

Exhibit A

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DRAFT RESOLUTION

Before the Housing and Community Development Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of:

ALLEN TIMOTHY K & ALLEN LYNN M TRS (PLN230241)

RESOLUTION NO. 24-

Resolution by the Monterey County HCD Chief of Planning:

- 1) Considering the previously certified Final Environmental Impact Report (FEIR) for the Del Monte Forest Local Coastal Program Amendment and the Pebble Beach Company (PBC) Concept Plan, pursuant to Section 15162 of the CEQA Guidelines;
- 2) Approving a Coastal Administrative Permit and Design Approval to allow the construction of a 1,142 square foot accessory dwelling unit with an attached 525 square foot two-car garage and associated site improvements including the removal of 6 Monterey pine trees; and
- 3) Approving a Coastal Administrative Permit for the conversion of an existing 636 square foot accessory dwelling unit into a 636 square foot non-habitable accessory structure.

[PLN230241 ALLEN TIMOTHY K & ALLEN LYNN M TRS, 28 POPPY LANE, PEBBLE BEACH, DEL MONTE FOREST LAND USE PLAN, COASTAL ZONE (APN: 008-032-012-000)]

The ALLEN TIMOTHY K & ALLEN LYNN M TRS application (PLN230241) came on for an administrative decision hearing before the Monterey County HCD Chief of Planning on August 21, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Monterey County HCD Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan (DMF LUP);

- Monterey County Coastal Implementation Plan, Part 5 (DMF CIP);
- Monterey County Zoning Ordinance (Title 20); and
- Pebble Beach Company (PBC) Concept Plan.

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and/or regulations of the applicable Monterey County Code (MCC). The subject property is located within the Coastal Zone; therefore, the 2010 Monterey County General Plan does not apply.

- b) Allowed Use. The property is located at 28 Poppy Lane, Pebble Beach (Assessor's Parcel Number 008-032-012-000), Del Monte Forest Land Use Plan, Coastal Zone. The parcel is zoned Low Density Residential with Building Site and Design Control overlays in the Coastal Zone or "LDR/B-6-D(CZ)". The project involves the conversion of an existing Accessory Dwelling Unit (ADU) into a non-habitable accessory structure and the construction of a new 1,142 square foot ADU with an attached 525 square foot two-car garage. The project results in approximately 730 cubic yards of cut and 10 cubic yards of fill and the removal of 6 Monterey pine. LDR zoning allows for the development of an Accessory Dwelling Unit and non-habitable accessory structures, subject to the granting of a Coastal Administrative Permit. Design Control or "D" overlay requires design review of structures is appropriate to assure protection of the public viewshed, neighborhood character, and to assure the visual integrity of certain developments without imposing undue restrictions on private property. Therefore, the project is an allowed land use for this site subject to a Coastal Administrative Permits and Design Approvals.
- c) Lot Legality. The subject property (1.32 acres), APN 008-032-012-000, is shown in its current size and configuration as Lot 5, Tract No. 1515, Del Monte Forest Plan – Poppy 1 (Area F-2), recorded on July 16, 2014 (Volume 24, Maps of "Cities and Town", Page 36). Therefore, the County recognizes the subject property as a legal lot of record.
- d) Design/Neighborhood and Community Character. Pursuant to MCC Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. While the converted non-habitable accessory structure is proposed to have no exterior changes, the primary exterior colors and materials proposed for the new ADU will match the existing single family dwelling and accessory structure and include the following:
- Dark beige smooth stucco;
 - Natural dry stacked Carmel stone accents;
 - Wood framed windows; and
 - Aluminum roofing.

Preliminary approval was also granted from the Del Monte Forest Architectural Review Board. Therefore, as proposed, the project assures protection of the public viewshed, is consistent with the neighborhood character, and assures visual integrity.

- e) Visual Resources. The subject property is not identified as an area where the Local Coastal Program may require visual public access (Figure 3, Visual Resource, in the DMF LUP). Based on review of the application materials, the development proposal will not interfere with visual access along 17-Mile Drive or any common public viewing area or vista point. The proposed project site is not visible within the public viewshed nor from 17- Mile Drive due to location (spatial distance from 17-Mile drive), existing forestation, road alignment, and existing topography.
- f) Development Standards. The project meets all required development standards. The development standards for the Building Site or “B” District are identified in Title 20, Section 20.42.030. Development within this district, specifically B-6, shall meet the required setbacks unless otherwise indicated on a recorded final map. For the subject property, the recorded final map identifies a building envelope with a front setback of 20 feet, side setback of 10 feet, and rear setback of 10 feet. As proposed, the ADU and non-habitable accessory structures are within the building envelope identified on the final map. The maximum allowed height for accessory structures (habitable and non-habitable) in LDR district is 15 feet from average natural grade. As proposed, ADU and attached is approximately 12 feet 7 inches from average natural grade and the non-habitable accessory structure will maintain its existing height of 15 feet from average natural grade. LDR district limits lot coverage to 15 percent and floor area ratio 20 percent. As proposed the addition of the ADU and attached garage will bring the lot of coverage total to approximately 14.94 percent and floor area ratio to approximately 17.48 percent.
- g) Combined Structural and Impervious Surface Coverage. The project is located within the Pescadero Watershed and is consistent with DMF LUP, Land Use and Development Policy 77, which limits new residential development within the Seal Rock Watershed to a maximum of 9,000 square feet of site coverage which shall include both structural and other impervious surface coverage. With the addition of the proposed ADU and attached garage, the total development includes 8,970 square feet of structural and impervious surface site coverage and is therefore consistent with Policy 77.
- h) Driveway. The project is consistent with development standards for driveways found in the DMF LUP (Policy 1) and DMF CIP (Section 20.147.030.A.1.a) which indicates that new residential driveways and other vehicular surfaces shall be sited and designed: to minimize surface length and width as much as possible and still provide simple and direct access, to minimize runoff; and to filter and treat runoff from such surfaces prior to discharge offsite and/or to sensitive receptors. As proposed, the new driveway will provide direct access from the ADU to Poppy Lane, as well as providing adequate fire and emergency response access. In this case, the driveway is made of a permeable surface that matches the existing and provides access in the most simple and direct location that minimizes surface length and width. As proposed, the development achieves the policy goal of providing simple and direct access to the property, as well as providing adequate fire and emergency

response access. Therefore, the driveway meets the requirements of DMF LUP and DMF CIP.

- i) Cultural Resources. DMF CIP Section 20.147.080.B.1 states that an archaeological survey report shall be required for all development within a known or potential archaeological resource area. According to the Monterey County Geographic Informational System (GIS), the subject property has a moderate archaeological sensitivity and is not within 750 of a known archeological resource. Previous archaeological reports prepared for Area F-2 (LIB100404 and LIB100268), most recently for the PBC Concept Plan, concluded that there is no surface evidence of potentially significant archaeological resources. The potential for inadvertent impacts to cultural resources is limited and will be controlled by use of the County's standard condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- j) Development Impact Area. The project's impact area is below 15,000 square feet, which was presumed and analyzed in the FEIR for total structural, hardscape, and landscape development for the subject property (see Finding 6 and supporting evidence). As proposed, the Applicant has located the new development within the most open area of the site resulting in a development impact area of 11,399 square feet, including the removal of 6 Monterey pine trees. Further, the project has been conditioned requiring the Applicant to submit a final Landscape Plan to ensure any new landscape area associated with the development does not result in exceeding the limitation of 6,000 square feet in total for the property. As demonstrated above, the project as proposed and conditioned is in conformance with the previously certified FEIR and the previously approved PBC Concept Plan.
- k) Tree Removal. The proposed project includes the removal of 6 Monterey pines. As demonstrated in Finding No. 4 and supporting evidence, tree removal in this case was anticipated and approved with the PBC Concept Plan.
- l) Land Use Advisory Committee (LUAC) Review. The project was not referred to the DMF LUAC for review. Based on the currently LUAC Guidelines, this project did not warrant referral.
- m) The project planner conducted a site inspection on July 11, 2024, to verify that the project on the subject parcel conforms to the plans listed above.
- n) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230241.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (Fire). County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and

there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

- b) Staff identified potential impacts to soil/slope and trees. The following reports have been prepared:
 - Geotechnical Investigation Update Report (LIB240161) prepared by Soil Surveys Group, INC., Salinas, CA, June 20, 2024.
 - “28 Poppy Lane tree impact assessment addendum letter” (LIB240034) prepared by Thompson Wildland Management, Monterey, CA, January 8, 2024.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on July 11, 2024, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230241.

3. FINDING: **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (Fire). The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided. Sewer service will be provided by the Pebble Beach Community Service District (PBCSD). The wastewater collection and treatment system have adequate remaining capacity for sewage disposal, so the proposed residence will be serviced by the PBCSD, which then transfers wastewater to the Carmel Area Wastewater District treatment facility. Water will be provided by the California American Water Company. The proposed residence will use water credits purchased from Pebble Beach Company (PBC), and which were allocated for development of properties approved under the PBC Concept Plan (Planning File No. PLN100138). The proposed development would also include required storm water drainage facilities. The public facilities for the project have been reviewed and found acceptable by the Environmental Health Bureau.
 - c) Staff conducted a site inspection on July 11, 2024, to verify that the site is suitable for this use.

- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230241.

4. FINDING: **TREE REMOVAL** – The siting, location, size, and design has been established to minimize tree removal and has been limited to that required for the overall health and long-term maintenance of the property.

- EVIDENCE:**
- a) The previously approved PBC Concept Plan (HCD-Planning File No. PLN100138; Board Resolution Nos. 12-148 and 12-149) allows the build-out development and preservation of remaining undeveloped PBC properties located within the DMF Coastal Zone. The Poppy 1 Subdivision (Area F-2) was one of the approved sub-projects under PLN100138. The approval of the Concept Plan included a Coastal Development Permit to allow tree removal; therefore, subsequent Coastal Development Permits to allow tree removal are not required provided the proposed development is consistent with the parameters of the Concept Plan.
 - b) The tree removal proposed as part of the PBC Concept Plan was also analyzed in the FEIR (SCH#2011041028) and mitigated for off-site tree preservation. The FEIR analysis presumed a development impact area on each residential lot of up to 15,000 square feet of structural, hardscape, and landscape development. Additionally, DMF CIP, Section 20.147.050.C.4 (Forest Resources), requires proposed development projects to be sited and designed to minimize tree removal.
 - c) The project resulted in the removal of 6 native trees, which are due to construction related impacts and poor conditions. As proposed, the Applicant has designed the subject development on the most open area of the site. The development impact area of 11,399 square feet resulted in the removal of 6 Monterey pine trees is in conformance with the previously certified FEIR and the previously approved PBC Concept Plan. Therefore, a subsequent Coastal Development Permit to allow tree removal is not required for this project.
 - d) In accordance with the prepared Arborist report (LIB240034), staff has applied the standard migratory bird nesting condition to ensure that no active raptor or migratory bird nests occur within the project site or immediate vicinity prior construction. Additionally, the standard tree and root protection condition has been applied to the project to ensure that trees not proposed for removal are not impacted during construction or during removal of approved trees.
 - e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230241.

5. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on July 11, 2024, and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230241.

6. FINDING: CEQA (Consider the Previously-Certified Final Environmental Impact Report) – The project is consistent with the previously certified Final Environmental Impact Report (FEIR) for the Del Monte Forest Local Coastal Program Amendment and the Pebble Beach Company Concept Plan. Pursuant to Section 15162 of the California Environmental Quality Act (CEQA) Guidelines, when an EIR has been certified, no subsequent EIR shall be prepared for that project unless the lead agency determines one or more of the following:

- i. Substantial changes are proposed in the project which will require major revisions of the previous EIR;
- ii. Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revision of the previous EIR; or
- iii. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete.

- EVIDENCE:**
- a) Pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162, when an EIR has been certified, no subsequent EIR shall be prepared for the project unless the agency determines that substantial changes are proposed, or substantial changes occur with respect to the circumstances under which the project is undertaken. In this case, no new information has been presented to warrant further environmental review. None of the conditions described in Section 15162 calling for preparation of a subsequent EIR or negative declaration have occurred.
 - b) The Del Monte Forest (DMF) Agreement between the California Coastal Commission (CCC) and Pebble Beach Company (PBC) formed the basis for a Local Coastal Program (LCP) Amendment and development proposal, known as the PBC Concept Plan. The LCP Amendment was required to establish the regulatory framework for the development proposal, consisting of the build-out development and preservation of the remaining undeveloped PBC properties located within the Coastal Zone of the DMF. The subject parcel was part of the PBC Concept Plan development proposal.
 - c) On May 9, 2012, the CCC unanimously certified the amendment as submitted.
 - d) On May 22, 2012, the Monterey County Board of Supervisors acknowledged receipt of the CCC resolution certifying the LCP Amendment and adopted the LCP Amendment by adopting a resolution

to amend the DMF Land Use Plan and adopting an ordinance to amend the Monterey County Coastal Implementation Plan.

- e) On June 19, 2012, the Board of Supervisors certified the Final EIR (SCH# 2011041028) prepared for DMF LCP Amendment and PBC Concept Plan development proposal, pursuant to Board Resolution Nos. 12-148 and 12-149. The LCP Amendment became effective on June 22, 2012.
- f) The project proposed residential development on a 1.32 acre lot identified in the Poopy 1 subdivision (Area F-2) as Lot 5, which was considered and analyzed in the certified FEIR for the LCP Amendment and the PBC Concept Plan development proposal.
- g) The FEIR identifies the lot to be impacted by up to 15,000 square feet of structural, hardscape, and landscape improvements. The project includes structural and impervious surfaces less than 9,000 square feet. In accordance with the PBC Concept plan, the LCP Amendment and the FEIR, a non-standard condition of approval (Condition No. 8) has been applied to ensure landscaping on the parcel does not exceed 6,000 square feet. Tree removal proposed as part of this project was analyzed in the FEIR and mitigated for off-site replacement.
- h) No adverse environmental effects were identified during staff review of the development application during a site visit on July 11, 2024.
- i) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230241.

- 7. FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.147.130 of the Monterey County Coastal Implementation Plan can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 8, Major Public Access and Recreational Facilities, in the DMF LUP).
 - d) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access (Figure 3, Visual Resources, and Figure 8, Major Public Access and Recreational Facilities, in the Del Monte Forest Land Use Plan).
 - e) Based on the project location, and its topographical relationship to visual public access points in the area, the development proposal will not interfere with visual access along 17-Mile Drive or from Point Lobos. Consistent with DMF LUP Policies 123 and 137, the proposed development will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity.

- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230241.

8. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Coastal Commission. Pursuant to Section 20.86.080.A of the Monterey County Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea (i.e., State Route/Highway 1).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Consider the previously certified Final Environmental Impact Report (FEIR) for the Del Monterey Forest Local Coastal Program Amendment and the Pebble Beach Company (PBC) Concept Plan and finds the project consistent with the FEIR pursuant to Section 15162 of the CEQA Guidelines;
 2. Approve a Coastal Administrative Permit and Design Approval to allow the construction of a 1,142 square foot accessory dwelling unit with an attached 525 square foot two-car garage and associated site improvements including the removal of 6 Monterey pine trees; and
 3. Approve a Coastal Administrative Permit for the conversion of an existing 636 square foot accessory dwelling unit into a 636 square foot non-habitable accessory structure.
- All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 21st day of August 2024.

Melanie Beretti, AICP
Acting, HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or

until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230241

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Coastal Administrative Permit and Design Approval (PLN230241) allows construction of a new 1,142 square foot accessory dwelling unit with an attached 525 square foot two-car garage, conversion of an existing 600 square foot accessory dwelling unit into 636 square foot non habitable accessory structure, and removal of 6 Monterey pine trees. Site improvements include grading consisting of approximately 730 cu. yds. of cut and 10 cu. yds. of fill. . The property is located at 28 Poppy Lane, Pebble Beach (Assessor's Parcel Number 008-032-012-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Coastal Administrative Permit and Design Approval (Resolution Number _____) was approved by HCD - Chief of Planning for Assessor's Parcel Number 008-032-012-000 on August 21, 2024. The permit was granted subject to 12 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD049 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to beginning any tree removal, trees which are located close to trees approved for removal shall be protected from inadvertent damage from equipment or tree removal activity by fencing off the canopy drip-lines and/or critical root zones (whichever is greater) with protective materials. Any tree protection measures recommended by a County-approved tree consultant, in addition to the standard condition, shall be implemented. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to construction or tree removal, the Owner/Applicant/Tree Removal Contractor submit evidence of tree protection to HCD -Planning for review and approval.

After construction or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit photos of the trees on the property to HCD -Planning to document that the tree protection has been successful or if follow-up remediation measures or additional permits are required.

6. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

7. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

8. PDSP01 - LANDSCAPE LIMITATION (NON-STANDARD)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Pursuant to the EIR certified for the Pebble Beach Company Concept Plan and the Del Monte Forest Local Coastal Plan Amendment (Planning File No. PLN100138), the environmental analysis is based on a total development footprint of 15,000 square feet per lot - comprised of 9,000 square feet of structural and hardscape coverage, and 6,000 square feet of landscaping. Therefore, landscaping on the subject lot shall be limited to no more than 6,000 square feet. Aside from the 15,000 square feet of allowed development footprint, all areas of the lot shall remain as native Monterey pine forest habitat. (HCD-Planning)

Compliance or Monitoring Action to be Performed: On an on-going basis, landscaping on the subject lot shall be limited to no more than 6,000 square feet.

9. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

10. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

11. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

12. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

FUEL MANAGEMENT PLAN NOTES:

ALL NEW PLANT MATERIAL ON PROPERTY WILL BE IRRIGATED WITH DRIP IRRIGATION. ONLY EXISTING VEGETATION ON SITE ARE MATURE TREES. ALL TREES ONSITE TO BE KEPT FREE OF DEAD WOOD.

GREEN ZONE: 0'-30' AWAY FROM HOUSE.

GUIDELINES AS FOLLOWS:

- ALL DRY AND DEAD GRASS KEPT TO A HEIGHT OF 4"
- MAINTAIN THE ROOF AND GUTTERS OF STRUCTURE FREE OF LEAVES, NEEDLES, OR OTHER DEAD VEGETATION GROWTH
- MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD WOOD
- TRIM TREE LIMBS THAT EXTEND WITHIN 10' OF THE OUTLET OF A CHIMNEY
- TRIM DEAD PORTIONS OF TREE LIMBS WITHIN 10' FROM THE GROUND
- REMOVE ALL DEAD FALLEN MATERIAL UNLESS IT IS EMBEDDED IN THE SOIL
- REMOVE ALL CUT MATERIAL FROM THE AREA
- MAINTAIN SCREEN OVER CHIMNEY OUTLET

MANAGEMENT ZONE: 30' - 100' AWAY FROM HOUSE.

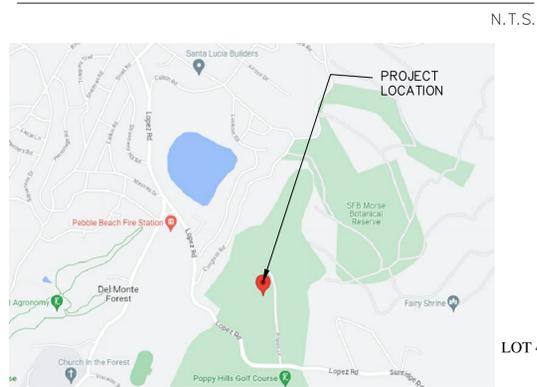
GUIDELINES AS FOLLOWS:

- KEEP ANY NON IRRIGATED VEGETATION LOW TO THE GROUND

EMERGENCY VEHICLE ACCESS:

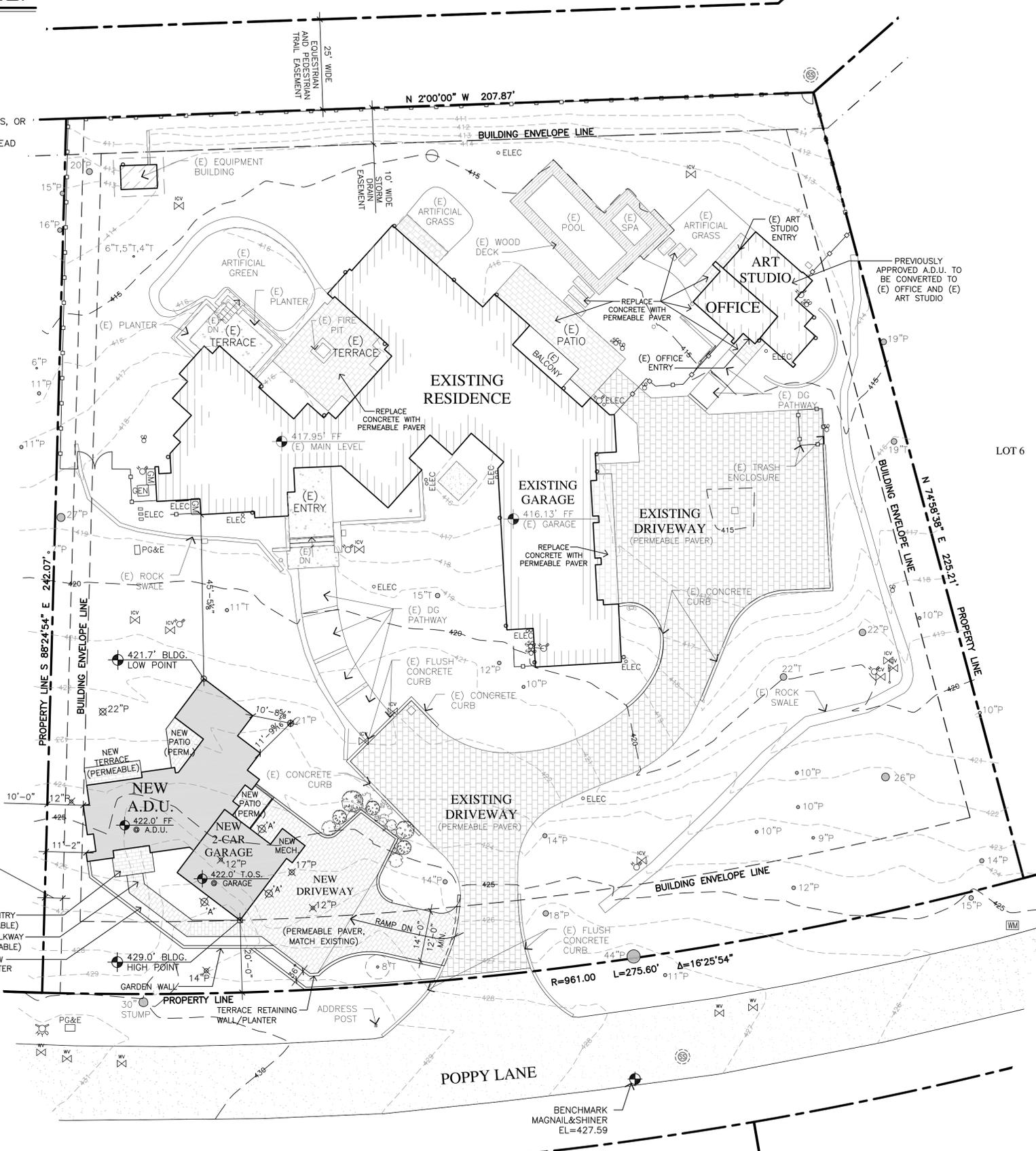
VEHICLE ACCESS FROM POPPY LANE.

VICINITY MAP



N.T.S.

LOT 4



PLANNING INFO.

PROPERTY OWNER:
TIM ALLEN
P.O. BOX 350
CARMEL, CA 93921
PH. (831) 626-2221

PROJECT ADDRESS:
28 POPPY LANE
PEBBLE BEACH, CA 93953

PROJECT SCOPE:
• NEW 1,142 S.F. ACCESSORY DWELLING UNIT WITH ATTACHED 525 S.F. TWO-CAR GARAGE.
• CONVERT EXISTING ADU INTO 425 S.F. ART STUDIO AND 211 S.F. OFFICE.

- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N.: 008-032-012
- LEGAL DESC.: LOT: BLOCK:
- ZONE: LDR/B-6-D(cz) | OR/B-8-D(cz)
- STORIES: TWO
- MAX BLDG. HT: 30 FT
- GRADING: 730 CY CUT | 10 CY FILL, SEE CIVIL PLANS
- TREE REMOVAL: 6 PINES (3-12" PINES; 1-17" PINE; 1-14" DEAD PINE; 1-22" DEAD PINE) - SEE ARBORIST REPORT
- TOPOGRAPHY: SLOPING
- PROJECT CODE COMPLIANCE: 2022 CBC, CMC, CPC, CFC, CEC, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA GREEN BUILDING CODE & 2022 CALIFORNIA ENERGY CODE
- LOT AREA: 57,515 S.F. (1.32 Ac.)
- LOT COVERAGE CALCULATIONS:

	EXISTING	PROPOSED ADDITION	PROPOSED TOTAL
BUILDINGS	6,483	1,667	8,150
BALCONY	152	0	152
TERRACES	225	0	225
EQUIPMENT SHED	67	0	67
TOTAL	6,927	1,667	8,594

- LOT COVERAGE ALLOWED: 8,627 SF (15%)
- LOT COVERAGE PROPOSED: 8,594 SF (14.94%)
- F.A.R. CALCULATIONS

	EXISTING	PROPOSED ADDITION	PROPOSED TOTAL
MAIN BUILDING	4,538	0	4,538
MAIN LEVEL	1,909	0	1,909
UPPER LEVEL	1,309	525	1,834
ART STUDIO	425	0	425
OFFICE	211	0	211
NEW A.D.U.	0	1,142	1,142
TOTAL	8,392	1,667	10,059

- F.A.R. ALLOWED: 11,503 SF (20%)
- F.A.R. PROPOSED: 10,059 SF (17.48%)
- PESCADERO CALCULATIONS:

	EXISTING	PROPOSED ADDITION	PROPOSED REMOVAL	PROPOSED TOTAL
BUILDINGS	6,483	1,667	0	8,150
DRIVEWAYS	202	0	-202	0
BALCONY	152	0	0	152
TERRACES	762	0	-548	214
PATIOS	441	0	-441	0
STEPPING STONES	77	0	-77	0
POOL/SPA	387	0	0	387
EQUIPMENT SHED	67	0	0	67
TOTAL	8,571	1,667	-1,268	8,970

LANDSCAPE CALCULATIONS:

	EXISTING	PROPOSED ADDITION	PROPOSED TOTAL
LANDSCAPE	1523	906	2429
TOTAL	1523	906	2429

EXTERIOR LIGHTING LEGEND

- ☉ 25W MAX. WALL MOUNTED SCENCE FIXTURE
- FIXTURE 'A': MODERN MINIMALIST RECTANGULAR FLAT LED OUTDOOR WATERPROOF WALL SCONCE, TO MATCH EXISTING MAIN HOUSE. SURFACE MOUNTED SCONCE W/ FROSTED GLASS SHADE LED LAMP (23 WATT) TOTAL WATTAGE NOT TO EXCEED 25 WATTS W/ PHOTO CONTROL SENSOR



SITE PLAN

1/16"=1'-0"



JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950

PH (831) 646-1261
FAX (831) 646-1290
EMAIL idg@idg-inc.net
WEB idg-inc.net

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STAMPS:

PROJECT/CLIENT:

TIM ALLEN
A.D.U. &
2-CAR GARAGE

PROJECT ADDRESS:

28 POPPY LANE
PEBBLE BEACH, CA
93953

APN: 008-032-012

DATE: AUGUST 16, 2023
APPLICATION REQUEST SUB.

- REVISIONS:
- △ AUGUST 30, 2023
 - △ FB ARB SUBMITTAL
 - △ DECEMBER 21, 2023
 - △ PLANNING SUBMITTAL
 - △ FEBRUARY 12, 2024
 - △ PLANNING SUBMITTAL
 - △ JULY 24, 2024
 - △ PLANNING SUBMITTAL

SITE PLAN

SHEET NO.

A1.0

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A.D.U. &
2-CAR GARAGE**

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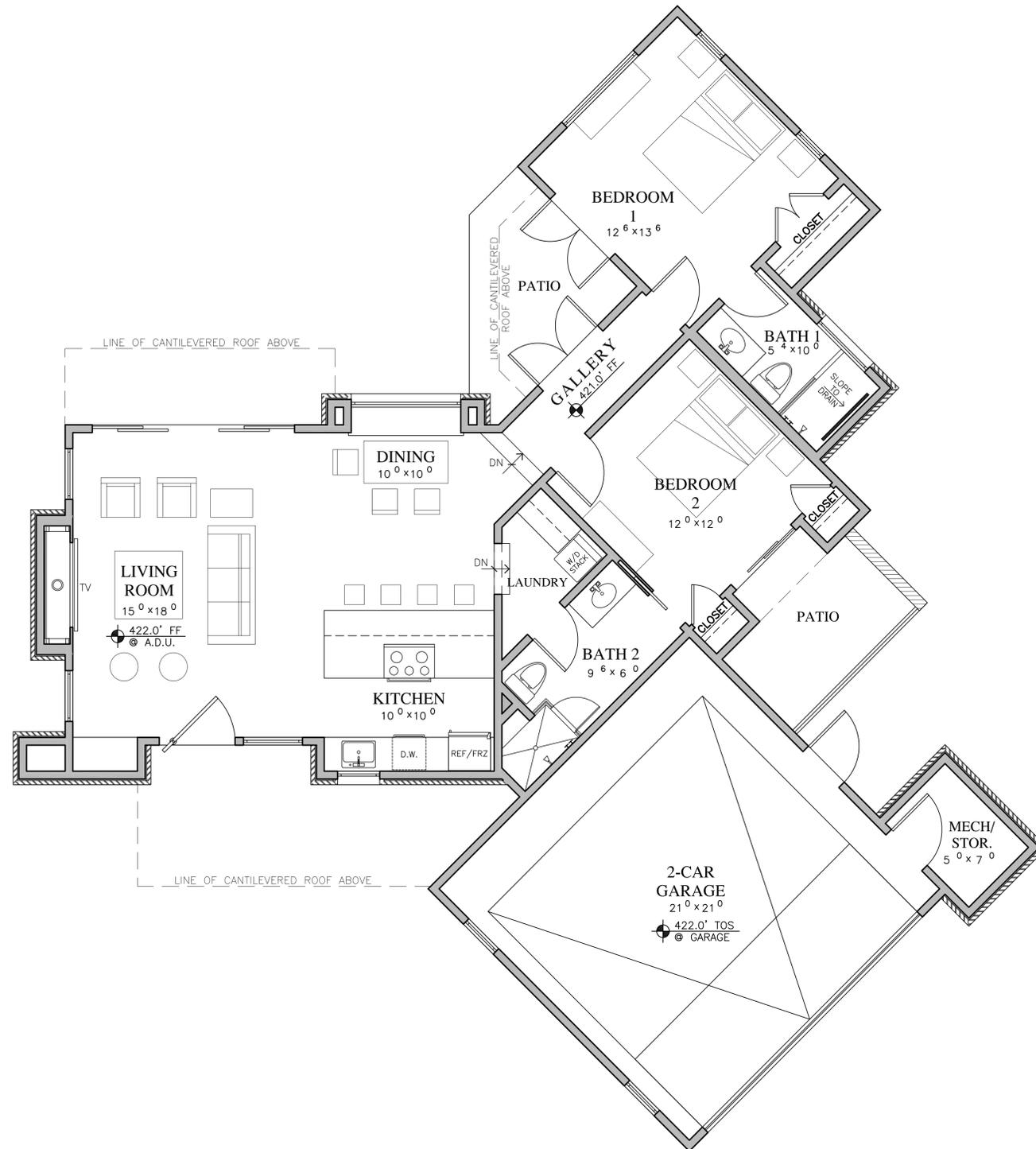
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△	AUGUST 30, 2023	_____
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△	FEBRUARY 12, 2024	_____
△	PLANNING SUBMITTAL	_____
△	_____	_____
△	_____	_____
△	_____	_____

**NEW ADU
FLOOR PLAN**

SHEET NO.

A2.0



A.D.U. AND GARAGE FLOOR PLAN

1/4"=1'-0"



WALL LEGEND

— 2X6 EXTERIOR/INTERIOR STUD FRAMED WALL



721 LIGHTHOUSE AVE
PACIFIC GROVE CA.
93950

PH ■ (831) 646-1261
FAX ■ (831) 646-1290
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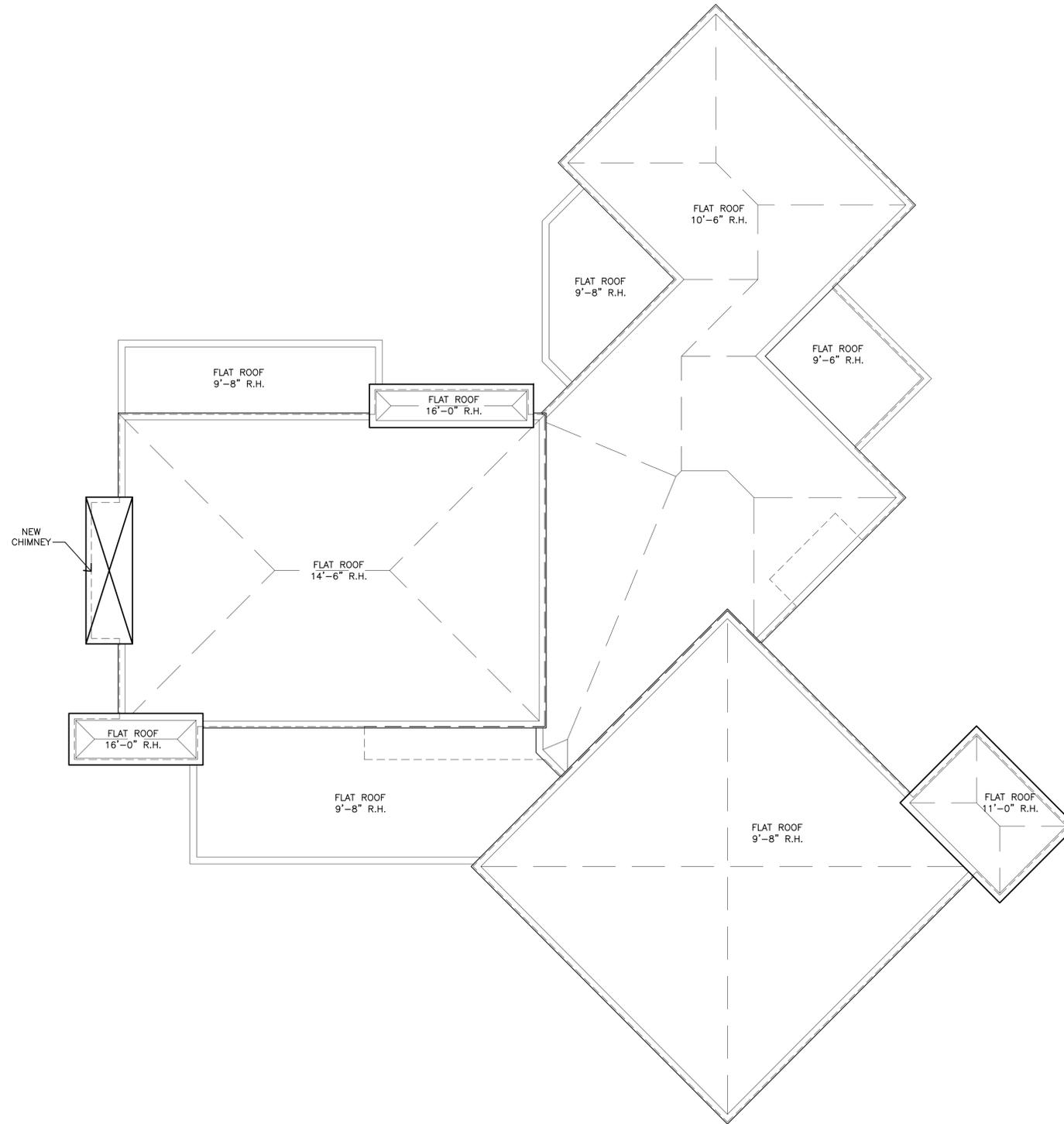
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- △ _____
- △ _____
- △ _____

NEW ADU
ROOF PLAN

SHEET NO.

A3.0



NEW ADU ROOF PLAN

1/4" = 1'-0"



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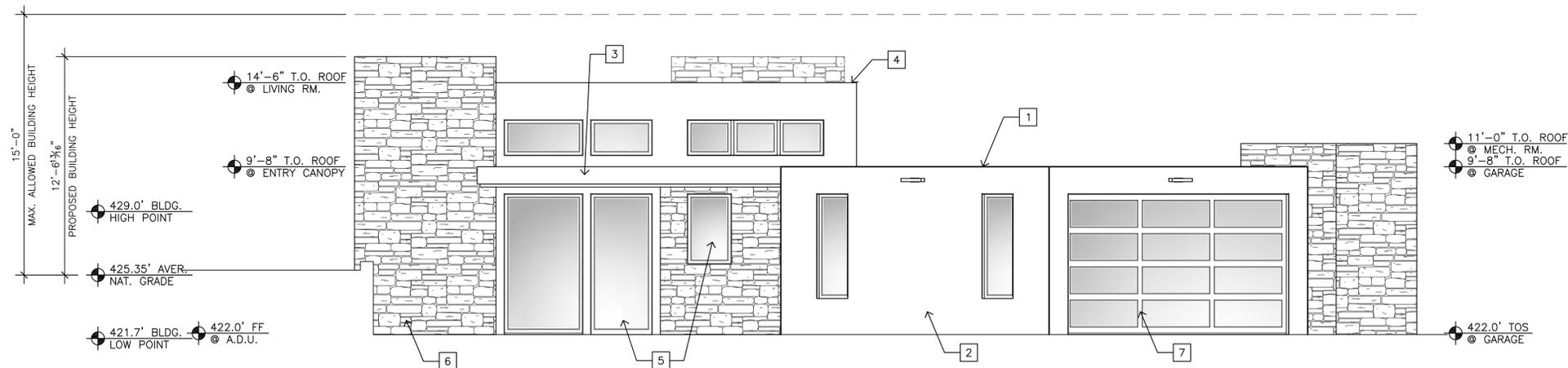
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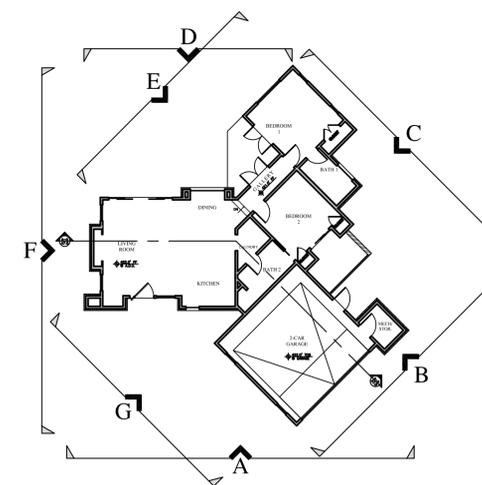
EXTERIOR FINISH LEGEND

- 1 FLAT ROOF, MIN 1/2" SLOPE PER FT - MATCH EXISTING MAIN HOUSE
- 2 PAINTED EXTERIOR STUCCO - SMOOTH FINISH - MATCH EXISTING MAIN HOUSE
- 3 2X12 CEDAR FASCIA - MATCH EXISTING MAIN HOUSE
- 4 CONCEALED COPPER GUTTER AND 2"X4" COPPER DOWNSPOUTS
- 5 ALUMINUM EXTERIOR DOORS AND WINDOWS, KOLBE OR EQUAL - MATCH EXISTING MAIN HOUSE
- 6 RANDOM STONE VENEER - MATCH EXISTING MAIN HOUSE
- 7 METAL FRAME GARAGE DOOR WITH SMOKED GLASS, CLOPAY OR EQUAL - MATCH EXISTING MAIN HOUSE GARAGE
- 8 STAINED CEDAR HORIZONTAL FENCE SLATS FOR PRIVACY AT PATIO



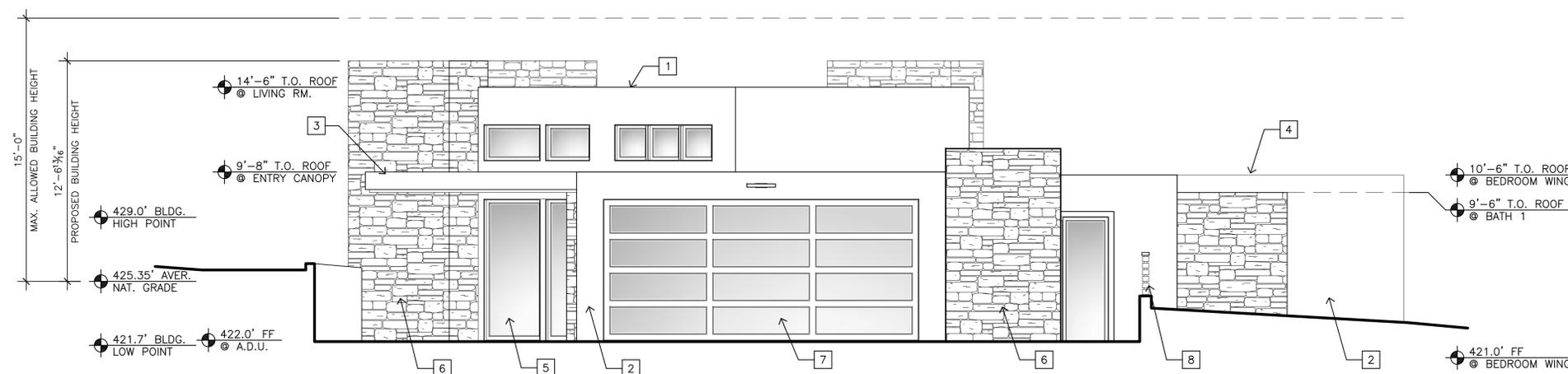
A - NORTH-EAST ELEVATION

1/4"=1'-0"



KEY PLAN

N.T.S.



B - NORTH ELEVATION

1/4"=1'-0"

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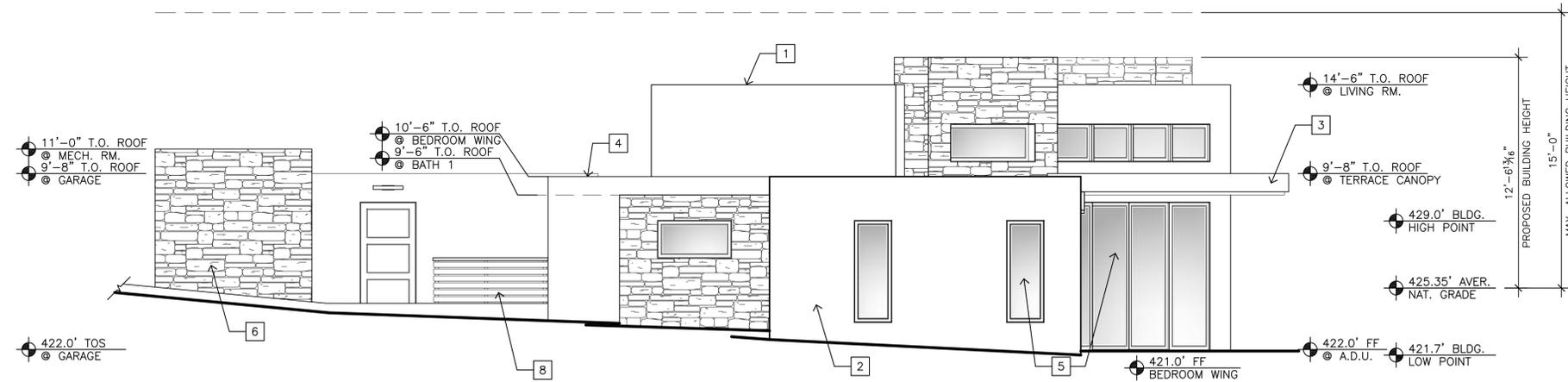
NEW ADU
ELEVATIONS

SHEET NO.

A4.0

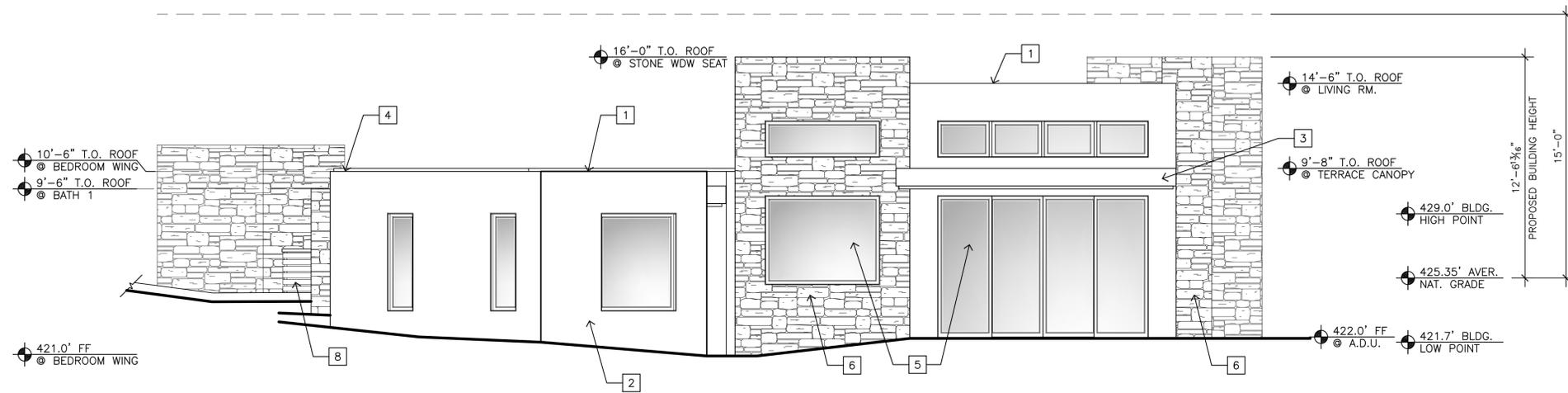
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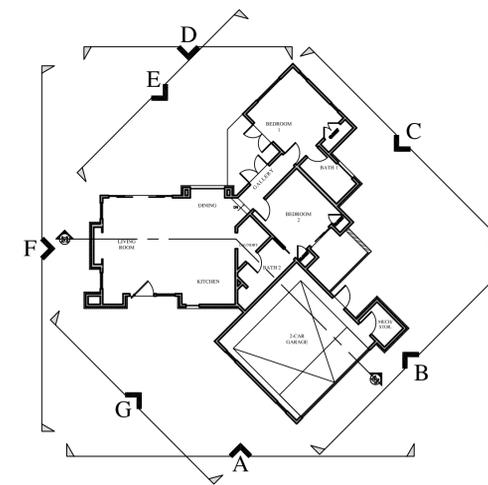
C - WEST ELEVATION

1/4"=1'-0"



D - SOUTH-WEST ELEVATION

1/4"=1'-0"



KEY PLAN

N.T.S.

JUN A. SILLANO, AIA



721 LIGHTHOUSE AVE
PACIFIC GROVE CA.
93950

PH (831) 646-1261
FAX (831) 646-1290
EMAIL idg@idg-inc.net
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STAMPS:

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A.D.U. &
2-CAR GARAGE**

PROJECT ADDRESS:

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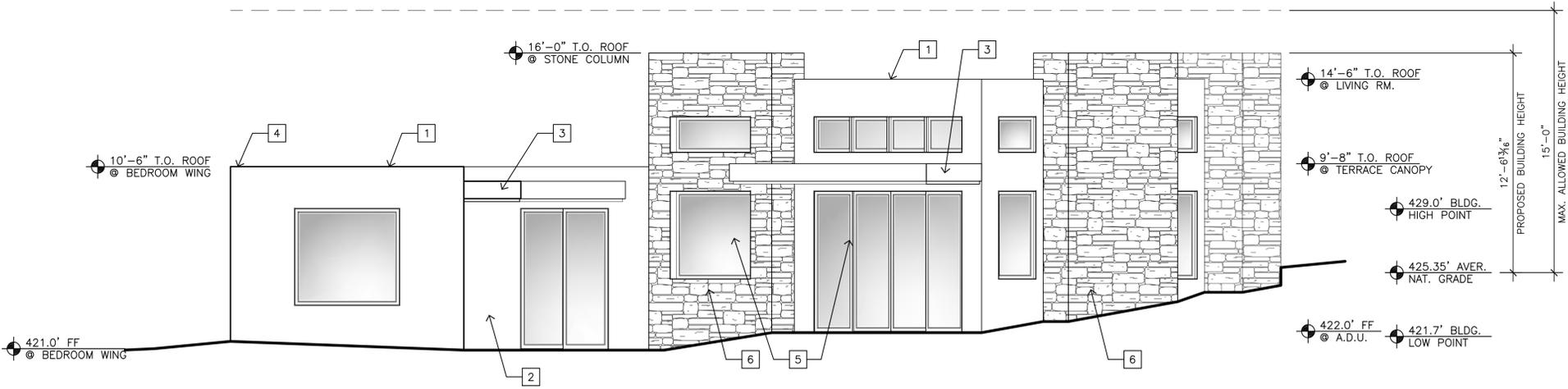
**NEW ADU
ELEVATIONS**

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A4.1

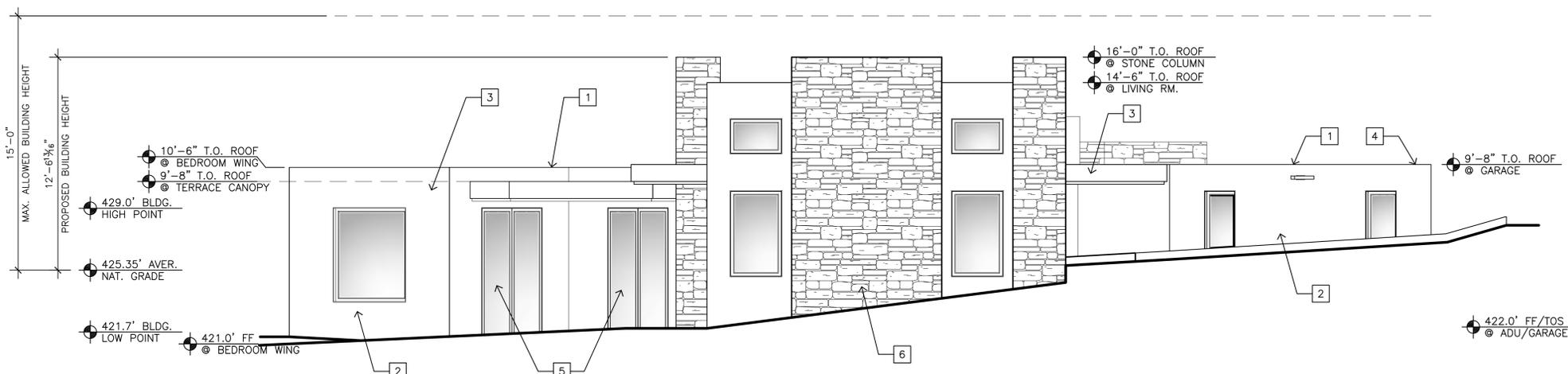
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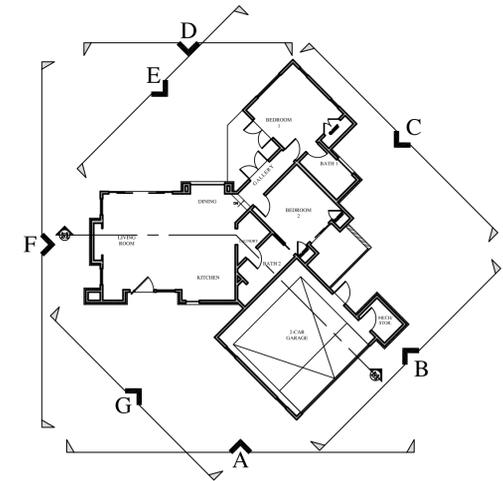
E - SOUTH ELEVATION

1/4"=1'-0"



F - SOUTH-EAST ELEVATION

1/4"=1'-0"



KEY PLAN

N.T.S.

JUN A. SILLANO, AIA



721 LIGHTHOUSE AVE
PACIFIC GROVE CA.
93950

PH (831) 646-1261
FAX (831) 646-1290
EMAIL idg@idg-inc.net
WEB idg-inc.net

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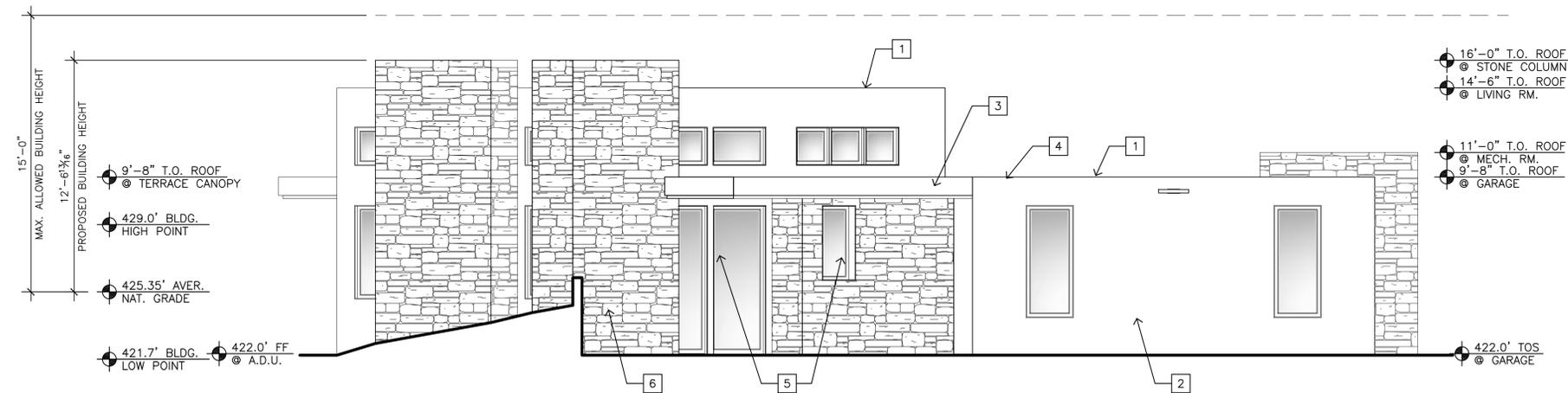
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 - △

**NEW ADU
ELEVATIONS**

SHEET NO.

A4.2

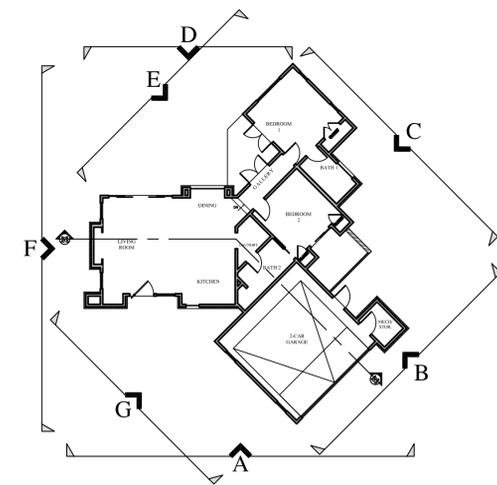


G - EAST ELEVATION

1/4" = 1'-0"

EXTERIOR FINISH LEGEND

- 1 FLAT ROOF, MIN 1/2" SLOPE PER FT - MATCH EXISTING MAIN HOUSE
- 2 PAINTED EXTERIOR STUCCO - SMOOTH FINISH - MATCH EXISTING MAIN HOUSE
- 3 2X12 CEDAR FASCIA - MATCH EXISTING MAIN HOUSE
- 4 CONCEALED COPPER GUTTER AND 2"x4" COPPER DOWNSPOUTS
- 5 ALUMINUM EXTERIOR DOORS AND WINDOWS, KOLBE OR EQUAL - MATCH EXISTING MAIN HOUSE
- 6 RANDOM STONE VENEER - MATCH EXISTING MAIN HOUSE
- 7 METAL FRAME GARAGE DOOR WITH SMOKED GLASS, CLOPAY OR EQUAL - MATCH EXISTING MAIN HOUSE GARAGE
- 8 STAINED CEDAR HORIZONTAL FENCE SLATS FOR PRIVACY AT PATIO



KEY PLAN

N.T.S.

JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950

PH (831) 646-1261
FAX (831) 646-1290
EMAIL idg@idg-inc.net
WEB idg-inc.net

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STAMPS:

PROJECT/CLIENT:

TIM ALLEN
A.D.U. &
2-CAR GARAGE

PROJECT ADDRESS:

28 POPPY LANE
PEBBLE BEACH, CA
93953

APN: 008-032-012

DATE: AUGUST 16, 2023
APPLICATION REQUEST SUB.

REVISIONS:

- △ AUGUST 30, 2023
- △ FB ARB SUBMITTAL
- △ DECEMBER 21, 2023
- △ PLANNING SUBMITTAL
- △ FEBRUARY 12, 2024
- △ PLANNING SUBMITTAL
- △
- △
- △

NEW ADU
ELEVATIONS

SHEET NO.

A4.3

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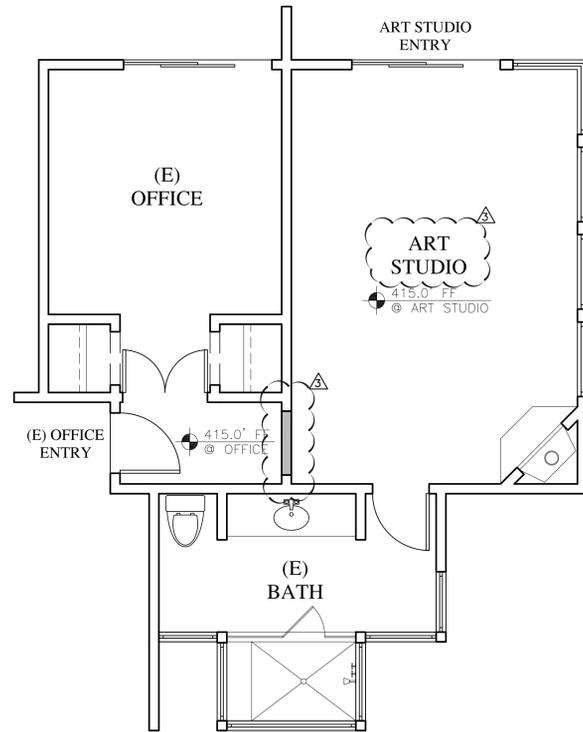
REVISIONS:

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- ▲ PLANNING SUBMITTAL
- ▲ FEBRUARY 12, 2024
- ▲ PLANNING SUBMITTAL
- ▲ _____
- ▲ _____
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(E) ART STUDIO/
OFFICE PLANS

SHEET NO.

A5.0

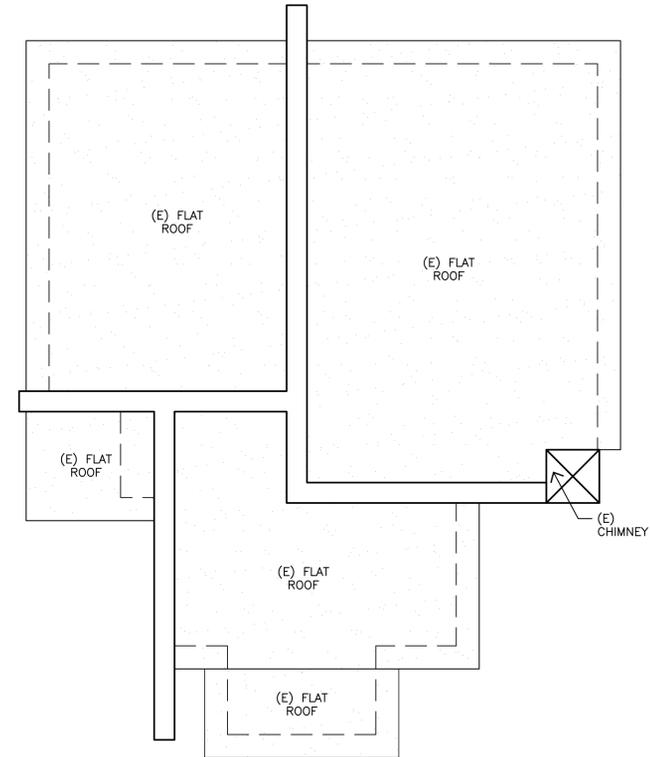


EXISTING ART STUDIO/OFFICE FLOOR PLAN

1/4"=1'-0"

WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR/INTERIOR STUD FRAMED WALL



EXISTING ART STUDIO/OFFICE ROOF PLAN

1/4"=1'-0"

EXTERIOR FINISH LEGEND	
1	EXISTING 2X WOOD ROOF EAVE
2	EXISTING SMOOTH STUCCO FINISH
3	EXISTING ALUMINUM EXTERIOR DOORS AND WINDOWS
4	EXISTING STONE VENEER
5	EXISTING COPPER DOWNSPOUTS

JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
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93950

PH (831) 646-1261
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TIM ALLEN
A.D.U. &
2-CAR GARAGE

PROJECT ADDRESS:

28 POPPY LANE
PEBBLE BEACH, CA
93953

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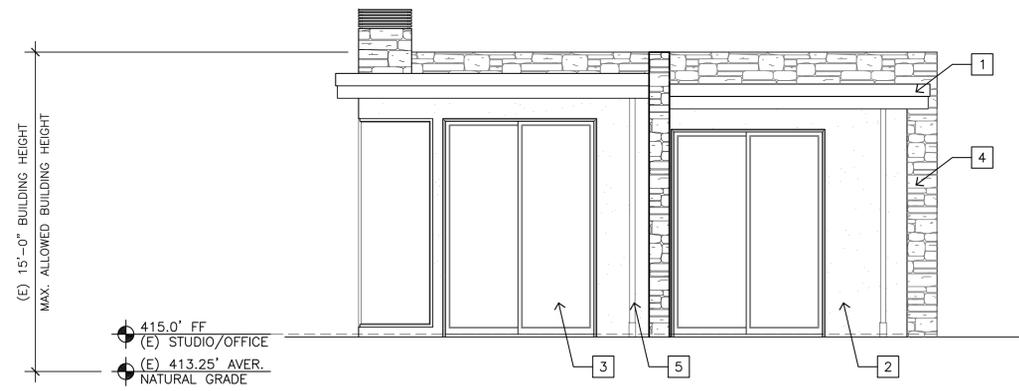
REVISIONS:

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△	FEBRUARY 12, 2024	_____
△	PLANNING SUBMITTAL	_____
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(E) ART STUDIO/
OFFICE ELEVATIONS

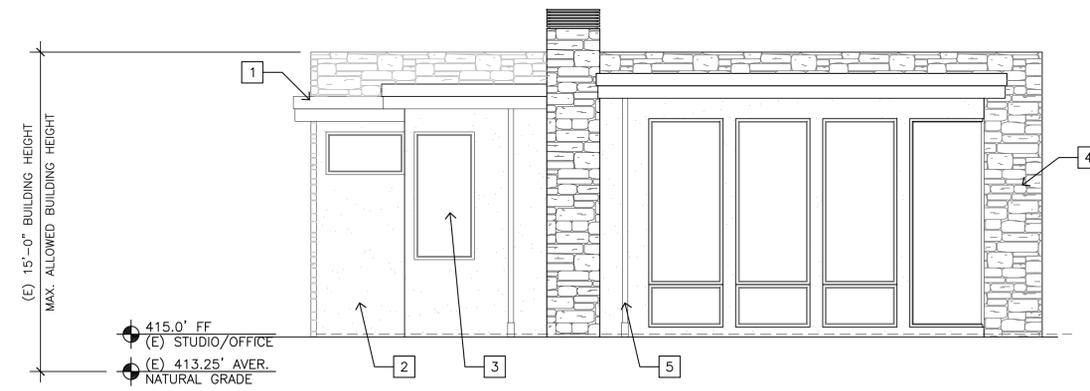
SHEET NO.

A6.0



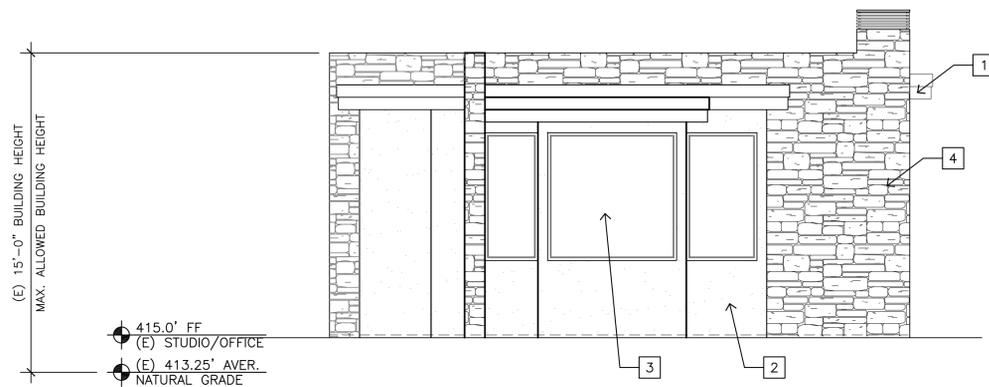
SOUTH-WEST ELEVATION

1/4"=1'-0"



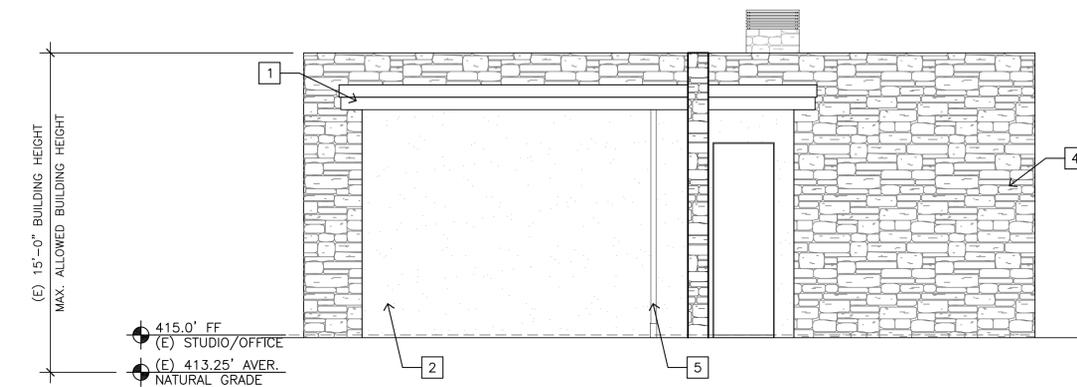
NORTH-WEST ELEVATION

1/4"=1'-0"



NORTH-EAST ELEVATION

1/4"=1'-0"

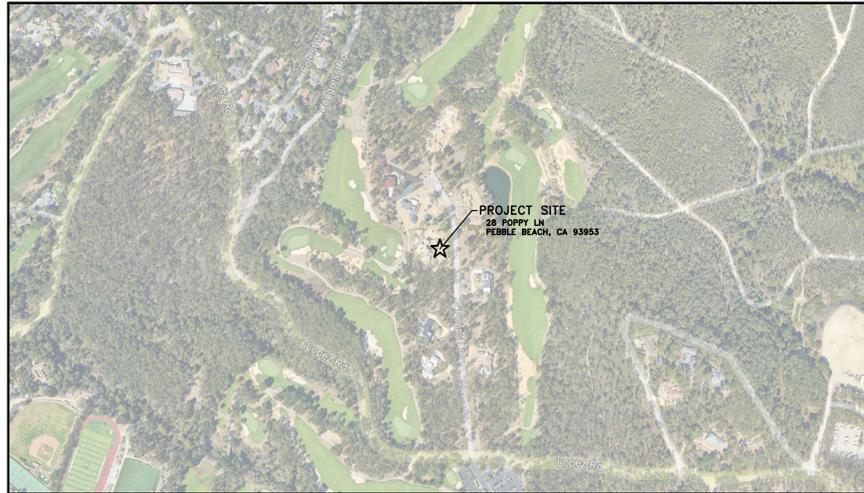


SOUTH-EAST ELEVATION

1/4"=1'-0"

GRADING, DRAINAGE, & EROSION CONTROL PLAN

OF ALLEN ADU - 28 POPPY LANE APN: 008-032-012 PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA



VICINITY MAP
NOT TO SCALE



LOT OVERVIEW
SCALE: 1" = 40'

ABBREVIATIONS:

Ø = DIAMETER	EX = EXISTING	PVC = POLYVINYL CHLORIDE
AB = AGGREGATE BASE	FC = FLUSH CURB	RC = RELATIVE COMPACTION
ABAN = ABANDON	FD = FIRE DEPARTMENT	RES = RESIDENCE
AC = ASPHALT CONCRETE	FF = FINISHED FLOOR	RM = ROOM
AD = AREA DRAIN	FG = FINISHED GRADE	RND = ROUND
ADD = ADDITION	FL = FLOWLINE	RW = RETAINING WALL
ADU = ACCESSORY DWELLING UNIT	FM = FORCE MAIN	RWL = RAINWATER LEADER
BC = BEGINNING OF CURVE	FP = FINISHED PAD	SD = STORM DRAIN
B.E. = BUILDING ENVELOPE	GAR = GARAGE	SF = SQUARE FEET
BLDC = BUILDING ENVELOPE	GB = GRADE BREAK	SG = SUBGRADE
BOT = BOTTOM	GR = GRATE	SO = SQUARE
BSMT = BASEMENT	HDPE = HIGH-DENSITY POLYETHYLENE	SS = SANITARY SEWER
BVC = BEGINNING OF VERTICAL CURVE	HP = HIGH POINT	STA = STATION
CB = CATCH BASIN	HT = HEIGHT	STN = STONE
CF = CUBIC FEET	INV = PIPE INVERT	STP = STEP
CL = CENTERLINE	JB = JUNCTION BOX	SUBD = SUBDRAIN
CO = CLEANOUT	JT = JOINT TRENCH	TBR = TO BE REMOVED
CONC = CONCRETE	LF = LINEAR FEET	TD = TRENCH DRAIN
CY = CUBIC YARDS	LP = LOW POINT	TW = TOP OF WALL
DG = DECOMPOSED GRANITE	MAX = MAXIMUM	TYP = TYPICAL
DK = DECK	MIN = MINIMUM	U.N.O. = UNLESS NOTED OTHERWISE
DS = DOWNSPOUT	OC = ON-CENTER	VC = VERTICAL CURB
DWY = DRIVEWAY	OUT = OUTLET	VIF = VERIFY IN FIELD
EW = END OF CURVE	PCC = PORTLAND CEMENT CONCRETE	W/ = WITH
EG = EXISTING GROUND	PERF = PERFORATED	W/O = WITHOUT
ESMT = EASEMENT	PERM = PERMEABLE	WD = WOOD
EVC = END OF VERTICAL CURVE	PL = PROPERTY LINE	
EW = EACH WAY	POC = POINT OF CONNECTION	

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	GRADING & DRAINAGE PLAN
SHEET C3	GRADING SECTIONS & DETAILS
SHEET C4	UTILITY PLAN
SHEET C5	CONSTRUCTION DETAILS
SHEET C6	EROSION & SOURCE CONTROL PLAN
SHEET C7	CONSTRUCTION MANAGEMENT PLAN

GENERAL NOTES:

- PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR ALLEN ADU - 28 POPPY LANE (SHEET A1.0 PREPARED BY IDG) & THE BASE TOPOGRAPHIC INFORMATION.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUBSURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE LATEST COUNTY OF MONTEREY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE; THE RECOMMENDATIONS FOUND IN THE PROJECT'S SOIL ENGINEERING INVESTIGATION; THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS; THE GOVERNING PUBLIC AGENCIES; THE LATEST REVISION OF THE CALIFORNIA BUILDING CODE (CBC); AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 730 CUBIC YARDS OF CUT AND 10 CUBIC YARDS OF FILL TOTAL WITH A NET EXCESS OF 720 CUBIC YARDS. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. ARE NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOILS REPORT AND BE APPROVED BY THE SOIL ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10' PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO DO SO AND FOR USE IN GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND THE FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10'. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10' OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 2% WHERE LOCATED WITHIN 5' OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE ACCOMPLISHED BY THE USE OF GUTTERS AND DOWNSPOUTS. THE DOWNSPOUTS SHALL BE CONNECTED TO RAINWATER LEADERS AND TIED INTO THE STORM DRAIN SYSTEM AS SHOWN ON THE SITE UTILITY PLAN. DOWNSPOUTS THAT ARE NOT CONNECTED TO A RAINWATER LEADER SHALL OUTLET ONTO SPLASH BLOCKS. RAINWATER LEADERS SHALL BE CONSTRUCTED WITH 4" SDR35 PVC PIPE. UNDER NO CIRCUMSTANCES SHALL A RAINWATER LEADER BE CONNECTED TO A SUBDRAIN LINE.
- SURFACE RUNOFF SHALL BE COLLECTED BY A SYSTEM OF SWALES AND DRAINS. CAPTURED STORMWATER SHALL BE PIPED TO A DISPERSION TRENCH AS SHOWN ON THE SITE UTILITY PLAN. STORM DRAIN LINES SHALL DRAIN BY GRAVITY AND BE SLOPED AT A MINIMUM OF 2% TO AN OUTLET. WHERE A 2% SLOPE IS IMPRACTICAL, PIPES SHALL BE SLOPED AT NO LESS THAN 1%. STORM DRAIN LINES SHALL HAVE A MINIMUM COVER OF 12" AND SHALL BE CONSTRUCTED WITH SDR35 PVC PIPE, SIZED AS INDICATED.
- TRENCH DRAINS SHALL BE NOS CHANNEL DRAINS, SIZED AS INDICATED ON THE SITE UTILITY PLAN. FLAT-BOTTOMED CHANNELS SHOULD BE SLOPED AT A MINIMUM OF 0.5% TO AN OUTLET IN ORDER TO ENSURE PROPER DRAINAGE AND PREVENT STANDING WATER IN THE TRENCH. ANY CHANNEL SLOPED AT LESS THAN 0.5% SHALL HAVE OUTLETS SPACED AT NO MORE THAN 10'. GRATES AND CHANNELS SHALL HAVE A LOAD RATING GREATER THAN OR EQUAL TO THE EXPECTED LOADING IN THE INSTALLATION AREA. ALL TRENCH DRAINS SHALL BE SURROUNDED BY A MINIMUM OF 4" OF CONCRETE. TRENCH DRAINS SHOULD BE SIZED TO HANDLE THE PEAK RUNOFF RATE PRODUCED BY A 10-YEAR DESIGN STORM.
- SURFACE WATER BEHIND ANY RETAINING WALLS SHALL BE CONTROLLED BY THE INSTALLATION OF SUBDRAINS. SUBDRAIN LINES SHALL BE CONSTRUCTED WITH PERFORATED 4" SDR35 PVC PIPE PLACED WITH THE HOLES FACING DOWNWARD. COLLECTED WATER SHALL DRAIN TO DAYLIGHT AT A MINIMUM SLOPE OF 1% AS SHOWN ON THE SITE UTILITY PLAN. PIPES CARRYING SURFACE WATER OR ROOF WATER SHALL NOT UNDER ANY CIRCUMSTANCES OUTLET INTO A SUBDRAIN LINE. THE SYSTEM OF SUBDRAINS SHOULD REMAIN INDEPENDENT OF THE SURFACE STORM DRAIN SYSTEM.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE COUNTY OF MONTEREY PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- SPECIAL INSPECTIONS BY A SPECIAL INSPECTOR ARE REQUIRED DURING FILL PLACEMENT TO ENSURE PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT, AND PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- STOP WORK WITHIN 50 METERS (165') OF UNCOVERED RESOURCE AND CONTACT THE COUNTY OF MONTEREY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

PROJECT DATA:	
GRADING VOLUMES	
CUT	= 730 CY
FILL	= 10 CY
NET	= 720 CY CUT
LIMITS OF GRADING	
TOTAL	= 10,860 SF

LEGEND:

--- ---	PROPERTY BOUNDARY	▭	EXISTING RESIDENCE FOOTPRINT	▭	CATCH BASIN
---	BUILDING ENVELOPE	▭	PROPOSED BUILDING FOOTPRINT	●	AREA DRAIN
- - - -	SETBACK	▭	ASPHALT CONCRETE	⊗	JUNCTION BOX
— — — —	MAJOR CONTOUR (5' INTERVAL)	▭	PORTLAND CEMENT CONCRETE	▭	DISPERSION TRENCH
- - - -	MINOR CONTOUR (1' INTERVAL)	▭	PERMEABLE PAVERS	▭	ENERGY DISSIPATOR
— — — —	RETAINING WALL	▭		○	TREE
— — — —	SWALE FLOW LINE	▭		⊗	TREE TO BE REMOVED
— — — —	STORM DRAIN PIPE	▭			
— — — —	RAINWATER LEADER	▭			
— — — —	SUBDRAIN LINE	▭			

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection Item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	SOIL ENGINEER	Beginning of Project		
Subexcavation, fill placement, and compaction	SOIL ENGINEER	Throughout grading operations		
Foundation Excavations	SOIL ENGINEER	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	SOIL ENGINEER	Prior to trench backfill		
Utility trench compaction	SOIL ENGINEER	During backfill operations		
Retaining wall backfill compaction	SOIL ENGINEER	During backfill operations		
Baserock subgrade compaction	SOIL ENGINEER	Prior to pavement installation		

STORMWATER CONTROL NOTES:

- THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- THIS PROJECT SHALL IMPLEMENT THE FOLLOWING STRATEGIES: MINIMIZE COMPACTION OF HIGHLY PERMEABLE SOILS; LIMIT CLEARING AND GRADING OF NATIVE VEGETATION; MINIMIZE IMPERVIOUS SURFACES AND LEAVE THE REMAINING LAND IN A NATURAL UNDISTURBED STATE; MINIMIZE STORMWATER RUNOFF BY DIRECTING RUNOFF FROM PATIOS, PORCHES, AND DRIVEWAYS ONTO VEGETATED AREAS AND DIRECTING ROOF RUNOFF INTO AN INFILTRATION SYSTEM SAFELY AWAY FROM BUILDING FOUNDATIONS AND FOOTINGS, CONSISTENT WITH THE CALIFORNIA BUILDING CODE.

CONTACT INFORMATION:

OWNER:
TIM ALLEN
P.O. BOX 350
CARMEL, CA 93921

ARCHITECT:
AMY DENNEY
IDG
721 LIGHTHOUSE AVE
PACIFIC GROVE, CA 93950

SITE LOCATION:
28 POPPY LN
PEBBLE BEACH, CA 93953

"COVER SHEET"
 GRADING, DRAINAGE, & EROSION CONTROL PLAN
 OF
 ALLEN ADU - 28 POPPY LANE
 A.P.N.: 008-032-012
 PEBBLE BEACH, CALIFORNIA
 (008) 380-1111
 TIM ALLEN



APPROVED BY:

 TIM ALLEN
 CIVIL ENGINEER
 GUY R. GIRARDINO

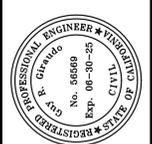
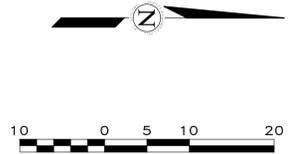


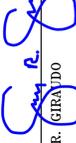
SCALE: AS SHOWN
DATE: JUL 2024
JOB NO. 2702-01

SHEET **C1**

OF 7 SHEETS

No.	DATE	BY	REVISION
	07/24/24	JAN	REVISED AREA CALCULATIONS
	01/09/24	JAN	RELEASED TO CLIENT



APPROVED BY:

 GUY R. GIRARDO

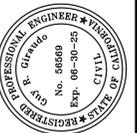
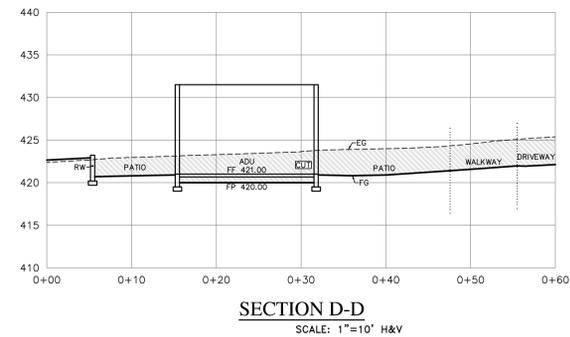
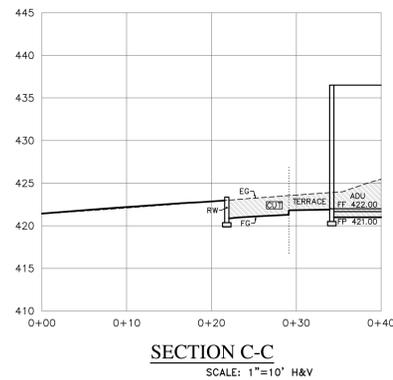
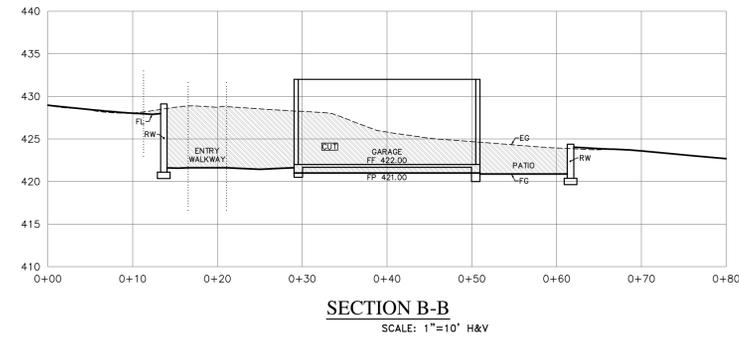
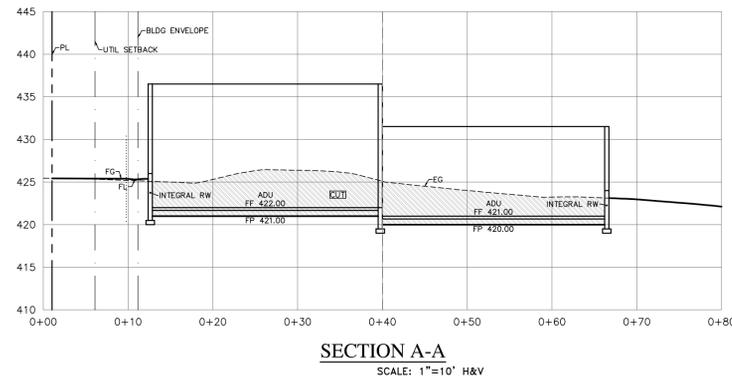
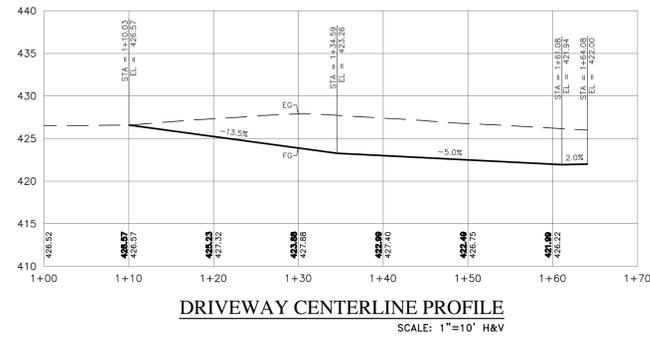


"GRADING & DRAINAGE PLAN"
 GRADING, DRAINAGE, & EROSION CONTROL PLAN
 OF
 ALLEN ADU - 28 POPPY LANE
 A.P.N.: 008-032-012
 PEBBLE BEACH, CALIFORNIA
 COX
 TIM ALLEN

SCALE: 1" = 10'
 DATE: JUL 2024
 JOB NO. 2702-01

No.	DATE	BY	REVISION
07/24/24	JAN		REVISED AREA CALCULATIONS
01/09/24	JAN		RELEASED TO CLIENT

SHEET **C2**
 OF 7 SHEETS



APPROVED BY:
Guy R. Girardo
GUY R. GIRANDO

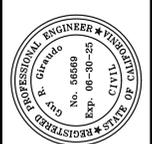


"GRADING SECTIONS & DETAILS"
GRADING, DRAINAGE, & EROSION CONTROL PLAN
OF
ALLEN ADU - 28 POPPY LANE
A.P.N.: 008-032-012
PEBBLE BEACH, CALIFORNIA
TIM ALLEN

SCALE: AS SHOWN
DATE: JUL 2024
JOB NO. 2702-01

No.	DATE	BY	REVISION
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	01/09/24	JAN	RELEASED TO CLIENT

SHEET **C3**
OF 7 SHEETS



APPROVED BY:

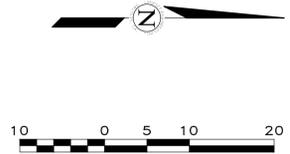
GUY R. GIRARDO



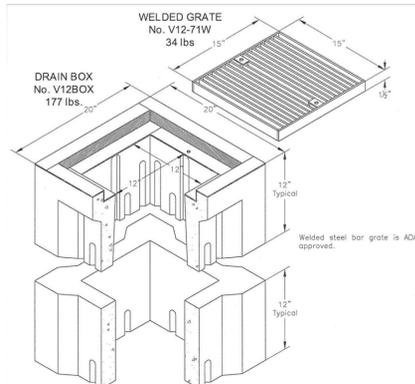
"UTILITY PLAN"
GRADING, DRAINAGE, & EROSION CONTROL PLAN
OF
ALLEN ADU - 28 POPPY LANE
A.P.N.: 008-032-012
PEBBLE BEACH, CALIFORNIA
TIM ALLEN

SCALE: 1" = 10'
DATE: JUL 2024
JOB NO. 2702-01

SHEET **C4**
OF 7 SHEETS



TRENCH SIZING:
COLLECTED RUNOFF:
85TH PERCENTILE 24HR RAINFALL
 $I = 0.8$ IN
RUNOFF COEFFICIENT
 $C = 1.0$
DRAINAGE AREAS
 $A = 2000$ SF
RUNOFF
 $R = (C)(I)(A)$
 $R = (1.0)(0.8)(12)(2000) = 133.3$ CF
TRENCH INFILTRATION:
LENGTH
 $L = 20$ FT
EFFECTIVE DEPTH
 $D' = 3$ FT
INFILTRATION RATE
 $f = 0.5$ IN/HR
INTERFACE AREA
 $Ai = 2(L)(D')$
 $Ai = 2(20)(3) = 120$ SF
24HR INFILTRATION
 $F = 24(f)(Ai)$
 $F = 24(0.5)(12)(120) = 120.0$ CF
STORAGE:
REQUIRED TRENCH STORAGE
 $S_{req} = R - F$
 $S_{req} = (133.3) - (120.0) = 13.3$ CF
VOID RATIO
 $e = 0.4$
LENGTH
 $L = 20$ FT
WIDTH
 $W = 2$ FT
DEPTH
 $D = 3$ FT
PROVIDED TRENCH STORAGE
 $S_{prov} = (e)(L)(W)(D)$
 $S_{prov} = (0.4)(20)(2)(3) = 48.0$ CF



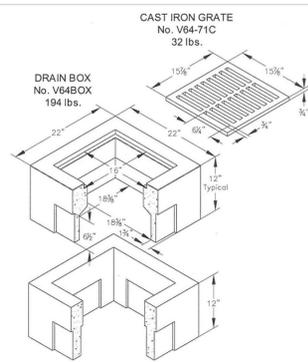
Ordering Code	Item	Approx. Shipping Weight	Description
V12BOX	BOX	177	V12 Drain Box (12 x 12) 1/20 Loading, bolt down Interchangeable with Brooks #1212 Box - 12 per pallet
V12-71W	GRATE	34	Welded steel cross bars, 1/20 loading, galvanized
V12X12	EXTENSION	120	12" Reinforced concrete - 12 per pallet

Oldcastle Precast®
Enclosure Solutions
18000 Park Industrial Parkway
Phone: (800) 486-7070 Fax: (800) 486-8804
www.oldcastleprecast.com

V12 DRAIN BOX
12" x 12"
NET WGT: V12_250
EST. DATE: January, 2020

V12 DRAIN BOX
12" x 12"
Christy

1 CHRISTY V12 CATCH BASIN



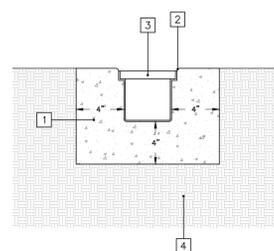
Ordering Code	Item	Approx. Shipping Weight	Description
V64BOX	DRAIN BOX	194	V64 Drain Box (19 1/2" x 18 1/2") - 12 per pallet
V64-71C	GRATE	32	Cast iron
V64X12	EXTENSION	152	12" Reinforced concrete - 12 per pallet

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V64 DRAIN BOX
18-3/8" x 18-3/8"
NET WGT: V64_350
EST. DATE: January, 2020

V64 DRAIN BOX
18-3/8" x 18-3/8"
Christy

2 CHRISTY V64 CATCH BASIN

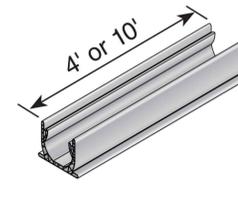


1. THE CHANNEL SHALL BE SURROUNDED ON ALL SIDES BY A MINIMUM OF 4" OF CONCRETE FOR BOTH PEDESTRIAN AND LIGHT TRAFFIC LOADING.
2. THE CHANNEL SHALL BE RECESSED 1/8" FOR PEDESTRIAN TRAFFIC AND 1/4" FOR VEHICULAR TRAFFIC.
3. A VARIETY OF GRATES ARE AVAILABLE. THE CORRECT GRATE SHALL BE CHOSEN ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS FOR LOADING.
4. THE SOIL BELOW THE CONCRETE SHALL BE SCARIFIED 8" AND THEN RECOMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION.

3 TRENCH DRAIN INSTALLATION (LIGHT TRAFFIC)

NDS TECHNICAL SPECIFICATIONS
WE PUT WATER IN ITS PLACE

Spee-D Channel

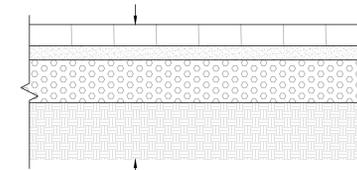


Part # 400 (4 FL), 400-10 (10 FL)
Material: PVC
Color: #400 (Grey), and #400-10 (Grey)
Size: 2" x 4", 40 pipes, 2" and 4" sewer and drain pipe with proper fittings.
UV inhibitors.

Visit ndspro.com for specs, detail drawings, and case studies.

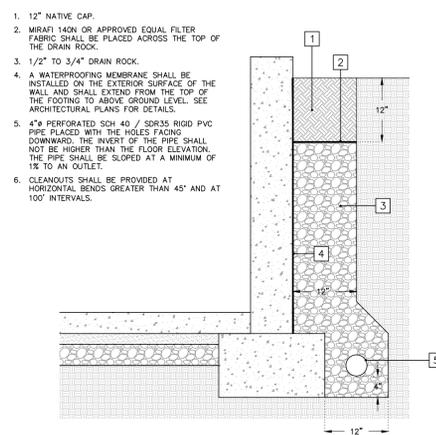
NDS
WE PUT WATER IN ITS PLACE

4 NDS SPEE-D CHANNEL DRAIN



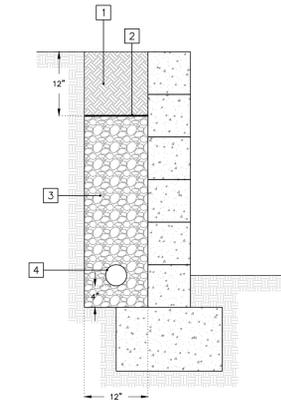
STRUCTURAL SECTION
3" CONC PAVERS
2" SAND BEDDING
6" #57 STONE
COMPACTED TO 95% RC
8" MIN SG SCARIFICATION
RECOMPACTED TO 95% RC

5 PAVEMENT SECTION (PAVERS)



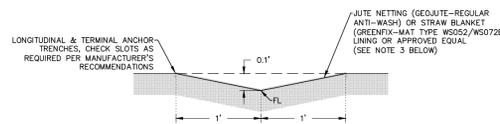
1. 12" NATIVE CAP.
2. MIRAFI 140N OR APPROVED EQUAL FILTER FABRIC SHALL BE PLACED ACROSS THE TOP OF THE DRAIN ROCK.
3. 1/2" TO 3/4" DRAIN ROCK.
4. A WATERPROOFING MEMBRANE SHALL BE INSTALLED ON THE EXTERIOR SURFACE OF THE WALL AND SHALL EXTEND FROM THE TOP OF THE FOOTING TO ABOVE GROUND LEVEL. SEE ARCHITECTURAL PLANS FOR DETAILS.
5. 4" PERFORATED SCH 40 / 50 x 35 RIGID PVC PIPE PLACED WITH THE HOLES FACING DOWNWARD. THE INVERT OF THE PIPE SHALL NOT BE HIGHER THAN THE FLOOR ELEVATION. THE PIPE SHALL BE SLOPED AT A MINIMUM OF 1% TO AN OUTLET.
6. CLEANOUTS SHALL BE PROVIDED AT HORIZONTAL BENDS GREATER THAN 45° AND AT 100' INTERVALS.

6 PERIMETER SUBDRAIN



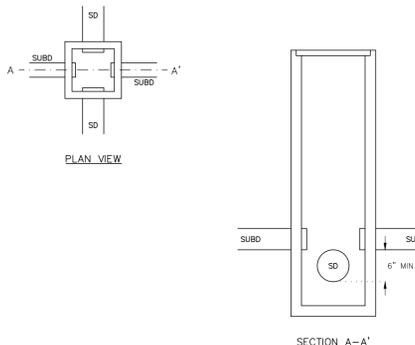
1. 12" NATIVE CAP. TRENCH SURFACE SHALL BE RESTORED TO NATURAL/ORIGINAL CONDITION.
2. MIRAFI 140N OR APPROVED EQUAL FILTER FABRIC SHALL BE PLACED ACROSS THE TOP OF THE DRAIN ROCK.
3. 1/2" TO 3/4" DRAIN ROCK.
4. 4" PERFORATED SCH 40 / 50 x 35 RIGID PVC PIPE PLACED WITH THE HOLES FACING DOWNWARD. THE PIPE SHALL BE SLOPED AT A MINIMUM OF 1% TO AN OUTLET.
5. CLEANOUTS SHALL BE PROVIDED AT HORIZONTAL BENDS GREATER THAN 45° AND AT 100' INTERVALS.

7 SUBDRAIN BEHIND RETAINING WALL



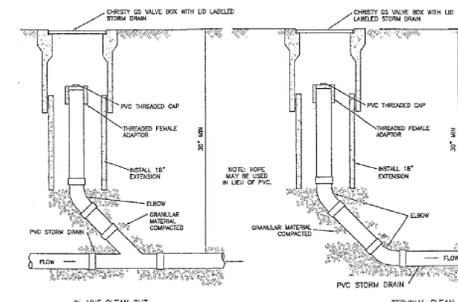
1. LONGITUDINAL SLOPE SHALL NOT BE LESS THAN 1% OR GREATER THAN 20%.
2. THE SWALE SHALL BE REVEGETATED WITH NATIVE GRASSES BY A HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER UNTIL GROWTH IS ESTABLISHED.
3. IF THE SWALE DOES NOT HAVE ADEQUATE GROWTH ESTABLISHED PRIOR TO THE ONSET OF THE WINTER SEASON, OCTOBER 15, IT SHALL BE LINED WITH JUTE NETTING OR STRAW BLANKETS AND PROPERLY SECURED (ANCHORED AND FASTENED) AS OUTLINED PER THE MANUFACTURER'S GUIDELINES AND SPECIFICATIONS IN ORDER TO FUNCTION PROPERLY AND PREVENT ACCELERATED EROSION.
4. IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO REGULARLY MAINTAIN THE SWALE AS NEEDED FROM EXCESSIVE GROWTH AND/OR SILTATION.
5. GRADED SWALE SHALL BE PROOF-ROLLED AND/OR MECHANICALLY COMPACTED TO MINIMUM 85% RELATIVE COMPACTION.

8 EARTH SWALE

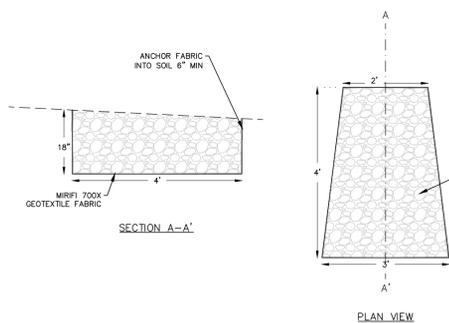


1. THE FLOWLINE OF ALL STORM DRAIN INLETS/OUTLETS SHALL BE A MINIMUM OF 6" BELOW THE FLOWLINE OF ANY SUBDRAIN INLETS TO PREVENT THE INJECTION OF WATER INTO THE SUBDRAIN.

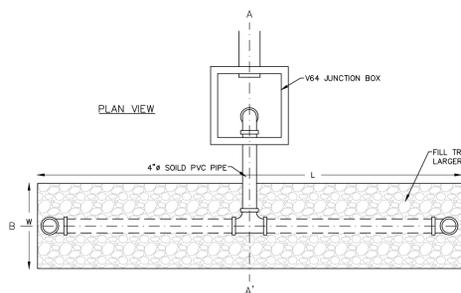
9 CATCH BASIN WITH SUBDRAIN INLETS



10 G5 STORM DRAIN CLEANOUT

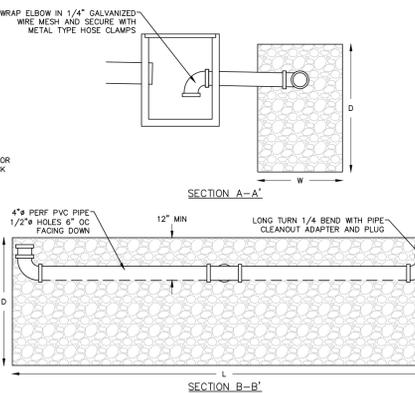


11 ENERGY DISSIPATOR



1. DISPERSION PIPE SHALL BE LEVEL AND TRENCH SHALL BE PARALLEL TO CONTOURS.
2. MIRAFI 140 N' OR APPROVED EQUAL FILTER FABRIC SHALL BE INSTALLED ON SIDES, ENDS, TOP, AND BOTTOM OF TRENCH.
3. DISPERSION TRENCH SHALL BE LOCATED A MINIMUM OF 20' FROM ANY STRUCTURES.
4. DISPERSION TRENCH SHALL BE LOCATED ON THE LEAST STEEP AVAILABLE SLOPE.
5. DISPERSION TRENCH SHALL BE LOCATED AWAY FROM AND BELOW SEPTIC FIELDS.

13 DISPERSION TRENCH



1. DISPERSION PIPE SHALL BE LEVEL AND TRENCH SHALL BE PARALLEL TO CONTOURS.
2. MIRAFI 140 N' OR APPROVED EQUAL FILTER FABRIC SHALL BE INSTALLED ON SIDES, ENDS, TOP, AND BOTTOM OF TRENCH.
3. DISPERSION TRENCH SHALL BE LOCATED A MINIMUM OF 20' FROM ANY STRUCTURES.
4. DISPERSION TRENCH SHALL BE LOCATED ON THE LEAST STEEP AVAILABLE SLOPE.
5. DISPERSION TRENCH SHALL BE LOCATED AWAY FROM AND BELOW SEPTIC FIELDS.

12

PROFESSIONAL ENGINEER & ARCHITECT
GUY R. GIRARDINO
No. 86669
Exp. 06-30-25
CIVIL
PEBBLE BEACH, CALIFORNIA

APPROVED BY:
GUY R. GIRARDINO

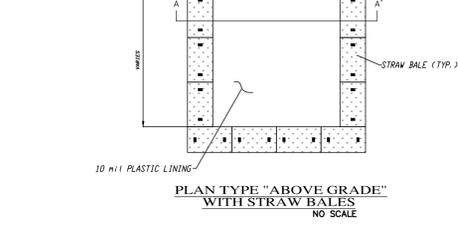
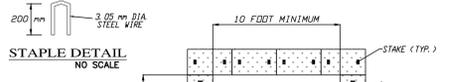
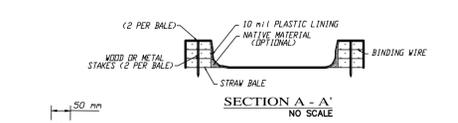
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5308 E. Coyote Hills Canyon Road
Salinas, California 95007
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www.landseteng.com

"CONSTRUCTION DETAILS"
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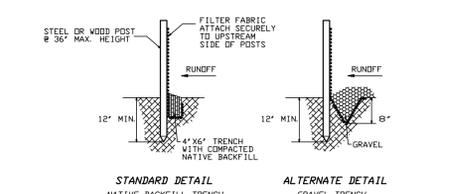
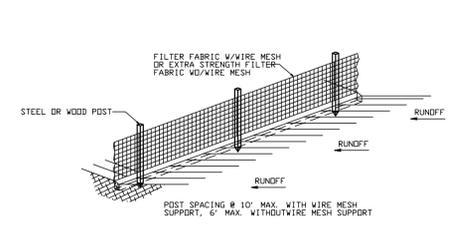
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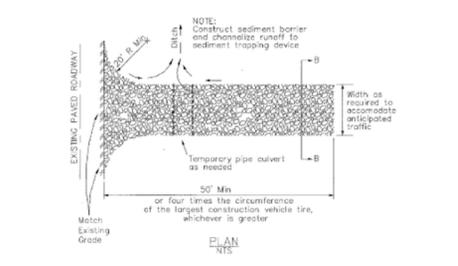
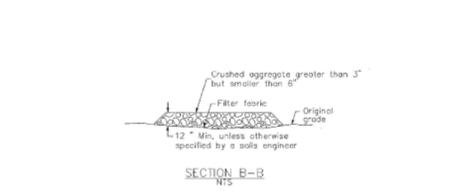
SHEET **C5**
OF 7 SHEETS



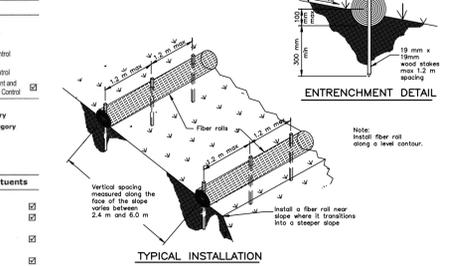
CONCRETE WASHOUT
NOT TO SCALE



SILT FENCE
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



FIBER ROLL
NOT TO SCALE

- EROSION & SEDIMENT CONTROL NOTES:**
- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
 - 2) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
 - 3) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
 - 4) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK. ACCESS ROADS SHALL BE CLEANED DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN EVENT.
 - 5) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
 - 6) CONTRACTOR SHALL PROVIDE WATERING FOR DUST CONTROL DURING ALL GROUND DISTURBANCE OPERATIONS.
 - 7) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
 - 8) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITEE AT THEIR EXPENSE.
 - 9) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNNIMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
 - 10) SEEDED AREAS SHALL BE RETAINED ON-SITE AND SHALL BE PREVENTED FROM FLOWING INTO THE STORM DRAINAGE SYSTEM. SEDIMENT CATCHMENT BARRIERS SHALL BE INSPECTED BY THE APPLICANT IMMEDIATELY AFTER ANY SIGNIFICANT RAINFALL AND AT LEAST DAILY DURING ANY PERIOD OF PROLONGED RAINFALL.
 - 11) PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
 - 12) DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
 - 13) PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
 - 14) THE APPLICANT SHALL SCHEDULE WEEKLY INSPECTIONS WITH RMA-ENVIRONMENTAL SERVICES DURING THE RAINY SEASON, OCTOBER 15th TO APRIL 15th, TO ENSURE CONTAMINANTS ARE NOT DISCHARGED INTO THE AREAS OF SPECIAL BIOLOGICAL SIGNIFICANCE.

BMP LEGEND:

- 1) FR: FIBER ROLL
 - 2) DR: DRAIN INLET PROTECTION
 - 3) SC: STABILIZED CONSTRUCTION ACCESS
 - 4) SM: STOCKPILE MANAGEMENT
 - 5) CW: CONCRETE WASHOUT
 - 6) SA: CONTRACTOR'S STAGING AREA
 - 7) TP: TREE PROTECTION
 - 8) SF: SILT FENCE
 - 9) CD: GRAVEL BAG CHECK DAM
 - 10) TR: TRASH
 - 11) RC: RECYCLE
- FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
- DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
- STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (IF NECESSARY FOR THIS APPLICATION, SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
- STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
- CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BY A LICENSED AND CERTIFIED ARBORIST.
- SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEPT INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING UNDER THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.
- GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 0.5" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
- WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERTIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ON-SITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
- SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.

DETAILS
NOT TO SCALE

Material Delivery and Storage WM-1

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Category
- Secondary Category

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

None

Description and Purpose

Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

Solid Waste Management WM-5

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Objective
- Secondary Objective

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

None

Description and Purpose

Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Hazardous Waste Management WM-6

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Objective
- Secondary Objective

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

None

Description and Purpose

Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Sanitary/Septic Waste Management WM-9

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Category
- Secondary Category

Targeted Constituents

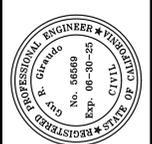
- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

None

Description and Purpose

Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.



APPROVED BY:
GUY R. GIRARDINO



"EROSION & SOURCE CONTROL PLAN"
 GRADING, DRAINAGE, & EROSION CONTROL PLAN
 OF
 ALLEN ADU - 28 POPPY LANE
 A.P.N.: 008-032-012
 PEBBLE BEACH, CALIFORNIA
 TIM ALLEN

SCALE: AS SHOWN
DATE: JUL 2024
JOB NO. 2702-01

SHEET	C6
OF	7 SHEETS

No.	DATE	BY	REVISION
	07/24/24	JAN	REVISED AREA CALCULATIONS
	01/09/24	JAN	RELEASED TO CLIENT



SITE GRADING:
THE PROPOSED GRADING INCLUDES APPROXIMATELY 730 CY OF CUT & 10 CY OF FILL.

- CONSTRUCTION STAGING:**
- A. MOBILIZE, CLEAR AND GRUB
 - B. SITE GRADING
 - C. UTILITY INSTALLATION
 - D. CONSTRUCT STRUCTURE
 - E. INSTALL PAVERS AND LANDSCAPING
 - F. SITE CLEANING, PUNCH LIST

MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY. SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

HAUL ROUTES:
HAUL TRUCKS SHALL BACK ONTO THE SITE FROM POPPY LN. HAUL TRUCKS WILL EXIT THE SITE, HEADING SOUTH ON POPPY LN. THEY WILL THEN FOLLOW THE ROUTE SHOWN IN DETAIL B, FROM POPPY LN TO LOPEZ RD TO SUNRIDGE RD TO RONDA RD TO SUNRIDGE RD TO 17 MILE DR TO CA HWY 68 TO CA HWY 1 NORTH. FLAGGERS SHALL BE STATIONED ON POPPY LN AS TRUCKS BACK FROM THE PUBLIC RIGHT-OF-WAY ONTO THE SITE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE EASEMENT/DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

TRUCK STAGING AREA:
VEHICLES OR TRUCKS SHALL NOT QUEUE ON POPPY LN. TRUCKS SHALL QUEUE ONSITE (SEE DETAIL A, THIS SHEET).

EMPLOYEE PARKING:
EMPLOYEES SHALL PARK ON SITE WHENEVER POSSIBLE. EMPLOYEES SHALL USE PUBLIC PARKING ALONG POPPY LN AS NECESSARY, OBEYING ALL PARKING LAWS. EMPLOYEES SHALL CARPOOL WHENEVER POSSIBLE. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION:
ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

NUMBER OF EMPLOYEES ONSITE PER DAY: APPROXIMATELY 10-20

NUMBER OF TRUCK TRIPS/DAY: 4

AMOUNT OF GRADING/DAY: 80 C.Y.

HOURS OF OPERATION/DAY: 8

DAYS OF OPERATION: MONDAY THROUGH FRIDAY

TIME OF OPERATION: 8:00 AM - 4:30 PM

PROJECT SCHEDULING: PROJECTED START DATE IS JUNE 1, 2024. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

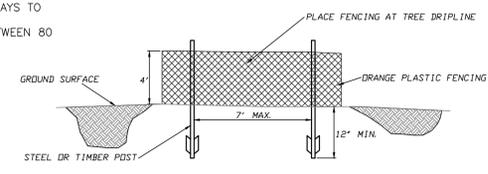
A PLAN
SCALE: 1" = 20'

TRUCK TRIP GENERATION CHART:

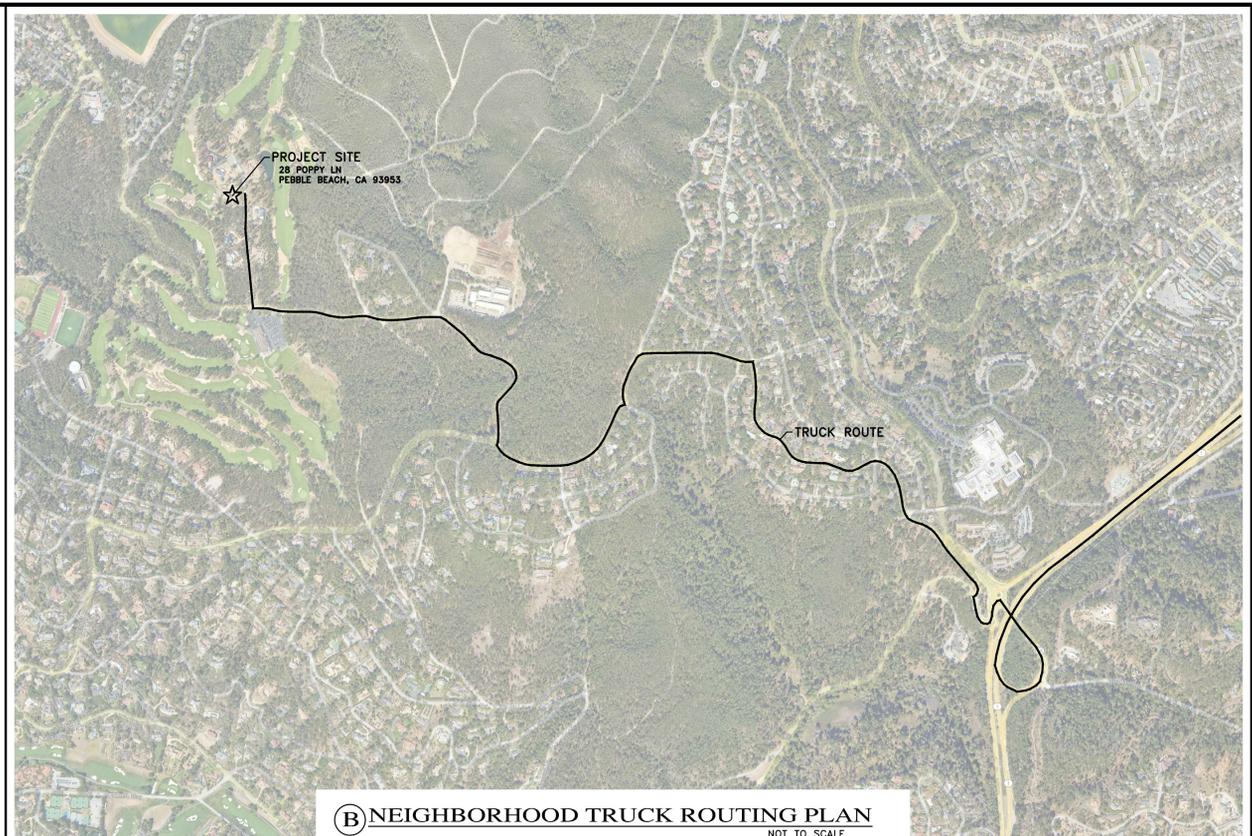
CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	4	5
GRADING & SOIL REMOVAL (EXPORT)	36	9
ENGINEERING MATERIALS (IMPORT)	-	-
TOTALS	40	14

TRUCK TRIP GENERATION NOTES:

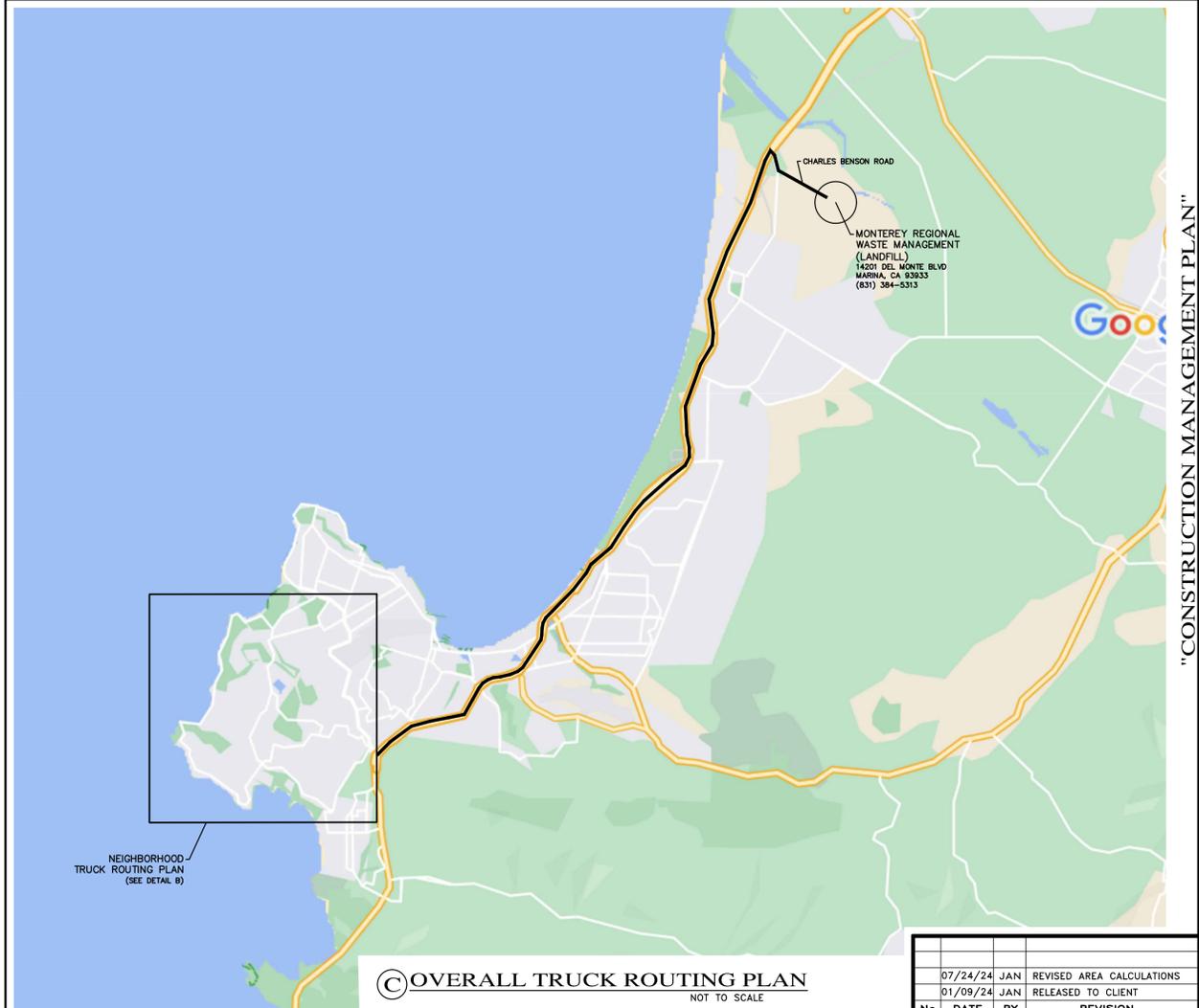
1. TRUCK TRIPS FOR THE GRADING/SOIL IMPORT IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 4 TRUCK LOADS PER DAY.
2. THERE ARE APPROXIMATELY 720 CUBIC YARDS OF SOIL MATERIAL TO BE EXPORTED FROM THE SITE.
3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 14 WORKING DAYS TO COMPLETE.
4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 100 CUBIC YARDS.



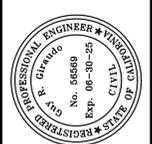
ESA FENCING
NOT TO SCALE



B NEIGHBORHOOD TRUCK ROUTING PLAN
NOT TO SCALE



OVERALL TRUCK ROUTING PLAN
NOT TO SCALE



APPROVED BY:
[Signature]
GUY R. GIRARDO



"CONSTRUCTION MANAGEMENT PLAN"
GRADING, DRAINAGE, & EROSION CONTROL PLAN
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SHEET **C7**
OF 7 SHEETS

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COLOR AND MATERIAL SAMPLES FOR

Tim Allen
New ADU and Garage
28 Poppy Lane
Pebble Beach, CA
APN: 008-032-012



**ALL COLORS AND MATERIALS TO MATCH
EXISTING MAIN HOUSE**