

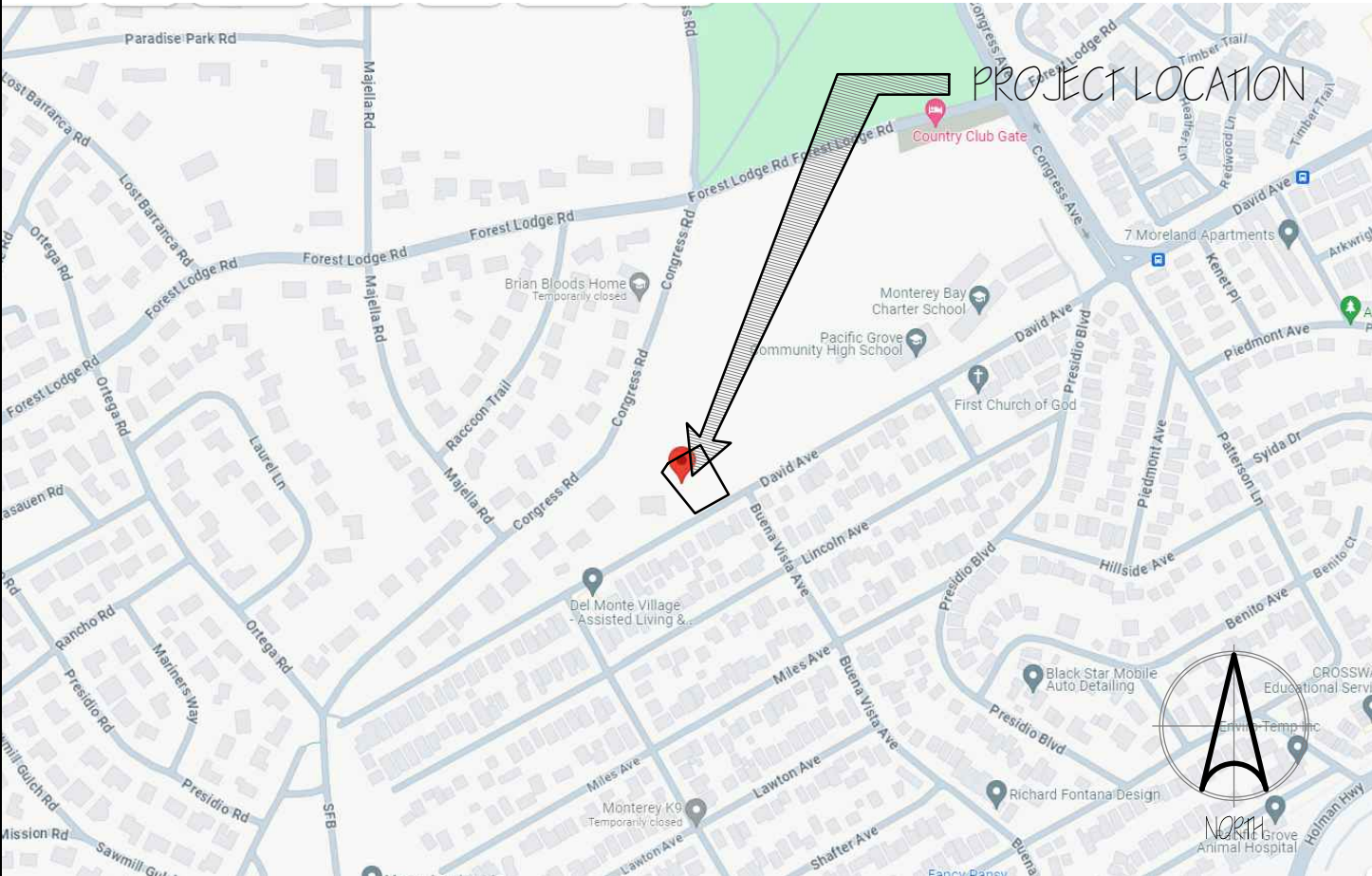
LILY HOUSE 2821
APN: 007-103-011
2821 CONGRESS RD., PEBBLE BEACH, CA 93953



ASSESSOR PARCEL MAP



VICINITY MAP



SCOPE OF WORK

- BUILD A NEW GROUND UP TWO STORY SINGLE FAMILY RESIDENCE WITH (3) CAR GARAGE ON A EMPTY LOT
- REMOVE (43) EXISTING TREES PER FUEL MANAGEMENT PLAN AND BUILDING OUTLINE, DETAILS SEE LANDSCAPE PLANS AND ARBORIST REPORT.

PROJECT DATA

LOT LOCATION: 2821 CONGRESS RD., PEBBLE BEACH, CA 93953
APN: 007-103-011
PLANNING DEPARTMENT: COUNTY OF MONTEREY
1441 SCHILLING PLACE, SALINAS, CA 93901

OCCUPANCY GROUP: R-3/ U
CONSTRUCTION TYPE: TYPE V-B
ZONING DISTRICT: MDR/ B-6-D-RS
NUMBERS OF STORIES: 2
GROSS SITE AREA (EQUAL TO NET SITE AREA): 44 ACRES: 19,218 SF
FAR 35%: 6,726 SF
LOT COVERAGE: 35%: 6,726 SF
EXISTING SF: 0 SF (EXISTING EMPTY)
PROPOSED FLOOR AREA SF: 5,335 SF

REQUIRED SETBACKS

SETBACKS	1ST FLR.	2ND FLR.
FRONT	20'	20'
SIDE	10'	20'
REAR	10'	10'

REQUIRED BUILDING HEIGHT: 27'-0" PROPOSE: 25'-0"

MAIN HOUSE (5 MASTERS BEDROOMS W/ 3 CAR GARAGE)

LOT COVERAGE (35%):	6,726 SF	FAR AREA (35%):	6,726 SF
1ST FLOOR:	3,420 SF	1ST FLOOR:	3,420 SF
GARAGE:	682 SF	GARAGE:	682 SF
PATIO:	553 SF	2ND FLOOR:	2,023 SF
PORCH:	628 SF		
PROPOSED TOTAL:	28% 5,283 SF < 6,726 SF OK	PROPOSED TOTAL:	6,125 SF < 6,726 SF OK

WATER SHED CALCULATION

IMPERVIOUS AREA MAX.: 9,000 SF

DRIVEWAY PAVR:	2,597 SF
PATIO:	553 SF
PORCH:	628 SF
LANDING:	24 SF
1ST FLOOR:	3,420 SF
GARAGE:	682 SF
TRASH ENCLOSURE PAD:	37 SF

TOTAL 7,941 SF OK

PROJECT DIRECTORY

PROPERTY OWNER: LILLY CHING
890 YAKIMA DR.
FREMONT, CA 94539

ARCHITECT: TECTONIC BUILDERS CORPORATION
10118 BANDLEY DR., #E
CUPERTINO, CA 95014
408-216-0804
LARRY WANG larrywang@tectoniccorp.com

SURVEY: CENTRAL COAST SURVEYORS
5 HARRIS COURT, STE N-11
MONTEREY, CA 93940
650-823-6466
DAVID EDSON DAVE@CCSURVEYORS.COM

CIVIL ENGINEER: CS ENGINEERING INCORPORATED
126 BONIFACIO PLACE SUITE C
MONTEREY, CA 93940
831-647-1192
JENNIFER P. RUDOLPH, P.E. OSD
JRUDOLPH@CSENGINEERING.NET

LANDSCAPE ARCHITECT: JEFFREY HEID, LANDSCAPE ARCHITECT
1465 WINZER PLACE
GILROY, CA 95020
408-691-5207
JEFFREY HEID WJEIDASLA@GMAIL.COM

CERTIFIED ARBORIST: SENIOR ENVIRONMENTAL SCIENTIST/
CERTIFIED ARBORIST | DDB&A, INC.
947 CAS5 ST, SUITE 5
MONTEREY, CA 93940
831-373-4341 X 29
PATRIC KRABACHER
PKRABACHER@DDAPLANNING.COM

BUILDING CODES

ALL PLANS TO COMPLY WITH THE FOLLOWING:

2019 CALIFORNIA ADMINISTRATIVE CODE
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRIC CODE
2019 CALIFORNIA RESIDENTIAL CODES
2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS (TITLE 24)
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA EXISTING BUILDING CODE
2019 CALIFORNIA REFERENCED STANDARDS CODE
COUNTY OF MONTEREY PLANNING CODE

SHEET INDEX

ARCHITECTURAL

A0.0 COVER SHEET

SURVEY-TOPO MAP

C1 CIVIL TITLE SHEET
C2 GRADING AND DRAINAGE PLAN
C3 DETAILS
C4 EROSION CONTROL PLAN

A1.0 SITE PLAN

A1.0A SITE PLAN WITH CONTEXT
A2.0 1ST FLOOR PLAN
A2.1 2ND FLOOR PLAN
A2.2 ROOF PLAN
A3.0 ELEVATIONS
A3.1 ELEVATIONS

L1 PLANTING PLAN

L2 DETAILS
L3 WILDFIRE PROTECTION
L4 HYDROZONE PLAN
L5 DETAILS



PLAN CHECK SET

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DATE: 09/26/2024

DRAWN: KC

CHECKED: LW

REVISIONS BY:

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△

△

△

RELEASED BY:

2024_03_22_PRELIMINARY_ARB_PLANNING
SUBMITTAL
2024_09_26_1ST_PLANNING_SUBMITTAL

JOB NO:

LILLY HOUSE 2821

2821 CONGRESS RD.,
PEBBLE BEACH, CA 93953

JURISDICTION APPROVAL STAMP:

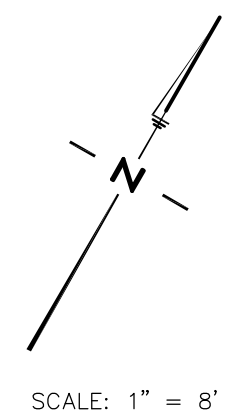
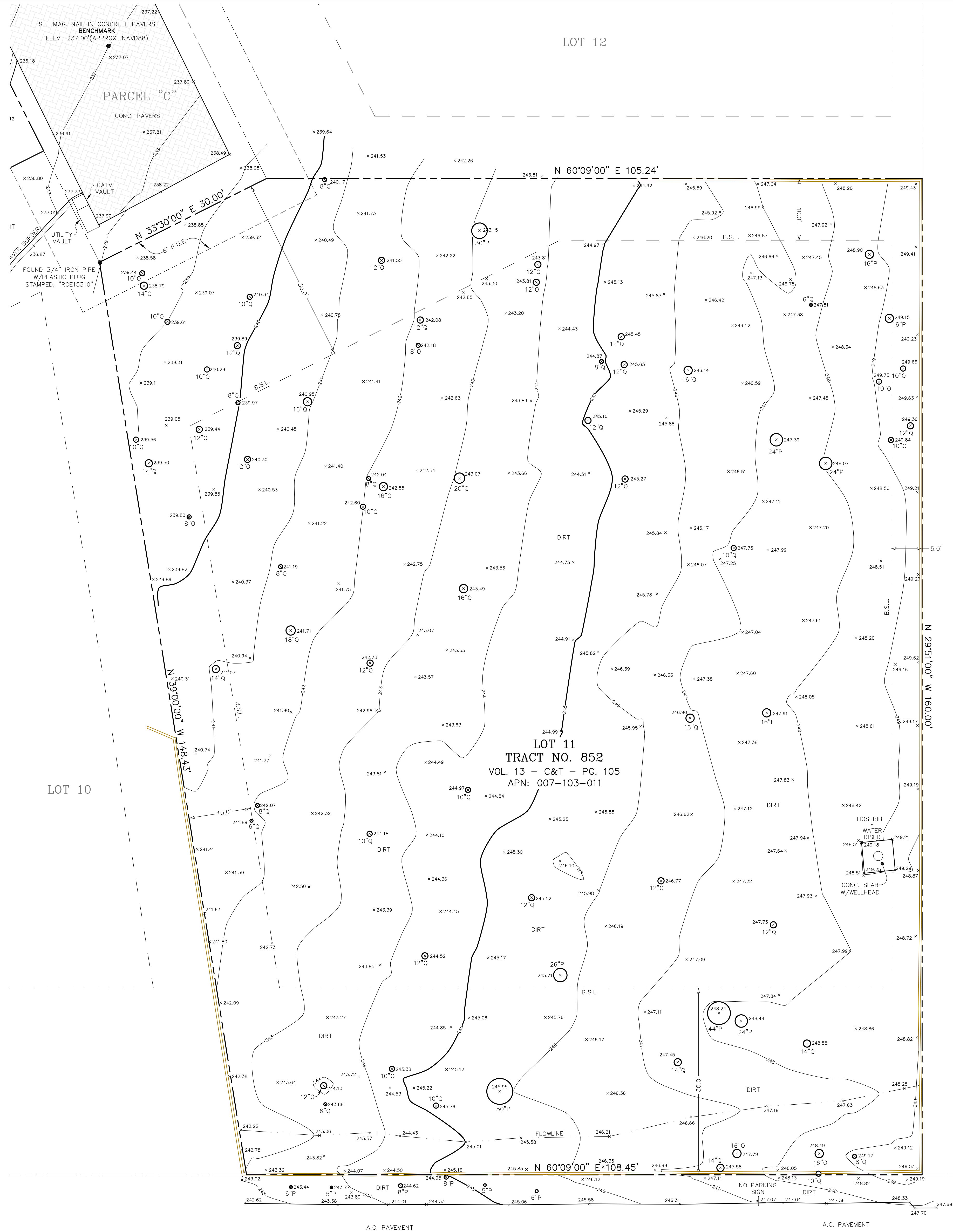
SHEET INFO

COVER SHEET

SHEET NO.

A0.0

OF -- SHEETS



- LEGEND:
- B.S.L. BUILDING SETBACK LINE PER (13-C&T-105)
 - P.U.E. PUBLIC UTILITY EASEMENT PER (13-C&T-105)
 - 10" P DENOTES A 10" DIA. PINE TREE (TYP.)
 - 12" Q DENOTES A 12" DIA. OAK TREE (TYP.)
 - DENOTES PROTRACTED BOUNDARY
 - DENOTES A WOOD FENCE

- NOTES:
- ALL DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
 - ELEVATIONS SHOWN ARE BASED ON AN ASSUMED DATUM THAT APPROXIMATES THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). PROJECT BENCHMARK IS A MAG. NAIL SET IN CONCRETE PAVERS, AS SHOWN.
ELEVATION = 237.00 FEET (APPROX. NAVD88)
 - CONTOUR INTERVAL = ONE FOOT.
 - TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 5" ARE NOT SHOWN.

TOPOGRAPHIC MAP
OF
LOT 11 IN TRACT NO. 852
AS SHOWN ON THE MAP ENTITLED,
"TRACT NO. 852, MONTEREY PENINSULA
COUNTRY CLUB NO. 6..."
FILED IN, VOL. 13 - CAT - PG. 105
OFFICIAL RECORDS OF MONTEREY COUNTY

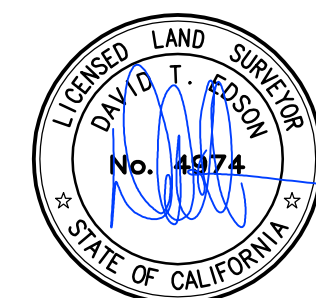
PEBBLE BEACH COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR
Lily Ching

B.Y.
CENTRAL COAST SURVEYORS
5 HARRIS COURT, SUITE N-11 MONTEREY, CALIFORNIA 93940
Phone: (831) 394-4930
Fax: (831) 394-4931

SCALE: 1" = 8' JOB No. 23-94 OCTOBER 2023
PREPARED BY: LUS

APN: 007-103-011



GENERAL NOTES

1.

ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND ACCOMPANYING SPECIFICATIONS, IN ADDITION ALL WORK SHALL ALSO CONFORM WITH THE FOLLOWING:
 - LATEST REVISION OF THE COUNTY OF MONTEREY DESIGN STANDARDS AND SPECIFICATIONS
 - THE LATEST REVISION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS (STATE SPECIFICATIONS)
 - THE 2023 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ENERGY CODE (CenC), CALIFORNIA ELECTRICAL CODE (CEC).
2.

THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PLANS, DETAILS, AND SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. IN THE EVENT THAT THE CONTRACTOR FINDS ANY DISCREPANCIES, OMISSIONS, OR DEFICIENCIES IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AND THE OWNER'S REPRESENTATIVE IMMEDIATELY.
3.

IT IS THE CONTRACTORS RESPONSIBILITY TO SECURE ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE MONTEREY COUNTY BUILDING SERVICES DEPARTMENT (COUNTY) AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION.
4.

THE TOPOGRAPHY, LOCATIONS AND SIZE OF UNDERGROUND UTILITIES AND OR OTHER STRUCTURES SHOWN HEREON WERE OBTAINED FROM A FIELD SURVEY (BY OTHERS) AND OR FROM RECORD INFORMATION. NEITHER THE ENGINEER NOR THE OWNER MAKES ANY REPRESENTATION TO THE ACCURACY OF TOPOGRAPHY, SIZE AND OR LOCATION OF ANY OF THE UTILITIES OR STRUCTURES SHOWN ON THESE PLANS NOR FOR THE EXISTENCE OF ANY OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED THAT ARE NOT SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE SIZE AND LOCATION OF EXISTING UNDERGROUND UTILITIES, SURFACE IMPROVEMENTS, AND OTHER STRUCTURES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.
5.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
6.

THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227-2600 AT LEAST 48 HOURS PRIOR TO EXCAVATION TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
7.

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT THE STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND THE CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA. FOR ALL TRENCH EXCAVATION FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
8.

EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED BY THE CONTRACTOR.
9.

THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ENGINEER, AND ALL DESIGN CONSULTANTS FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL LEAVE A 24-HOUR EMERGENCY TELEPHONE NUMBER WITH THE POLICE, FIRE DEPARTMENTS AND PRIVATE SECURITY COMPANY (IF APPLICABLE), AND KEEP THEM INFORMED DAILY REGARDING ANY CONSTRUCTION RELATED ACTIVITY IN THE PUBLIC RIGHT OF WAY.
10.

CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL, AND PROPER DISPOSAL OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: CONCRETE, ASPHALT CONCRETE, STRIPING, ANY AND ALL OTHER DEBRIS FROM THE SITE, EXCESS MATERIAL FROM TRENCHING AND PAVEMENT CONSTRUCTION, TREES AND ROOT BALLS, FENCING AND SPOILS FROM EXCAVATION AT THE CONTRACTOR'S EXPENSE AND SHALL BE DISPOSED OF IN A LAWFUL MANNER.
11.

IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY HCD - PLANNING AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.
12.

ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER AS WELL AS THE OWNER PRIOR TO THEIR CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON RECORD DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE THE CHANGE OR DEVIATION.
13.

THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP THE SITE AND ADJACENT AREAS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
14.

THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH
 - B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
15.

A COPY OF ALL FIELD REPORTS/COMPACTIONS TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.
16.

PAD ELEVATION/S SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.

GRADING AND DRAINAGE

1.

CONTRACTOR SHALL NOTIFY THE COUNTY 48 HOURS BEFORE STARTING ANY GRADING OPERATIONS.
2.

ALL GRADING SHALL CONFORM TO THE COUNTY GRADING ORDINANCE (CHAPTER 16.08) AND THE EROSION CONTROL ORDINANCE (CHAPTER 16.12) AS APPLICABLE.
3.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING, RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO GRADING.
4.

IT IS THE CONTRACTORS RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY.
5.

WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND BACKFILLED WITH SELECT MATERIAL.
6.

MAXIMUM CUT AND FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.
7.

ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.
8.

TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOTBALLS. THE REMAINING CAVITY SHALL BE CLEARED OF ALL ROOTS LARGER THAN 1/2" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.
9.

CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.
10.

ALL SURFACE DRAINAGE SHALL MAINTAIN 2% SLOPE MINIMUM UNLESS NOTED OTHERWISE.
11.

PERVIOUS SURFACES IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
12.

DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15) THE FOLLOWING MEASURES MUST BE TAKEN:
 - A. DISTURBED SURFACES NOT INVOLVED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - B. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON DOWNHILL PROPERTIES.
 - C. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
 - D. DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGH THE LIFE OF THE PROJECT DURING WINTER OPERATIONS

13.

VEGETATION REMOVAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THAT AREA SHALL BE PLANTED.
14.

NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.

UNDERGROUND UTILITIES

1.

CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING STORM DRAINS, SANITARY SEWERS AND WATER LINES, BEFORE ORDERING MATERIALS AND/OR CONSTRUCTING NEW FACILITIES.
2.

ALL EXISTING MANHOLES AND UTILITY BOXES WITHIN THE PROJECT AREA ARE TO BE SET FLUSH WITH FINISHED GRADE, UNLESS OTHERWISE NOTED.
3.

ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
4.

PIPE MATERIALS AND INSTALLATION PROCEDURE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
5.

DAMAGE SHALL BE REPAIRED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE COUNTY.

ABBREVIATIONS

- (E)

EXISTING
- FG

FINISH GROUND GRADE
- FF

FINISH FLOOR
- FL

FLOW LINE
- FP

FINISH PAVEMENT GRADE
- G

GROUND
- M.E.

MATCH EXISTING
- (N)

NEW
- SD

STORM DRAIN
- SS

SANITARY SEWER
- TC

TOP OF CURB GRADE
- (TYP)

TYPICAL
- W

WATER

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- C3

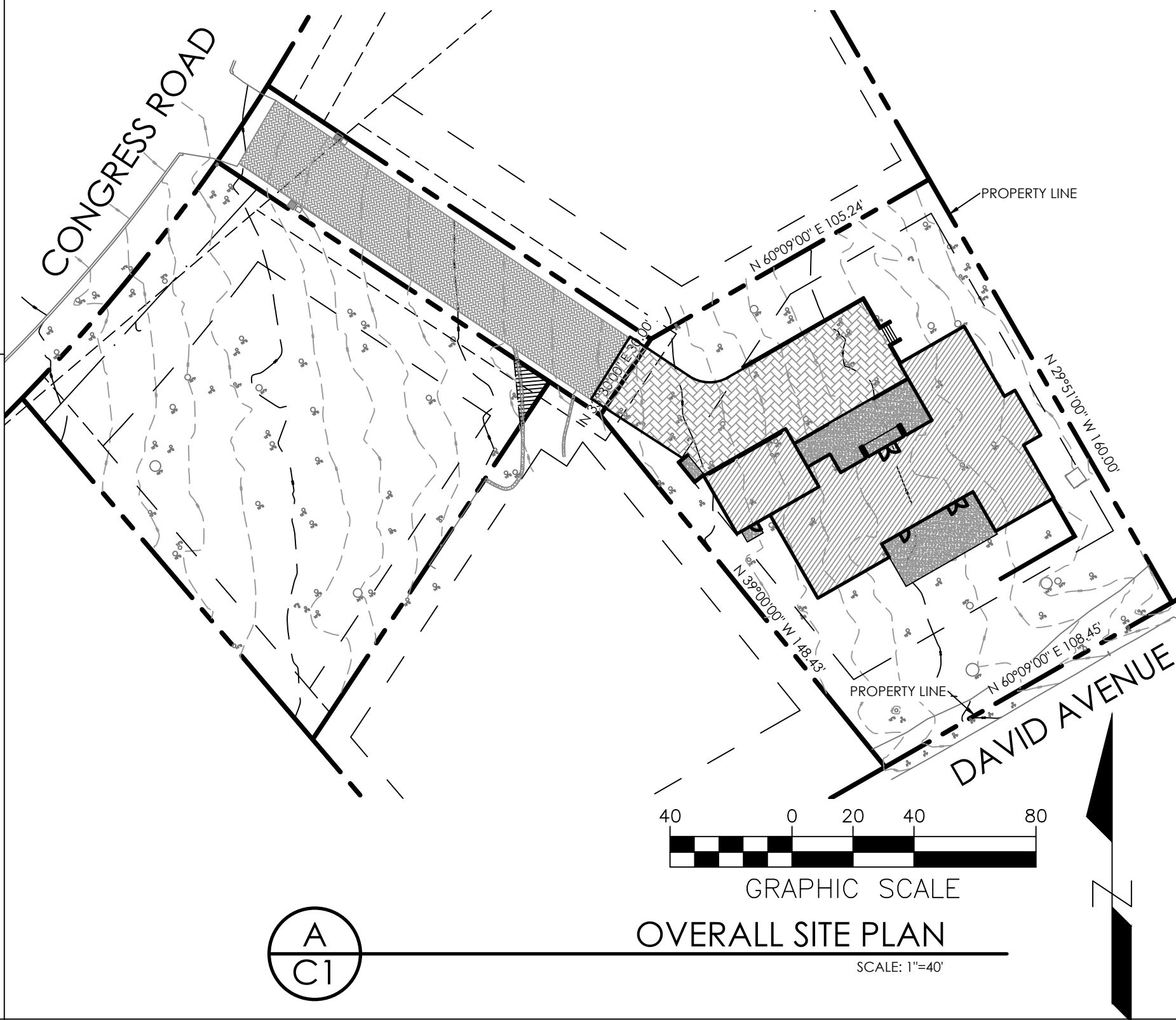
CONSTRUCTION DETAILS
- C4

EROSION CONTROL PLAN

VICINITY MAP



GRADING AND DRAINAGE PLAN
FOR
SINGLE FAMILY RESIDENCE



LAND DISTURBANCE

LAND DISTURBANCE AREA = 9,270 SF

GRADING QUANTITIES

EARTHWORK QUANTITIES:

CUT = 155 CY
FILL = 305 CY

EARTHWORK QUANTITIES ARE ESTIMATES TO FINISH GRADE ONLY AND ASSUMES NO FILL IN RAISED FOUNDATION AREAS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL EARTHWORK QUANTITIES. NO ALLOWANCE HAS BEEN MADE TO ACCOUNT FOR QUANTITIES FROM PAVEMENT OR TRENCHING FOR FOUNDATION, FOOTINGS, PIERS AND/OR UTILITIES TRENCHES.

LEGEND

EXISTING	PROPOSED
	BOUNDARY LINE
	EASEMENT
	DRAINAGE FLOW LINE
	SAWCUT
	GRADE BREAK
	MAJOR CONTOUR
	MINOR CONTOUR
	RETAINING WALL (BY OTHERS)
	FOUNDATION DRAINS (PERFORATED)
	STORM DRAIN
	SPOT ELEVATION
	DRAINAGE FLOW
	PAVERS
	CONCRETE PAVEMENT
	BUILDING

AC3 ENGINEERING INCORPORATED

Civil Engineering Land Development Stormwater Control

124 Bonifacio Place, Suite C, Monterey, CA 93940
Phone: (831) 647-1192 Fax: (831) 647-1194
mail@C3Engineering.net

FOR
PLANNING

TITLE SHEET

NEW RESIDENCE FOR:
2821 CONGRESS ROAD
PEBBLE BEACH, CA
APN 007-103-011

SCALE: AS NOTED
DATE: 11/13/2024
DESIGN BY: JPR
DRAWN BY: JPR
CHECKED BY:
SHEET NUMBER:

C1

OF 4 SHEETS
PROJECT# 124107

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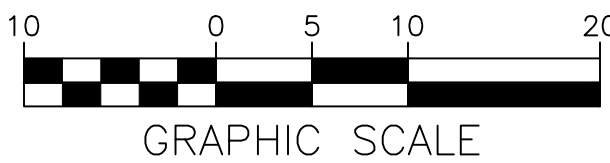


A
C2

GRADING & DRAINAGE PLAN

SCALE: 1"=10'

LEGEND	
	CUT AREA
	FILL AREA



GRADING AND DRAINAGE PLAN

NEW RESIDENCE FOR:
2821 CONGRESS ROAD
PEBBLE BEACH, CA
APN 007-103-011

FOR
PLANNING

C3ENGINEERING
INCORPORATED

Civil Engineering Land Development Stormwater Control

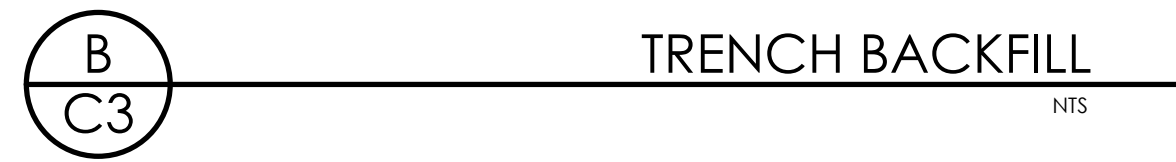
124 Bonifacio Place, Suite C, Monterey, CA 93940
Phone: (831) 647-1192 Fax: (831) 647-1194
mail@C3Engineering.net

SCALE:	AS NOTED
DATE:	11/13/2024
DESIGN BY:	JPR
DRAWN BY:	JPR
CHECKED BY:	
SHEET NUMBER:	

C2

OF 4 SHEETS
PROJECT# 124107

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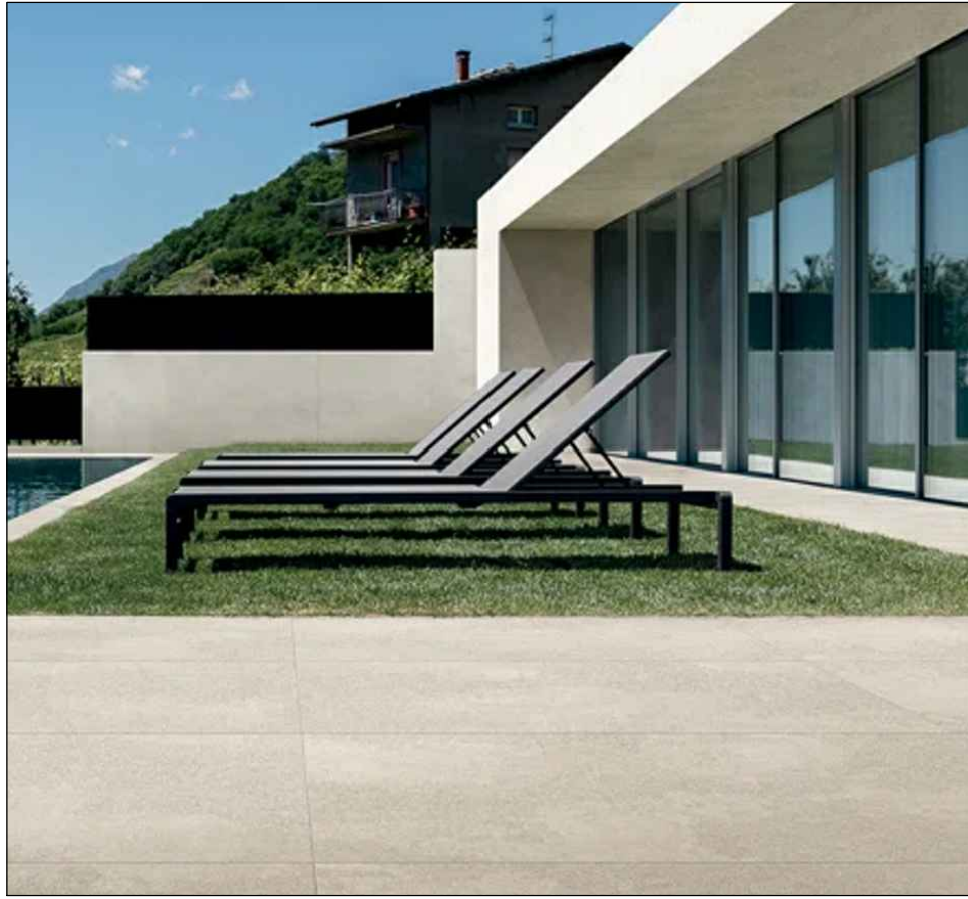
NEW RESIDENCE FOR:
2821 CONGRESS ROAD
PEBBLE BEACH, CA
APN 007-103-011

AOC3 ENGINEERING INCORPORATED
Civil Engineering Land Development Stormwater Control

124 Bonifacio Place, Suite C, Monterey, CA 93940
Phone: (831) 372-1174 Fax: (831) 347-1174
E-mail: info@oc3eng.com

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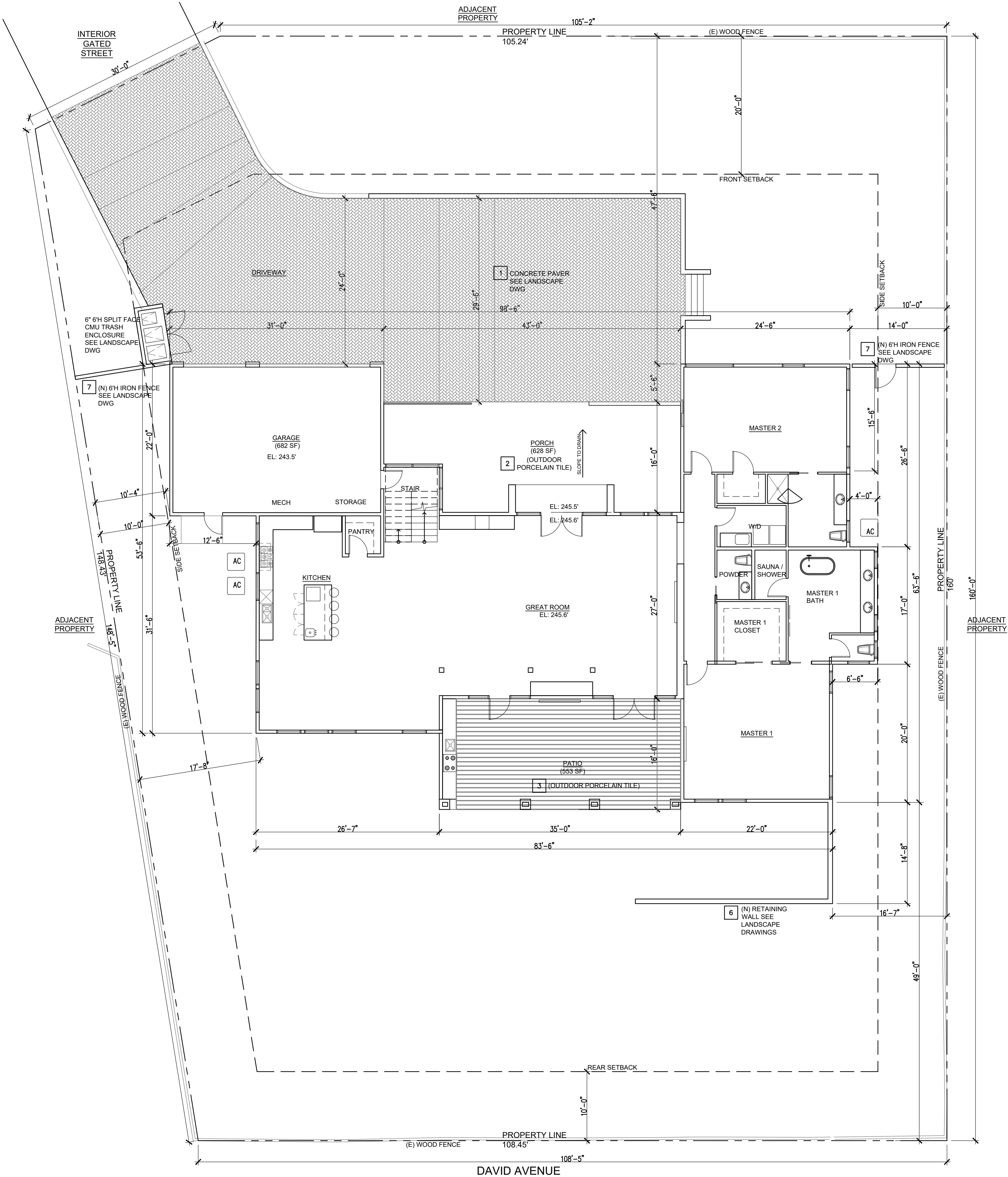
SCALE:	AS NOTED
DATE:	11/13/2024
DESIGN BY:	JPR
DRAWN BY:	JPR
CHECKED BY:	
SHEET NUMBER:	
C3	
OF 4 SHEETS	
PROJECT#	124107



2 EXTERIOR PORCELAIN TILE OR LIMESTONE- LIGHT GRAY 24X48 SAMPLE



3 EXTERIOR PORCELAIN TILE - LIGHT GRAY 8X48- WOOD PLANK SAMPLE



MATERIAL LIST

- 1 CONCRETE PAVER - SEE LANDSCAPE DWGS
- 2 EXTERIOR PORCELAIN TILE OR LIMESTONE- LIGHT GRAY 24X48
- 3 EXTERIOR PORCELAIN TILE - LIGHT GRAY 8X48- WOODPLANK
- 4 METAL ROOF - SNAP CLAD PANEL
- 5 SINGLE PLY ROOFING- CARLIE FLEECEBACK TPO, WHITE
- 6 RETAILING WALL - SEE LANDSCAPE DWGS
- 7 IRON FENCE - PAINTED BLACK SEE LANDSCAPE DWGS

PROJECT INFORMATION

LOT: 19,218 SF
FAR: 35% 6,726 SF
LOT COVERAGE: 35% 6,726 SF

MAIN HOUSE (5 MASTERS)

LOT COVERAGE 35% 6,726 SF

1ST FLOOR: 3,420 SF
GARAGE: 682 SF
PATIO: 553 SF
PORCH: 628 SF
TOTAL 28% 5,283 SF OK

FAR AREA
1ST FLOOR: 3,420 SF
GARAGE: 682 SF
2ND FLOOR: 2,023 SF

TOTAL: 32% 6,125 SF OK

WATER SHED CALCULATION

IMPERVIOUS AREA MAX.: 9,000SF

DRIVEWAY PAVER: 2,597 SF
PATIO: 553 SF
PORCH: 628 SF
LANDING: 24 SF
1ST FLOOR: 3,420 SF
GARAGE: 682 SF
TRASH ENCLOSURE PAD: 37 SF

TOTAL 7,941 SF OK

SITE PLAN

1ST PLANNING SUBMITTAL - COUNTY

DATE 09-26-24

Tectonic Architects & Associates

10118 Bandy Dr. #E
Cupertino, CA 95014
408-216-0804



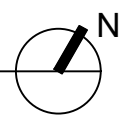
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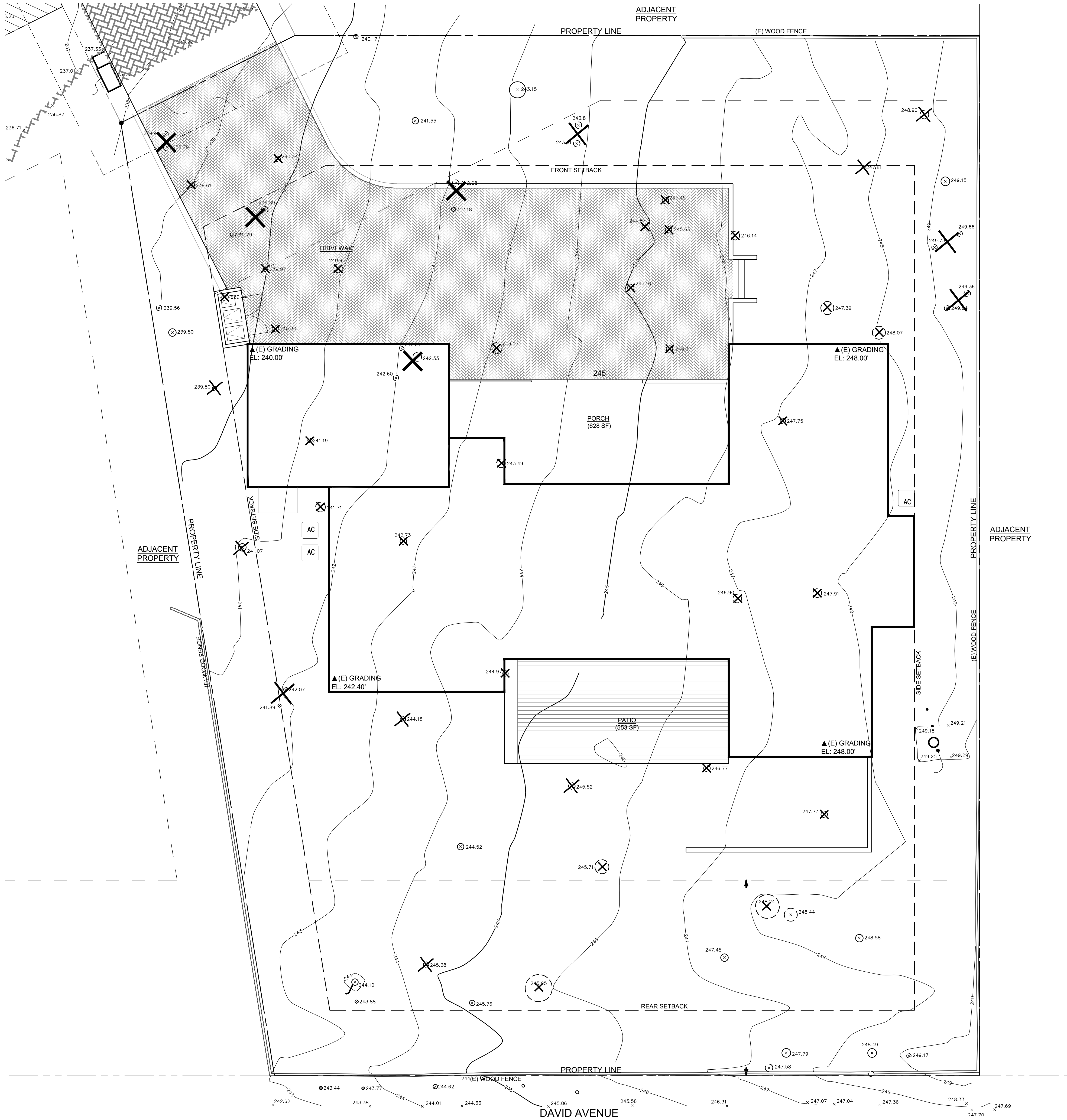
CHING RESIDENCE 2821

2821 CONGRESS RD., PEBBLE BEACH, CALIFORNIA

SITE PLAN

SCALE: 1/8" : 1'





NOTES:

- FOR GRADING, DRAINAGE, EROSION, CUT AND FILL INFORMATION SEE CIVIL PLAN
- FOR TREE DETAIL INFORMATION SEE LANDSCAPE PLAN AND ARBORIST REPORT
- AVERAGE GROUND ELEVATION (

AVERAGE (E) GROUND ELEVATION:

WEST EL: 240.00'
NORTH EL: 248.00'
EAST EL: 248.00'
SOUTH EL: 242.40'

AVERAGE: EL: 244.60'

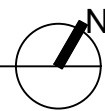
LEGEND

(E) TREE TO BE REMOVED
SEE LANDSCAPE PLAN AND ARBORIST REPORT FOR DETAIL

(E) TREE

SITE PLAN WITH (E) TOPO

SCALE: 1/8" = 1'



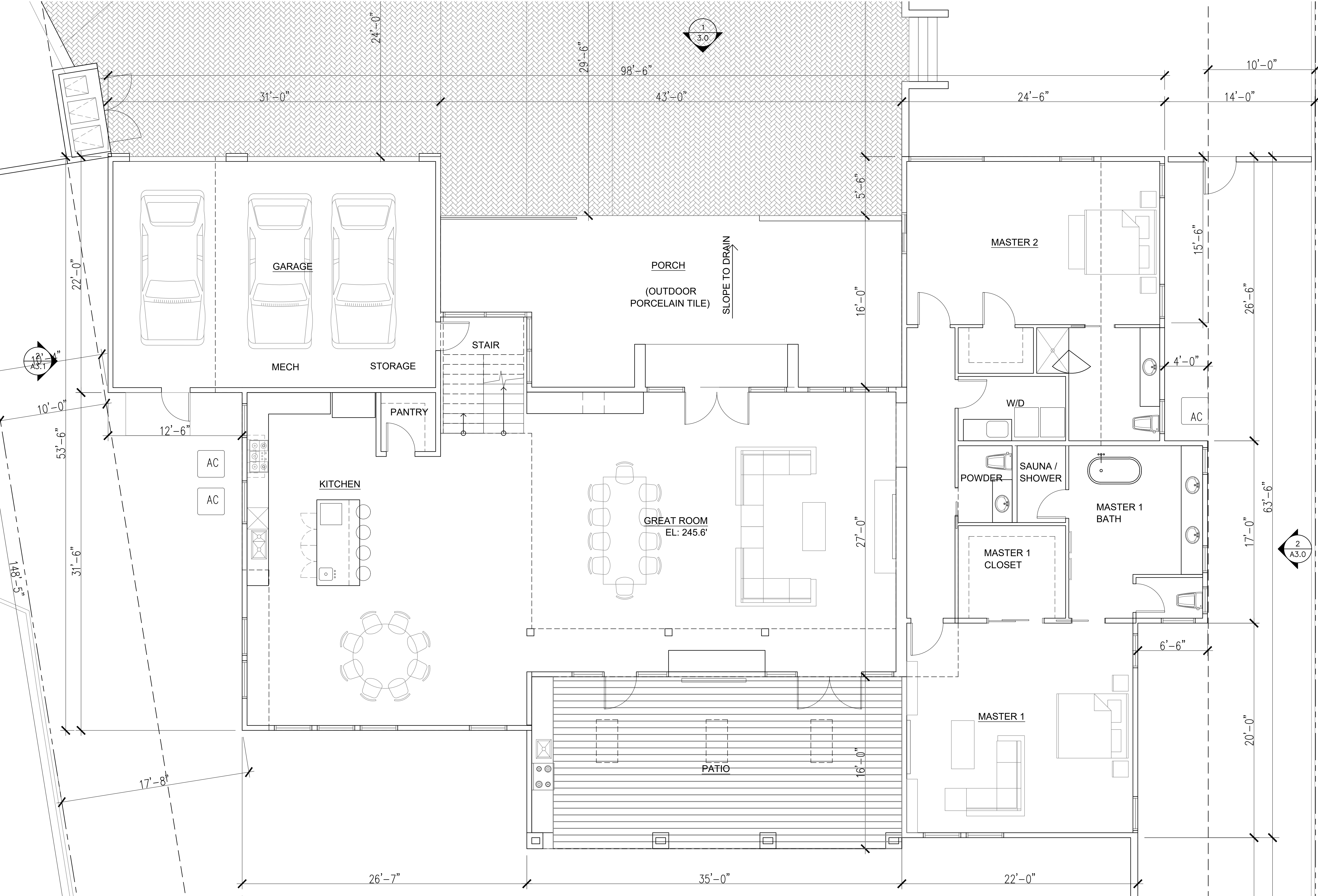
SITE PLAN W/ TOPOGRAPHIC
TREE REMOVAL INFO.

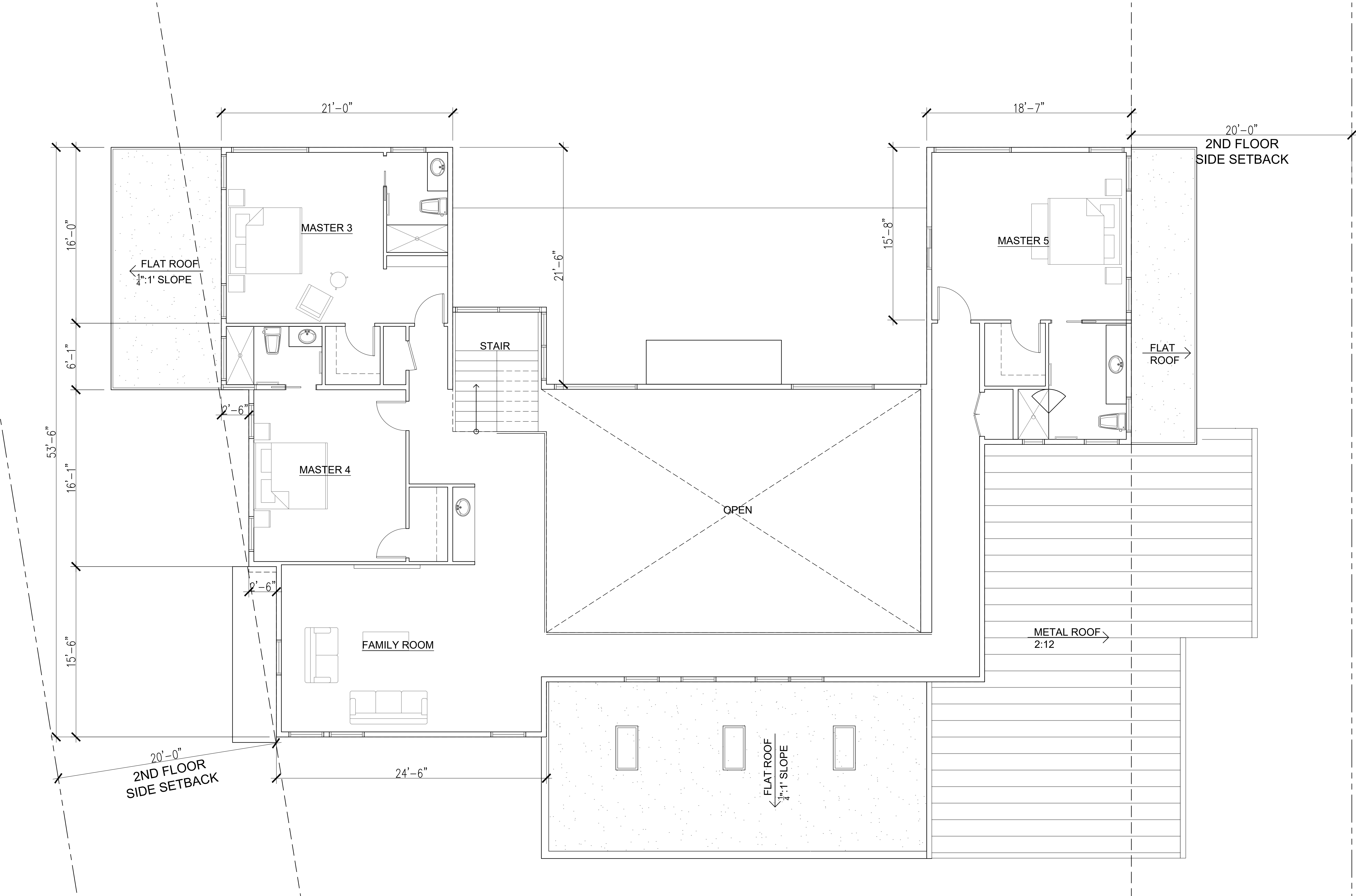
1ST PLANNING SUBMITTAL - COUNTY

DATE 09-26-24

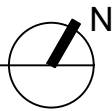
Tectonic Architects & Associates
10118 Bandy Dr. #E
Cupertino, CA 95014
408-216-0804

A1.1





2ND FLOOR PLAN
SCALE: 1/4" = 1'



SECOND FLOOR PLAN

1ST PLANNING SUBMITTAL - COUNTY

DATE 09-26-24

Tectonic Architects & Associates

10118 Bandley Dr. #E
Cupertino, CA 95014
408-216-0804

A2.1

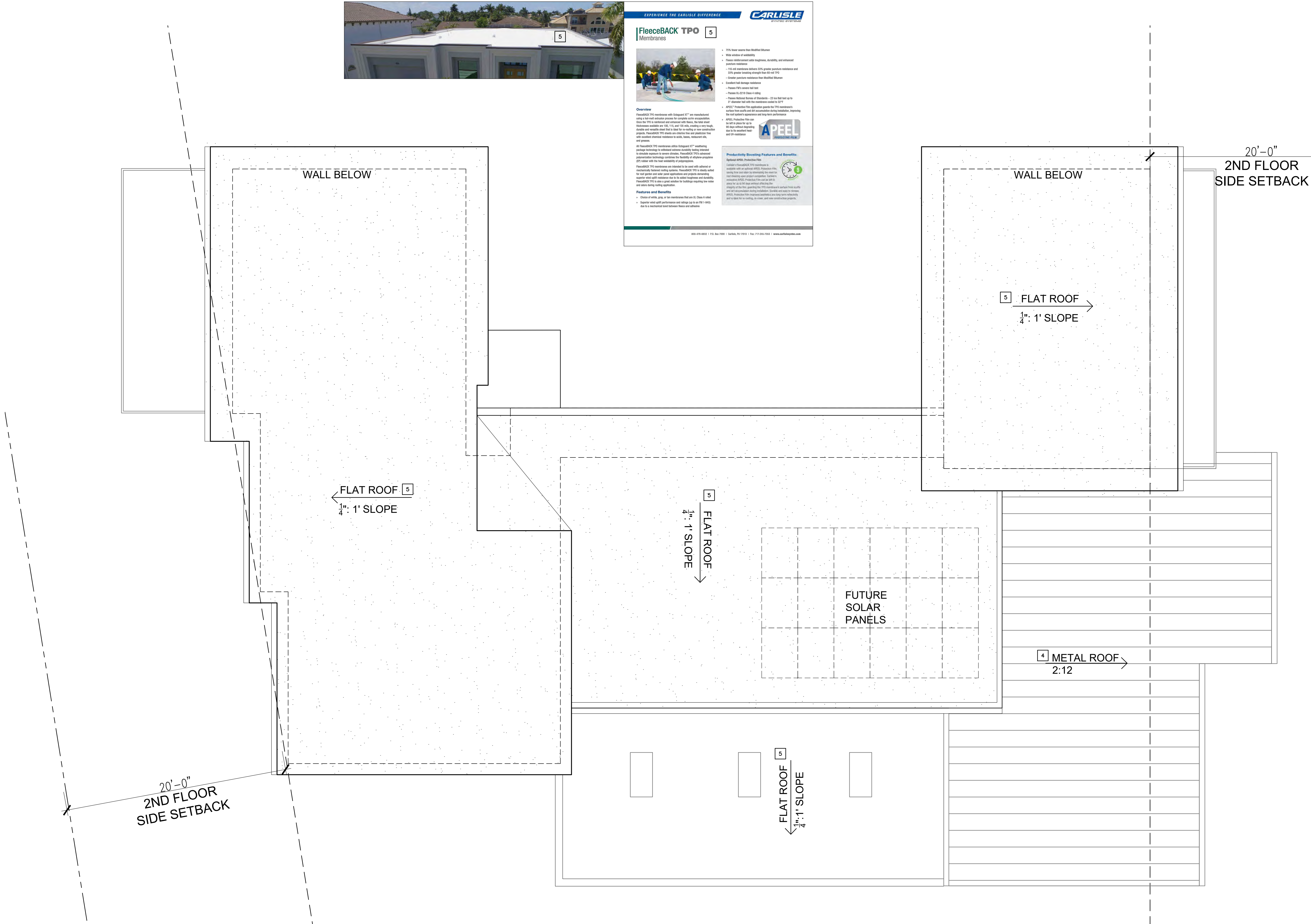
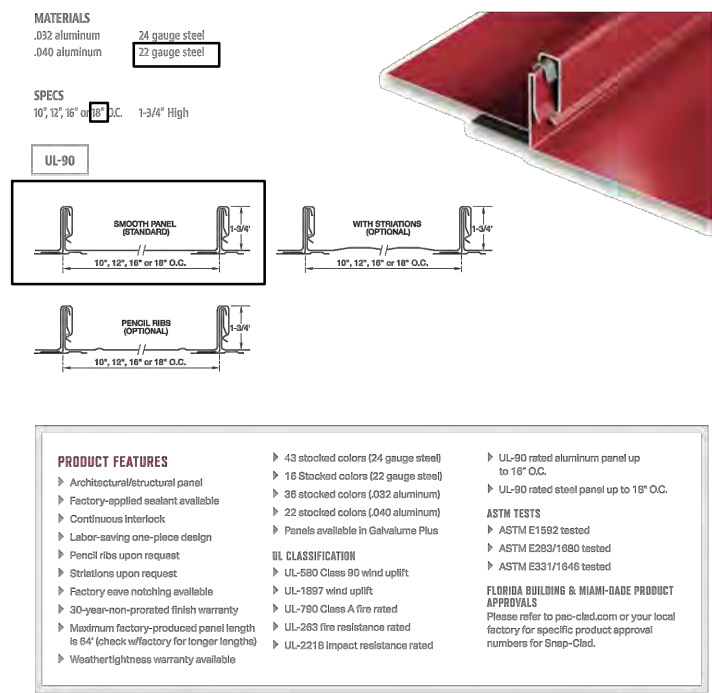


MATERIAL LIST

- 1 CONCRETE PAVER – SEE LANDSCAPE DWGS
- 2 EXTERIOR PORCELAIN TILE OR LIMESTONE– LIGHT GRAY 24X48
- 3 EXTERIOR PORCELAIN TILE – LIGHT GRAY 8X48– WOODPLANK
- 4 METAL ROOF – SNAP CLAD PANEL
- 5 SINGLE PLY ROOFING– CARLIE FLEECEBACK TPO, WHITE
- 6 RETAILING WALL – SEE LANDSCAPE DWGS
- 7 WOOD FENCE – SEE LANDSCAPE DWGS



SNAP-CLAD PANEL 4



-
- This architectural elevation drawing shows a two-story modern residence with a two-car garage. The house features a mix of materials including tan, grey, and light green panels, with dark bronze accents. The elevation includes numerous windows of different sizes and styles, a large glass-enclosed entry, and a stone base for the garage. A color-coded material palette is provided in the top right corner, and a detailed elevation schedule is on the right side.
- Color-Coded Material Palette:**
- 1: Tan
 - 2: Grey
 - 3: Light Green
 - 4: Dark Bronze
 - 5: Tan
 - 6: Grey
 - 7: Light Green
 - 8: Dark Bronze
 - 9: Tan
 - 10: Grey
 - 11: Light Green
 - 12: Dark Bronze
 - 13: Tan
 - 14: Grey
 - 15: Light Green
 - 16: Dark Bronze
 - 17: Tan
 - 18: Grey
 - 19: Light Green
 - 20: Dark Bronze
 - 21: Tan
 - 22: Grey
 - 23: Light Green
 - 24: Dark Bronze
 - 25: Tan
 - 26: Grey
 - 27: Light Green
 - 28: Dark Bronze
 - 29: Tan
 - 30: Grey
 - 31: Light Green
 - 32: Dark Bronze
 - 33: Tan
 - 34: Grey
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 - 88: Dark Bronze
 - 89: Tan
 - 90: Grey
 - 91: Light Green
 - 92: Dark Bronze
 - 93: Tan
 - 94: Grey
 - 95: Light Green
 - 96: Dark Bronze
 - 97: Tan
 - 98: Grey
 - 99: Light Green
 - 100: Dark Bronze
- Elevation Schedule:**
- EL: 25'-0" TOP OF ROOF
 - EL: 11'-0" A.F.F. 2ND FLOOR
 - +0'-0" 245.60' AVERAGE GROUND ELEVATION
 - EL: 244.60'

ELEVATIONS

PRELIMINARY SUBMITTAL - ARB & COUNTY

DATE 03-22-24

Tectonic Architects & Associates

10118 Bandy Dr. #E
Cupertino, CA 95014
408-216-0804

A3.0



Anders Up and Down Outdoor Wall Light
By Rose

Product Options
Finish: Black
Glass: Clear
Light Option: Incandescent

Dimensions
Small Option Backplate: Width 4.6", Height 4.9"
Small Option Plate: Width 9", Height 15", Depth 4.5"

Lighting

Light Type	LED
Total Lumens	2200 L
# of Bulbs	2 (Not Included)
Bulb Type	9W A19 E26
Volt	120
Color Temp	2700 (Warm)
Average Life Expectancy (Hours)	15,000
CR	90
Expendable	Yes

Additional Details
Product URL:
<https://www.lumens.com/anders-up-and-down-outdoor-wall-light-by-rose-NX312074442.html>
Rating: US Listed (UL)

ITEM#: NX312074442

LUMENS
Call Us 877-645-6888

14

Prepared By: [Signature]
Approved By: [Signature]

QR Code

MATERIAL LIST

- 1 STUCCO - PAINTED
- 2 STONE 1 - CORONADO - ELEMENT LEDGSTONE OR EQ.
- 3 STONE TILE 2 - CORONADO STONE - HARVARD GREY OR EQ.
- 4 VINYL WINDOW
- 5 DOOR WITH SIDE LITES, FIBERGLASS / WOOD
- 6 GARAGE DOOR - METAL / FIBER GLASS PAINTED
- 7 ALUMINUM REVEAL TRIM
- 8 STANDING SEAM METAL ROOF
- 9 ALUMINUM FOLDING GLASS DOOR
- 10 MOLDING
- 11 GLASS RAILING W/ METAL FRAME
- 12 METAL GUTTER, DOWN SPOUT, PAINTED DARK BRONZE
- 13 FASCIA BOARD, PAINTED DARK BRONZE
- 14 OUTDOOR WALL LIGHT 1
- 15 OUTDOOR WALL LIGHT 2

STONE 1

STONE TILE 2

PAINT COLOR

- A: BROWN
- B: GREEN BEIGE
- C: GRAY
- D: DARK BRONZE



PLANT LEGEND AND NOTES

Symbol	Species	Size	Water	WUCOLS
	Arctostaphylos Little Sur/ Manzanita @ 60" oc	1 gallon low	.2	
	Achillea millefolium/ Yarrow @ 48" oc	1 gallon low	.2	
	Juncus patens/ California Rush @ 36" oc	1 gallon low	.2	
A	Salvia Allen Chickering/ Sage	5 gallon low	.2	
B	Ribes sanguineum/ Red Currant	5 gallon low	.3	
T1	Quercus agrifolia/ Coast Live Oak	15 gallon low	.2	
T2	Pinus radiata/ Monterey Pine	15 gallon med	.5	

- 1) Preparation of soil to be on an individual plant basis to protect the roots of existing trees to remain.
- 2) Incorporate compost into soil backfill.
- 3) Provide all required tree protection measures per the project arborist report and as determined in the field. Protection measures shall be to the satisfaction of the project arborist and the planning department.
- 4) Verify placement of all plant material prior to planting. Adjust as needed based on proximity to existing trees and project construction.
- 5) All plant material to be sourced from local nurseries only. Resources Code (PRC) Section 4291, only trees grown from locally collected seeds from trees uninfected with pitch canker or Phytophthora ramorum should be used. Special care should be taken to avoid contamination of seedlings with diseased materials. Trees propagated from nonnative genetic stock should not be used in landscaping and forest restoration.
- 6) Spread 3" of wood chip (Prochip Brown Tone, or equal) mulch around the base of all new planting only not in open areas and not within the 5' fire defense zone around the foundation of the house.

Proposed new tree as mitigation from removal of protected trees:
From Denise Duffy & Associated, Inc./ Planning and Environmental Consulting - 9/17/24
(36) T1 - Quercus agrifolia/ Coast Live Oak require for mitigation - (9) proposed at 15 gallon
(3) T2 Pinus radiata/ Monterey Pine required for mitigation - (3) proposed at 15 gallon
See report for other mitigation measures.

Existing tree to remain (Q) for Quercus/ Oak, (P) for Pinus/ Pine

Existing tree to be removed

LIGHTING LEGEND

Low voltage black down lit path/ driveway light - FX or equal

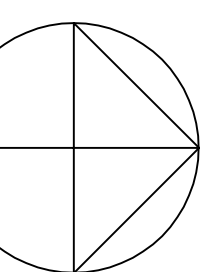
- 1) Verify placement of all landscape lighting at front yard.
- 2) All lighting to be directed downwards.
- 3) Verify electrical and location of transformer.
- 4) All work to be done according to local and state electrical code.



ARCTOSTAPHYLOS ACHILLEA JUNCUS SALVIA RIBES

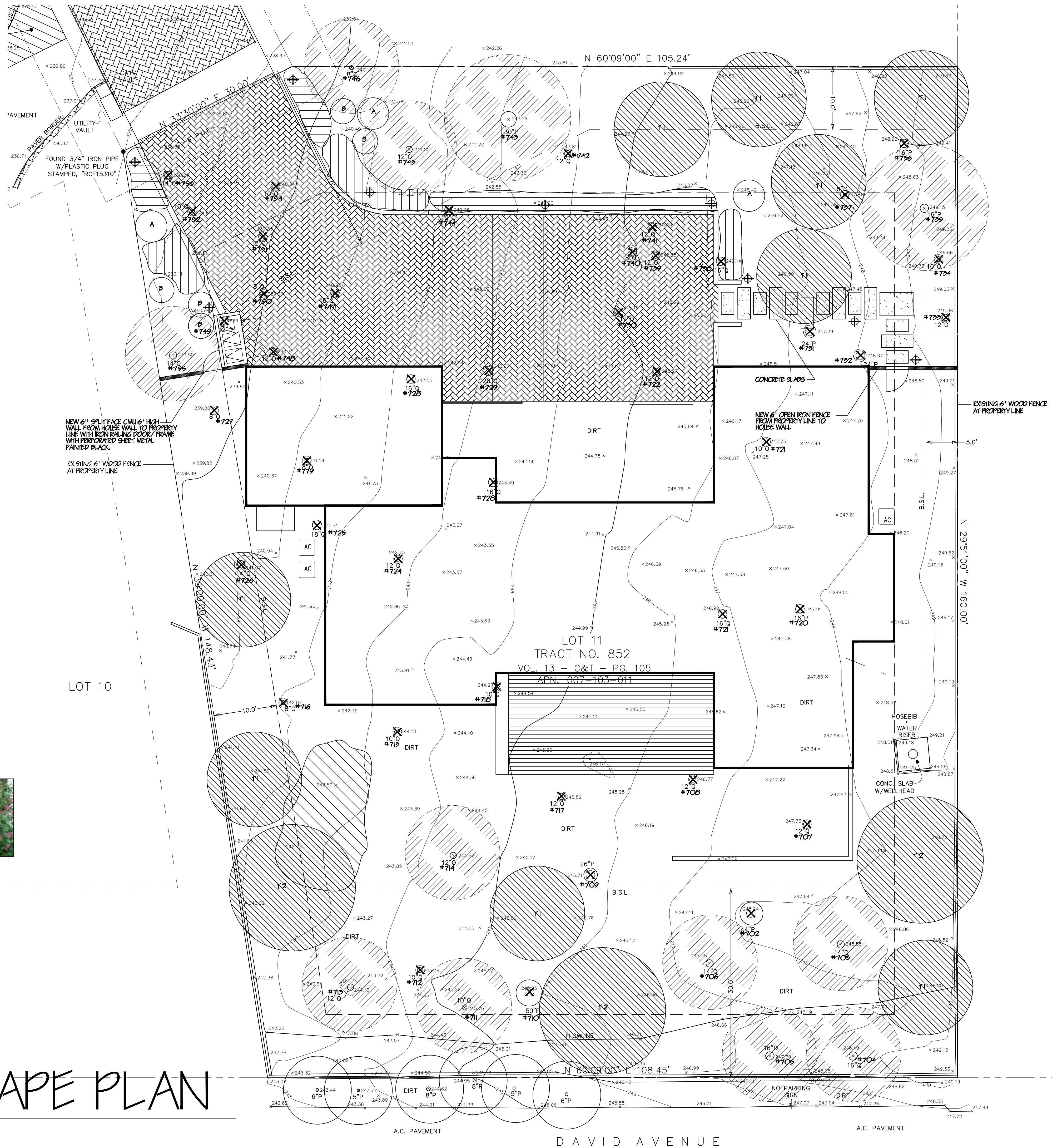


QUERCUS PINUS



MASTER LANDSCAPE PLAN

1/8" = 1'-0"



W. Jeffrey Heid
Landscape Architect
C-2235

1465 Winzer Place
Gilroy, Ca. 95020
tel 408 691-5207
email wjeheid@aol.com

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REVISED 3/18/24
REVISED 5/11/24
REVISED 9/9/24
REVISED 9/20/24
REVISED 11/15/24



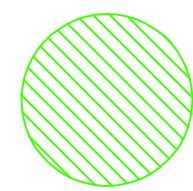
CHING
RESIDENCE

for:
LILLY CHING
2821 CONGRESS ROAD
PEBBLE BEACH, CA. 93955

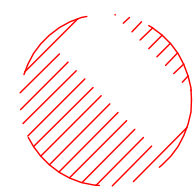
PLANTING PLAN

date: 3/16/24
scale: NOTED
drawn by: W.J.H.
job no. 202404
sheet

1
of shts



Proposed new tree as mitigation from removal of protected trees:
From Denise Duffy & Associated, Inc./ Planning and Environmental Consulting - 9/17/24
(36) T1 - Quercus agrifolia/ Coast Live Oak require for mitigation - (9) proposed at 15 gallon
(3) T2 Pinus radiata/ Monterey Pine required for mitigation - (3) proposed at 15 gallon
See report for other mitigation measures.



Existing tree to remain (Q) for Quercus/ Oak, (P) for Pinus/ Pine



Existing tree to be removed

- | | | |
|----|-----------------------------------|------------------|
| T1 | Quercus agrifolia/ Coast Live Oak | 15 gallon low .2 |
| T2 | Pinus radiata/ Monterey Pine | 15 gallon med .5 |



QUERCUS

PINUS

TREE NOTES

Biological BMP's

Tree removal shall be timed to avoid the breeding and nesting season for raptors and other protected avian species to the extent feasible. If tree removal must occur during the avian breeding and nesting season (approximately February 1 through September 15), a survey for nesting birds shall be conducted no more than 15 days prior to removal of trees. If nesting birds are identified during survey, an appropriate buffer shall be imposed by a qualified biologist which no work or disturbance will take place. A qualified biologist shall be on-site during work re-initiation in the vicinity of the nest offset to ensure that the buffer is adequate and that the nest is not stressed and/ or abandoned. No work shall proceed in the vicinity of an active nest until such time as all young are fledged, or until after September 16, when young are assumed fledged.

Tree Protection and Best Management Practices (BMP's)

Prior to the commencement of project related activities, the following tree BMP's shall be implemented and approved by a qualified arborist or forester:

Trees located adjacent to the construction area shall be protected from damage by construction through the use of temporary fencing and wrapping of trunks with protective materials.

Fencing shall consist of chain link, supported snowdrift or plastic mesh, hay bales, or field fence. Fencing shall have cross bracing (typically 2x4 material) on both the top and lower edges of the fencing material to prevent sagging and provide lateral support. Fencing shall stand a minimum height of four feet above grade and be placed to the farthest extent possible from the base of the trees, protecting the trees drip line area (typically 10-12 feet away from the base of a tree). In the cases where access or space is limited it is permissible to protect trees within the 10-12 foot distance after determination and approval are made by a qualified forester or arborist.

Soil compaction, parking of vehicles or heavy equipment, stockpiling of construction materials, and/ or dumping of materials is not permitted adjacent to trees on the property, especially within fenced areas.

Fenced areas and the trunk protection materials shall remain in place during the entire construction period. Torn or damaged roots shall be cleanly cut to sound wood whenever possible to minimize decay entry points. Any roots found that must be cut should be cut by manually digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root pruning equipment. No tree seals shall be used as the seal material only promotes decay.

A mulch layer up to approximately 4 inches deep should be applied to the ground under-protected trees following construction. Only 1 to 2 inches of mulch should be applied within 1 to 2 feet of the trunk, and under no circumstances should any soil or mulch be placed against the root crown (base) of trees. The best source of mulch would be from chipped material generated on-site.

Irrigation should be that of normal for exterior planting. Normal watering means that soil should be kept evenly moist and watered regularly, as conditions require. Most plants prefer one (1) inch of water a week during the growing season, but care needs to be taken not to over water. It is better to water once (1) a week and water deeply (over 24 inches), than to water frequently for a few minutes.

Tree Pruning

It is to be understood that the pruning of retained trees is expected for this site. Pruning shall conform to the following standards:

Clear the crown of diseased, crossing, weak, and dead wood to a general minimum size of 1-1/2 inch in diameter.

Remove stubs, cutting outside the wound wood tissue that has formed around the branch.

Interior branches shall not be stripped out.

Reduce end weight on heavy, horizontal branches by selectively removing small- diameter branches, no greater than three (3) inches, near the ends of the scaffold. In some cases, larger diameters may be removed depending on the situation (where critical for safety). Pruning cuts larger than four (4) inches in diameter, except for deadwood, shall be avoided, unless deemed crucial for safety (broken, cracked, crossing, rubbing, etc.). Pruning cuts that expose heartwood shall be avoided whenever possible. Pruning shall not be performed during periods of flight of adult boring insects because fresh wounds attract pests (generally spring). Pruning shall be performed only when the danger of infestation has passed.

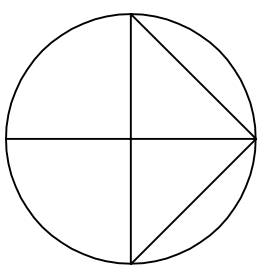
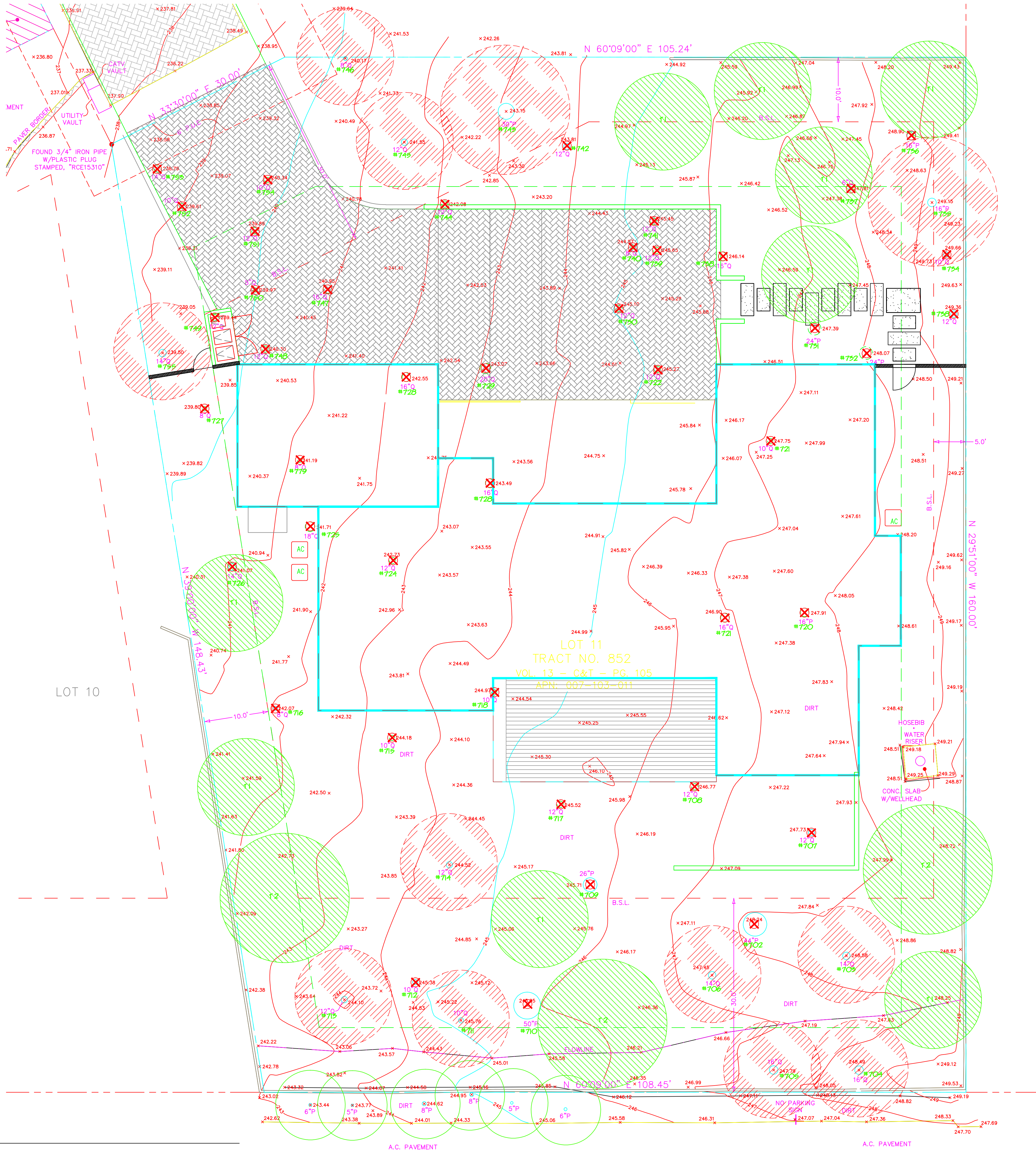
All pruning shall be performed by a qualified arborist or under the supervision of an ISA Certified Arborist or Tree Worker. Arborists are required to have a State of California Contractors License for Tree Service (C-61/ D49) and provide proof of worker's compensation and general liability insurance.

All pruning shall be following the Tree Pruning Guidelines (International Society of Arboriculture) and/ or the ANSI A300 Pruning Standard (American National Standard for Tree Care Operations) and adhere to the most recent edition of ANSI Z39.1.

No more than 20 percent of live foliage shall be removed within the trees.

Brush shall be chipped, and chips shall be spread underneath trees within the tree protection zone to a maximum depth of 6 inches, leaving the trunk clear of mulch.

Following construction, a qualified arborist should monitor trees adjacent to the area of the improvements and if any decline in health that is attributable to the construction is noted, additional trees should be planted on the site.



TREE PLAN

1/8" = 1'-0"

W. Jeffrey Heid
Landscape Architect
C-2235

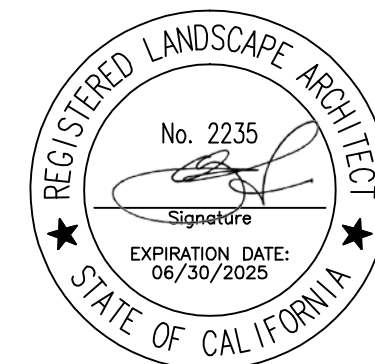
1465 Winzer Place
Gilroy, Ca. 95020
tel 408 691-5207
email wjeheidsla@gmail.com

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REVISED 9/20/24

REVISED 11/15/24



CHING
RESIDENCE

for:

LILLY CHING
2821 CONGRESS ROAD
PEBBLE BEACH, CA. 93955

TREE PLAN

date: 9/9/24

scale: NOTED

drawn by: W.J.H

job no. 202404

sheet

L 2

of shts

Recommendations
Zone O: Ember Resistant Zone
This is the ember resistant zone, which extends 5 feet from buildings, structures, stairs, decks, etc. A properly managed Zone O reduces the likelihood of structure ignition by reducing the potential for flame contact. Flames can be generated from embers that accumulate at the base of a wall and ignite vegetation, vegetative debris, or other combustible materials located close to the structure. Zone O is a critical component of structure defense and, when coupled with Zone 1 and Zone 2, is essential to defensible space. Management of the ember-resistant zone is now required by law (Assembly Bill [AB] 3074) beginning January 1, 2025. This zone includes the area under and around all attached decks and requires the most stringent wildfire fuel reduction. The ember-resistant zone is designed to keep fire or embers from igniting materials that can spread the fire to the home. Packyards are considered Zone O. The following provides maintenance guidance for this zone.

- * Use hardscape like gravel, pavers, concrete, and other noncombustible mulch materials. No synthetic lawns, combustible bark, woodchips, or mulch. No lumber or round logs, railroad ties, or creosote-treated or pressure-treated wood.
- * No combustible attached trellis, pergola, shade covering, planters, privacy wall, etc.; no combustible storage structures (e.g., woodsheds, potting bench, etc.); and replace combustible fencing, gates, and arbors attached to the home with noncombustible alternatives.
- * Wooden fences should not be directly attached to the residence, and a 10-foot non-combustible section (e.g., metal gate) should be placed between the wooden section of the fence and the house.
- * Potted plants should not exceed 2 feet in vegetation height and must be contained in non-combustible containers (no wooden planter boxes, wine barrels, etc.).
- * Remove all dead and dying weeds, grass, plants, shrubs, trees, branches, and vegetative debris (i.e., leaves, needles, cones, bark, etc.).
- * Check roofs, gutters, decks, porches, stairways, etc. for accumulated debris, leaf litter, and other flammable materials; clean regularly.
- * Remove all branches within 10 feet of any chimney or stovepipe outlet.
- * Limit plants in this area to low-growing, nonwoody, properly maintained plants.
- * Limit combustible items (e.g., outdoor furniture, planters, etc.) on top of decks.
- * Trim and prune woody vegetation that extends into Zone O. No trees should be planted if their canopy at maturity can be expected to extend closer than 5 feet to the structure's roof, balcony, decks, or exterior wall (10 feet from any chimney or stovepipe outlet).
- * Consider relocating garbage and recycling containers, woodsheds, and BBQs (propane) outside this zone.

Zone 1: Lean, Clean, and Green Zone

Zone 1 is the second layer of a defensible perimeter around a residential structure in wildfire prone areas. It is designed to provide an additional level of protection for the building or structure, extending from 5 feet to 30 feet away from the structure and any attached balconies, patios, or outbuildings. The goal of fuel management in Zone 1 is to remove excess vegetation and to maintain the landscaping in a way that reduces ignition of the structure via heat transfer from burning vegetation. It also provides firefighters with space and access to protect the structure in case of a wildfire.

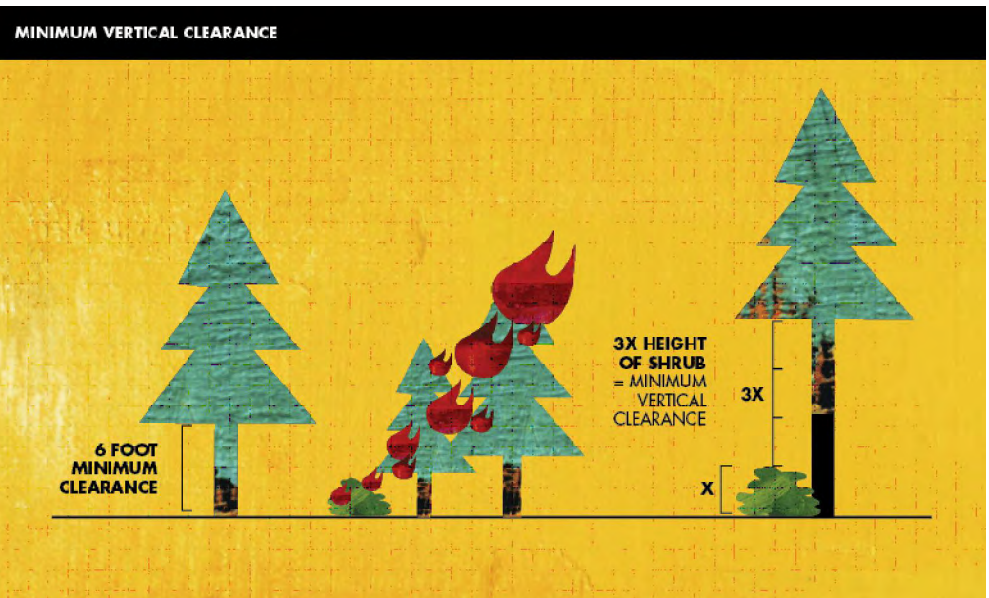
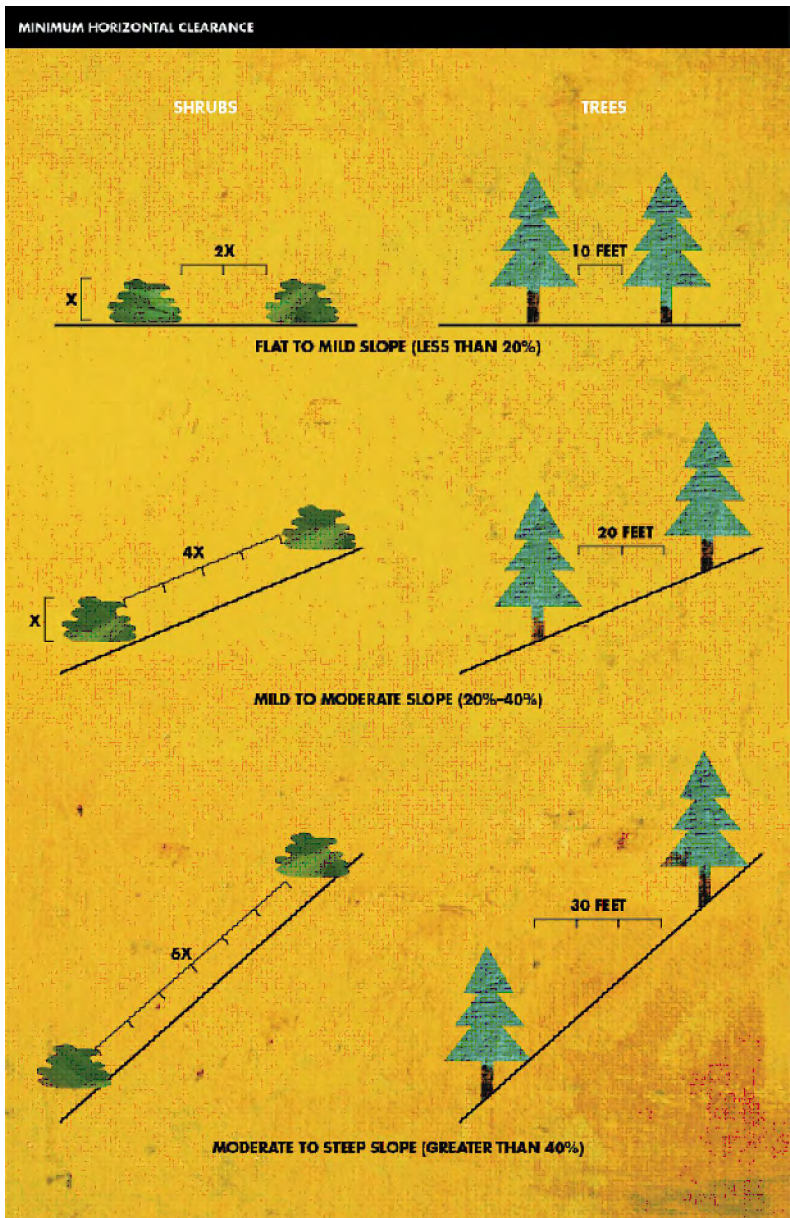
Fuel management in Zone 1 involves moving, removing dead or dying plants, ladder fuels, pruning vegetation, and hauling away all materials. Remove branches that overlap with the roof or are closer than 10 feet from windows and chimneys. Dead vegetation removal includes fallen leaves, needles, twigs, bark, cones, and small branches. Cut and mow annual grass and herbaceous plants down to a height of 4 inches. Mow before 10:00 a.m. and never on a hot or windy day. String trimmers are a safer option (versus lawnmowers) for clearing vegetation. Avoid removing all vegetation to bare soil, as this may cause erosion.

Vertical Spacing: An important aspect of vegetation management in Zone 1 is vertical spacing of trees, shrubs, and grasses (see Figure 7). Large trees do not need to be cut and removed as long as they fulfill the horizontal spacing requirement (see below) and all of the plants beneath them are managed to remove vertical fuel ladders. Healthy trees should be pruned (i.e., limbed) at least 6 feet from the ground. Allow extra vertical space between shrubs and trees. Lack of vertical space can allow a fire to move from the ground to the brush to the treetops like a ladder. This leads to more intense fire closer to the home. To create vertical spacing and reduce fuel ladders created by shrubs under trees, tree branches should be limbed to a height of at least three times the height of the shrub.

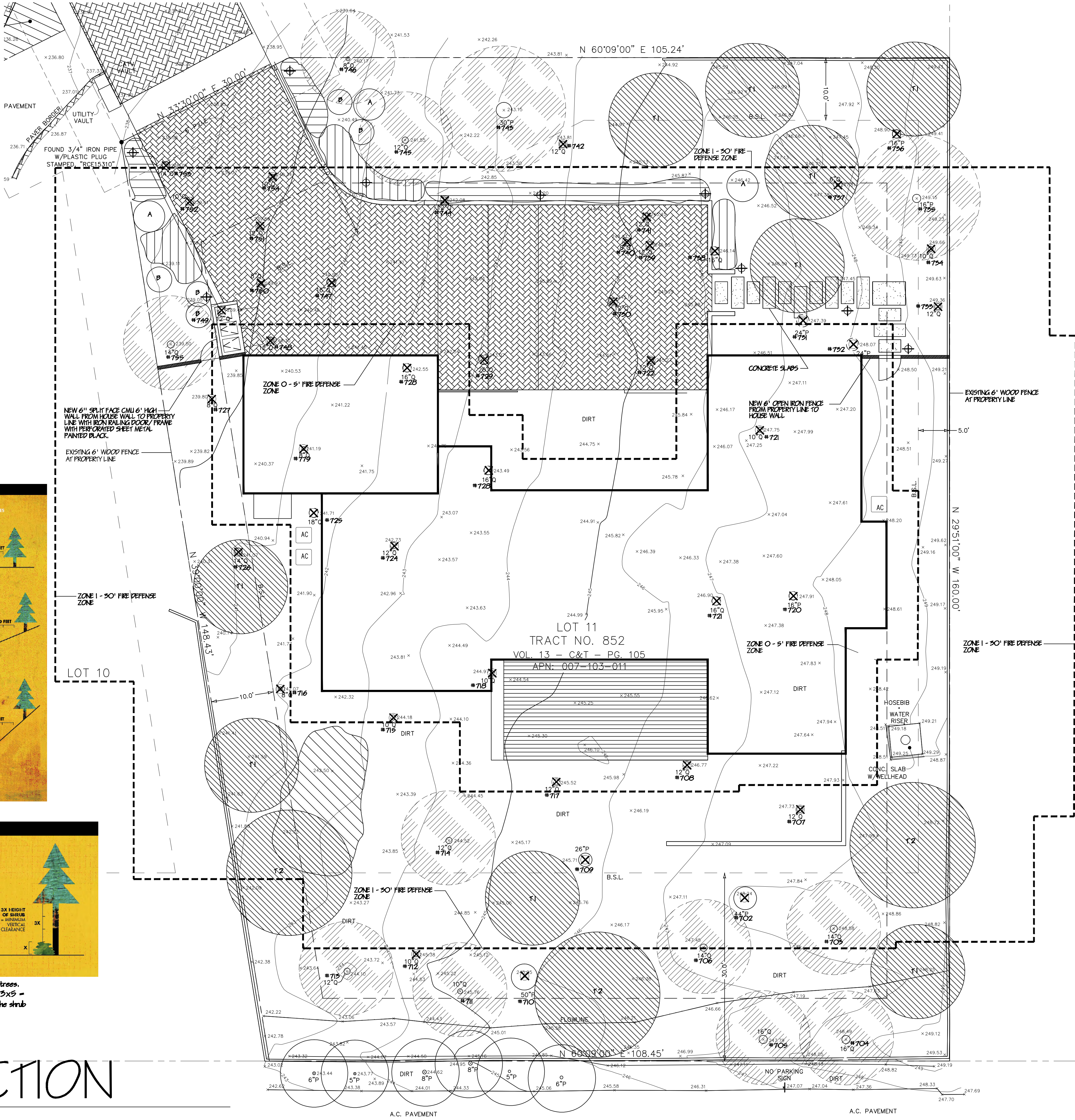
- * Place any woodpiles in Zone 2; establish a 10-foot clearance down to bare mineral soil around woodpiles.
- * Wood mulch is acceptable in Zone 1 if there is a transition from Zone 1 to Zone O and if the vegetation in Zone 1 is grouped/ clumped with the required horizontal distance.

Zone 2: Fuel Reduction Zone

Fuel management in this zone aims at reducing the potential behavior of an incoming fire to prevent rapid spread of wildfire from plant to plant and to reduce flame lengths. Zone 2 actions reduce the amount of fuels, especially dead vegetation (e.g., leaves, needles, twigs, bark, cones, and small branches). Grasses and herbaceous vegetation should be mowed to a height of 4 inches. Mowing should occur before 10:00 a.m. and never on a hot or windy day. String trimmers are preferred, because they pose a low risk of sparking. Spacing of trees and shrubs is similar to that of Zone 1, with a greater focus on vertical spacing (i.e., no ladder fuels). Horizontal space between trees should maintain a gap of at least 10 feet from the next tree. Where canopies overlap, selective removal of smaller trees can maintain the desired horizontal and vertical spacing of trees. Overlapping tree canopies should be avoided. Shrubs may be aggregated in clumps or islands that are well isolated from the surrounding shrubs and tree canopies. Spacing of shrubs and trees along fences should be managed according to the requirements of Zone O (i.e., 5-foot clearance to all structures).



Maintain a vertical clearance between shrubs and trees.
Example: A five foot shrub is growing near a tree. 3x5 = 15 feet of clearance needed between the top of the shrub and the lowest tree branch.



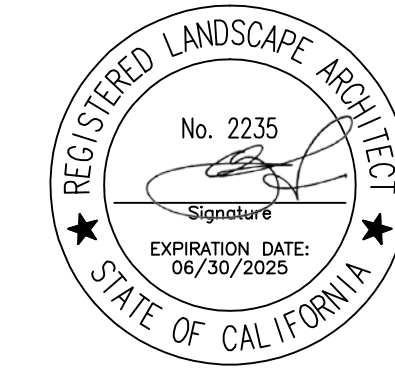
W. Jeffrey Heid
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1465 Winzer Place
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REVISED 9/20/24
REVISED 11/15/24



CHING
RESIDENCE

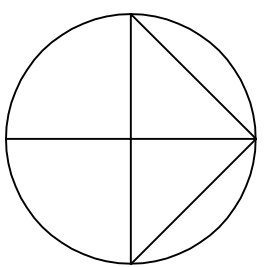
for:
LILLY CHING
2821 CONGRESS ROAD
PEBBLE BEACH, CA. 93955

WILDFIRE
PROTECTION

date: 9/9/24
scale: NOTED
drawn by: W.J.H.
job no. 202404
sheet

L 3

of shfs



WILDFIRE PROTECTION

1/8" = 1'-0"

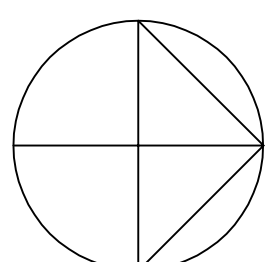
DAVID AVENUE

<u>ETAF Calculations</u>		Average ETAF for Regular Landscapes Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.
Regular Landscape Areas		
Total ETAF x Area	916	
Total Area	2945	
Average ETAF	0.31	
All Landscape Areas		
Total ETAF x Area	916	
Total Area	2945	
Average ETAF	0.31	

0.45	Non-Residential
0.55	Residential
0.81	Drip
0.75	Overhead



of shits


$$1/\delta'' = 1' - O''$$

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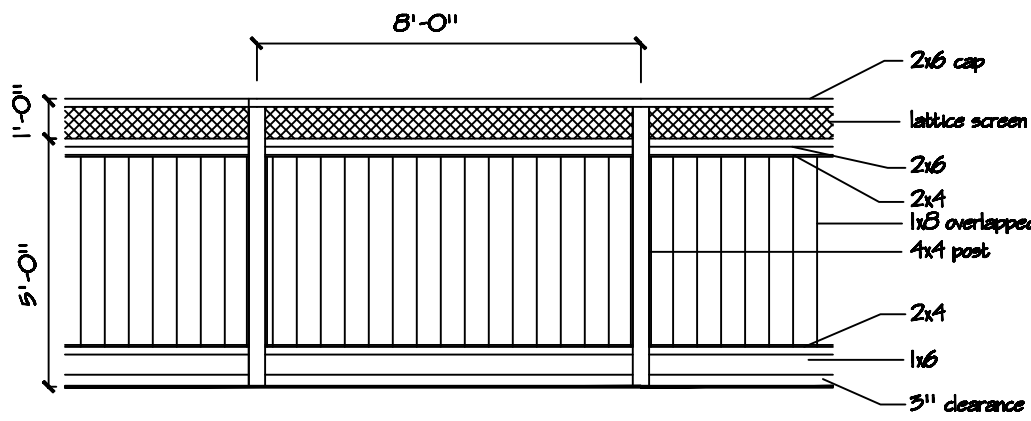
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REVISED 5/11/24

REVISED 9/9/24

REVISED 9/20/24

REVISED 11/15/24

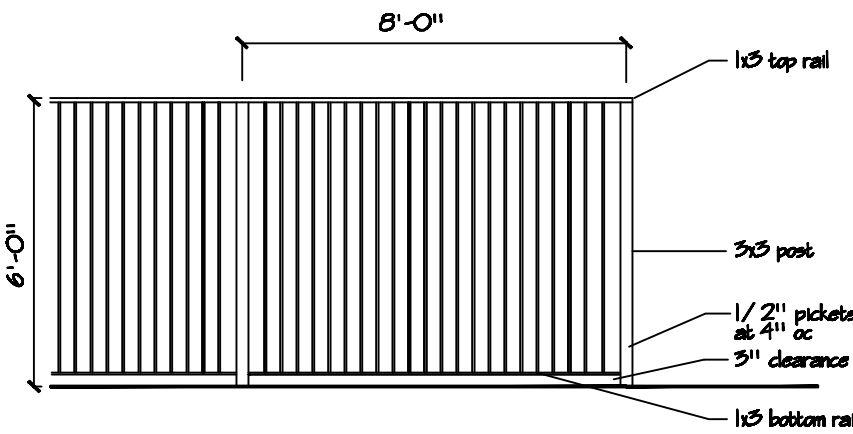


6' GOOD NEIGHBOR FENCE

1/4" = 1'-0"

PROPERTY LINE FENCE

(For any new or replacement fencing)



6' IRON SECURITY FENCE

1/4" = 1'-0"

FENCING ADJACENT TO HOUSE

(For new fencing - black iron)



BELGARD CATALINA GRANA PAVER

(For driveway - in Scandia Gray color)



CHING
RESIDENCE

for:

LILLY CHING
2821 CONGRESS ROAD
PEBBLE BEACH, CA. 93953

DETAILS

date: 3/18/24

scale: NOTED

drawn by: W.J.H

job no. 202404

sheet

L 5

of shes