.5: New noise generators shall be discouraged in areas identified as “normally unacceptable.” Where such new noise generators are permitted, mitigation to reduce both the indoor and outdoor noise levels will be required.

Policy S-7.6: Acoustical Analysis shall be part of the environmental review process for projects when:

- a. Noise sensitive receptors are proposed in areas exposed to existing or projected noise levels that are “normally unacceptable” or higher according

Table S-2 ("Land Use Compatibility for Community Noise").

- b. Proposed noise generators are likely to produce noise levels exceeding the levels shown in the adopted Community Noise Ordinance when received at existing or planned noise-sensitive receptors.

Policy S-7.7: All proposed discretionary residential projects that are within roadway or railroad noise contours of 60 dB CNEL or greater shall include a finding of consistency with the provisions of the Noise Hazards section of the Safety Element. If found that the roadway noise exceeds 60 dB CNEL within the project site, a project-specific noise impact analysis shall be required. If impacts are identified, the applicant shall conduct mitigation analysis using published Caltrans/Federal Highway Administration guidelines and implement mitigation measures as required. Mitigation measures may include, but are not limited to sound walls, adjacent roadway design, dual pane glass, building location or design, etc. Any proposed mitigation measures shall be concurrently implemented with the implementation of the project.

Although not explicitly stated in the County's General Plan, it is common to ensure interior noise levels attributable to exterior sources not exceed 45 dB CNEL (or L_{dn}) within residential land uses. This is consistent with Title 24 of the California Code of Regulations for multi-family construction and consistent with U.S. Department of Housing and Urban Development (HUD). The intent of the interior noise level guideline is to provide an acceptable noise environment for indoor communication and sleep.

TABLE S-2
Community Noise Exposure
Ldn or CNEL, dB

Land Use Category	55	60	65	70	75	80
Residential – Low Density Single Family, Duplex, Mobile Homes						
Residential – Multi. Family						
Transient Lodging – Motels, Hotels						
Schools, Libraries, Churches, Hospitals, Nursing Homes						
Auditoriums, Concert Halls, Amphitheaters						
Sports Arena, Outdoor Spectator Sports						
Playgrounds, Neighborhood Parks						
Golf Courses, Riding Stables, Water Recreation, Cemeteries						
Office Buildings, Business Commercial and Professional						
Industrial, Manufacturing, Utilities, Agriculture						

INTERPRETATION:

Normally Acceptable
Specified land use is satisfactory, based upon the assumption that any buildings involved are of normal conventional construction, without any special noise insulation requirements.

Conditionally Acceptable
New construction or development should be undertaken only after a detailed analysis of the noise reduction requirements is made and needed noise insulation features included in the design. Conventional construction, but with closed windows and fresh air supply or air conditioning will

Normally Unacceptable
New construction or development should generally be discouraged. If new construction or development does proceed, a detailed analysis of the noise reduction requirements must be made and needed noise insulation features included in the design.

Clearly Unacceptable
New construction or development should generally not be undertaken.

Source: OPR General Plan Guidelines

Code of Ordinances

Additionally, The Monterey County Code of Ordinances provides further exterior noise limits.

§10.60.030 – Operation of noise-producing devices restricted.

- At any time of the day, it is prohibited within unincorporated area of the County of Monterey to operate, assist in operating, allow, or cause to be operated any machine, mechanism, device or contrivance which produces a noise level exceeding eighty-five (85) dBA measured fifty (50) feet therefrom. The prohibition in this Section shall not apply to aircraft nor to any such machine, mechanism, device or contrivance that is operated in excess of two thousand five hundred (2,500) feet from any occupied dwelling unit.

§10.60.040 – Regulation of nighttime noise.

The following regulations shall apply to nighttime noise:

- a. It is prohibited within the unincorporated area of the County of Monterey to make, assist in making, allow, continue, create, or cause to be made any loud and unreasonable sound any day of the week from 10:00 p.m. to 7:00 a.m. the following morning.
- b. Within the period of 10:00 p.m. to 7:00 a.m. the following morning, and for the purposes of this Section, a loud and unreasonable sound shall include any sound that exceed the exterior noise levels standards set forth in Table I below.

(Nighttime Only)

Table I	Standard
Nighttime hourly equivalent sound level (L_{eq} dBA)	45
Maximum level, dBA	65

Monterey County does not provide applicable noise standards for stationary noise sources that occur during daytime hours (7:00 a.m. to 10:00 p.m.). However, most common applications of daytime noise standards apply noise standards that are 5-10 dB less restrictive than the noise standards that are applicable during nighttime hours. For example, it would be typical to include daytime noise standards of 50-55 dB L_{eq} and 70-75 dB L_{max} .

For noise sources that are not transportation related, which usually includes commercial or industrial activities and other stationary noise sources (such as amplified music), it is common to assume that a 3-5 dB increase in noise levels represents a substantial increase in ambient noise levels. This is based on laboratory tests that indicate that a 3 dB increase is the minimum change perceptible to most people, and a 5 dB increase is perceived as a “definitely noticeable change.”

CLUB-RELATED NOISE LEVELS

Chamisal Fitness & Tennis Club (Club) is an existing fitness club facility, established in 1974. The Club includes multiple tennis courts, pickleball courts, a swimming pool, and an indoor fitness center. The Club hours are typically between 5:00 a.m. and 8:00 p.m. Sources of noise associated with the Club are generally limited to noise associated with on-site activities including human voices, tennis and pickleball matches, and various other on-site activities. Sources of noise observed in the vicinity of the Club that were not related to Club activities included noise from traffic on nearby roadways, residential landscaping activities, and noise associated with aircraft overflights on approach to the Monterey Regional Airport. The findings of the ambient noise survey, described below, focuses primarily on noise associated with pickleball activities.

Pickleball Noise Levels

WJVA conducted ambient noise level measurements in the vicinity of the Club as well as in the vicinity of nearby residential land uses on September 17 & 18, 2024. Long-term (24-hour) ambient noise levels were measured at one (1) location (LT-1) and short-term (2-5 minute) ambient noise levels were measured at five (5) locations (ST-1 through ST-5) within the Club grounds as well as in the vicinity of off-site residential land uses. The locations of six (6) total noise measurement sites are provided as Figure 1.

Noise levels were measured at the five short-term sites during both periods of time while pickleball activities were occurring at the Club and periods of time when little to no pickleball activities were occurring at the Club. The findings of the noise level measurements as well as a discussion of pickleball-related noise levels at existing residential land uses are described below.

As described above, the ambient noise level survey was conducted over a two-day period, on September 17 & 18, 2024. Per Club staff, peak hours of pickleball activities typically occur between the open-play hours of approximately 10:30 a.m. to noon, daily, as well as during league-play activities which typically occur Tuesday-Thursday between approximately 5:30 pm at 7:00 p.m. WJVA conducted reference noise level measurements during open-play hours (10:30 a.m. to noon) on both Tuesday September 17 and Wednesday September 18, and during league-play hours (5:30 p.m. to 7:00 p.m.) on Tuesday September 17. Additionally, WJVA conducted ambient noise level measurements at the ambient noise measurement sites during periods with little to no pickleball activities occurring at the Club. It should be noted, noise levels described below that were measured while pickleball activities were occurring at the Club also include noise from multiple other (non-pickleball) sources including tennis activities, human voice, roadway traffic and aircraft overflights.

Temperatures during the Club activity hours over the two-day noise monitoring period were typically in the range of approximately 55-70 degrees (F), with light winds. Conditions were typically cloudy to partially cloudy during the morning hours and becoming clear and sunny during the afternoon hours. No precipitation occurred during the two-day noise monitoring period.

Noise monitoring equipment consisted of Larson-Davis Laboratories Model LDL-820 sound level analyzers equipped with B&K Type 4176 1/2" microphones. The equipment complies with the specifications of the American National Standards Institute (ANSI) for Type I (Precision) sound level meters. The meters were calibrated in the field prior to use with a B&K Type 4230 acoustic calibrator to ensure the accuracy of the measurements. The microphones were located on a tripod at 5 feet above the ground. The meters were set to "fast" response, in order to accurately document the impulse noise levels associated with pickleball activities.

Long-term noise measurement site LT-1 was located within the Club facility, located approximately 150 feet from the eight existing pickleball courts and approximately 50 feet from two nearby tennis courts. Measured hourly energy average noise levels (L_{eq}) at site LT-1 ranged from a low of 34.4 dB between 5:00 a.m. and 6:00 a.m. to a high of 56.8 dB between 8:00 a.m. and 9:00 a.m. Hourly maximum (L_{max}) noise levels at site LT-1 ranged from 52.4 to 79.9 dB. Residual noise levels at the monitoring site, as defined by the L_{90} , ranged from 28.0 to 45.6 dB. The L_{90} is a statistical descriptor that defines the noise level exceeded 90% of the time during each hour of the sample period. The L_{90} is generally considered to represent the residual (or background) noise level in the absence of identifiable single noise events from traffic, aircraft, and other local noise sources. The measured CNEL value at site LT-1 was 53.4 dB CNEL. Figure 2 provides the measured noise levels graphically and Figure 3 provides a photograph of ambient noise measurement site LT-1.

Table II provides the measured hourly energy average (L_{eq}) and maximum (L_{max}) noise levels. These are the noise metrics applied by Monterey County (Table I above) for stationary (non-transportation) noise sources. However, as described above, Monterey County only provides noise standards for stationary noise sources that occur during the nighttime hours (10:00 p.m. to 7:00 a.m.). These nighttime noise standards are 45 dB L_{eq} (hourly energy average noise level) and 65 dB L_{max} (maximum hourly noise level). As described above, most common applications of daytime noise standards apply noise standards that are 5-10 dB less restrictive than the noise standards that are applicable during nighttime hours. For example, it would be typical to include daytime noise standards of 50-55 dB L_{eq} and 70-75 dB L_{max} .

<p style="text-align: center;">TABLE II</p> <p style="text-align: center;">SUMMARY OF 24-HOUR NOISE LEVEL MEASUREMENTS, LT-1 CHAMISAL FITNESS & TENNIS CLUB, MONTEREY COUNTY SEPTEMBER 17, 2024</p>		
Time	A-Weighted Decibels, dB, L_{eq} (one-hour average)	
	LT-1	
	L_{max}	L_{eq}
12:00 a.m.	43.7	53.7
1:00 a.m.	42.1	52.6
2:00 a.m.	42.2	52.9
3:00 a.m.	43.4	54.0
4:00 a.m.	40.0	53.5
5:00 a.m.	34.4	53.9
6:00 a.m.	47.5	63.9
7:00 a.m.	46.1	70.7
8:00 a.m.	56.8	70.6
9:00 a.m.	48.3	71.0
10:00 a.m.	46.9	65.3
11:00 a.m.	49.7	76.9
12:00 p.m.	49.2	70.3
1:00 p.m.	50.1	75.0
2:00 p.m.	55.1	78.6
3:00 p.m.	53.6	76.5
4:00 p.m.	49.2	69.3
5:00 p.m.	51.6	72.7
6:00 p.m.	51.8	71.4
7:00 p.m.	48.3	71.1
8:00 p.m.	53.1	79.9
9:00 p.m.	50.1	78.3
10:00 p.m.	45.9	52.4
11:00 p.m.	45.6	57.0

Source: WJV Acoustics, Inc.

In addition to the above-described LT-1 24-hour ambient noise level measurement site, WJVA conducted short-term (5-10 minutes) ambient noise level measurements at five (5) additional sites in and around the Club. The length of time of each measurement sample varied in an effort to limit noise from extraneous sources. For example, during numerous measurement periods WJVA staff observed incoming aircraft on approach to Monterey Regional Airport, resulting in that measurement period to conclude as to isolate noise associated with Club activities from the aircraft noise.

Noise levels measured at each of the five short-term sites, LT-1 through LT-5, are summarized below in Table III through Table VII, respectively. The tables provide the noise levels in terms of the energy average noise level (L_{eq}) and the maximum noise level (L_{max}) during each measurement interval. Each table also provides the time the measurement interval occurred and the sample duration for each interval. Noise levels provided in each table are broken into measurements that

were taken with little to no pickleball activities occurring at the Club and measurements that were taken while most or all of the eight pickleball courts were active. Each table provides these measurements for each interval period, the average noise levels, as well as the difference of average (average noise levels with pickleball activities minus the average noise levels without pickleball activities).

Table III summarizes the noise levels measured at site ST-1. Site ST-1 was located within the Club grounds, approximately 135 feet northeast from the center point of the eight pickleball courts. Noise levels described in Table III indicate that energy average noise levels (L_{eq}) showed very little increase during periods of pickleball activity while maximum noise levels (L_{max}) increased by approximately 7 dB during periods of pickleball activities.

<p>TABLE III</p> <p>SITE ST-1</p> <p>SUMMARY OF PICKLEBALL NOISE LEVELS</p> <p>CHAMISAL FITNESS AND TENNIS CLUB, MONTEREY COUNTY</p> <p>SEPTEMBER 17 & 18, 2024</p>			
Time	Sample Duration	dB, L_{eq}	dB, L_{max}
Little/No Pickleball Activities			
9:15 a.m.	3:25	55.7	63.0
9:18 a.m.	4:10	55.0	65.8
Average		55.4	64.6
Maximum Pickleball Activities			
10:32 a.m.	2:47	55.5	72.3
10:36 a.m.	3:44	56.1	71.4
Average		55.8	71.9
Difference of Average		+0.4	+7.3

Source: WJV Acoustics, Inc.

Table IV summarizes the noise levels measured at site ST-2. Site ST-2 was located within the Club grounds, approximately 325 feet northeast from the center point of the eight pickleball courts. Noise levels described in Table IV indicate that energy average noise levels (L_{eq}) increased by approximately 2 dB during periods of pickleball activity while maximum noise levels (L_{max}) increased by approximately 1 dB during periods of pickleball activities.

<p>TABLE IV</p> <p>SITE ST-2</p> <p>SUMMARY OF PICKLEBALL NOISE LEVELS</p> <p>CHAMISAL FITNESS AND TENNIS CLUB, MONTEREY COUNTY</p> <p>SEPTEMBER 17 & 18, 2024</p>			
Time	Sample Duration	dB, L_{eq}	dB, L_{max}
Little/No Pickleball Activities			
9:25 a.m.	2:55	47.8	62.6
4:05 p.m.	4:10	44.7	60.8
Average		46.5	61.8
Maximum Pickleball Activities			
10:41 a.m.	2:46	47.9	63.3
10:46 a.m.	3:13	49.0	62.5
5:37 p.m.	3:56	48.8	62.9
Average		48.6	62.9
Difference of Average		+2.1	+1.1
Source: WJV Acoustics, Inc.			

Table V summarizes the noise levels measured at site ST-3. Site ST-3 was located just outside of the Club grounds, approximately 400 feet north from the center point of the eight pickleball courts. Noise levels described in Table V indicate that energy average noise levels (L_{eq}) decreased by approximately 2 dB during periods of pickleball activity while maximum noise levels (L_{max}) were the same during periods of pickleball activities.

<p>TABLE V</p> <p>SITE ST-3</p> <p>SUMMARY OF PICKLEBALL NOISE LEVELS</p> <p>CHAMISAL FITNESS AND TENNIS CLUB, MONTEREY COUNTY</p> <p>SEPTEMBER 17 & 18, 2024</p>			
Time	Sample Duration	dB, L_{eq}	dB, L_{max}
Little/No Pickleball Activities			
4:11 p.m.	2:15	45.8	50.0
10:00 a.m.	3:04	41.6	53.8
Average		44.2	52.3
Maximum Pickleball Activities			
11:05 a.m.	4:12	41.8	51.4
5:43 p.m.	3:32	43.2	53.0
Average		42.6	52.3
Difference of Average		-1.6	0
Source: WJV Acoustics, Inc.			

Table VI summarizes the noise levels measured at site ST-4. Site ST-4 was located outside of the Club grounds, approximately 500 feet northeast from the center point of the eight pickleball courts, in the vicinity and direction of existing residential land uses. Noise levels described in Table VI indicate that energy average noise levels (L_{eq}) increased by approximately 1 dB during periods of pickleball activity while maximum noise levels (L_{max}) decreased by approximately 1 dB during periods of pickleball activities.

<p>TABLE VI</p> <p>SITE ST-4</p> <p>SUMMARY OF PICKLEBALL NOISE LEVELS</p> <p>CHAMISAL FITNESS AND TENNIS CLUB, MONTEREY COUNTY</p> <p>SEPTEMBER 17 & 18, 2024</p>			
Time	Sample Duration	dB, L_{eq}	dB, L_{max}
Little/No Pickleball Activities			
1:30 p.m.	3:05	43.4	52.6
10:10 a.m.	2:09	37.3	51.0
Average		41.3	51.9
Maximum Pickleball Activities			
5:49 p.m.	2:45	40.6	48.8
5:55 p.m.	3:31	42.8	52.8
Average		41.8	51.2
Difference of Average		+0.5	-0.7
Source: WJV Acoustics, Inc.			

Table VII summarizes the noise levels measured at site ST-5. Site ST-5 was located outside of the Club grounds, approximately 180 feet south from the center point of the eight pickleball courts, in the vicinity and direction of existing residential land uses. Noise levels described in Table VII indicate that energy average noise levels (L_{eq}) were the same during periods of pickleball activity while maximum noise levels (L_{max}) increased by approximately 2 dB during periods of pickleball activities.

TABLE VII
SITE ST-5
SUMMARY OF PICKLEBALL NOISE LEVELS
CHAMISAL FITNESS AND TENNIS CLUB, MONTEREY COUNTY
SEPTEMBER 17 & 18, 2024

Time	Sample Duration	dB, L_{eq}	dB, L_{max}
Little/No Pickleball Activities			
10:20 a.m.	2:14	45.8	62.0
10:25 a.m.	2:38	46.6	63.1
Average		46.2	62.6
Maximum Pickleball Activities			
6:08 p.m.	2:03	47.0	64.1
6:14 p.m.	4:10	45.2	65.4
Average		46.2	64.8
Difference of Average		0	+2.2

Source: WJV Acoustics, Inc.

The noise levels described above in Table III through Table VII indicate that noise levels measured during pickleball activities are slightly higher than those measured during periods of little to no pickleball activities occurring at the Club. However, these measurable increases are only noticeable at locations in closer proximity to the Club (ST-1, ST-2 and ST-5). The data generally indicates that the increase in noise is noticed in terms of the measured maximum noise levels (L_{max}) and not necessarily in terms of the measured energy average noise levels (L_{eq}). It is the opinion of WJVA that the measured increase of approximately 2 dB L_{eq} at site ST-3 was not directly the result of pickleball activities on site. It is also the opinion of WJVA that the measured increases in maximum noise levels (L_{max}) at sites ST-1 and ST-5 is a direct result of pickleball activities, as these two sites are the closest in proximity to the pickleball courts and pickleball noise at these two sites was much more noticeable and isolated from extraneous noise sources compared to the other three sites.

Pickleball Noise Levels at Residential Land Uses

The closest existing residential land uses to the pickleball courts are located at setback distances of 500 feet or greater from the center point of the eight pickleball courts. Applying the highest measured maximum noise levels measured during pickleball activities (ST-1, average maximum of 71.9 dB at a distance of approximately 135 feet from center of pickleball courts), WJVA calculated the maximum pickle-ball related noise levels (based upon standard rate of attenuation of noise with increased distance from a source, - 6db/doubling of distance) to be approximately 61 dB L_{max} at 500 feet from the pickleball courts (approximate setback distance of closest residential land uses to pickleball courts).

It should be noted, the above-described calculated maximum noise level of 61 dB at a distance of 500 feet does not take into account any acoustical shielding provided by intervening

topography, buildings, or vegetation and do not take into account any atmospheric or ground absorption. As such, these noise levels should be considered a worst-case assessment of pickleball-related noise levels at existing residential land uses. The noise levels measured at sites ST-3 and ST-4 are considered to be a more accurate representation of pickleball noise levels at off-site residential land uses. Applying these measured maximum noise levels measured at sites ST-3 and ST-4 to calculate pickleball noise levels at the closest residential land uses indicates a maximum noise level of approximately 52 dB at the closest residential land uses to the pickleball courts.

In regards to the Monterey County land use noise compatibility guidelines (as provided above in Table S-2), the 24-hour noise exposure level measured at the site LT-1 was approximately 53 dB CNEL. Such levels do not exceed the County's 60 dB CNEL land use compatibility guidelines for residential land uses. These levels were measured at a location approximately 150 feet from the eight existing pickleball courts and approximately 50 feet from two nearby tennis courts. The noise levels measured at site LT-1 include noise from all sources, including all on-site Club activities (pickleball, tennis, human voices, landscaping activities, etc.) as well as all off-site noise sources (including roadway traffic noise and aircraft overflights), and should therefore be considered a worst-case assessment of overall Club-related noise levels.

Based upon the above-described noise level measurements conducted during Club pickle-ball activities, the 24-hour noise levels measured on site, and the distances of the closest residential land uses to the Club (and pickleball courts specifically), WJVA has determined that noise levels associated with pickleball activities (and overall Club-related activities) do not exceed any Monterey County noise level standards or noise compatibility criteria and any nearby residential land use.

CONCLUSIONS AND RECOMMENDATIONS

WJVA conducted long-term (24-hour) and short-term (2-5 minutes) ambient noise level measurements at six (6) total locations in the vicinity of the Chamisal Fitness & Tennis Club and surrounding residential areas on September 17 & 18, 2024. Short-term measurements were conducted at each of the five (5) short-term measurement sites during both periods of little to no pickleball activities at the Club and during peak hours of pickleball activities occurring at the Club (discussed in detail above). Based upon these noise measurements, WJVA concludes the following:

- Maximum (L_{max}) pickle-ball related noise levels at the closest residential land uses to the Club would be expected to be in the range of approximately 52-61 dB. Such levels do not exceed any Monterey County noise level standard.
- 24-hour noise exposure levels (as measured at site LT-1) were measured to be approximately 53 dB CNEL, at a distance of approximately 135 feet from the center of the eight existing pickleball courts. Such levels do not exceed Monterey County land use compatibility noise criteria for residential land uses.
- The addition of the four (4) proposed new pickleball courts would not be expected to result in any significant changes to these findings.

The conclusions and recommendations of this acoustical analysis are based upon the best information known to WJV Acoustics Inc. (WJVA) at the time the analysis was prepared concerning on-site activities, pickleball court locations, and the locations of off-site residential land uses. Any significant changes in these factors will require a reevaluation of the findings of this report. Additionally, any significant future changes in noise regulations or other factors beyond WJVA's control may result in long-term noise results different from those described by this analysis.

Respectfully submitted,



Walter J. Van Groningen
President

WJV:wjv

FIGURE 1: AMBIENT NOISE MEASUREMENT SITES



FIGURE 2: NOISE LEVELS MEASURED AT SITE LT-1

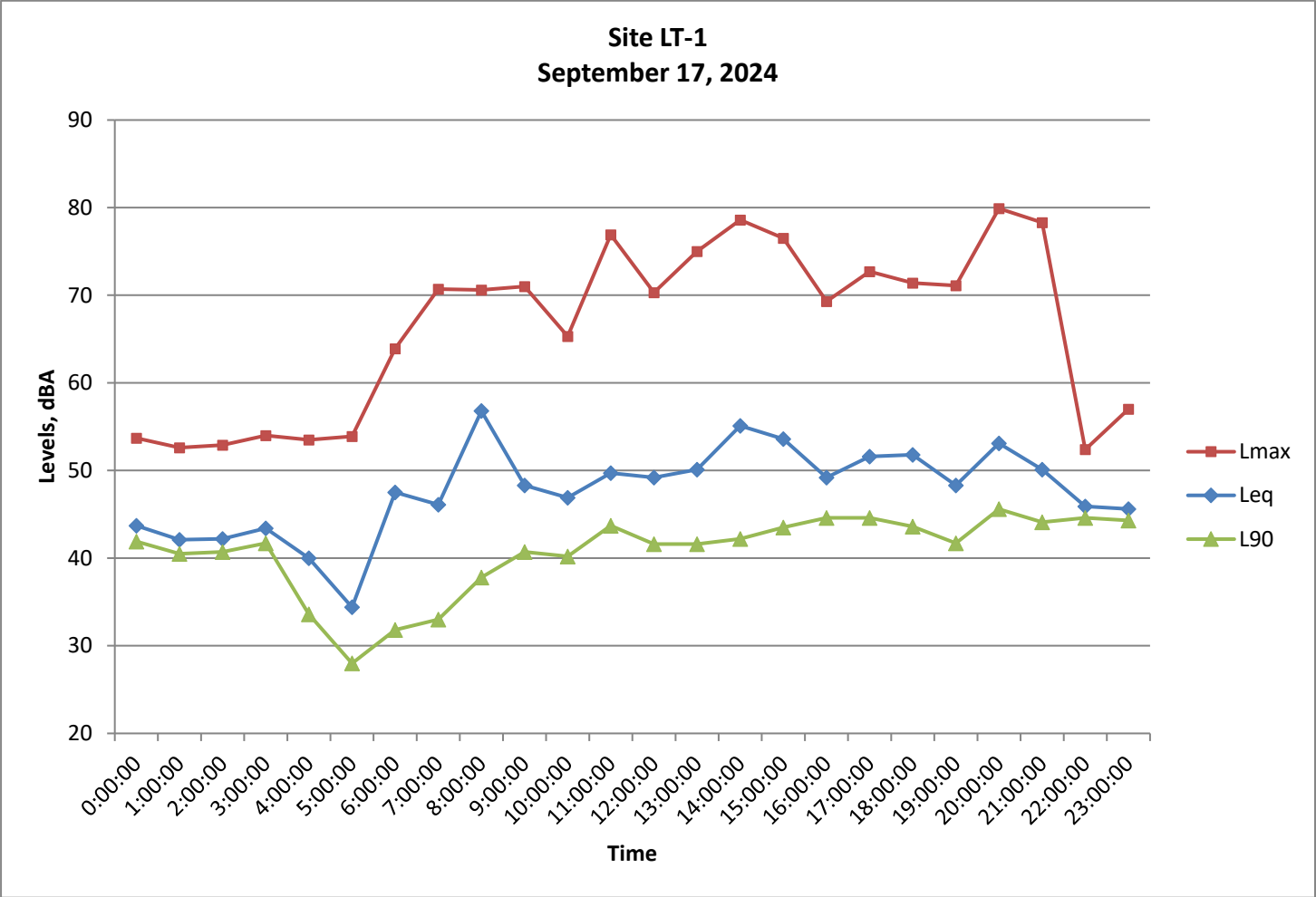


FIGURE 3: AMBIENT NOISE SITE LT-1



APPENDIX A

ACOUSTICAL TERMINOLOGY

AMBIENT NOISE LEVEL:	The composite of noise from all sources near and far. In this context, the ambient noise level constitutes the normal or existing level of environmental noise at a given location.
CNEL:	Community Noise Equivalent Level. The average equivalent sound level during a 24-hour day, obtained after addition of approximately five decibels to sound levels in the evening from 7:00 p.m. to 10:00 p.m. and ten decibels to sound levels in the night before 7:00 a.m. and after 10:00 p.m.
DECIBEL, dB:	A unit for describing the amplitude of sound, equal to 20 times the logarithm to the base 10 of the ratio of the pressure of the sound measured to the reference pressure, which is 20 micropascals (20 micronewtons per square meter).
DNL/L_{dn}:	Day/Night Average Sound Level. The average equivalent sound level during a 24-hour day, obtained after addition of ten decibels to sound levels in the night after 10:00 p.m. and before 7:00 a.m.
L_{eq}:	Equivalent Sound Level. The sound level containing the same total energy as a time varying signal over a given sample period. L_{eq} is typically computed over 1, 8 and 24-hour sample periods.
NOTE:	The CNEL and DNL represent daily levels of noise exposure averaged on an annual basis, while L_{eq} represents the average noise exposure for a shorter time period, typically one hour.
L_{max}:	The maximum noise level recorded during a noise event.
L_n:	The sound level exceeded "n" percent of the time during a sample interval (L_{90} , L_{50} , L_{10} , etc.). For example, L_{10} equals the level exceeded 10 percent of the time.

A-2

ACOUSTICAL TERMINOLOGY

NOISE EXPOSURE CONTOURS:

Lines drawn about a noise source indicating constant levels of noise exposure. CNEL and DNL contours are frequently utilized to describe community exposure to noise.

NOISE LEVEL REDUCTION (NLR):

The noise reduction between indoor and outdoor environments or between two rooms that is the numerical difference, in decibels, of the average sound pressure levels in those areas or rooms. A measurement of “noise level reduction” combines the effect of the transmission loss performance of the structure plus the effect of acoustic absorption present in the receiving room.

SEL or SENEL:

Sound Exposure Level or Single Event Noise Exposure Level. The level of noise accumulated during a single noise event, such as an aircraft overflight, with reference to a duration of one second. More specifically, it is the time-integrated A-weighted squared sound pressure for a stated time interval or event, based on a reference pressure of 20 micropascals and a reference duration of one second.

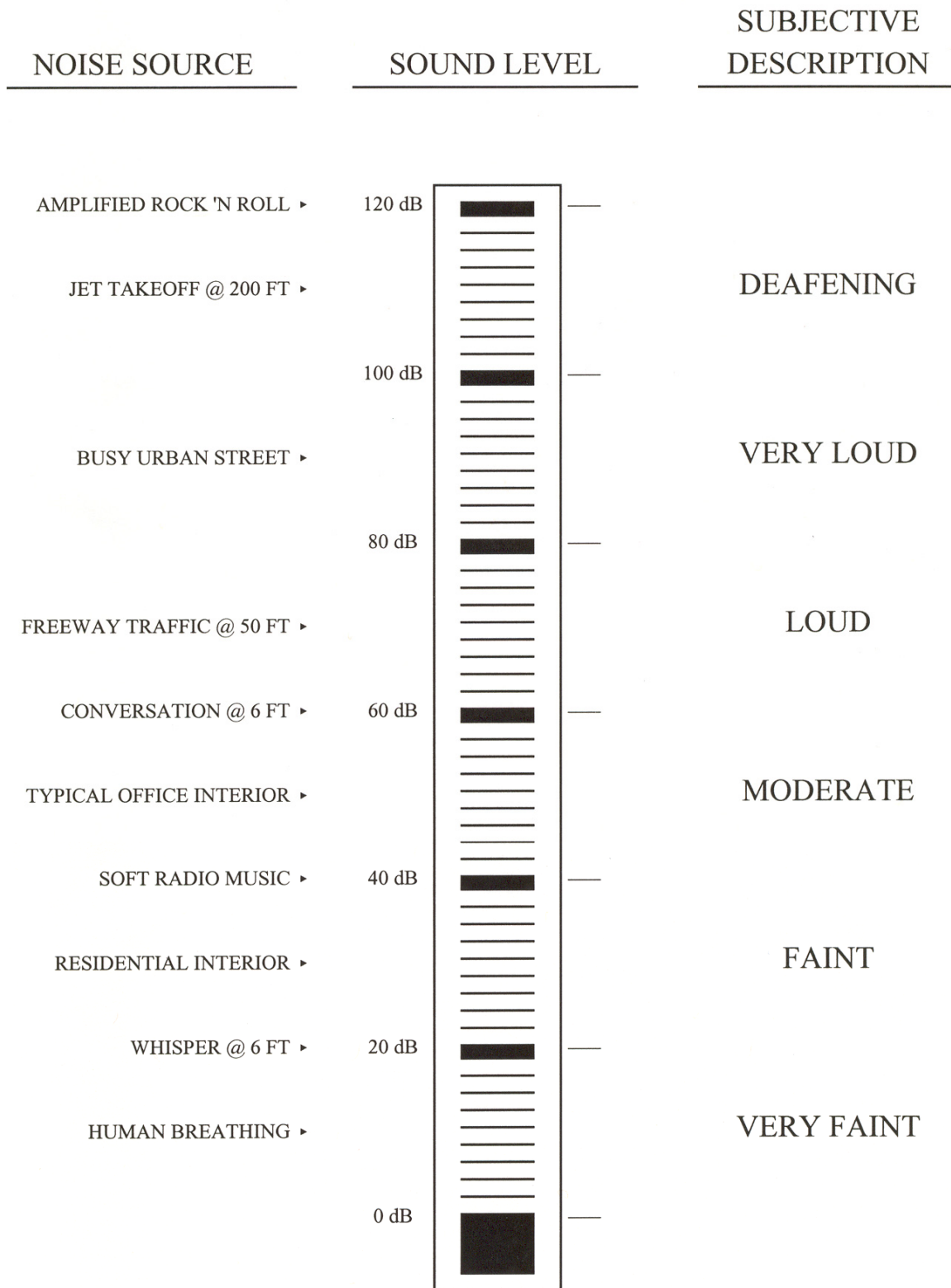
SOUND LEVEL:

The sound pressure level in decibels as measured on a sound level meter using the A-weighting filter network. The A-weighting filter de-emphasizes the very low and very high frequency components of the sound in a manner similar to the response of the human ear and gives good correlation with subjective reactions to noise.

SOUND TRANSMISSION CLASS (STC):

The single-number rating of sound transmission loss for a construction element (window, door, etc.) over a frequency range where speech intelligibility largely occurs.

APPENDIX B EXAMPLES OF SOUND LEVELS





May 15, 2025

Mr. Luis Reis
General Manager
CHAMISAL TENNIS & FITNESS CLUB
185 Robley Road
Salinas, California 93908

**RE: CHAMISAL TENNIS & FITNESS CLUB, TENNIS VS. PICKLEBALL NOISE
LEVEL MEMORANDUM**

Dear Mr. Reis:

As you have requested, WJV Acoustics, Inc. (WJVA) is providing this memorandum letter to serve as an addendum to the previously prepared acoustical analysis (dated 10-3-24) to provide a discussion of noise levels associated with the playing of pickleball as compared to the playing of tennis, at the proposed new court location at the Chamisal Tennis & Fitness Club (hereafter referred to as the Club) facility, located in Monterey County, California.

As described to WJVA, the Club had originally proposed the construction of new pickleball courts to be located at the northern extent of the Club property, adjacent to Camino De Chamisal Road. This area previously contained three (3) pickleball courts, and prior to that served as a parking area. The Club now proposes the construction of one (1) tennis court (with no pickleball courts) in this area. This memorandum letter provides a discussion of noise levels that would be anticipated from tennis playing activities at this proposed court location, in comparison to what would have been expected if new pickleball courts were constructed at this location.

WJVA conducted noise measurements at the Club in September of 2024. Based upon numerous noise level measurements conducted at various locations throughout the facility, WJVA determined that, generally speaking, pickleball activities produce maximum noise levels in the range of approximately 71-73 dB at a setback distance of approximately 75 feet from the closest court line. WJVA has also conducted reference noise level measurements of tennis activities, and applying the standard rate of attenuation of noise with increased distance from a point source (-6 dB/doubling of distance), maximum tennis related noise levels at a setback distance of 75 feet

from the closest court line were in the range of approximately 62-64 dB. This represents a reduction in maximum noise levels of approximately 9 dB, when normalized to the same setback distance.

The closest existing residential land uses to the new proposed court location are located approximately 500 feet northwest of the area (indicated as R-1 on the attached figure) and approximately 325 northeast of the proposed new court area (indicated as R-2 on the attached figure).

Table I summarizes what the anticipated maximum noise levels would be at these two residential locations, resulting from both pickleball activities at this area as well as tennis activities at this area. Figure 1 is provided at the end of this memorandum letter to indicate the locations of the proposed new court area, as well as the two closest residential land uses to the new court area (R-1 and R-2).

<p>TABLE I</p> <p>COMPARISON OF TENNIS VS. PICKLEBALL NOISE LEVELS AT PROPOSED COURT AREA</p> <p>CHAMISAL FITNESS & TENNIS CLUB, MONTEREY COUNTY</p>		
Site	A-Weighted Decibels, dB, L _{max} (maximum)	
	Tennis	Pickleball
R-1	46-48	55-57
R-2	49-51	58-60

Source: WJV Acoustics, Inc.

While the noise levels described in Table I indicate that noise levels associated with tennis activities would be noticeably lower than those associated with pickleball activities, at the new court location, it should also be noted that all noise levels (for both pickleball and tennis) associated with these activities occurring within the proposed new court area would not be expected to exceed the Monterey County nighttime maximum noise level standard of 65 dB.

It is the opinion of WJVA that noise produced by tennis and/or pickleball activities during the hours of operation are not considered to be a detriment to the health, life, or safety of the neighbors and neighborhood overall, at any sensitive receptor (residential land use) location in the vicinity of the Club.

Please contact me at 559-627-4923 or walter@wivacoustics.com if there are questions or additional information is required.

Respectfully submitted,

WJV ACOUSTICS, INC.

A handwritten signature in dark ink, appearing to read 'Walter Van Groningen', with a long horizontal flourish extending to the right.

Walter J. Van Groningen
President

FIGURE 1: LOCATIONS OF NEW COURT AREA AND CLOSEST EXISTING RESIDENCES



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Exhibit E

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NEW MEMBER NUMBERS

	94/95	95/96	96/97	97/98	98/99	99/00	00/01	01/02	02/03 goal	02/03 actual
OCTOBER	15	13	7	15	13	20	11	21	16	13
NOVEMBER	7	9	10	5	12	17	17	9	12	9
DECEMBER	9	13	10	10	9	16	10	11	11	10
JANUARY	28	16	14	15	19	19	22	22	19	13
FEBRUARY	23	12	17	13	20	19	26	17	19	9
MARCH	17	19	15	19	32	25	28	21	25	
APRIL	20	19	25	13	31	31	21	18	23	
MAY	8	26	17	17	34	37	40	27	31	
JUNE	27	24	19	36	67	53	52	39	49	
JULY	10	11	28	27	45	33	23	29	32	
AUGUST	10	23	14	20	26	18	34	10	22	
SEPTEMBER	13	16	17	20	12	22	10	11	15	
NEW MEMBER	187	201	193	210	320	309	294	235	274	
TOTALS										
SEPTEMBER ACTIVE MEMBERSHIP NUMBERS	768	769	774	839	973	1042	1075	1080	1097	
SEPTEMBER INCLUDING INACTIVES	821	815	835	902	1038	1119	1178	1200	1212	

TOTAL MEMBERSHIPS FROM 2002-2013

2002	JAN	FEB	MAR	APRIL	MAY	JUNE	JULY	AUGUST	SEPT	OCT	NOV	DEC
ACTIVE	923	940	957	986	997	1056	1092	1110	1097	1059	1021	968
INACTIVE	193	201	191	173	164	116	121	110	115	131	157	183
TOTAL	1116	1141	1148	1159	1161	1172	1213	1220	1212	1190	1178	1151
2003	JAN	FEB	MAR	APRIL	MAY	JUNE	JULY	AUGUST	SEPT	OCT	NOV	DEC
ACTIVE	925	918	920	923	933	969	1028	1066	1025	1016	949	895
INACTIVE	195	198	194	199	191	164	121	104	125	133	164	205
TOTAL	1120	1116	1114	1122	1124	1133	1149	1170	1150	1149	1113	1100
2004	JAN	FEB	MAR	APRIL	MAY	JUNE	JULY	AUGUST	SEPT	OCT	NOV	DEC
ACTIVE	880	871	866	891	923	950	995	1021	1002	982	915	874
INACTIVE	206	213	206	187	161	143	115	108	102	113	162	194
TOTAL	1086	1084	1072	1078	1084	1093	1110	1129	1104	1095	1077	1068
2005	JAN	FEB	MAR	APRIL	MAY	JUNE	JULY	AUGUST	SEPT	OCT	NOV	DEC
ACTIVE	860	865	875	879	887	947	997	1032	1024	997	957	927
INACTIVE	202	196	196	188	186	147	117	94	94	116	148	174
TOTAL	1062	1061	1071	1067	1073	1094	1114	1126	1118	1113	1105	1101
2006	JAN	FEB	MAR	APRIL	MAY	JUNE	JULY	AUGUST	SEPT	OCT	NOV	DEC
ACTIVE	901	892	913	918	932	972	1013	1023	1023	982	925	908
INACTIVE	189	190	184	181	170	138	103	102	100	130	164	177
TOTAL	1090	1082	1097	1099	1102	1110	1116	1125	1123	1112	1089	1085
2007	JAN	FEB	MAR	APRIL	MAY	JUNE	JULY	AUGUST	SEPT	OCT	NOV	DEC
ACTIVE	882	875	969	885	913	931	979	1019	992	1004	928	890
INACTIVE	188	188	193	171	153	124	105	93	103	119	165	184
TOTAL	1070	1063	1162	1056	1066	1055	1084	1112	1095	1123	1093	1074
2008	JAN	FEB	MAR	APRIL	MAY	JUNE	JULY	AUGUST	SEPT	OCT	NOV	DEC
ACTIVE	869	959	864	882	973	947	678	705	742	857	813	785
INACTIVE	199	211	202	190	166	121	131	106	85	167	198	229
TOTAL	1068	1170	1066	1072	1139	1068	809	811	827	1024	1011	1014
2009	JAN	FEB	MAR	APRIL	MAY	JUNE	JULY	AUGUST	SEPT	OCT	NOV	DEC

2009

ACTIVE	820	816	826	784	826	871	928	926	904	843	827	787
INACTIVE	234	242	232	224	197	164	131	113	131	154	166	182
TOTAL	1054	1058	1058	1008	1023	1035	1059	1039	1035	997	993	969

2010	JAN	FEB	MAR	APRIL	MAY	JUNE	JULY	AUGUST	SEPT	OCT	NOV	DEC
ACTIVE	783	765	760	748	766	782	853	834	824	896	854	854
INACTIVE	177	166	152	160	135	124	93	88	103	111	145	154
TOTAL	960	931	912	908	901	906	946	922	927	1007	999	1008

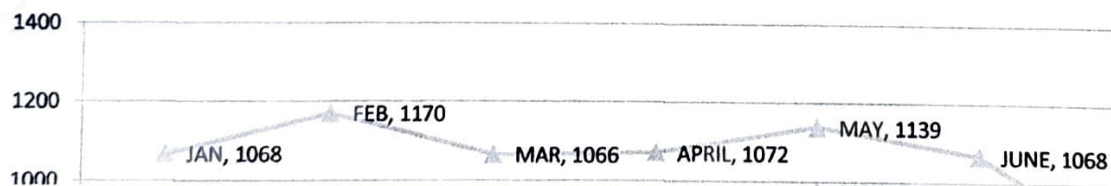
2011	JAN	FEB	MAR	APRIL	MAY	JUNE	JULY	AUGUST	SEPT	OCT	NOV	DEC
ACTIVE	702	695	683	703	726	718	763	786	742	743	736	693
INACTIVE	163	153	150	126	122	121	92	70	91	114	114	141
TOTAL	865	848	833	829	848	839	855	856	833	857	850	834

2012	JAN	FEB	MAR	APRIL	MAY	JUNE	JULY	AUGUST	SEPT	OCT	NOV	DEC
ACTIVE	712	690	688	678	705	742	749	765	738	711	670	635
INACTIVE	118	130	116	131	106	85	81	72	90	103	128	146
TOTAL	830	820	804	809	811	827	830	837	828	814	798	781

2013	JAN	FEB	MAR	APRIL	MAY	JUNE	JULY	AUGUST	SEPT	OCT	NOV	DEC
ACTIVE	620	623	636	633	666	702	759	754	745	743	711	702
INACTIVE	154	146	131	142	112	83	60	55	65	68	78	80
TOTAL	774	769	767	775	778	785	819	809	810	811	789	782

2014	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
ACTIVE	684	685	735	734	746	0	0	0	0	0	0	0
INACTIVE	72	58	11	7	2	0	0	0	0	0	0	0
TOTAL	756	743	746	741	748	0	0	0	0	0	0	0

2008 Membership



From: [Alameda, Joseph](#)
To: [Luis Reis](#)
Subject: PLN240107 Chamsial
Date: Tuesday, July 15, 2025 4:23:18 PM

From: Luis Reis <luis@chamsial.com>
Sent: Tuesday, July 15, 2025 4:22 PM
To: Alameda, Joseph <jalameda@countyofmonterey.gov>
Subject: Re: PLN240107 Chamsial

Hi Joseph,

Here are the numbers of members as of December 31 for each of those years.

2021 - 780 active members

2022 - 757 active members

2023 - 775 active members

2024 - 780 active members

The numbers today - 806 active members

We have added noise-blocking panels to the pickleball courts. Another \$10k expense to help mitigate the issue. See the photos attached.





On Jul 14, 2025, at 2:53 PM, Alameda, Joseph <Alameda@countyofmonterey.gov> wrote:

Good Afternoon Luis,

I am working on the staff report for the July 31st Hearing, and was wondering if you were ever able to find the membership numbers between 2021-2024? In the email with the dropbox you mentioned looking for those more recent membership numbers and that you would add them once you located them but I don't see them in the dropbox as of yet.

I just need the membership numbers from 2021-2024 so that we can compare them to the water usage information you sent over. Let me know if you are able to find those numbers so I can finalize my report.

Best,

<image001.png>

Joseph Alameda
Assistant Planner
County of Monterey Housing & Community
Development
1441 Schilling Place, South 2nd Floor
Main: [831755-5025](tel:831755-5025) | Direct: [831783-7070](tel:831783-7070)
[Access Citizens Access](#)

Effective immediately, discretionary planning permits will be managed by two teams. The Development Review team will process applications from initial submittal to deeming it complete. All submittals and resubmittals shall be sent to PlanningPermits@CountyofMonterey.gov, with your assigned planner cc'd. Once deemed complete, the Consistency Review team will prepare the application for consideration by the appropriate authority. Temporarily restructuring Current Planning is intended to better manage its demanding workload and address staffing shortages. HCD recognizes that it will take time to adjust to this new structure, and your patience is appreciated. Please contact 831-755-5025 if you have any questions.

From: Robin Campos robbiecam93@gmail.com
Subject: CWA Water Bill 1st Quarter 2021
Date: April 1, 2021 at 12:21 PM
To: cec cec@chamisal.com, Chamisal billing email belinda@chamisal.com
Cc: Mike Tonti gmail address miketonti@gmail.com, Luis Reis luis@chamisal.com



Chamisal Water Association
 c/o Campos
 25327 Camino de Chamisal
 Salinas, CA 93908

Statement
Chamisal Tennis Club

For usage from:
 1-1-21 to 3-31-21

Q1 - 2021

Property address:
 185 Robley Rd.
 Salinas, CA 93908

Meter #	Readings		Usage
	Ending	Beginning	
1	177,801	173,997	3,804
2	240,847	212,867	27,980
3	930,536	928,589	1,947
4	2,220,252	2,209,736	10,516
5	2,042,843	2,026,171	16,672
6	4,094,887	3,991,936	102,951
7	94,193	94,145	48
	9,801,359	9,637,441	163,918
Current amount due (@ \$.0135/gal):			\$ 2,212.89
			Monthly \$25/share charge (4 shares) 300.00
			TOTAL DUE \$ 2,512.89

Please remit to above CWA address

From: Robin Campos robbiecam93@gmail.com
Subject: CWA Water Bill 2nd Quarter 2021
Date: June 30, 2021 at 3:49 PM
To: cec cec@chamisal.com
Cc: Mike Tonti gmail address miketonti@gmail.com, Luis Reis luis@chamisal.com



Chamisal Water Association
c/o Campos
25327 Camino de Chamisal
Salinas, CA 93908

Statement

Chamisal Tennis Club

For usage from:
4-1-21 to 6-30-21

Q2-2021

Property address:
185 Robley Rd.
Salinas, CA 93908

Meter #		Readings		Usage
		Ending	Beginning	
1	-	-	-	-
2	179,935	177,801		2,134
3	286,617	240,847		45,770
4	961,819	930,536		31,283
5	2,402,587	2,220,252		182,335
6	2,080,551	2,042,843		37,708
7	4,229,214	4,094,887		134,327
	10,140,723	9,707,166		433,557
Current amount due (@ \$.0135/gal):				\$ 5,853.02
		Monthly \$25/share charge (4 shares)		300.00
		TOTAL DUE \$		6,153.02

Please remit to above CWA address

From: Robin Campos robbiecam93@gmail.com
Subject: CWA Water Bill 3rd Quarter 2021
Date: October 3, 2021 at 12:58 PM
To: cec cec@chamisal.com, Chamisal billing email belinda@chamisal.com
Cc: Mike Tonti gmail address miketonti@gmail.com, Luis Reis luis@chamisal.com



Chamisal Water Association
c/o Campos
25327 Camino de Chamisal
Salinas, CA 93908

Statement

Chamisal Tennis Club

For usage from:
7-1-21 to 9-30-21

Q3-2021

Property address:
185 Robley Rd.
Salinas, CA 93908

Meter #	Readings		Usage
	Ending	Beginning	
1	183,711	179,935	3,776
2	336,443	286,617	49,826
3	1,053,657	961,819	91,838
4	2,586,743	2,402,587	184,156
5	2,131,246	2,080,551	50,695
6	4,354,627	4,229,214	125,413
7	94,193	94,193	-
	10,740,620	10,234,916	505,704
Current amount due (@ \$.0135/gal):			\$ 6,827.00
			Monthly \$25/share charge (4 shares) 300.00
			TOTAL DUE \$ 7,127.00

Please remit to above CWA address

From: Robin Campos robbiecam93@gmail.com
Subject: CWA Water Bill 4th Quarter 2021
Date: January 3, 2022 at 10:17 AM
To: cec cec@chamisal.com
Cc: Mike Tonti gmail address miketonti@gmail.com, Luis Reis luis@chamisal.com



Chamisal Water Association
c/o Campos
25327 Camino de Chamisal
Salinas, CA 93908

Statement

Chamisal Tennis Club

For usage from:
10-1-21 to 12-31-21

Q4-2021

Property address:
185 Robley Rd.
Salinas, CA 93908

Meter #	Readings	Usage
	Ending Beginning	
1	186,244 183,711	2,533
2	373,815 336,443	37,372
3	1,080,599 1,053,657	26,942
4	2,627,969 2,586,743	41,226
5	2,168,937 2,131,246	37,691
6	4,438,980 4,354,627	84,353
7	95,273 94,193	1,080
	10,971,817 10,740,620	231,197
Current amount due (@ \$.0135/gal):		\$ 3,121.16
	Monthly \$25/share charge (4 shares)	300.00
	TOTAL DUE \$	3,421.16

Please remit to above CWA address

ANNUAL - 1,334,376



From: Robin Campos robbecam93@gmail.com
Subject: CWA Water Bill 1st Qtr 2022
Date: April 1, 2022 at 2:44 PM
To: cec cec@chamisal.com
Cc: Mike Tont gmail address miketont@gmail.com, Luis Reis luis@chamisal.com

Chamisal Water Association
c/o Campos
25327 Camino de Chamisal
Salinas, CA 93908

Statement
Chamisal Tennis Club

For usage from:
1-1-22 to 3-31-22

Q1-2022

Property address:
185 Robley Rd.
Salinas, CA 93908

Meter #	Readings		Usage
	Ending	Beginning	
1	190,506	186,244	4,262
2	443,397	373,815	69,582
3	1,094,684	1,080,599	14,085
4	2,678,543	2,627,969	50,574
5	2,210,918	2,168,937	41,981
6	4,537,260	4,438,980	98,280
7	97,193	95,273	1,920
	11,252,501	10,971,817	280,684
Current amount due (@ \$.0135/gal):			\$ 3,789.23
			Monthly \$25/share charge (4 shares) 300.00
			TOTAL DUE \$ 4,089.23

Please remit to above CWA address

From: Aria Colby aria@chamisal.com
Subject: Fwd: CWA Water Bill 2nd Qtr 2022
Date: July 9, 2022 at 11:48 AM
To: Holly Holley-snow hsnw02@outlook.com

AC

Live Loud, Live Strong,
Aria Colby

Begin forwarded message:

From: Robin Campos <robbiecam93@gmail.com>
Date: July 8, 2022 at 10:25:49 AM PDT
To: Aria <aria@chamisal.com>
Cc: Luis Reis <luis@chamisal.com>
Subject: Fwd: CWA Water Bill 2nd Qtr 2022

----- Forwarded message -----

From: Robin Campos <robbiecam93@gmail.com>
Date: Fri, Jul 8, 2022 at 8:34 AM
Subject: CWA Water Bill 2nd Qtr 2022
To: cec <cec@chamisal.com>, Chamisal billing email <belinda@chamisal.com>
Cc: Mike Tonti gmail address <miketonti@gmail.com>, Luis Reis <luis@chamisal.com>

Chamisal Water Association
c/o Campos
25327 Camino de Chamisal
Salinas, CA 93908

Q2-2022

Statement

Chamisal Tennis Club

For usage from:
4-1-22 to 6-30-22

Property address:
185 Robley Rd.
Salinas, CA 93908

Meter #	Readings	Usage
	Ending Beginning	
1	194,000 190,506	3,494
2	478,000 443,397	34,603
3	1,161,000 1,094,684	66,316
4	2,843,000 2,678,543	164,457
5	2,266,000 2,210,918	55,082
6	4,676,000 4,537,260	138,740
7	99,000 97,193	1,807
	11,717,000 11,252,501	464,499
Current amount due (@ \$ 0135/gal):		\$ 6,270.74
	Monthly \$25/share charge (4 shares)	300.00
	TOTAL DUE \$	6,570.74

From: Robin Campos robbiecam93@gmail.com
Subject: CWA Water Bill 3rd Quarter 2022
Date: October 2, 2022 at 12:21 PM
To: Aria aria@chamisal.com
Cc: Luis Reis luis@chamisal.com, Mike Tonti gmail address miketonti@gmail.com

RC

Chamisal Water Association
c/o Campos
25327 Camino de Chamisal
Salinas, CA 93908

Statement

Chamisal Tennis Club

For usage from:
7-1-22 to 9-30-22

Q3-2022

Property address:
185 Robley Rd.
Salinas, CA 93908

Meter #	Readings	Usage
	Ending Beginning	
1	199,260 194,000	5,260
2	521,582 478,000	43,582
3	1,227,969 1,161,000	66,969
4	3,003,431 2,843,000	160,431
5	2,318,968 2,266,000	52,968
6	4,821,145 4,676,000	145,145
7	99,820 99,000	820
	12,192,174 11,717,000	475,174
Current amount due (@ \$.0135/gal):		\$ 6,414.85
	Monthly \$25/share charge (4 shares)	300.00
	TOTAL DUE \$	6,714.85

Please remit to above CWA address

From: Aria Colby aria@chamisal.com
Subject: Fwd: CWA Water Bill 4th Quarter 2022
Date: January 2, 2023 at 2:27 PM
To: Holly Snow hsnow02@outlook.com



Water bill. Oh yay.

Begin forwarded message:

From: Robin Campos <robbiecam93@gmail.com>
Subject: CWA Water Bill 4th Quarter 2022
Date: January 2, 2023 at 2:03:51 PM PST
To: Aria <aria@chamisal.com>
Cc: Luis Reis <luis@chamisal.com>, Mike Tonti gmail address <miketonti@gmail.com>

Chamisal Water Association
c/o Campos
25327 Camino de Chamisal
Salinas, CA 93908

Statement
Chamisal Tennis Club

For usage from:
10-1-22 to 12-31-22

Q4-2022

Property address:
185 Robley Rd.
Salinas, CA 93908

Meter #	Readings		Usage
	Ending	Beginning	
1	203,543	199,260	4,283
2	552,545	521,582	30,963
3	1,240,340	1,227,969	12,371
4	3,055,587	3,003,431	52,156
5	2,359,556	2,318,968	40,588
6	4,947,467	4,821,145	126,322
7	102,810	99,820	2,990
	12,461,847	12,192,174	269,673
Current amount due (@ \$.0135/gal):			\$ 3,640.59
Monthly \$25/share charge (4 shares)			300.00
TOTAL DUE \$			3,940.59

Please remit to above CWA address

ANNUAL - 1,490,030

Live Loud, Live Strong.

Aria Colby
Assistant General Manager
Aria@chamisal.com
831-484-1135 ext. 214

From: Robin Campos robbiecam93@gmail.com
Subject: CWA Water Bill 1st Quarter 2023
Date: April 2, 2023 at 11:37 AM
To: Aria aria@chamisal.com
Cc: Luis Reis luis@chamisal.com, Mike Tonti gmail address miketonti@gmail.com

RC

Chamisal Water Association
c/o Campos
25327 Camino de Chamisal
Salinas, CA 93908

Statement
Chamisal Tennis Club

For usage from:
1-1-23 to 3-31-23

Q1-2023

Property address:
185 Robley Rd.
Salinas, CA 93908

Meter #	Readings		Usage
	Ending	Beginning	
1	208,000	203,543	4,457
2	578,200	552,545	25,655
3	1,240,300	1,240,300	-
4	3,059,252	3,055,587	3,665
5	2,403,300	2,359,556	43,745
6	4,991,800	4,947,467	44,333
7	102,800	102,800	-
	12,583,652	12,461,797	121,855
Current amount due (@ \$.0135/gal):			\$ 1,645.04
			Monthly \$25/share charge (4 shares) 300.00
			TOTAL DUE \$ 1,945.04

Please remit to above CWA address

From: Robin Campos robbiecam93@gmail.com
Subject: CWA Water Bill 2nd Quarter 2023
Date: July 1, 2023 at 9:24 AM
To: Aria aria@chamisal.com
Cc: Mike Tonti gmail address miketonti@gmail.com, Luis Reis luis@chamisal.com

RC

Chamisal
Water
Association
c/o Campos
25327 Camino
de Chamisal
Salinas, CA
93908

Statement
Chamisal Tennis Club

For usage from:
4-1-23 to 6-30-23

02-2023

Property address:
185 Robley Rd.
Salinas, CA 93908

Meter #	Readings		Usage
	Ending	Beginning	
1	212,400	208,000	4,400
2	617,800	578,200	39,600
3	1,275,600	1,240,300	35,300
4	3,136,100	3,059,252	76,848
5	2,456,300	2,403,300	53,000
6	5,086,200	4,991,800	94,400
7	104,700	102,800	1,900
	12,889,100	12,583,652	305,448

Current amount due (@ \$.0135/gal): \$ 4,123.55

Monthly
\$25/share
charge (4
shares) 300.00

Meter Reading
Charge from
Service
Provider -

TOTAL DUE \$ 4,423.55

Please remit
to above CWA
address

From: Robin Campos robbiecam93@gmail.com
Subject: CWA Water Bill 3rd Qtr. 2023
Date: October 1, 2023 at 3:43 PM
To: Aria aria@chamisal.com
Cc: Mike Tonti gmail address miketonti@gmail.com, Luis Reis luis@chamisal.com



Chamisal
Water
Association
c/o Campos
25327 Camino
de Chamisal
Salinas, CA
93908

Statement
Chamisal Tennis Club

For usage from:
7-1-23 to 9-30-23

Q3-2023

Property address:
185 Robley Rd.
Salinas, CA 93908

Meter #	Readings		Usage
	Ending	Beginning	
1	216,800	212,400	4,400
2	655,900	617,800	38,100
3	1,326,900	1,275,600	51,300
4	3,302,800	3,136,100	166,700
5	2,518,200	2,456,300	61,900
6	5,192,600	5,086,200	106,400
7	109,800	104,700	5,100
	13,323,000	12,889,100	433,900
Current amount due (@ \$.0135/gal):			\$ 5,857.65
Monthly \$25/share charge (4 shares)			300.00
Meter Reading Charge from Service Provider			-
TOTAL DUE \$			6,157.65

Please remit
to above CWA
address

From: Robin Campos robbiecam93@gmail.com
Subject: CWA Water Bill 4th Qtr. 2023
Date: January 2, 2024 at 1:14 PM
To: Aria aria@chamisal.com
Cc: Mike Tonti gmail address miketonti@gmail.com, Luis Reis luis@chamisal.com



Chamisal
Water
Association
c/o Campos
25327 Camino
de Chamisal
Salinas, CA
93908

Statement
Chamisal Tennis Club

Q4-2023

For usage from:
10-1-23 to 12-31-
23

Property address:
185 Robley Rd.
Salinas, CA 93908

Meter #	Readings		Usage
	Ending	Beginning	
1	221,200	216,800	4,400
2	684,800	655,900	28,900
3	1,356,500	1,326,900	29,600
4	3,368,900	3,302,800	66,100
5	2,577,000	2,518,200	58,800
6	5,287,600	5,192,600	95,000
7	113,700	109,800	3,900
	13,609,700	13,323,000	286,700
Current amount due (@ \$.0135/gal):			\$ 3,870.45
	Monthly \$25/share charge (4 shares)		300.00
	Meter Reading Charge from Service Provider		-
	TOTAL DUE \$		4,170.45

ANNUAL - 1,147,903

Please remit
to above CWA
address

From: Robin Campos robbiecam93@gmail.com
Subject: CWA Water Bill 1st Qtr. 2024
Date: April 3, 2024 at 10:16 AM
To: Aria aria@chamisal.com
Cc: Mike Tonti gmail address miketonti@gmail.com, Luis Reis luis@chamisal.com



Hi Neighbors,

Happy Spring! Below is your quarterly water bill in a new format. I'm hoping this new version is easier to read than the previous method. Please let me know if you have any issues with this change.

Thanks,
Robin

Chamisal Water Association			
c/o Campos			
25327 Camino de Chamisal			
Salinas, CA 93908			
Statement			
Chamisal Tennis Club			
For usage from:			
1-1-24 to 3-31-24			
Property address:			
185 Robley Rd.			
Salinas, CA 93908			
		Readings	
Meter #	Ending	Beginning	Usage
1	223,900	221,200	2,700
2	712,200	684,800	27,400
3	1,365,300	1,356,500	8,800
4	3,377,600	3,368,900	8,700
5	2,642,300	2,577,000	65,300
6	5,349,400	5,287,600	61,800
7	114,500	113,700	800
	13,785,200	13,609,700	175,500
Current amount due (@ \$.0135/gal):			\$ 2,369.25
Monthly \$25/share charge (4 shares)			300.00
Meter Reading Charge from Service Provider			-
TOTAL DUE			\$ 2,669.25
Please remit to above CWA address			

Q1-2024

From: Robin Campos robbiecam93@gmail.com
Subject: CWA Water Bill 2nd Qtr. 2024
Date: July 2, 2024 at 11:52 AM
To: Aria aria@chamisal.com
Cc: Mike Tonti gmail address miketonti@gmail.com, Luis Reis luis@chamisal.com

RC

Chamisal Water Association
 c/o Campos
 25327 Camino de Chamisal
 Salinas, CA 93908

Statement

Chamisal Tennis Club

For usage from:
 4-1-24 to 6-30-24

Property address:
 185 Robley Rd.
 Salinas, CA 93908

Q2-2024

Meter #	Readings		Usage
	Ending	Beginning	
1	228,300	223,900	4,400
2	746,700	712,200	34,500
3	1,426,000	1,365,300	60,700
4	3,472,300	3,377,600	94,700
5	2,724,900	2,642,300	82,600
6	5,451,500	5,349,400	102,100
7	118,800	114,500	4,300
	14,168,500	13,785,200	383,300
Current amount due (@ \$.0135/gal):			\$ 5,174.55
Monthly \$25/share charge (4 shares)			300.00
Meter Reading Charge from Service Provider			-
TOTAL DUE			\$ 5,474.55

Please remit to above CWA address

From: Robin Campos robbiecam93@gmail.com
Subject: CWA Water Bill 3rd Qtr. 2024
Date: October 2, 2024 at 6:52 AM
To: Aria aria@chamisal.com
Cc: Mike Tonti gmail address miketonti@gmail.com, Luis Reis luis@chamisal.com

RC

Chamisal Water Association
 c/o Campos
 25327 Camino de Chamisal
 Salinas, CA 93908

Statement

Chamisal Tennis Club

For usage from:
 7-1-24 to 9-30-24

Property address:
 185 Robley Rd.
 Salinas, CA 93908

Q3-2024

Meter #	Readings		Usage
	Ending	Beginning	
1	231,300	228,300	3,000
2	794,100	746,700	47,400
3	1,433,000	1,426,000	7,000
4	3,608,900	3,472,300	136,600
5	2,816,300	2,724,900	91,400
6	5,569,100	5,451,500	117,600
7	123,300	118,800	4,500
	14,576,000	14,168,500	407,500
Current amount due (@ \$.0135/gal):			\$ 5,501.25
Monthly \$25/share charge (4 shares)			300.00
Meter Reading Charge from Service Provider			-
TOTAL DUE			\$ 5,801.25

Please remit to above CWA address

From: Robin Campos robbiecam93@gmail.com
Subject: CWA 4th Qtr Invoice
Date: January 3, 2025 at 10:32 AM
To: Aria aria@chamisal.com
Cc: Mike Tonti gmail address miketonti@gmail.com, Luis Reis luis@chamisal.com

Happy New Year!
Please note the below invoice reflects the new rate (effective 10/1/24) as voted by membership.

Chamisal Water Association
c/o Campos
25327 Camino de Chamisal
Salinas, CA 93908

Statement
Chamisal Tennis Club

For usage from:
10/1/24 to 12/31/24

Property address:
185 Robley Rd.
Salinas, CA 93908

Q4-2024

Meter #	Readings		Usage
	Ending	Beginning	
1	235,400	231,300	4,100
2	825,000	794,100	30,900
3	1,509,200	1,433,000	76,200
4	3,656,200	3,608,900	47,300
5	2,896,000	2,816,300	79,700
6	5,685,900	5,569,100	116,800
7	127,300	123,300	4,000
	14,935,000	14,576,000	359,000
Usage amount due (@ \$.0176/gal):			\$ 6,318.40
Monthly \$25/share charge (4 shares)			300.00
Meter Reading Charge from Service Provider			-
TOTAL DUE			\$ 6,618.40

ANNUAL - 966,659

Please remit to above CWA address

INVOICE

Chamisal Water Association
27410

h.kappler@kapplergroup.com
+1 (980) 833-6722

Bill to
Chamisal Tennis Club
185 Robley Rd.
Salinas, CA 93908

Invoice details

Invoice no.: 1014
Terms: 7 Days
Invoice date: 04/07/2025
Due date: 04/14/2025

Q1-2025

#	Product or service	Description	Qty	Rate	Amount
1.	Water used	Used water for the last quarter.	3400	\$0.0176	\$59.84
2.	Water used	Used water for the last quarter.	32300	\$0.0176	\$568.48
3.	Water used	Used water for the last quarter.	13900	\$0.0176	\$244.64
4.	Water used	Used water for the last quarter.	17800	\$0.0176	\$313.28
5.	Water used	Used water for the last quarter.	58400	\$0.0176	\$1,027.84
6.	Water used	Used water for the last quarter.	42000	\$0.0176	\$739.20
7.	Water used	Used water for the last quarter.	3300	\$0.0176	\$58.08
8.	Service Fee	Cost per month but charged per quarter	1	\$300.00	\$300.00

171,100
Total **\$3,311.36**

Ways to pay



Please click the link to pay by Credit Card or ACH bank.
It is safe, easy, and fast. No paper checks are allowed anymore.

View and pay