

# Exhibit D

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# Monterey County Planning Commission

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## Agenda Item No. 3

Legistar File Number: PC 18-023

March 28, 2018

**Introduced:** 3/21/2018

**Current Status:** Agenda Ready

**Version:** 1

**Matter Type:** Planning Item

### **PLN150150 - LUNDQUIST (Continued from February 14, 2018)**

Public hearing to consider demolition and construction of a single-family dwelling and accessory structures; development on slopes exceeding 30 percent; development within 100 feet of environmentally sensitive habitat (Monterey cypress habitat); development within 750 feet of known archaeological resources; and removal of one dead Monterey cypress tree.

**Project Location:** 3224 17-Mile Drive, Pebble Beach, Del Monte Forest, Coastal Zone

**Proposed CEQA Action:** Addendum to a previously-adopted Mitigated Negative Declaration pursuant to Section 15164 of the CEQA Guidelines.

#### RECOMMENDATION:

Staff recommends that the Planning Commission adopt a resolution:

- a. Approving an Addendum together with the previously-adopted Mitigated Negative Declaration (SCH No. 2012061087; Planning Commission Resolution No. 13-007), pursuant to Section 15164 of the CEQA Guidelines;
- b. Amending a previously-approved Combined Development Permit (PLN110114) consisting of:
  - 1) Coastal Administrative Permit and Design Approval to:
    - a. Demolish a 2,083 square foot single-family dwelling with 740 square feet of deck area and a 249 square foot attached carport;
    - b. Construct an 8,886 square foot single-family dwelling with 1,296 square feet of balcony area and a 1,106 square foot detached garage, and re-aligned driveway;
    - c. Replace an existing wood fence with a stone wall and a new driveway entrance gate; and
    - d. Restore existing paths and driveway to Monterey Cypress habitat.
  - 2) Coastal Development Permit to allow the removal of one dead Monterey cypress tree;
  - 3) Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat (Monterey cypress habitat);
  - 4) Coastal Development Permit to allow development within 750 feet of known archaeological resources; and
  - 5) Coastal Development Permit to allow development on slopes exceeding 30 percent; and
- c. Adopting a Mitigation Monitoring and Report Plan.

A draft resolution, including findings and evidence, is attached for consideration (**Exhibit B**).

Staff recommends approval subject to thirty (30) conditions of approval, including nine (9) mitigation

measures.

**PROJECT INFORMATION:**

**Property Owner:** Richard C. and Melanie F. Lundquist TRS

**Agent:** Aengus Jeffers

**APN:** 008-472-006-000

**Zoning:** Low Density Residential, 2.5 acres per unit, with a Design Control Overlay (Coastal Zone) [LDR/2.5-D (CZ)]

**Parcel Size:** 1.68 acres or 73,230 square feet

**Plan Area:** Del Monte Forest Land Use Plan

**Flagged and Staked:** Yes

**SUMMARY:**

The Planning Commission considered and subsequently continued the item on February 14th, 2018 and directed staff to return with more specific findings and evidence. The Commission wanted a finding regarding how this project met the requirements of the newly amended Policy 20 and corresponding text of Section 20.147.040.D.2 of the Coastal Implementation Plan (Title 20 of the Monterey County Code), Part 5, regulating development within the indigenous Monterey cypress habitat in the Del Monte Forest Land Use Plan area. This new finding was needed to provide evidence of how this specific project, in this specific case, met the standards of the new Policy 20 rather than setting a broad precedent. Per Planning Commission direction, staff has added Finding No. 7, 'Development within the Indigenous Monterey Cypress Habitat Area', and supporting evidence to address the specific requirements of the recently-amended Policy 20 and the applicable Section 20.147.040.D.2(c)(2). This new finding is specific PLN150150, and contains evidence of how this project meets the standards of the newly adopted Policy 20. Staff is recommending that the Planning Commission approve this project with the incorporation of newly crafted Finding No.7.

Requirements of the new Policy 20 are discussed briefly below, and in more detail in the project discussion (**Exhibit A**). The Staff Report from the February 14th Planning Commission is also attached as Exhibit J for additional project background information.

**DISCUSSION:**

**New Development Requirements within Monterey Cypress Habitat Area**

DMF LUP Policy 20 designates indigenous Monterey cypress habitat as environmentally sensitive habitat, and presumes its presence within and adjacent to the area mapped in LUP Figure 2a. Coastal Implementation Plan Section 20.147.040.2(c)(2) directs that on developed lots (i.e., those with an existing legally established residence), new and/or modified development located outside of the existing legally established structural and/or hardscape area must meet a series of stringent requirements; including:

- Significantly reducing existing hardscape;
- Accommodating the habitat health and vitality and not harming any existing individual Monterey cypress;
- Siting development to avoid the most sensitive habitat parts of the site;
- Defining a surveyed development envelope that shall contain all improvements and structural

development;

- Be no larger than 15 percent of the cypress habitat area;
- Restoring all Monterey cypress habitat area outside of the approved development envelope;
- Placing the remaining parcel area within an open space conservation and scenic easement; and
- Providing for off-site restoration of all new coverage at a 2:1 ratio.

Pursuant to the applicable requirements, the proposed development and restoration represents an opportunity to increase and promote Monterey cypress native habitat by over 10,000 square feet. This habitat recovery would be accomplished through both the removal of non-native Monterey cypress and ice plant and hardscape reduction. As proposed, the project would restore 4,191 square feet of hardscape, comprised mainly of the existing driveway, walkways, and other flatwork. When calculated with the proposed construction, this results in a 679-square foot net reduction of hardscape on the site (from 9,974 square feet to 9,295 square feet - a reduction of 6.8 percent), including 119 square feet of hardscape from existing critical root zone areas. While this 6.8 percent reduction in total hardscape may not be considered a sufficiently significant reduction for properties with larger amounts of existing and permitted total hardscape, it is considered a significant reduction given the specific project site's limited existing and permitted total hardscape of 9,974 square feet relative to neighboring properties fully located in the Monterey cypress habitat area.

To further illustrate that in this case, a 6.8 percent reduction in hardscape can be considered significant, Staff researched total hardscape footprints on nearby project sites. Based upon County-approved entitlements since 2011, neighboring properties in the Monterey cypress habitat area contain total hardscape baselines well in excess of 11,000 square feet. In addition, the 6.8 percent reduction in total hardscape is also considered a significant reduction given the proposed total coverage of 9,295 square feet will only be 12.7 percent of the project site, relative to the 15 percent maximum total coverage allowed under Coastal Implementation Plan Section 20.147.040.2(c)(2) and the neighboring properties described below.

<u>Property Address</u>	<u>Lot Size (sq ft)</u>	<u>Total Hardscape Coverage (sq ft)*</u>	<u>Total Hardscape Coverage (%)</u>	<u>Planning File No.</u>
3184 17-Mile Dr	65,343	15,976	24.4%	PLN100579
3168 17-Mile Dr	129,860	29,058	22.3%	PLN160117
3188 17-Mile Dr	65,340	11,410	17.4%	PLN160179
3212 17-Mile Dr	121,096	15,661	12.9%	PLN040662
<b>3224 17-Mile Dr</b>	<b>73,230</b>	<b>9,295</b>	<b>12.7%</b>	<b>PLN150150 **</b>
3196 17-Mile Dr	118,483	12,637	10.7%	PLN150548

\* Structural and Hardscape Coverage Combined

\*\* Lundquist Project Site

In summary of this chart, the project site currently uses its hardscape efficiently, and the proposed project pares this hardscape down to the bare minimum of about 12.7 percent of the project site.

Overall, the project incorporates recommendations for improving the health and viability of the habitat system as a component of the development. As proposed, conditioned, and mitigated, the project would result in significant improvements over the existing site development pattern by:

- Reducing hardscape;
- Moving existing structural and hardscape development away from existing Monterey cypress trees;
- Reducing the landscaped area on the parcel;
- Increasing the amount of easement and protected habitat area; and
- Promoting the health and vitality of the Monterey cypress habitat to the maximum extent possible.

The proposed development avoids the critical habitat area and the most sensitive habitat parts of the site as much as possible. Since the entire site is considered cypress habitat, the siting focused on consolidating existing hardscape within a single driveway and building envelope. The proposed single-family dwelling will be in the same general building and hardscape footprint as the existing single-family dwelling, with minor adjustments to increase setbacks from Monterey cypress located near the existing building footprint. The project results in greater cypress habitat value on the site, and in relation to adjacent and surrounding habitat areas, than the existing baseline habitat value, and enhances Monterey cypress habitat values overall.

ENVIRONMENTAL REVIEW:

The County prepared, circulated, considered, and adopted a Mitigated Negative Declaration (MND; SCH No. 2012061087) (**Exhibit F**) for the original Combined Development Permit (PLN110114). The MND concluded that the project as designed and mitigated had reduced potential impacts to a less than significant level. Issues that were analyzed in the MND included: aesthetics, biological resources, cultural resources, geology/soils, greenhouse gas emissions, and land use/planning. Mitigations were recommended to reduce potential impacts to less than significant for aesthetics, biological resources, and cultural resources. The current proposal does not alter the analysis or conclusions reached by this MND. The County has prepared an Addendum (**Exhibit E**) for PLN150150 which states that none of the conditions described in Section 15162 of the CEQA Guidelines calling for preparation of a subsequent Initial Study or EIR have occurred, there are no new significant environmental effects or increase in the severity of previously identified significant effects, and there is no new information of substantial importance that was not known at the time the previous MND was adopted. The proposed demolition and rebuild of the single-family dwelling does not raise any new potential significant impacts that were not previously analyzed and/or mitigated under the original permit and MND. Mitigation No. 8 regarding archeological resources will be slightly modified to include the excavation of the area for the new residence in addition to the new driveway, fence, and garage, and to include a tribal monitor. No unresolved issues remain and the project, as proposed and mitigated, is consistent with applicable policies regarding hazards and protection of environmental resources.

OTHER AGENCY INVOLVEMENT:

The following County agencies or departments reviewed this project:

- RMA-Public Works
- RMA-Environmental Services
- Environmental Health Bureau
- Water Resources Agency
- Pebble Beach Community Services District - Fire Department

The proposed project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. The LUAC, at a duly-noticed public meeting on June 4, 2015, voted 5 - 0 to support the project as proposed (**Exhibit C**).

Prepared by: Joseph Sidor, Associate Planner, x5262

Reviewed by: Brandon Swanson, RMA Services Manager

Approved by: John M. Dugan, AICP, RMA Deputy Director for Land Use and Community Development

The following attachments are on file with the RMA:

Exhibit A - Discussion

- includes the full text of the amended Del Monte Forest Land Use Plan (LUP) Policy 20 and Coastal Implementation Plan Section 20.147.040.D.2(c)(2) for developed lots

Exhibit B - Draft Resolution, including:

- Conditions of Approval and Mitigation Monitoring and Reporting Plan
- Plans

Exhibit C - Del Monte Forest Land Use Advisory Committee Minutes (June 4, 2015)

Exhibit D - Vicinity Map

Exhibit E - Addendum

Exhibit F - Mitigated Negative Declaration/Initial Study

Exhibit G - Planning Commission Resolution No. 13-007 (March 13, 2013)

Exhibit H - Del Monte Forest Land Use Plan Policy 20 (effective February 7, 2018)

Exhibit I - Coastal Implementation Plan Section 20.147.040.D.2

Exhibit J - February 14th Planning Commission Staff Report

cc: Front Counter Copy; Planning Commission; California Coastal Commission; Brandon Swanson, RMA Services Manager; Joseph Sidor, Project Planner; Aengus Jeffers, Agent; Richard Lundquist, Owner; The Open Monterey Project (Molly Erickson); LandWatch; Planning File PLN150150

# Exhibit A

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## **EXHIBIT A DISCUSSION**

### Project Issues

#### Del Monte Forest Land Use Plan (LUP) Policy 20 and Coastal Implementation Plan Section 20.147.040.D.2(c)(2)

The Planning Commission continued the item on February 14<sup>th</sup>, and directed staff to return with more specific findings and evidence related to the requirements of the newly amended Policy 20 and corresponding text of Section 20.147.040.D.2 of the Coastal Implementation Plan (Title 20 of the Monterey County Code), Part 5, regulating development within the indigenous Monterey cypress habitat in the Del Monte Forest Land Use Plan area.

Per Planning Commission direction, staff has added Finding No. 7, Development within the Indigenous Monterey Cypress Habitat Area, and supporting evidence to address the specific requirements of Policy 20 and the applicable Section 20.147.040.D.2(c)(2), both of which are provided below for reference.

#### ***Policy 20***

*Indigenous Monterey cypress habitat is an environmentally sensitive habitat area within the Del Monte Forest, and is presumed present within and adjacent to the area mapped in Figure 2a. All proposed development in this area shall be accompanied by a coordinated biological/arborist report prepared in consultation with the Del Monte Forest Conservancy and consistent with Policies 12 and 16, a primary purpose of which shall be to determine: the Monterey cypress habitat portion of the site; the “critical habitat area” for the site (i.e., the portion of Monterey cypress habitat on the site that is to be avoided to protect against potential damage or degradation of cypress habitat, including the microhabitat of individual cypress trees); the relative habitat sensitivity of all parts of the site, ranked from the highest sensitivity to the lowest sensitivity in terms of potential adverse impacts from development; the ways in which the cypress habitat portion of the site, the critical habitat area and the relative habitat sensitivity rankings relate to adjacent and surrounding habitat areas; and the measures to best protect Monterey cypress habitat on the site and overall, including on-site (and potentially off-site) restoration and enhancement measures. The critical habitat area shall at a minimum be defined by a 10-foot buffer applied to the outermost driplines (i.e., the tree canopies) of all of the Monterey cypress trees on and adjacent to the site, but shall also include any other areas on site that are deemed critical to preservation of existing cypress trees on and off site, or that are to be avoided due to high habitat sensitivity and/or cypress habitat preservation purposes for other reasons.*

*All development in and adjacent to the Monterey cypress habitat mapped in Figure 2a shall be carefully sited and designed to avoid potential damage or degradation of Monterey cypress habitat, including the microhabitat of individual cypress trees, and shall be required to include measures that will enhance Monterey cypress habitat values. All use and development in or adjacent to indigenous Monterey cypress habitat areas shall be compatible with the objective of protecting this environmentally sensitive coastal resource. All improvements (such as structures and driveways, etc.) shall be carefully sited and designed to avoid potential damage and/or degradation of Monterey cypress habitat, including the microhabitat of individual cypress trees.*

*Open space conservation and scenic easements are required for all undeveloped areas of a site within the Monterey cypress habitat area, and such easements shall be secured consistent with Policy 13.*

***Coastal Implementation Plan, Section 20.147.040.D.2(c)(2)***

*On developed lots (i.e., those with an existing legally established residence), new and/or modified development shall be located within the existing legally established structural and/or hardscape area (i.e., all areas of the site covered with a structure, or covered by pervious or impervious hardscape (such as decks, patios, driveways, and paths, but not including landscaped areas, fence areas, or underground or over ground utility areas)) and outside the critical habitat area.*

*New and/or modified development outside of such areas is prohibited unless each of the following findings can be made:*

- (a) Construction, use, and maintenance of the new and/or modified development shall significantly reduce existing hardscape;*
- (b) Construction, use, and maintenance of the new and/or modified development will accommodate the health and vitality, and will not harm, any existing individual Monterey cypress tree regardless of size. This determination will be made based on the type of development, the particulars of its siting and design, and its location in relation to individual trees, the critical habitat area, higher sensitivity portions of the site, and adjacent and surrounding habitat areas);*
- (c) The new and/or modified development will be confined within a defined and surveyed development envelope. The development envelope shall contain all improvements and structural development (i.e., all uses and development that are not Monterey cypress habitat), and shall, within the Monterey cypress habitat area portion of the site, be no larger than 15% of the cypress habitat area; however, limited additional coverage above 15% may be allowed for a driveway only if an existing driveway cannot be reconfigured to achieve full compliance with this standard, in which case the existing driveway shall be reduced in width, length, and overall coverage as much as possible. All development on the site:*

- (1) Shall significantly reduce hardscape;*
- (2) Shall be sited in the non-cypress habitat portions of the site (if there are any) to the maximum degree possible; and*
- (3) Shall be sited in such a way as to maximize Monterey cypress habitat values, including in relation to adjacent and surrounding areas (e.g., clustering new and/or modified development on the site near to existing and/or adjacent residential developments so as to provide as much of a contiguous, undisturbed, and unfragmented habitat area as possible on and off site);*
- (d) All Monterey cypress habitat area outside of the approved development envelope shall be: restored to and/or enhanced as high value and self-functioning Monterey cypress habitat (including through measures identified pursuant to the biological/arborist report, such as removal of exotics species, improving growing conditions to provide a bare, mineral soil necessary for seed germination, and increasing sunlight to prevent soil borne fungi from inhabiting seedlings), with all initial restoration/enhancement initialized prior to occupancy of any approved development;*

*and placed within an open space conservation and scenic easement secured consistent with Policy 13;*

*(e) All areas of new coverage (i.e., areas that would be covered with structures and/or hardscape and/or other non-cypress habitat restoration and enhancement that are not already so covered in the existing legally established baseline condition) shall be offset through restoration and/or enhancement (as high value and self-functioning Monterey cypress habitat) of an off-site area located within the Monterey cypress habitat area mapped in Figure 2a at a ratio of 2:1 (and/or payment of a mitigation fee, commensurate with the cost to restore/enhance such an area, to a public agency or private group acceptable to the County effectively able to administer such a fee and to implement such measures). Such off-site restoration/enhancement areas shall be selected for their potential to result in the greatest amount of overall benefit to the native Monterey cypress habitat in the Del Monte Forest, and all initial restoration/enhancement of the offsite area shall be initialized prior to occupancy of any approved development or, in the case of a fee, the fee paid prior to issuance of any demolition, grading, or construction permits;*

*(f) The new and/or modified development has been sited and designed to avoid the critical habitat area and the most sensitive habitat parts of the site as much as possible (including through required siting in the non-cypress habitat portions of the site (if there are any) to the maximum degree possible), and to minimize any incursion into this area as much as possible. If any non-habitat related development is proposed within the defined critical habitat area, the biological/arborist report must identify all possible alternatives to avoid such siting, and must provide alternative construction methods or preconstruction treatments to avoid impacts in the case such development ultimately proves unavoidable. The alternative methods and treatments can include supplemental irrigation, hand digging or grading, root pruning or modification to traditional construction methods, such as spanning roots, pier and above grade beams or cantilevering structures. However, in no case shall Monterey cypress trees be removed unless they are dead or declining, and the biological/arborist report and the approving body conclude removal will further enhance Monterey cypress habitat values or avoid adverse impacts, potential damage, or degradation to both healthy individual cypress trees and cypress habitat; and*

*(g) The project results in greater cypress habitat value on the site (and in relation to adjacent and surrounding habitat areas) than the existing baseline habitat value, and the project enhances Monterey cypress habitat values overall.*

Pursuant to the applicable requirements, the proposed development and restoration represents an opportunity to increase and promote Monterey cypress native habitat by over 10,000 square feet. As proposed, the project would create 3,214 square feet of new hardscape, primarily from the re-alignment of the driveway to improve ingress to and egress from the site, and another 664 square feet of hardscape in existing disturbed areas. However, the project would also involve the restoration of 4,191 square feet of hardscape and elimination of 366 square feet of overhangs, resulting in a 679 square foot net reduction of hardscape on the site, including 119 square feet of hardscape from existing critical root zone areas. Additionally, the project proposes the restoration of over 10,000 square feet of Monterey cypress habitat through the removal of non-native Monterey cypress and ice plant.

Overall, the project incorporates recommendations for improving the health and viability of the habitat system as a component of the development, and satisfies the requirements of the newly-adopted Policy 20. Restoration would be partially accomplished by removing all of the existing planted landscaping beyond the footprint of the proposed new residence, and preparing these areas for future Monterey cypress germination. All Monterey cypress habitat area outside of the proposed development envelope would be restored to and/or enhanced as high value and self-functioning Monterey cypress habitat. As proposed, conditioned, and mitigated, the project would result in significant improvements over the existing site development pattern by: moving structural and hardscape development away from existing Monterey cypress trees; reducing the landscaped area on the parcel; increasing the amount of easement and protected habitat area; and by promoting the health and vitality of the Monterey cypress habitat to the maximum extent possible. Therefore, the project would be consistent with the amended Policy 20 and the development standards in the amended Del Monte Forest Coastal Implementation Plan Section 20.17.040.D.2 (Development Standards for Monterey Cypress Habitat).

As proposed, conditioned, and mitigated, the project promotes (accommodates) the health and vitality of the indigenous Monterey cypress habitat, and will not harm any existing individual Monterey cypress tree regardless of size. The proposed single-family dwelling will be in the same general building and hardscape footprint as the existing single-family dwelling, with minor adjustments to increase setbacks from cypress located near the existing building footprint. As proposed, the property will continue to be used for residential purposes within the same general impact footprint. Numerous site visits with Coastal Commission staff and the project arborist to address siting and design, have confirmed that no Monterey cypress trees will be impacted by the project. Further, implementation of Mitigation Measures No. 3 and No. 4 (Tree Protection) will prevent adverse impacts to Monterey cypress trees, while removal of exotic species and hardscape reductions will increase the site's potential cypress germination areas by over 10,000 square feet. Relocation of the existing driveway will restore the existing cut and fill driveway which side cast fill against Monterey cypress trunks and has no protections against compaction of roots. The new driveway avoids compaction through bridged spans over critical root zones and avoids any fill against Monterey cypress trunks.

Per Condition No. 7 (Conservation and Scenic Easement), all areas of development on the parcel will be confined within a defined and surveyed development envelope that shall be no larger than 15 percent of the cypress habitat area or parcel area. As proposed, the project would significantly reduce hardscape. It is not possible to site the project development in a non-cypress habitat portion of the site because the entire site is considered cypress habitat. Furthermore, as proposed, conditioned, and mitigated, the project shall maximize Monterey cypress habitat values by increasing potential cypress germination area by over 10,000 square feet, and consolidating existing hardscape within a single driveway and building envelope. The result provides as much of a contiguous, undisturbed, and unfragmented habitat area as possible on and off site. Relocation of the existing driveway will also restore the existing cut and fill driveway which side cast fill against cypress trunks and provides no protections against compaction of cypress roots. As described above, the new driveway avoids compaction through bridged spans over critical root zones and avoids any fill against cypress trunks.

The project Applicant has proposed to restore and/or enhance as high value and self-functioning Monterey cypress habitat all Monterey cypress habitat area outside of the approved development envelope. The Applicant proposes to reduce existing hardscape by 679 square feet, while also removing 5,135 square feet of ice plant and 4,254 square feet of non-native cypress trees. Total site restoration includes restoring over 10,000 square feet, comprising all Monterey cypress habitat area outside of the approved development envelope, to high-value and self-functioning Monterey cypress habitat. The implementation of Condition No. 7 (Conservation and Scenic Easement), No. 25 (Sensitive Species Replanting), No. 26 (Monterey Cypress Habitat Restoration), and No. 30 (Off-Site Restoration) ensures restoration of the site to promote cypress germination. This removal and restoration is consistent with the coordinated recommendations in the Biological Assessment prepared by Fred Ballerini, the Biotic Survey and Impact Assessment prepared by Jean Ferreira, and the Tree Resource Evaluation prepared by Maureen Hamb.

Areas of new site coverage (i.e., areas that would be covered with structures and/or hardscape and/or other non-cypress habitat restoration and enhancement that are not already so covered in the existing legally established baseline condition) amount to 3,214 square feet. Therefore, Condition No. 30 requires that 6,428 square feet of off-site area (a 2:1 ratio) located within the Monterey cypress habitat area mapped in DMF LUP Figure 2a be restored and/or enhanced as high value and self-functioning Monterey cypress habitat. The Applicant may satisfy this condition by payment of a mitigation fee, commensurate with the cost to restore/enhance such an area, to a public agency or private group acceptable to the County effectively able to administer such a fee and to implement such measures. The off-site restoration/enhancement area shall be selected for its potential to result in the greatest amount of overall benefit to the native Monterey cypress habitat in the Del Monte Forest. Per Condition No. 30, prior to the issuance of construction permits for grading and building, the Applicant shall work with the Del Monte Forest Conservancy to determine the most appropriate off-site area for restoration and submit evidence of payment of the off-site fee.

As sited and designed, the proposed development avoids the critical habitat area and the most sensitive habitat parts of the site as much as possible (see also Evidence d above). Since the entire site is considered cypress habitat, the siting focused on consolidating existing hardscape within a single driveway and building envelope. The proposed single-family dwelling will be in the same general building and hardscape footprint as the existing single-family dwelling, with minor adjustments to increase setbacks from Monterey cypress located near the existing building footprint. Relocation of the existing driveway will restore the existing cut and fill driveway, which side cast fill against cypress trunks and provides no protections against compaction of cypress roots. The new driveway avoids compaction through bridged spans over critical root zones and avoids any fill against cypress trunks. As sited and designed, the project avoids impacts to new critical habitat area, and provides as much of a contiguous, undisturbed, and unfragmented habitat area as possible.

As proposed, the project results in greater cypress habitat value on the site, and in relation to adjacent and surrounding habitat areas, than the existing baseline habitat value, and enhances Monterey cypress habitat values overall. The Applicant proposes to reduce existing hardscape by 679 square feet, while also removing 5,135 square feet of ice plant and 4,254 square feet of non-native cypress trees, resulting in total site restoration of over 10,000 square feet. The areas

of restoration would comprise all Monterey cypress habitat area outside of the approved development envelope, and restore it to high-value and self-functioning Monterey cypress habitat. As proposed, conditioned, and mitigated, the project would maximize Monterey cypress habitat values by increasing potential cypress germination area by over 10,000 square feet, and consolidating existing hardscape within a single driveway and building envelope. The result provides as much of a contiguous, undisturbed, and unfragmented habitat area as possible on and off site. The implementation of Condition No. 7 (Conservation and Scenic Easement), No. 25 (Sensitive Species Replanting), No. 26 (Monterey Cypress Habitat Restoration), and No. 30 (Off-Site Restoration) ensure the restoration of the site to promote cypress germination. The proposed removal and restoration work is consistent with the coordinated recommendations in the Biological Assessment prepared by Fred Ballerini, the Biotic Survey and Impact Assessment prepared by Jean Ferreira, and the Tree Resource Evaluation prepared by Maureen Hamb.

Policy 20 Background – Policy 20 identifies indigenous Monterey cypress habitat as ESHA, and regulates use and development in or adjacent to indigenous Monterey cypress habitat areas. The policy requires development to be compatible with the objective of protecting this environmentally sensitive coastal resource. The previous text of Policy 20 (approved in 2012) suggested that only remodels which stay within existing hardscape footprints can be approved. The undesired consequence of this language was that good projects which modified existing encroachments like excessive hardscapes, and provided a net benefit to overall cypress habitat could still be determined to be inconsistent with the policy. This project falls into that category of projects which provide a net benefit to cypress habitat, but was interpreted by the Coastal Commission to be inconsistent with Policy 20. The Lundquist project, as approved by the Planning Commission in 2013, triggered the need to amend Policy 20, not only for this project, but for other projects west of 17-Mile Drive from Pescadero Point to Cypress Point.

On December 6, 2016, following collaboration between County and Coastal Commission staff to revise Policy 20, the Board of Supervisors adopted a Resolution of Intent (Resolution of Intent No. 16-321) to amend the text of the Del Monte Forest Area Land Use Plan and to adopt an ordinance to amend the text of Section 20.147.040.D.2 of the Coastal Implementation Plan regulating development within the indigenous Monterey cypress habitat. The purpose of the amendment was to recognize residential projects in the Del Monte Forest that may alter their existing footprint following confirmation that the project would substantially improve existing Monterey cypress habitat.

On May 10, 2017, the California Coastal Commission certified the amendment to Policy 20 and its associated development regulations, with modifications. The Planning Commission reviewed the Coastal Commission's version of the amendment on October 25, 2017, and recommended approval to the Board of Supervisors. On December 12, 2017, the Board of Supervisors adopted the amendment with the recommended modifications. On February 7, 2018, the Coastal Commission concurred with the Commission's Executive Director's determination of adequacy.

To confirm a project's net benefit to the Monterey cypress habitat, a project must meet each of the following requirements:

1. The project must not harm any existing individual Monterey cypress tree;

2. The project must reduce the existing legally established baseline for building and site coverage to increase Monterey cypress habitat;
3. All areas outside of the approved development envelope must be restored to and enhanced as high value and self-functioning Monterey cypress habitat and placed into a permanent conservation easement;
4. An off-site area shall be restored and/or enhanced and/or an off-site mitigation fee shall be collected based upon a 2:1 ratio assessed against all areas of new coverage and applied to benefit the native Monterey cypress habitat in the Del Monte Forest; and
5. The new development must be sited and designed in such a way as to avoid the critical root zone and the most sensitive habitat areas of the site as much as possible and use alternative construction methods for development in critical root zone areas.

Visual Resources - The project site is identified on the LUP Visual Resources Map (Figure 3) as part of the viewshed area from 17-Mile Drive. The site of the Lone Cypress, a designated scenic vista, is located immediately northwest of the site. The existing visual character of the site is that of a forested area with views through the openings between the trees to the ocean. Some areas are more heavily forested, but the ocean is visible along the entire length of the property. The property slopes sharply down from the road to the bluff above the beach with a 30 to 35-foot change in elevation across the parcel. The existing single-story residence is sited approximately 20 feet lower than and 100 feet away from the road, nestled in among the trees.

The proposed residence will be in the same general building and hardscape footprint as the existing single-family dwelling, with minor adjustments to increase critical root zone of large Monterey cypress located near the building footprint. The proposed residence, although taller than the existing home, has been designed to minimize obstructions of and degradation to views from the road to the sea. The proposed residence would be 26.67 feet above average natural grade, and would be 10 feet above the street level of 17-Mile Drive.

The project includes the replacement of the existing fence along 17-Mile Drive with a stone wall that would be 4 - 6 feet tall as measured from the finished grade. Antique bronze fencing, with large view openings and in 12.5-foot long sections, would be inserted at seven locations along the wall. Antique bronze fencing with stone pillars will be utilized at the new driveway entrance. The antique bronze fencing is strategically-designed to allow full views across the site to the ocean and the Lone Cypress. Of the approximately 410-foot front property line, 155 feet, or over one third of the length, will be open design fencing. Removal of the non-native Monterey cypress along the property line adjacent to 17-Mile Drive will further enhance views to the ocean.

The revised wall and fencing design addresses the Coastal Commission staff's concerns regarding forest to ocean views. In addition to a more open design, the Applicant has also lowered the wall sections by 1 - 2 feet along 17-Mile Drive to allow drivers to see the ocean over the wall. An entrance column was also removed to create a more transparent entrance area. The revised design is consistent with Del Monte Forest Land Use Plan Visual Resource Policies, which direct that development not block significant public views nor adversely impact public views and scenic character. Additionally, a recommended condition to require a conservation and scenic easement over those undeveloped portions of the parcel, including most of the southern half of the property, would provide a large area for visual access to the ocean from 17-Mile Drive. As proposed and

conditioned, the project is consistent with applicable LUP visual resource policies, assures protection of the public viewshed, and is consistent with neighborhood character.

Environmentally Sensitive Habitat Area (ESHA) - The entire property is considered to be native Monterey cypress forest habitat, dominated by Monterey cypress with occasional Monterey pines. The understory of the Monterey cypress forest has been colonized by numerous planted, non-native species that have crowded out large areas of native plants, reducing the diversity and habitat value of the understory. Approximately 20 young, non-native Monterey cypress trees have been planted along the fence at the front of the property. The introduction of these trees could eventually result in cross-breeding with the rare, native Monterey cypress in the area. This would have an adverse impact to the Monterey cypress forest, not just on the subject parcel, but in the surrounding forest as well. Additionally, the project biologist identified other sensitive species on the site: Monterey pine, Small-leaved lomatium, and Ocean bluff milk vetch. Implementation of the proposed mitigation measures would reduce impacts to Monterey cypress and coastal bluff habitats to less than significant.

Cultural Resources - Archaeological reconnaissance of the parcel revealed three prehistoric sites located on the project parcel (CA-MNT-166, 167, and 168), which extend onto the adjacent Lone Cypress parcel. Due to the potential for archaeological resources identified on the parcel, auger testing was conducted in the crawl space under the existing house, and in the area of the proposed garage and connecting tunnel. This testing confirmed that cultural deposits are not present on the portion of the parcel along 17-Mile Drive, nor in the location of the garage and tunnel. The auger testing further confirmed that all midden under the existing residence was significantly disturbed during construction of the foundation and residence, and no intact midden was found. Although testing concluded that cultural resources would not likely be disturbed during project construction, staff recommends mitigation measures to ensure monitoring and protection of resources that could be discovered during excavation activities. Additionally, based on tribal consultation which occurred on December 8, 2015, County staff has recommended revision of Mitigation Measure No. 8 to include a tribal monitor during all site excavation activities.

Development on Slopes Exceeding 30 Percent - The project will require the excavation of an area of approximately 160 square feet on a slope greater than 30 percent to re-align the driveway as well as a small area for the construction of the garage. Monterey County Code Title 20 Section 20.64.230 provides for an exception on the development on a 30 percent or greater slope, if the slope is man-made and less than 100 square feet. The subject slope is man-made; however, it is over 100 square feet and therefore would require a Coastal Development Permit.

To approve development on slopes exceeding 30 percent, staff must make one of two findings: 1) that there is no feasible alternative which would allow development to occur on slopes of less than 30 percent; or 2) that the proposed development better achieves the goals, policies and objectives of the Monterey County Local Coastal Program (LCP) than other development alternatives. The site is constrained by the multiple setbacks and the encroachment onto 30 percent slopes is not considered significant given the sloping topography of the site. Further, the project is designed to include restoration of impacted slopes, which will result in 648 square feet of additional ESHA. Therefore, the project better achieves the goals, policies and objectives of the LCP.

Environmental review (CEQA) - The County prepared, circulated, considered, and adopted a Mitigated Negative Declaration (MND; SCH No. 2012061087) (**Exhibit F**) for the original Combined Development Permit (PLN110114). The MND concluded that the project as designed and mitigated had reduced potential impacts to a less than significant level. The current proposal does not alter the analysis or conclusions reached by this MND. The County has prepared an Addendum (**Exhibit E**) for PLN150150 which states that none of the conditions described in Section 15162 of the CEQA Guidelines calling for preparation of a subsequent Initial Study or EIR have occurred, there are no new significant environmental effects or increase in the severity of previously identified significant effects, and there is no new information of substantial importance that was not known at the time the previous MND was adopted.

Mitigation measures include designing the wall/fence to minimize obstruction of views from the road to the sea, removing the non-indigenous stock from the site for both aesthetics and biological integrity; tree protection measures, replanting of sensitive plant species, having an arborist present during all excavation and soil disturbing activities, implementing a Monterey Cypress Habitat Restoration Plan for biological resources, and for cultural resources, having a qualified archaeological monitor present during excavation and soil disturbing activities.

These mitigation measures are consistent with the revised plans; however, the proposed single dwelling was not analyzed in the Initial Study. An Addendum to the previously adopted MND has been prepared to reflect the changes to the project. No substantial changes are proposed in the project which will require major revisions of the previous MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects. The proposed project will have the same or fewer impacts than the previous project:

- No native trees will be removed; only one dead Monterey cypress and the planted non-native Monterey cypress along the fence line will be removed;
- The approved fence and wall design has been further modified to further increase public views from 17-Mile Drive;
- The proposed project will result in a net gain of 9,702 square feet of Monterey cypress habitat through the removal of hardscape, non-native cypress, and ice plant. This number also includes a net gain of 119 square feet of Monterey cypress critical root zone area that will be restored;
- The proposed project, with the amended Policy 20, is consistent with the Del Monte Forest Land Use Plan;
- The proposed project will require the minor modification of Mitigation Measure No. 8 to include the excavation of the area for the new house in addition to the new driveway, fence, and garage, and to include a tribal monitor.

The proposed project has been designed to meet the policies of the Del Monte Forest Land Use Plan, including the amended Policy 20, and site development standards of the Low Density Residential Zoning District. The Addendum to the MND addresses and analyzes potential impacts from the proposed development, and all impacts remain mitigated to a less-than-significant level.

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# Exhibit B

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**EXHIBIT B  
DRAFT RESOLUTION**

**Before the Planning Commission in and for the  
County of Monterey, State of California**

In the matter of the application of:

**LUNDQUIST (PLN150150)**

**RESOLUTION NO. 18 -**

Resolution by the Monterey County Planning  
Commission:

1. Considering an Addendum together with a previously-adopted Mitigated Negative Declaration, pursuant to Section 15164 of the CEQA Guidelines;
2. Approving an Amendment to a previously-approved Combined Development Permit (PLN110114) consisting of:
  - a) a Coastal Administrative Permit and Design Approval to allow demolition of a 2,083 square foot single-family dwelling with 740 square feet of deck area and a 249 square foot attached carport, and construction of an 8,886 square foot single-family dwelling with 1,296 square feet of balcony area and a 1,106 square foot detached garage, driveway, replacement of an existing wood fence with a stone wall and a new driveway entrance gate, restoration of existing paths and driveway to native Monterey Cypress habitat, and associated grading;
  - b) a Coastal Development Permit to allow the removal of one dead Monterey cypress tree;
  - c) a Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat;
  - d) a Coastal Development Permit to allow development within 750 feet of known archaeological resources; and
  - e) a Coastal Development Permit to allow development on slopes exceeding 30 percent; and
3. Adopting a Mitigation Monitoring and Reporting Plan.

3224 17-Mile Drive, Pebble Beach, Del Monte  
Forest Land Use Plan, Coastal Zone (APN: 008-  
472-006-000)

**The Richard C. and Melanie F. Lundquist TRS application (PLN150150) came on for public hearing before the Monterey County Planning Commission on February 14 and March 28, 2018. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:**

### **FINDINGS**

1. **FINDING:** **CONSISTENCY / NO VIOLATIONS** – The proposed project and/or use, as conditioned and mitigated, is consistent with the 1982 Monterey County General Plan, the Del Monte Forest Land Use Plan, the Monterey County Coastal Implementation Plan (Part 5), and the requirements of the applicable zoning ordinance (Title 20), to include Monterey County Code (MCC) Chapter 20.14 (Low Density Residential Zoning District) and Chapter 20.44 (Design Control Zoning District), and other County ordinances related to land use development. No violations exist on the property.

- EVIDENCE:**
- a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
    - the 1982 Monterey County General Plan;
    - Del Monte Forest Land Use Plan (DMF LUP);
    - Monterey County Coastal Implementation Plan - Part 5; and
    - Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The property is located at 3224 17-Mile Drive, Pebble Beach (Assessor's Parcel Number 008-472-006-000), Del Monte Forest Land Use Plan, Coastal Zone. The parcel is zoned Low Density Residential, 2 acres per unit, with a Design Control Overlay (Coastal Zone) [LDR/2-D (CZ)], which allows single-family dwellings and accessory structures as principal uses, subject to granting of applicable coastal development permits. Therefore, the project is an allowed land use for this site.
- c) Tree Removal: The removal of sensitive trees or trees located in an environmentally sensitive habitat area requires a Coastal Development Permit pursuant to CIP Section 20.147.050.A. The project includes the removal one dead 7-inch Monterey cypress tree to accommodate the construction of the garage. Arborist reports (LIB120030 and LIB150181) were prepared for the project to evaluate potential impacts to the forest due to construction of the proposed project. All of the recommendations for tree protection contained in the arborist report have been incorporated into the project design. The tree will be replaced with three trees propagated from trees indigenous to Pebble Beach in a site determined by the project arborist. Tree removal has been minimized to the extent possible and the project has been designed to protect retained trees from damage by construction equipment.
- d) Setback Policy and Exception: Pursuant to DMF LUP Policy 84, new development requires a 100-foot setback from the centerline of 17-Mile Drive to maintain the public viewshed along 17-Mile Drive. As

proposed, the single-family dwelling meets the required 100-foot setback from the centerline of 17-Mile Drive.

Pursuant to an allowed setback exception identified in MCC Section 20.62.040.N (Height and Setback Exceptions), the proposed detached garage will be 9 feet from the front property line. The setback exception allows detached garages to encroach into the front setback up to 5 feet from the front property line where the elevation of the front half of the lot at a point 50 feet from the centerline of the traveled roadway is 7 feet above or below the grade of said centerline. In this case, the elevation drops between approximately 7 feet and 13 feet from the centerline of 17-Mile Drive to points 50 feet into the front of the lot. Placement of the garage in this location would not impact the public viewshed because the Applicant has proposed a subterranean structure with restored habitat above, and is therefore consistent with the intent of DMF LUP Policy 84.

- e) Design: Pursuant to MCC Chapter 20.44, the proposed project site and surrounding area are designated as a Design Control Zoning District (“D” zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The proposed structure color and material finishes include earth-toned stone and masonry (honed and natural granite), steel window and door frames with a bronze patina finish, and pre-weathered/gray zinc metal roofing. The proposed finishes are consistent with other dwellings in the neighborhood and with the surrounding residential neighborhood character, and blend with the surrounding natural environment.
- f) Scenic and Visual Resources: The proposed development is consistent with DMF LUP Scenic and Visual Resource Policies, and will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity. Based on the proposed structural siting compared to the location of the existing single-family dwelling, and extensive large tree canopy screening, the development proposal would not significantly interfere with visual access along 17-Mile Drive or to the ocean.

The proposed single-family dwelling would be constructed within the same approximate development footprint and visual alignment as the existing residence, with minor shifts to avoid large Monterey cypress located near the building footprint, and has been designed to minimize obstructions to and degradation of views from 17-Mile Drive to the ocean, and to not interfere with public visual access to the Lone Cypress. The height increase of the single-family dwelling has been carefully sited to ensure alignment with existing natural visual obstructions on the site (i.e., existing trees). The proposed structures would not significantly intensify visual impacts over the existing residential use of the site, and would be visually compatible with other structures in the site vicinity.

The proposed stone wall will be 4 to 6 feet tall as measured from the finished grade. Antique bronze fencing, in 12.5-foot long sections, will

be inserted at seven locations along the wall and antique bronze fencing with stone pillars will be utilized at the new driveway entrance. The antique bronze fencing is strategically-designed to allow full views across the site to the ocean and the Lone Cypress. Of the approximately 410-foot front property line, 155 feet, or over one third of the length, will be open design fencing.

In addition, the County has applied a condition to require a conservation and scenic easement over those undeveloped portions of the parcel, including most of the southern half of the property, which will provide a large area for visual access to the ocean from 17-Mile Drive. As proposed, conditioned, and mitigated the project is consistent with applicable LUP visual resource policies, assures protection of the public viewshed, and is consistent with neighborhood character.

- g) Review of Development Standards: The development standards for the LDR zoning district are identified in Monterey County Code (MCC) Section 20.14.060. Required setbacks in the LDR district for main dwelling units are 30 feet (front), 20 feet (rear), and 20 feet (sides). In addition, to maintain the public viewshed along 17-Mile Drive, Del Monte Forest Land Use Plan Policy 84 requires a 100-foot setback from the centerline of 17-Mile Drive for new development (see Evidence d above). The proposed single-family dwelling setbacks are 100 feet (front), 36 feet and 235 feet (sides), and 58 feet (rear). As proposed, the residence meets or exceeds all required setbacks. The corresponding maximum structure height is 30 feet. The proposed height for the single-family dwelling is 26.67 feet.

The allowed site coverage maximum in the LDR zoning district is 15 percent, and the allowed floor area ratio maximum in the LDR/2 zoning district is 17.5 percent. The property is 1.68 acres or 73,230 square feet, which would allow site coverage of 10,985 square feet and floor area of 12,815 square feet. As proposed, the project would result in structural coverage of 4,702 square feet or 6.4 percent, and floor area of 9,439 square feet or 12.9 percent. Pursuant to Policy 20, total structural (4,702 square feet) and hardscape (4,593 square feet) coverage would be 9,295 square feet or 12.7 percent (see Finding No. 7 and supporting evidence).

Therefore, as proposed, the project meets all required development standards.

- h) Del Monte Forest Land Use Plan Policy 20 and Coastal Implementation Plan Section 20.17.040.D.2: DMF LUP Policy 20 identifies indigenous Monterey cypress habitat as ESHA, and regulates use and development in or adjacent to indigenous Monterey cypress habitat areas. The policy requires development to be compatible with the objective of protecting this environmentally sensitive coastal resource. The previous text of Policy 20 (approved in 2012) suggested that only remodels which stay within existing hardscape footprints can be approved. The undesired consequence of this language was that good projects which modified existing encroachments like excessive hardscapes, and provided a net benefit to overall cypress habitat could still be determined to be

inconsistent with the policy. This project falls into that category of projects which provide a net benefit to cypress habitat, but was interpreted by the Coastal Commission to be inconsistent with Policy 20. The Lundquist project, as approved by the Planning Commission in 2013, triggered the need to amend Policy 20, not only for this project, but for other projects west of 17-Mile Drive from Pescadero Point to Cypress Point.

On December 6, 2016, following collaboration between County and Coastal Commission staff to revise Policy 20, the Board of Supervisors adopted a Resolution of Intent (Resolution of Intent No. 16-321) to amend the text of the Del Monte Forest Area Land Use Plan and to adopt an ordinance to amend the text of Section 20.147.040.D.2 of the Coastal Implementation Plan regulating development within the indigenous Monterey cypress habitat. The purpose of the amendment was to recognize residential projects in the Del Monte Forest that may alter their existing footprint following confirmation that the project would substantially improve existing Monterey cypress habitat.

On May 10, 2017, the California Coastal Commission certified the amendment to Policy 20 and its associated development regulations, with modifications. The Planning Commission reviewed the Coastal Commission's version of the amendment on October 25, 2017, and recommended approval to the Board of Supervisors. On December 12, 2017, the Board of Supervisors adopted the amendment with the recommended modifications. On February 7, 2018, the Coastal Commission concurred with the Commission's Executive Director's determination of adequacy.

To confirm a project's net benefit to the Monterey cypress habitat, a project must meet each of the following requirements:

1. The project must not harm any existing individual Monterey cypress tree;
2. The project must reduce the existing legally established baseline for building and site coverage to increase Monterey cypress habitat;
3. All areas outside of the approved development envelope must be restored to and enhanced as high value and self-functioning Monterey cypress habitat and placed into a permanent conservation easement;
4. An off-site area shall be restored and/or enhanced and/or an off-site mitigation fee shall be collected based upon a 2:1 ratio assessed against all areas of new coverage and applied to benefit the native Monterey cypress habitat in the Del Monte Forest; and
5. The new development must be sited and designed in such a way as to avoid the critical root zone and the most sensitive habitat areas of the site as much as possible and use alternative construction methods for development in critical root zone areas.

The proposed development and restoration represents an opportunity to increase and promote Monterey cypress native habitat by over 9,700

square feet. As proposed, the project would create 3,214 square feet of new hardscape, primarily from the re-alignment of the driveway to improve ingress to and egress from the site, and another 664 square feet of hardscape in existing disturbed areas. However, the project would also involve the restoration of 4,191 square feet of hardscape and elimination of 366 square feet of overhangs, resulting in a 679-square foot net reduction of hardscape on the site, including 119 square feet of hardscape removed from existing critical root zone areas. Additionally, the project proposes the restoration of over 10,000 square feet of Monterey cypress habitat through the removal of non-native Monterey cypress and ice plant.

Overall, the project incorporates recommendations for improving the health and viability of the habitat system as a component of the development, and satisfies the requirements of the newly-adopted Policy 20. Restoration would be partially accomplished by removing all of the existing planted landscaping beyond the footprint of the proposed new residence, and preparing these areas for future Monterey cypress germination. All Monterey cypress habitat area outside of the proposed development envelope would be restored to and/or enhanced as high value and self-functioning Monterey cypress habitat. As proposed, conditioned, and mitigated, the project would result in significant improvements over the existing site development pattern by: moving structural and hardscape development away from existing Monterey cypress trees; reducing the landscaped area on the parcel; increasing the amount of easement and protected habitat area; and by promoting the health and vitality of the Monterey cypress habitat to the maximum extent possible. Therefore, the project is consistent with the amended Policy 20 and the development standards in the amended Del Monte Forest Coastal Implementation Plan Section 20.17.040.D.2 (Development Standards for Monterey Cypress Habitat).

See Finding No. 7 and supporting evidence.

- i) Development on Slopes Exceeding 30 Percent: Development on slopes that exceed 30 percent is prohibited unless there is no feasible alternative that would allow development to occur on slopes of less than 30 percent, or the proposed development better achieves the goals, policies and objectives of the Monterey County General Plan and the Del Monte Forest Land Use Plan than other development alternatives. See Finding No. 5.
- j) Environmentally Sensitive Habitat Areas (ESHA): Development within 100 feet of ESHA must minimize impacts in accordance with the applicable goals and policies of the Del Monte Forest Land Use Plan. See Finding No. 6.
- k) Cultural Resources: County records identify the project site is within an area of high sensitivity for prehistoric cultural resources, and the project includes a Coastal Development Permit to allow development within 750 feet of known archaeological resources. Archaeological reconnaissance (LIB110216 and LIB150180) of the parcel revealed three prehistoric sites located on the project parcel (CA-MNT-166, 167, and 168), which extend

onto the adjacent Lone Cypress parcel. Due to the potential for archaeological resources identified on the parcel, auger testing was conducted in the crawl space under the existing house, and in the area of the proposed garage and connecting tunnel. This testing confirmed that cultural deposits are not present on the portion of the parcel along 17-Mile Drive, nor in the location of the garage and tunnel. The auger testing further confirmed that all midden under the existing residence was significantly disturbed during construction of the foundation and residence, and no intact midden was found. Although testing concluded that cultural resources would not likely be disturbed during project construction, the County will require mitigation measures to ensure monitoring and protection of resources that could potentially be discovered during excavation activities. Additionally, based on tribal consultation which occurred on December 8, 2015, the County has revised Mitigation Measure No. 8 to include a tribal monitor during all site excavation activities.

- l) Public Access: See Finding No. 8.
- m) Development within 50 feet of a coastal bluff: As proposed, conditioned, and mitigated, the project is consistent with applicable policies of the Del Monte Forest Land Use Plan regarding hazards and protection of resources. See Finding Nos. 2, 3, 4, 5, and 6; and supporting evidence.
- n) County review confirms the findings and evidence of Planning Commission Resolution No. 13-007 approved on March 13, 2013 (RMA-Planning File No. PLN110114). All potential impacts were assessed in the original permit action, and the Amendment is in keeping with the action of the appropriate authority. As approved and amended, this Amendment to the previously-approved Combined Development Permit (RMA-Planning File No. PLN 150150) will become and be referred to as the approved permit.
- o) Conditions of Approval: All applicable conditions of approval from PLN110114 have been carried forward to PLN150150. Based on current regulations and review procedures, the following conditions of approval have either been deleted, added, or modified:
  - The Water Resources Agency added two conditions of approval (WRA SP1 – Drainage Plan and WR049 – Water Availability Certification).
  - RMA-Environmental Services added four conditions of approval (Grading Plan and Inspections).
  - RMA-Planning deleted two conditions of approval that were repetitive of other conditions or mitigation measures [PD044 – Resource Conservation Easement was repetitive of PD022(B) and PD003(B) – Cultural Resources was repetitive of Mitigation Measure No. 8].
  - RMA-Planning added two conditions of approval [PD005 – Fish and Game Fee, and PD014(A) – Exterior Lighting Plan].
  - The Pebble Beach Community Services District (Fire Protection District) deleted three conditions of approval that are either obsolete or no longer required (Fire 008 – Gates, Fire 011 – Addresses for Buildings, and Fire 019 – Defensible Space

Requirements). Fire 007 – Driveways was retained because it is a non-standard condition.

The new conditions of approval were added to address the increased project scope involving the demolition and rebuild of the single-family dwelling. The conditions have been incorporated into the attached Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan, and are incorporated herein by reference. Mitigation Measure No. 1 was modified to delete the last sentence, which was based on previous a plan set and is no longer applicable. Mitigation Measure No. 8 was modified to add reference to the new single-family dwelling and a requirement for a tribal monitor (see Finding No. 4, Evidence f).

- p) Lot Legality: The 1.68-acre lot is identified as Parcel 6, within Block 472, on Assessor's Map Book 8, Page 47, in both 1964 (Volume 1) and 1972 (Volume 3). Thus, the property is a legal lot of record.
- q) The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. Monterey County RMA-Planning and RMA-Building Services records were reviewed, and the County is not aware of any active violations existing on the subject property.
- r) The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. The LUAC, at a duly-noticed public meeting on June 4, 2015, voted unanimously (5 – 0) to support the project as proposed.
- s) The project planner conducted a site inspection on April 4, 2017, and reviewed the project application materials and County records to verify that the project on the subject parcel conforms to the plans listed above.
- t) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project Files PLN110114 and PLN150150.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA-Planning, RMA-Public Works, RMA-Environmental Services, Pebble Beach Community Services District (Fire Protection District), Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
  - b) The following reports have been prepared:
    - Biotic Survey & Impact Assessment (LIB080032) prepared by Jean Ferreira, Carmel, CA, dated January 11, 2008;
    - Biological Assessment (LIB110215) prepared by Fred Ballerini, Pacific Grove, CA, dated May 18, 2011;
    - Preliminary Cultural Reconnaissance (LIB110216) prepared by Susan Morley, Marina, CA, dated April 2011;
    - Geotechnical Investigation for Proposed New Driveway Alignment, Site Wall and Detached 4-Car Garage (LIB110217)

prepared by Haro, Kasunich and Associates, Watsonville, CA, dated May 2011;

- Tree Resource Evaluation Construction Impact Analysis (LIB120030) prepared by Maureen Hamb, WCISA Certified Arborist, Santa Cruz, CA, dated June 2011, and letter reports dated August 31, 2011 and February 8, 2013;
  - Preliminary Cultural Resources Reconnaissance (LIB150180) prepared by Susan Morley, Marina, CA, dated March 2015;
  - Updated Tree Resource Evaluation Construction Impact Analysis (LIB150181) prepared by Maureen Hamb, WCISA Certified Arborist, Santa Cruz, CA, dated April 2015;
  - Amended Biological Assessment (LIB150182) prepared by Fred Ballerini, Pacific Grove, CA, dated March 23, 2015;
  - Geotechnical Engineering Report for Proposed Single Family Residence (LIB150183) prepared by Beacon Geotechnical, Inc., Paso Robles, CA, dated March 16, 2015; and
  - Phase I Historic Review (LIB150184) prepared by Kent Seavey, Pacific Grove, CA, dated March 18, 2015.
- c) County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed.
- d) County staff conducted a site inspection on April 4, 2017, to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA-Planning for the proposed development found in Project Files PLN110114 and PLN150150.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by RMA-Planning, RMA-Public Works, RMA-Environmental Services, Pebble Beach Community Services District (Fire Protection District), Environmental Health Bureau, and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary public facilities are available. The existing single-family dwelling has public water and sewer connections provided by the California American Water Company and the Pebble Beach Community Services District/Carmel Area Wastewater District, respectively, and will continue to use these same connections. The Environmental Health Bureau reviewed the project application, and did not require any conditions.
  - c) See also Finding Nos. 1 and 2, and supporting evidence.

- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project Files PLN110114 and PLN150150.

4. **FINDING:** **CEQA (Addendum)** - An Addendum to a previously adopted Mitigated Negative Declaration (MND) was prepared pursuant to Code of Regulations, Title 14, Section 15164, to reflect changes or additions in the project that do not cause substantial changes or new information that would require major revisions to the adopted MND.

- EVIDENCE:**
- a) The County prepared and circulated a Mitigated Negative Declaration (MND; SCH No. 2012061087) for the previously-approved Combined Development Permit (PLN110114). The Monterey County Planning Commission considered and adopted the MND on March 13, 2013 (Planning Commission Resolution No. 13-007).
  - b) An Addendum to the project MND was prepared pursuant to Code of Regulations, Title 14, Section 15164 (CEQA Guidelines).
  - c) The Addendum (attached as Exhibit E to the March 28, 2018, staff report to the Planning Commission) reflects the County's independent judgment and analysis.
  - d) Pursuant to Section 15164 of the CEQA Guidelines, some changes or additions to the project are necessary, but none of the conditions described in Section 15162 calling for preparation of a subsequent EIR have occurred.
  - e) Pursuant to Section 15162 of the CEQA Guidelines, there are no changes proposed in the project that would require major revisions to the prior MND due to new significant environmental effects or a substantial increase in the severity of previously identified significant effects. The MND included mitigation measures that addressed potential impacts to aesthetics, cultural (archaeological) resources, biological resources, and forest resources (trees). The County has considered the proposed project, as amended, and determined its scope does not alter the primary conclusions in the Initial Study prepared for RMA-Planning File No. PLN110114.

Based on review of the current application, plans, and a site visit on April 4, 2017, no other potentially significant issues were identified for the proposed project. The current proposal does not alter the analysis or conclusions reached by the previous study. As proposed, the Amendment would reduce the identified significant impact regarding aesthetics. Proposed modifications to the wall and fence design increases public visual access to the forest, as well as white water and blue water views across the property.

- f) The MND adopted for the previously-approved Combined Development Permit identified potential impacts to aesthetics, biological resources, cultural resources, geology/soils, greenhouse gas emissions, and land use/planning. The proposed project will have the same or fewer impacts than the previous project:

- No native trees will be removed; only one dead Monterey cypress and the planted non-native Monterey cypress along the fence line will be removed;
- The approved fence and wall design has been further modified to further increase public views from 17-Mile Drive (see Evidence e above);
- The proposed project will result in a net gain of over 10,000 square feet of Monterey cypress habitat through the removal of hardscape, non-native cypress, and ice plant. This number also includes a net gain of 119 square feet of Monterey cypress critical root zone area that will be restored;
- The proposed project, with the adoption of Amended Policy 20, is consistent with the Del Monte Forest Land Use Plan;
- The proposed project will require the modification of Mitigation Measure No. 8 to clarify that a qualified archeological monitor and tribal monitor be present during the excavation for the new house, in addition to the excavation for the new driveway, fence, and garage. This clarification of the mitigation measure is not considerably different from that adopted with the previous MND and does not constitute new information of substantial importance that was not known at the time the previous MND was considered and adopted.

- g) The previously-recommended Mitigation Measures No. 1 (fence design), No. 2 (remove planted cypress), No. 3 (tree protection), No. 4 (protection of critical root zone during excavation), No. 5 (sensitive plant species), No. 6 (Monterey cypress restoration plan), No. 7 (biologist pre-construction survey), No. 8 (archaeological monitor during excavation), and No. 9 (fencing for archaeological site) continue to apply to the proposed project.
- h) County staff conducted a site inspection on April 4, 2017, to verify that the project, as revised, would not result in conditions requiring the preparation of a subsequent MND.
- i) Monterey County RMA-Planning, located at 1441 Schilling Place, 2nd Floor, Salinas, California, 93901, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the MND is based.
- j) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project Files PLN110114 and PLN150150.

5. **FINDING:** **DEVELOPMENT ON SLOPE** – The proposed development better achieves the goals, policies and objectives of the Monterey County General Plan and Del Monte Forest Land Use Plan and the Monterey County Zoning Ordinance (Title 20) than other development alternatives.

**EVIDENCE:** a) In accordance with the applicable policies of the Del Monte Forest Land Use Plan (LUP) and the Monterey County Zoning Ordinance (Title 20), a Coastal Development Permit is required and the finding to grant said permit has been met.

- b) The project includes application for development on slopes exceeding 30 percent. The project will require the excavation of an area of approximately 160 square feet on a slope greater than 30 percent to re-align the driveway as well as a small area for the construction of the garage. Monterey County Code (MCC) Title 20 Section 20.64.230 provides for an exception on the development on a 30 percent slope if the slope is man-made and less than 100 square feet. The subject slope is man-made; however, it is over 100 square feet and therefore requires a coastal development permit.
- c) As discussed in Finding No. 1, Evidence f, the project site is located within the protected public viewshed from 17-Mile Drive. Other potential locations for the garage that would not require development on a slope greater than 30 percent would be visible from 17-Mile Drive and would block existing views across the site. As designed, the proposed garage will be built into the slope between the residence and 17-Mile Drive, and will not be visible from 17-Mile Drive or block views across the site. Therefore, the project better achieves the LUP Key Scenic and Visual Resources Policy, which only allows development that does not block significant public views and does not significantly adversely impact public views and scenic character, especially along the 17-Mile Drive corridor.
- d) As discussed in Finding No. 6, the project site is located within environmentally sensitive Monterey cypress habitat area (ESHA). Alternate alignments and locations for the driveway were analyzed and found to have greater impacts to ESHA. The garage and new driveway are designed to minimize impacts to ESHA, and thus better achieve the ESHA policies of the LUP, which require that all improvements within the cypress habitat be designed to avoid potential damage or degradation to the habitat.
- e) The Planning Commission shall require such conditions of approval and changes in the development as it may deem necessary to ensure compliance with MCC Section 20.64.230.E.2 (Condition Nos. 12, 13, 14, 15, 16, and 17 – Erosion Control Plan, Grading Plan, Inspections, and Geotechnical Certification).
- f) The subject project minimizes development on slopes exceeding 30 percent in accordance with the applicable goals and policies of the applicable area plan and zoning codes.
- g) The project planner conducted a site inspection on April 4, 2017, to verify that the proposed project minimizes development on slope exceeding 30 percent.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project Files PLN110114 and PLN150150.

6. **FINDING:** **ESHA** – The subject project minimizes impact on environmentally sensitive habitat areas in accordance with the applicable goals and policies of the applicable area plan and zoning codes.
- EVIDENCE:** a) The project includes application for development within 100 feet of environmentally sensitive habitat areas (ESHA). In accordance with the

applicable policies of the Del Monte Forest Land Use Plan (LUP) and the Monterey County Zoning Ordinance (Title 20), a Coastal Development Permit is required and the finding to grant said permit has been met.

- b) The property is located within the mapped indigenous Monterey cypress habitat area within the Del Monte Forest, and the entire site is considered to be Monterey cypress habitat. Del Monte Forest LUP Policies 20 and 72 require the protection of Monterey cypress trees within their indigenous range (as delineated in LUP Figure 2a), and siting and design of projects to avoid potential damage or degradation of Monterey cypress habitat. Project work will occur within the mapped area of the Monterey cypress indigenous habitat; however, the proposed project development has been sited and designed to avoid adverse impacts to individual cypress trees and cypress habitat, and will result in no impacts to Monterey cypress habitat. Moreover, as proposed, the project would result in significant improvements over the existing site development pattern by moving structural and hardscape development away from existing Monterey cypress trees, reducing the landscaped area on the parcel, increasing the amount of easement and protected habitat area, and by promoting the health and vitality of the Monterey cypress habitat to the maximum extent possible.
- c) Consistent with LUP Policy 12, biological reports (LIB110215 and LIB150182) prepared by Fred Ballerini were submitted to identify and address any potential impacts the project may have to biological resources. The reports found that the site supports Monterey cypress, Monterey pine, Ocean bluff milk-vetch and Small-leaved lomatium, all sensitive plant species that are rare or endangered in their native ranges. The ecological communities that support native stands of either or both species are designated as environmentally sensitive habitat in the LUP. Arborist reports (LIB120030 and LIB150181) prepared by Maureen Hamb were submitted to identify and address potential impacts to trees on the site. Measures recommended in the reports to avoid impacts to Monterey cypress trees and ESHA have been incorporated as Mitigation Measure Nos. 3 – 7. See Finding No. 2, Evidence b.
- d) The Del Monte Forest LUP Key ESHA Policy calls for all environmentally sensitive habitat areas of the Del Monte Forest Area to be protected, maintained, and, where possible, enhanced and restored. The proposed project consists of the demolition of a 2,083 square foot one-story single-family dwelling with 740 square feet of deck area and a 249-square foot attached carport, and the construction of an 8,886 square foot two-story single-family dwelling with a subterranean level, 1,296 square feet of balcony area, and a 1,106 square foot detached garage. The proposed project would create 3,214 square feet of new hardscape; however, the project also involves the restoration of 4,191 square feet of existing hardscape and elimination of 366 square feet of overhangs, resulting in a 679-square foot net reduction of hardscape on the site. In addition, the project proposes the restoration of over 10,000 square feet of degraded Monterey cypress habitat through the removal of non-native Monterey cypress and ice plant.

- e) Pursuant to LUP Policies 8 and 13, the project has been designed to be compatible with the long-term maintenance of the Monterey cypress habitat and to prevent impacts that would significantly degrade the protected habitat. The County has applied a condition requiring dedication of a Conservation and Scenic Easement Deed over those areas of the property not approved for development to ensure long-term protection of the habitat.
- f) LUP Policy 20: See Finding No. 1, Evidence g; and Finding No. 7 and supporting evidence.
- g) The project planner conducted a site inspection on April 4, 2017, to verify ESHA locations and potential project impacts to ESHA.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project Files PLN110114 and PLN150150.

7. **FINDING: DEVELOPMENT WITHIN THE INDIGENOUS MONTEREY CYPRESS HABITAT AREA** – The project is in conformance with the requirements of Del Monte Forest Land Use Plan (DMF LUP) Policy 20 and Section 20.147.040.2(c)(2) of the Coastal Implementation Plan (Title 20 of the Monterey County Code), Part 5, regulating development within the indigenous Monterey cypress habitat in the Del Monte Forest Land Use Plan area.

**EVIDENCE:** a) DMF LUP Policy 20 designates indigenous Monterey cypress habitat as environmentally sensitive habitat and presumes its presence within and adjacent to the area mapped in LUP Figure 2a. Policy 20 also directs that all development in and adjacent to the Monterey cypress habitat be carefully sited and designed to avoid potential damage or degradation of Monterey cypress habitat, including the microhabitat of individual cypress trees, include measures that will enhance Monterey cypress habitat values, and be compatible with the objective of protecting this environmentally sensitive coastal resource. In addition, Policy 20 requires placement of a conservation and scenic easement over all remaining undeveloped areas of a site. See also Finding No. 1, Evidence h.

Coastal Implementation Plan Section 20.147.040.2(c)(2) directs that on developed lots (i.e., those with an existing legally established residence), new and/or modified development located outside of the existing legally established structural and/or hardscape area (i.e., all areas of the site covered with a structure, or covered by pervious or impervious hardscape such as decks, patios, driveways, and paths, but not including landscaped areas, fence areas, or underground or over ground utility areas) must meet the following requirements:

- The construction, use, and maintenance of the new and/or modified development shall significantly reduce existing hardscape;
- The construction, use, and maintenance of the new and/or modified development will accommodate the health and vitality,

and will not harm, any existing individual Monterey cypress tree regardless of size;

- The new and/or modified development will be confined within a defined and surveyed development envelope. The development envelope shall contain all improvements and structural development, and shall be no larger than 15 percent of the cypress habitat area;
- All Monterey cypress habitat area outside of the approved development envelope shall be: restored to and/or enhanced as high value and self-functioning Monterey cypress habitat, with all initial restoration/enhancement initialized prior to occupancy of any approved development, and placed within an open space conservation and scenic easement secured consistent with Policy 13;
- All areas of new coverage (i.e., areas that would be covered with structures and/or hardscape and/or other non-cypress habitat restoration and enhancement that are not already so covered in the existing legally established baseline condition) shall be offset through restoration and/or enhancement of an off-site area located within the Monterey cypress habitat area mapped in DMF LUP Figure 2a at a ratio of 2:1;
- The new and/or modified development has been sited and designed to avoid the critical habitat area and the most sensitive habitat parts of the site as much as possible; and
- The project results in greater cypress habitat value on the site (and in relation to adjacent and surrounding habitat areas) than the existing baseline habitat value, and the project enhances Monterey cypress habitat values overall.

b) As proposed, the development significantly reduces existing hardscape.

The project would result in a net reduction of total hardscape (i.e., structural plus exterior hardscape coverage) of 679 square feet – from 9,974 square feet to 9,295 square feet, a reduction of 6.8 percent. While this 6.8 percent reduction in total hardscape may not be considered a sufficiently significant reduction for properties with larger amounts of existing and permitted total hardscape, it is considered a significant reduction given the specific project site's limited existing and permitted total hardscape of 9,974 square feet relative to neighboring properties fully located in the Monterey cypress habitat area.

Based upon County-approved entitlements since 2011, neighboring properties in the Monterey cypress habitat area contain total hardscape baselines well in excess of 11,000 square feet. In addition, the 6.8 percent reduction in total hardscape is also considered a significant reduction given the proposed total coverage of 9,295 square feet will only be 12.7 percent of the project site, relative to the 15 percent maximum total coverage allowed under Coastal Implementation Plan Section 20.147.040.2(c)(2) and the neighboring properties described below.

Property Address	Lot Size (sq ft)	Total Hardscape Coverage (sq ft)*	Total Hardscape Coverage (%)
3184 17-Mile Dr	65,343	15,976	24.4%
3168 17-Mile Dr	129,860	29,058	22.3%
3188 17-Mile Dr	65,340	11,410	17.4%
3212 17-Mile Dr	121,096	15,661	12.9%
<b>3224 17-Mile Dr</b>	<b>73,230</b>	<b>9,295</b>	<b>12.7% **</b>
3196 17-Mile Dr	118,483	12,637	10.7%

\* Structural and Hardscape Coverage Combined

\*\* Lundquist Project Site

The project site currently uses its hardscape efficiently, and the proposed project pares this hardscape down to the bare minimum of about 12.7 percent of the project site.

- c) As proposed, conditioned, and mitigated, the project promotes (accommodates) the health and vitality of the indigenous Monterey cypress habitat, and will not harm any existing individual Monterey cypress tree regardless of size.

The proposed single-family dwelling will be in the same general building and hardscape footprint as the existing single-family dwelling, with minor adjustments to increase setbacks from cypress located near the existing building footprint. As proposed, the property will continue to be used for residential purposes within the same general impact footprint.

Numerous site visits with Coastal Commission staff and the project arborist to address siting and design, have confirmed that no Monterey cypress trees will be impacted by the project. Further, implementation of Mitigation Measures No. 3 and No. 4 (Tree Protection) will prevent adverse impacts to Monterey cypress trees, while removal of exotic species and hardscape reductions will increase the site’s potential cypress germination areas by over 10,000 square feet. Relocation of the existing driveway will restore the existing cut and fill which was side cast against Monterey cypress trunks and has no protections against compaction of roots. The new driveway avoids compaction through bridged spans over critical root zones and avoids any fill against Monterey cypress trunks.

- d) Per Condition No. 7 (Conservation and Scenic Easement), all areas of development on the parcel will be confined within a defined and surveyed development envelope that shall be no larger than 15 percent of the cypress habitat area or parcel area.

As proposed, the project would significantly reduce hardscape – see Evidence b above. It is not possible to site the project development in a non-cypress habitat portion of the site because the entire site is considered cypress habitat.

Furthermore, as proposed, conditioned, and mitigated, the project shall maximize Monterey cypress habitat values by increasing potential

cypress germination area by over 10,000 square feet, and consolidating existing hardscape within a single driveway and building envelope. The result provides as much of a contiguous, undisturbed, and unfragmented habitat area as possible on and off site.

- e) The project Applicant has proposed to restore and/or enhance as high value and self-functioning Monterey cypress habitat all Monterey cypress habitat area outside of the approved development envelope.

The Applicant proposes to reduce existing hardscape by 679 square feet, while also removing 5,135 square feet of ice plant and 4,254 square feet of non-native cypress trees. Total site restoration includes over 10,000 square feet, comprising all Monterey cypress habitat area outside of the approved development envelope, to high-value and self-functioning Monterey cypress habitat. The implementation of Condition No. 7 (Conservation and Scenic Easement), No. 25 (Sensitive Species Replanting), No. 26 (Monterey Cypress Habitat Restoration), and No. 30 (Off-Site Restoration) ensures restoration of the site to promote cypress germination. This removal and restoration is consistent with the coordinated recommendations in the Biological Assessment prepared by Fred Ballerini, the Biotic Survey and Impact Assessment prepared by Jean Ferreira, and the Tree Resource Evaluation prepared by Maureen Hamb (see Finding No. 2, Evidence b).

- f) Areas of new site coverage (i.e., areas that would be covered with structures and/or hardscape and/or other non-cypress habitat restoration and enhancement that are not already so covered in the existing legally established baseline condition) amount to 3,214 square feet. Therefore, Condition No. 30 requires that 6,428 square feet of off-site area (a 2:1 ratio) located within the Monterey cypress habitat area mapped in DMF LUP Figure 2a be restored and/or enhanced as high value and self-functioning Monterey cypress habitat. The Applicant may satisfy this condition by payment of a mitigation fee, commensurate with the cost to restore/enhance such an area, to a public agency or private group acceptable to the County effectively able to administer such a fee and to implement such measures. The off-site restoration/enhancement area shall be selected for its potential to result in the greatest amount of overall benefit to the native Monterey cypress habitat in the Del Monte Forest.

Per Condition No. 30, prior to the issuance of construction permits for grading and building, the Applicant shall work with the Del Monte Forest Conservancy to determine the most appropriate off-site area for restoration and submit evidence of payment of the off-site fee.

- g) As sited and designed, the proposed development avoids the critical habitat area and the most sensitive habitat parts of the site as much as possible (see also Evidence d above).

Since the entire site is considered cypress habitat, the siting focused on consolidating existing hardscape within a single driveway and building envelope. The proposed single-family dwelling will be in the same general building and hardscape footprint as the existing single-family dwelling, with minor adjustments to increase setbacks from Monterey

cypress located near the existing building footprint. Relocation of the existing driveway will restore the existing cut and fill driveway, which side cast fill against cypress trunks and provides no protections against compaction of cypress roots. The new driveway avoids compaction through bridged spans over critical root zones and avoids any fill against cypress trunks. As sited and designed, the project avoids impacts to new critical habitat area, and provides as much of a contiguous, undisturbed, and unfragmented habitat area as possible.

- h) As proposed, the project results in greater cypress habitat value on the site, and in relation to adjacent and surrounding habitat areas, than the existing baseline habitat value, and enhances Monterey cypress habitat values overall.

The Applicant proposes to reduce existing hardscape by 679 square feet, while also removing 5,135 square feet of ice plant and 4,254 square feet of non-native cypress trees, resulting in total site restoration of over 10,000 square feet. The areas of restoration would comprise all Monterey cypress habitat area outside of the approved development envelope, and restore it to high-value and self-functioning Monterey cypress habitat. As proposed, conditioned, and mitigated, the project would maximize Monterey cypress habitat values by increasing potential cypress germination area by over 10,000 square feet, and consolidating existing hardscape within a single driveway and building envelope. The result provides as much of a contiguous, undisturbed, and unfragmented habitat area as possible on and off site. The implementation of Condition No. 7 (Conservation and Scenic Easement), No. 25 (Sensitive Species Replanting), No. 26 (Monterey Cypress Habitat Restoration), and No. 30 (Off-Site Restoration) ensure the restoration of the site to promote cypress germination. The proposed removal and restoration work is consistent with the coordinated recommendations in the Biological Assessment prepared by Fred Ballerini, the Biotic Survey and Impact Assessment prepared by Jean Ferreira, and the Tree Resource Evaluation prepared by Maureen Hamb (see Finding No. 2, Evidence b). See also Evidence e above; and Finding No. 1, Evidence h.

- 8. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
  - a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.147.130 of the Monterey County Coastal Implementation Plan can be demonstrated.
  - b) The subject project site is not described as an area where the Local Coastal Program requires physical public access (Figure 8, Major Public Access and Recreational Facilities, in the Del Monte Forest Land Use Plan).

- c) The subject project site is identified as an area where the Local Coastal Program requires visual public access (Figure 3, Visual Resources, in the Del Monte Forest Land Use Plan). See Evidence e below.
- d) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
- e) Based on review of the project location on the west (i.e., ocean) side of 17-Mile Drive, the development proposal will not interfere with visual access along 17-Mile Drive. The proposed development is consistent with Del Monte Forest Land Use Plan Policies 123 and 137, and will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity. The design and siting of the proposed single-family dwelling and the wall would not adversely impact the public viewshed over the existing baseline. See also Finding No. 1, Evidence f.
- f) The project planner conducted a site inspection on April 4, 2017, and reviewed plans and visual simulations of the proposed development to verify that the structures will not impact public access or visual resources/access.
- g) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project Files PLN110114 and PLN150150.

9. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- a) Board of Supervisors: Pursuant to Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
- b) California Coastal Commission: Pursuant to Section 20.86.080.A of the Monterey County Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea, development within 300 feet of the mean high tide line of the sea where there is no beach, development within 300 feet of the top of the seaward face of any coastal bluff, and development that is permitted in the underlying zone as a conditional use (i.e.; development within 100 feet of environmentally sensitive habitat, development within an area of positive archaeological reports, and development on slopes exceeding 30 percent).

### **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Planning Commission does hereby:

- 1) Consider the Addendum together with the previously-adopted Mitigated Negative Declaration, pursuant to Section 15164 of the CEQA Guidelines;
- 2) Approve an Amendment to a previously-approved Combined Development Permit (PLN110114) consisting of a Coastal Administrative Permit and Design Approval to

allow the demolition of a 2,083 square foot single-family dwelling with 740 square feet of deck area and a 249 square foot attached carport, and construction of an 8,886 square foot single-family dwelling with 1,296 square feet of balcony area and a 1,106 square foot detached garage, driveway, replacement of an existing wood fence with a stone wall and a new driveway entrance gate, restoration of existing paths and driveway to native Monterey Cypress habitat, and associated grading; a Coastal Development Permit to allow the removal of one dead Monterey Cypress tree; a Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat; a Coastal Development Permit to allow development within 750 feet of known archaeological resources; and a Coastal Development Permit to allow development on slopes exceeding 30 percent; in general conformance with the attached plans and subject to thirty (30) conditions of approval, all being attached hereto and incorporated herein by reference; and

3) Adopt the attached Mitigation Monitoring and Reporting Program.

**PASSED AND ADOPTED** this 28<sup>th</sup> day of March, 2018, upon motion of \_\_\_\_\_, seconded by \_\_\_\_\_, by the following vote:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

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Jacqueline R. Onciano, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO THE APPLICANT ON \_\_\_\_\_.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE \_\_\_\_\_.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County RMA-Planning and RMA-Building Services office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

# Monterey County RMA Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN150150

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** This Amendment (PLN150150) to a previously-approved Combined Development Permit (PLN110114) allows demolition of a 2,083 square foot single-family dwelling with 740 square feet of deck area and a 249 square foot attached carport, and construction of an 8,886 square foot single-family dwelling with 1,296 square feet of balcony area and a 1,106 square foot detached garage, driveway, replacement of an existing wood fence with a stone wall and a new driveway entrance gate, restoration of existing paths and driveway to native Monterey Cypress habitat, and associated grading; removal of one dead Monterey cypress tree; development within 100 feet of environmentally sensitive habitat; development within 750 feet of known archaeological resources; and development on slopes exceeding 30 percent. The property is located at 3224 17-Mile Drive, Pebble Beach (Assessor's Parcel Number 008-472-006-000), Del Monte Forest Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the RMA Chief of Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state: "An Amendment to a previously-approved Combined Development Permit (Resolution Number 18 - ) was approved by the Planning Commission for Assessor's Parcel Number 008-472-006-000 on March 28, 2018. The permit was granted subject to thirty (30) conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA-Planning."

Proof of recordation of this notice shall be furnished to RMA-Planning prior to issuance of building permits or commencement of the use. (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits or commencement of use, the Owner/Applicant shall provide proof of recordation of this notice to RMA-Planning.

## 3. PD005 - FISH & GAME FEE NEG DEC/EIR

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to the State Public Resources Code Section 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** Within five (5) working days of project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to RMA-Planning.

If the fee is not paid within five (5) working days, the applicant shall submit a check, payable to the County of Monterey, to RMA-Planning prior to the recordation of the final/parcel map, the start of use, or the issuance of building permits or grading permits.

#### 4. PD006 - CONDITION OF APPROVAL / MITIGATION MONITORING PLAN

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring and/or Reporting Plan (Agreement) in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed Agreement. The Agreement shall be recorded. (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** Within sixty (60) days after project approval or prior to the issuance of building and grading permits, whichever occurs first, the Owner/Applicant shall:

- 1) Enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring and Reporting Plan.
- 2) Fees shall be submitted at the time the property owner submits the signed Agreement.
- 3) Proof of recordation of the Agreement shall be submitted to RMA-Planning.

#### 5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall also identify removal of unpermitted bluff-top lighting installed by a previous owner. The exterior lighting plan shall be subject to approval by RMA-Planning prior to final of the building permit. (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** An exterior lighting plan shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit evidence demonstrating that the lighting has been installed according to the construction plan, including removal of unpermitted bluff-top lighting. Removal of the unpermitted bluff-top lighting shall also be field-verified by RMA-Planning staff.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with this condition and County requirements.

## 6. PD016 - NOTICE OF REPORT

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "The following reports have been prepared for this property: Geotechnical Investigation for Proposed New Driveway Alignment, Site Wall and Detached 4-Car Garage, Lundquist Property (LIB110217), prepared by Haro, Kasunich and Associates, Watsonville, CA, dated May 2011; Tree Resource Evaluation Construction Impact Analysis (LIB120030) prepared by Maureen Hamb, WCISA Certified Arborist, Santa Cruz, CA, dated June 2011, and letter update reports dated August 31, 2011 and February 8, 2013; and Biological Assessment of Richard and Melanie Lundquist Property (LIB110215) prepared by Fred Ballerini, Pacific Grove, CA, dated May 18, 2011; and are on file in Monterey County RMA-Planning. All development shall be in accordance with these reports." (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to RMA-Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, to RMA-Planning that all development has been implemented in accordance with the identified reports.

## 7. PD022(B) - EASEMENT-CONSERVATION & SCENIC IN THE DEL MONTE FOREST

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** A conservation and scenic easement shall be conveyed to the Del Monte Forest Conservancy over those portions of the property where environmentally sensitive habitats, remnant native sand dune habitats, habitats of rare, endangered and sensitive native plants and animals, archaeological resources, and visually prominent areas exist in accordance with the procedures in Monterey County Code § 20.64.280.A. The easement conveyance shall include funding adequate to ensure the management and protection of the easement area over time. The easement shall be developed in consultation with a certified professional and the Del Monte Forest Conservancy Inc. A Subordination Agreement shall be required, where necessary. These instruments shall be subject to approval by the County as to form and content, shall provide for enforcement, if need be, by the County or other appropriate agency, and name the County as beneficiary in event the Conservancy is unable to adequately manage these easements for the intended purpose of scenic and visual resource protection. An easement deed shall be submitted to, reviewed, and approved by the RMA Chief of Planning and the Executive Director of the California Coastal Commission, and accepted by the Board of Supervisors prior to final or the building permits. (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** Prior to recording the parcel/final map or prior to the issuance of grading and building permits, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to the to the Del Monte Forest Conservancy for review and approval.

Prior to recording the parcel/final map or prior to the issuance of grading and building permits, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to RMA-Planning for review and approval.

Prior to recording the parcel/final map or prior to the issuance of grading and building permits, the Owner/Applicant, shall submit a signed and notarized Subordination Agreement, if required, to RMA-Planning for review and approval

Prior to or concurrent with recording the parcel/final map, prior to the final of building permits, or prior to commencement of use, the Owner/Applicant shall record the deed and map showing the approved conservation and scenic easement. Submit a copy of the recorded deed and map to RMA-Planning.

## 8. PD029 - HOURS OF OPERATION

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Demolition, site preparation, grading, and construction activities shall occur between the hours of 8 am - 5 pm, Monday through Friday. No work shall occur on weekends or holidays due to the proximity of the site to the Lone Cypress. (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** On an on-going basis, the Owner/Applicant/Contractor shall comply with the hours of operation.

## 9. PD032(A) - PERMIT EXPIRATION

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The permit shall be granted for a time period of three (3) years, to expire on March 28, 2021, unless use of the property or actual construction has begun within this period. (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the expiration date stated in the condition, the Owner/Applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the RMA Chief of Planning. Any request for extension must be received by RMA-Planning at least 30 days prior to the expiration date.

## 10. PD041 - HEIGHT VERIFICATION

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the RMA Chief of Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA-Planning and RMA-Building Services)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the RMA Chief of Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

**11. CC01 INDEMNIFICATION AGREEMENT**

**Responsible Department:** County Counsel

**Condition/Mitigation Monitoring Measure:** The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel)

**Compliance or Monitoring Action to be Performed:** Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the County Counsel for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel.

## 12. EROSION CONTROL PLAN

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit an erosion control plan in conformance with the requirements of Monterey County Code Chapter 16.12. The erosion control plan may be combined with the grading plan provided it is clearly identified. The erosion control plan shall include as necessary: construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s). The following notes shall be included on the erosion control plan:

- Dust from grading operations shall be controlled.
- Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County grading and erosion control regulations.
- During construction, the owner/applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point.
- Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services to ensure that all disturbed areas have been stabilized and that all temporary erosion and sediment control measures that are no longer needed have been removed. (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any grading or building permits, the applicant shall submit an Erosion Control Plan to RMA-Environmental Services for review and approval.

## 13. GRADING PLAN

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a grading plan incorporating the requirements of Monterey County Code Chapter 16.08 and the project geotechnical report recommendations. The geotechnical inspection schedule shall be included on the plan. The applicant shall provide certification from the licensed practitioner that the grading plan incorporates the geotechnical report recommendations. (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any grading or building permits, the applicant shall submit a grading plan to RMA-Environmental Services for review and approval.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed the grading plan for conformance with the geotechnical recommendations.

#### 14. INSPECTION-PRIOR TO LAND DISTURBANCE

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations. (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

#### 15. INSPECTION-DURING ACTIVE CONSTRUCTION

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point. (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** During construction, the applicant shall schedule an inspection with RMA-Environmental Services.

#### 16. INSPECTION-FOLLOWING ACTIVE CONSTRUCTION

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall schedule an inspection with RMA-Environmental Services to ensure all disturbed areas have been stabilized and all temporary erosion and sediment control measures that are no longer needed have been removed. (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

#### 17. GEOTECHNICAL CERTIFICATION

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall provide certification from a licensed practitioner that all development has been constructed in accordance with the recommendations in the project Geotechnical Reports. (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to final inspection, the owner/applicant shall provide RMA-Environmental Services a letter from a licensed practitioner.

## 18. FIRE007 - DRIVEWAYS

**Responsible Department:** Fire

**Condition/Mitigation Monitoring Measure:** (NON-STANDARD) Driveways shall not be less than 11.5 feet wide unobstructed, with an unobstructed vertical clearance of not less than 14 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (Pebble Beach Community Services District)

**Compliance or Monitoring Action to be Performed:**

1. Prior to issuance of grading and/or building permit, the applicant or owner shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.
2. Prior to final building inspection, the applicant or owner shall schedule Fire Department clearance inspection.

## 19. WRSP1 - DRAINAGE PLAN (NON-STANDARD CONDITION)

**Responsible Department:** Water Resources Agency

**Condition/Mitigation Monitoring Measure:** The applicant shall provide a drainage plan, prepared by a registered civil engineer, to mitigate on-site and off-site impacts from impervious surface stormwater runoff. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any construction permit, the owner/applicant shall submit a drainage plan with the construction permit application.

RMA-Building Services will route a plan set to the Water Resources Agency for review and approval.

## 20. WR049 - WATER AVAILABILITY CERTIFICATION

**Responsible Department:** Water Resources Agency

**Condition/Mitigation Monitoring Measure:** The applicant shall provide the Monterey County Water Resources Agency proof of water availability in the form of a complete Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any construction permit, the owner/applicant shall submit a Water Release Form to the Water Resources Agency for review and approval.

A copy of the Water Release Form can be obtained at the Monterey Peninsula Water Management District, the Water Resources Agency, or online at: [www.mcwra.co.monterey.ca.us](http://www.mcwra.co.monterey.ca.us).

## 21. MM001 - AESTHETICS - WALL/FENCE DESIGN

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 1: In order to prevent adverse impacts to the existing scenic vista and to the scenic character of the site due to the replacement of the existing fence, and to ensure that the project complies with the Visual Resources and Public Access policies of the Del Monte Forest Land Use Plan, the proposed wall/fencing along 17-Mile Drive shall be designed and sited to minimize obstruction of views from the road to the sea. The proposed wall/fencing shall be designed so as to not impair views from 17-Mile Drive over the existing condition. The wall/fence shall be constructed as shown on the plans dated July 5, 2017 (attached as Exhibit B to the March 28, 2018 staff report to the Planning Commission) and as staked and flagged. (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** Monitoring Action No. 1a: Prior to the issuance of a building or grading permit, the applicant/owner shall submit plans for the wall/fencing to RMA-Building Services and RMA-Planning for review and approval as described in this Mitigation Measure. The approved wall/fencing plans shall be incorporated into the plans for the construction permits required for the project.

Monitoring Action No. 1b: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection.

Monitoring Action No. 1c: Prior to final inspection the applicant/owner shall provide evidence from a licensed civil engineer or surveyor to RMA-Building Services and RMA-Planning for review and approval, that the height of the wall/fence from the benchmark is consistent with what was approved on the building permit associated with this project and that the replacement fence has been constructed in accordance with the approved plans.

## 22. MM002 - AESTHETICS -

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 2: In order to prevent adverse impacts to the existing scenic vista and to the scenic character of the site due to the planting of Monterey cypress trees of non-indigenous stock along the front fence line, and to prevent adverse impacts to the native Monterey cypress forest, the applicant/owner shall remove all such recently planted trees from the property. The trees shall be removed under the supervision of a qualified arborist to ensure that only non-indigenous trees are removed. (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** Monitoring Action No. 2: Prior to the issuance of a building or grading permit, the applicant/owner shall submit evidence to RMA-Planning that all recently planted non-indigenous Monterey cypress trees on the property have been removed. Such evidence shall consist of a letter from a qualified arborist describing the number and location of the trees that were removed.

## 23. MM003 - TREE PROTECTION

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 3: In order to prevent adverse impacts to trees, prior to the issuance of a construction permit, a qualified arborist shall supervise the installation of the tree protection measures as set forth in the Tree Resource Evaluation Construction Impact Analysis (LIB120030) prepared by Maureen Hamb, dated June 2011 (arborist report). Such tree protection measures shall remain in place throughout construction and shall not be removed until all construction activities are complete. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by a certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. When access to the protected areas becomes necessary, it shall be reviewed by both the contractor and the project arborist, and the arborist shall have the authority to supervise such access. Stockpiling of materials or parking within the critical root zone of trees shall not be allowed. The text of this measure shall be included as a note on the construction plans. (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** Monitoring Action No. 3a: Prior to the issuance of a grading or building permit, the Owner/Applicant shall submit proof to RMA-Planning that the tree protection measures have been installed as prescribed. Such proof shall be in the form of a letter from the arborist and photographs of the protection measures in place. The owner/applicant shall submit evidence that the text of this measure appears as a note on the construction plans.

Monitoring Action No. 3b: Prior to final inspection, the Owner/Applicant shall provide verification from the arborist that the tree protection measures have been successful. If additional mitigation measures are determined to be required, they shall be formulated and implemented by the monitoring arborist, after review and approval by RMA-Planning.

## 24. MM004 - TREE PROTECTION - MONITORING REQUIRED

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 4: In order to prevent adverse impacts to trees located in close proximity to the project due to construction activities, a qualified arborist shall be present during all excavation and soil disturbing activities associated with grading, construction and restoration conducted within the critical root zone (CRZ) of any tree. The CRZ for each tree is included in the arborist report prepared for the project. Roots greater than one inch will be inspected and evaluated by the project arborist. If necessary, as determined by the arborist, the root will be retained, wrapped in protective material (foam pipe wrap) and bridged to the specifications of the arborist. The arborist shall supervise or perform the pruning of any tree roots as necessary. The arborist shall have the authority to require such special construction methods as he/she determines are necessary to protect the trees, including but not limited to designing the wall footings to span over tree roots, tunneling under tree roots or placement of a grade beam above grade. If it appears to the arborist that any tree has experienced or will experience death or damage due to construction activities, all work shall stop within the CRZ of the tree and the arborist/Owner/Applicant shall immediately contact RMA-Planning to determine whether additional permits or modification of the project is required. Following construction and for a period of not less than five (5) years, trees whose Critical Root Zone (CRZ) is within the areas impacted by construction shall be monitored annually by a qualified arborist. If any noticeable decline in the health of any tree is observed, additional Monterey cypress trees of indigenous stock shall be planted onsite at a one-to-one ratio in a suitable location as determined by the arborist..

**Compliance or Monitoring Action to be Performed:** Monitoring Action No. 4a: Prior to issuance of a construction permit, the applicant shall provide to RMA-Planning a copy of the contractual agreement with a qualified arborist to provide the required monitoring services to RMA-Planning for review and approval.

Monitoring Action No. 4b: Prior to final inspection the Applicant or arborist shall also submit evidence of on-site monitoring, including arborist certification regarding the success of the measures, to RMA-Planning. If additional mitigation measures are determined to be required, they shall be formulated and implemented by the monitoring arborist, after review and approval by RMA-Planning. The requirements of this measure shall be included as a note on all grading and building plans.

Monitoring Action No. 4c: Beginning one year after final inspection of the project, the Applicant shall submit annual monitoring reports by the arborist, subject to RMA-Planning approval, for five (5) years. The reports shall document the status of the health of all trees being monitored and any required replacement plantings.

## 25. MM005 - SENSITIVE SPECIES REPLACEMENT PLANTINGS REQUIRED

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 5: In order to mitigate for the removal of sensitive plant species on the site the following re-planting measures shall apply:

1. Small-leaved lomatium: all of the lomatium plants located within the area of the proposed driveway and garage (minimum of 86 plants) shall be salvaged from the site prior to the issuance of a grading or building permit and grown out by a reputable native plant nursery familiar with the growing requirements of the Small-leaved lomatium. The salvaged lomatium shall be re-planted on the site in the fall months to coincide with the arrival of the rainy season.
2. Ocean bluff milk-vetch: Ocean bluff milk-vetch seed shall be collected from several locations on the property to ensure genetic diversity and shall be propagated for a fall out-planting. The plants shall be replaced on the site at a 3:1 ratio (minimum of 6 plants), as recommended by the project biologist.
3. Monterey pine: Any Monterey pine tree saplings removed from the construction zone shall be re-planted on the site.
4. Monterey cypress: The one dead Monterey cypress that is located within the footprint of the proposed garage shall be removed. Three replacement Monterey cypress trees propagated from trees indigenous to Pebble Beach shall be planted on the site in addition to the Monterey cypress that are required to be planted as part of the Monterey Cypress Habitat Restoration Plan. Any native Monterey cypress seedlings or saplings that are removed from the footprint of the proposed development shall be transplanted to another location on the site under the supervision of a qualified arborist. Mitigation revegetation locations for Items 1 and 2 shall be determined by the project biologist in consultation with the project arborist. Mitigation revegetation locations for Items 3 and 4 shall be determined by the project arborist. The re-planting plan shall be submitted to RMA-Planning for review and approval prior to issuance of a grading or building permit. The Applicant/Owner shall submit a monitoring report prepared by the project biologist documenting the success of the planting to RMA-Planning 6 months after the initial planting and then annually for 2 years. The replanting shall be considered successful when 95 percent of replanted trees and 85 percent of other planted native vegetation have survived and are evaluated by the project biologist and project arborist as being in good health. In the event of loss of plant materials due to mortality, the plants shall be replaced and the monitoring shall begin again. (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** Monitoring Action No. 5a: Prior to the issuance of grading or building permit, the Applicant/Owner shall submit the planting/restoration plan to RMA-Planning for review and approval.

Monitoring Action No. 5b: Prior to final inspection, the Applicant/Owner shall submit evidence to RMA-Planning that the planting plan has been implemented.

Monitoring Action No. 5c: The Applicant/Owner shall submit a monitoring report prepared by a qualified biologist 6 months after the evidence required in 5b above has been submitted, and then annually for a minimum of 2 years or until the replanting has been deemed successful. The monitoring reports shall include an evaluation of the health status of the plantings and recommendations regarding measures to improve the success of the plantings if they are not thriving. The Applicant/Owner shall implement the recommendations. The requirement for monitoring reports shall end after 2 ½ years or whenever the required success rate of 95 percent survival for trees and 85 survival percent for other vegetation has been met, whichever occurs later.

## 26. MM006 - MONTEREY CYPRESS HABITAT RESTORATION PLAN

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 6: To mitigate for the removal of native Monterey cypress habitat, the Applicant/Owner shall prepare and implement a Monterey Cypress Habitat restoration plan for the existing asphalt driveway and the existing gravel paths and parking areas and all other areas that will be disturbed due to construction. The restoration plan shall be prepared by a qualified biologist in consultation with a qualified arborist and shall include measures to protect adjacent Monterey cypress trees during the restoration. Installation of the restoration plan shall be done under the supervision of a qualified biologist. The restoration plan shall also include a planting plan that includes mulching, the installation of Monterey cypress trees propagated from trees indigenous to Pebble Beach, appropriate Monterey cypress forest understory plants and a plan for the eradication of non-native species. Plants and seeds shall consist of appropriate local ecotypes of plant species and site-specific seed and/or cuttings shall be utilized. It is not expected that restoration to native Monterey cypress habitat will require excessive plantings. The removal of non-native species and installation of mulch and minimal appropriate native plantings to allow native understory plants to regenerate in areas that do not require erosion control plantings is preferable. The Applicant/Owner shall submit a monitoring report prepared by the project biologist documenting the success of the restoration to RMA-Planning 6 months after the initial planting and then annually for 2 years. The restoration shall be considered successful when 95 percent of replanted trees and 85 percent of other planted native vegetation have survived and are evaluated by the project biologist and project arborist as being in good health, and 100 percent of non-native invasive plants within the restoration areas have been eradicated. In the event of loss of plant materials due to mortality, the plants shall be replaced and the monitoring shall begin again. (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** Monitoring Action No. 6a: Prior to the issuance of a grading or building permit, the Applicant/Owner shall submit the Monterey Cypress Habitat Restoration Plan and a copy of the contractual agreement with a qualified biologist for review and approval to RMA-Planning for review and approval.

Monitoring Action No. 6b: Prior to final inspection, the Applicant/Owner shall submit a report to RMA-Planning from the project biologist documenting that the restoration plan has been implemented.

Monitoring Action No. 6c: The Applicant/Owner shall submit a monitoring report prepared by a qualified biologist 6 months after the evidence required in 5b above has been submitted, and then annually for a minimum of 2 years or until the restoration has been deemed successful. The monitoring reports shall include an evaluation of the health status of the plantings and recommendations regarding measures to improve the success of the plantings if they are not thriving. The Applicant/Owner shall implement the recommendations. The requirement for monitoring reports shall end after 2 ½ years or whenever the required success rate of 95 percent survival for trees and 85 percent survival for other vegetation has been met, whichever occurs later.

**27. MM007 - BIOLOGICAL RESOURCES PRECONSTRUCTION SURVEY REQUIRED**

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 7: In order to minimize potential biological impacts to animal resources and habitat, prior to the commencement of work, the project biologist shall perform a preconstruction survey for special status plant and wildlife species, including nesting birds. There shall be no removal of a special status species without prior approval of RMA-Planning. For any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. Limits of construction to avoid an active nest shall be established in the field with flagging, fencing, or other appropriate barriers, and construction personnel. (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** Monitoring Action No 7a: Prior to issuance of a grading or building permit, applicant/owner shall submit a copy of the contract with a biologist to perform the pre-construction surveys to RMA-Planning.

Monitoring Action No. 7b: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to RMA-Planning a nest survey prepared by a County qualified biologist to determine if active raptor or migratory bird nests occur within the project site or immediate vicinity.

Monitoring Action No. 7c: If active raptor or migratory bird nests are present, the project biologist shall establish an appropriate buffer plan around the nests and limits of construction shall be established in the field.

## 28. MM008 - ARCHAEOLOGICAL MONITORING REQUIRED

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 8: 1) In order to prevent adverse impacts to cultural resources, a qualified archaeological monitor and tribal monitor shall be present during excavation and soil disturbing activities associated with: a) the excavation for the new single-family dwelling, driveway, fence, and garage; and b) removal and restoration of the existing driveway and paths. 2) The monitor shall have the authority to temporarily halt work to examine any potentially significant materials. 3) If human remains are identified, work shall be halted to within a safe working distance, the Monterey County Coroner must be notified immediately and if said remains are determined to be Native American, the Native American Heritage Commission shall be notified as required by law. 4) If potentially significant archaeological resources are discovered, work shall be halted in the area of the find until it can be evaluated and, in consultation with the lead agency, appropriate mitigation measures be formulated and implemented. 5) If suitable materials are recovered, a minimum of two samples (as selected by the archaeological monitor and tribal monitor) shall be submitted for radiocarbon dating in order to provide a basic chronology of the site. 6) If intact, significant features should be encountered, the archaeologist and tribal monitor shall recommend appropriate mitigation measures. Features are human burials, hearths, house floors, and/or caches of stone tools. A feature is artifactual and cannot be moved but must be documented in place, in situ. 7) A monitoring report shall be produced by the qualified archaeologist to document any findings and to evaluate the significance of the cultural resource. 8) The Applicant shall retain a qualified archaeologist to monitor and ensure conduct of the requirements of the mitigation and monitoring plan. (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** Monitoring Action No. 8: Prior to issuance of a construction permit, the applicant shall provide to RMA-Planning a copy of the contractual agreement with a qualified archaeologist for review and approval. The Applicant or archaeologist shall also submit evidence of on-site monitoring, including archaeologist certification, to RMA-Planning. If additional measures are determined to be required to minimize impacts, they shall be formulated by a qualified archaeologist, reviewed and approved by RMA-Planning, and implemented by the monitoring archaeologist. The requirements of this measure shall be included as a note on all grading and building plans.

## 29. MM009 - ARCHAEOLOGICAL RESOURCES EXCLUSIONARY FENCING

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 9: During demolition, construction and restoration, the archaeological site shall be protected with exclusionary fencing to minimize the potential for unanticipated impacts to cultural resources. (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** Monitoring Action No. 9: Prior to the issuance of a demolition permit, the applicant shall submit evidence of exclusionary fencing to RMA-Planning for review and approval. The requirements of this measure shall be included as a note on all grading and building plans.

**30. PDSP001 - OFF-SITE RESTORATION (NON-STANDARD)**

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** All areas of new coverage (i.e., areas that would be covered with structures and/or hardscape and/or other non-cypress habitat restoration and enhancement that are not already so covered in the existing legally established baseline condition) shall be offset through restoration and/or enhancement (as high value and self-functioning Monterey cypress habitat) of an off-site area located within the Monterey cypress habitat area mapped in Figure 2a at a ratio of 2:1 (and/or payment of a mitigation fee, commensurate with the cost to restore/enhance such an area, to a public agency or private group acceptable to the County effectively able to administer such a fee and to implement such measures). Such off-site restoration/enhancement areas shall be selected for their potential to result in the greatest amount of overall benefit to the native Monterey cypress habitat in the Del Monte Forest, and all initial restoration/enhancement of the offsite area shall be initialized prior to occupancy of any approved development or, in the case of a fee, the fee paid prior to issuance of any demolition, grading, or construction permits. (RMA-Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any demolition, grading, or construction permits, the Owner/Applicant shall pay an off-site mitigation fee to a public agency or private group acceptable to the County effectively able to administer such a fee.

Prior to occupancy, off-site restoration shall be initiated by a public agency or private group acceptable to the County effectively able to implement such measures.

**MATERIAL & LIGHT FIXTURE SAMPLES**

NOTE: FINAL REVIEW OF ACTUAL PAINT/STAIN ON STRUCTURE TO BE STAFF APPROVED.



GRANITE ROCK WALL



HONED GRANITE



WALL SCONCES AT EXTERIOR DOORS ON MAIN LEVEL, APPROX. 35 WATTS EA.



PRE-WEATHERED ZINC STANDING SEAM ROOF



RECESSED LED ROPE WALL WASHERS AT EXT. WALKWAYS, APPROX 12 WATTS EA.



BRONZE WINDOWS & DOORS, PATINA FINISH

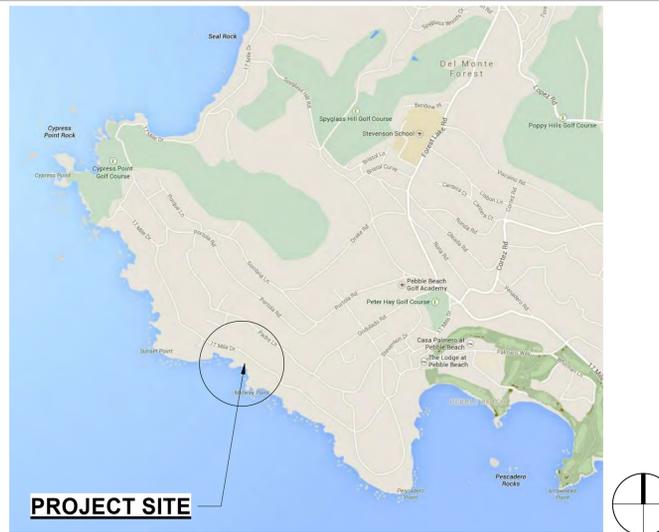


4" LED RECESSED LIGHT FIXTURE BELOW EAVES AND BALCONIES, SALT RESISTANT, APPROX. 9.5 WATTS EA.

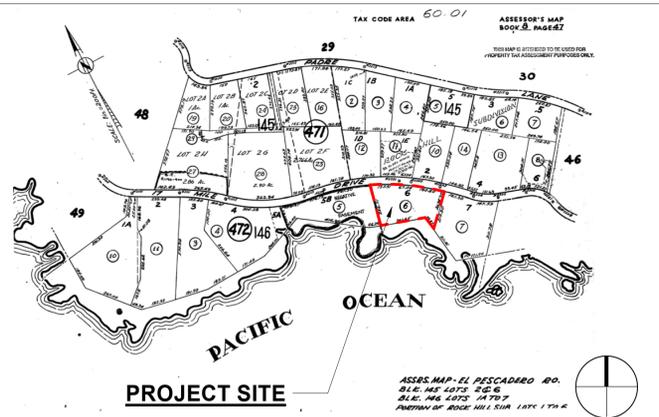
**SHEET INDEX**

G1.0	COVER SHEET
A1.0	PROPOSED SITE PLAN
A1.1	ROUGH GRADING / SLOPE & CONSTRUCTION DRAINAGE PLAN
A1.2	CONSTRUCTION MANAGEMENT PLAN
A1.4	STREET WALL AND FENCING PLANS & ELEVS
A1.5	STREET WALL AND FENCING PLANS & ELEVS
A2.1	LOWER FLOOR LEVEL
A2.2	MAIN FLOOR LEVEL
A2.3	UPPER FLOOR LEVEL
A2.4	ROOF PLAN
A2.5	GARAGE FLOOR PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	EXTERIOR ELEVATIONS
A3.4	BUILDING SECTIONS
A3.5	BUILDING SECTIONS

**VICINITY MAP**



**PARCEL MAP**



**SCOPE OF WORK**

AMENDMENT OF COMBINED COASTAL DEVELOPMENT PERMIT PLN110114 TO INCLUDE DEMOLITION OF AN EXISTING 2,083 SF SINGLE FAMILY HOME TO CONSTRUCT A NEW 8,886 SF SINGLE FAMILY HOME.

**PROJECT TEAM**

<b>OWNER</b>	<b>RICHARD LUNDQUIST</b> 1809 Paseo del Sol Palos Verdes Estates, CA 90274 Phone: 310-640-1520
<b>ARCHITECT</b>	<b>STUDIO CARVER ARCHITECTS, INC.</b> P.O. Box 2684, Carmel, CA 93921 Phone: 831-622-7837 Fax: 831-624-0364 E-mail: Robert@StudioCarver.com Contact: Robert Carver, AIA, LEED AP
<b>SURVEYOR</b>	<b>JON D. HAGEMEYER</b> 25170 Randall Way Carmel, CA 93923 Phone: 831-624-6888 Contact: Jon D. Hagemeyer

**PROJECT INFORMATION**

<b>PROPERTY ADDRESS</b>	3224 Seventeen Mile Drive Pebble Beach, CA 93953
<b>LEGAL DESCRIPTION</b>	Lot 6, Block 146 of Assessor's Map, Book 6, Page 47
<b>APN</b>	008-472-006-000
<b>ZONING</b>	LDR/2-D(CZ)
<b>GENERAL PLAN LAND USE DESIGNATION</b>	RESIDENTIAL
<b>LOT SIZE</b>	73,230 SQ. FT. (1.68 ACRES)
<b>MAX. HEIGHT ALLOWED ABOVE AVG. NATURAL GRADE</b>	30'-0"
<b>(P) MAX. HEIGHT ABOVE AVG. NATURAL GRADE</b>	26'-8"

**BUILDING AREA & SITE COVERAGE**

**EXISTING DEVELOPMENT AS APPV'D PERSUANT TO PLN110114:**

(E) HOUSE FLOOR AREA	2,083 SQ. FT.
(E) CARPORT AREA	249 SQ. FT.
(E) GARAGE AREA (APPROVED)	1,106 SQ. FT.
(E) DECK AREA	740 SQ. FT.

**PROPOSED DEVELOPMENT:**

<b>(P) HOUSE FLOOR AREA:</b>	
LOWER LEVEL	3,399 SQ. FT.
MAIN LEVEL	3,138 SQ. FT.
UPPER LEVEL	2,349 SQ. FT.
TOTAL AREA	8,886 SQ. FT.
<b>(P) BALCONY AREA:</b>	
MAIN LEVEL	571 SQ. FT.
UPPER LEVEL	725 SQ. FT.
TOTAL AREA	1,296 SQ. FT.

<b>FLOOR AREA RATIO ALLOWED = 17.50%</b>
<b>(E) FLOOR AREA RATIO</b> (2,083 SQ. FT. HOUSE + 249 SQ. FT. CARPORT + 553 SQ. FT. 1/2 GARAGE) 2,885 SQ. FT./73,230 SQ. FT. = 0.0394 OR 3.94%
<b>(P) FLOOR AREA RATIO</b> (8,886 SQ. FT. HOUSE + 553 SQ. FT. 1/2 GARAGE) 9,439 SQ. FT./73,230 SQ. FT. = 0.1288 OR 12.88%

<b>TOTAL LOT COVERAGE ALLOWED = 15%</b>
<b>(E) TOTAL LOT COVERAGE</b> (2,382 SQ. FT. HOUSE + 740 SQ. FT. DECK + 249 SQ. FT. CARPORT + 553 SQ. FT. 1/2 GARAGE) 3,924 SQ.FT./73,230 SQ. FT. = 0.0535 OR 5.35%

<b>(P) TOTAL LOT COVERAGE</b> (3,523 SQ. FT. HOUSE + 571 SQ. FT. BALCONY + 553 SQ. FT. 1/2 GARAGE) 4,647 SQ.FT./73,230 SQ. FT. = 0.0634 OR 6.34%
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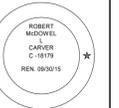
**MISCELLANEOUS**

<b>WATER SOURCE</b>	CAL AM
<b>SEWER SYSTEM</b>	PUBLIC
<b>TREES TO BE REMOVED</b>	NONE
<b>GRADING ESTIMATES</b>	26 CU.YDS. - FILL 1,367 CU. YDS. - CUT 1,341 CU. YDS - NET CUT
<b>REQUIRED PARKING</b>	2 SPACES/UNIT
<b>PROPOSED PARKING</b>	4 SPACES

**NOT FOR CONSTRUCTION**

**LUNDQUIST RESIDENCE**

3224 17 MILE DRIVE PEBBLE BEACH, CALIFORNIA



**SCHEMATIC DESIGN**

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REVISION #

1 Date 1 Revision 1

**ARCHITECTURAL COVER SHEET**

Scale: @ 24x36  
Drawn By: SBP  
Job: 1026

**G1.0**

7/5/2017

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**PROJECT DATA SUMMARY**

APN	008-472-006-000
ZONING	LDR/2-D(CZ)
GENERAL PLAN LAND USE DESIGNATION	RESIDENTIAL
LOT SIZE	73,230 SQ. FT. (1.68 ACRES)

**EXISTING DEVELOPMENT AS APP'VD PERSUANT TO PLN110114:**

(E) HOUSE FLOOR AREA	2,083 SQ. FT.
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(E) DECK AREA	740 SQ. FT.

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(P) HOUSE FLOOR AREA:	
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MAIN LEVEL	3,138 SQ. FT.
UPPER LEVEL	2,349 SQ. FT.
TOTAL AREA	8,886 SQ. FT.

(P) BALCONY AREA:	
MAIN LEVEL	571 SQ. FT.
UPPER LEVEL	725 SQ. FT.
TOTAL AREA	1,296 SQ. FT.

FLOOR AREA RATIO ALLOWED = 17.50%

(E) FLOOR AREA RATIO	(2,083 SQ. FT. HOUSE + 249 SQ. FT. CARPORT + 553 SQ. FT. 1/2 GARAGE) / 73,230 SQ. FT. = 0.0394 OR 3.94%
(P) FLOOR AREA RATIO	(8,886 SQ. FT. HOUSE + 553 SQ. FT. 1/2 GARAGE) / 73,230 SQ. FT. = 0.1288 OR 12.88%

TOTAL LOT COVERAGE ALLOWED = 15%

(E) TOTAL LOT COVERAGE	(2,382 SQ. FT. HOUSE + 740 SQ. FT. DECK + 249 SQ. FT. CARPORT + 553 SQ. FT. 1/2 GARAGE) / 73,230 SQ. FT. = 0.0535 OR 5.35%
(P) TOTAL LOT COVERAGE	(3,523 SQ. FT. HOUSE + 571 SQ. FT. BALCONY + 553 SQ. FT. 1/2 GARAGE) / 73,230 SQ. FT. = 0.0634 OR 6.34%

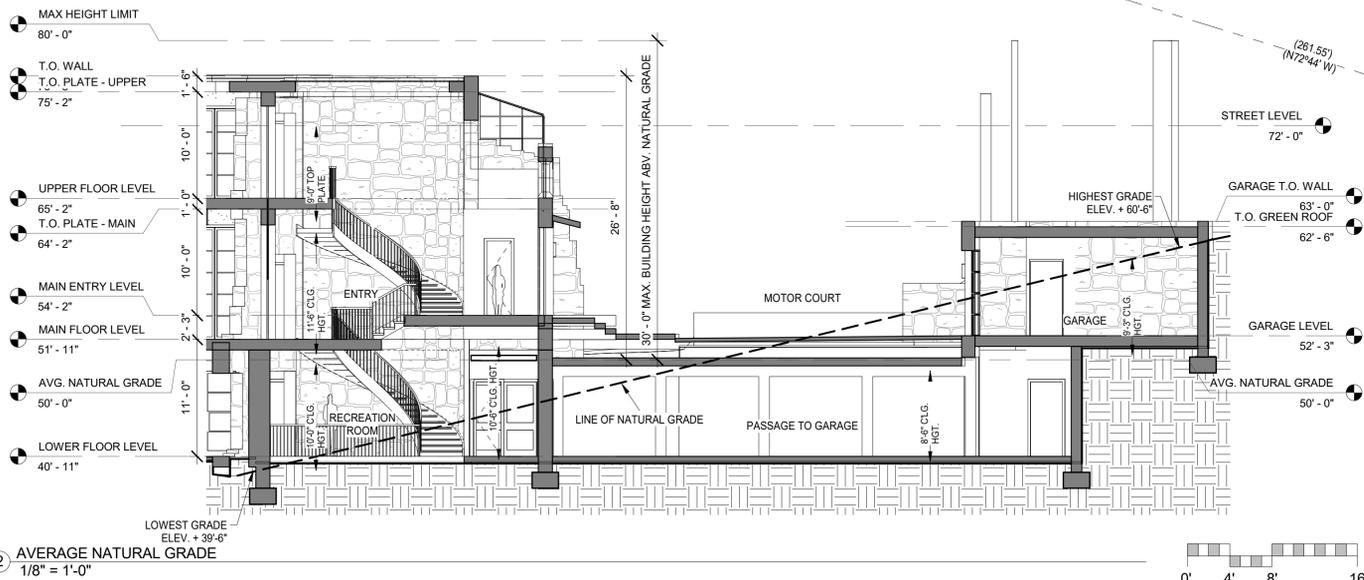
**(P) IMPERVIOUS COVERAGE**

1) STRUCTURES:	
(P) HOUSE	3,523 SQ. FT.
(P) BALCONY	571 SQ. FT.
(E) GARAGE, 1/2 (APPROVED)	553 SQ. FT.
TOTAL	4,647 SQ. FT.
2) SURFACES:	
(P) ENTRY STEPS	40 SQ. FT.
(P) SITE WALLS & ENTRY COLUMNS	581 SQ. FT.
TOTAL	621 SQ. FT.

TREES TO BE REMOVED NONE

GRADING ESTIMATES	26 CU. YDS. - FILL 1,367 CU. YDS. - CUT 1,341 CU. YDS. - NET CUT
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REQUIRED PARKING	2 SPACES/UNIT
PROPOSED PARKING	4 SPACES



**LANDSCAPE NOTES:**

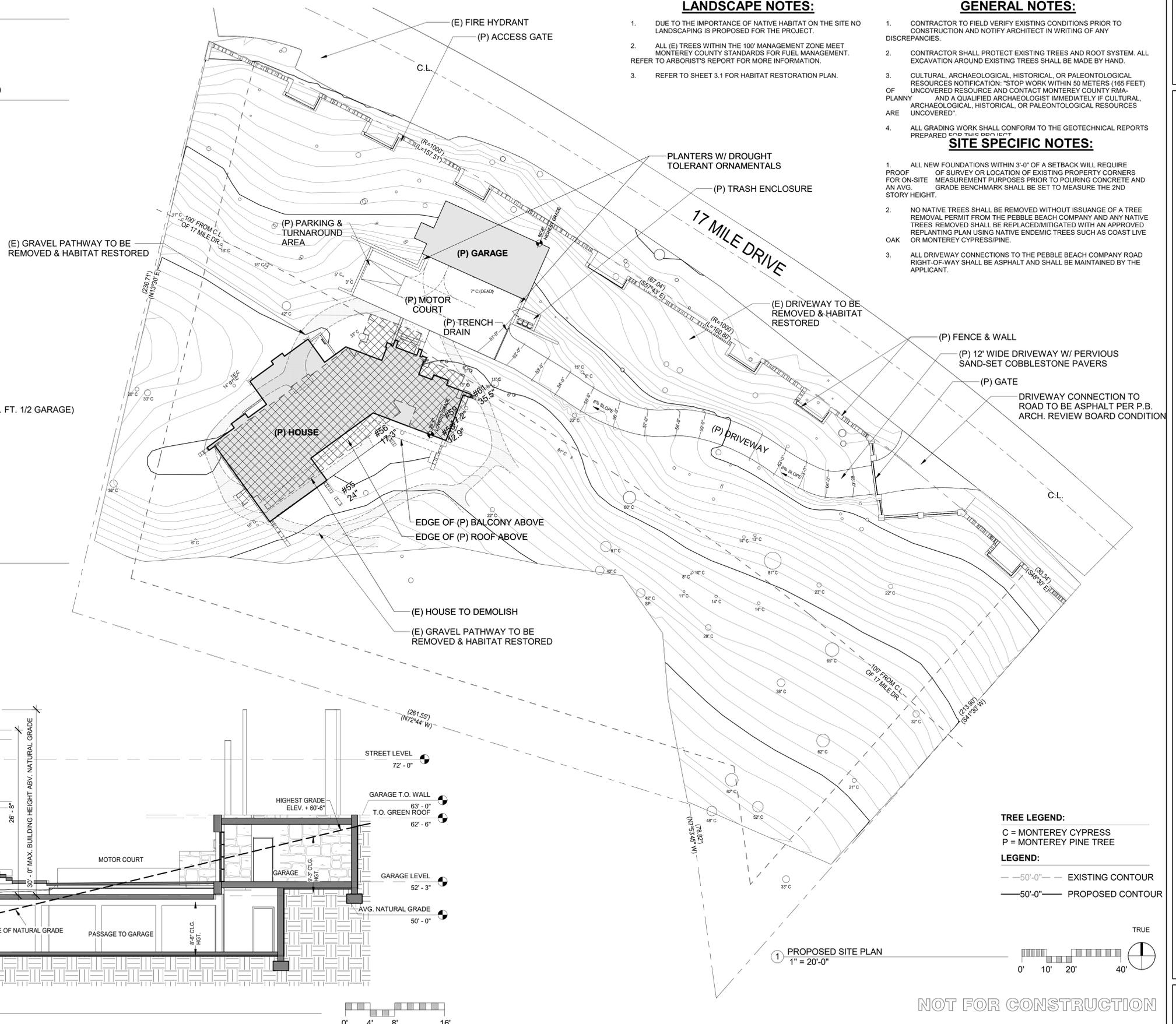
- DUE TO THE IMPORTANCE OF NATIVE HABITAT ON THE SITE NO LANDSCAPING IS PROPOSED FOR THE PROJECT.
- ALL (E) TREES WITHIN THE 100' MANAGEMENT ZONE MEET MONTEREY COUNTY STANDARDS FOR FUEL MANAGEMENT. REFER TO ARBORIST'S REPORT FOR MORE INFORMATION.
- REFER TO SHEET 3.1 FOR HABITAT RESTORATION PLAN.

**GENERAL NOTES:**

- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES.
- CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
- CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES NOTIFICATION: STOP WORK WITHIN 50 METERS (165 FEET) UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNY AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES UNCOVERED.
- ALL GRADING WORK SHALL CONFORM TO THE GEOTECHNICAL REPORTS PREPARED FOR THIS PROJECT.

**SITE SPECIFIC NOTES:**

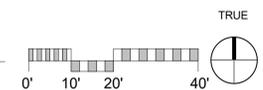
- ALL NEW FOUNDATIONS WITHIN 3'-0" OF A SETBACK WILL REQUIRE PROOF OF SURVEY OR LOCATION OF EXISTING PROPERTY CORNERS FOR ON-SITE MEASUREMENT PURPOSES PRIOR TO POURING CONCRETE AND AN AVG. GRADE BENCHMARK SHALL BE SET TO MEASURE THE 2ND STORY HEIGHT.
- NO NATIVE TREES SHALL BE REMOVED WITHOUT ISSUANCE OF A TREE REMOVAL PERMIT FROM THE PEBBLE BEACH COMPANY AND ANY NATIVE TREES REMOVED SHALL BE REPLACED/MITIGATED WITH AN APPROVED RE-PLANTING PLAN USING NATIVE ENDEMIC TREES SUCH AS COAST LIVE OR MONTEREY CYPRESS/PINE.
- ALL DRIVEWAY CONNECTIONS TO THE PEBBLE BEACH COMPANY ROAD RIGHT-OF-WAY SHALL BE ASPHALT AND SHALL BE MAINTAINED BY THE APPLICANT.



1 PROPOSED SITE PLAN  
1" = 20'-0"

**TREE LEGEND:**  
C = MONTEREY CYPRESS  
P = MONTEREY PINE TREE

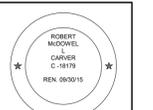
**LEGEND:**  
—50'-0"— EXISTING CONTOUR  
—50'-0"— PROPOSED CONTOUR



NOT FOR CONSTRUCTION

LUNDQUIST RESIDENCE

3224 17 MILE DRIVE PEBBLE BEACH, CALIFORNIA



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ARCHITECTURAL PROPOSED SITE PLAN

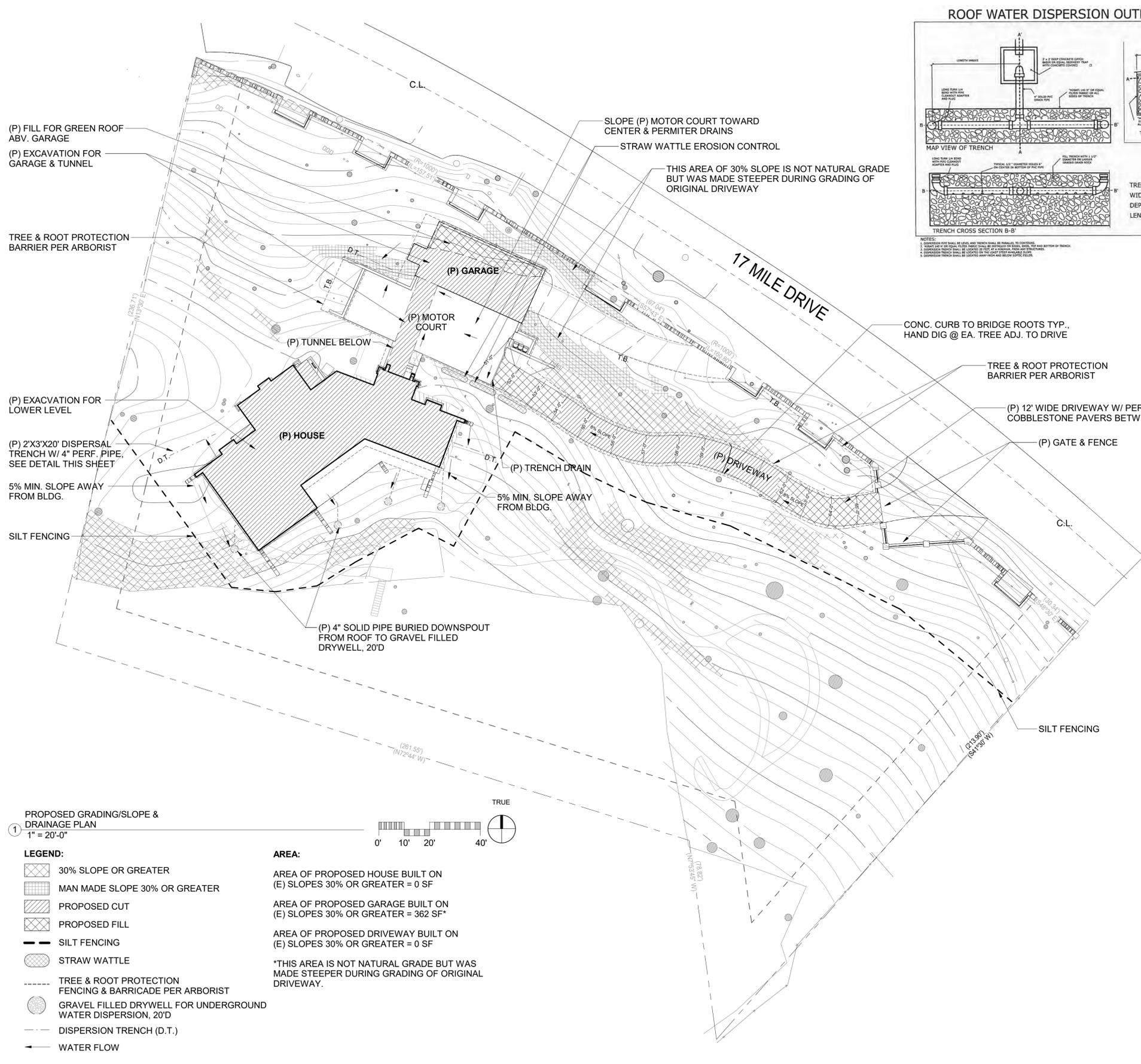
Scale: As indicated @ 24x36  
Drawn By: SBP  
Job: 1026

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7/5/2017

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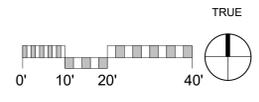
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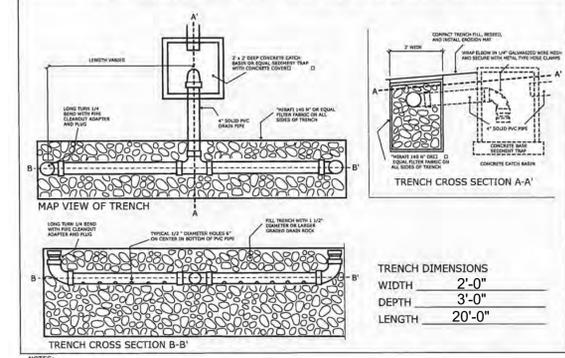
**1** PROPOSED GRADING/SLOPE & DRAINAGE PLAN  
1" = 20'-0"

- LEGEND:**
- 30% SLOPE OR GREATER
  - MAN MADE SLOPE 30% OR GREATER
  - PROPOSED CUT
  - PROPOSED FILL
  - SILT FENCING
  - STRAW WATTLE
  - TREE & ROOT PROTECTION FENCING & BARRICADE PER ARBORIST
  - GRAVEL FILLED DRYWELL FOR UNDERGROUND WATER DISPERSION, 20'D
  - DISPERSION TRENCH (D.T.)
  - WATER FLOW

- AREA:**
- AREA OF PROPOSED HOUSE BUILT ON (E) SLOPES 30% OR GREATER = 0 SF
  - AREA OF PROPOSED GARAGE BUILT ON (E) SLOPES 30% OR GREATER = 362 SF\*
  - AREA OF PROPOSED DRIVEWAY BUILT ON (E) SLOPES 30% OR GREATER = 0 SF
- \*THIS AREA IS NOT NATURAL GRADE BUT WAS MADE STEEPER DURING GRADING OF ORIGINAL DRIVEWAY.



**ROOF WATER DISPERSION OUTLET DETAIL**

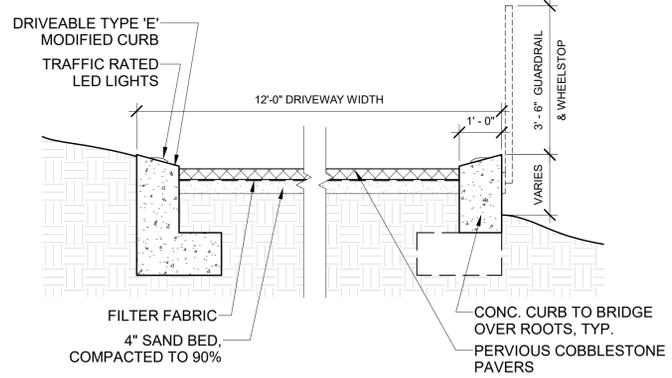


**TRENCH DIMENSIONS**  
WIDTH 2'-0"  
DEPTH 3'-0"  
LENGTH 20'-0"

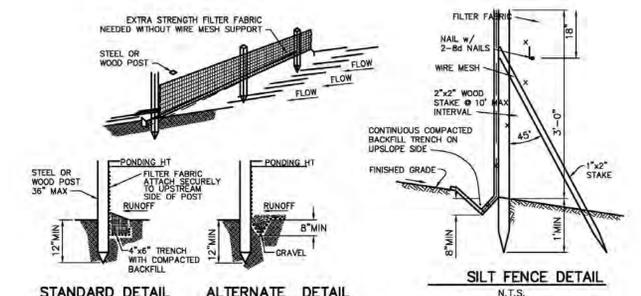
**NOTES:**  
1. DISPERSED AREA SHALL BE LEVEL AND TRENCH SHALL BE MAINTAINED TO CONDITIONS.  
2. DISPERSED AREA SHALL BE LEVEL AND TRENCH SHALL BE MAINTAINED TO CONDITIONS.  
3. DISPERSED AREA SHALL BE LEVEL AND TRENCH SHALL BE MAINTAINED TO CONDITIONS.  
4. DISPERSED AREA SHALL BE LEVEL AND TRENCH SHALL BE MAINTAINED TO CONDITIONS.

**GENERAL NOTES:**

1. ALL DRAINAGE SHALL BE CONTAINED ON-SITE AND ANY DRAINAGE WHICH ADVERSELY AFFECTS NEIGHBORING PROPERTIES OR THE PEBBLE BEACH COMPANY ROAD RIGHT-OF-WAY SHALL BE ADDRESSED AND REMEDIATED BY THE CONTRACTOR.
2. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES.
3. CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
4. CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES NOTIFICATION: STOP WORK WITHIN 50 METERS (165 FEET) UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNY AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES UNCOVERED.
5. ALL GRADING WORK SHALL CONFORM TO THE GEOTECHNICAL REPORTS PREPARED BY BEACON GEOTECHNICAL AND BY HARO KASUNICH & ASSOCIATES, INC.



**2** TYPICAL DRIVEWAY SECTION  
1/2" = 1'-0"

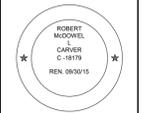


**4** SILT FENCE DETAIL  
NO SCALE

**MAINTENANCE**  
- SILT FENCE AND FILTER BARRIERS SHALL BE INSPECTED DURING AND IMMEDIATELY AFTER EACH RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.  
- SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE DURING THE TIME THE FENCE OR BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.  
- SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.  
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED, AND SEEDED.  
- SILT BUILDUPS MUST BE REMOVED WHEN BULGES DEVELOP IN THE FENCE REGARDLESS OF DEPTH OF DEPOSITION.

**LUNDQUIST RESIDENCE**

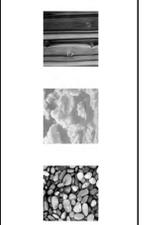
3224 17 MILE DRIVE PEBBLE BEACH, CALIFORNIA



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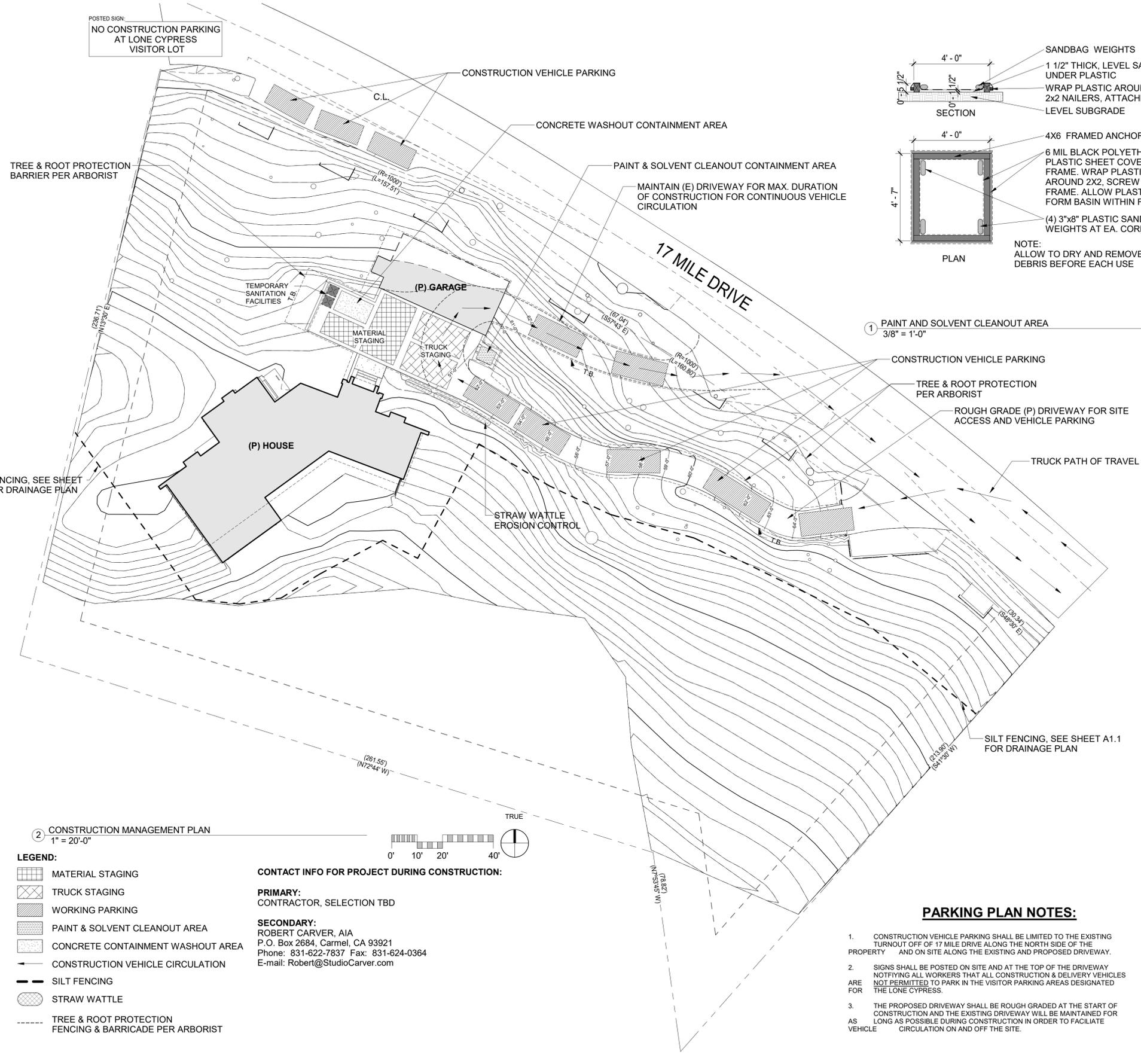
**ARCHITECTURAL ROUGH GRADING / SLOPE & CONSTRUCTION DRAINAGE PLAN**

Scale: As indicated @ 24x36  
Drawn By: SBP  
Job: 1026

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7/6/2017 10:14:22 AM

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2 CONSTRUCTION MANAGEMENT PLAN  
1" = 20'-0"

- LEGEND:**
- MATERIAL STAGING
  - TRUCK STAGING
  - WORKING PARKING
  - PAINT & SOLVENT CLEANOUT AREA
  - CONCRETE CONTAINMENT WASHOUT AREA
  - CONSTRUCTION VEHICLE CIRCULATION
  - SILT FENCING
  - STRAW WATTLE
  - TREE & ROOT PROTECTION FENCING & BARRICADE PER ARBORIST

**CONTACT INFO FOR PROJECT DURING CONSTRUCTION:**

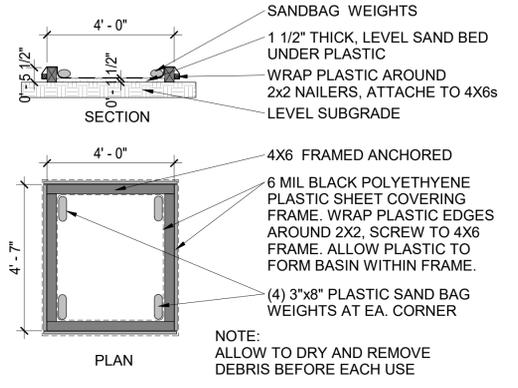
**PRIMARY:**  
CONTRACTOR, SELECTION TBD

**SECONDARY:**  
ROBERT CARVER, AIA  
P.O. Box 2684, Carmel, CA 93921  
Phone: 831-622-7837 Fax: 831-624-0364  
E-mail: Robert@StudioCarver.com

**PARKING PLAN NOTES:**

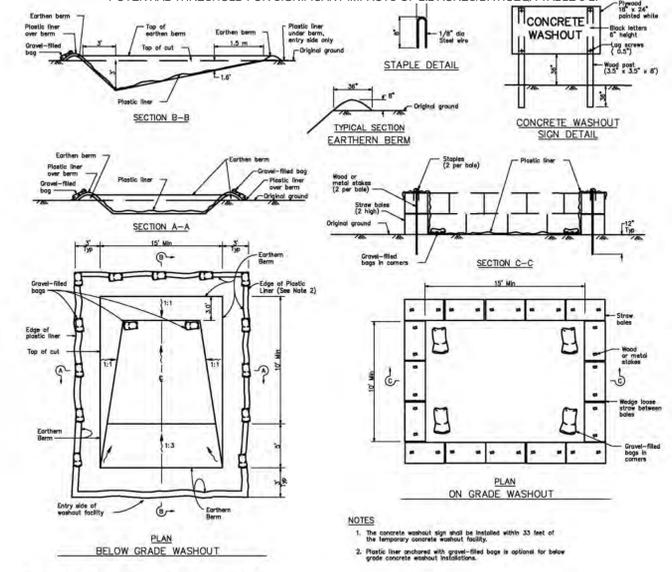
- CONSTRUCTION VEHICLE PARKING SHALL BE LIMITED TO THE EXISTING TURNOUT OFF OF 17 MILE DRIVE ALONG THE NORTH SIDE OF THE PROPERTY AND ON SITE ALONG THE EXISTING AND PROPOSED DRIVEWAY.
- SIGNS SHALL BE POSTED ON SITE AND AT THE TOP OF THE DRIVEWAY NOTIFYING ALL WORKERS THAT ALL CONSTRUCTION & DELIVERY VEHICLES NOT PERMITTED TO PARK IN THE VISITOR PARKING AREAS DESIGNATED THE LONE CYPRESS.
- THE PROPOSED DRIVEWAY SHALL BE ROUGH GRADED AT THE START OF CONSTRUCTION AND THE EXISTING DRIVEWAY WILL BE MAINTAINED FOR LONG AS POSSIBLE DURING CONSTRUCTION IN ORDER TO FACILITATE CIRCULATION ON AND OFF THE SITE.

**PROPOSED ROUTE FOR HAULING**



**CONSTRUCTION MANAGEMENT NOTES:**

- DURATION OF CONSTRUCTION IS APPROX. 18 MONTHS STARTING FROM THE DATE PERMITS ARE ISSUED.
- WORK SHALL BE PERFORMED BETWEEN THE HOURS OF 7 AM AND 6 PM. WORK PERFORMED BEFORE 8AM SHALL BE NON-CONSTRUCTION ACTIVITY (QUIET HOUR)
- AN ESTIMATED 168 TRUCK TRIPS WILL BE NECESSARY FOR THE GRADING PHASE OF THE PROJECT  
1,367 CU. YD. CUT - 26 CU. YD. FILL = 1,341 CU. YD.  
1,341 CU. YD. / 8 CU. YD. PER TRUCK = 168 TRUCK TRIPS
- TRUCKS WILL BE ROUTED TO AND FROM THE SITE USING 17 MILE DR. VIA THE HIGHWAY 1 ENTRANCE.
- THE NUMBER OF WORKERS WILL VARY THROUGH OUT THE CONSTRUCTION. WORKERS ONSITE WILL RANGE FROM 2 TO 12.
- EROSION CONTROL PROTECTION TO BE INSTALLED PER THE PERMITTED PLANS.
- STERILE STRAW WATTLES SHALL BE PLACED BEFORE AND DURING RAIN STORM EVENTS TO CONTAIN STORM WATER AND EROSION DURING CONSTRUCTION.
- ALL ON AND OFF-ROAD DIESEL EQUIPMENT SHALL NOT IDLE FOR MORE THAN 5 MINUTES.
- SUBSTITUTE GASOLINE-POWERED IN PLACE OF DIESEL-POWERED EQUIPMENT, WHERE FEASIBLE.
- USE ALTERNATIVELY FUELED CONSTRUCTION EQUIPMENT ON-SITE WHERE FEASIBLE, SUCH AS COMPRESSED NATURAL GAS (CNG), LIQUEFIED NATURAL GAS (LNG), PROPANE OR BIODIESEL.
- CONSTRUCTION TRUCK TRIPS WILL BE SCHEDULED DURING NON-PEAK HOURS TO REDUCE PEAK HOUR EMISSIONS.
- DUST CONTROL MEASURES WILL BE IMPLEMENTED INCLUDING THE USE WATER TRUCKS OR SPRINKLER SYSTEMS IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. WATERING FREQUENCY SHALL BE INCREASED WHENEVER WIND SPEEDS EXCEED 15 MPH. RECLAIMED (NON-POTABLE) WILL BE USED WHENEVER POSSIBLE.
- ALL TRUCKS HAULING DIRT, SAND, SOIL, OR OTHER LOOSE MATERIALS ARE TO BE COVERED OR SHOULD MAINTAIN AT LEAST TWO FEET OF FREEBOARD (MINIMUM VERTICAL DISTANCE BETWEEN TOP OF LOAD AND TOP OF TRAILER) IN ACCORDANCE WITH CVC SECTION 23114.
- THE PROPOSED AMOUNT OF GRADING PER DAY WILL BE SIGNIFICANTLY LESS THAN THE POTENTIAL THRESHOLD FOR SIGNIFICANT IMPACTS OF 2.2 ACRES/DAY (CEQA TABLE S-2).

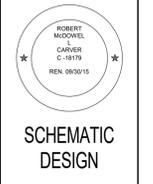


5 CONCRETE WASHOUT AREA  
NO SCALE

NOT FOR CONSTRUCTION

**LUNDQUIST RESIDENCE**

3224 17 MILE DRIVE PEBBLE BEACH, CALIFORNIA



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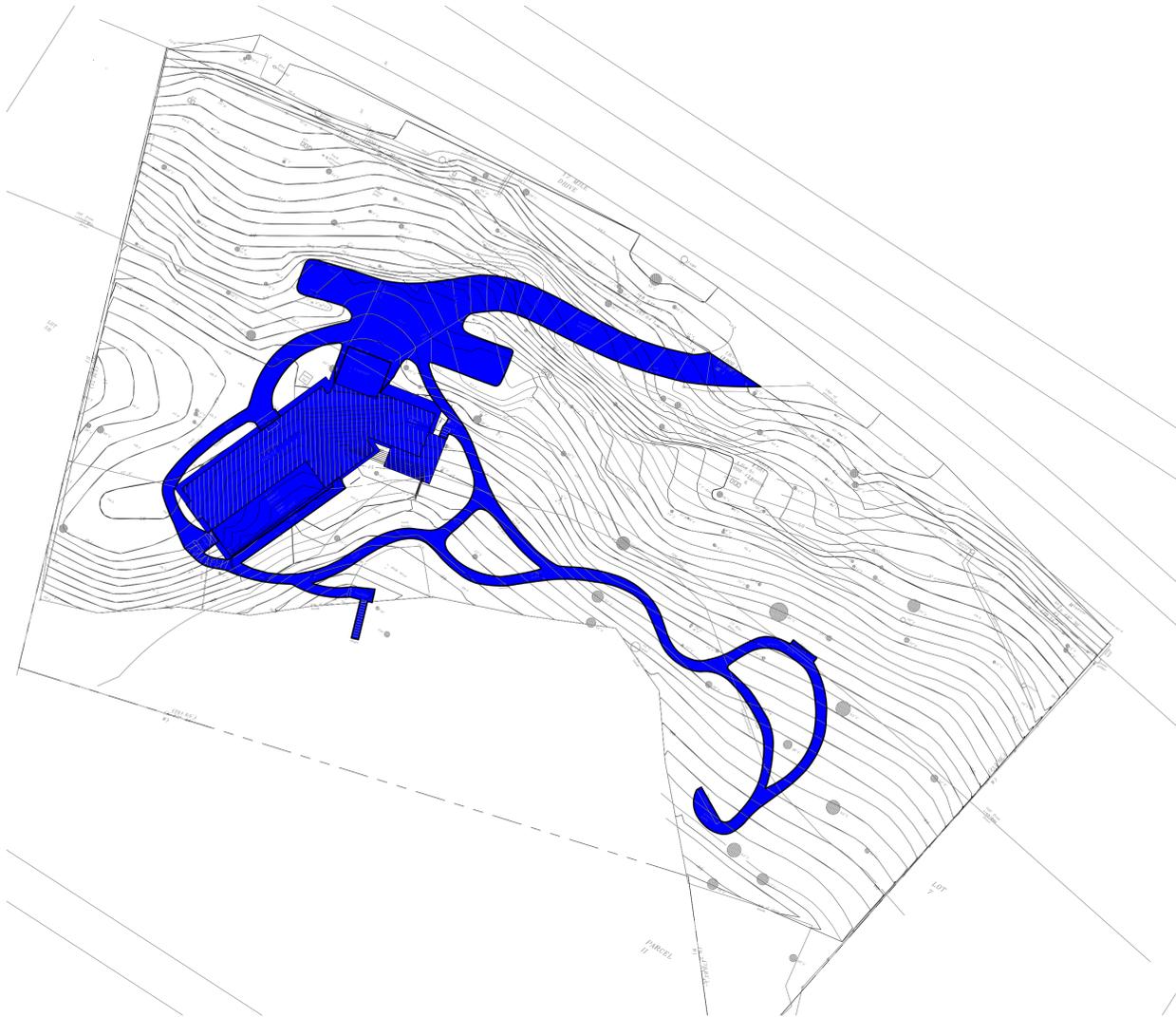
**ARCHITECTURAL CONSTRUCTION MANAGEMENT PLAN**

Scale: As indicated @ 24x36  
Drawn By: SBP  
Job: 1026

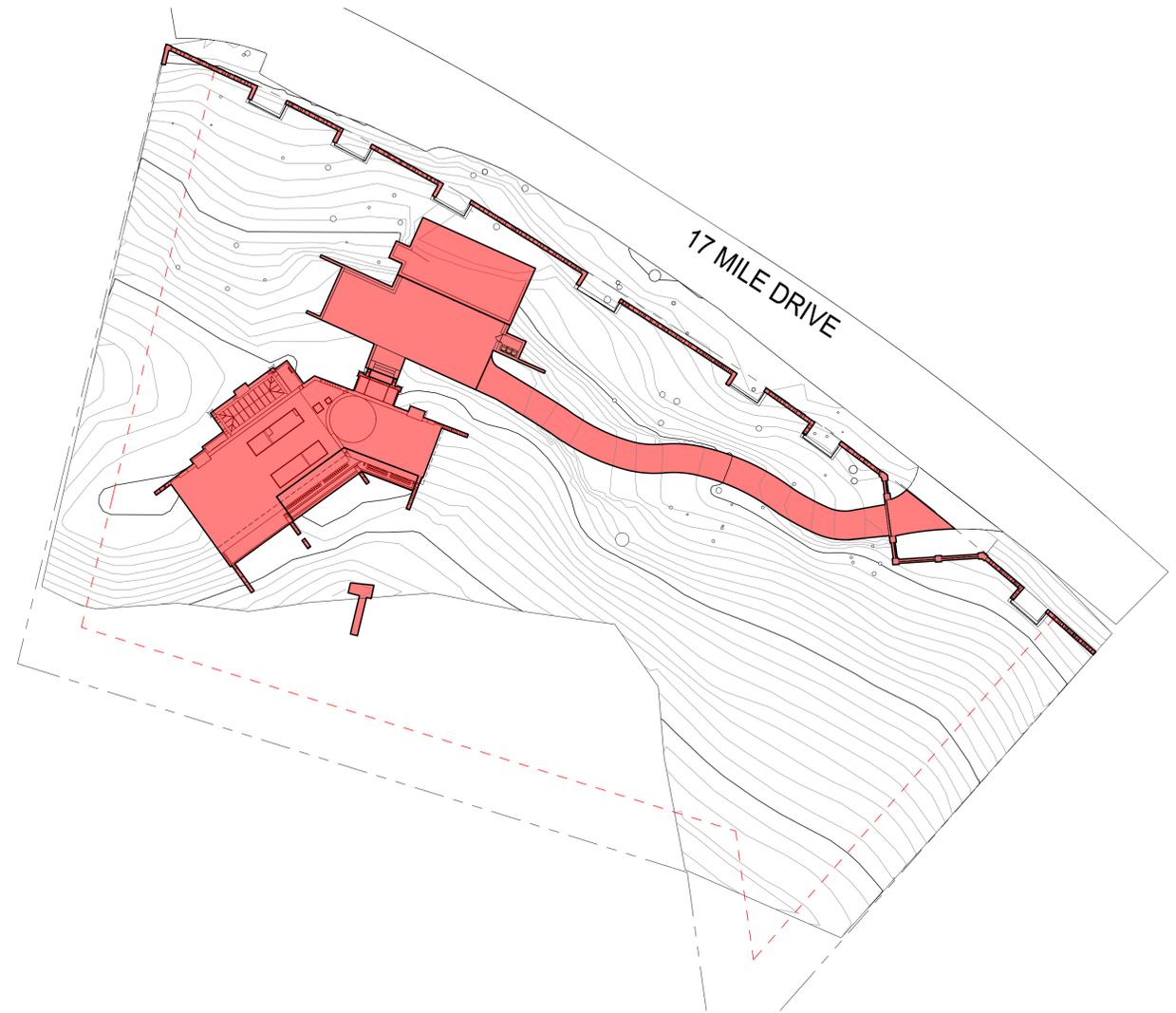
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7/6/2017 10:14:46 AM

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1 EXISTING TOTAL HARDSCAPE COVERAGE  
1" = 30'-0"

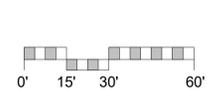


2 PROPOSED TOTAL HARDSCAPE COVERAGE  
1" = 30'-0"

TOTAL HARDSCAPE COVERAGE	
(E) TOTAL HARDSCAPE COVERAGE	9,974 SF OR 13.6%
(P) TOTAL HARDSCAPE COVERAGE	9,295 SF OR 12.7%
REDUCTION OF TOTAL HARDSCAPE COVERAGE	679 SF

HARDSCAPE LEGEND

- (E) HARDSCAPE
- (P) HARDSCAPE



TRUE



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LUNDQUIST RESIDENCE

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ARCHITECTURAL  
(E) & (P) TOTAL HARDSCAPE COVERAGE

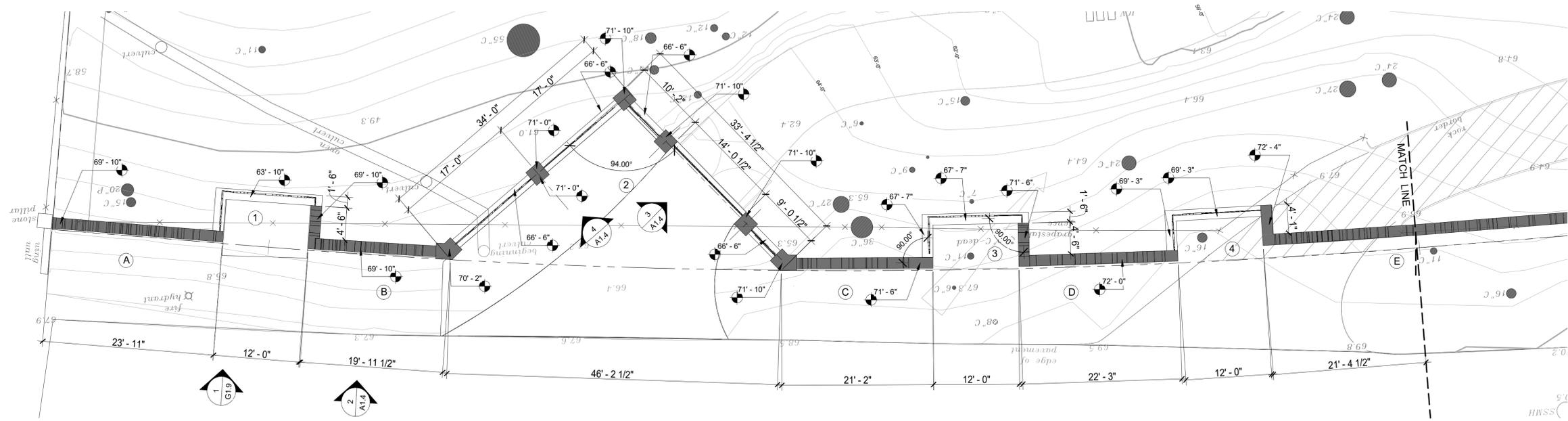
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Drawn By: DP  
Job: 1026

G1.10

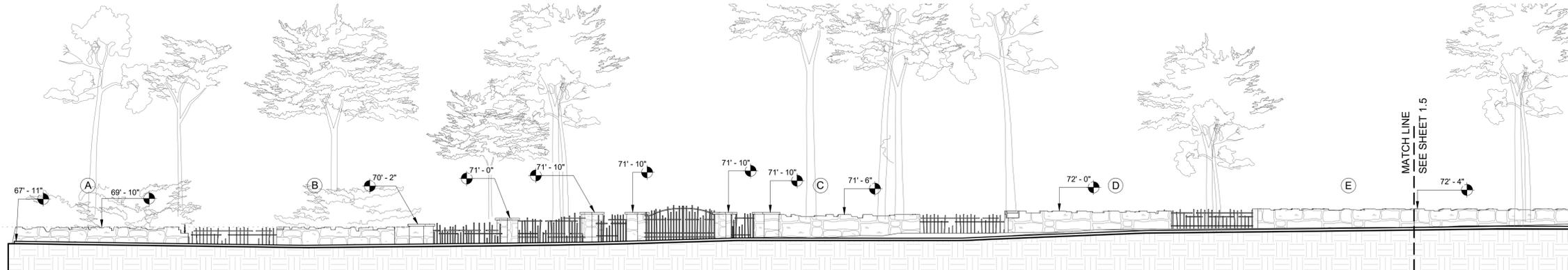
3/05/2018

3/5/2018 4:50:36 PM

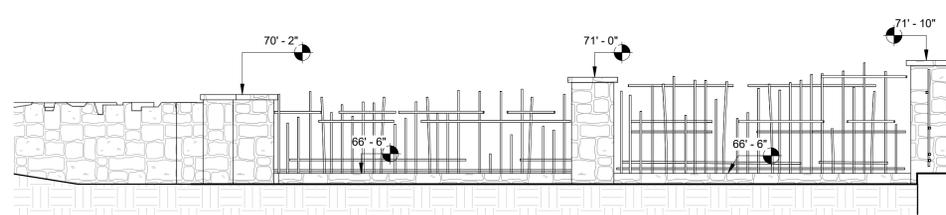
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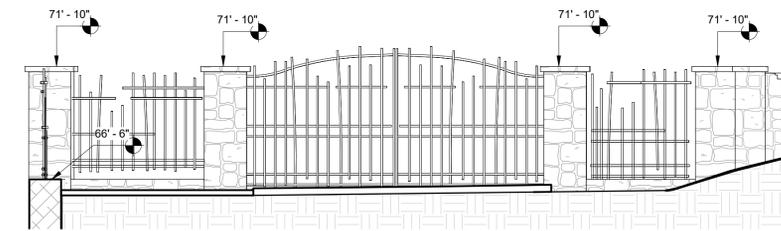
1 SITE PLAN - ENLARGED WALL LAYOUT 1  
1/8" = 1'-0"



2 SITE WALL ELEVATION - SECTIONS A-E  
1/8" = 1'-0"



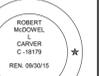
4 ENLARGED FENCE ELEVATION  
1/4" = 1'-0"



3 ENTRY GATE ELEVATION  
1/4" = 1'-0"

**LUNDQUIST RESIDENCE**

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**ARCHITECTURAL SITE DETAILS - WALL LAYOUT**

Scale: As indicated @ 24x36  
Drawn By: Author  
Job: 1026

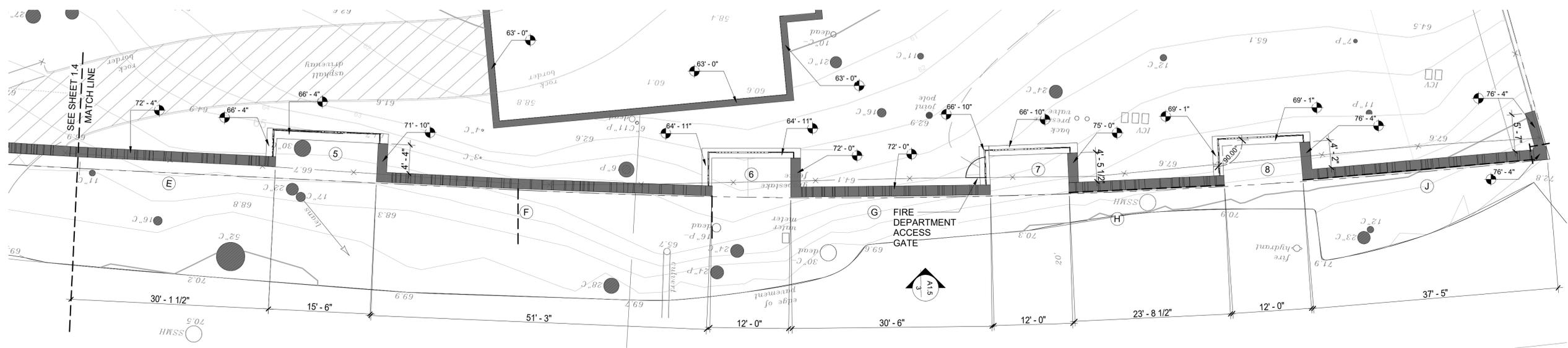
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7/5/2017

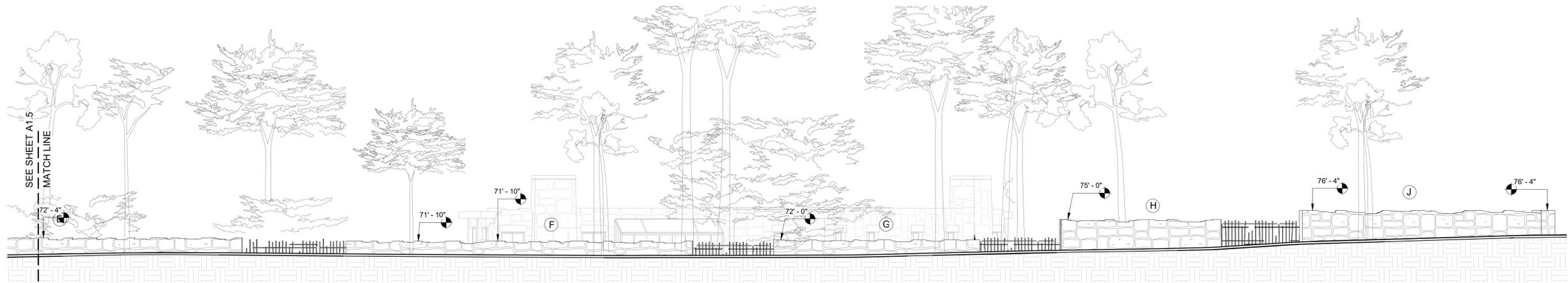
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7/6/2017 10:15:51 AM

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1 SITE PLAN - ENLARGED WALL LAYOUT 2  
1/8" = 1'-0"



3 STREET ELEVATIONS OF WALL  
SECTIONS F-J  
1/8" = 1'-0"

LUNDQUIST RESIDENCE

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ARCHITECTURAL SITE DETAILS - WALL LAYOUT

Scale: 1/8" = 1'-0"  
@ 24x36  
Drawn By: Author  
Job: 1026

A1.5

7/5/2017

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7/6/2017 10:16:28 AM

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① ENTRANCE GATE VIEW

SCHEMATIC  
DESIGN

9/4/2014 11:37:30 AM

Date: JANUARY 24,  
2014  
Scale: @ 11" x 17"  
Drawn By: MP  
Job: 1026

VIEW OF ENTRANCE GATE

**LUNDQUIST RESIDENCE**  
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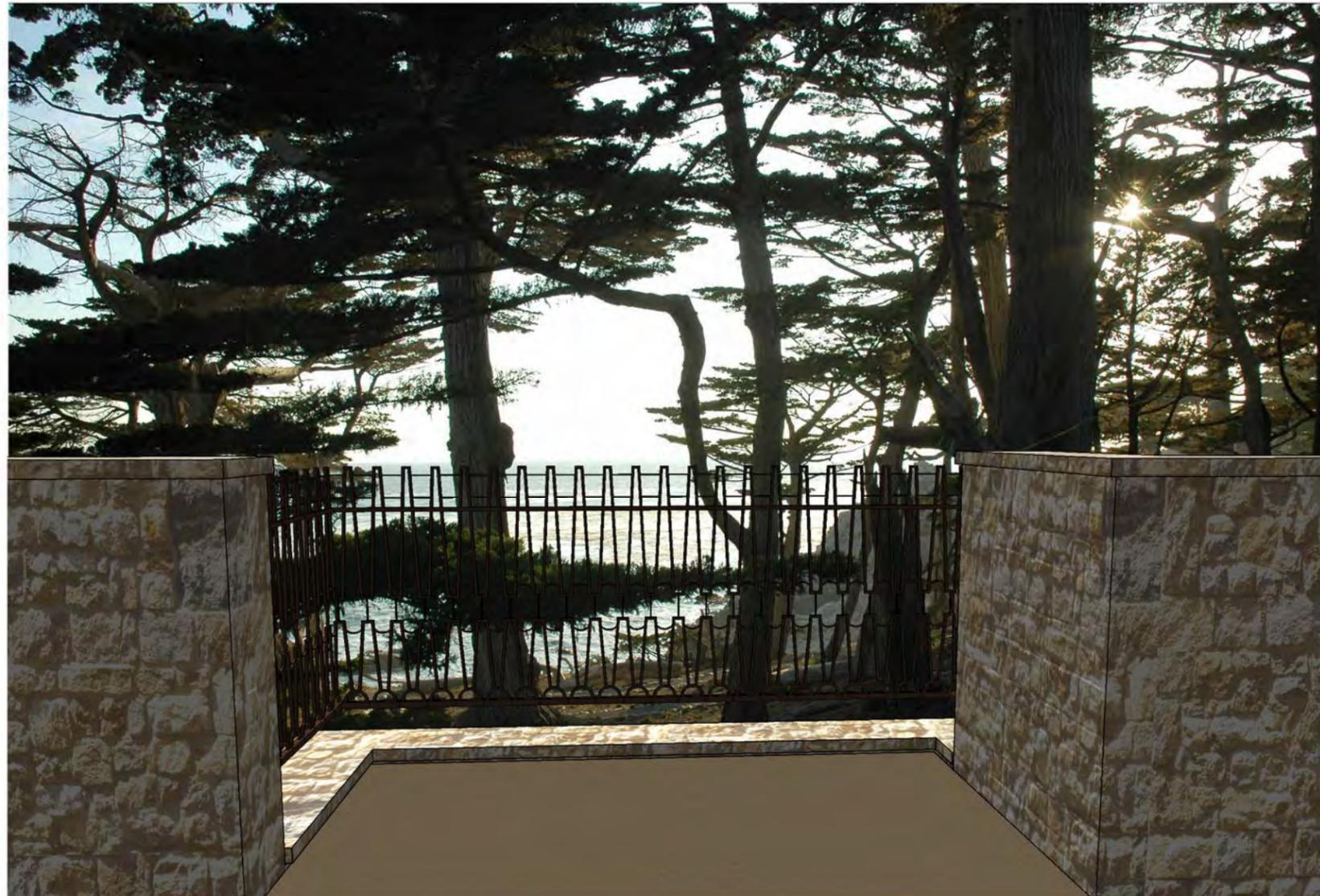
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SHEET:

**G1.11**

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① Wall Section A and B Through Opening

SCHEMATIC  
DESIGN

9/10/2014 4:55:25 PM

Date: JANUARY 24,  
2014  
Scale: @ 11" x 17"  
Drawn By: MP  
Job: 1026

WALL SECTION A AND B THROUGH OPENING  
**LUNDQUIST RESIDENCE**  
3224 17 MILE DRIVE PEBBLE BEACH, CALIFORNIA



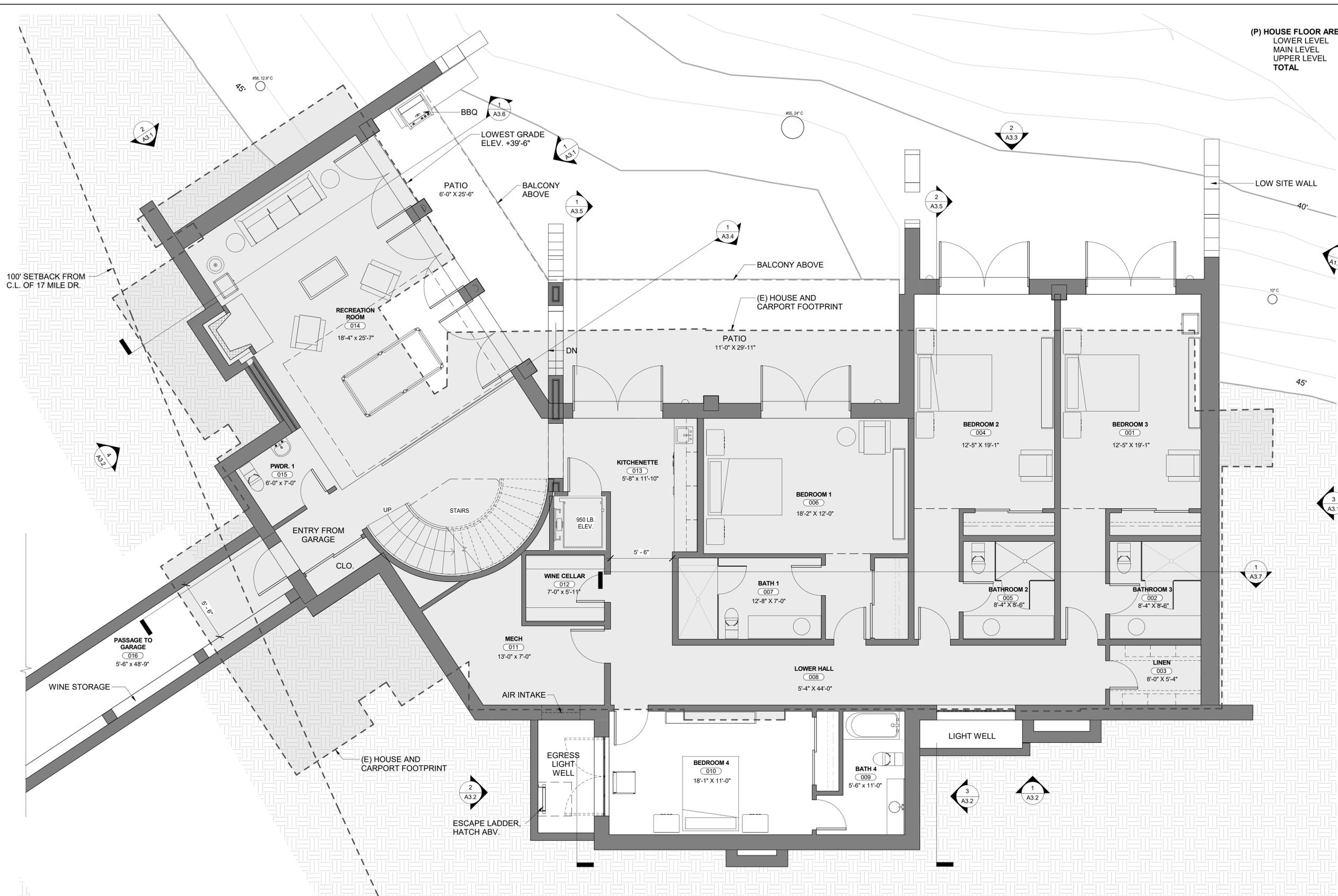
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SHEET:

G1.10

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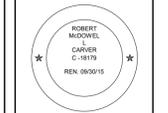


(P) HOUSE FLOOR AREA:

LOWER LEVEL	3,399 SF
MAIN LEVEL	3,138 SF
UPPER LEVEL	2,349 SF
<b>TOTAL</b>	<b>8,886 SF</b>

**LUNDQUIST RESIDENCE**

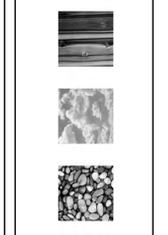
3224 17 MILE DRIVE PEBBLE BEACH, CALIFORNIA



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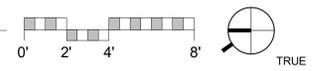
△ REVISION #

**ARCHITECTURAL LOWER FLOOR LEVEL**

Scale: 1/4" = 1'-0"  
 @ 24x36  
 Drawn By: SBP  
 Job: 1026

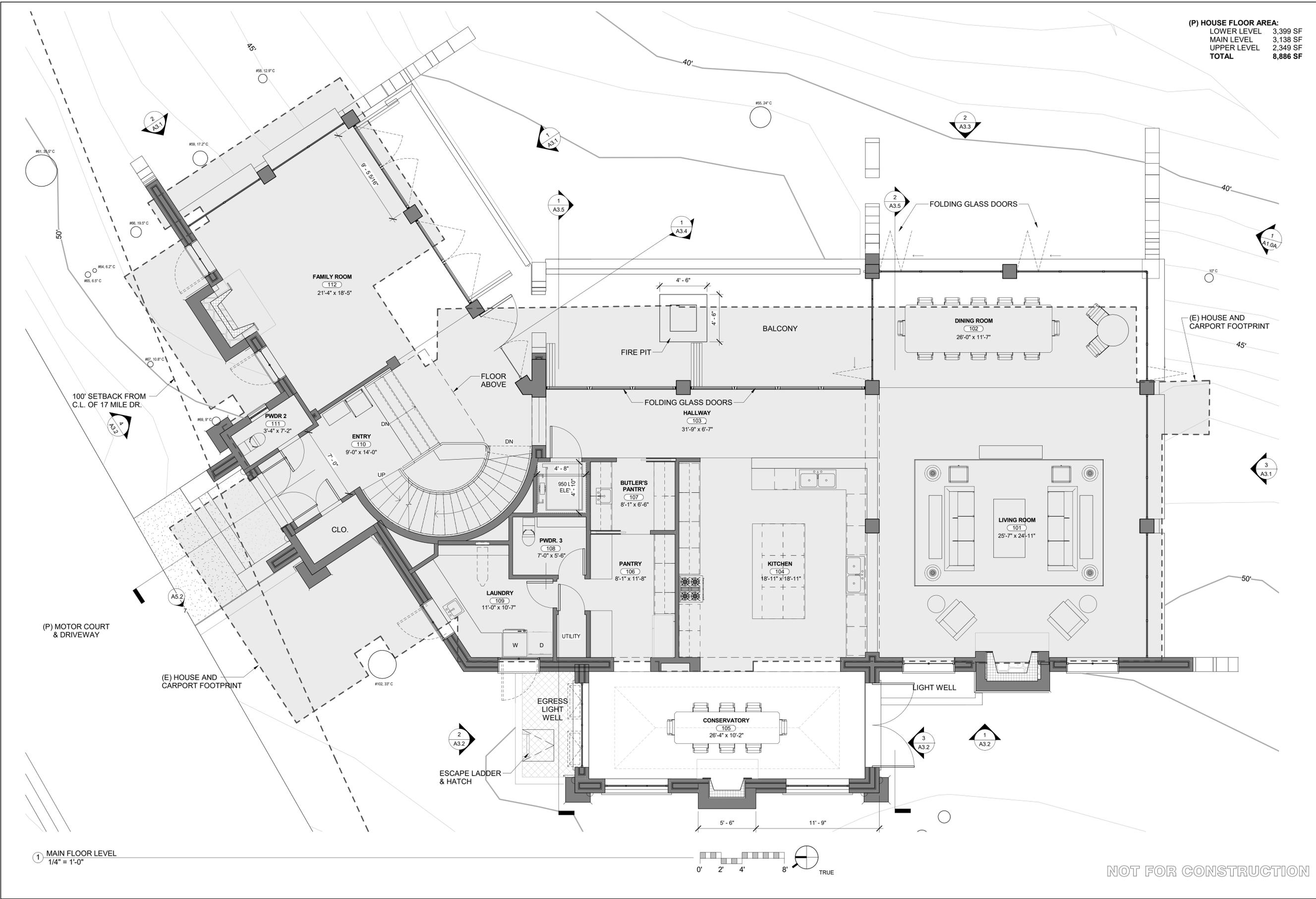
**A2.1**  
 7/5/2017

1 LOWER FLOOR LEVEL  
 1/4" = 1'-0"



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ROBERT McDOWELL ARCHITECT  
 C. 1978  
 REN. 09/2015

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**ARCHITECTURAL MAIN FLOOR LEVEL**

Scale: 1/4" = 1'-0"  
 @ 24x36  
 Drawn By: SBP  
 Job: 1026

**A2.2**  
 7/5/2017

1/6/2017 10:17:21 AM

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(P) HOUSE FLOOR AREA:  
 LOWER LEVEL 3,399 SF  
 MAIN LEVEL 3,138 SF  
 UPPER LEVEL 2,349 SF  
 TOTAL 8,886 SF

**LUNDQUIST RESIDENCE**

3224 17 MILE  
 DRIVE PEBBLE  
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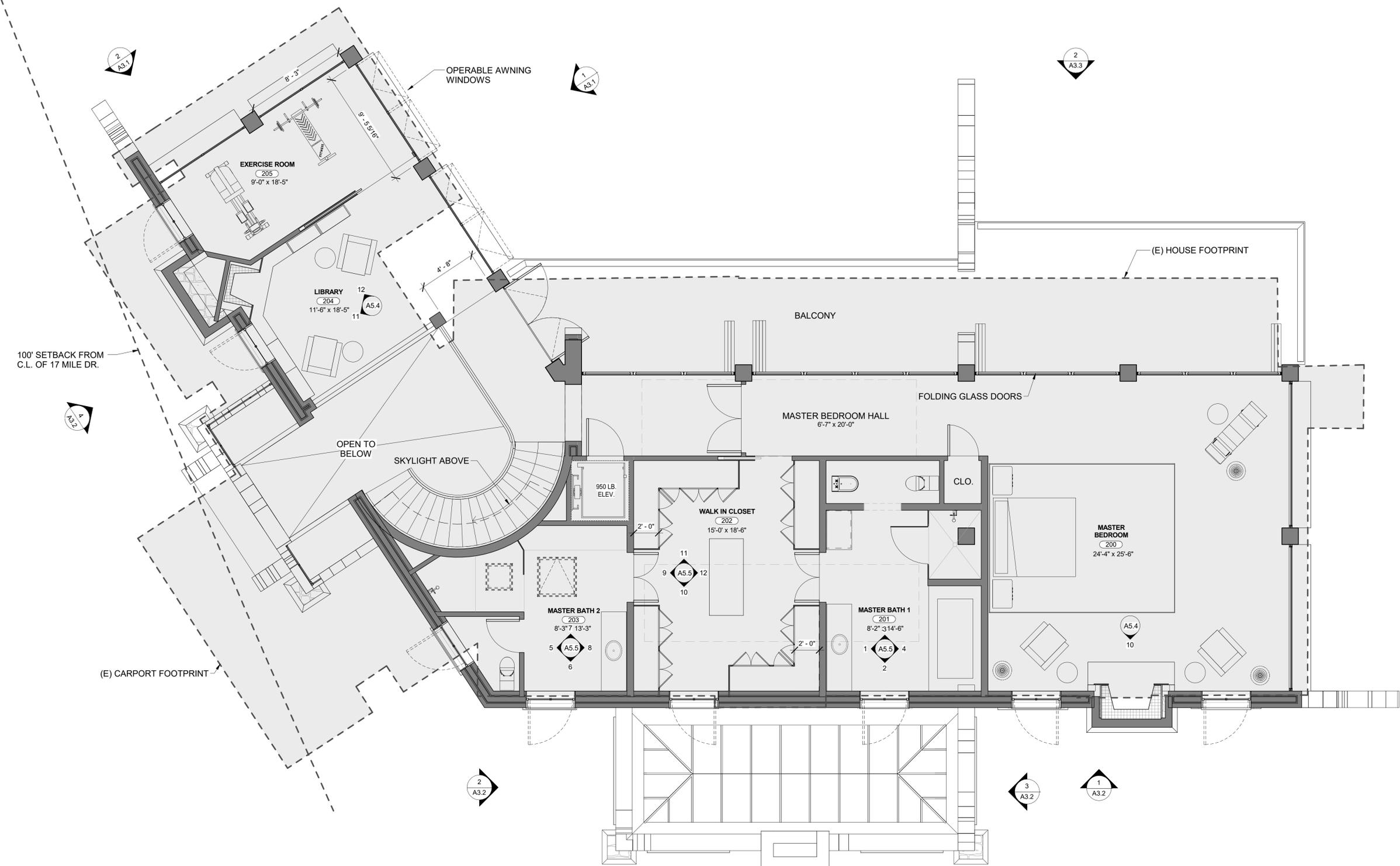
**ARCHITECTURAL  
 UPPER FLOOR LEVEL**

Scale: 1/4" = 1'-0"  
 @ 24x36  
 Drawn By: SBP  
 Job: 1026

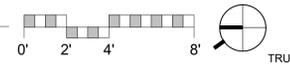
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7/5/2017

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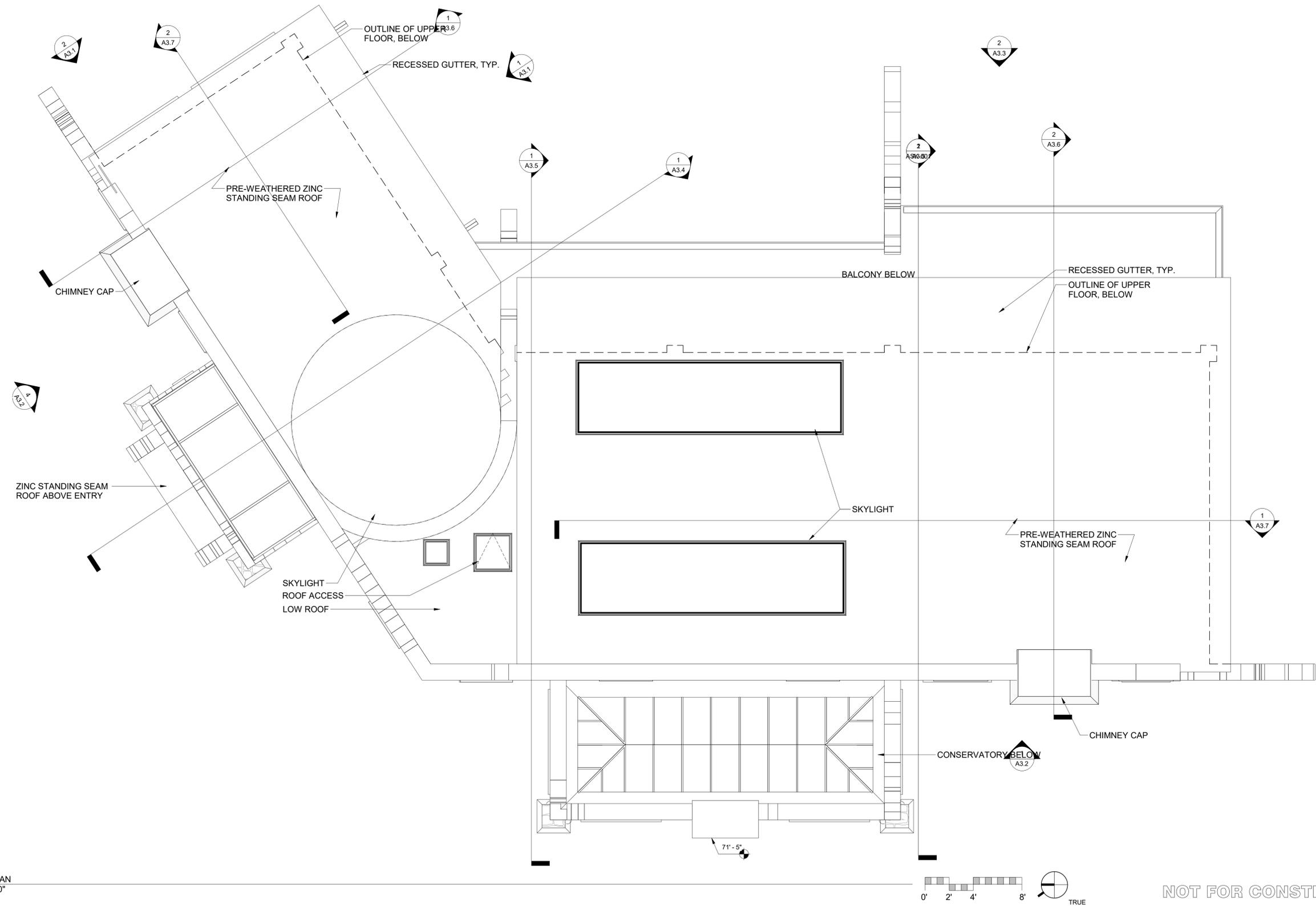
1 UPPER FLOOR LEVEL  
 1/4" = 1'-0"



NOT FOR CONSTRUCTION

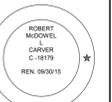
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1 ROOF PLAN  
1/4" = 1'-0"



# LUNDQUIST RESIDENCE

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## ARCHITECTURAL ROOF PLAN

Scale: 1/4" = 1'-0"  
@ 24x36  
Drawn By: SBP  
Job: 1026

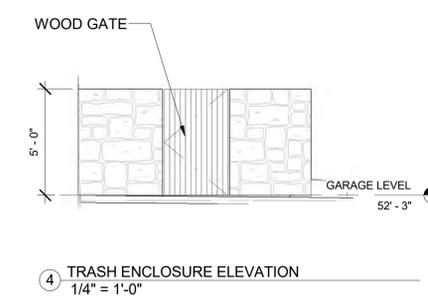
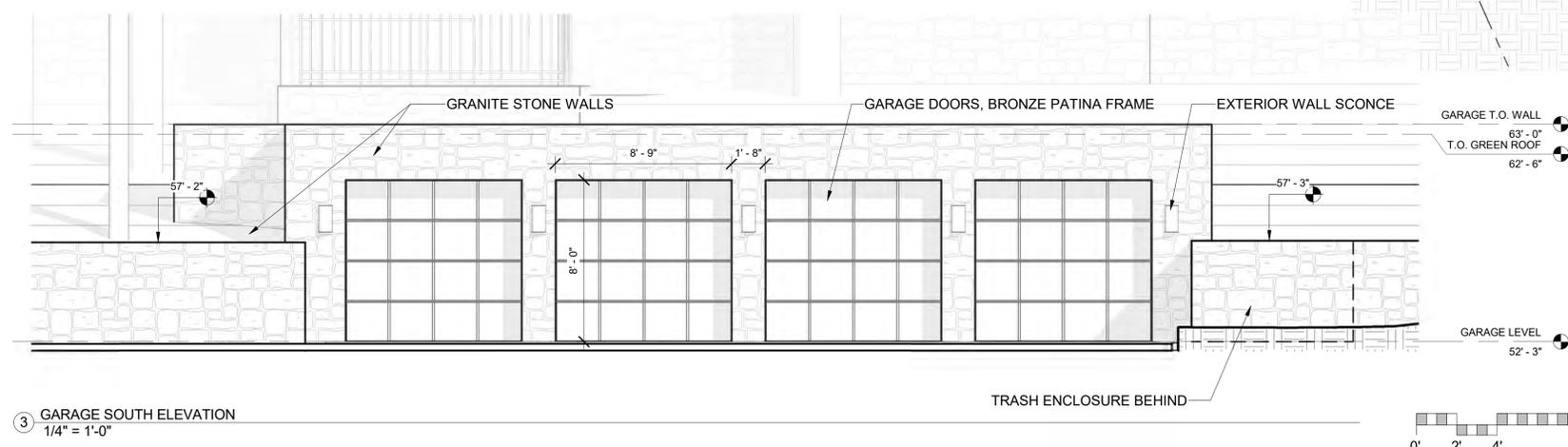
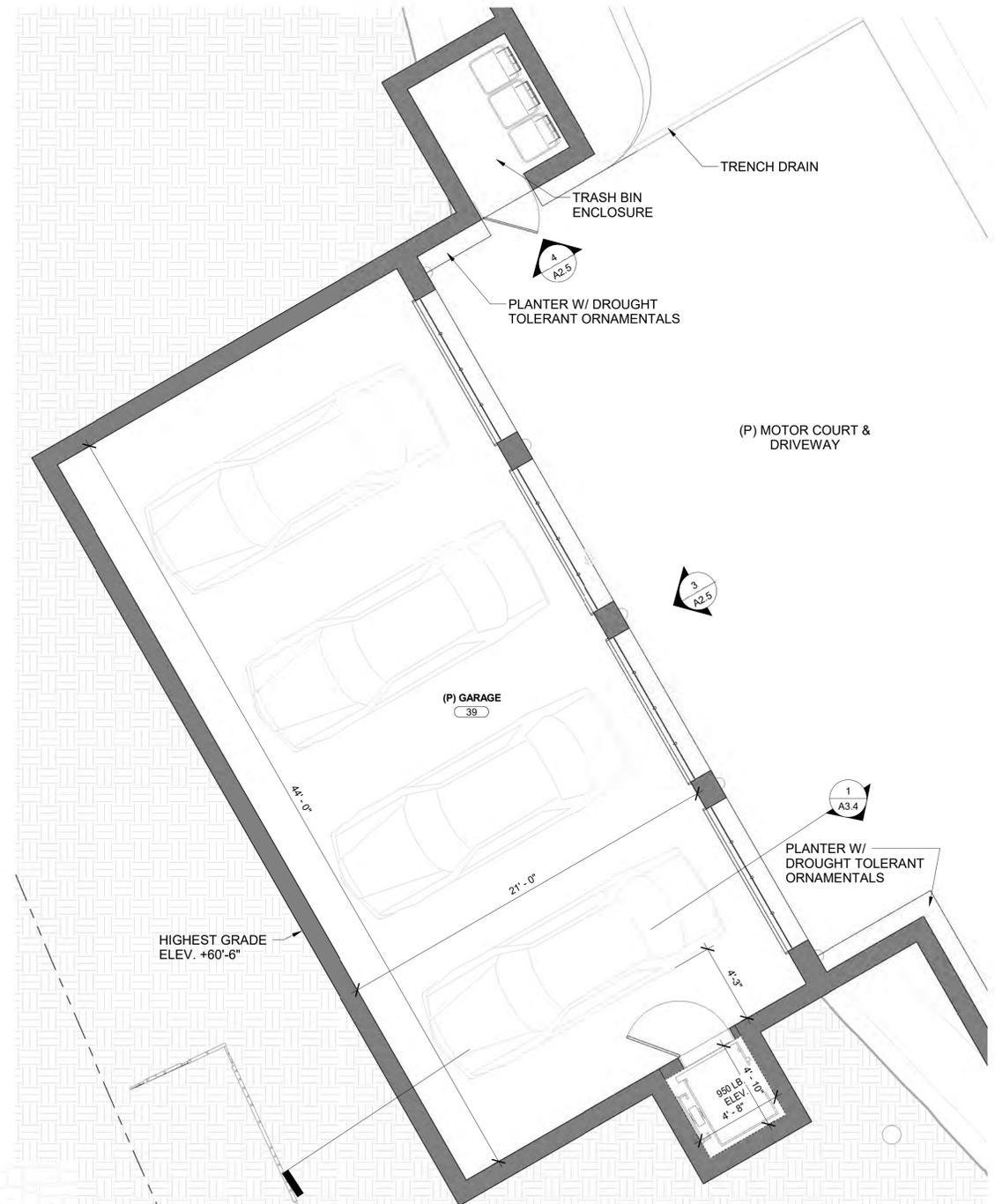
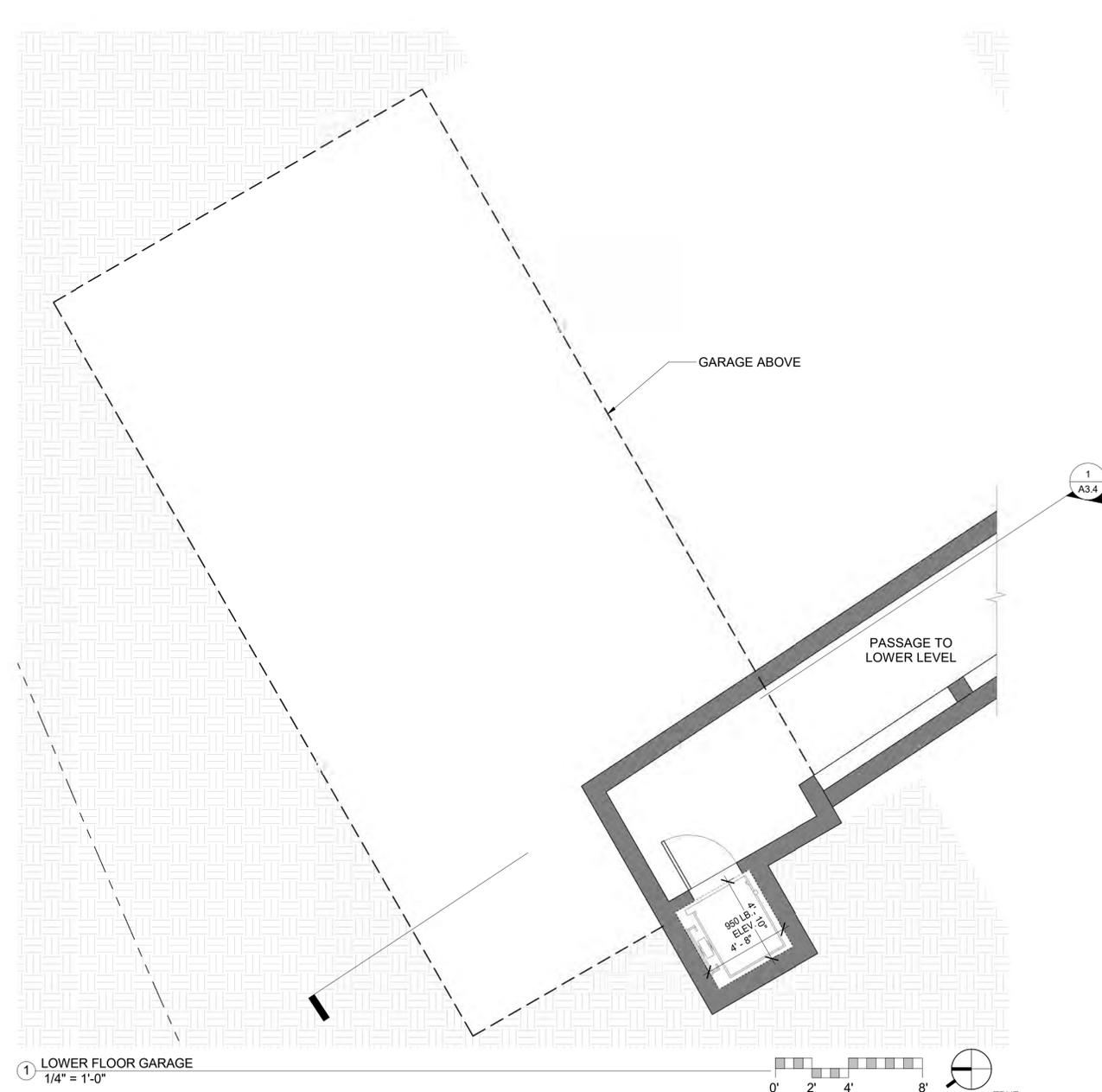
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7/5/2017

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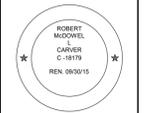
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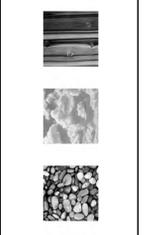
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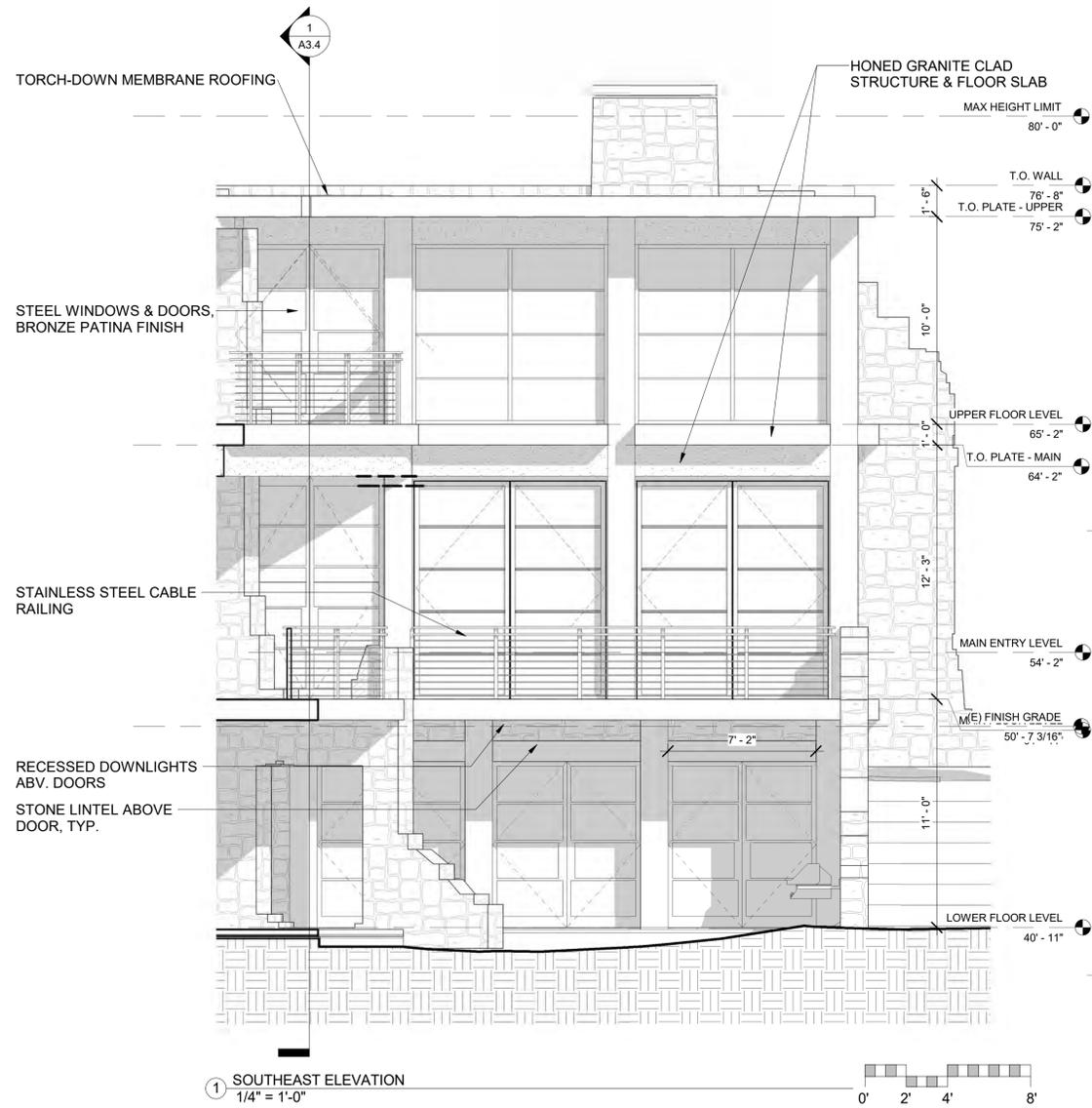
△ REVISION #

**ARCHITECTURAL GARAGE FLOOR PLAN**

Scale: 1/4" = 1'-0" @ 24x36  
Drawn By: SBP  
Job: 1026

**A2.5**  
7/5/2017

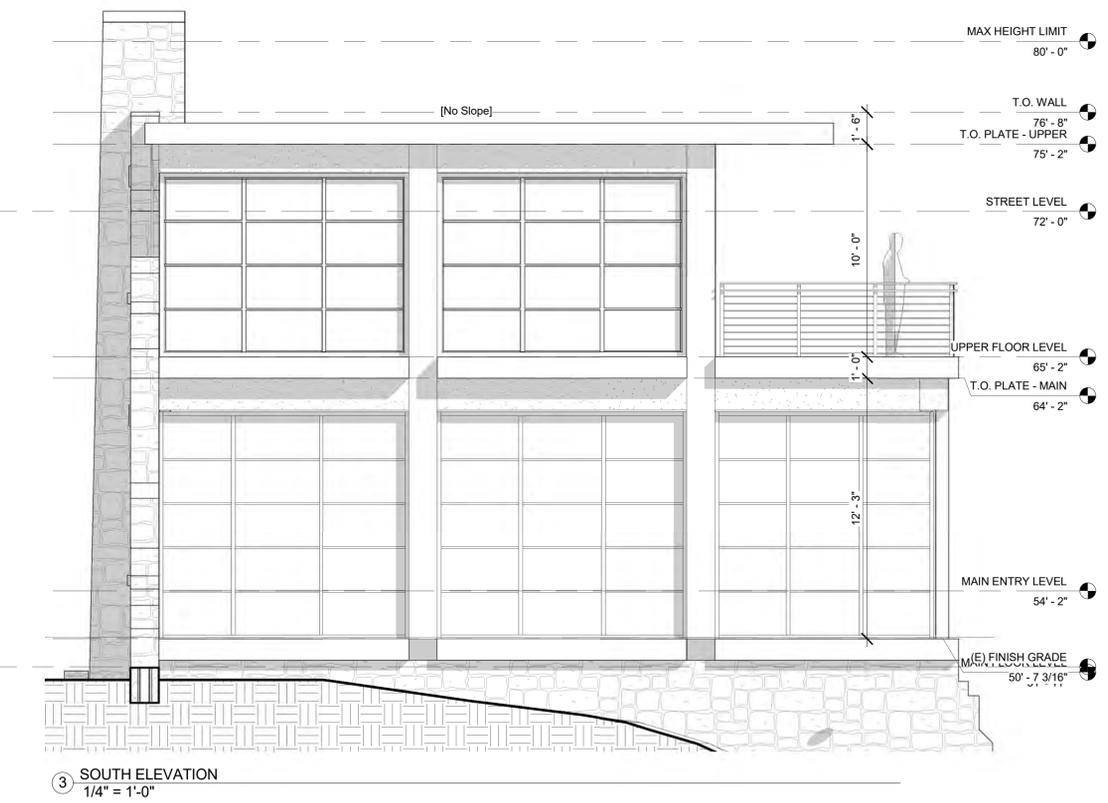
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1 SOUTHEAST ELEVATION  
1/4" = 1'-0"



2 NORTHEAST ELEVATION  
1/4" = 1'-0"

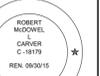


3 SOUTH ELEVATION  
1/4" = 1'-0"

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LUNDQUIST RESIDENCE

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ARCHITECTURAL  
EXTERIOR  
ELEVATIONS

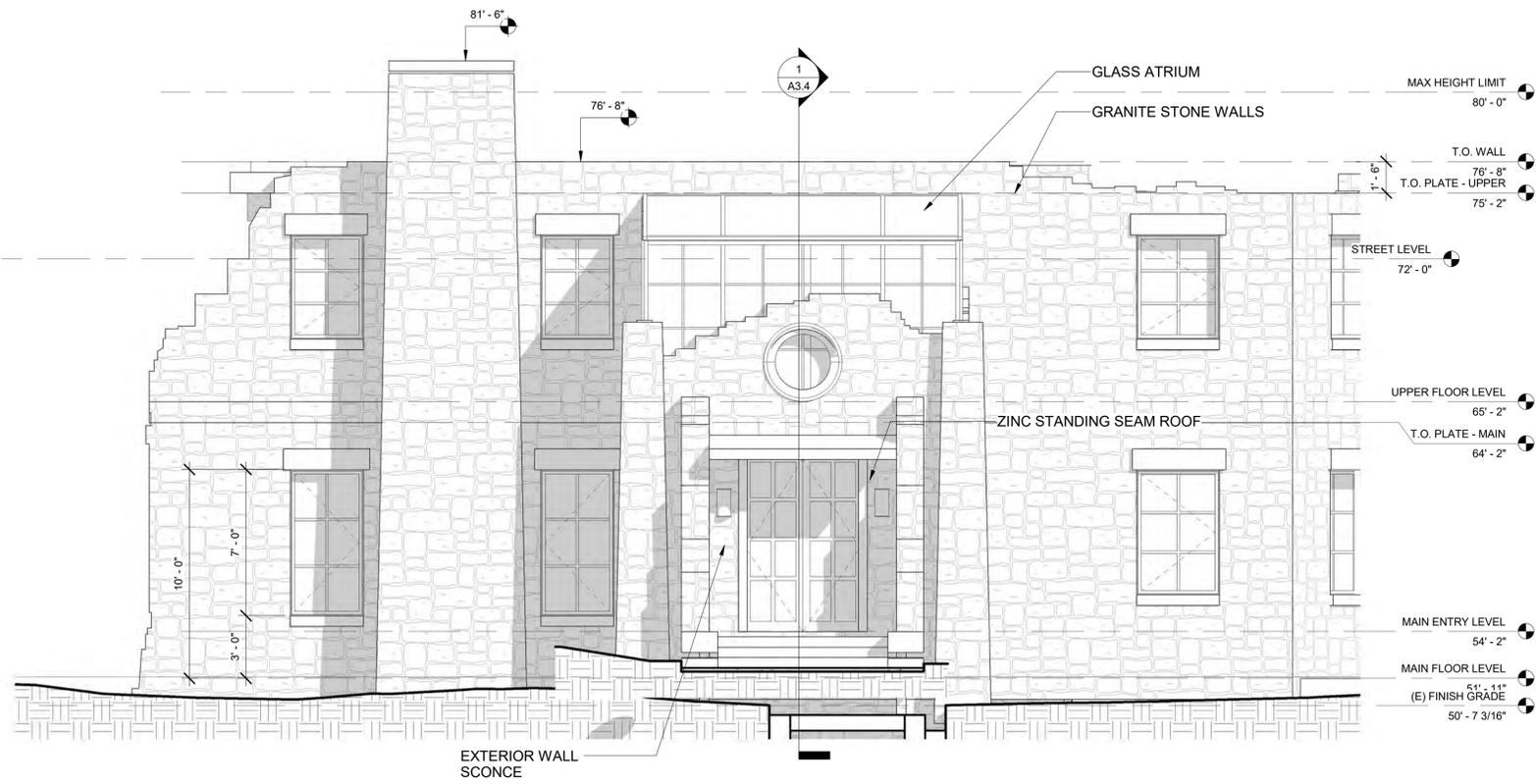
Scale: 1/4" = 1'-0"  
@ 24x36  
Drawn By: SBP  
Job: 1026

A3.1

7/5/2017

7/6/2017 10:16:14 AM

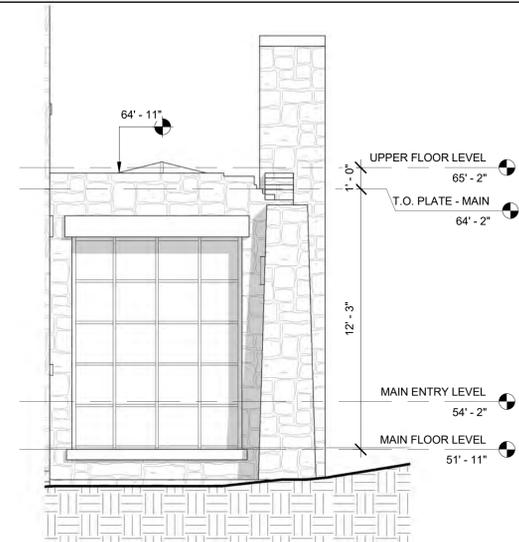
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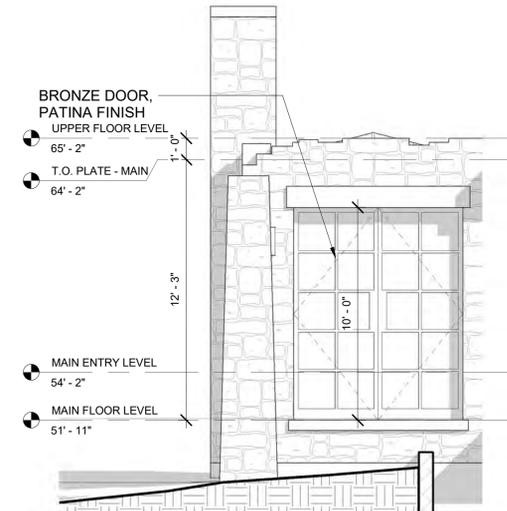
④ MAIN ENTRY ELEVATION  
1/4" = 1'-0"



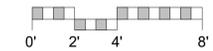
① WEST ELEVATION  
1/4" = 1'-0"



② CONSERVATORY - NORTH ELEVATION  
1/4" = 1'-0"



③ CONSERVATORY - SOUTH ELEVATION  
1/4" = 1'-0"



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LUNDQUIST RESIDENCE

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ELEVATIONS

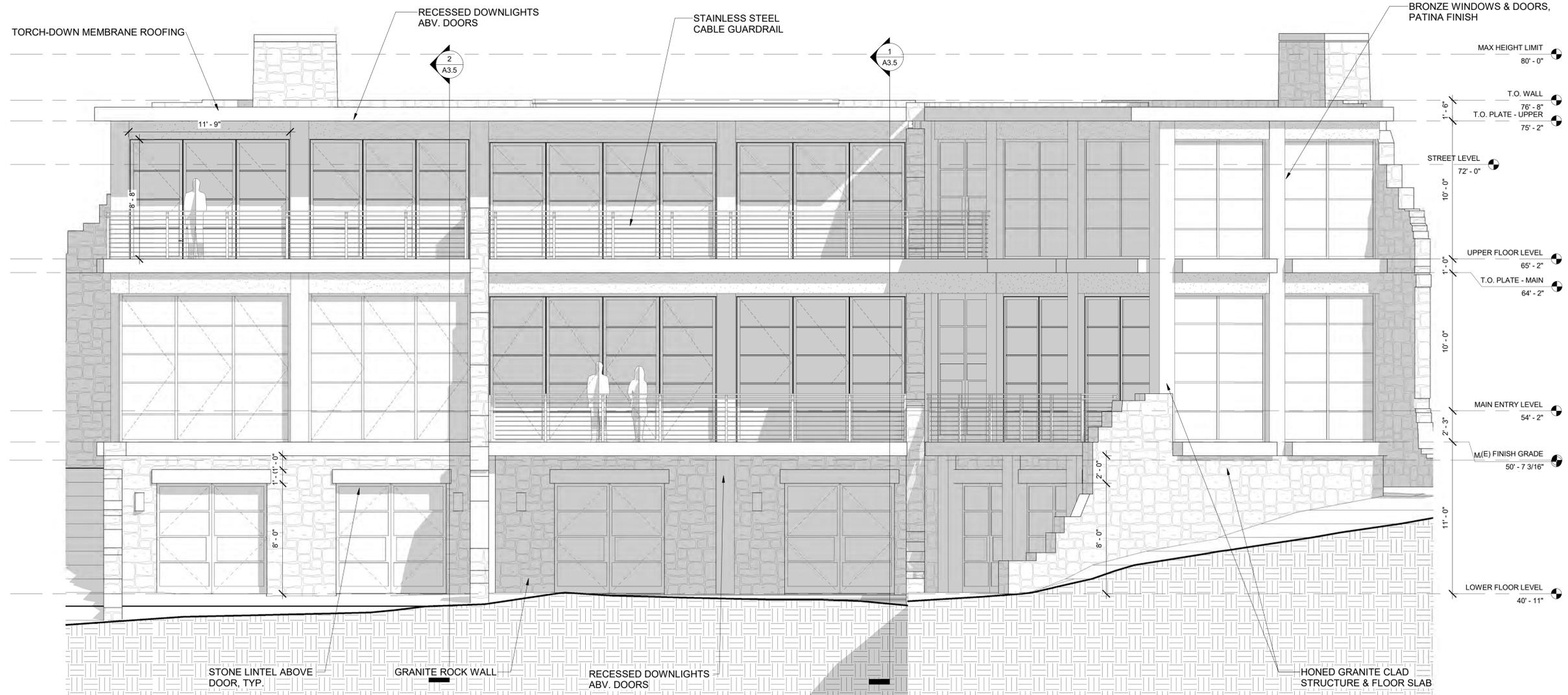
Scale: 1/4" = 1'-0"  
@ 24x36  
Drawn By: SBP  
Job: 1026

A3.2

7/5/2017

7/6/2017 10:16:30 AM

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② EAST ELEVATION  
1/4" = 1'-0"

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**ARCHITECTURAL  
EXTERIOR  
ELEVATIONS**

Scale: 1/4" = 1'-0"  
@ 24x36  
Drawn By: SBP  
Job: 1026

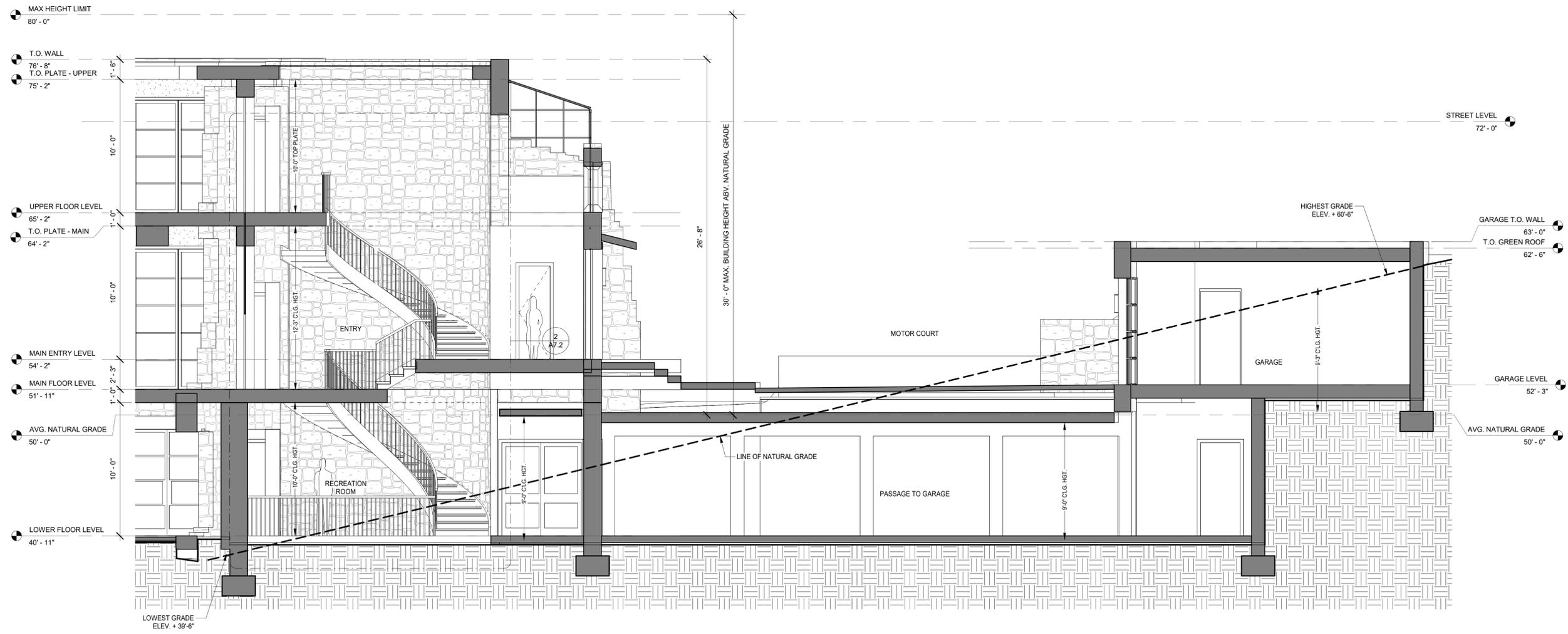
**A3.3**

7/5/2017

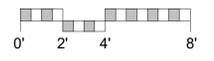
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NOT FOR CONSTRUCTION

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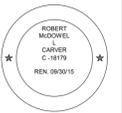
1 SECTION THROUGH ENTRANCE  
1/4" = 1'-0"



NOT FOR CONSTRUCTION

**LUNDQUIST RESIDENCE**

3224 17 MILE  
DRIVE PEBBLE  
BEACH,  
CALIFORNIA



**SCHEMATIC DESIGN**

P.O. BOX 2888  
C. 1878  
T. 931.922.7637 F. 931.824.0364  
WWW.STUDIOCARVER.COM

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ARCHITECTURE + PLANNING + INTERIOR DESIGN



△ REVISION #

**ARCHITECTURAL BUILDING SECTIONS**

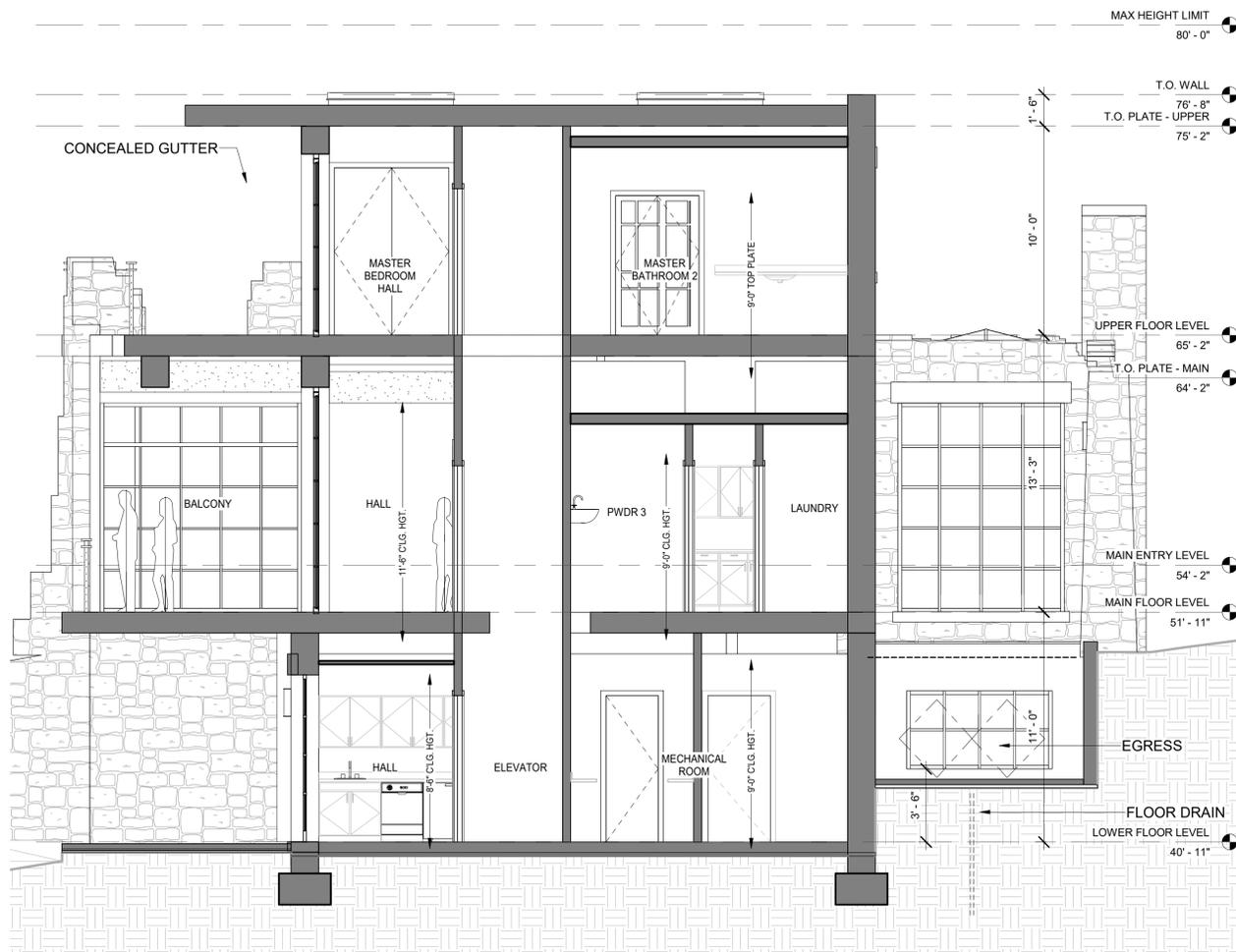
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@ 24x36  
Drawn By: SBP/DP  
Job: 1026

**A3.4**

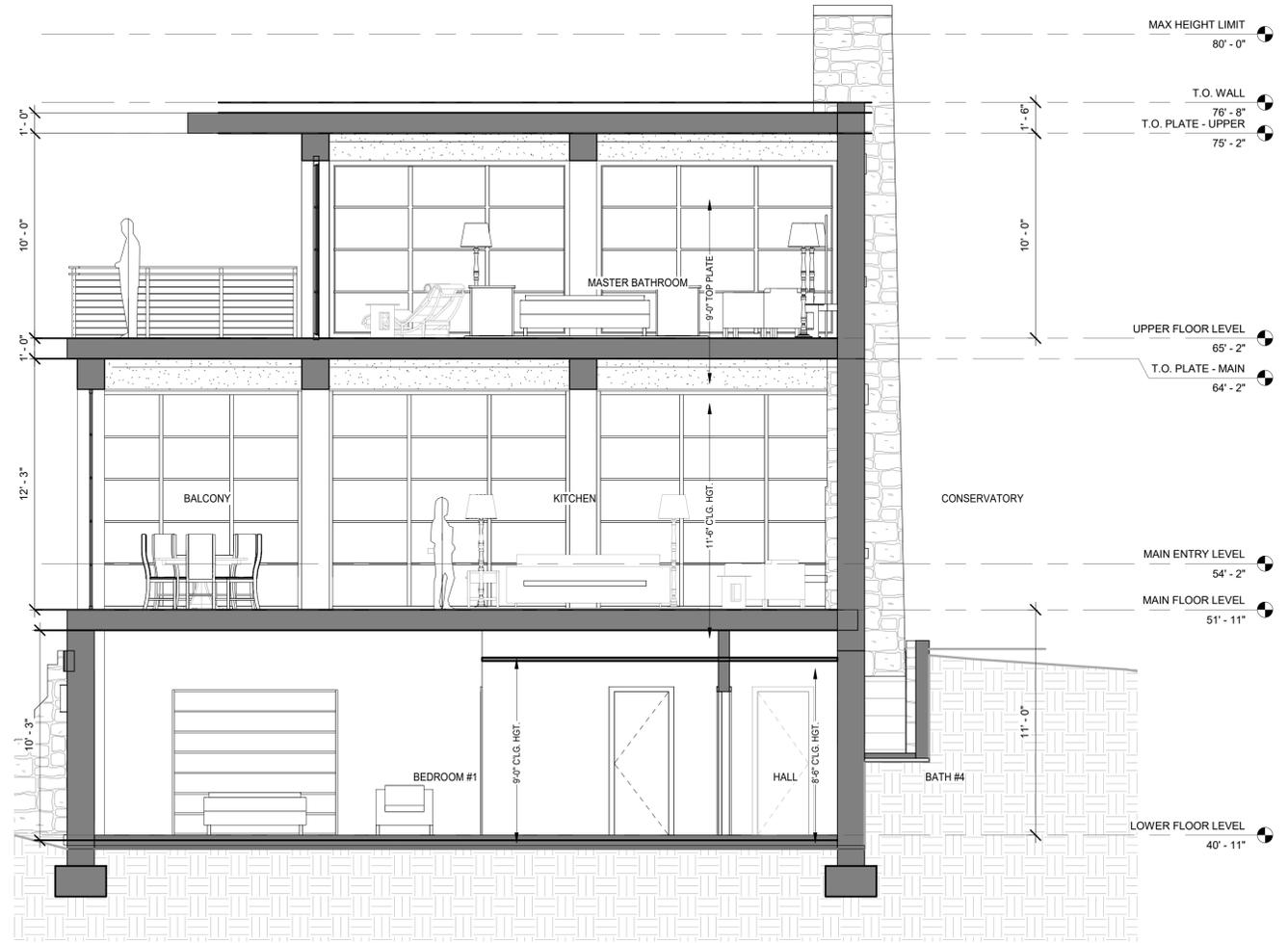
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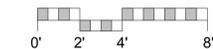
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1 CROSS SECTION  
1/4" = 1'-0"



2 SECTION THROUGH LIVING AREA  
1/4" = 1'-0"



NOT FOR CONSTRUCTION

**LUNDQUIST RESIDENCE**

3224 17 MILE  
DRIVE PEBBLE  
BEACH,  
CALIFORNIA



**SCHEMATIC DESIGN**

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REVISION #

**ARCHITECTURAL  
BUILDING  
SECTIONS**

Scale: 1/4" = 1'-0"  
@ 24x36  
Drawn By: SBP  
Job: 1026

**A3.5**

7/5/2017

7/6/2017 10:18:58 AM

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DOOR & WINDOW INSPIRATION

**SCHEMATIC DESIGN**  
11/14/2014 1:45:41 PM

Date: 02/13/2015  
Scale: @ 11" x 17"  
Drawn By: SBP  
Job: -  
**VIEW LOOKING WEST**  
**LUNDQUIST RESIDENCE**  
3224 SEVENTEEN MILE DRIVE, PEBBLE BEACH, CA



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PO BOX 2684  
CARMEL CA 93921 USA  
T 831.624.2304 F 831.624.0364  
WWW.STUDIOCARVER.COM

SHEET:  
**1**

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DOOR & WINDOW INSPIRATION

<b>SCHEMATIC DESIGN</b>	Date:	02/13/2015	VIEW LOOKING NORTHWEST
	Scale:	@ 11" x 17"	<b>LUNDQUIST RESIDENCE</b>
	Drawn By:	SBP	3224 SEVENTEEN MILE DRIVE, PEBBLE BEACH, CA
	Job:	-	

11/14/2014 1:45:41 PM



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SHEET:

2

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SCHEMATIC  
DESIGN

11/14/2014 1:45:41 PM

Date: 02/13/2015  
Scale: @ 1/8" = 1'-0"  
Drawn By: SBP  
Job: -

VIEW LOOKING SOUTH

**LUNDQUIST RESIDENCE**  
3224 SEVENTEEN MILE DRIVE, PEBBLE BEACH, CA



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SHEET:

6

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# Exhibit C

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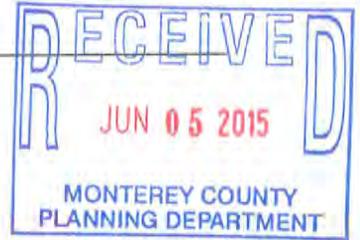
**MINUTES**  
**Del Monte Forest Land Use Advisory Committee**  
**Thursday, June 4, 2015**

1. Meeting called to order by Lori Lietzke at 3 pm

2. **Roll Call**

Members Present: Rod Dewar, Rick Verbanec, Kim Canner,  
Lori Lietzke, June Stock (5)

Members Absent: Sandy Getreu (1)



3. **Approval of Minutes:**

A. May 7, 2015 minutes

Motion: Rick Verbanec (LUAC Member's Name)

Second: Rod Dewar (LUAC Member's Name)

Ayes: ~~was~~ 5

Noes: 0

Absent: 1

Abstain: 0

B. May 21, 2015 minutes

Motion: Rick Verbanec (LUAC Member's Name)

Second: Rod Dewar (LUAC Member's Name)

Ayes: 5

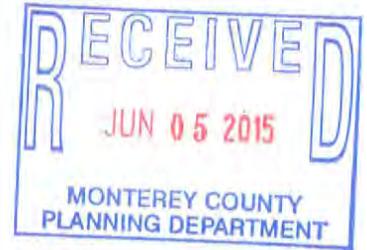
Noes: 0

Absent: 1

Abstain: 0

4. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

*None*



5. **Scheduled Item(s)**

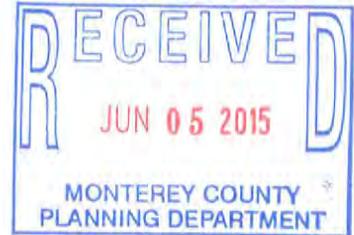
6. **Other Items:**

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

*None*

B) Announcements

Jollla Szabo has resigned from LUAC effective 6/4/15.



7. Meeting Adjourned: 4:05 pm

Minutes taken by: Kim Caner, secretary

# Action by Land Use Advisory Committee Project Referral Sheet

Monterey County RMA Plannin  
168 W Alisal St 2<sup>nd</sup> Floor  
Salinas CA 93901  
(831) 755-5025

Advisory Committee: **Del Monte Forest**

Please submit your recommendations for this application by: **June 4, 2015**

**Project Title:** LUNDQUIST RICHARD C & MELANIE F TRS

**File Number:** PLN150150

**File Type:** PC

**Planner:** SIDOR

**Location:** 3224 17 MILE DR PEBBLE BEACH

**Project Description:**

Amendment to a previously approved Combined Development Permit (PLN110114) consisting of: 1) a Coastal Administrative Permit and Design Approval to allow the construction of a detached 1,070 square foot four-car garage, driveway, replacement of an existing wood fence with a new stone wall and a new driveway entrance, restoration of existing paths and driveway to native Monterey Cypress habitat, and associated grading; 2) a Coastal Development Permit for the removal of one dead 7" Monterey Cypress tree; 3) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat; 4) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and 5) a Coastal Development Permit for development on slopes exceeding than 30 percent. This Amendment would revise the Coastal Administrative Permit and Design Approval to allow the demolition of the 2,083 square foot single family dwelling with 740 square feet of deck area and a 249 square foot attached carport, and construction of a 8,886 square foot single family dwelling with 1,296 square feet of balcony area and a 1,106 square foot detached garage. The property is located at 3224 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-472-006-000), Del Monte Forest Area Land Use Plan, Coastal Zone. Related to PLN110114.



Was the Owner/Applicant/Representative Present at Meeting? Yes  No

*Robert Carver A.I.A.; Samuel Pitnick (architect)*

Was a County Staff/Representative present at meeting? Liz Gonzales (Name)

PUBLIC COMMENT: *None*

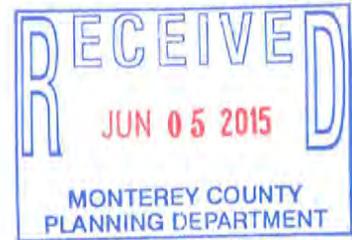
Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	

**LUAC AREAS OF CONCERN**

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)

**ADDITIONAL LUAC COMMENTS**

*None*



**RECOMMENDATION:**

Motion by *Rick Verbanec* (LUAC Member's Name)

Second by *Rod Dewar* (LUAC Member's Name)

Support Project as proposed

Support Project with changes

Continue the Item

Reason for Continuance: \_\_\_\_\_

Continued to what date: \_\_\_\_\_

AYES: *5*

NOES: *0*

ABSENT: *1 (Getreu)*

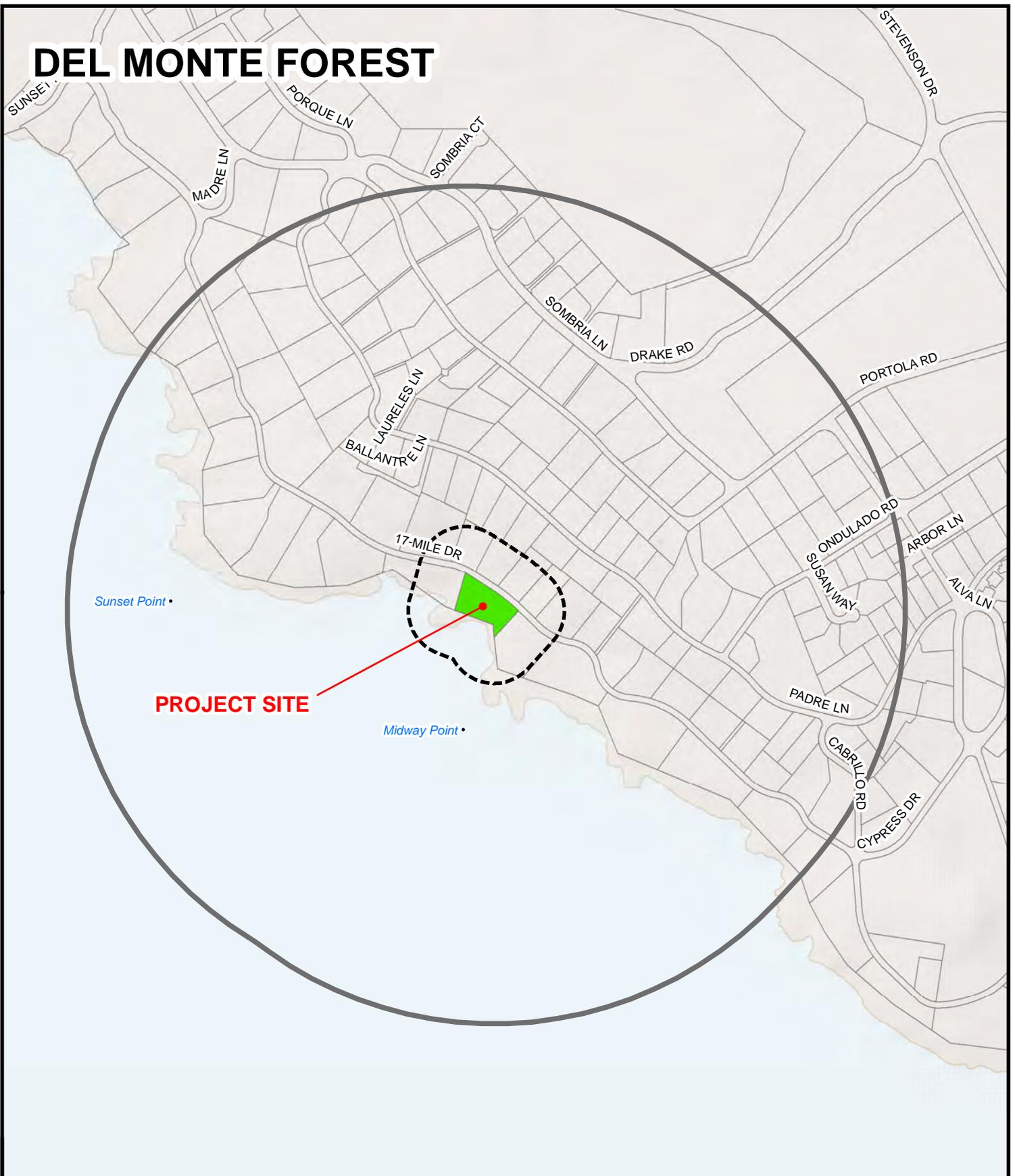
ABSTAIN: *0*

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# Exhibit D

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# DEL MONTE FOREST

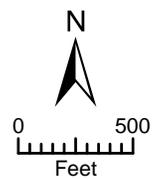


APPLICANT: LUNDQUIST

APN: 008-472-006-000

FILE # PLN150150

2500' Limit 300' Limit Water



PLANNER: SIDOR

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# Exhibit E

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## **EXHIBIT E**

### **Addendum Pursuant to the California Environmental Quality Act Article 11, Section 15164**

#### **Lundquist Planning File No. PLN150150 Amendment to a Combined Development Permit**

##### 1. Introduction

This technical Addendum has been prepared pursuant to Article 11, Section 15164 of the California Environmental Quality Act (CEQA) Guidelines because some changes or additions are necessary to make minor technical changes to the Mitigated Negative Declaration (SCH No. 2012061087) prepared for a previously-approved Combined Development Permit (RMA-Planning File No. PLN110114/Lundquist), adopted by the Monterey County Planning Commission on March 13, 2013 (Resolution No. 13-007). None of the conditions described in Section 15162 calling for preparation of a subsequent Environmental Impact Report (EIR) or Negative Declaration have occurred.

A Mitigated Negative Declaration (MND) was prepared for PLN110114 and circulated between June 27, 2012, and July 26, 2012. The project was a Combined Development Permit consisting of:

- 1) Coastal Administrative Permit and Design Approval to allow the construction of a detached 1,070 square foot four-car garage with planted roof (green roof), a new permeable cobblestone driveway, the replacement of an existing wood fence with a new stone wall with six 12.5-foot sections of antique bronze open-design fencing and antique bronze fencing with stone pillars at the new driveway entrance, restoration of existing paths and driveway to native Monterey cypress habitat, and grading of approximately 550 cubic yards of cut and 200 cubic yards of fill;
- 2) Coastal Development Permit to allow removal of one 7-inch Monterey cypress;
- 3) Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat;
- 4) Coastal Development Permit to allow development within 750 feet of known archaeological resources; and
- 5) Coastal Development Permit to allow development on slopes exceeding 30 percent.

The project was approved by the Planning Commission on March 13, 2013, and appealed by the California Coastal Commission (File No. A-3-MCO-13-019) on April 17, 2013. The appeal stated that the County's approval of the Combined Development Permit "...raises LCP issues with respect to protection of environmentally sensitive habitat areas (ESHA), visual resources, archaeological resources, forest resources, and marine resources..." The Applicant met with Coastal Commission staff to confirm that the project would increase both general Monterey cypress habitat and total critical root zone areas; resolve impacts to public

views from 17-Mile Drive; and further resolve ambiguities related to Del Monte Forest Land Use Plan Policy 20 (adopted in 2012). An amendment to Policy 20 has been processed under RMA-Planning File No. PLN150149. The amendment to Policy 20 was certified by the Coastal Commission on May 10, 2017, and adopted with modifications by the Monterey County Board of Supervisors on December 12, 2017. On February 7, 2018, the Coastal Commission concurred with the Commission's Executive Director determination of adequacy.

The Applicant proposes to amend PLN110114 to include demolition of the existing 2,083 square foot one-story single-family dwelling with 740 square feet of deck area and a 249-square foot attached carport, and construction of a 8,886 square foot two-story single-family dwelling with a subterranean basement and 1,296 square feet of balcony area and a 1,106 square foot detached garage. The approved fence/wall design has been revised to increase public forest, white water, and blue water views from 17-Mile Drive to the ocean. Additional excavation is required to accommodate the subterranean basement level. Construction of the proposed structures will require grading of approximately 1,360 cubic yards of cut and 30 cubic yards of fill. One dead Monterey cypress and the planted non-native Monterey cypress along the fence line are proposed for removal. The new residence will be constructed in the same general building and hardscape footprint as the existing single-family dwelling, with slight shifts to avoid Monterey cypress located near the building footprint.

## 2. Scope and Purpose of this Addendum

The purpose of this Addendum is to identify minor technical changes and provide clarification on the site-specific conditions for the proposed residential development. No substantial changes are proposed in the project which will require major revisions of the previously-considered MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.

The MND adopted for the previous project identified potential impacts to aesthetics, biological resources, cultural resources, geology/soils, greenhouse gas emissions, and land use/planning. The proposed project will have the same or fewer impacts than the previous project:

- No native trees will be removed; only one dead Monterey cypress and the planted non-native Monterey cypress along the fence line will be removed;
- The approved fence and wall design has been further modified to further increase public views from 17-Mile Drive;
- The proposed project will result in a net gain of 9,702 square feet of Monterey cypress habitat through the removal of hardscape, non-native cypress, and ice plant. This number also includes a net gain of 313 square feet of Monterey cypress critical root zone area that will be restored;
- The proposed project, with the adoption of Amended Policy 20, is consistent with the Del Monte Forest Land Use Plan; and
- The proposed project will require the modification of Mitigation Measure No. 8 to include the excavation of the area for the new house in addition to the new driveway, fence, and garage.

The previously recommended Mitigation Measure Nos. 1 (fence design), 2 (remove planted cypress), 3 (tree protection), 4 (protection of critical root zone during excavation), 5 (sensitive plant species), 6 (Monterey cypress restoration plan), 7 (biologist pre-construction survey), 8 (archaeological monitor during excavation), and 9 (fencing for archaeological site) continue to apply to the proposed project.

### 3. Conclusion

It has been determined that none of the conditions described in Section 15162 of the CEQA Guidelines calling for preparation of a subsequent Initial Study (IS) or EIR have occurred, that there are no new significant environmental effects or increase in the severity of previously identified significant effects per Section 15162(a)(2) of the CEQA Guidelines. The modification to Mitigation Measure No. 8 merely clarifies that a qualified archeological monitor be present during the excavation for the new house, in addition to the excavation for the new driveway, fence, and garage. This mitigation measure is not considerably different from those adopted with the previous MND and therefore, does not constitute new information of substantial importance that was not known at the time the previous MND/IS was adopted, pursuant to Section 15162 (a)(3) of the CEQA Guidelines.

Documents reviewed included the IS/MND prepared and adopted for PLN110114 and associated technical reports, plans, site visits, and applications submitted for PLN110114 and PLN150150. Based upon this review, it has been determined that the project will not have the potential to significantly degrade the quality of the environment, will have no significant impact on long-term environmental goals, will have no significant cumulative effect upon the environment, and will not cause substantial adverse effects on human beings, either directly or indirectly.

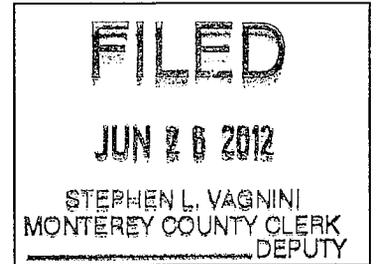
Attachment: Mitigated Negative Declaration for Combined Development Permit; RMA-Planning File No. PLN110114/Lundquist

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# Exhibit F

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County of Monterey  
 State of California  
**MITIGATED NEGATIVE DECLARATION**



<b>Project Title:</b>	Lundquist
<b>File Number:</b>	PLN110114
<b>Owner:</b>	LUNDQUIST RICHARD C & MELANIE F TRS
<b>Project Location:</b>	3224 17-Mile Drive, Pebble Beach
<b>Primary APN:</b>	008-472-006-000
<b>Project Planner:</b>	Delinda Robinson
<b>Permit Type:</b>	Combined Development Permit
<b>Project Description:</b>	Combined Development Permit consisting of a: 1) Coastal Administrative Permit to allow the construction of a detached 1,070 square foot four-car garage with planted roof (green roof), a new permeable cobblestone driveway, the replacement of an existing wood fence with a new stone wall with six 12.5 foot sections of antique bronze open-design fencing and antique bronze fencing with stone pillars at the new driveway entrance, restoration of existing paths and driveway to native Monterey cypress habitat, grading of approximately 550 cubic yards of cut and 200 cubic yards of fill and; 2) a Coastal Development Permit for the removal of one 7" Monterey cypress and; 3) a Coastal Development Permit for the development within 100 feet of Environmentally Sensitive Habitat Area and; 4) a Coastal Development Permit for development within 750 feet of a known archaeological resource and; 5) a Coastal Development Permit for development on slopes greater than 30%; and 6) Design Approval.

THIS PROPOSED PROJECT WILL NOT HAVE A SIGNIFICANT EFFECT ON THE ENVIRONMENT AS IT HAS BEEN FOUND:

- a) That said project will not have the potential to significantly degrade the quality of the environment.
- b) That said project will have no significant impact on long-term environmental goals.
- c) That said project will have no significant cumulative effect upon the environment.
- d) That said project will not cause substantial adverse effects on human beings, either directly or indirectly.

<b>Decision Making Body:</b>	Monterey County Board of Supervisors
<b>Responsible Agency:</b>	County of Monterey
<b>Review Period Begins:</b>	June 27, 2012
<b>Review Period Ends:</b>	July 26, 2012

Further information, including a copy of the application and Initial Study are available at the Monterey County Planning & Building Inspection Department, 168 West Alisal St, 2<sup>nd</sup> Floor, Salinas, CA 93901 (831) 755-5025

# MONTEREY COUNTY

## RESOURCE MANAGEMENT AGENCY

---

PLANNING DEPARTMENT

168 WEST ALISAL ST., 2<sup>nd</sup> FLOOR, SALINAS, CA 93901

PHONE: (831) 755-5025 FAX: (831) 757-9516



## *INITIAL STUDY*

### *I. BACKGROUND INFORMATION*

**Project Title:** Richard C & Melanie Lundquist

---

**File No.:** PLN110114

---

**Project Location:** 3224 17-Mile Drive, Pebble Beach, Ca.

---

**Name of Property Owner:** Richard C & Melanie Lundquist

---

**Name of Applicant:** Robert Carver & Jay Auburn

---

**Assessor's Parcel Number(s):** 008-472-006-000

---

**Acreage of Property:** 1.681 acres

---

**General Plan Designation:** Residential 1U/2AC - Resource Constraint Area

---

**Zoning District:** LDR/2-D(CZ)

---

**Lead Agency:** RMA – Monterey County Planning Department

---

**Prepared By:** Valerie Negrete and Delinda Robinson

---

**Date Prepared:** June 25, 2012

---

**Contact Person:** Delinda Robinson

---

**Phone Number:** (831) 755-5198

---

## ***II. DESCRIPTION OF PROJECT AND ENVIRONMENTAL SETTING***

### **A. Description of Project:**

The project consists of the construction of a detached, 1,070 square foot four-car, below-grade garage with a planted roof (green roof), the removal of an existing 3,110 square foot asphalt driveway and the construction of a new 3,874 square foot permeable cobblestone driveway in a new location, approximately 90 linear feet of retaining walls, the replacement of the existing 4.5 to 6 foot tall wood “grapestake” fence along the entire property frontage with a new solid stone wall with 6 fenced openings and an antique bronze gate. The proposed height of the new wall/fence is 4 to 6 feet from finished grade and 4 to 8 feet from the existing grade. **(See Section VI.1 for more discussion).** Construction will require grading of approximately 770 cubic yards of grading (550 cut/200 fill), and the transplanting of one (1) 7” Monterey cypress tree as well as the removal of two (2) dead Monterey pine trees of 13.8” and 8” respectively. The existing driveway area and 1,412 square feet of existing gravel paths will be restored to native cypress habitat for a net increase of approximately 648 square feet of habitat. The applicant proposes to use granite veneer for the site walls and front of the garage, wooden garage doors and antique bronze metal fencing. The garage will be built into the slope adjacent to and facing away from 17-Mile Drive and the roof will be covered with plantings.

The subject property is located within the Coastal Zone and the project will require six (6) entitlements. The project is a Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow the construction the garage, realignment of the driveway and associated site improvements; 2) a Coastal Development Permit for the relocation and transplanting of one 7" Monterey cypress; 3) a Coastal Development Permit for development within 100 feet of Environmentally Sensitive Habitat Area (ESHA); 4) a Coastal Development Permit for development within 750 feet of a known archaeological resource; 5) a Coastal Development Permit for development on slopes greater than 30%; and 6) Design Approval. The property is located at 3224 17-Mile Drive, Pebble Beach (Assessor's Parcel Number 008-472-006-000), Del Monte Forest area, Coastal Zone.

#### Tree Removal and Relocation

The Del Monte Forest Land Use Plan requires a Coastal Development Permit for the removal of trees and other major vegetation (Section 20.147.050.A.1). A Coastal Development Permit is not required when a tree is diseased and would cause a threat to spread disease to nearby forest areas. In this case, the construction of the new garage will impact three trees. One of the three trees is a young Monterey cypress of 7” in diameter and therefore requires a Coastal Development Permit; the other two Monterey Pine trees are dead and do not require a Coastal Development Permit for their removal. The applicant proposes to relocate the young Monterey cypress to a location approved by the project arborist. Policy 21 of the Del Monte Forest Land Use Plan prohibits development within the dripline of Monterey cypress habitat. However the applicant will be incorporating the use of bridging the roots of the trees along the proposed driveway and adjacent to the new stone wall to protect any Monterey cypress tree from adverse effects due to construction **(See Section VI.4 for further discussion).**

#### Wall Replacement

The site is located between 17-Mile Drive and the sea and is within the viewshed of a scenic corridor identified on the Del Monte Forest Land Use Plan (LUP) Visual Resources Map. The site is predominantly Monterey cypress habitat and is listed as a Visual Resource for its views to and along the ocean. Several polices within the LUP require siting and design of structures to harmonize with the natural setting and LUP Policy No. 59 specifically requires that “New development, including ancillary structures such as fences constructed between 17-Mile Drive and the sea . . . be designed and sited to minimize obstruction of views from the road to the sea.” Currently, the site contains a wood fence that is approximately 4.5 to 6 feet high along the 17-Mile Drive frontage. The applicant proposes to replace the fence with a solid wall with six 12.5-foot sections of antique bronze fencing of an open design that is proposed to be 4 to 6 feet tall as measured from the finished grade. The gated driveway entrance, which is approximately 40 feet wide, will also be antique bronze fencing of an open design with stone pillars. The construction of the proposed wall will require excavation for the footings and the applicant proposes to raise the finished grade up to 2 feet from the existing grade at the 2 lowest points, resulting in a solid wall with openings that is taller than the existing partially see-through fence along some sections of the frontage. The new wall is designed so that the sections step in height along with the road and finished topography and the top of each section is level.

#### Development within 100 feet of Environmentally Sensitive Habitat (ESHA)

The site is located within the environmentally sensitive indigenous Monterey cypress habitat. LUP Policy No. 14 requires that development near environmentally sensitive habitat areas (ESHA) be restricted to the minimum amount necessary to accommodate development. The driveway design is needed for a safer entrance to the single-family dwelling. **(Source IX. 1 & 6)** The proposed driveway re-alignment will impact 3,874 square feet of Monterey cypress habitat; however the project will involve the restoration of 3,110 square feet of existing driveway and 1,412 square feet of gravel walkways, for a total restoration of 4,522 square feet and resulting in a 648 square foot net gain of habitat on the site. **(See Section VI.4 for further discussion)**. In addition, the applicant will be required to place the remaining ESHA on the property in Conservation and Scenic Easement to the Del Monte Forest Foundation in accordance with Policy 52, preserving an area around the existing home for reasonable use. In accordance with Monterey County Code Section 20.14.030.E, development within 100 feet of environmentally sensitive habitat requires a Coastal Development Permit.

#### Development on Slopes over 30%

The project will require the excavation of an area of approximately 160 square feet on a slope greater than 30 percent in order to re-align the driveway as well as a small area for the construction of the garage. Monterey County Code Title 20 Section 20.64.230 provides for an exception on the development on a 30% slope, if the slope is man-made and less than 100 square feet. The subject slope is man-made however it is over 100 square feet and therefore would require a Coastal Development Permit. In order to approve development on slopes of 30% or more, staff must make one of two findings: 1) that there is no feasible alternative which would allow development to occur on slopes of less than 30%; or 2) that the proposed development better achieves the goals, policies and objectives of the Monterey County Local Coastal Program than other development alternatives. The site is constrained by the multiple setbacks and the encroachment onto 30% slopes is not considered significant given the sloping topography of the site **(See Section VI.10 for further discussion)**. Further, the project is designed to include

restoration of impacted slopes, which will result in 648 square feet of additional ESHA habitat **(See Section VI.4 for further discussion).**

#### Cultural Resources

Monterey County Geographic Information Systems (GIS) lists the site as having a high potential to contain archeological resources. An archeological report was conducted by Susan Morley in April 2011 for the project and found the site is a positive site with the possibility of human remains. Monterey County Zoning Ordinance Title 20 Section 20.14.030.F requires a Coastal Development Permit for sites with positive archaeological reports. According to the California Environmental Quality Act (CEQA) Section 15064.5, a positive site cannot be categorically exempt and requires an Initial Study **(See Section VI.5 for further discussion).**

#### Garage Setback

The proposed garage will be set back 9'-2" from 17-Mile Drive. The site is a rectangular shaped lot that runs parallel to 17-Mile Drive. There is a 100-foot setback requirement from the mean high tide (LUP Policy No. 27) and a 100-foot setback requirement from 17-Mile Drive. The lot has a very small building area (east to west), which does not take into account Cypress habitat, ESHA, potential cultural resources and slope constraints. Monterey County Code Section 20.62.040.C. allows for a garage or parking space to be located within 5 feet of the front property line where the elevation of the front half of the lot at a point 50 feet from the centerline of the traveled roadway is 7 feet above or below the grade of said centerline. In this case, the elevation change is 10 feet, so no Variance is required. The Del Monte Forest Land Use Plan Policy 57 states that structures in scenic areas shall utilize native vegetation and topography to provide screening from the viewing area and the least visible portion of the property should be considered the most desirable building site location, subject to consistency with other siting criteria. The below-grade garage will be built into the slope adjacent to and below 17-Mile Drive and will not be visible from the road.

#### **B. Surrounding Land Uses and Environmental Setting:**

The project site is a 1.681-acre parcel located at 3224 17-Mile Drive within the Pebble Beach Planning Area of the Del Monte Forest, Monterey County, California. Surrounding land uses include residential development to the north, northeast and east, an open space/resource conservation parcel to the northwest and the Pacific Ocean to the south. The property slopes downward from 17-Mile Drive to the coastal bluff, with slopes ranging from 15 to 50 percent. The soils are sandy loam and the underlying rock is mostly granite. Native stands of Monterey cypress (*Cupressus macrocarpa*) trees are found throughout the property, an extension of Cypress Point Grove **(See Section VI.4 for more detail)**. Several Monterey pines are scattered throughout the property and the dominant native understory species on the site are seaside daisy, Douglas iris, and beach aster. Non-native species which have colonized the site include ice plant, dusty miller, crassula and rattlesnake grass.

The property is served by the Pebble Beach Community Services District for sewer services. Water service to the existing residence is provided by the California-American (Cal-Am) Water Company. (Source: IX. 1, 14).

According to the Del Monte Forest Archeological Resource map, the project site is located within an area of high archaeological sensitivity. Per the archaeological survey prepared for the

project, the site is located within 750 feet of a known archaeological resource. See Section VI.5 below for a detailed discussion and proposed mitigation measures.

Visually, the project parcel borders 17-Mile Drive, a designated scenic roadway, and the existing structure is visible from 17-Mile Drive. Monterey cypress forest on the site and the ocean beyond are currently partially visible through and over the existing wood fence. The property is also visible from Point Lobos State Reserve, as identified on the LUP Visual Resources Map (LUP Figure 2C). The proposed project would not significantly intensify the visual impacts from Point Lobos over the existing residential use of the site because of screening by existing trees and the residence. The proposed garage will be built into the slope below and facing away from 17-Mile Drive. With the green roof and new fencing, the garage will not be visible from 17-Mile Drive. The proposed solid rock wall with strategically placed wrought iron openings will allow for some views through toward the ocean. See **Section VI.1 (Aesthetics)** below for a detailed discussion.

The parcel is also located within the mapped indigenous Monterey cypress habitat area and Monterey cypress habitat is present on the property. The relocation of one small Monterey cypress and the removal of two dead Monterey pine trees is required for the project, and tree protection measures will be required. The applicant proposes to restore the existing driveway and gravel pathways to native Monterey cypress habitat. See **Section VI.4 (Biological Resources)** below for a detailed discussion.

**C. Other public agencies whose approval is required:** Construction permits will be required by the Monterey County RMA-Building Services Department.



Lundquist Property

Figure 1: Aerial Site Plan of Lundquist property

**III. PROJECT CONSISTENCY WITH OTHER APPLICABLE LOCAL AND STATE PLANS AND MANDATED LAWS**

Use the list below to indicate plans applicable to the project and verify their consistency or non-consistency with project implementation.

General Plan/Area Plan	<input checked="" type="checkbox"/>	Air Quality Mgmt. Plan	<input checked="" type="checkbox"/>
Specific Plan	<input type="checkbox"/>	Airport Land Use Plans	<input type="checkbox"/>
Water Quality Control Plan	<input type="checkbox"/>	Local Coastal Program-LUP	<input checked="" type="checkbox"/>

**IV. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED AND DETERMINATION**

**General Plan / Local Coastal Program-LUP**

The proposed project was reviewed for consistency with 1982 General Plan, the Del Monte Forest Land Use Plan (LUP), the Monterey County Coastal Implementation Plan Part 5 and the Monterey County Zoning Ordinance (Title 20). The fence replacement, new garage and driveway re-configuration are accessory to the existing residential use of the site. The property is located within a Low Density Residential district, which allows for the proposed use subject to the entitlements listed in Section I above. Potential impacts were identified during staff review and are further discussed in Section VI. **CONSISTENT.**

**Air Quality Management Plan**

Consistency with the Air Quality Management Plan is an indication of a project’s cumulative adverse impact on regional air quality (ozone levels). It is not an indication of project-specific impacts, which are evaluated according to the Air District’s adopted thresholds of significance. Inconsistency with the AQMP is considered a significant cumulative air quality impact. Consistency of a project is determined by comparing the project population at the year of project completion with the population forecast for the appropriate five-year increment that is listed in the AQMP. If the population increase resulting from the project would not cause the estimated cumulative population to exceed the relevant forecast, the project would be consistent with the population forecasts in the AQMP (Source: IX. 1, 5). The project is located on a developed residential lot and will not result in an increase in population.

The Association of Monterey Bay Area Governments (AMBAG), the *2008 Population, Housing Unit, and Employment Forecasts* adopted by the AMBAG Board of Directors, are the forecasts used for this consistency determination. The construction of a detached 1,070 square foot four-car garage with planted roof (green roof), a new permeable cobblestone driveway, the replacement of an existing wood fence with a new stone wall, grading of approximately 550 cubic yards of cut and 200 cubic yards of fill and replanting of one 7" Monterey cypress will not contribute to an increase in the population forecasts of the 2008 AQMP and would not result in

substantial population changes. Therefore, the project is consistent with the 2008 regional forecasts and the Air Quality Management Plan (Source: IX. 5). **CONSISTENT**

**Water Quality Control Plan.** Monterey County is included in the Central Coast Regional Water Quality Control Board – Region 3 (CCRWCB). The CCRWCB regulates the sources of water quality related problems that could result in actual or potential impairment or degradation of beneficial uses or degradation of water quality. The proposed project will not significantly increase on-site impervious surfaces and does not include land uses that introduce new sources of pollution. Therefore, the project will not contribute runoff that will exceed the capacity of stormwater drainage systems or provide substantial additional sources of polluted runoff. The proposed project will not result in water quality impacts or be inconsistent with the objectives of this plan. **CONSISTENT**

### A. FACTORS

The environmental factors checked below would be potentially affected by this project, as discussed within the checklist on the following pages.

- |  |   |  |
|--|---|--|
| <input checked="" type="checkbox"/> Aesthetics               | <input type="checkbox"/> Agriculture and Forest Resources | <input type="checkbox"/> Air Quality                                   |
| <input checked="" type="checkbox"/> Biological Resources     | <input checked="" type="checkbox"/> Cultural Resources    | <input checked="" type="checkbox"/> Geology/Soils                      |
| <input checked="" type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards/Hazardous Materials      | <input type="checkbox"/> Hydrology/Water Quality                       |
| <input checked="" type="checkbox"/> Land Use/Planning        | <input type="checkbox"/> Mineral Resources                | <input type="checkbox"/> Noise   |
| <input type="checkbox"/> Population/Housing                  | <input type="checkbox"/> Public Services                  | <input type="checkbox"/> Recreation                                    |
| <input type="checkbox"/> Transportation/Traffic              | <input type="checkbox"/> Utilities/Service Systems        | <input checked="" type="checkbox"/> Mandatory Findings of Significance |

Check here if this finding is not applicable

**FINDING:** For the above referenced topics that are not checked off, there is no potential for significant environmental impact to occur from either construction, operation or maintenance of the proposed project and no further discussion in the Environmental Checklist is necessary.

### EVIDENCE:

- 2. Agricultural and Forest Resources:** The subject property is located within an established residential neighborhood and is zoned for residential use. There are no agricultural uses on or within the vicinity of the property and the property is not under a Williamson Act Contract. Furthermore, according to the California Department of Conservation Farmland Mapping and Monitoring Program, the site has not been mapped as Prime Farmland, Unique

Farmland, or Farmland of Statewide Importance and falls within the classification of Urban Built-Up Land. Therefore, the project will have no impact on agricultural resources. The project site is zoned for residential use and harvesting of timber is not allowed in this zoning district. The trees on the site are primarily Monterey cypress, a protected species which could not be harvested as timber per the land use plan policies. The project proposes to increase the Monterey cypress habitat on the site through restoration of more habitat area than is being removed. Thus, the project will have no impact on forest resources. (Source: 1, 2, 3, 4, 6, 12).

- Air Quality:** The project area is located within the North Central Coast Air Basin and is subject to the jurisdictional regulations of the Monterey Bay Unified Air Pollution Control District (MBUAPCD) and, to a lesser extent, the California Air Resources Board. The proposed project involves the realignment of a driveway and the construction of a new fence and garage on a lot that is developed with a single family residence in a residential area. The nearest structure to the project site is a residence approximately 90 feet to the southeast. The nearest structure to the northeast is more than 150 feet from the project site. It is anticipated that particulate matter (PM<sub>10</sub>) would be the primary air pollutant resulting from project construction activities. The project would only result in a significant air quality impact if direct emissions of more than 82 pounds/day (lbs/day) of PM<sub>10</sub> were to occur. Construction activities would involve relatively small crews for a small residential project, and would involve limited construction equipment; therefore, the project is not anticipated to emit more than 82 lbs/day of PM<sub>10</sub>. The project will also not disturb more than 8.1 acres per day, the threshold established by the MBUAPCD above which the project could have a significant impact for PM<sub>10</sub>. Disturbed areas would be watered or treated with an appropriate dust palliative; therefore, fugitive dust emissions would be limited and impacts from PM<sub>10</sub> resulting from fugitive dust emissions are not anticipated. After completion of construction activities, the project will not create any air emissions beyond those associated with normal residential uses. The nearest school to the project site is the Robert Louis Stevenson School, which is located approximately 1.2 miles northeast of the project. Because of the significant distance between the school and the project site, it is not anticipated that the project would impact this sensitive receptor. The two nearest residences could be impacted by PM<sub>10</sub> (dust) impacts during construction activities. However, the dust effects would be localized and limited because there would be a small amount of daily ground disturbance and construction activities associated with the project. Operation of construction vehicles could generate airborne odors (e.g., diesel exhaust); however, such emissions would be localized to the immediate area under construction and would be short in duration. Therefore, the project would not conflict with or obstruct the implementation of the applicable Air Quality Management Plan (identified above in Section III), would not violate any air quality standard or result in a cumulatively considerable net increase of any criteria pollutant for which the region is in non-attainment, would not expose sensitive receptors to substantial pollutant concentrations, nor create objectionable odors affecting a substantial number of people (Source: IX. 1, 5, 6, 14). The proposed project will not increase the population of the area nor generate additional vehicle trips. Construction related air quality impacts would be temporary in nature and controlled by standard Conditions of Approval that require watering, erosion control and dust control measures. There would be no impacts to Air Quality.

8. **Hazards/Hazardous Materials:** The project includes a new fence, a new underground garage, and the re-alignment of the driveway for an existing single family dwelling on 17-Mile Drive. The project site is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5. As a residence, the project does not involve the transport, use, or disposal of hazardous materials other than those found within a typical residence. The project does not involve the demolition of structures where there is the potential for the release of asbestos. The nearest school is Robert Louis Stevenson School which is 1.2 miles from the project site. Construction activities will not release hazardous materials, substances, or waste within one-quarter of an existing school. The project is not located within airport land use plan or within two miles of a public airport, public use airport or private airstrip; therefore the project will not result in a safety hazard for people residing or working in the project area. The development of the new driveway will not physically interfere with an adopted emergency response plan or emergency evacuation plan. The project site is within a high fire hazard area and within a State Responsibility Area; however, the project, as proposed, does not increase the hazards associated with development in a high fire hazard area. The project has been conditioned by the Pebble Beach Community Services District with standard conditions of approval, including a condition to manage combustible vegetation within a minimum of 100 feet of structures (or to the property line). Therefore, there will be no impact on hazards or hazardous materials. (Source IX 1, 2, 14).
9. **Hydrology/Water Quality:** The garage addition, driveway re-alignment and fence replacement will not violate any waste discharge requirements, deplete groundwater supplies or alter an existing drainage pattern. The existing residential use on the property is connected to a public water system and a public sewer system and the addition of a new garage is not expected to result in an increase in potable water use or wastewater generation. The proposed garage will include a planted roof, the new driveway will be built with permeable pavers and no additional grading is proposed. Existing gravel paths and parking areas will be restored to native Monterey cypress habitat. No new impervious surfaces are proposed. Drainage from the site currently flows to the adjacent beach and no changes to the drainage system are proposed. Standard erosion control measures will be placed on the project to reduce any potential run-off associated with the proposed project. There are no streams or rivers located on the project site. Based upon the FEMA Flood Insurance Rate Map the property is not located in a Special Flood Hazard Area. It is located in Zone X (unshaded), as shown on FEMA Flood Insurance Rate Map Panel 06053C-0305G, effective date April 2, 2009. There are no levees, dams, or other water detention facilities upstream of the project site capable of causing flooding on the site. The project site is located on the coast but the proposed project area is not within a tsunami inundation area according to the California Department of Conservation Tsunami Inundation Map for Emergency Planning, Monterey Quadrangle. There are no bodies of water in the vicinity of the project large enough to produce a seiche. Therefore, there will be no impact to hydrology or water quality. (Source IX. 1, 2, 14)
11. **Mineral Resources:** Based on review of maps in the Monterey County 1982 General Plan, the Del Monte Forest Land Use Plan, SMARA Designation Report No. 7 and the California Department of Conservation Division of Mines and Geology Mineral Land Classification

maps for Monterey County, the subject property is not located in an area where mineral resources are known to exist nor have any mineral resources been identified on the site. Therefore, the project will not result in the loss of availability of a known mineral resource that is of value to the region and the residents of the state nor will it result in the loss of availability of a locally-important mineral resource recovery site as delineated in the Monterey County General Plan or the Del Monte Forest Land Use Plan. Therefore, the project will have no impact to mineral resources (Source: 1, 2, 3, 14).

12. **Noise:** The closest sensitive receptors (residences) are located on 17-Mile Drive approximately 90 feet to the southeast and approximately 150 to the northeast, as measured from the nearest property line. Noise generated from the property will not be more than what is associated with a typical residential use; therefore, there will be no substantial increase in ambient noise above existing levels. Construction activities may generate noise and vibrations; therefore, there could be a periodic increase in ambient noise levels in the project vicinity during construction. However, noise levels are not expected to expose people to or generate of noise levels in excess of standards established in the 1982 General Plan or Monterey County Code Chapter 10.60. Some groundborne vibrations and groundborne noise levels may be associated with the grading activities proposed. With the nearest offsite residence more than 90 feet away, exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels is not expected. The project is not located within airport land use plan or within two miles of a public airport, public use airport or private airstrip; therefore the project will not result in excessive noise levels for people residing or working in the project area. Therefore, there will be no impact to noise. (Source IX 1, 2, 6, 14, 15)
13. **Population/Housing:** The proposed project consists of the construction of a new garage and fence and the realignment of the driveway on an existing residential parcel that is developed with a single family residence. The project would not induce substantial population in the area, either directly through the construction of the structures within a residential area or indirectly, as no new infrastructure would be extended to the site. The project is associated with the existing use of a developed lot. There are no plans for additional housing or for demolition of any housing. The project would not alter the location, distribution, or density of human population in the area in any significant way, or create a demand for additional housing. Therefore, the project will have no impact on population or housing. (Source: IX. 1, 2, 3, 5)
14. **Public Services:** The proposed project involves the replacement of a driveway and the construction of a new garage and fence on an existing residential lot which would continue to be served by existing services and utilities. Water service is provided by California American Water and wastewater service is provided by the Pebble Beach Community Services District (PBCSD) and the Carmel Area Wastewater District. Emergency response is provided by PBCSD (fire) and the Monterey County Sheriff's Department. The project would have no measurable effect on existing public services in that the project will not result in an intensification of the residential use on the property nor will it require expansion of any services to serve the project. County Departments and service providers reviewed the project

application and did not identify any impacts (Source: IX. 1, 14). Therefore, there will be no impacts on public services.

15. **Recreation:** The project would result in the realignment of a driveway and the construction of a garage and new fence. Due to the small scale of the project, it would not result in an increase in use of existing recreational facilities causing substantial physical deterioration. Parks, trail easements, or other recreational opportunities would not be adversely impacted by the proposed project. The project would not create significant recreational demands, and would not result in impacts to Recreation. The project does not include recreational facilities, nor does it require the construction or expansion of recreational facilities, nor does it require the construction or expansion of recreational facilities that might have an adverse effect on the environment. Therefore, there will be no impact on recreation. (Source: IX. 1, 2, 3, 6, 14)
  
16. **Transportation/Traffic:** The project is located off of 17-Mile Drive and is accessed from an existing asphalt driveway. The project includes a new fence, a new underground garage, and the re-alignment of the driveway for an existing single family dwelling to provide a safer entrance to the site for the residence and fire department personnel. The proposed project is consistent with the Del Monte Forest Land Use Plan circulation policies and the 2010 Regional Transportation Plan for Monterey County because the project includes the realignment of a driveway; no intensification of use or access is proposed. The project is not located within airport land use plan or within two miles of a public airport or public use airport; therefore the project will not result in a change of air traffic patterns. The new driveway alignment decreases the hazards found with the existing driveway by improving sight distance to and from the project site. Therefore, the new driveway alignment will provide better emergency access to the project site. The driveway re-alignment is replacing an existing driveway; therefore, the project will not conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities. Therefore, there will be no impact to transportation or traffic. (Source IX 1, 3, 6, 14)
  
17. **Utilities/Service Systems:** The proposed project involves the construction of a non-habitable accessory structure (garage) and the realignment of a driveway on an existing, developed, residential lot that will not cause a change in water use or wastewater flow from the property. No new water fixtures are proposed (Source IX. 1). The project will not exceed wastewater treatment capacity nor create sufficient demand to warrant construction of new wastewater treatment facilities. The Carmel Area Wastewater District (CAWD) treatment facility has a capacity of three million gallons per day, and currently operates at approximately 67% of capacity. Moreover, the Pebble Beach Community Services District (PBCSD) retains rights to one-third of the CAWD treatment facility capacity (or one million gallons per day), and currently uses approximately 50% of that capacity. Similarly, the amount of solid waste generated by the proposed project would not impact the area's solid waste facilities. Utilities such as electricity and phone service are already in place and the construction of a non-habitable accessory structure would not create a sufficient demand to warrant the expansion of the current infrastructure (Source: IX. 1). Therefore, there will be no impact on utilities or service systems.

such as electricity and phone service are already in place and the construction of a non-habitable accessory structure would not create a sufficient demand to warrant the expansion of the current infrastructure (Source: IX. 1). Therefore, there will be no impact on utilities or service systems.

**B. DETERMINATION**

On the basis of this initial evaluation:

- I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that although the proposed project could have a significant effect on the environment there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project MAY have a “potentially significant impact” or “potentially significant unless mitigated” impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Delinda J. Robinson  
Signature

June 25, 2012  
Date

Delinda Robinson, Senior Planner

June 25, 2012

**V. EVALUATION OF ENVIRONMENTAL IMPACTS**

- 1) A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced

- 2) All answers must take into account the whole action involved, including offsite as well as onsite, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
- 4) "Negative Declaration: Less Than Significant With Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level mitigation measures from Section XVII, "Earlier Analyses," may be cross-referenced).
- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
  - a) Earlier Analysis Used. Identify and state where they are available for review.
  - b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
  - c) Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) The explanation of each issue should identify:
  - a) The significance criteria or threshold, if any, used to evaluate each question; and
  - b) The mitigation measure identified, if any, to reduce the impact to less than significance.

## VI. ENVIRONMENTAL CHECKLIST

1. AESTHETICS		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>					
a)	Have a substantial adverse effect on a scenic vista? (Source: 1, 3, 6, 14)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b)	Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? (Source: 1, 2, 3, 6, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c)	Substantially degrade the existing visual character or quality of the site and its surroundings? (Source: 1, 2, 3, 6)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d)	Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area? (Source: 1, 2, 3, 6, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

### Discussion/Conclusion/Mitigation:

#### Aesthetics 1 (a): Less than Significant with Mitigation

The site is located between 17-Mile Drive and a coastal bluff (Pacific Ocean) within the Del Monte Forest Land Use Plan area. The site contains an existing single-family dwelling and driveway approximately 160 feet long that is accessed directly off of 17-Mile Drive. The proposed project includes the construction of a detached 1,070 square foot four-car garage with planted roof (green roof), a new permeable cobblestone driveway, the replacement of an existing wood fence with a new stone (tan, taupe & grey) wall with antique bronze open design inserts, grading of approximately 550 cubic yards of cut and 200 cubic yards of fill and the removal of one 7" Monterey cypress.

The project site is identified on the LUP Visual Resources Map (Map 2C) as part of the view area from 17-Mile Drive. The site of the Lone Cypress which is a designated scenic vista, is located immediately east of the site. Views from 17-Mile Drive are considered to be valuable scenic and visual resources that are protected within the Del Monte Forest Plan. LUP Policy No. 122 (Public Access) states that existing visual access from 17-Mile Drive and from major turnouts along the Drive shall be permanently protected as an important component of shoreline access and public recreational use. The policy guidance statement for Scenic and Visual Resources in the LUP recognizes the value of the areas magnificent scenic and visual resources and states that the objective of the plan is to "encourage improvements which complement the natural scenic assets and enhance the public enjoyment of them". LUP Policy 59 specifically requires that "New development, including ancillary structures such as fences constructed between 17-Mile Drive and the sea . . . be designed and sited to minimize obstruction of views from the road to the sea. Examples of methods to reduce obstruction include, but are not limited to the following: height limits, use of see-through materials for fences, limitations on landscape materials which would block views."

**Figure 2: Portion of Existing View from 17-Mile Drive (northwest portion)**



**Figure 3: Portion of Existing View from 17-Mile Drive (northeast portion)**

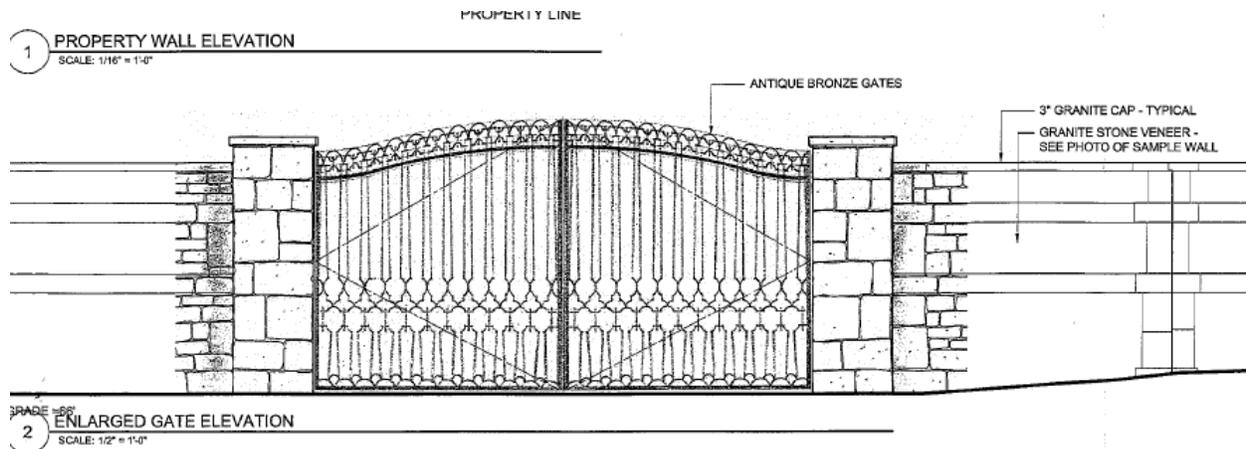


There is an existing approximately 4.5 to 6 foot tall wood “grapestake” fence at the front of the property along 17-Mile Drive, with an approximately 35 foot long section of shorter wire fence along the northeastern end. The view of the ocean from 17-Mile Drive varies as you drive along 17-Mile Drive passing the residence, but the ocean is visible through the Monterey cypress forest along almost the entire frontage. The existing wood fence design is such that, due to the spacing

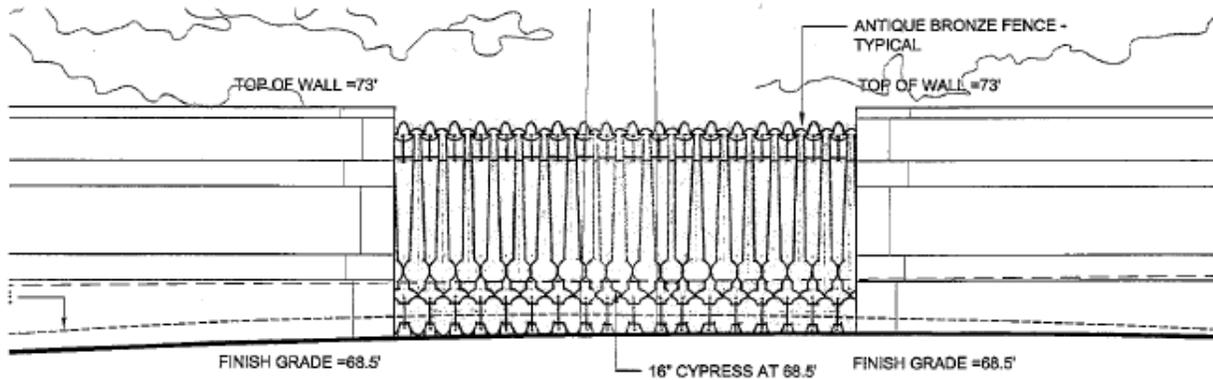
between the stakes between the existing driveway and the neighboring property to the east, viewers are able to see not only over the fence, but to see glimpses through it as well. This allows the viewer to see the ocean within the context of the forest rather than just open water above the fence. The project includes the replacement of the existing fence with a new stone wall that will be 4 to 6 feet tall as measured from the finished grade, with 12.5 foot long sections of antique bronze fencing inserted at 6 locations along the wall, and antique bronze fencing with stone pillars at the new driveway entrance. The antique bronze fencing is designed to allow full views across the site to the ocean. Of the approximately 410 foot front property line, 134 feet or a little over one third of the length will be open design fencing. Construction of the wall will require excavation for the footings and the applicant proposes to raise the existing grade up to two feet, resulting in a wall that is taller than the existing fence in some places. However, the sections of open design fencing will allow full views through the site to the ocean in areas where the current view is only over the top of the existing wood fence.

On July 7, 2011, the Del Monte Forest Land Use Advisory Committee reviewed and recommended approval of an earlier proposal for the wall and fencing that included only five 9-foot long fenced openings, a much taller wall than the existing wood fence on the northeastern end and no fenced openings on the northeastern end. The applicant has agreed to modify the project to lower the height of the wall by one foot on the northeastern end, to increase the number of fenced openings from 5 to 6 (adding an opening on the northeastern end) and to increase the length of the fenced openings from 9 feet to 12.5 feet as described above. The applicant has submitted a visual simulation (**See Attachment 5**) of the modified project but has not yet submitted revised plans. Construction of the wall as originally proposed would adversely impact the existing scenic vista. Implementation of Mitigation Measure No. 1 will reduce this impact to less than significant.

**Figure 4: Fence design at entrance**



**Figure 5: Fence design at opening**



**Mitigation Measure No. 1:** In order to prevent adverse impacts to the existing scenic vista and to the scenic character of the site due to the replacement of the existing fence and to ensure that the project complies with the Visual Resources and Public Access policies of the Del Monte Forest Land Use Plan, the proposed wall/fencing along 17-Mile Drive shall be designed and sited to minimize obstruction of views from the road to the sea. The proposed wall/fencing shall be designed so as to not impair views from 17-Mile Drive over the existing condition. Prior to the issuance of a building or grading permit, the applicant/owner shall submit revised plans for the wall/fencing to the RMA-Planning Department for review and approval that are consistent with the visual simulation provided to the County on June 21, 2012 including: 1) the top of the wall/fencing in Section A (between new driveway entrance and neighboring property to the northeast) as shown on the visual simulation shall be one foot lower than shown on the plans that were recommended for approval by the Del Monte Forest Land Use Advisory Committee on July 7, 2011; 2) the number of antique bronze fenced sections shall be increased from 5 to 6, with the additional section being located between the new driveway entrance and the neighboring property to the northeast; and 3) the open design fenced openings shall be increased from 9 feet long to 12.5 feet long.

**Monitoring Action No. 1:** Prior to the issuance of a building or grading permit, the applicant/owner shall submit revised plans for the wall/fencing to the RMA-Planning Department for review and approval as described in this Mitigation Measure.

**Monitoring Action No. 2:** Prior to final inspection the applicant/owner shall submit photographic evidence that the replacement fencing has been constructed in accordance with the approved plans to the RMA-Planning Department for review and approval.

Additionally, approximately 20 young Monterey cypress trees of non-indigenous stock have been planted along the inside of the fence line from the northwest corner of the property to the opening for the existing driveway. As discussed in Section VI.4 below, the site is within the environmentally sensitive, indigenous range of the Monterey cypress and the planting of non-indigenous Monterey cypress trees in this area is harmful to the native forest (see Section VI.4b below for further discussion). If allowed to remain, these trees will eventually entirely block the views of the ocean from 17-Mile Drive, which would adversely impact the existing scenic vista. Implementation of Mitigation Measure No. 2 will reduce this impact to less than significant.

**Mitigation Measure No. 2:** In order to prevent adverse impacts to the existing scenic vista and to the scenic character of the site due to the planting of Monterey cypress trees of non-indigenous stock along the front fence line and to prevent adverse impacts to the native Monterey cypress forest, the applicant/owner shall remove all such recently planted trees from the property. The trees shall be removed under the supervision of a qualified arborist to ensure that only non-indigenous trees are removed.

**Monitoring Action No. 2:** Prior to the issuance of a building or grading permit, the applicant/owner shall submit evidence to the RMA-Planning Department that all recently planted non-indigenous Monterey cypress trees on the property have been removed. Such evidence shall consist of a letter from a qualified arborist describing the number and location of the trees that were removed.

**Aesthetics 1 (b): No Impact**

The project site is located in Pebble Beach, where all of the roadways are private. The site is not visible from any Officially Designated or Eligible State Scenic Highway. The section of Highway 1 in this area and the section of Highway 68 from Highway 1 to the Salinas River are both Designated State Scenic Highways but the project site is visible from neither. There would be no impact.

**Aesthetics 1 (c): Less than Significant with Mitigation**

The existing visual character of the site is that of a forested area with views through the openings between the trees to the ocean. Some areas are more heavily forested, but the ocean is visible along the entire length of the property. The site itself defines the character. The site slopes sharply down from the road to the bluff above the beach with a 30 to 35 foot change in elevation across the parcel. The existing single-story residence is sited approximately 20 feet lower than and 100 feet away from the road, nestled in among the trees. The project would permanently alter the appearance of the site by replacing the existing wood fence with a stone wall, with see-through antique bronze fencing at the gate and six other 12.5-foot long sections. However, as discussed in Section 1(a) above, the fenced openings will allow for full views through the site to the ocean. Implementation of Mitigation Measure No. 1 above would ensure that the wall/fence is built as per the agreed upon modifications and will reduce the impact on the visual character of the site to less than significant.

**Aesthetics 1 (d): Less than Significant**

The proposed garage will be built into the slope below 17-Mile Drive and will face away from the Drive toward the house. There will be no windows in the garage and exterior lighting will be blocked from ocean views by the residence and the forest and from 17-Mile Drive by the fence, topography and vegetation. Therefore, potential impacts from exterior lighting on adjacent properties and/or views would be minimized by design. In-ground lighting is proposed at the gate. The proposed project would be required to comply with County General Plan Policy 26.1.20, which requires that “All exterior lighting shall be unobtrusive and constructed or located so that only the intended area is illuminated, long range visibility is reduced, and offsite glare is fully controlled.” In addition, a standard County Condition of Approval would require preparation of an Exterior Lighting Plan, subject to review and approval by the Resource Management Agency Planning Department. Pursuant to implementation of County Conditions of Approval, the project is consistent with the Del Monte Forest LUP Scenic and Visual

Resources policies. The project would not create a new source of substantial light or glare which would adversely affect day or nighttime views in the area. The impact would be less than significant.

**2. AGRICULTURAL AND FOREST RESOURCES**

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state’s inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board.

<b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Agricultural/Forest Resources: No Impact** – See Section IV.2 for discussion.

### 3. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations.

<b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Result in significant construction-related air quality impacts?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Air Quality - No Impact** – See Section IV.3 for discussion.

4. BIOLOGICAL RESOURCES	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>				
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? (Source: 1, 3, 6, 7, 8, 9, 14)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, or regulations or by the California Department of Fish and Game or US Fish and Wildlife Service? (Source: 1, 3, 6, 7, 8, 9, 14)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? (Source: 1, 3, 6, 7, 8, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites? (Source: 1, 3, 6, 7, 8, 14)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance? (Source: 1, 3, 6, 7, 8, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan? (Source: 1, 3, 6, 7, 8, 14, 16, 17)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Biological Resources 4(a) and (b) – Less than Significant With Mitigation**

According to the Biological Reports prepared for this property, sensitive species on the site include: 1) Monterey cypress (*Cupressus macrocarpa*); 2) Monterey pine (*Pinus radiata*); 3) Small-leaved lomatium (*Lomatium parvifolium*); and 4) Ocean bluff milk vetch (*Astragalus nuttallii* var. *nuttallii*). Additionally, Monterey cypress habitat (the combination of native plants that make up the understory growing with the cypress) which itself is a threatened habitat, is located on the property.

The entire property is covered by a native Monterey cypress grove that is dominated by Monterey cypress with occasional Monterey pines. The understory of the Monterey cypress forest has been colonized by numerous non-native species that have crowded out large areas of native plants, reducing the diversity and habitat value of the understory. Approximately 20 young Monterey cypress trees of stock that is not indigenous to Pebble Beach have been planted along the fence at the front of the property. The introduction of these trees could eventually result in cross-breeding with the rare, native Monterey cypress in the area. This would be an adverse impact to the Monterey cypress forest, not just on the subject parcel, but in the surrounding forest as well. The implementation of Mitigation Measure No. 2 above will reduce the impact to the forest to less than significant.

Three trees are located within the footprint of the proposed development and will be removed: two dead Monterey pines and one 7-inch Monterey cypress. The young cypress will be relocated on the site. According to the Tree Resource Construction Impact Analysis prepared for the project (LIB120030), the proposed project could impact the Critical Root Zone of at least 30 trees. Grading for the garage and new driveway, excavation of footings for the wall and removal and restoration of the existing driveway and paths, all have the potential to damage trees. Monterey cypress have a low tolerance to construction related impacts and Monterey pine, a moderate tolerance to construction related impacts. Additionally, the project biologist identified 86 Small-leaved lomatium and 2 Ocean bluff milk-vetch plants, both California Native Plant Society List 4.2 species, within the proposed new development area.

Pursuant to LUP Policies 13 and 17, the applicant will be required to place the environmentally sensitive habitat areas in a conservation and scenic easement to provide for continued protection of the resources.

Implementation of Mitigation Measure Nos. 3, 4, 5 and 6 will reduce the impacts to sensitive species and habitats to less than significant.

**Mitigation Measure No. 3:** In order to prevent adverse impacts to trees, prior to the issuance of a construction permit, a qualified arborist shall supervise the installation of the tree protection measures as set forth in the Tree Resource Evaluation Construction Impact Analysis (LIB120030) prepared by Maureen Hamb, dated June 2011 (arborist report). Such tree protection measures shall remain in place throughout construction and shall not be removed until all construction activities are complete. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by a certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. When access to the protected areas becomes necessary, it shall be reviewed by both the contractor and the project arborist, and the arborist shall have the authority to supervise such access. Stockpiling of materials or parking within the critical root zone of trees shall not be allowed. The text of this measure shall be included as a note on the construction plans.

**Monitoring Action No. 3a:** Prior to the issuance of a grading or building permit, the applicant/owner shall submit proof to the RMA-Planning Department that the tree

protection measures have been installed as prescribed. Such proof shall be in the form of a letter from the arborist and photographs of the protection measures in place. The owner/applicant shall submit evidence that the text of this measure appears as a note on the construction plans.

**Monitoring Action No. 3b:** Prior to final inspection, the applicant/owner shall provide verification from the arborist that the tree protection measures have been successful. If additional mitigation measures are determined to be required, they shall be formulated and implemented by the monitoring arborist, after review and approval by the RMA - Planning Department.

**Mitigation Measure No. 4:** In order to prevent adverse impacts to trees located in close proximity to the project due to construction activities, a qualified arborist shall be present during all excavation and soil disturbing activities associated with grading, construction and restoration conducted within the critical root zone (CRZ) of any tree. The CRZ for each tree is included in the arborist report prepared for the project. Roots greater than one inch will be inspected and evaluated by the project arborist. If necessary, as determined by the arborist, the root will be retained, wrapped in protective material (foam pipe wrap) and bridged to the specifications of the arborist. The arborist shall supervise or perform the pruning of any tree roots as necessary. The arborist shall have the authority to require such special construction methods as he/she determines are necessary to protect the trees, including but not limited to designing the wall footings to span over tree roots, tunneling under tree roots or placement of a grade beam above grade. If it appears to the arborist that any tree has experienced or will experience death or damage due to construction activities, all work shall stop within the CRZ of the tree and the arborist/owner/applicant shall immediately contact the RMA-Planning Department to determine whether additional permits or modification of the project is required.

**Monitoring Action No. 4a:** Prior to issuance of a construction permit, the applicant shall provide to the RMA-Planning Department a copy of the contractual agreement with a qualified arborist for review and approval.

**Monitoring Action No. 4b:** Prior to final inspection the applicant or arborist shall also submit evidence of on-site monitoring, including arborist certification regarding the success of the measures, to the RMA – Planning Department. If additional mitigation measures are determined to be required, they shall be formulated and implemented by the monitoring arborist, after review and approval by the RMA - Planning Department. The requirements of this measure shall be included as a note on all grading and building plans.

**Mitigation Measure No. 5:**

In order to mitigate for the removal of sensitive plant species on the site the following re-planting measures shall apply:

1. Small-leaved lomatium: all of the lomatium plants located within the area of the proposed driveway and garage (minimum of 86 plants) shall be salvaged from the site prior to the issuance of a grading or building permit and grown out by a reputable native plant nursery familiar with the growing requirements of the Small-leaved lomatium. The

salvaged lomatium shall be re-planted on the site in the fall months to coincide with the arrival of the rainy season.

2. Ocean bluff milk-vetch: Ocean bluff milk-vetch seed shall be collected from several locations on the property to ensure genetic diversity and shall be propagated for a fall out-planting. The plants shall be replaced on the site at a 3:1 ratio (minimum of 6 plants), as recommended by the project biologist.

3. Monterey pine: Any Monterey pine tree saplings removed from the construction zone shall be re-planted on the site.

4. Monterey cypress: The one Monterey cypress that is located within the footprint of the proposed garage shall be transplanted to another location on the site under the supervision of a qualified arborist. Any native Monterey cypress seedlings or saplings that are removed from the footprint of the proposed development shall be transplanted to another location on the site under the supervision of a qualified arborist.

Mitigation revegetation locations for Items 1 and 2 shall be determined by the project biologist in consultation with the project arborist. Mitigation revegetation locations for Items 3 and 4 shall be determined by the project arborist. The re-planting plan shall be submitted to the RMA-Planning Department for review and approval prior to issuance of a grading or building permit. The applicant/owner shall submit a monitoring report prepared by the project biologist documenting the success of the planting to the RMA-Planning Department 6 months after the initial planting and then annually for 2 years. The replanting shall be considered successful when 95 percent of replanted trees and 85 percent of other planted native vegetation have survived and are evaluated by the project biologist and project arborist as being in good health. In the event of loss of plant materials due to mortality, the plants shall be replaced and the monitoring shall begin again.

**Monitoring Action No. 5a:**

Prior to the issuance of grading or building permit, applicant/owner shall submit the planting/restoration plan to the RMA-Planning Department for review and approval.

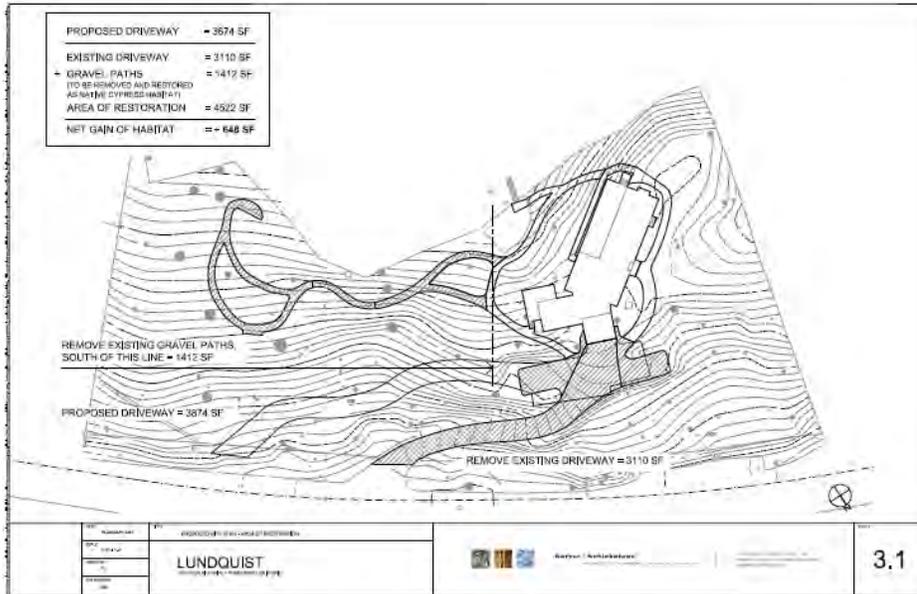
**Monitoring Action No. 5b:**

Prior to final inspection, the applicant/owner shall submit evidence to the RMA-Planning Department that the planting plan has been implemented.

**Monitoring Action No. 5c:**

The applicant/owner shall submit monitoring report prepared by a qualified biologist 6 months after the evidence required in 5b above has been submitted and then annually for a minimum of 2 years or until the replanting has been deemed successful. The monitoring reports shall include an evaluation of the health status of the plantings and recommendations regarding measures to improve the success of the plantings if they are not thriving. The applicant/owner shall implement the recommendations. The requirement for monitoring reports shall end after 2 ½ years or whenever the required success rate of 95 percent survival for trees and 85 survival percent for other vegetation, has been met, whichever occurs later.

**Figure 6: Proposed Cypress Habitat Restoration Areas**



**Mitigation Measure No. 6:**

To mitigate for the removal of native Monterey cypress habitat, the applicant/owner shall prepare and implement a Monterey Cypress Habitat restoration plan for the existing asphalt driveway and the existing gravel paths and parking areas and all other areas that will be disturbed due to construction. The restoration plan shall be prepared by a qualified biologist in consultation with a qualified arborist and shall include measures to protect adjacent Monterey cypress trees during the restoration. Installation of the restoration plan shall be done under the supervision of a qualified biologist. The restoration plan shall also include a planting plan that includes mulching, the installation of Monterey cypress trees propagated from trees indigenous to Pebble Beach, appropriate Monterey cypress forest understory plants and a plan for the eradication of non-native species. Plants and seeds shall consist of appropriate local ecotypes of plant species and site-specific seed and/or cuttings shall be utilized. It is not expected that restoration to native Monterey cypress habitat will require excessive plantings. The removal of non-native species and installation of mulch and minimal appropriate native plantings to allow native understory plants to regenerate in areas that do not require erosion control plantings is preferable. The applicant/owner shall submit a monitoring report prepared by the project biologist documenting the success of the restoration to the RMA-Planning Department 6 months after the initial planting and then annually for 2 years. The restoration shall be considered successful when 95 percent of replanted trees, 85 percent of other planted native vegetation have survived and are evaluated by the project biologist and project arborist as being in good health, and 100 percent of non-native invasive plants within the restoration areas have been eradicated. In the event of loss of plant materials due to mortality, the plants shall be replaced and the monitoring shall begin again.

**Monitoring Action No. 6a:**

Prior to the issuance of a grading or building permit, the applicant/owner shall submit the Monterey Cypress Habitat Restoration Plan and a copy of the contractual agreement with a qualified biologist for review and approval to the RMA-Planning Department for review and approval.

**Monitoring Action No. 6b:**

Prior to final inspection, the applicant/owner shall submit a report to the RMA-Planning Department from the project biologist documenting that the restoration plan has been implemented.

**Monitoring Action No. 6c:**

The applicant/owner shall submit monitoring report prepared by a qualified biologist 6 months after the evidence required in 5b above has been submitted and then annually for a minimum of 2 years or until the restoration has been deemed successful. The monitoring reports shall include an evaluation of the health status of the plantings and recommendations regarding measures to improve the success of the plantings if they are not thriving. The applicant/owner shall implement the recommendations. The requirement for monitoring reports shall end after 2 ½ years or whenever the required success rate of 95 percent survival for trees and 85 survival percent for other vegetation, has been met, whichever occurs later.

**Biological Resources 4(c): No impact**

The project site does not contain any federally protected wetlands as defined by Section 404 of the Clean Water Act. The site slopes fairly steeply from the road to the coastal bluff and no wetlands were noted on the site in the Biological, Arborist or Geotechnical reports prepared for the project. Therefore, there would be no impact.

**Biological Resources 4(d): Less than Significant With Mitigation**

Because the project will involve some tree removal and the site location is in the midst of a forest, there is a potential to impact nesting migratory birds. Migratory birds are protected under the Federal Migratory Bird Treaty Act and the California Fish and Game Code. This is considered a potentially significant impact. The implementation of Mitigation Measure No. 7 above will reduce the impact to less than significant.

**Mitigation Measure No. 7:**

In order to minimize potential biological impacts to animal resources and habitat, prior to the commencement of work, the project biologist shall perform a preconstruction survey for special status plant and wildlife species, including nesting birds. There shall be no removal of a special status species without prior approval of the RMA-Planning Department. For any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. Limits of construction to

avoid an active nest shall be established in the field with flagging, fencing, or other appropriate barriers, and construction personnel.

**Monitoring Action No 7a:**

Prior to issuance of a grading or building permit, applicant/owner shall submit a copy of the contract with a biologist to perform the pre-construction surveys to the RMA-Planning Department.

**Monitoring Action No. 7b:**

No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit, to the RMA-Planning Department, a nest survey prepared by a County qualified biologist to determine if active raptor or migratory bird nests occur within the project site or immediate vicinity.

**Monitoring Action No. 7c:**

If active raptor or migratory bird nests are present, the project biologist shall establish an appropriate buffer plan around the nests and limits of construction shall be established in the field.

**Biological Resources 4(e): Less than Significant**

As discussed above, the project site is located within the rare and environmentally sensitive Monterey cypress habitat and the project site supports Monterey cypress, Monterey pine, Ocean bluff milk-vetch and Small-leaved lomatium, all sensitive plant species. The policies of the Del Monte Forest LUP protect environmentally sensitive plants and habitats. As designed and subject to the requirements of Mitigation Measures 3-7 above, the project would be consistent with all local policies and ordinances protecting biological resources. The impact would be less than significant.

**Biological Resources 4(f): No Impact**

As discussed below in Section 10(c), the project site is not within the boundaries of any adopted Habitat Conservation Plan or Natural Community Conservation Plan. Based on research of County records, the project site is also not located within any other approve local, regional, or state habitat conservation plan. There would be no impact.

<b>5. CULTURAL RESOURCES</b>	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>				
a) Cause a substantial adverse change in the significance of a historical resource as defined in 150645? (Source: 1, 3, 6, 10, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to 15064.5? (Source: 1, 3, 10)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature? (1, 2, 3, 6, 10, 11)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. CULTURAL RESOURCES	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>				
d) Disturb any human remains, including those interred outside of formal cemeteries? (1, 2, 3, 10)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Cultural Resources 5(a & c) – No Impact** According to County records, no historical sites are known to be on or in the immediate vicinity of the project area and no existing structures on the site will be affected by the project. The project site does not contain historical resources and would not cause a substantial adverse change in a significant historical resource. In addition, no paleontological resources or unique geologic features are identified as associated with this site. No impacts would occur to historical resources, paleontological resources, or unique geologic features.

**Cultural Resources 5(b) and (d) – Less than Significant with Mitigation Incorporated**

The proposed project will involve ground disturbance consisting of grading for the new driveway and garage, removal and restoration of the existing driveway, removal and restoration of existing gravel paths and excavation for the footings for the proposed wall/fence. County records identify the project site is within an area of high archeological sensitivity, and the project includes a Coastal Development Permit to allow development within 750 feet of a known archaeological resource. No known cemeteries or burial sites are located on the project parcel. According to the Archaeological Report prepared for the project, more than 10 archaeology sites are located in the area between Cypress Point and Pescadero Point, and human burials were encountered at many of them. The archaeological reconnaissance conducted for the project reported a previously recorded midden site present on the project parcel. The recorded site is located at a lower elevation than the proposed construction but marine shell fragments were found in the area where the driveway is to be realigned. The archaeologist states that based on past experience, it is unlikely that excavation for the proposed construction will reveal a deeper layer of the site, but recommends that a qualified archaeologist monitor all ground disturbing activities to ensure that no resources are accidentally damaged or destroyed. Implementation of Mitigation Measure Nos. 8 and 9 will reduce the potential impact to cultural resources to less than significant.

**Mitigation Measure No. 8:** 1) In order to prevent adverse impacts to cultural resources, a qualified archaeological monitor shall be present during excavation and soil disturbing activities associated with: a) the excavation for the new driveway, fence, and garage; and b) removal and restoration of the existing driveway and paths. 2) The monitor shall have the authority to temporarily halt work to examine any potentially significant materials. 3) If human remains are identified, work shall be halted to within a safe working distance, the Monterey County Coroner must be notified immediately and if said remains are determined to be Native American, the Native American Heritage Commission shall be notified as required by law. 4) If potentially significant, archaeological resources are discovered, work

shall be halted in the area of the find until it can be evaluated and, in consultation with the lead agency, appropriate mitigation measures be formulated and implemented. 5) If suitable materials are recovered, a minimum of two samples shall be submitted for radiocarbon dating in order to provide a basic chronology of the site. 6) If intact, significant features should be encountered, the archaeologist shall recommend appropriate mitigation measures. Features are human burials, hearths, house floors, caches of stone tools. A feature is artifactual and cannot be moved but must be documented in place, *in situ*. 7) A monitoring report shall be produced by the qualified archaeologist to document any findings and to evaluate the significance of the cultural resource. 8) The applicant shall retain a qualified archaeologist to monitor and ensure conduct of the requirements of the mitigation and monitoring plan.

**Monitoring Action No. 8:**

Prior to issuance of a construction permit, the applicant shall provide to the RMA-Planning Department a copy of the contractual agreement with a qualified archaeologist for review and approval. The applicant or archaeologist shall also submit evidence of on-site monitoring, including archaeologist certification, to the RMA – Planning Department. If additional measures are determined to be required to minimize impacts, they shall be formulated by a qualified archaeologist, reviewed and approved by the RMA-Planning Department, and implemented by the monitoring archaeologist. The requirements of this measure shall be included as a note on all grading and building plans.

**Mitigation Measure No. 9:**

During demolition, construction and restoration, the archaeological site shall be protected with exclusionary fencing to minimize the potential for unanticipated impacts to cultural resources.

**Monitoring Action No. 9:**

Prior to the issuance of a demolition permit, the applicant shall submit evidence of exclusionary fencing to the RMA-Planning Department for review and approval. The requirements of this measure shall be included as a note on all grading and building plans.

<b>6. GEOLOGY AND SOILS</b>		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>					
a)	Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i)	Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42. (1, 2, 3, 11, 14, 19)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<b>6. GEOLOGY AND SOILS</b>		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>					
ii)	Strong seismic ground shaking? (Source: 1, 2, 3, 11)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii)	Seismic-related ground failure, including liquefaction? (Source: 1, 2, 3, 11)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iv)	Landslides? (Source: 1, 2, 3, 11, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b)	Result in substantial soil erosion or the loss of topsoil? (Source: 1, 2, 3, 11, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c)	Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse? (1, 2, 3, 11, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d)	Be located on expansive soil, as defined in Chapter 18A of the 2007 California Building Code, creating substantial risks to life or property? (1, 11, 14, 18)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e)	Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater? (1)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Geology and Soils 6(a) (i, iii, iv): No Impact**

The Monterey County GIS database indicates that the site is not located within 1/8 of a mile of any known faults therefore there will be no impact from rupture of an earthquake fault. The Geotechnical Report prepared for the project finds that the soils at the project location are stable decomposed granite underlain by bedrock. The Geotechnical Report further states that the potential for liquefaction is nil due to the bedrock nature of the site. The Monterey County GIS database indicates that the site has a low potential for landslides and the Geotechnical Report finds that there would be no impact from landslides. There will be no impact.

**Geology and Soils 6(a) (ii): Less than significant**

The Geotechnical Report prepared for the project, based on review of the site and applicable literature, did not observe nor identify any significant, site specific geological hazards. Although the project site would be exposed to ground-shaking from any of the faults that traverse Monterey County, the project would be required to be constructed in accordance with applicable seismic design parameters in the California Building Code, which would reduce the impact from seismic ground shaking to less than significant.

**Geology and Soils 6(b): Less than significant**

The site includes slopes that range from 15 percent to over 30 percent. The removal of the existing asphalt driveway and gravel paths and restoration of those areas, as well as the construction of the wall/fence and new garage will involve disturbance on slopes over 30 percent. Pursuant to implementation of County ordinances and standard Conditions of Approval, required by the County’s grading and erosion control ordinances related to grading and soil erosion prevention, impacts due to soil erosion or the loss of topsoil would be less than significant.

**Geology and Soils 6(c): No impact**

The Geotechnical Report prepared for the project did not identify any unstable soil or geologic unit or that would become unstable as a result of the project and potentially result in a landslide, lateral spreading, subsidence, liquefaction or collapse. There would be no impact.

**Geology and Soils 6(d): Less than significant**

The Geotechnical Report found that the soils on the site in the areas of proposed construction are decomposed granite, which is not expansive soil. However, the report recommends that in the event expansive or other undesirable soils are encountered during the grading phase, that those soils should be removed and replaced with engineered fill. Implementation of the standard condition requiring that the recommendations of the technical reports prepared for the project be adhered to will address the issue of expansive soils. The impact will be less than significant.

**Geology and Soils 6(e): No impact**

The existing residence is connected to the Pebble Beach Community Services District public sewer and wastewater from the site goes to the Carmel Area Wastewater District treatment facility. No on-site wastewater disposal exists on the site, nor is any proposed as part of the current project. There will be no impact.

<b>7. GREENHOUSE GAS EMISSIONS</b>	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>				
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? (Source: 1, 5)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases? (1, 2, 3, 5)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Greenhouse Gas Emissions 7(a): Less than Significant** The Office of Planning and Research (OPR) is the state-wide, comprehensive planning agency that is responsible for making policy recommendations and coordinating land use planning efforts. The OPR also coordinates the state-level review of environmental documents pursuant to the CEQA. Currently, the OPR’s stance on greenhouse gases (GHG) significance thresholds has been to allow each lead agency to determine their own level of significance. At this time, the Monterey Bay Unified Air Pollution

Control District (MBUAPCD) has not finalized specific GHG thresholds of significance. On October 24, 2008, the California Air Resources Board (CARB) released their interim CEQA significance thresholds for GHG impacts dictating that a project would be considered less than significant if it meets minimum performance standards during construction and if the project, with mitigation, would emit no more than approximately 7,000 million metric tons of carbon dioxide per year during operation.

The proposed development could generate minimal amounts of greenhouse gases through removal of one live Monterey cypress tree (See VI.4) and two dead Monterey pine trees. Live trees process carbon dioxide and release oxygen back into the air, but also release CO<sub>2</sub> once removed and composted, or burned. However, the applicant proposes to replant the live tree on site, therefore the impact from tree removal is less than significant.

The primary source of criteria air pollutant and GHG emissions would stem from the use of heavy equipment, including large trucks and earth-movers, during construction of the new garage and driveway. However, heavy equipment use is anticipated to be intermittent and limited to site preparation, and some construction activities. Pollutant emissions resulting from heavy equipment use during construction are not anticipated to exceed significance thresholds established by the CARB for GHG because the duration of use is expected to be very limited. Moreover, once constructed, the project would not create any air emissions beyond those associated with current uses established on the property. Since the use of the property would not intensify beyond residential uses, the impacts would be less than significant.

**Greenhouse Gases 7(b): No Impact** As described previously, the project’s construction and use emissions are below the applicable GHG significance thresholds established by CARB, and the MBUAPCD has no established GHG thresholds. The project would not conflict with any local or state GHG plans or goals. Therefore, there would be no impacts.

8. HAZARDS AND HAZARDOUS MATERIALS	Less Than Significant			
	Potentially Significant Impact	With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>				
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<b>8. HAZARDS AND HAZARDOUS MATERIALS</b>			Less Than Significant		
<b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact	
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

**Discussion/Conclusion/Mitigation:**

**Hazards and Hazardous Materials - No Impact – See Section IV.8 for discussion**

<b>9. HYDROLOGY AND WATER QUALITY</b>			Less Than Significant		
<b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact	
a) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

**9. HYDROLOGY AND WATER QUALITY**

<b>Would the project:</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant With Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial <u>erosion or siltation</u> on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in <u>flooding</u> on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Hydrology and Water Quality No Impact** – See Section IV.9 for discussion

<b>10. LAND USE AND PLANNING</b>	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>				
a) Physically divide an established community? (Source: 1, 2, 3, 6, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect? (Source: 1, 2, 3, 4, 16, 17)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Conflict with any applicable habitat conservation plan or natural community conservation plan? (Source: 1, 2, 3, 16, 17)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Land Use and Planning 10(a): Less Than Significant**

The project involves the construction of a new garage, realignment of a driveway and associated site improvements on an existing, developed residential lot. No new roads, bridges or structures which might serve to divide the community are proposed. There would be no impact.

**Land Use and Planning 10(b): No Impact**

The project was reviewed for consistency with the Monterey County 1982 General Plan (GP), the Del Monte Forest Land Use Plan (LUP), the Monterey County Coastal Implementation Plan, Part 5 (CIP), and Title 20 (Zoning Ordinance). The analysis contained in this Initial Study Checklist addressed the potential conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project adopted for the purpose of avoiding or mitigating an environmental impact. Based on this analysis, it was determined that the project could potentially have significant impacts on Aesthetics, Biological Resources and Cultural Resources.

Implementation of Mitigation Measures 1 and 2 are required to reduce impacts to scenic resources protected by the policies of the LUP and to ensure that visual access to these resources is maintained as required by the LUP. With the implementation of Mitigation Measures 1 and 2, the project is consistent with the goals of the LUP and is in conformance with the regulations and standards found in the CIP and Title 20. The impact would be less than significant.

**Land Use and Planning 10(c): No Impact**

According to the U.S. Fish and Wildlife Service listing of Habitat Conservation Plans (HCP) in California, this site is not located within the area of an HCP. According to the California Department of Fish and Game summary of Natural Community Conservation Plans (NCCP), the project site is not located within and NCCP. There would be no impact.

<b>11. MINERAL RESOURCES</b>		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>					
a)	Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b)	Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Mineral Resources: No Impact** – See Section IV.11 for discussion

<b>12. NOISE</b>		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project result in:</b>					
a)	Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b)	Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c)	A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d)	A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e)	For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

12. NOISE	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project result in:</b>				
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Noise: No Impact** – See Section IV.12 for discussion

13. POPULATION AND HOUSING	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>				
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Population and Housing: No Impact** – See Section IV.13 for discussion

<b>14. PUBLIC SERVICES</b>		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project result in:</b>					
Substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:					
a)	Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b)	Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c)	Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d)	Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e)	Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Public Services: No Impact** – See Section IV.14 for discussion

<b>15. RECREATION</b>		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>					
a)	Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b)	Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Recreation: No Impact** – See Section IV.15 for discussion

<b>16. TRANSPORTATION/TRAFFIC</b>				
<b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with the goals, objectives, and policies of the 2010 Regional Transportation Plan for Monterey County, including, but not limited to level of service standards and travel demand measures, or other standards established by the Transportation Agency for Monterey County (TAMC) for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that result in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Traffic/Transportation: No Impact** – See Section IV.16 for discussion

<b>17. UTILITIES AND SERVICE SYSTEMS</b>		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>					
a)	Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b)	Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c)	Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d)	Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e)	Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f)	Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g)	Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Utilities and Service Systems: No Impact** – See Section IV.17 for discussion

## VII. MANDATORY FINDINGS OF SIGNIFICANCE

NOTE: If there are significant environmental impacts which cannot be mitigated and no feasible project alternatives are available, then complete the mandatory findings of significance and attach to this initial study as an appendix. This is the first step for starting the environmental impact report (EIR) process.

Does the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? (Source: 1, 2, 3, 4, 6, 7, 8, 9, 10, 12, 14, 16, 17)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)? (Source: 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly? (Source: 1, 2, 3, 4, 5, 6, 11, 12, 13, 14, 15, 18, 19)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

### Discussion/Conclusion/Mitigation:

**Mandatory Findings of Significance VII(a):** Based upon the analysis throughout this Initial Study, the project may have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory. The biological resources analysis above indicates that there are special status plants and a sensitive natural community on the site that is considered to be environmentally sensitive habitat (ESHA). The cultural resources analysis indicates that the site does contain a potentially significant cultural, archaeological, or historical resource as defined by the California Environmental Quality Act (CEQA). With implementation of the mitigation measures identified in Sections VI.4 and VI.5, impacts to these resources will be less than significant.

### **Mandatory Findings of Significance VII(b): No Impact**

The project involves development accessory to a residential use within a residentially-zoned district. As a result, impacts related to air quality, geology and soils, hazards and hazardous materials, hydrology and water quality, land use planning, mineral resources, noise, population and housing, public services, recreation, transportation and traffic, and utilities and service systems attributable to the project would not result in intensification of the use of the site. As proposed and conditioned, implementation of the project would not result in impacts that are cumulatively considerable.

**Mandatory Findings of Significance VII(c): Less than Significant With Mitigation**

The project would result in no impacts to Traffic, Air Quality, Hazards and Hazardous Materials, Hydrology and Water Quality, Mineral Resources, Noise, Population and Housing, Public Services, Recreation, Transportation and Traffic or Utility and Service Systems. Construction related air quality impacts would be temporary and controlled by standard Conditions of Approval that require watering, erosion control, and dust control measures. No new traffic is anticipated to result from the construction of the new residential non-habitable accessory structures. The project as proposed would have no long-term impacts to air quality. Minimal additional lighting sources that would occur as a result of the new garage and fence would be required to comply with standard County Conditions of Approval. Implementation of the project would result in less than significant impacts to human beings, either directly or indirectly. Impacts to Geology and Soils would be less than significant due to the limited nature of the project. The project is located in an area identified in the land use plan as a valuable scenic resource. Construction of the project as proposed would have the potential to contribute to the cumulative degradation of views from 17-Mile Drive, so mitigation measures identified in Section VI.1 have been incorporated to reduce the impact of the project on Aesthetics. As proposed, conditioned and mitigated, the project would not have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly.

Note: Authority cited: Sections 21083 and 21083.05, Public Resources Code. Reference: Section 65088.4, Gov. Code; Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095, and 21151, Public Resources Code; *Sundstrom v. County of Mendocino*, (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

***VIII. FISH AND GAME ENVIRONMENTAL DOCUMENT FEES***

**Assessment of Fee:**

The State Legislature, through the enactment of Senate Bill (SB) 1535, revoked the authority of lead agencies to determine that a project subject to CEQA review had a “de minimis” (minimal) effect on fish and wildlife resources under the jurisdiction of the Department of Fish and Game. Projects that were determined to have a “de minimis” effect were exempt from payment of the filing fees.

SB 1535 has eliminated the provision for a determination of “de minimis” effect by the lead agency; consequently, all land development projects that are subject to environmental review are

now subject to the filing fees, unless the Department of Fish and Game determines that the project will have no effect on fish and wildlife resources.

To be considered for determination of “no effect” on fish and wildlife resources, development applicants must submit a form requesting such determination to the Department of Fish and Game. Forms may be obtained by contacting the Department by telephone at (916) 631-0606 or through the Department’s website at [www.dfg.ca.gov](http://www.dfg.ca.gov).

**Conclusion:** The project will be required to pay the fee.

**Evidence:** Based on the record as a whole as embodied in the Planning Department files pertaining to PLN110144 and the attached Initial Study / Proposed Mitigated Negative Declaration.

## ***IX. REFERENCES***

1. Project Application/Plans;
2. 1982 Monterey County General Plan;
3. Del Monte Forest Land Use Plan (LUP) and Monterey County Coastal Implementation Plan, Part 5 (CIP);
4. Title 20 of the Monterey County Code (Zoning Ordinance);
5. CEQA Air Quality Guidelines, Monterey Bay Unified Air Pollution Control District, Revised February 2008;
6. Site Visits conducted by the project planner on April 1, 2011 and July 21, 2011;
7. “Biological Assessment of Richard and Melanie Lundquist Property APN: 008-472-006-000)” 2011 (LIB110215) prepared by Fred Ballerini dated May 18, 2011;
8. “Biotic Survey & Impact Assessment” (LIB080032) prepared by Jean Ferreira dated January 11, 2008;
9. “Tree Resource Evaluation Construction Impact Analysis” (LIB120030) prepared by Maureen Hamb, WCISA Certified Arborist dated June 2011;
10. “Preliminary Cultural Reconnaissance” dated April 2011 (LIB110216);
11. “Geotechnical Investigation for Proposed New Driveway Alignment, Site Wall and Detached 4-Car Garage, Lundquist property” (LIB110217) prepared by Haro Kasunich and Associates, dated May 2011;
12. State of California Department of Conservation Farmland Mapping and Monitoring Program Website, <http://www.conservation.ca.gov/dlrp/fmmp/Pages/Index.aspx> , accessed May 26, 2012;

13. State of California Department of Conservation, Monterey County Tsunami Inundation Maps Website,  
[http://www.conservation.ca.gov/cgs/geologic\\_hazards/Tsunami/Inundation\\_Maps/Monterey/Pages/Monterey.aspx](http://www.conservation.ca.gov/cgs/geologic_hazards/Tsunami/Inundation_Maps/Monterey/Pages/Monterey.aspx) , accessed May 26, 2012;
14. Monterey County Planning Department GIS System;
15. Monterey County Code Chapter 10.60;
16. United States Fish and Wildlife Service Habitat Conservation Plan Page  
[http://ecos.fws.gov/conserv\\_plans/PlanReportSelect?region=1&type=HCP](http://ecos.fws.gov/conserv_plans/PlanReportSelect?region=1&type=HCP),  
accessed May 28, 2012;
17. “Summary of Natural Community Conservation Plans (NCCPs), prepared by the California Department of Fish and Game, January, 2012;
18. “Soil Survey of Monterey County, California”, published by the United States Department of Agriculture Soil Conservation Service in cooperation with the U.S. Forest Service and University of California Agricultural Experiment Station, Issued 1978.
19. “Fault Rupture Hazard Zones in California, Special Publication 42, Interim Revision 2007”, published by the State of California Conservation Department, 2007.

Figure 1: Aerial Site Plan of Lundquist property

Figure 2: Portion of Existing View from 17-Mile Drive (northwest portion)

Figure 3: Portion of Existing View from 17-Mile Drive (northeast portion)

Figure 4: Fence design at entrance

Figure 5: Fence design at opening

Attachments:

1. “Biological Assessment of Richard and Melanie Lundquist Property APN: 008-472-006-000)” 2011 (LIB110215) prepared by Fred Ballerini dated May 18, 2011;
2. “Biotic Survey & Impact Assessment” (LIB080032) prepared by Jean Ferreira dated January 11, 2008;
3. “Tree Resource Evaluation Construction Impact Analysis” (LIB120030) prepared by Maureen Hamb, WCISA Certified Arborist dated June 2011;
4. “Geotechnical Investigation for Proposed New Driveway Alignment, Site Wall and Detached 4-Car Garage, Lundquist property” (LIB110217) prepared by Haro Kasunich and Associates, dated May 2011;
5. Visual simulation depicting height of wall/fence, prepared by Carver & Schicketanz, submitted to RMA-Planning Department on June 21, 2012.



ATTACHMENT 1

**BIOLOGICAL ASSESSMENT**

**OF**

**RICHARD and MELANIE LUNDQUIST PROPERTY  
APN: 008-472-006**

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Prepared for

**Richard and Melanie Lundquist**  
3224 17 Mile Drive  
Pebble Beach, CA 93953

Prepared by

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May 18, 2011

## **I. INTRODUCTION**

This report has been authorized by Richard Lundquist (project owner) and Jay Auburn (project representative from Carver + Schicketanz Architects) on April 5, 2011.

This *biological assessment* report has been prepared to evaluate and document the biological resources present at the property of Richard and Melanie Lundquist located at 3224 17 Mile Drive in Pebble Beach, CA 93953. This report will consider the biological impacts of the proposed project, as well as measures designed to reduce the impacts of the driveway, garage and fence development to levels that will support the environmental resources of the property. The proposed development consists of a 1,095 square foot garage, realigning the entry and driveway (3,874 square feet), removal of an existing fence and construction of a new privacy wall along 17 Mile Drive. The parcel is supported by Cal American water.

## **II. REGIONAL SETTING**

The project site is located along the Carmel Bay shoreline in Pebble Beach, CA. The 1.25-acre parcel is located at approximately 30 feet elevation on a W facing slope. The soils are sandy loam and the underlying rock is mostly granitic. Plant communities of the regional area include Coastal Bluff Scrub, Central Maritime Chaparral, Monterey Pine Forest, Monterey Cypress Forest and Coastal Prairie Grassland.

## **III. METHODS**

The botanical survey was conducted during site visits on April 6, 2011 in the afternoon, April 11, 2011 in the morning hours and April 13, 2011 at mid-day. Field methods included walking the entire property while surveying the areas designated for the construction driveway and garage, inventorying observed plant and animal species, and photographing existing and proposed development areas. Weather conditions were sunny and full access to the site allowed for careful site and resource observations. The proposed construction envelope was surveyed and flagged (no vegetation removal was required for the flagging installation).

The California Natural Diversity Data Base (CNDDB) maintained by the State of California Department of Fish and Game (DFG) and the California Native Plant Society Inventory of Rare and Endangered Plants (8<sup>th</sup> Edition, 2010), were consulted for the identification of known populations of Federal and State listed rare, threatened and endangered plant species on or in the vicinity of the Lundquist project site. Survey methods included utilizing The Jepson Manual (Hickman 1993), Invasive Plants of California's Wildlands (Bossard, Randall, and Hoshovsky 2000), A Manual of California Vegetation (Sawyer and Keeler-Wolf 1995), and An Illustrated Field Key to the Flowering Plants of Monterey County (Matthews 1997).

## **IV. LOCAL VEGETATION**

The proposed driveway, garage, and privacy wall sites are located along a terraced, south facing slope that includes portions of an existing driveway, parking area, existing fencing, landscaping and irrigation piping. Native stands of Monterey cypress (*Cupressus macrocarpa*) trees, an extension of the Cypress Point Grove, are found throughout the property and along the perimeter of the proposed construction zone. These trees vary in age and diameter with several standing over 20 meters in height.

Three saplings less than 2' in height and two trees less than 6' in height are within the garage construction envelope.

Several native Monterey pines (*Pinus radiata*) are scattered throughout the property, with one 7" diameter Monterey pine tree found within the garage construction envelope. This pine will require removal. Five saplings of less than 2-1/2 feet in height were noted as volunteers within the garage construction area.

The sparse understory vegetation along the driveway and garage construction zone includes sparse native herbaceous understory species and coastal bluff scrub species growing in a deep cypress duff layer. The dominant native plants include seaside daisy (*Erigeron glaucus*), Douglas iris (*Iris douglasiana*), beach aster (*Corethrogyne filaginifolia*) and other less dominated species listed in the attached plant list. Small leaved lomatium (*Lomatium parvifolium* var. *parvifolium*) and ocean milk vetch (*Astragalus nuttallii* var. *nuttallii*) were observed in this area. Several patches and seedlings of hottentot fig (*Carpobrotus edulis*) are present within the area.

The proposed privacy wall area (west and east sides of the wall) along 17 Mile Drive contains mostly patches of hottentot fig and exotic grasses including wild oat (*Avena fatua*), ripgut brome (*Bromus diandrus*), soft chess (*Bromus hordeaceus*) and veldt grass (*Ehrharta erecta*). Isolated native plants found along the fence line include Douglas iris (*Iris douglasiana*), seaside daisy (*Erigeron glaucus*), California vanilla grass (*Hierochloa occidentalis*) and other less dominating species listed in the attached plant list.

## **V. WILDLIFE**

During two site visits to the project location, several bird species were identified (see Observed Animal Species List). Most bird species were observed using the site as a corridor to move to other locations off property. Several Anna's hummingbird (*Calypte anna*) and dark-eyed junco were observed using the northern and house area for foraging. A pair of Canada geese was observed on the southwest corner of the property. Further surveying discovered a nesting site below the cliff on a rock outcrop above the high tide line (approximately 150 feet from the proposed driveway). Inspection of the nest identified broken shell and bobcat or fox scat, which suggests any existing eggs may have been poached by a predator. Further site visits are recommended within the coming weeks to determine if the non-native goose begins nesting again. No other nesting or breeding behavior from other species was observed. A survey was also conducted for the presence of the Federally-listed Smiths' blue butterfly (*Euphilotes enoptes smithi*) and California red legged frog (*Rana aurora draytonii*). None were observed.

## **VI. RARE, THREATENED, AND ENDANGERED SPECIES**

State Listing is pursuant to Section 1904 (Native Plant Protection Act of 1977) and Section 2074.2 and 2075.5 (California Endangered Species Act of 1984) of the Fish and Game Code, relating to listing Endangered, Threatened, and Rare species of plants and animals. Federal Listing is pursuant with the Federal Endangered Species Act of 1973.

The following sensitive elements are listed by the CNDDB for the Monterey 7.5' quadrangle:

<i>Allium hickmanii</i>	Hickman's Onion
<i>Actinemys marmorata pallida</i>	southwestern pond turtle
<i>Ambystoma californiense</i>	California tiger salamander
<i>Anniella pulchra nigra</i>	black legless lizard
<i>Arctostaphylos hookeri</i> ssp. <i>hookeri</i>	Hooker's manzanita
<i>Arctostaphylos pumila</i>	sandmat Manzanita
<i>Astragalus nuttallii</i> var. <i>nuttallii</i>	ocean bluff milk-vetch
<i>Astragalus tener</i> var. <i>titi</i>	coastal dunes milk-vetch
<i>Athene cunicularia</i>	burrowing owl
<i>Castilleja latifolia</i>	Monterey Coast paintbrush
<i>Ceanothus cuneatus</i> var. <i>rigidus</i>	Monterey ceanothus
Central Dune Scrub	Central Dune Scrub
Central Maritime Chaparral	Central Maritime Chaparral
<i>Charadrius alexandrinus nivosus</i>	western snowy plover
<i>Chorizanthe pungens</i> var. <i>pungens</i>	Monterey spineflower
<i>Clarkia jolonensis</i>	Jolon clarkia
<i>Coelus globosus</i>	globose dune beetle
<i>Collinsia multicolor</i>	San Francisco collinsia
<i>Cordylanthus rigidus</i> ssp. <i>littoralis</i>	seaside bird's-beak
<i>Cupressus macrocarpa</i>	Monterey cypress
<i>Cypseloides niger</i>	black swift
<i>Danaus plexippus</i>	monarch butterfly
<i>Delphinium hutchinsoniae</i>	Hutchinson's larkspur
<i>Ericameria fasciculata</i>	Eastwood's goldenbush
<i>Erysimum menziesii</i> ssp. <i>menziesii</i>	Menzies' wallflower
<i>Euphilotes enoptes smithi</i>	Smith's blue butterfly
<i>Fritillaria hickmanii</i>	Hickman's onion
<i>Gilia tenuiflora</i> ssp. <i>arenaria</i>	sand gilia
<i>Hesperocypris goveniana</i>	Gowen cypress
<i>Horkelia cuneata</i> ssp. <i>sericea</i>	Kellogg's horkelia
<i>Lasiurus cinereus</i>	hoary bat
<i>Layia carnosa</i>	beach layia
<i>Lomatium parvifolium</i> var. <i>parvifolium</i>	small-leaved lomatium
<i>Lupinus tidestromii</i>	Tidestrom's lupine
<i>Malacothamnus palmeri</i> var. <i>involucratus</i>	Carmel Valley bush mallow
<i>Malacothamnus palmeri</i> var. <i>palmeri</i>	Santa Lucia bush mallow
<i>Microseris paludosa</i>	marsh microseris
Monterey Cypress Forest	Monterey Cypress Forest
Monterey Pine Forest	Monterey Pine Forest
Monterey Pygmy Cypress Forest	Monterey Pygmy Cypress Forest
Northern Bishop Pine Forest	Northern Bishop Pine Forest
<i>Oncorhynchus mykiss irideu</i>	steelhead - south/central California coast

<i>Pelecanus occidentalis californicus</i>	California brown pelican
<i>Pinus radiata</i>	Monterey pine
<i>Piperia yadonii</i>	Yadon's piperia
<i>Potentilla hickmanii</i>	Hickman's cinquefoil
<i>Rana aurora draytonii</i>	California red-legged frog
<i>Rosa pinetorum</i>	pine rose
<i>Trifolium polyodon</i>	Pacific Grove clover
<i>Trifolium trichocalyx</i>	Monterey clover

Small-leaved lomatium (*Lomatium parvifolium*) and ocean bluff milk vetch (*Astragalus nuttallii* var. *nuttallii*) were observed within the proposed driveway and garage construction envelope. Neither of these species is a State or Federally listed plant. Both species are List 4.2 (Plants of Limited Distribution) of the California Native Plant Society Inventory of Rare, Threatened, and Endangered Plants of California, 8<sup>th</sup> Edition, 2010. "List 4.2 plants are not 'rare' from a statewide perspective, but are uncommon enough that their status should be monitored regularly". The CNPS Threat Rank is an extension added onto the CNPS List and designates the level of endangerment by a 0.1 to 0.3 ranking. Threat Rank 0.2 is defined as "fairly threatened in California (20-80% of occurrences threatened / moderate degree and immediacy of threat)". CNPS also ranks these two plants with a State Ranking of S3, "vulnerable in the state due to a restricted range, relatively few populations (often 80 or fewer), recent and widespread declines, or other factors making it vulnerable to extirpation".

Monterey pine (*Pinus radiata*), Monterey cypress (*Cupressus macrocarpa*), and Monterey Cypress Forest are endemic to Monterey County and are listed as sensitive elements for the Monterey quadrangle. Several established Monterey cypress trees are aligned along the perimeter of the proposed driveway and garage. One 6" Monterey cypress within the proposed garage area may require removal or relocation. Monterey cypress are List 1B.2 (Plants Rare, Threatened, or Endangered in California, But More Common Elsewhere) of the California Native Plant Society Inventory of Rare, Threatened, and Endangered Plants of California, 8<sup>th</sup> Edition, 2010. List 1B.2 plants are rare throughout their range with the majority endemic to California. One 7" Monterey pine, showing signs of pitch canker, is located in the proposed garage area. Monterey pines are a List 1B.1 (Threat Rank 0.1 is defined as "seriously threatened in California – high degree/immediacy of threat"). All plants constituting List 1B meet the definitions of Sec. 1901, Chapter 10 (Native Plant Protection Act) or Secs. 2062 and 2067 (California Endangered Species Act) of the California Department of Fish and Game Code, and are eligible for state listing. Please refer to Maurenn Hamb's arborist report for further tree observations and surveys.

**No Federal or State listed Rare or Endangered species were found on the property.**

## VII. IMPACT ASSESSMENT AND MITIGATION MEASURES

### **Impact and Mitigation 1: Monterey Pine**

The Monterey Pine is a CNPS Listed 1B.1 rare species. A singular 7" specimen will be removed for the construction of the proposed garage. It is recommended to transplant the 5 observed volunteer saplings located in the garage construction zone, as they would otherwise be lost to construction impacts. These saplings (< 2' H) will ensure the genetic integrity of the pines from the site and could serve as mitigation replanting stock. Mitigation replanting and replacement quantities will be addressed in the Arborist Report by Maureen Hamb.

### **Impact and Mitigation 2: Monterey Cypress**

The Monterey cypress is a CNPS Listed 1B.2 rare species. These trees, in varying degrees of age and establishment, are present throughout the site along the proposed construction perimeter. Site grading and construction near the native stands of Monterey cypress will require extreme caution to prevent any adverse impacts to the trees and supporting root systems. Severe grading in the root zones, compaction of soils, and improper deposition of excavated soils near the base of the Monterey cypress during project implementation could cause the decline or death of the trees. Operation of heavy equipment and parking of personnel vehicles should be kept within the construction impact zones. Any operation of heavy equipment or parking within the edge of the foliar canopy of the trees to be retained will compact soils and could jeopardize the health of the trees. Any grading activities near tree root zones will require observation from the project Arborist. Any cutting of root systems could compromise the structural integrity of the tree to withstand the coastal winds and also impair nutrient uptake if feeder roots are impacted. Three saplings (< 2' H) and two small trees (< 6' H) are within the proposed garage construction zone. These saplings could be used for mitigation planting stock if required by the Arborist Report. Please refer to the Arborist Report by Maureen Hamb (Project Arborist) for further protection and mitigation measures for the Monterey cypress trees.

### **Impact 3: Small-Leaved Lomatium**

Small-leaved lomatium is a CNPS List 4.2 species. Forty-five (45) small-leaved lomatium plants were counted within the flagged driveway area and forty-one (41) small-leaved lomatium plants were counted within the flagged garage area. These plants should be salvaged from the site prior to grading operations and grown out by a reputable native plant nursery familiar with the growing requirements of the small-leaved lomatium (Bill Werner of Sierra Pacific Nursery @ 831.901.4349). The salvaged material can be out-planted in the fall months to coincide with the arrival of the rain season. Mitigation revegetation locations include the area to the southeast of the proposed driveway and the area to the west of the garage. These areas currently support small-leaved lomatium populations and provide suitable habitat conditions.

### **Impact 4: Ocean Bluff Milk-Vetch**

Ocean bluff milk-vetch is a CNPS List 4.2 species. Two (2) ocean bluff milk-vetch plants were counted within the flagged driveway area. Ocean bluff milk-vetch is easily propagated by seed. Seed should be collected from several locations on the property to ensure genetic diversity and propagated for a Fall 2012 out-planting. Mitigation replacement should be restored at a 1:1 ratio, however it is recommended to overplant this species by a ratio of 3:1 to ensure the target mitigation numbers of success. Mitigation revegetation locations include the area south of the driveway near the coastal bluff. This area currently supports ocean milk vetch populations.

### **Impact 5: Tree Management During Construction Phase**

In addition to the recommendations contained in the Arborist Report, the following tree management guidelines should be followed:

- a. Any trees lost to construction activities should be replaced at a 1:1 ratio.
- b. Tree replacement stock should be generated only from site-specific plant transplants or site-specific seed material.
- c. Sedimentation and Erosion control measures should also be applied for all native tree species within the construction zone. Exposed soils from construction activities should be stabilized with proper erosion and sediment control devices so as to prevent any sedimentation deposits under the driplines of the trees.

### **Impact 6: Exotic Species Eradication**

To preserve and enhance the existing Monterey cypress understory and coastal bluff scrub habitat, focused exotic plant eradication should be instituted on the property. Hottentot fig (*Carpobrotus edulis*) should be hand-pulled within the construction zones prior to grading activities to prevent it from spreading to new areas on the property. Also, the hottentot fig should be removed within the proposed mitigation replanting areas to help support the existing native plant species. Proper eradication includes hand removal and responsible off site disposal to a waste facility.

Wattle trees (*Acacia longifolia*) and French broom (*Genista monspessulana*) seedlings along the fence line should be thoroughly removed from the site by hand pulling. These species exist in low quantities on site, however they have the ability to spread quickly, especially within disturbed soils. Hand pulled material should be disposed in a waste facility.

Non-native annual grasses are pervasive along the street side of the proposed privacy wall area. It is recommended these grasses be removed and the area mulched with a 3" depth of wood chips to prevent germination of exotic species. This area also contains native species interspersed with the non-native grasses. Retaining the native species in this area would be beneficial towards erosion control and increased habitat value.

### **Impact 7: Erosion Control, Revegetation and Habitat Protection Guidelines**

During the construction phase, the following best management practices are recommended for the project site:

- a. Use of heavy equipment should be restricted to areas within the building envelope.
- b. Sediment control devices should be installed on the downhill perimeter of the building envelope.
- c. All disturbed, non-landscaped, and unvegetated areas shall be mulched with sterile mulch. Native seeding or plant installation should occur in the late fall months to take advantage of seasonal rains.
- d. Prior to final grading, all construction debris shall be removed and construction activities completed in the areas to be treated with the native seed mix.
- e. On-site stockpiled topsoil should be spread over disturbed areas prior to seeding activities to provide a suitable medium for vegetation establishment and growth.
- f. Final grading should consist of a roughened condition, perpendicular to the slope, in order to augment seed germination and soil stabilization.
- g. The seed mix shall consist of local ecotypes of native grass and forbs species identified from existing native plant community locations and site-specific seed

- from shrub species hand collected from site. Native seed collections should occur during the summer months as seed becomes viable for collection.
- H. Native plant revegetation may be necessary in the areas where exotic plants have been removed and the area of the existing driveway that is slated for decommission. After the completion of the soil disturbance activities, seed and plant materials should be installed in any non-landscaped areas in the fall months after the initial seasonal rains, when soil moisture levels have reached a minimum depth of 3 inches. Any transplanted stock can be replanted immediately and supplemented with a temporary irrigation system for the first year or two.
- I. Protective fencing should be installed to protect the existing trees and tree root zones per the recommendations of the Arborist Report. Site protection measures should also be installed to protect the existing coastal bluff scrub and mitigation restoration areas from any construction or pedestrian impacts. All construction personnel should avoid these areas and maintain foot traffic to the construction impact areas and existing foot trails.

### VIII. PLANT & ANIMAL SPECIES OBSERVED:

- Note: 1. \* denotes introduced/non-native species.  
 2. **bold** print denotes special status species.  
 3. (*landscape*) denotes nursery-trade native plant introduction.

#### Tree Species

<i>Acacia longifolia</i> *	golden wattle
<b><i>Cupressus macrocarpa</i></b>	<b>Monterey cypress</b>
<b><i>Pinus radiata</i></b>	<b>Monterey pine</b>
<i>Quercus agrifolia</i>	coast live oak

#### Shrubs and Herbaceous Species

<i>Agrostis pallens</i>	leafy bent-grass
<i>Arctostaphylos edmundsii</i> 'Carmel Sur' ( <i>landscape</i> )	Carmel Sur manzanita
<b><i>Astragalus nuttallii</i></b>	<b>Nuttall's locoweed</b>
<i>Artemisia pycnocephala</i>	beach sagewort
<i>Avena fatua</i> *	wild oat
<i>Baccharis pilularis</i> ssp. <i>consanguinea</i>	coyote brush
<i>Briza maxima</i> *	rattlesnake grass
<i>Bromus diandrus</i> *	ripgut brome
<i>Bromus hordeaceus</i> *	soft chess
<i>Bromus tectorum</i> *	cheat grass
<i>Calochortus albus</i>	white globe lily
<i>Carex harfordii</i>	Monterey sedge
<i>Carpobrotus edulis</i> *	hottentot fig
<i>Ceanothus griseus horizontalis</i> ( <i>landscape</i> )	Carmel creeper
<i>Chlorogalum pomeridianum</i>	soap plant

<i>Corethrogyne filaginifolia</i>	beach aster
<i>Cyperus squarrosus</i>	awned cyperus
<i>Desmazeria rigida</i> *	fern grass
<i>Echium fasuosum</i> *	pride of Madeira
<i>Ehrharta erecta</i> *	panic veldt grass
<i>Elymus glaucus</i>	blue wild-rye
<i>Erigeron glaucus</i>	seaside daisy
<i>Festuca ovina glauca</i>	sheep's fescue
<i>Filago gallica</i> *	narrow-leaved fillago
<i>Genista monspessulana</i> *	French broom
<i>Gnaphalium ramosissimum</i>	pink everlasting
<i>Grindelia latifolia</i> var. <i>platyphylla</i>	gumweed
<i>Hierochloa occidentalis</i>	California vanilla grass
<i>Hordeum jubatum</i> *	foxtail barley
<i>Hypochaeris glabra</i> *	smooth cat's ear
<i>Iris douglasiana</i>	Douglas iris
<i>Leptospermum laevigatum</i> *	Australian tea tree
<b><i>Lomatium parvifolium</i></b>	<b>small-leaved lomatium</b>
<i>Lotus heermannii</i> var. <i>orbicularis</i>	wooly lotus
<i>Medicago polymorpha</i> *	bur medic
<b>Monterey Cypress Forest</b>	<b>Monterey Cypress Forest</b>
<i>Oxalis pes-carpae</i> *	Bermuda buttercup
<i>Phacelia malvifolia</i>	stinging phacelia
<i>Phalaris californica</i>	California canarygrass
<i>Phormium tenax</i> *	New Zealand Flax
<i>Plantago coronopus</i> *	cut-leaved plantain
<i>Plantago elongata</i>	annual coast plantain
<i>Poa annua</i> *	annual poa
<i>Polypodium californicum</i>	California polypody
<i>Polypogon monspeliensis</i> *	rabbitfoot grass
<i>Primula polyantha</i> *	primrose
<i>Rosemarinus officinalis</i> *	rosemary
<i>Rubus ursinus</i>	California blackberry
<i>Saturaja douglasii</i>	yerba buena
<i>Sisyrinchium bellum</i>	blue-eyed grass
<i>Sonchus oleraceus</i> *	sow thistle
<i>Stachys bullata</i>	hedge nettle
<i>Toxicodendron diversilobum</i>	Pacific poison oak
<i>Vulpia myuros</i> *	rat-tail fescue

## Animal Species

<i>Branta canadensis</i>	Canada goose
<i>Buteo lineatus</i>	red-shouldered hawk
<i>Calypte anna</i>	Anna's hummingbird
<i>Corvus brachyrhynchos</i>	American crow
<i>Junco hyemalis</i>	dark-eyed junco
<i>Larus occidentalis</i>	Western gull
<i>Melanerpes formicivorus</i>	acorn woodpecker

### IX. PHOTO DOCUMENTATION: April 11, 2011

1. Existing fence and proposed (flagged) privacy wall location. NW corner facing south.



2. Existing fence and proposed (flagged) privacy wall location. NW corner of existing driveway entry facing east.



3. Middle of proposed driveway facing east toward the proposed entry.



4. Middle of the proposed driveway facing west toward house.



5. Proposed garage area.



6. *Astragalus nuttallii*



7. *Lomatium parvifolium*



8. Exotic species: hottentot fig and annual grasses.



Botanical  
Consulting  
Services

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# Biotic Survey & Impact Assessment

3224 17 Mile Drive,  
Pebble Beach, CA  
apn: 008-472-006

Written for:  
Mr. Greg Larson

Written By:  
Jean Ferreira  
Botanist

January 11, 2008

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## Background

In June of 2007, two owners of 3224 17 Mile Drive, Mr. and Mrs. Greg Larson, trimmed five native Monterey Cypress, without obtaining a permit. The parcel is located within the native Monterey Cypress forest stand in Pebble Beach, immediately down-coast of the Lone Cypress. No trees were removed as a part of this operation. The purpose of this study is to document the un-permitted trimming, quantify and age class the Monterey Cypress on the parcel, assess any resource damage and to propose recommendations for offsetting the damage.

## Survey Method

Information was gathered for this report through on-site surveys, Rarefind, the County soils report, Flora of Monterey County, aerial photos from the Google Earth, and the authors own files on the natural resources of Monterey County. On-site surveys were conducted on December 17<sup>th</sup> and 19<sup>th</sup>, 2007. The entire upland area of the parcel was surveyed on foot. The intertidal area below the bluff edge was not surveyed. The location of each tree was plotted on the basemap, and the diameter at breast height (DBH) was taken with a DBH tape, approximately 4.5 feet above the natural grade.

## Findings

The parcel is located on the Pacific Ocean at Sunset Point in Pebble Beach. The parcel generally faces south-west and is located midway between Cypress Point and Pescadero Point. The parcel is 1.68 ac in size and is roughly rectangular shaped, with the long sides of the rectangle running along 17 Mile Drive for 466 ft, and the Pacific Ocean for 340 ft. The parcel is governed under the Del Monte Forest LUP and is within the Coastal Zone, as defined for planning purposes. Approximately 25% of the parcel is rocky intertidal or lower. Approximately 10% of the parcel is developed with a house, hardscape and landscape, and the remaining 65% is Monterey cypress forest. as seen in the following aerial photograph.

The property ranges approximately from 0 ft in elevation within the intertidal zone to 60 ft at the edge of 17 Mile Drive on the eastern boundary. Most of the usable area on the parcel is on the ocean terrace and ranges between 20 and 40 ft in elevation.

The soil on the ocean terrace on the parcel is classified as Sheridan course sandy loam, a well drained soil underlain by granite and schistose rock. The runoff is rapid, and the erosion hazard is moderate on Sheridan soils. The intertidal zone and offshore rocks are classified as granitic rock outcrop.

Two native plant communities are present on the parcel: Monterey cypress forest and rocky intertidal. For the purpose of this report, only the Monterey cypress forest was surveyed. The plant species list created for the property is in Table 1. Animals observed or commonly found in the Pebble Beach Monterey cypress forest and rocky intertidal zone are listed in Table 2.

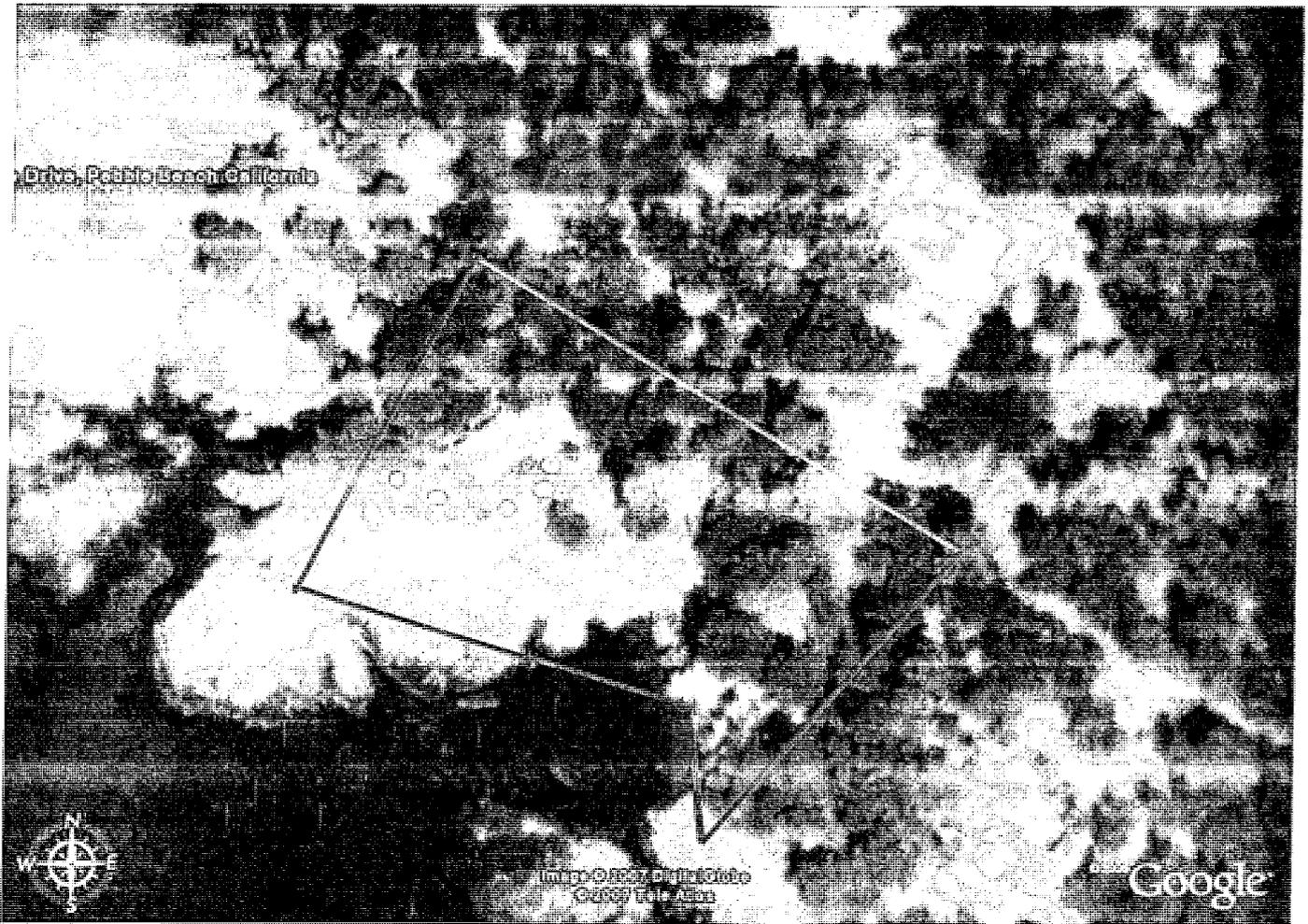


Photo 1. Aerial of 3224 17 Mile Drive, Pebble Beach, with approximate parcel boundaries shown in red. Monterey Cypress trees that were trimmed are highlighted in yellow.

### Monterey Cypress Forest

The Monterey cypress forest on the parcel is a mature forest dominated by Monterey cypress (*Cupressus macrocarpa*) with occasional Monterey pines (*Pinus radiata*). The understory is a low growing (less than 2 ft high), diverse mix of seaside daisy (*Erigeron glaucus*), Pacific gumplant (*Grindelia stricta ssp. platyphylla*), Douglas iris (*Iris douglasiana*), deerweed (*Lotus scoparius*), yerba buena (*Satureja douglasii*), bedstraw (*Galium sp.*), beach aster (*Lessingia filanigifolia var. californica*), Pacific reed grass (*Calamagrostis nutkaensis*), saltgrass (*Distichlis spicata*), blue wild rye (*Elymus glaucus*) and creeping wild rye (*Leymus triticoides*). See Table 1 for the complete list of plant species observed during the survey.

The understory of the Monterey cypress forest has been colonized by numerous non-native plant species. These exotics have been successful in crowding out large areas of native plants, reducing the diversity and habitat value of the understory. The greatest culprit is hottentot fig and sea fig (*Car-*

*pobrotus edulis*, *C. chilensis*) two members of the iceplant family. The iceplants have colonized approximately 25 to 30% of the understory and have had the greatest negative impact on the forest on this parcel. In addition, two garden escapee, dusty miller (*Senecio cineraria*) and crassula (*Crassula multicava*) have impacted the understory on the west side of the home. The non-native rattlesnake grass (*Briza major*) has eliminated the native understory species on the parcel near 17 Mile Drive.

### Monterey Cypress Survey

The tree survey performed for this report included a generalized location mapping and measuring the diameter at breast height (4.5 ft above grade). This information is included on the attached oversized map.

Using the aerial photograph above, the forest is estimated to have a 65 to 75% canopy cover. There are 157 adult trees that make up the canopy. Monterey cypress comprise 88% of the trees (138) and Monterey pines are 12% (19). Using dbh as a proxy variable for age, age classes are based on bole diameter in inches are listed below.

DBH	# of M.C.	%	# of M.P.	%
2.5-9.5"	45	32	11	61
10-19.5"	49	36	4	22
20-29.5"	25	18	1	5.6
30-39.5"	7	5	1	5.6
40-49.5"	5	4	1	5.6
50"+	7	5	1	5.6
TL:	138	100%	18	99.8

In a natural, self-sustaining stand of trees with typical recruitment and seedling survival, the general age class distribution is inversely proportional to age. However, climate patterns and catastrophic events such as fire or disease, greatly shape forest tree survivorship trends and can trigger pulse recruitment and mortality. Information on the entire Pebble Beach Monterey cypress population would need to be analyzed to identify trends. Managing this one parcel, a goal of having all age classes represented will lend toward a stable stand. The Monterey cypress on the study site show a slight under representation in the 30+ and 40+ classes.

The seedlings and saplings under 6 ft tall were not included on the survey map but were tallied for the site. Monterey pine and Monterey cypress had similar numbers of seedlings/saplings (35-MC, 31-MP) despite the dominance of cypress in the forest (88%). In addition, the vast majority of seedling/saplings were located to the west of the house site (80%), with only 20% found to the east of the house, even though two-thirds of the land is to the east of the house. This is probably due to available light, moisture levels and density of forest duff layer, which all effect seedling recruitment and survival.

The largest Monterey cypress on the site measured 87"dbh. An early study quoted by Jepson (1928) noted 284 years as the oldest documented Monterey cypress on record. The Monterey cypress are

thought to have an age span of 50 to 300 years in their natural range.

## Sensitive Species and Habitats

Due to a habitat with a unique blend of soils and climate, the Monterey cypress naturally occurs in only two very localized populations. The first and largest is scattered along the 17 Mile Drive in the Del Monte Forest between Point Cypress and Pescadero Point. The second is 3 miles south of Pescadero Point on Cypress Point in Point Lobos State Reserve.

Although presently, the Monterey cypress is not officially listed as an endangered, threatened or rare plant species by California or the federal government, it meets the criteria for listing and is therefore included on the State of California's list of Special Plants with a ranking of S1.2 or threatened, and falls under Section 15380 of CEQA for protection during project review.

Due to the impacts of past grazing, residential development, and the colonization by non-native plant species, the Monterey cypress forest plant community, the combination of native plants that make up the understory growing with the cypress, is as threatened as the cypress trees themselves. The Monterey cypress forest is listed on the California Department of Fish and Game's database as 'sensitive habitat'.

## Assessment of Impacts

Five Monterey cypress trees were pruned last summer without prior review and permit. The tree locations are indicated on Photo #1 with yellow dots, and on the attached oversized map, with their dbh size shown in larger red numbers outlined with a black box. Pruning details are listed below.

	Tree DBH	Pruned Branches Diameter	Note
1.	40.5"	22", 5", 4", 8", 2.5", 4.5", 3.5"	Large tree on point, live branches trimmed.
2.	11"	4", 4.5", 2"	Live branches trimmed.
3.	20"	5"	Severely declining tree (95% dead), trimmed dead branch extending over firepit.
4.	21"	3", 3"	Live branches trimmed.
5.	7"	2", 2"	Live branches extending into path trimmed.

Issues considered with each trimmed tree during this assessment were whether the pruning impacted the vigor or survival of the individual tree, and if the reduction in canopy might result in impact to the understory plants and soil due to increased exposure, leading to a degradation of the habitat.

None of the trees pruned received a large enough reduction in the canopy to affect the vigor and survival of the trees. Trees 3,4, and 5 (as listed above) are all located in the landscaped beds adjacent to the house; their understories are covered with rosemary and other landscape plants. Additional exposure created by the pruning will not have any effect on native habitat or soil stabilization. Tree 3 is also dying, and due to its position in the use area, would be considered a safety hazard. Trees 1 and 2 are in an area that is sparsely covered by native understory. They are also on a native American midden site, a cultural resource that should be protected from erosion. These two bluff edge trees also receive direct wind and rain due to their front line positions. An estimated 500 ft<sup>2</sup> area below the trees may be subjected to erosion and colonization by non-native plants following any erosional disturbance, resulting in lower habitat value.

### Mitigation Recommendations

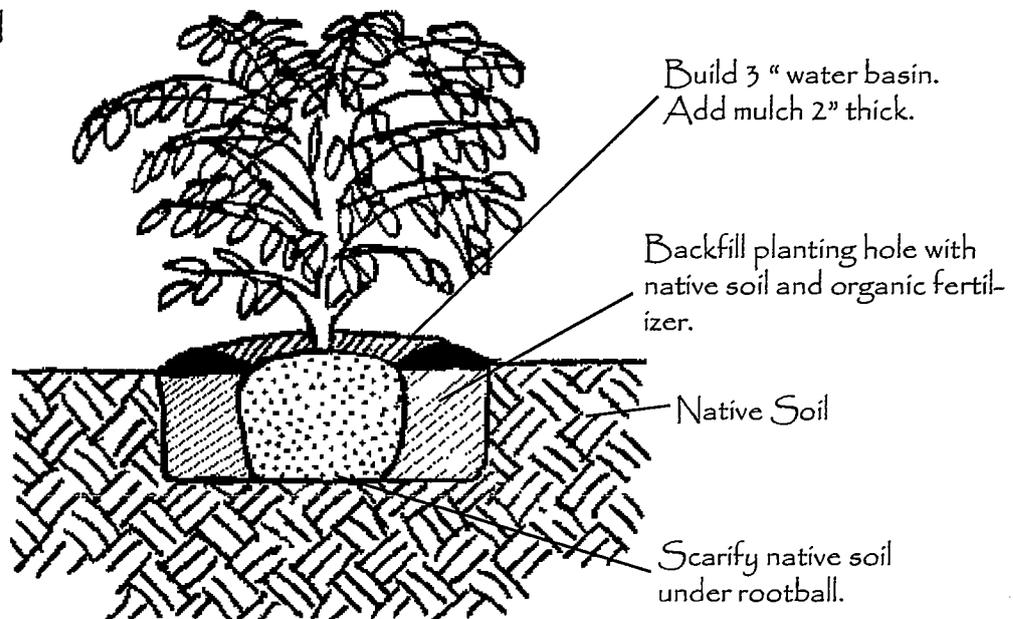
To mitigate the loss of limbs on trees 1 and 2, an area totalling 500 ft<sup>2</sup> between the two trees should be planted with species native to the understory on the bluff edge following the methods outlined below.

- One hundred seedling shall be installed to supplement the natives that presently sparsely cover the site. The planting mix will be a combination of some or all of the following understory species: *Artemisia pycnocephala*, *Danthonia californica*, *Astragalus nuttalli*, *Erigeron glaucas*, and *Lessingia filanigifolia* var. *californica* and one native Monterey Cypress seedling. The plants must be of Pebble Beach origin, propagated from stock from the project site or obtained through the Pebble Beach Co. nursery. The Monterey cypress seedling must be of the genetic stock of the native Pebble Beach population.
- The planting will be scheduled during the winter months, after 2 to 3 inches of rain has been received and more storms are expected. Planting should be avoided during the period of April 1 through October 31st.
- Seedling containers shall be a minimum of a supercell 6", 2 inch pot or something of equivalent volume.
- The seedlings shall be spaced 12 inches on center, with the exception of *Artemisia* which shall be spaced 18 inches on center, from both new seedlings and existing plants. The general planting layout will be a random mix of the species. Care will be taken to position the cypress seedling in a location with a minimum of competing mature cypress roots.
- Planting holes shall be equal in depth to the container size and twice the width. The plants should be installed in the native soil, with no soil amendment. One tablespoon of an organic all-purpose fertilizer (Dr. Earth Organic 2 Starter 2-4-2, or E.B. Stone Sure Start 4-6-2 or equivalent) shall be added to the planting hole. Non-organic fertilizers burn native soil mycorrhizae that facilitate uptake of nutrients by root hairs. See drawing below.
- Native soil shall be used to create a water retention basin around the plant. Two inches of native

organic matter from the site, such as Monterey cypress needles, shall be spread around the base of each plant inside the water retention basin.

- A temporary above ground, irrigation system shall be installed to provide water to supplement winter rains during the first growing year. The source of water for the irrigation system will be from the water faucet at the closest corner of the house.
- The irrigation system will be equipped with an electrical or battery operated controller.
- Each seedling will receive approximately ½ gallon per watering. The goal will be to provide only supplemental water to the rains and to water deeply the entire root zone of each plant. At installation and as the seedlings grow, the system will be evaluated for the need of two emitters per seedling to deliver equal water to the entire root zone of each plant.
- General guidelines for the scheduling of the water system: up to three times per week during winter and spring months, once a week in June and once per month July through November. Any irrigation will be monitored closely to only apply usable water within the root zone, and never runoff.
- Planting shall be documented and monitored 12 months after the installation is completed. The monitoring shall include a direct count of surviving seedlings, noting evidence of growth after planting, and photographs of the planting site.
- Success is defined as 80% survival at the end the year, with new growth evident on the understory species and survival of the cypress seedling, showing good vigor and growth. The results shall be reported to County of Monterey, Planning Department. Failure to meet the success criteria will require the replanting, maintance and monitoring until success is achieved.

### Planting Detail



## References

Jepson, W.L. 1928. Monterey Cypress. *The Trees of California*. ed. 2.

Table 1. Plant Species of the Monterey Cypress Forest at 3224 17 Mile Drive, Pebble Beach, California. Survey Dates: 17 December & 19 December, 2007.

<i>Species</i>	<i>Common Name</i>
<i>Artemesia pycnocephala</i>	Sagewort
<i>Astragalus nuttallii</i>	Locoweed
<i>Baccharis pilularis</i> var. <i>pilularis</i>	Coyote Bush
<i>Calamagrostis nutkaensis</i>	Pacific Reed Grass
<i>Carex pansa</i>	Dune Sedge
<i>Cupressus macrocarpa</i>	Monterey cypress
<i>Danthonia californica</i>	CA Oatgrass
<i>Distichlis spicata</i>	Saltgrass
<i>Elymus glaucus</i>	Blue Wild Rye
<i>Erigeron glaucus</i>	Seaside Daisy
<i>Eiophyllum staechadifolium</i>	Lizardtail
<i>Galium</i> sp.	Bedstraw
<i>Grindelia stricta</i> ssp. <i>platyphylla</i>	Pacific Gumplant
<i>Iris douglasiana</i>	Douglas Iris
<i>Lessingia filanigifolia</i> var. <i>californica</i>	Beach Aster
<i>Leymus condensatus</i>	Giant Wild Rye
<i>Leymus triticooides</i>	Creeping Wild Rye
<i>Lotus scoparius</i>	Deerweed
<i>Mimulus aurentiacus</i>	Sticky Monkeyflower
<i>Pinus radiata</i>	Monterey Pine
<i>Plantago maritima</i>	Pacific Seaside Plantain
<i>Quercus lobata</i>	Coast Live Oak
<i>Satureja douglasii</i>	Yerba Buena
<i>Stachys bullata</i>	Wood Mint
<i>Vaccinium ovatum</i>	Huckleberry
<b>Non-native plants present in the cypress forest understory</b>	
<i>Briza major</i>	Rattlesnake Grass
<i>Carpobrotus chilensis</i>	Sea Fig
<i>Carpobrotus edulis</i>	Ice Plant
<i>Crassula multicava</i>	Crassula
<i>Cytisus</i> sp.	Broom
<i>Drosanthemum floribundum</i>	Magic Carpet
<i>Echium candicans</i>	Pride of Madeira
<i>Festuca glauca</i>	Blue Fescue
<i>Hedera helix</i>	English Ivy
<i>Rhus ovata</i>	Lemonade Berry
<i>Oxalis pes-caprae</i>	Bermuda Buttercup
<i>Rosemarinus officinalis</i>	Rosemary
<i>Senecio cineraria</i>	Dusty Miller

**Table 2. Potential Animal Species List for 3224 17 Mile Drive, Pebble Beach, CA.**

<i>Family</i>	<i>Species</i>	<i>Common Name</i>
<b>Mammals:</b>		
Canidae	<i>Vulpes fulva</i>	Red Fox
Cervidae	<i>Odocoileus hemionus</i>	Black-tailed Deer
Cricetidae (Mice)	<i>Peromyscus miniculatus</i> <i>Peromyscus californicus</i> <i>Reithrodontomys megalotis</i> <i>Microtus californicus</i> <i>Neotoma fuscipes</i>	Deer Mouse California Mouse Western Harvest Mouse California Meadow Mouse Dusky-footed Woodrat
Didelphidae	<i>Didelphis virginiana</i>	Opossum
Filidae	<i>Lynx rufus</i>	Bobcat
Geomyidae	<i>Thomomys bottae</i>	Valley Pocket Gopher
Heteromyidae	<i>Dipodomys heermanni</i>	Kangaroo Rat
Leporidae	<i>Sylvilagus audubonii</i> <i>S. bachmani</i>	Audubon cottontail Rabbit Brush Rabbit
Muridae	<i>Mus musculus</i> <i>Ratus norvegicus</i> <i>Ratus rattus</i>	House Mouse Norway Rat Black Rat
mustelidae	<i>Mustela frenata</i> <i>Taxidea taxus</i> <i>Spilogale putoris</i> <i>Mephitis mephitis</i>	Longtail weasel Badger Spotted Skunk Striped Skunk
Procyonidae	<i>Procyon lotor</i>	Raccoon
Sciuidae	<i>Spermophilus beecheyi</i> <i>Sciurus griseus</i>	California Ground Squirrel Western Gray Squirrel
Soricidae	<i>Sorex trowbridgei</i> <i>Sorex ornatus</i>	Trowbridge Shrew Ornate Shrew
Talpidae	<i>Neurotrichus gibbsi</i> <i>Scapanus latimanus</i>	Shrew Mole Broad-handed Mole
Vespertilionidae	<i>Myotis lucifungus</i> <i>M. yamanensis</i> <i>M. volans</i> <i>M. californicus</i> <i>M. leibii</i> <i>Pipistrellus hesperus</i> <i>Eptesicus cuscus</i> <i>Lasiurus borealis</i> <i>L. cinereus</i> <i>Plecotus townsendi</i> <i>Antrozous pallidus</i>	Little Brown Myotis Yuma Myotis Long-eared Myotis California myotis Small-footed Myotis Western Pipistrel Big Brown Bat Red Bat Hoary Bat Western Big-eared Bat Pallid Bat

<i>Family</i>	<i>Species</i>	<i>Common Name</i>
<b>Birds:</b>		
Accipitridae	Accipiter cooperii	Cooper's Hawk
	A. striatus	Sharp-shinned Hawk
	Aquila chrysaetos	Golden Eagle
	Buteo jamaicensis	Red-tailed Hawk
	B. lineatus	Red-shouldered Hawk
	Cathartes aura	Turkey Vulture
	Circus cyaneus	Northern Harrier
	Elanus caeruleus	Black-houdered Kiltie
	Falco tinnunculus	Ameriacn Kestrel
Charadriidae	Charadrius vociferus	Killdeer
Columbidae	columba fasciatat	Band-tailed Pigeon
	cumba livia	Rock Dove
	Zenadia maroura	Mourning Dove
Corvidae	Aphelocoma coerulescens	Scrub Jay
	Corvus brachyrhynchos	Americaan Crow
	C. boraz	Raven
Emberizidae	Melospiza meodia	Song Sparrow
	Zonotrichia atricapilla	Golden-crowned Sparrow
	Z. leucophays	White-crowned Sparrow
Fringillidae	Carpodacus meizicanus	House Finch
Hirundinidae	Hirundo pyrrhonota	Cliff Swallow
	H. rustica	Barn Swallow
	Tachycineta bicolor	Tree Swallow
	T. thalassina	Violet-green Swallow
Parulinae	Dendroica coronata	Yellow-rumped Warbler
Phasianidae	Callipepla californica	California Quail
Sittidae	Sitta pygmaea	Pygmy Nurthatch
Strigidae	Bubo virginianus	Great Horned Owl
	Otus dennicottii	Western Screech Owl
	Tyto alba	Barn Owl
Troglodytidae	Thryomanes bewickii	Bewick's Wren
	Troglodytes aedon	House Wren
Pelecanidae	Pelecanus occidentalis	Brown Pelican
Phalacrocoracidae	Phalacrocorax auritus	Double-crested Cormorant
	P. penicillatus	Brandt's Cormorant
Ardeidae	Nycticorax nycticoraz	Black-crowned Night-Heron
	Egretta thula	Snowy Egret
	Casmerodius albus	Great Egret
	Ardea herodias	Great Blue heron
Haematopodidae	Haematopus bachmani	Black Oystercatcher
Scolopacidae	Numenius phaeopus	Whimbrel
Laridae	Larus heermanni	Heermann's Gull

<b>Family</b>	<b>Species</b>	<b>Common Name</b>
	L. delawarensis	Ring-billed gull
	L. californicus	California Gull
	L. philadelphia	Bonaparte's Gull
	L. occidentalis	Western Gull
	Sterna forsteri	Forester's Tern
	S. caspia	Caspian Tern

**Reptiles:**

Anguidae	Gerrhonotus multicarinatus	California Alligator Lizard
Boidae	Charina bottae bottae	Pacific Rubbe Boa
Colubridae	Lapropeltis getulus californiae	California Kingsnake
	Thamnophis elegans terrestris	Coast Garter Snake
	Tituotphis melanoleucus catenifer	Pacific Gopher Snake
	Coluber constrictor marmon	Western Yellow-bellied Racer
	Contia tenuis	Sharp-tailed Snake
	Diadophis punctatus vandenberghi	Monterey Ringnecked Snake
Iguanideae	Sceloporus occidentalis occidentalis	Northwestern Fence lizard
	Phrynosoma cornatum	Coast Horned Lizard
Scincidae	Eumeces skiltonianus skiltonianus	Skilton Skink

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LIB120030

TREE RESOURCE EVALUATION  
CONSTRUCTION IMPACT ANALYSIS  
3224 17 MILE DRIVE, PEBBLE BEACH

Prepared for  
Carver + Schicketanz Architects

April 2011

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## **ASSIGNMENT/SCOPE OF SERVICES**

The construction of a garage, driveway and privacy wall are proposed for an existing residence located at 3224 17 Mile Drive, Pebble Beach (APN 008-472-006). The property is within the protected Monterey cypress habitat and is densely forested with both Monterey cypress and Monterey pine trees. The property owners, Richard and Melanie Lundquist and their architect, Mary Anne Schicketanz (Carver & Schicketanz) retained me to assess the condition of the trees adjacent to the development and review the plans to evaluate the potential impacts to the trees. To complete the evaluation I have completed the following:

- Complete a thorough visual inspection of 82 trees growing adjacent to the proposed driveway, garage and privacy wall.
- Complete a cursory visual assessment 25 additional trees growing outside the development area.
- Identify tree species and measure trunk diameter at a point 54 inches above natural grade.
- Evaluate the health status and structural integrity of each tree.
- Identify the Critical Root Zone (CRZ) for each tree.
- Provide recommendations for tree retention and tree removal based on overall condition and construction related impacts.
- Provide recommendations for reducing impacts using alternative construction methods and create a tree protection plan.

## **SUMMARY**

The health and structural stability of 81 Monterey cypress and Monterey pines were evaluated in April of this year. The trees are growing within their indigenous range and are components of the native Monterey cypress grove that covers the entire property.

In general the trees are in fair condition. The mature trees have developed great height and girth. They also display the structural defects commonly seen in mature examples of the species. Decay in the main stems, cavities caused by damage or decay and large diameter dead branching were found.

Three trees (#68, #66 and #32) have severe structural defects that cannot be mitigated; these defects represent a significant risk to the users of the property, as they will lead to either large branch or whole tree failure.

I have identified three trees that are in conflict with the proposed development. One young Monterey pine (#31 8-inches in trunk diameter) is within the proposed driveway. The tree has indications of the early stages of pitch canker disease. A portion of the canopy is discolored and copious pitch exudation is visible on the stems.

Trees #36 and #37 are within the footprint of the proposed garage. Tree #36 is a dead Monterey pine, #37 is a young cypress seven inches in trunk diameter. The tree has sparse foliar development. The removal of the tree is recommended; if approvals cannot be obtained professional relocation is an option.

The project as proposed could impact the Critical Root Zone (CRZ) of at least 30 trees. The impacts include excavation and grading needed for the proposed driveway, garage and walls. In addition, the demolition of the existing asphalt could damage tree roots. Any activities proposed within the CRZ will be completed using methods that reduce damage to tree roots. Two trees (#17 and #24) may require minor pruning to provide clearance for the driveway.

In addition to special construction methods (root pruning, elimination of continuous excavation for footings and on-going monitoring), exclusionary fencing with straw bale barricades will be erected in the areas defined on the attached site plan. Staging of equipment and supplies and parking for construction workers will be restricted to areas outside the exclusion zones, never adjacent to the trees.

## **BACKGROUND**

In April of this year I completed a detailed inspection and evaluation of 81 trees growing on property located at 3224 17 Mile Drive in Pebble Beach. The trees were evaluated to determine health status, structural integrity and suitability for incorporation into a development project. For purposes of identification numbered metal tags have been affixed to the tree trunks with corresponding locations documented on the attached site map.

Ratings for tree health, structural integrity and suitability for incorporation into the developed site have been completed and are listed in the attached inventory. Ratings are determined following the completion of a visual tree assessment. This type of evaluation is based on methods developed by Claus Mattheck and documented in The Body Language of Trees. The assessment involves an analysis of the biology and mechanics of each tree, which are then rated as “good”, “fair” or “poor”.

Suitability is determined using overall tree condition and industry data on species characteristics, including tolerances to site changes and specific construction impacts.

The biological assessment determines the health status of the tree and includes an evaluation of the following:

- Vitality of the leaves, bark and twigs
- Presence of fungi or decay
- Percentage and size of dead branching
- Status of old wounds or cavities

Healthy trees in “good” condition display dense full canopies with dark green foliage. Dead branching is limited to small twigs and branches less than one inch in diameter. No evidence of disease, decay or insect activity is visible. Vigorous, healthy trees are much better able to tolerate site alterations and invasive construction impacts than less vigorous trees of the same species.

Trees in “fair” health have 10-30% foliar dieback, dead branching greater than one inch in diameter and minor evidence of disease, decay or insect activity.

Trees in “poor” health display greater than 30% foliar dieback, dead branches greater than two inches in diameter and/or areas of decay, disease or insect activity.

The mechanical assessment is used to determine the structural integrity of the tree and includes an evaluation of the following:

- Integrity of the framework of the tree (supporting trunk and major branches)
- External symptoms (bulges, ribs or cracks) that can indicate internal defects
- Lean of main trunk and canopy configuration
- Development of root buttress

Trees with “good” structure are well rooted with visible taper in the lower trunk leading to buttress root development. These qualities indicate that the tree is solidly rooted in its growing site. No significant structural defects such as codominant stems (two stems of similar size that emerge from the same point on the trunk), weakly attached branches, cavities or decay are present.

Trees with “fair” structural integrity may have defects such as poor taper in the trunk, inadequate root development or growing site limitations. They may have multiple trunks, included bark (where bark turns inward at an attachment point), or suppressed unbalanced canopies. Small areas of decay or evidence of previous limb loss may be present in these trees. Trees in fair condition can be improved using common maintenance procedures.

Poorly structured trees display one or more serious defects that may lead to the failure of branches, trunk, or the whole tree due to uprooting. Trees in this condition may have had root loss due to decay or site conditions. The supporting trunk or large stems could be compromised by decay or structural defect (large codominant stems with included bark). Trees in this condition represent a risk. In some situations maintenance, including cable support systems, props or severe pruning can reduce, but not eliminate the potential hazard.

Trees that contain large dead branches, decayed areas or other structural defects that cannot be mitigated are not suitable for preservation adjacent to high use areas (dwellings, roadways etc).

## OBSERVATIONS/DISCUSSION OF FINDINGS

The property is located on 17 Mile Drive, near Sunset Point in Pebble Beach. It is a relatively level parcel, approximately 50 feet above sea level and below the public roadway. The residence on the parcel is accessed by an asphalt driveway. The developed portion of the site covers approximately 10% of the property, forest cover represents approximately 60%-70% (based on aerial photographs), understory vegetation and open areas make up the remainder of the site.

Approximately 150 trees are growing on the site. The forest is dominated by Monterey cypress (*Cupressus macrocarpa*) with occasional Monterey pines (*Pinus radiata*). Mature, semi-mature and young trees are represented. This mix of age classes is a sign of a diverse and dynamic forest system.

The western portion of the property is mainly large, mature Monterey cypress in various stages of decline. Large areas of decay, dead branching and sparse foliar development are common throughout the stand. The defects seen in the trees are common to the species as it matures and reaches senescence.

Young Monterey pines are present in higher numbers on the eastern portion of the site; mature pines represent the smallest percentage of the forest.

Several trees display severe structural defects that could lead to either whole tree, or large branch failure. The cypress trees on this property are a component of a native habitat with small localized populations. The California Department of Fish and Game have defined these habitats as "sensitive". Monterey County policies discourage the removal of Monterey cypress trees (section 20.147.040.C.1.e), but may allow removal in cases where life, property or access is threatened (section 20.147.050.D.2).

Three trees on this site meet this requirement. They are not associated with the proposed project. The recommendations made are strictly related to the management of risk and the safety of the residents.

- Tree # 32 is a Monterey cypress with a trunk diameter of 29.3 inches. The main trunk and low lateral branch extend over the existing driveway are completely decayed and at risk of failure.
- Tree #66 is a Monterey cypress with a trunk diameter of 19.5 inches. A long, elliptical shaped wound (eight feet in length) is present on the upper main trunk. The area is decayed and wood is fractured. The tree canopy is healthy, putting additional stress on the trunk. This tree is at risk of failure due to compromised strength in the main trunk.

- Tree #68 is a Monterey cypress with a trunk diameter of 23.4 inches. The tree is several feet from the existing residence. As with tree #66 a large elliptical shaped wound is visible on the trunk, the wound is decayed and wood strength is compromised.

## **PROJECT DESCRIPTION/DISCUSSION OF CONSTRUCTION IMPACTS**

The plans proposed include demolition and removal of the existing asphalt driveway, construction of a garage and a privacy wall between 17 Mile Drive and the residence below.

I have reviewed the following plans to evaluate the impacts to the trees related to the construction of the driveway, garage and privacy wall:

- Architectural plans prepared by Carver + Schicketanz

Monterey cypress (*Cupressus macrocarpa*) as a species have a low tolerance to construction related impacts ( Matheny & Clark 1998). Monterey pine (*Pinus radiata*) as a species have a moderate tolerance to construction related impacts.

The attached inventory includes the size of the **Critical Root Zone**; this area is determined following the evaluation of tree condition and tolerances. This exclusionary zone is an area of root development that, if possible, is left undisturbed. This exclusion zone is not related to the extents of the foliar canopy (sometimes referred to as the “dripline”). The size of the canopy does not provide an indication of root development and cannot be perceived as a boundary when evaluating construction related impacts.

The **Critical Root Zone** method has been successfully utilized to define the “optimum” protection area for tree roots. It is based on the British Standards Institute (BSI) method developed in 1991. It uses ranges in trunk diameter, tree age and vigor to calculate the exclusionary zone. This method can be modified to include species tolerances and tree architecture.

In addition to the Critical Root Zone the attached inventory defines the level of cumulative impacts related to the proposed construction as **Low, Moderate or High**.

**Low** impacts are minimal, the optimum protection zone has been allowed.

**Moderate** impacts may impact the absorbing or structural root systems. Canopy modifications of more than 20% could be required. Special construction methods or pre-construction treatments will be recommended to reduce impacts to an acceptable level and eliminate the potential decline of the tree.

**High** impacts may require tree removal. If retained, special construction methods must be implemented, supplemental irrigation may be recommended and tree condition monitored.

The impacts to several trees growing adjacent to the proposed driveway have been rated as “high”. Due to the protected nature of the cypress trees on this property the trees will be retained and special construction methods employed (defined below). The use of alternative design/construction methods that eliminate excavation into the root zone will reduce the impacts from high to moderate.

## **RECOMMENDATIONS**

Ideally, the **Critical Root Zone** of retained trees would remain undisturbed during development, eliminating the opportunity for damage and the resulting decline of the trees. When encroachment into the zone becomes necessary alternative construction methods or pre-construction treatments are required.

**Tree Removal** will be a necessary component of this project. One dead pine, one small diameter pine and one small cypress are within the driveway or garage. If necessary, the cypress can be professionally relocated.

**Proper Root Pruning** has been recommended for trees adjacent to the driveway and walls. These trees are listed in the attached inventory. This process is completed by skilled labor under the supervision of the project arborist.

All roots (up to one inch in diameter) are properly pruned using appropriate tools (pruners, loppers or handsaw). Roots greater than one inch will be inspected and evaluated by the project arborist. If necessary, the root will be retained, wrapped in protective material (foam pipe wrap) and bridged.

**Special Construction Methods** will be required for areas of the driveway and privacy wall. The footings for the wall must be designed to span over tree roots, the grade beam supporting the wall must be placed above grade. No continuous excavation adjacent to the trees will be permitted.

The driveway section adjacent to the trees must span over the root zone for the distances listed in the attached inventory. As with the wall, no continuous excavation will be permitted.

Tree Resource Evaluation/Construction Impact Analysis

3224 17 Mile Drive

April 29, 2011

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**Driveway Demolition** must be completed using small equipment. The equipment will operate on the existing asphalt keeping clear of the exposed soil and tree roots.

**Protection Fencing and Barricades** will be erected in areas defined on the attached site plan. This is a simple and effective way to protect trees during construction. Fencing supported by posts in the ground surrounded by straw bales as a barricade creates both a physical and visual barrier between the trees, the construction workers and their equipment. When access into the protected areas becomes necessary, it will be reviewed by both the contractor and the project arborist.

**Monitoring** of the initial site clearing and excavation for walls and the driveway will be performed at least twice weekly to ensure compliance with the tree protection measures.

**Contractors** and sub contractors should be supplied with a copy of the attached Tree Preservation Specifications before entering the construction site.

Any questions regarding the trees on this development site or the content of this report can be directed to my office.

Respectfully submitted,

Maureen Hamb-WCISA Certified Arborist #2280

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
1	Monterey cypress	55.7	poor	poor	40	moderate	Large diameter dead branching, 10% live foliage. 15 feet from proposed wall/Protect with fencing and barricades
2	Monterey cypress	18.2	poor	poor	14	moderate	Tree is comprised of only 2 branches, 10 feet from proposed driveway/Protect with fencing and barricades
3	Monterey cypress	16.3	fair	fair	10	high	Low live crown ratio, 8 feet from proposed wall and driveway/Protect with fencing and barricades, proper root pruning will reduce impacts to moderate level.
4	Monterey cypress	13	fair	fair	7	high	Young tree with sparse foliage. Standing at edge of proposed wall and driveway/Proper root pruning during construction will reduce impacts to moderate level, protect with barricades.

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
5	Monterey cypress	12.4	fair	fair	6	high	Young tree with sparse foliage. 8 feet from proposed driveway/Proper root pruning during construction will reduce impacts to moderate level protect with barricades.
6	Monterey cypress	12.7	fair	fair	6	high	Young tree 4 feet from proposed driveway and wall/Proper root pruning during construction will reduce impacts to moderate level. Protect with barricades.
7	Monterey cypress	37.7 & 30.8	fair	fair	30	high	Large mature tree with two main stems that dived near grade. Structural defect visible at 30', dead lower branching. 8 feet from proposed driveway, 4 feet from wall/construct wall on piers to avoid impacts to large diameter structural roots, proper root pruning at edge of driveway. Implementation of alternative procedures will reduce impacts to moderate level. Protect with barricades.
8	Monterey cypress	10.5	fair	fair	5	high	Young, healthy tree at edge of proposed driveway/Proper root pruning during construction will reduce impacts to moderate level, protect with barricades.

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
9	Monterey cypress	7.5	fair	fair	5	moderate	young tree with suppressed canopy. 6 feet from proposed wall. Proper root pruning if necessary, protect with barricades.
10	Monterey cypress	15	fair	fair	8	high	Young tree with suppressed canopy. At edge of proposed driveway/Proper root pruning during construction. Protect with barricades.
11	Monterey cypress	13.2	fair	fair	7	high	Young tree with suppressed canopy. At edge of proposed driveway/Proper root pruning during construction will reduce impacts to moderate level. Protect with barricades.
12	Monterey cypress	13.7	good	fair	7	low	Young healthy tree, 20 feet from proposed driveway/Protect with fencing and barricades.

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
13	Monterey cypress	12.3 & 9.5	good	fair	8	moderate	Young tree with two main stems, 14 feet from proposed driveway/Protect with fencing and barricades.
14	Monterey cypress	9.8	fair	fair	5	moderate	Small tree with previous branch failure, 6 feet from driveway/Protect with barricades.
15	Monterey cypress	27.4	fair	good	15	high	Tall, mature tree with thinning canopy. Growing at edge of proposed driveway. If grade changes or excavation is necessary root system must be spanned in an area 6 feet on either side of trunk. Implementation of alternative construction methods will reduce impacts to moderate level. Protect with barricades
16	Monterey cypress	9.2	fair	fair	5	low	Young tree, 12 feet from proposed driveway/Protect with fencing and barricades

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
17	Monterey cypress	15.8	good	fair	7	low	Long branch extends 19 feet from trunk, over proposed driveway/Clearance pruning may be required, protect with fencing and barricades.
18	Monterey cypress	26.4	fair	good	15	moderate	Minor thinning, high symmetrical canopy, 12 feet from proposed driveway/Protect with fencing and barricades.
19	Monterey cypress	22.5	good	good	15	moderate	High symmetrical canopy, 6 feet from proposed driveway and wall/Construct wall on piers to span root system 6 feet on either side of trunk. Protect with barricades.
20	Monterey cypress	28.2	good	good	15	low	Healthy tree with symmetrical canopy, 16 feet from proposed driveway/Protect with fencing and barricades.

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
21	Monterey cypress	23.4	good	good	15	low	Healthy mature tree, slight lean in main trunk, 16 feet from proposed driveway/Protect with fencing and barricades.
22	Monterey cypress	58.8	fair	poor	43	low	Large mature tree with high canopy. Three large areas of decay at base that penetrate trunk to a depth of 2 feet. 25 feet from proposed driveway/Protect with fencing and barricades.
23	Monterey cypress	7.2 & 7	good	fair	5	low	Short tree with 2 stems, 16 feet from proposed driveway/Protect with fencing and barricades.
24	Monterey cypress	25 & 9	good	good	15	high	Long low branch extends approx 20 feet from trunk, healthy canopy. Growing at edge of driveway/Long low branch will require pruning, driveway must span root zone 6 feet either side of trunk. Implementaiton of alternative construction methods will reduce impacts to moderate level. Protect with barricades.

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
25	Monterey cypress	17.5	fair	fair	9	high	Minor thinning, 4 feet from proposed driveway/Driveway must span root zone, implementation of alternative construction methods will reduce impacts to moderate level, protect with barricades.
26	Monterey cypress	9	fair	fair	5	high	Tall, low live crown ratio (canopy concentrated at top of tree), at edge of proposed driveway/Driveway must span root zone, alternative construction methods will reduce impacts to moderate level. Protect with barricades.
27	Monterey cypress	16.2	fair	fair	8	moderate	Tall , low live crown ratio, 12 feet from proposed driveway/Protect with fencing and barricades.
28	Monterey cypress	15	good	good	8	high	Healthy tree with symmetrical canopy, growing between existing driveway and proposed wall/Proper root pruning if necessary-avoid damage to roots when existing asphalt is removed.

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
29	Monterey cypress	7	fair	fair	5	high	Single trunk, low live crown ratio, growing between existing driveway and proposed wall/Proper root pruning if necessary-avoid damage to roots when existing asphalt is removed.
30	Monterey cypress	14.4	good	good	7	high	Short tree with spreading canopy, growing between existing driveway and proposed wall/Proper root pruning if necessary-avoid damage to roots when existing asphalt is removed.
31	Monterey pine	8	poor	fair	4	high	Young pine, dieback and pitch exudation-early stages of pitch canker disease/Within proposed driveway. Remove and replace with one pine.
32	Monterey cypress	29.3	poor	poor	21	high	two main stems extend over existing driveway, both completely decayed and at risk of failure. 6 feet from proposed wall/If existing driveway remains in place removal is recommended due to risk of failure, if retained the wall must be installed on piers and span root system. Alternative construction methods will reduce impacts to moderate level. Protect with barricades.

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
33	Monterey cypress	5.2	good	good	5	moderate	Young, healthy tree at edge of existing driveway/Protect with fencing and barricades.
34	Monterey pine	5.8	fair	fair	5	moderate	young tree growing between proposed wall and existing driveway/Protect with fencing and barricades.
35	Monterey pine	17	fair	fair	9	high	Leaning structure, growing between proposed garage and wall/Proper root pruning during construction will reduce impacts to moderate level, protect with fencing and barricades.
36	Monterey pine	13.8	poor	poor	8	high	DEAD-Remove

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
37	Monterey cypress	7	poor	poor	5	high	Young tree with sparse foliage, within footprint of proposed garage, consider removal due to condition, if removal is not approved professionally relocate on site.
38	Monterey cypress	17	good	good	9	moderate	Short tree with wide spreading canopy, 6 feet from proposed wall/Protect with fencing and barricades, proper root pruning if necessary.
39	Monterey cypress	12	fair	fair	6	moderate	Thin foliar canopy, dead top-8 feet from proposed garage/Protect with fencing and barricade, proper root pruning if necessary.
40	Monterey cypress	24.8	good	good	12	moderate	Single trunk with symmetrical canopy, 8 feet from proposed garage/Proper root pruning during construction, protect with fencing and barricades.

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
41	Monterey cypress	21	fair	fair	11	low	2 stem divide at 7' above grade-16 feet from proposed garage/Protect with fencing and barricades.
42	Monterey cypress	14	fair	fair	7	low	Suppressed foliar canopy, leaning structure, 20 feet from proposed garage/Protect with fencing and barricades.
43	Monterey cypress	9	fair	fair	5	low	Sparse foliar development, 8 feet from proposed wall/Protect with fencing and barricades.
44	Monterey cypress	30.1	good	good	15	low	Mature tree with tall symmetrical canopy 16 feet from proposed wall/Protect with fencing and barricades.

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
45	Monterey pine	7.5	good	good	5	high	young healthy tree, 5 feet from proposed wall/Proper root pruning if necessary, protect with fencing and barricades.
46	Monterey cypress	31.1	good	good	15	moderate	Mature, single trunk with high symmetrical canopy-8 feet from proposed wall/Proper root pruning during construction, protect with fencing and barricades.
47	Monterey pine	13	fair	poor	7	low	Sparse foliar development, broken at top- 8 feet from proposed wall/Protect with fencing and barricades, root prune if necessary.
48	Monterey cypress	24.5	fair	fair	12	low	thinning upper canopy-40 feet from potential impacts/Protect with fencing and barricades.

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
49	Monterey cypress	15.5	good	good	8	low	short, health tree 25 feet from potential impacts/Protect with fencing and barricades.
50	Monterey cypress	20.5	good	good	10	low	Healthy tree with single trunk-40 feet from potential impacts/Protect with fencing and barricades.
51	Monterey cypress	52.2	fair	poor	39	low	Large, over mature tree, pockets of decay at base, decay cavity at 15' above grade. Large diameter dead branching in upper canopy/Requires safety pruning (removal of dead branching only). Thirty feet from potential impacts/Protect with fencing and barricades.
52	Monterey cypress	7.7	fair	fair	5	high	young tree with thin canopy, at edge of proposed wall/Proper root pruning, protect with barricades.

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
53	Monterey cypress	4.5	fair	fair	5	high	young tree with thin canopy, at edge of proposed wall/Proper root pruning, protect with barricades.
54	Monterey cypress	20.3 16.5 17.2	good	good	15	low	Healthy tree with 3 main stems/Outside construction area, protect with fencing and barricades.
55	Monterey cypress	24	good	fair	12	low	Failed in past, portion on the ground. Outside construction area/Protect with fencing and barricades.
56	Monterey cypress	17.3	good	fair	8	low	Area of decay at base, long weighted stem(23 feet). Outside construction area/Prop may be required to aid stability. Protect with fencing and barricades.

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
57	Monterey cypress	23.5	good	fair	12	low	Main trunk leans, large area of decay (4 feet ). Outside construction area/Protect with fencing and barricades.
58	Monterey cypress	12.9	good	good	6	low	Healthy tree with lean/Protect with fencing and barricades
59	Monterey cypress	17.2	good	good	9	low	Healthy tree with symmetrical canopy/Protect with fencing and barricades.
60	Monterey cypress	22.4	fair	fair	12	moderate	Healthy tree, 8 feet from proposed driveway/Proper root pruning during construction. Protect with fencing and barricades.

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
61	Monterey pine	35.5	good	good	18	moderate	Large mature tree with medium to large size dead branching. Infested with Red Turpentine Beetles. Six feet from proposed driveway./Proper root pruning during construction, protect with barricades.
62	Monterey cypress	17	good	good	10	moderate	Healthy tree, 14 feet from proposed driveway/Protect with fencing and barricades.
63	Monterey cypress	7.3	fair	fair	5	moderate	Young tree with sparse canopy-growing within a small grove. Eight feet from proposed driveway/Protect with barricades.
64	Monterey cypress	6.2	fair	fair	5	high	Young tree with sparse canopy-growing within a small grove. Eight feet from proposed driveway/Protect with barricades.

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
65	Monterey cypress	6.5	poor	poor	5	high	Large wound on trunk, sparse foliar development. Ten feet from proposed driveway/Protect with fencing and barricades.
66	Monterey cypress	19.5	good	poor	15	high	Growing within a few feet of existing residence, 8 feet from proposed driveway. Large (8') elliptical shaped wound on main stem, extensive decay. Tree is at risk of failure and removal application has been submitted.
67	Monterey cypress	10.8	fair	fair	5	high	sparse foliage, suppressed growth. Eight feet from proposed driveway/Protect with fencing and barricades.
68	Monterey cypress	23.4	good	poor	15	high	Growing adjacent to tree #66, several feet from existing residence. Large diameter elliptical shaped wound on main stem at 30 feet above grade. Wound is decayed and wood strength compromised. Tree is at risk of failure and removal application has been submitted.

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
69	Monterey cypress	34.2	good	good	18	high	Healthy tree with symmetrical canopy/Protect with fencing and barricades.
70	Monterey cypress	12.1	fair	fair	6	high	Minor dieback in upper canopy-6 feet from wall/Wall must be placed on piers with grade beam spanning natural grade. Alternative construction methods will reduce impacts to moderate level/Protect with barricades.
71	Monterey cypress	14.3	poor	poor	10	high	DEAD
72	Monterey cypress	17.1	fair	fair	8	high	Low live crown ratio, 6 feet from proposed wall/Wall must be placed on piers with grade beam spanning natural grade. Alternative construction methods will reduce impacts to moderate level/Protect with barricades.

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
73	Monterey cypress	14.3	fair	fair	7	high	Low live crown ratio, sparse foliar development 4 feet from proposed wall/Proper root pruning during construction will reduce impacts to moderate level, protect with barricades.
74	Monterey cypress	19.5	fair	fair	10	high	Suppressed canopy 8 feet from proposed wall/Proper root pruning during construction will reduce impacts to moderate level, protect with barricades.
75	Monterey cypress	49	poor	poor	36	moderate	14 feet from proposed wall/Proper root pruning, protect with barricades.
76	Monterey cypress	22.5	fair	fair	13	high	Two main stems, one laying on ground. Six feet from proposed wall/Proper root pruning during construction will reduce impacts to moderate level, protect with fencing and barricades.

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
77	Monterey cypress	4.8	fair	fair	5	high	Young tree adjacent to proposed wall/Protect with barricades.
78	Monterey cypress	7.2	fair	fair	5	high	Young tree adjacent to proposed wall/Protect with barricades.
79	Monterey cypress	33.5	fair	fair	18	low	Growing between 17 Mile Drive and proposed wall/Protect with barricades.
80	Monterey cypress	22.1	fair	fair	13	low	Growing between 17 Mile Drive and proposed wall/Protect with barricades.

Tree #	Species	Diameter	Health	Structure	CRZ	Potential Impact: Low Moderate High	Comments/Recommendations
81	Monterey cypress	37.8	poor	poor	28	low	Growing between 17 Mile Drive and proposed wall/Protect with barricades.

## **TREE PRESERVATION SPECIFICATIONS**

**Contractors and sub contractors should be aware of and provided copies of the tree protection guidelines and restrictions before entering the site. Contracts should incorporate tree protection language that includes “damage to protected trees will be appraised using the Guide to Plant Appraisal 9th Edition and monetary fines assessed”.**

### **Establishment of a tree preservation zone (TPZ)**

Fencing shall be installed in areas defined on the attached map. Fencing will be installed prior to equipment staging or site disturbance. Fencing placement will be inspected by the project arborist.

### **Straw Bale Barricades**

Straw bales placed end to end will be installed inside the protection fencing as shown in the photo below. This barricade will limit damage to the fencing and prevent grading spoils from encroaching into the critical root zone area and help stop excess moisture from gathering under the retained trees.



### **Restrictions within the TPZ of existing trees**

No storage of construction materials, debris, or excess soil will be allowed within the TPZ. Parking of vehicles or construction equipment will be allowed in defined areas only. Solvents or liquids of any type should be disposed of properly, never within this protected area.

### **Minimize soil compaction on the construction site**

Protect the soil surface with a deep layer (at least three inches) of mulch (tree chips). The addition of mulch will reduce compaction, retain moisture, and stabilize soil temperature. Areas where equipment and personnel are concentrated will be mulched to a depth of at least six inches.

### **Alteration of grade**

Maintain the natural grade around trees. No additional fill or excavation will be permitted within the critical root zone. If trees roots are unearthed during the construction process the consulting arborist will be notified immediately. Exposed roots will be covered with moistened burlap until a determination is made by the project arborist.

### **Trenching requirements**

Any areas of proposed trenching will be evaluated with the consulting arborist and the contractor prior to construction. All trenching on this site will be approved by the project arborist. Tree roots encountered will be avoided or properly pruned under the guidance of the consulting arborist.

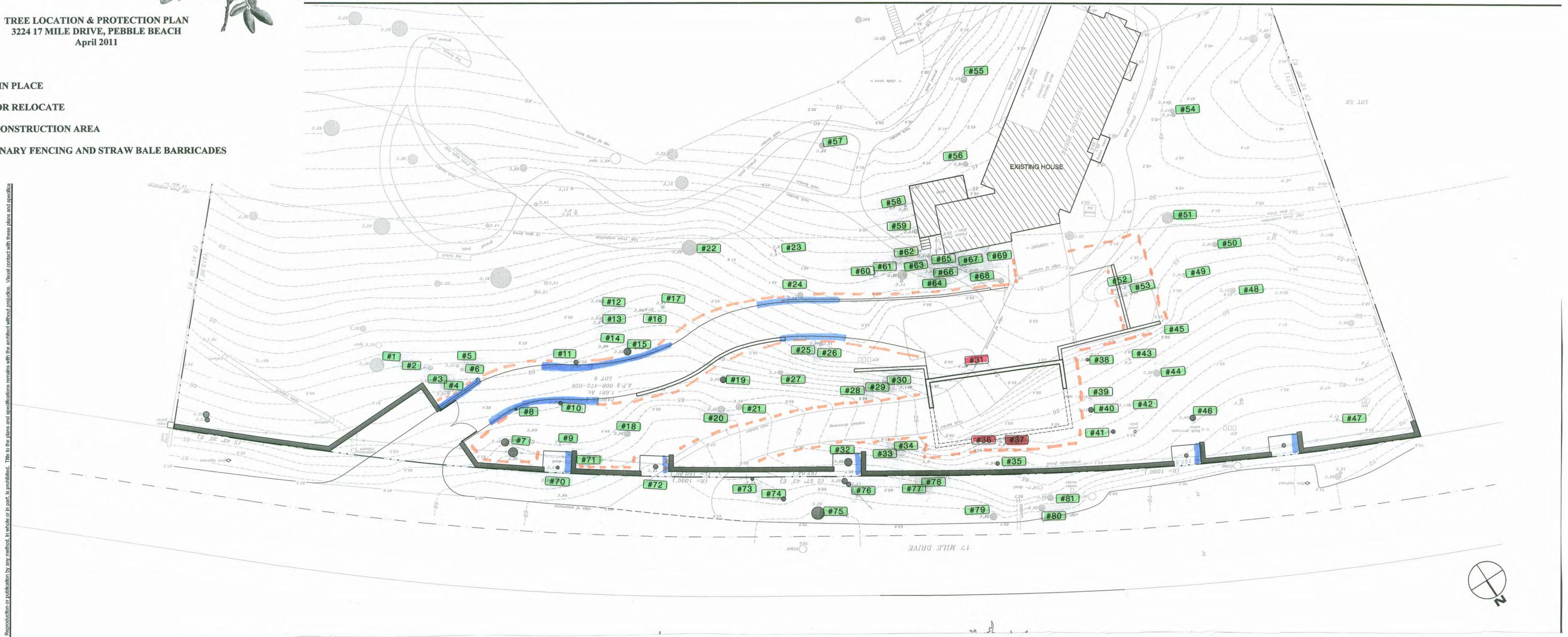
### **Tree canopy alterations**

Unauthorized pruning of any tree on this site will not be allowed. If any tree canopy encroaches on the building site the required pruning will be done on the authority of the consulting arborist and to ISA pruning guidelines and ANSI A-300 pruning standards.



**TREE LOCATION & PROTECTION PLAN**  
3224 17 MILE DRIVE, PEBBLE BEACH  
April 2011

- █ PROTECT IN PLACE
- █ REMOVE OR RELOCATE
- █ SPECIAL CONSTRUCTION AREA
- █ EXCLUSIONARY FENCING AND STRAW BALE BARRICADES



Reproduction or publication by any method, in whole or in part, is prohibited. This to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications is required for construction.

ATTACHMENT 4

**GEOTECHNICAL INVESTIGATION**

For

**PROPOSED NEW DRIVEWAY ALIGNMENT, SITE WALL AND DETACHED 4-CAR GARAGE  
LUNDQUIST PROPERTY  
3224 17-Mile Drive  
Pebble Beach, California  
APN 008-472-006**

Prepared For

**MR. AND MRS. LUNDQUIST**

In care of

**Carver + Schicketanz Architects**

Prepared By

**HARO, KASUNICH AND ASSOCIATES, INC.**

**Geotechnical & Coastal Engineers**

**Project No. M10146**

**May 2011**

Project No. M10146  
18 May 2011

Richard and Melanie Lundquist  
c/o Carver + Schicketanz Architects  
P.O. Box 2684  
Carmel, California 93921

Subject: Geotechnical Investigation

Reference: Proposed New Driveway, Detached 4-Car Garage and Privacy Wall  
3224 Seventeen Mile Drive  
Pebble Beach, California  
APN 008-472-006

In accordance with your authorization, we have performed a Geotechnical Investigation for the referenced project in Pebble Beach, California.

In summary, the site appears compatible with the proposed driveway, privacy wall and 4-car detached garage. Typical grading recommendations, conventional foundations for the garage and drainage recommendations are anticipated for this project. Where the privacy wall is positioned on the outboard fill slope that supports the road bed of 17-Mile Drive, footings will have to be deepened or piered to penetrate the fill and embed in firm native soil. The alignment may have to be adjusted to avoid existing underground utilities. Refer to the contents of this report for details.

We are available for consultation during the design stage on a time and materials basis, should you have any questions.

Prior to submittal to the County or prospective bidding contractors, we must review the project civil, drainage, structural and architectural plans to check if the geotechnical recommendations have been properly interpreted and implemented in design of the plans.

We must also observe and test earthwork and excavations during construction for compliance to our recommendations. Refer to the Grading Section of this report for scheduling.

The five accompanying report copies present our conclusions and recommendations, as well as the results of the geotechnical investigation on which they are based.

Richard and Melanie Lunquist  
Project No. M10146  
3224 Seventeen Mile Drive  
18 May 2011  
Page 2

If you have any questions concerning the data or conclusions or recommendations presented in this report, please call our office.

Respectfully Submitted,

**HARO, KASUNICH & ASSOCIATES, INC.**

Vicki Odello  
C.E. 52651

VO/vo

Copies: 5 to Addressee

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## **GEOTECHNICAL INVESTIGATION**

### **Introduction**

This report summarizes the findings, and presents the conclusions and recommendations from our geotechnical investigation for a privacy wall, new driveway alignment and detached 4-car garage located at 3224 17-Mile Drive, Pebble Beach, California. Refer to Site Vicinity Map (Figure No. 1) attached to this report.

During our investigation we referenced a proposed site plan by Carver + Schicketanz Architects showing existing topography and structures dated 28 April 2011. Our Boring Site Plan (see Figure 2) is based a copy of the site plan.

As the project plans have not been finalized, some of the recommendations presented in this report are general in nature. We should be provided an opportunity to review project plans once they have been developed to verify that the intent of our geotechnical recommendations have been met.

### **Purpose and Scope**

The purpose of our investigation was to explore and evaluate subsurface conditions at the site and to provide geotechnical criteria and recommendations for design and construction of the proposed project. The specific scope of our services was as follows:

1. Review data in our files pertinent to the site.
2. Explore the subsurface conditions at the site with ten hand augered exploratory borings drilled to depths of up to 7.5 feet.
3. Field and laboratory testing of selected soil samples to determine their pertinent engineering properties.
4. Analyze the resulting data to develop geotechnical design criteria for building foundations, retaining walls, slabs-on-grade, general site grading and drainage.
5. Analysis consistency with Appendix G CEQA check list relating to geotechnical issues (see Appendix B)
6. Present the results of our investigation in this report.

### **Site Location and Conditions**

The property is located at 3224 17-Mile Drive in Pebble Beach, California (refer to Figure No.1). The site is located on the west side of the road on a gentle west-facing slope that leads to the coastal bluff and Pacific Ocean. The east property line generally runs along the supporting fill embankment of the west side of 17-Mile drive. The site is developed with a single-family-residence and associated improvements. There is a small gravel-surfaced fill embankment near the existing garage to provide a level parking pad. The fill embankment is about 3 feet high. There are several existing underground utilities in the vicinity of the privacy wall alignment. Existing drainage

improvements include culverts and a drainage swale that discharge collected runoff from 17-Mile drive through the existing site fence onto the property. The culvert continues as an open channel through the property and discharges over the coastal bluff to the granite shelf below. Natural drainage consists of overland flow through the proposed developments.

The site is underlain by weathered decomposed granite with occasional outcroppings of granite on the site.

There were no signs of the potential for soil or slope instability, movement, creep or erosion in the project area. The gentle to moderate slopes appeared stable.

Vegetation at the site consists of occasional plantings and cypress trees.

### **Project Description**

Based on the preliminary plan by Carver + Schicketanz Architects dated 29 April 2011, the project consists of privacy wall, new driveway alignment and detached 4-car garage. The privacy wall will roughly replace the existing privacy fence. The alignment of the new wall is on or very near the toe of the supporting fill wedge of the west side of 17-Mile Drive. The new driveway alignment is about 200 feet in length and will commence just south of the existing entrance; cross the property with cross slopes of about 20

percent; and include a small amount of cut and fill on the order of 4 feet. The one-story 4-car garage will be buried and cut into a moderately sloping hillside. Drainage improvements will include provisions (e.g. culverts, swales and drain inlets) to accommodate anticipated street runoff that will collect on the base of the new privacy wall and other typical mitigations. We assume existing drainage improvements (e.g. culverts) will be continued or updated.

### **Field Exploration**

Subsurface conditions were explored on 9, 10 and 13 May 2011 by drilling a total of ten hand augured exploratory borings to depths of up to 7.5 feet. The borings were advanced with 3-inch diameter hand auger equipment.

Representative soil samples were obtained from the exploratory borings at selected depths, or at major strata changes. These samples were bagged or recovered using a hand driven 2.0 inch O.D. sampler (M). The soils encountered in the borings were continuously logged in the field and described in accordance with the Unified Soil Classification System (ASTM D2488, Visual-Manual Proceeding). The Logs of Test Borings are included in the Appendix of this report. The logs depict subsurface conditions at the approximate locations shown on the Site Plan.

Subsurface conditions at other locations may differ from those encountered at the explored locations. Stratification lines shown on the logs represent the approximate boundaries between soil types. The actual transitions may be gradual.

### **Laboratory Testing**

Soil samples obtained from the borings at selected depths were taken to our laboratory for further examination and laboratory testing. The laboratory testing program was directed toward determining pertinent engineering properties of soil underlying the project site.

Natural moisture contents and dry densities were determined on selected samples and are recorded on the boring logs at the appropriate depths. Since water has a significant influence on soil, the natural moisture content provides a rough indicator of the soil's compressibility, strength, and potential expansion characteristics.

The strength parameters of the underlying earth materials were determined from hand auger resistance of the in-situ soil and on a laboratory direct shear test.

Atterberg limits and hydrometer tests were performed to characterize the expansive potential of selected samples.

The results of the laboratory testing appear on the "Logs of Test Boring" opposite the sample tested.

### **Subsurface Conditions**

Based on our field boring locations, the general soil profile in the vicinity of the proposed garage consists of about 2.5 feet of loose, sandy organic topsoil over medium dense sand or dense weathered decomposed granitic rock. There was about 1½ feet of fill on the gravel surfaced parking pad north of the existing garage. In the vicinity of the proposed driveway the general soil profile consists of up to about 3 feet of fill (at the southern gravel surfaced parking pad) and about 1½ feet of loose topsoil over hard d.g. or moderately expansive clay. In the vicinity of the privacy wall the general profile consists of up to 2½ feet of fill and 2½ feet of loose topsoil over clay or hard d.g. The degree of weathering of the decomposed granite varied across the site. Outcrops of weathered granite appear occasionally on the site. Fill was encountered in Borings 3, 7, 8 and 10. Refer to attached Boring Logs.

The granitic bedrock material, rather than the topsoil, clay or sand provides good support of the proposed structures and flatwork.

Water collected in the bottom of Boring B-1 (7.5 feet) in the garage area. It should be noted that groundwater levels might fluctuate due to variations in rainfall or other factors

not evident during our investigation. If groundwater is encountered in the course of construction, additional recommendations may be necessary.

### **Seismicity**

Detailed studies of seismicity, faulting and other geologic hazards are beyond the scope of this study.

It is highly probable that a major earthquake will occur in northern California during the next 50 years. During a major earthquake epicentered nearby, there is a potential for ground shaking at this site. Structures designed in accordance with the most current CBC should react well to seismic shaking.

Based our observations of the subsurface soil conditions, we have classified the site soil profile as Site Class  $S_c$  as defined in Table 1613.5.2 of the CBC 2010.

## CONCLUSIONS

Based on the results of our investigation, the proposed development is feasible from a geotechnical standpoint, provided the design criteria and recommendations presented in this report are incorporated into the design and construction of the project.

Geotechnical considerations at the proposed site include proper drainage control; providing firm, uniform bearing support for foundations, providing adequate lateral support for foundations on slopes, avoidance of loose soil layers, wet and expansive clay layers, and the potential for seismic shaking.

Based on our 10 exploratory holes drilled throughout the project and our observations the site slopes are composed of decomposed granite and are stable.

The potential for liquefaction or liquefaction induced distress is nil due to the bedrock nature of the site.

Anticipated total and differential settlement is expected to be approximately 1 inch for both.

## DISCUSSION AND RECOMMENDATIONS

Privacy Wall: Anticipate runoff that will collect against the base of the proposed privacy wall and provide adequate provisions for its removal. The foundation for the wall should be deepened or piered (especially near B-10) to penetrate the outboard fill wedge of 17-Mile Drive and buried loose topsoil horizon and any perched water. Also the wall foundation should be deepened to gain lateral capacity to accommodate the sloping grade. Care must be taken to not undermine the 17-Mile Drive fill wedge. Review the proposed privacy wall alignment to ensure it does not encroach into the existing underground utilities and adjust as necessary. Maintain or upgrade culverts and drainage swales the currently pass beneath the fence.

Driveway: Grading may expose seeps in the cuts which should be accommodated with adequate drainage provisions. Rock outcrops may be encountered and may be more difficult to excavate. Where the new driveway alignment encroaches on the old fill parking pad embankments, the fill must be removed and replaced to designed grade. Where rough grading exposes undesirable soil (clay, topsoil, fill, loose or wet material) the undesirable material must be removed and replaced with engineered fill. Foundations for the driveway walls must penetrate undesirable soil and embed in firm material.

Garage: The native dense decomposed granite encountered below the loose topsoil (rather than the topsoil itself) provides excellent support of foundations for the proposed structures. Where grading does not remove the loose topsoil, footings should be deepened to penetrate the loose soil and embed in the bedrock beneath. If topsoil or undesirable soil (clay, topsoil, fill, loose or wet material) is encountered under slabs and flatwork, it should be removed and replaced with engineered fill. Any seeps encountered should be controlled by the retaining wall back drain. The slab subgrade should include a drain manifold should seepage collect under the slab.

Proper roof, surface and subsurface drainage and erosion control is recommended throughout the project. Refer to the Drainage Section of this report.

As requested, refer to Appendix B for CEQA Selected Checklist Items.

The following recommendations should be used as guidelines for preparing project plans and specifications.

### **Plan Review Notice**

Haro, Kasunich & Associates should be provided an opportunity to review the project plans during the design phase prior to County submittal, cost estimating and construction. The review provides an opportunity to check if our recommendations

have been interpreted properly, which could reduce possible confusion and costly changes and time delays during construction. Please contact our office:

**Haro, Kasunich and Associates, Inc.**  
**116 E. Lake Avenue**  
**Watsonville, Ca 95076**  
**831-722-4175**

**Construction Observation Notice**

Haro, Kasunich and Associates should provide observation and testing services for earthwork performed at the project site. The observation and testing of earthwork allows for evaluation of contractors' compliance with our geotechnical recommendations. It also allows us the opportunity to confirm that actual soil conditions encountered during construction are essentially the same as those anticipated based on the subsurface exploration. Unusual or unforeseen soil conditions may require supplemental evaluation by the geotechnical engineer.

The County of Monterey usually requires a final grading and/or foundation compliance letter. We can only offer this letter if we are called to the site to observe and test, as necessary, any grading and excavation operations **from the start of construction**. We cannot prepare a letter if we are not afforded the opportunity of observation from the **beginning of the grading operation**. The contractor must be made aware of this and earthwork testing and observation must be scheduled accordingly. Please contact our office:

**Haro, Kasunich and Associates, Inc.**  
**116 E. Lake Avenue**  
**Watsonville, Ca 95076**  
**831-722-4175**

**Site Grading**

1. The geotechnical engineer should be notified **at least four (4) working days prior to any grading or foundation excavating** so the work in the field can be coordinated with the grading contractor, and arrangements for testing and observation can be made. The recommendations of this report are based on the assumption that the geotechnical engineer will perform the required testing and observation during grading and construction. It is the owner's responsibility to make the necessary arrangements for these required services.
  
2. If grading is performed in a wet condition, compaction may be difficult, pumping or bringing the water to the surface may occur. It may be necessary to over-excavate the subgrade soil and replace with crushed rock to stabilize.
  
3. Where referenced in this report, Percent Relative Compaction and Optimum Moisture Content shall be based on ASTM Test Designation D1557-09.
  
4. The dense d.g. (rather than the topsoil) provides good support of the proposed driveway, slabs and flatwork. If topsoil or other undesirable material (clay, wet, loose or

old fill) is encountered, it should be removed and replaced with engineered fill under flatwork.

5. Engineered fill that supports slabs, pavements and flatwork should extend at least 1 foot beyond the perimeter, in all directions.

6. Areas to be graded should be cleared of all obstructions, including trees not designated to remain and other unsuitable material. Existing depressions or voids created during site clearing should be backfilled with engineered fill.

7. Cleared areas should then be stripped of organic-laden topsoil. Strippings should be wasted off-site or stockpiled for use in landscaped areas if desired.

8. Stripped areas should be cut to desired grades.

9. Slabs should be supported on at least 6 inches of angular, granular material. Any exposed undesirable or loose soil exposed beneath proposed flatwork and granular layer should be removed and replaced with an engineered fill.

10. Areas to receive engineered fill should be scarified 6 inches, moisture conditioned and compacted to 90 percent relative compaction. Engineered fill should be placed in

thin lifts not exceeding 6 inches in loose thickness, moisture conditioned, and compacted to a minimum of 90 percent relative compaction.

11. The upper 6 inches of subgrade and aggregate base sections below pavements should be moisture conditioned should be compacted to at least 95 percent relative compaction. Refer to pavement section of this report.

12. The on-site non-clayey soil generated from the site is suitable for use as engineered fill. Imported fill should be free of non-expansive, organic material, and contain no rocks or clods greater than 6 inches in diameter, with no more than 15 percent larger than 4 inches. Imported soil should also have a Plasticity Index (P.I.) less than 15.

13. Fill slopes should be inclined no steeper than 2:1 (horizontal to vertical) for heights up to 8 feet. Fills situated on slopes of 20% to 50% in gradient should be drained, keyed and benched into firm native material. All keys and benches should be drained. Fills should not be situated on slopes steeper than 50%, in gradient. Cut and fill slopes should be protected from erosion by intercepting runoff from spilling over fresh slopes. Lined V-ditches and/or berms may be considered.

14. Cut slopes in rock may be inclined at a 1.5:1 (H:V) slope for heights up to 10 feet and 1:1 for heights up to 5 feet. Slopes exposing soil should be cut at 2:1 (H:V).

15. The contractor should be aware that slope height inclination, or excavation depths (including utility trench excavations) should in no case exceed those specified in local, state or federal safety regulations, i.e. OSHA Health and Safety Standards for Excavations, 29 CFR Part 1926, or successor regulations.

16. Following grading, exposed bare slopes and soil should be planted or covered as soon as possible with erosion resistant vegetation or blanket.

17. After the earthwork operations have been completed and the geotechnical engineer has finished his observation of the work, no further earthwork operations shall be performed except with the approval of and under the observation of the geotechnical engineer.

### **Spread Footing Foundation System**

18. The garage and site walls that are positioned on level ground may be supported on conventional spread footings founded entirely in firm native d.g. encountered beneath the topsoil. However, where the privacy wall is situated on the sloping supporting fill

wedge of 17 Mile Drive, the footings must be deepened or pierced to penetrate the fill, buried loose topsoil and perched water and gain adequate lateral support.

19. Where grading does not remove topsoil and/or loose soil, footings should be deepened to penetrate loose soil and embed into firm native d.g.

20. Where structures are situated on or near steep slopes for proper hillside lateral confinement, there should be a horizontal distance of at least 15 feet between the base of all foundation elements and the surface of adjacent native slopes. Depending on steepness of adjacent hillsides, piers may be used rather than deepened footings.

21. Spread footings should be deepened to penetrate all undesirable material and be embedded a minimum of 12 inches (as measured from the lowest adjacent grade) into firm native d.g. Footings will be deeper where situated on slopes; in fill or undesirable soils or perched water.

22. Where footing depths exceed about 4 feet, structurally designed drilled piers in association with grade beams may be more economical.

23. Foundations should have horizontal bases and be stepped where situated on sloping ground.

24. The foundation trenches must be kept thoroughly moist and be thoroughly cleaned of all slough or loose material prior to pouring concrete.

25. Footings located adjacent to other footings or utility trenches should have their bearing surfaces founded below a 1.5:1 line projected upward from the bottom edge of the adjacent footings or utility trenches.

26. Foundations designed in accordance with the above may be designed for an allowable soil bearing pressure of 3,000 in firm native d.g. for dead plus live loads. This value may be increased by one-third to include short-term seismic and wind loads.

27. Lateral load resistance for structures supported on spread footings may be developed in friction between the foundation bottom and the supporting subgrade. Friction coefficients of 0.35 are considered applicable. Alternately, where shallow footings are poured neat against firm native d.g., a passive resistance equivalent to a fluid weighing 300 pcf may be used.

28. All footings should be reinforced in accordance with applicable UBC and/or ACI standards, however, we recommend the footings contain a minimum steel reinforcement of four (4) No. 4 bars; i.e., two near the top and two near the bottom of the footing.

29. The footing excavations should be **thoroughly cleaned and observed by the geotechnical engineer prior to placing forms and steel**, to verify subsurface soil conditions are consistent with the anticipated soil conditions so that the county required foundation excavation conformance letter can be prepared.

30. Prior to pouring concrete excavations should be thoroughly moisture conditioned so that the soil is allowed to absorb the water.

#### **Pier and Grade Beam Foundation System**

31. Pier and grade beam foundations should be used where structures are situated on or over sloping ground where deepened footings are less feasible.

32. A resisting lateral earth passive pressure of 300 pcf may be assumed to act on 2 times the pier diameter for that portion of the pier embedded greater than 4 feet deep and embedded in dense d.g. The total passive force increases with depth to a maximum limit equivalent to 6 feet.

33. The piers should penetrate loose soil, fill and perched water and embed a minimum of 2 feet into dense native d.g.

34. The concrete piers should be a minimum of 12 inches in diameter and vertically reinforced the full length with at least two #4 bars. The vertical reinforcement should be tied to the upper grade beam reinforcement. The structural designer should determine actual reinforcement.

35. Piers designed in accordance with the above may be designed for an allowable end bearing capacity of 3,000 psf plus a one-third increase for short term wind and seismic loads.

36. There should be a horizontal distance of at least 15 feet between the bottom of piers and the surface of adjacent slope.

37. The geotechnical engineer should be present during pier drilling to verify anticipated subsurface conditions and verifying adequate pier depths. **Prior to placing steel and concrete**, all pier excavations should be thoroughly cleaned and observed by the geotechnical engineer.

38. Prior to pouring concrete excavations should be thoroughly moisture conditioned so that the soil is allowed to absorb the water.

### Retaining Wall Lateral Pressures

39. Foundations for retaining walls should follow the criteria in the foundation section of this report.

40. Retaining walls should be designed to resist both lateral earth pressures and any additional surcharge loads. For design of retaining walls up to 12 feet high and fully drained, the following design criteria may be used:

- A. Active earth pressure for walls **allowed to yield** is that exerted by an equivalent fluid weighing 35 pcf for a level backslope gradient; and 50 pcf for a 2:1 (horizontal to vertical) backslope gradient. This assumes a fully drained condition.
- B. Where walls are restrained from moving at the top, design for a uniform rectangular distribution equivalent to 25 H psf per foot for a level backslope, and 35 H psf per foot for a 2:1 backslope, where H is the height of the wall.
- C. In addition, the walls should be designed for any adjacent live or dead loads that exert a force on the wall.
- D. To account for seismic loading, a horizontal line load surcharge equal to  $10H^2$  pounds per linear foot of wall may be assumed to act at 0.6H above the base of the wall (where H is the height of the wall).

- E. A coefficient of friction between base of foundation and native d.g. of 0.35 may be used. Alternatively, where footings are poured neat against firm native material, a passive resistance equivalent to a fluid weighing 300 pcf may be used. If founded on piers, see criteria in pier and grade beam foundation system.
- F. The above lateral pressure values assume that the walls are fully drained to prevent hydrostatic pressure behind the walls. Drainage materials behind the wall should consist of Class 1, Type A permeable material complying with Section 68 of Caltrans Standard Specifications, latest edition, or approved equivalent.
- G. The drainage material should be at least 12 inches thick and extend from the base of the wall to within 12 inches of the top of the backfill.
- H. Wall backdrains should be capped at the surface with clayey material to prevent infiltration of surface runoff into the backdrains. A layer of filter fabric (Mirafi 140N or equivalent) should separate the subdrain material from the overlying soil cap.
- I. Retaining walls that act as interior house walls should be **thoroughly** waterproofed their full height especially at the cold joint at the base of the wall.
- J. The base of the gravel column should be made impermeable. The heel of the foundation should be cupped and water proofed to allow water to build

up and enter drain pipe. A perforated rigid drain pipe should be placed (holes down) about 4 inches above the cupped heel of the wall and be tied to a suitable solid rigid drain outlet. The cold joint at the heel should be plugged with a wedge of concrete or poured with rubber gasket type plug.

- K. We defer moisture proofing and water proofing recommendations to interior wall and floor covering manufacturer's suggested specifications and/or a moisture/water-proofing expert.

### **Concrete Slabs-on-Grade**

41. Building floor slabs and exterior slabs should not be supported on expansive or loose topsoil. They should be supported on a minimum of 6 inches of angular, granular material over subgrades of firm native. Soil subgrades should be prepared as recommended in the section entitled "Site Grading".

42. Loose, wet or expansive soil exposed under flatwork should be removed and replaced with engineered fill (and 1 foot beyond for exterior flatwork and pavements).

43. Slab reinforcing should be provided in accordance with the anticipated use and loading of the slab, however we recommend a minimum reinforcement of #3 bars spaced 16 inches on-center in both directions. The steel reinforcement should be held

firmly in the vertical center of the slab during placement and finishing of the concrete with pre-cast concrete dobies.

44. Where floor dampness must be minimized or where floor coverings will be installed, concrete slabs-on-grade should be constructed on a capillary break layer at least 6 inches thick and covered with a membrane vapor barrier. Capillary break material should be free draining, clean gravel or rock, such as 3/4-inch gravel. The gravel should be washed to remove fines and dust prior to placement on the slab subgrade. The vapor barrier should be a high quality membrane, such as Moistop by Fortifiber Corporation. A layer of sand about 2 inches thick should be placed between the vapor barrier and the floor slab to protect the membrane and to aid in curing concrete. The sand should be lightly moistened prior to placing concrete. We defer moisture proofing recommendations to floor covering manufacturer's suggested specifications and/or a moisture proofing expert.

45. The slab subgrade should be graded at a 2% slope and fitted with a drain pipe manifold system to remove potential seepage collection form under the slab. There should be a minimum of 12 inches of gravel cover over the pipes. This may be accommodated with trenching.

46. Exterior slab reinforcement should **not** be tied to the building foundations.

47. Slabs can be expected to suffer some cracking and movement. However, thickened exterior edges, a well-prepared subgrade including pre-moistening prior to pouring concrete, adequately spaced expansion and control joints and good workmanship should minimize cracking and movement.

### **Site Drainage**

48. Water runoff must not be allowed to pond adjacent to the privacy wall foundation. Provisions, such as a concrete swale must be made for its immediate removal.

49. Surface naturally flows downhill through the proposed building envelope. Drainage improvements should include provisions to intercept surface water from infiltrating toward new improvements including garage, walls, flatwork and cut/fill grading.

50. Surface drainage improvements may consist of lined v-ditches or surface swales situated upslope from improvements and drain inlets in association with a solid storm drain system.

51. Surface drainage should include provisions for positive gradients so that surface runoff is not permitted to pond adjacent to foundations, flatwork and pavements. Surface drainage should be directed away from the building foundations, flatwork and roads.

52. Runoff must not be allowed to spill over graded slopes or off roadways. Water should be directed to a drain inlet connected to drainage system.

53. Rain gutters should be placed around roof eaves. Discharge from the roof gutters should be conveyed away from the downspouts by solid pipe and dispersed into energy dissipaters located downslope from structures in a way so as not to cause erosion.

54. Collected water may be discharged downslope from improvements in a way so as not to induce erosion. Do not discharge collected water at the top of the coastal bluff. Take water down to the granite shelf where the material is less erodible.

55. The migration of water or spread of extensive root systems below foundations, slabs, or pavements may cause undesirable differential movements and subsequent damage to these structures. Landscaping should be planned accordingly.

56. Basically all cuts are retained and any seeps will be intercepted by the back drain of proposed retaining walls. Where cuts (e.g. along the new driveway) expose seepage other than at retaining wall locations then provisions must be made for its control and discharge in a way so as not to cause erosion.

### **Utility Trenches**

57. Trenches must be properly shored and braced during construction or laid back at an appropriate angle to prevent sloughing and caving at sidewalls. The project plans and specifications should direct the attention of the contractor to all CAL OSHA and local safety requirements and codes dealing with excavations and trenches.

58. Utility trenches that are parallel to the sides of buildings should be placed so that they do not extend below an imaginary line sloping down and away at a 1.5:1 (horizontal to vertical) slope from the bottom outside edge of all footings. The structural design professional should coordinate this requirement with the utility layout plans for the project.

59. Trenches should be backfilled with granular-type material and uniformly compacted by mechanical means to the relative compaction as required by county specifications, but not less than 95 percent under paved areas and 90 percent elsewhere. The relative compaction will be based on the maximum dry density obtained from a laboratory compaction curve run in accordance with ASTM Procedure #01557 -91.

60. We strongly recommend placing a concrete plug in the trench where it passes under foundation lines. Care should be taken not to damage utility lines.

61. Trenches should be capped with about 1½ feet of relatively impermeable soil.

**Erosion Control**

62. All bare soil and cut and fill slopes should be seeded and mulched immediately after grading with barley, rye, grass and crimson clover or otherwise provided with erosion control measures.

63. Design and construction development timeframe should follow Monterey County Erosion Control Ordinances.

**Plan Review, Construction Observation and Testing**

64. Haro, Kasunich and Associates should be provided an opportunity to review project plans prior to construction to evaluate if our recommendations have been properly interpreted and implemented. We should also provide foundation excavation observations and earthwork observations and testing during construction. This allows us to confirm anticipated soil conditions and evaluate conformance with our recommendations and project plans. If we do not review the plans and provide observation and testing services during the earthwork phase of the project, we assume no responsibility for misinterpretation of our recommendations.

## LIMITATIONS AND UNIFORMITY OF CONDITIONS

1. The recommendations of this report are based upon the assumption that the soil conditions do not deviate from those disclosed in the borings. If any variations or undesirable conditions are encountered during construction, or if the proposed construction will differ from that planned at the time, our firm should be notified so that supplemental recommendations can be given.
2. This report is issued with the understanding that it is the responsibility of the owner, or his representative, to ensure that the information and recommendations contained herein are called to the attention of the Architects and Engineers for the project and incorporated into the plans, and that the necessary steps are taken to ensure that the Contractors and Subcontractors carry out such recommendations in the field. The conclusions and recommendations contained herein are professional opinions derived in accordance with current standards of professional practice. No other warranty expressed or implied is made.
3. The findings of this report are valid as of the present date. However, changes in the conditions of a property can occur with the passage of time, whether they be due to natural processes or to the works of man, on this or adjacent properties. In addition, changes in applicable or appropriate standards occur whether they result from legislation or the broadening of knowledge. Accordingly, the findings of this report may be invalidated, wholly or partially, by changes outside our control. Therefore, this report should not be relied upon after a period of three years without being reviewed by a geotechnical engineer.

**APPENDIX A**

**Site Vicinity Map**

**Boring Site Plan**

**Key to Logs**

**Logs of Test Borings**

**Plasticity Chart Tests**

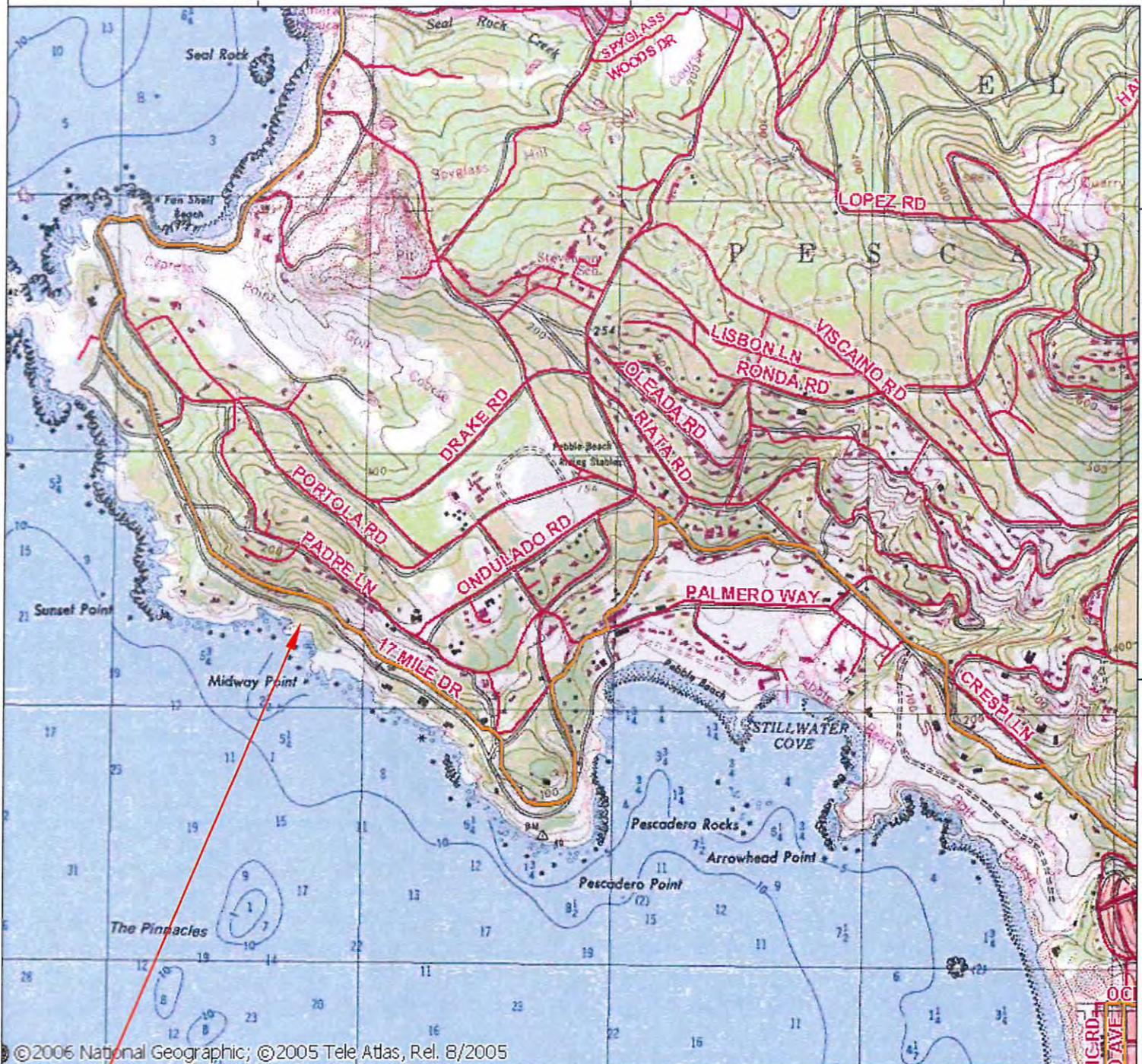
**Direct Shear Test Results**

**Grain Size Distribution Chart**

121°58.000' W

121°57.000' W

WGS84 121°56.000' W



36°35.000' N

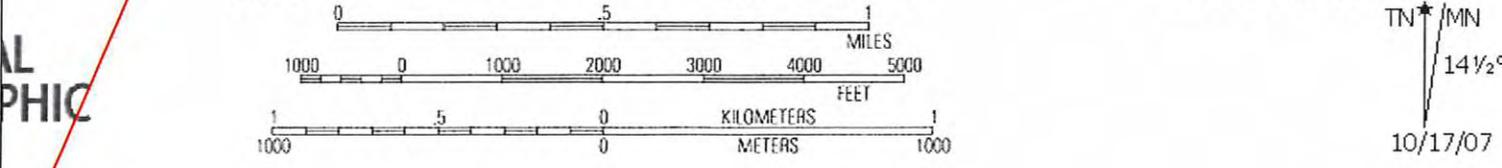
36°34.000' N

© 2006 National Geographic; © 2005 Tele Atlas, Rel. 8/2005

121°58.000' W

121°57.000' W

WGS84 121°56.000' W

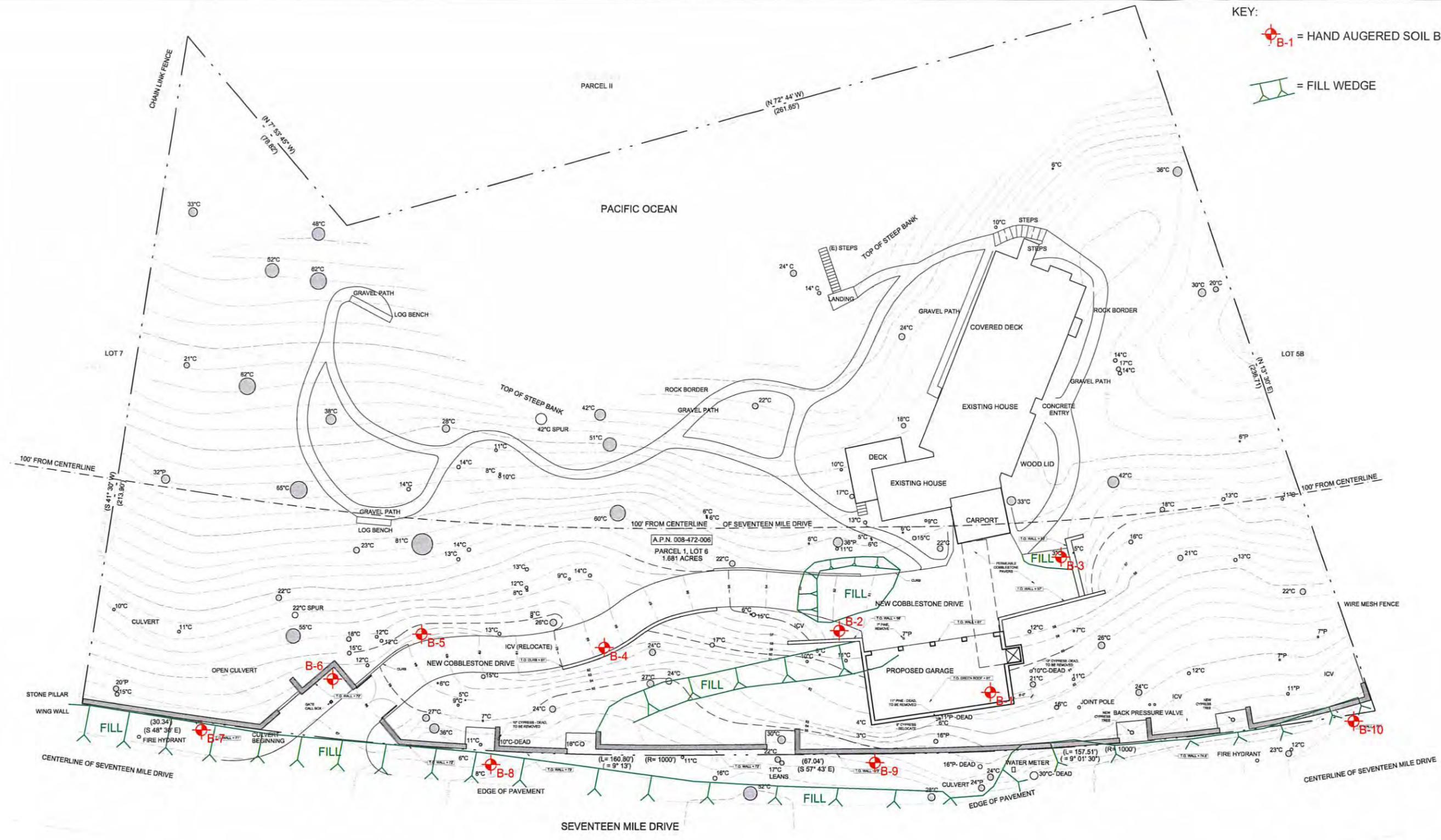


# SITE LOCATION

<b>SITE VICINITY MAP</b> Lundquist Residence 3224 17 Mile Drive, Pebble Beach Monterey County, California	
SCALE: AS SHOWN	<b>HARO, KASUNICH &amp; ASSOCIATES, INC.</b> GEOTECHNICAL AND COASTAL ENGINEERS 116 E. LAKE AVENUE, WATSONVILLE, CA 95076 (831) 722-4175
DRAWN BY: JD	
DATE: May 2011	
REVISED:	
JOB NO. M10146	<b>FIGURE NO. 1</b>
SHEET NO. <b>30</b>	

Use of these plans and specifications shall be restricted to the original site for which they were prepared and published. No reproduction or publication in any form, in whole or in part, is prohibited. This to the plans and specifications shall constitute a full and complete agreement of the assignee of these conditions.

KEY:  
 = HAND AUGERED SOIL BORING LOCATION  
 = FILL WEDGE



DATE	28 APRIL 2011
SCALE	1/16" = 1'-0"
DRAWN BY	AJ
JOB NUMBER	1026

TITLE  
**PROPOSED SITE PLAN**

**LUNDQUIST**  
 SEVENTEEN MILE DRIVE • PEBBLE BEACH, CALIFORNIA



**Carver + Schicketanz**  
 ARCHITECTS - PLANNERS - INTERIOR DESIGNERS

<b>BORING SITE PLAN</b>	
17 Mile Drive, Pebble Beach Monterey County, California	
SCALE: 1" = 1/32"	site plan from Carver Schicketanz, dated 26 April 2011
DRAWN BY: JD	<b>HARO, KASUNICH &amp; ASSOCIATES, INC.</b> GEO TECHNICAL AND COASTAL ENGINEERS 116 E. LAKE AVENUE, WATSONVILLE, CA 95076 (831) 722-4175
DATE: May 2011	
REVISED:	
JOB NO: M10146	

FIGURE NO. 31

PRIMARY DIVISIONS			GROUP SYMBOL	SECONDARY DIVISIONS
COARSE GRAINED SOILS MORE THAN HALF OF MATERIAL IS LARGER THAN NO. 200 SIEVE SIZE	GRAVELS MORE THAN HALF OF COARSE FRACTION IS LARGER THAN NO. 4 SIEVE	CLEAN GRAVELS (LESS THAN 5% FINES)	GW	Well graded gravels, gravel-sand mixtures, little or no fines.
		GRAVEL WITH FINES	GP	Poorly graded gravels or gravel-sand mixtures, little or no fines.
			GM	Silty gravels, gravel-sand-silt mixtures, non-plastic fines
		GC	Clayey gravels, gravel-sand-clay mixtures, plastic fines.	
	SANDS MORE THAN HALF OF COARSE FRACTION IS SMALLER THAN NO. 4 SIEVE	CLEAN SANDS (LESS THAN 5% FINES)	SW	Well graded sands, gravelly sands, little or no fines.
			SP	Poorly graded sands or gravelly sands, little or no fines.
		SANDS WITH FINES	SM	Silty sands, sand-silt mixtures, non-plastic fines.
			SC	Clayey sands, sand-clay mixtures, plastic fines.
FINE GRAINED SOILS MORE THAN HALF OF MATERIAL IS SMALLER THAN NO. 200 SIEVE SIZE	SILTS AND CLAYS LIQUID LIMIT IS LESS THAN 50%		ML	Inorganic silts and very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity.
			CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays.
			OL	Organic silts and organic silty clays of low plasticity.
	SILTS AND CLAYS LIQUID LIMIT IS GREATER THAN 50%		MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts
			CH	Inorganic clays of high plasticity, fat clays.
			OH	Organic clays of medium to high plasticity, organic silts.
HIGHLY ORGANIC SOILS			PT	Peat and other highly organic soils.

### GRAIN SIZES

U.S. STANDARD SERIES SIEVE

CLEAR SQUARE SIEVE OPENINGS

200

40

10

4

3/4"

3"

12"

SILTS AND CLAYS	SAND			GRAVEL		COBBLES	BOULDERS
	FINE	MEDIUM	COARSE	FINE	COARSE		

### RELATIVE DENSITY

SANDS AND GRAVELS	BLOWS/FT*
VERY LOOSE	0 - 4
LOOSE	4-10
MEDIUM DENSE	10 - 30
DENSE	30 - 50
VERY DENSE	OVER 50

### CONSISTENCY

SILTS AND CLAYS	STRENGTH**	BLOWS/FT*
VERY SOFT	0 - 1/4	0 - 2
SOFT	1/4 - 1/2	2 - 4
FIRM	1/2 - 1	4 - 8
STIFF	1 - 2	8 - 16
VERY STIFF	2 - 4	16 - 32
HARD	OVER 4	OVER 32

\*Number of blows of 140 pound hammer falling 30 inches to drive a 2 inch O.D. (1 3/8 inch I.D) split spoon (ASTM D-1586)

\*\*Unconfined compressive strength in tons/ft<sup>2</sup> as determined by laboratory testing or approximated by the standard penetration test (ASTM D-1586), pocket penetrometer, torvane, or visual observation

HARO, KASUNICH & ASSOCIATES

KEY TO LOGS

FIGURE No.

LOGGED BY VO      DATE DRILLED May 9, 2011      BORING DIAMETER 3"      BORING NO. HA-1

SuperLog CivilTech Software, USA www.civiltech.com      File: C:\Superlog\HKA\LOGS\M10146 3224 Seventeen Mile Drive.log      Date: 5/18/2011

Depth, ft.	Sample No. and type Symbol	SOIL DESCRIPTION	Unified Soil Classification	Blows/foot 350 ft - lbs.	Qu - t.s.f. Penetrometer	Dry Density p.c.f.	Moisture % dry wt.	MISC. LAB RESULTS
0		8" fluff organics (duff)	SM					
1.5	1-1 (B)	Brown silty SAND, organic loose Increasing in density at 1.5, probed 1/2" with #4 Damp at 2'				9.2		
2.5	1-2 (B)	Moist, light brown clayey SAND (dg) (hard pan), firm 2.5'	SC			7.6		
3.5	1-3 (B)	Reddish, increasing color change and moisture content at 3.5 feet Hard				10.9		
5.0	1-4 (B)	Light brown medium clayey SAND, coarse grained hard, moist, very moist	SC			7.4		
6.0	1-5 (B)	Light greenish, clayey silty SAND, firm, damp	SC			7.7		
7.5	1-6 (B)	Rust brown coarse d.g., water in bottom of hole at end of day Hand auger terminated at 7.5 feet	SP			6.5		

**HARO, KASUNICH AND ASSOCIATES, INC.**

BY: sr

FIGURE NO. 3

LOGGED BY TA DATE DRILLED May 10, 2011 BORING DIAMETER 3" BORING NO. HA-2

SuperLog CiviTech Software, USA www.civitech.com File: C:\Superlog\HKA\LOGS\M10146 3224 Seventeen Mile Drive.log Date: 5/18/2011

Depth, ft.	Sample No. and type Symbol	SOIL DESCRIPTION	Unified Soil Classification	Blows/foot 350 ft - lbs.	Qu - t.s.f. Penetrometer	Dry Density p.c.f.	Moisture % dry wt.	MISC. LAB RESULTS
0		Orangic fluff 8"	SM					
		Brown silty SAND	SM					
2-1 (B)	▲							
2-2 (M)	▲	6" sample, light tan brown silty SAND firm	SM			122	14	Saturated Direct Shear c = 500 psf 0 = 46
2-3 (B)	▲	Reddish brown silty SAND firm Same as 2 -3	SM					
2-4 (B)	▲	Hand auger terminated at 4 feet						

HARO, KASUNICH AND ASSOCIATES, INC.

BY: sr

FIGURE NO. 4

LOGGED BY VO DATE DRILLED May 10, 2011 BORING DIAMETER 3" BORING NO. HA-3

SuperLog CivilTech Software, USA www.civiltech.com File: C:\Superlog\HKA\LOGS\M10146 3224 Seventeen Mile Drive.log Date: 5/18/2011

Depth, ft.	Sample No. and type Symbol	SOIL DESCRIPTION	Unified Soil Classification	Blows/foot 350 ft - lbs.	Qu - t.s.f. Penetrometer	Dry Density p.c.f.	Moisture % dry wt.	MISC. LAB RESULTS
0		1" import d.g. compacted surfacing (FILL)	GP					
0.5		Increase in density at 6", very dark brown, roots (buried top soil?) (dark brown silty SAND, organic loose, FILL)	SM					
2		Light brown clayey SAND d.g. hard, moist Firm, NATIVE	SC					
4		Coarse clayey SAND d.g., very moist hard scrapping at 3.5, refusal at 3.5 Hang auger terminated at 3.5 feet	SP					
6								
8								
10								
12								
14								

**HARO, KASUNICH AND ASSOCIATES, INC.**

BY: sr

FIGURE NO. 5

LOGGED BY VO      DATE DRILLED May 9, 2011      BORING DIAMETER 3"      BORING NO. HA-4

SuperLog CivilTech Software, USA www.civiltech.com File: C:\Superlog\HKA\LOGS\M10146 3224 Seventeen Mile Drive.log Date: 5/18/2011

Depth, ft.	Sample No. and type	Symbol	SOIL DESCRIPTION	Unified Soil Classification	Blows/foot 350 ft - lbs.	Qu - t.s.f. Penetrometer	Dry Density p.c.f.	Moisture % dry wt.	MISC. LAB RESULTS
0			4" brown organic duff very loose	SM					
2			Brown silty SAND, loose, silty SAND medium dense organic	SM					
4-1 (B)			Increase moist, density, rocky - broke through	SC				5.7	
			Very moist, light brown clayey SAND corase (d.g.) refusal at 3 feet						

**HARO, KASUNICH AND ASSOCIATES, INC.**

BY: sr

FIGURE NO. 6



LOGGED BY TA DATE DRILLED May 10, 2011 BORING DIAMETER 3" BORING NO. HA-5

SuperLog CiviTech Software, USA www.civiltech.com File: C:\Superlog\HAROKALOGS\M10146 3224 Seventeen Mile Drive.log Date: 5/18/2011

Depth, ft.	Sample No. and type Symbol	SOIL DESCRIPTION	Unified Soil Classification	Blows/foot 350 ft - lbs.	Qu - t.s.f. Penetrometer	Dry Density p.c.f.	Moisture % dry wt.	MISC. LAB RESULTS
0		Organics	SM					
1.5	5-1 (B)	Tan brown sandy silty clay moist	SC					
2.0		Refusal at 2 feet						
4								
6								
8								
10								
12								
14								

HARO, KASUNICH AND ASSOCIATES, INC.

BY: sr

FIGURE NO. 7

LOGGED BY TA      DATE DRILLED May 10, 2011      BORING DIAMETER 3"      BORING NO. HA-6

SuperLog CivilTech Software, USA www.civiltech.com File: C:\Superlog\HKA\LOGS\M10146 3224 Seventeen Mile Drive.log Date: 5/18/2011

Depth, ft.	Sample No. and type	Symbol	SOIL DESCRIPTION	Unified Soil Classification	Blows/foot 350 ft - lbs.	Qu - t.s.f. Penetrometer	Dry Density p.c.f.	Moisture % dry wt.	MISC. LAB RESULTS
0			12" organics	SM					
1.5	6-1 (M)		Light brown silty SAND clay	SM			101	21.5	Saturated Direct Shear C = 850 psf O = 27
2.5	6-2 (B)		Mottled orange brown sandy clay	SC					
3.5	6-3 (B)		Mottled orange brown d.g. weathered firm	SP					
4.5			Refusal at 4.5 feet						

**HARO, KASUNICH AND ASSOCIATES, INC.**

BY: sr

FIGURE NO. 8

LOGGED BY VO      DATE DRILLED May 10, 2011      BORING DIAMETER 3"      BORING NO. HA-7

SuperLog CivilTech Software, USA www.civiltech.com File: C:\Superlog4\HARLOGS\M10146 3224 Seventeen Mile Drive.log Date: 5/18/2011

Depth, ft.	Sample No. and type	Symbol	SOIL DESCRIPTION	Unified Soil Classification	Blows/foot 350 ft - lbs.	Qu - t.s.f. Penetrometer	Dry Density p.c.f.	Moisture % dry wt.	MISC. LAB RESULTS
0			Very loose FILL, red brown SAND	SP					
0.5			Buried topsoil NATIVE dark brown organics silty SAND, deep firm	SM					
1.5			Increasing in density and clay content, dark brown clay SAND, firm some organics	SC					
3.5			Grades to a SAND clay, firm, moist dark grey	SC					
4.5			Grades to a blueish color increasing SAND content	SC					
5.5			Blue SAND with clay binder hard sticky, moist hand auger terminated at 5.5 feet	SC					

**HARO, KASUNICH AND ASSOCIATES, INC.**

BY: sr

FIGURE NO. 9

LOGGED BY TA DATE DRILLED May 13, 2011 BORING DIAMETER 3" BORING NO. H-8

SuperLog CivilTech Software, USA www.civiltech.com File: C:\Superlog\HKALOGS\M10146 3224 Seventeen Mile Drive.log Date: 5/18/2011

Depth, ft.	Sample No. and type Symbol	SOIL DESCRIPTION	Unified Soil Classification	Blows/foot 350 ft. - lbs.	Qu - t.s.f. Penetrometer	Dry Density p.c.f.	Moisture % dry wt.	MISC. LAB RESULTS
0		FILL, loose mixed silty SAND with clay mix	SM					
8-1 (B)	▲							
		Dark brown organics O.G. top soils with roots	SM					
8-2 (B)	▲							
		Grayish brown, silty, fine grain SAND with clay binder, moist, firm	SM					
8-3 (B)	▲		SP					
		Very dense weathered decomposed granite						
8-4 (B)	▲	Hand auger terminated at 4 feet						

**HARO, KASUNICH AND ASSOCIATES, INC.**

BY: sr

FIGURE NO. 10

LOGGED BY TA DATE DRILLED May 13, 2011 BORING DIAMETER 3" BORING NO. H-9

SuperLog CivilTech Software, USA www.civitech.com File: C:\Superlog\HKA\LOGS\M10146 3224 Seventeen Mile Drive.log Date: 5/18/2011

Depth, ft.	Sample No. and type	Symbol	SOIL DESCRIPTION	Unified Soil Classification	Blows/foot 350 ft - lbs.	Qu - t.s.f. Penetrometer	Dry Density p.c.f.	Moisture % dry wt.	MISC. LAB RESULTS
0			Dark brown organics silty SANDS topsoils soft	SM					
9-1 (B)									
9-2 (B)			Tanish brown silty SANDS firm	SM					
9-3 (B)			Tan brown decomposed granite very dense	SP					
			Hand auger terminated at 3 feet						

**HARO, KASUNICH AND ASSOCIATES, INC.**

BY: sr FIGURE NO. 11

LOGGED BY TA DATE DRILLED May 13, 2011 BORING DIAMETER 3" BORING NO. H-10

SuperLog CivilTech Software, USA www.civiltech.com File: C:\Superlog4\HKA\LOGS\M10146 3224 Seventeen Mile Drive.log Date: 5/18/2011

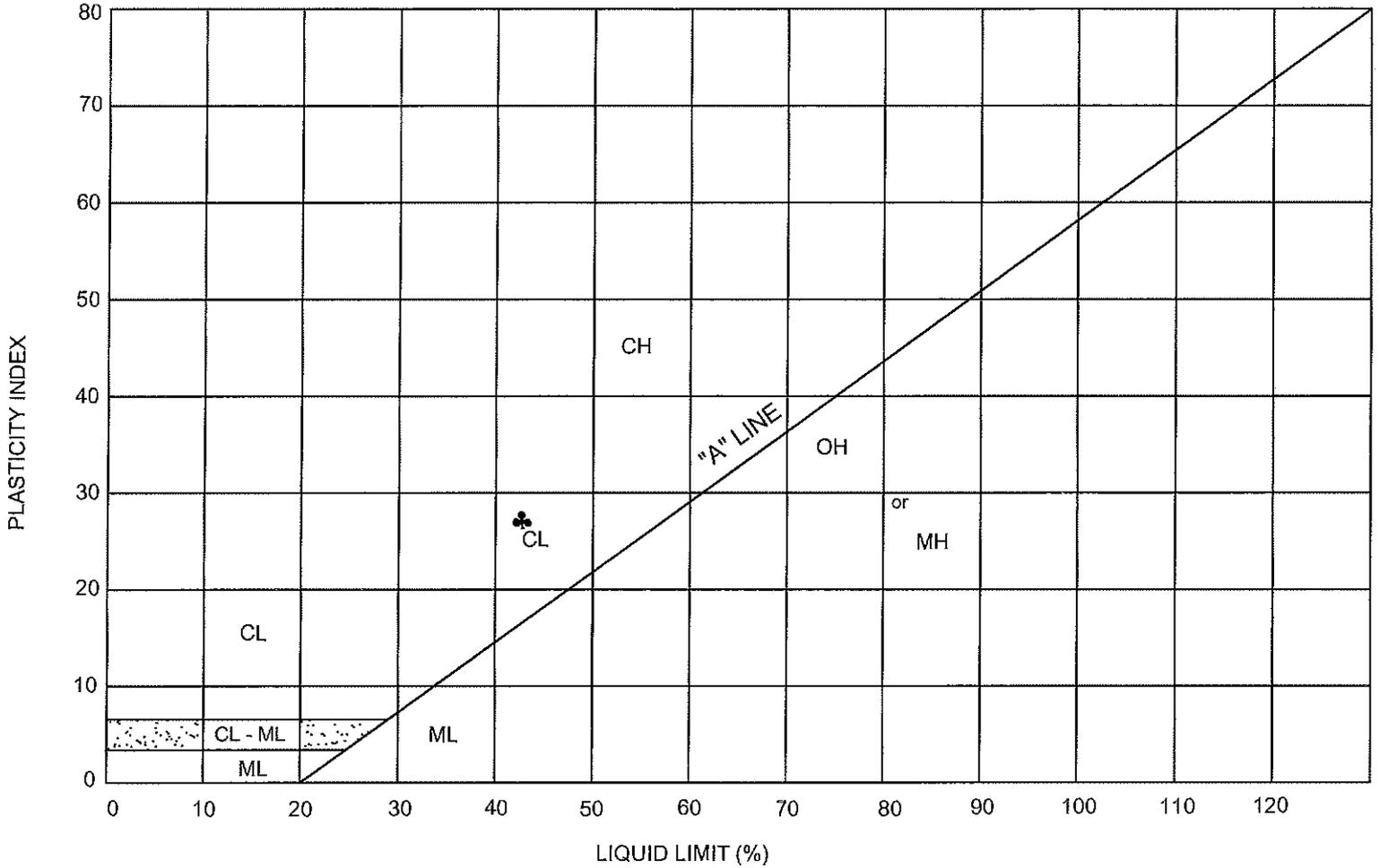
Depth, ft.	Sample No. and type	Symbol	SOIL DESCRIPTION	Unified Soil Classification	Blows/foot 350 ft - lbs.	Qu - t.s.f. Penetrometer	Dry Density p.c.f.	Moisture % dry wt.	MISC. LAB RESULTS
0			FILL, tanish grey, silty SAND with clays, mixed	SC					
10-1	(B)	▲							
10-2	(B)	▲	Top soil dark gray silty SAND with roots, firm, moist	SM					
10-3	(B)	▲	Dense weathered decomposed granite bottom of hole at 4 feet	SP					
6									
8									
10									
12									
14									

HARO, KASUNICH AND ASSOCIATES, INC.

BY: sr

FIGURE NO. 12

# PLASTICITY CHART



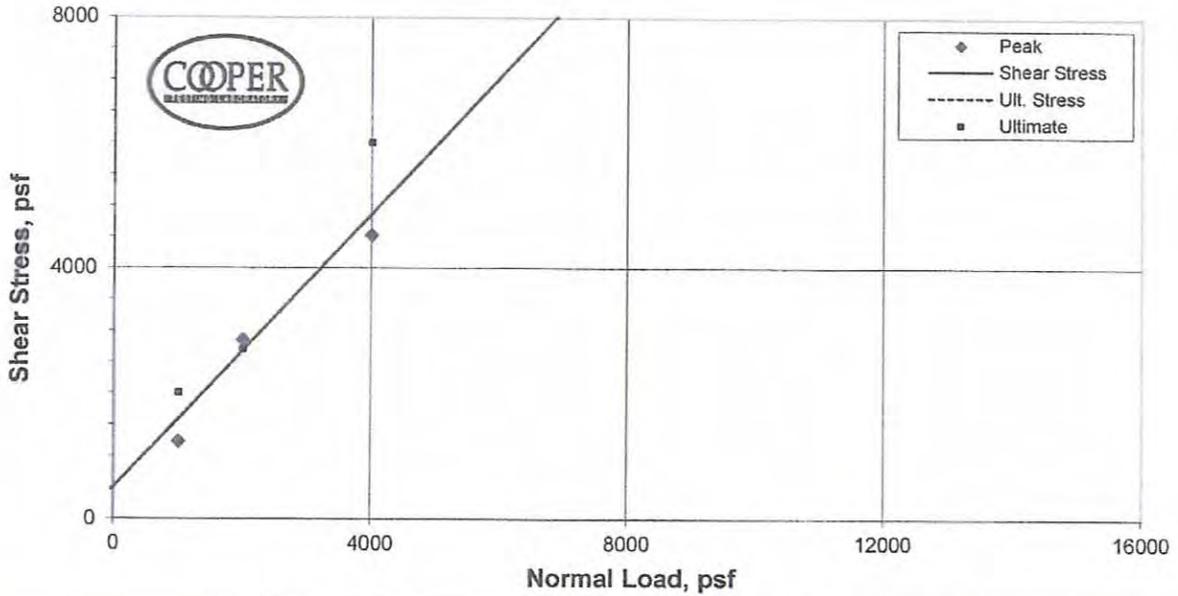
## PLASTICITY DATA

Key Symbol	Sample Number	Depth (feet)	Natural Water Content W(%)	Plastic Limit (%)	Liquid Limit (%)	Plasticity Index	Unified Soil Classification Symbol
♣	7-2-A	4.0	18.9	15.9	42.7	27	CL

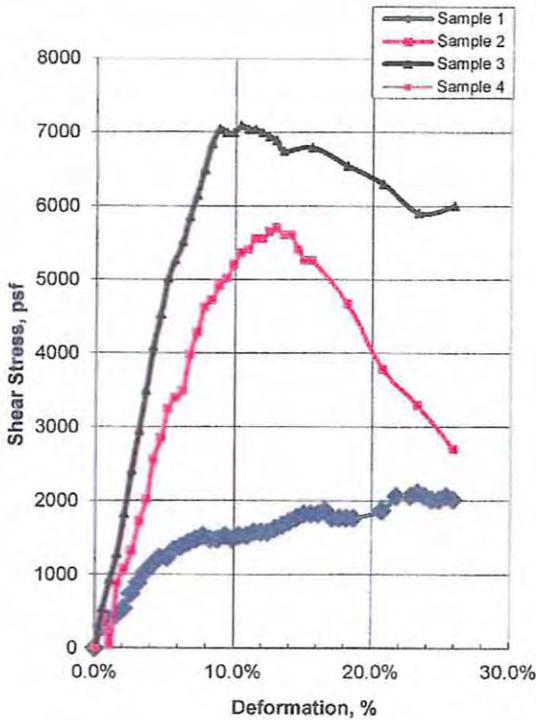
<b>ATTERBERG LIMITS TEST RESULTS</b>	
3224 17 Mile Drive, Pebble Beach Monterey County, California	
SCALE:	<b>HARO, KASUNICH &amp; ASSOCIATES, INC.</b> GEOTECHNICAL AND COASTAL ENGINEERS 116 E. LAKE AVENUE, WATSONVILLE, CA 95076 (831) 722-1475
DRAWN BY: JD	
DATE: May 2011	
REVISED:	
JOB NO. M10146	
<b>FIGURE NO.</b>	
SHEET NO. <b>43</b>	

# Direct Shear

## (Consolidated-Undrained)



P. Phi (degrees)	46	Ult. Phi (degrees)	
P. Cohesion (psf)	500	Ult. Cohesion (psf)	

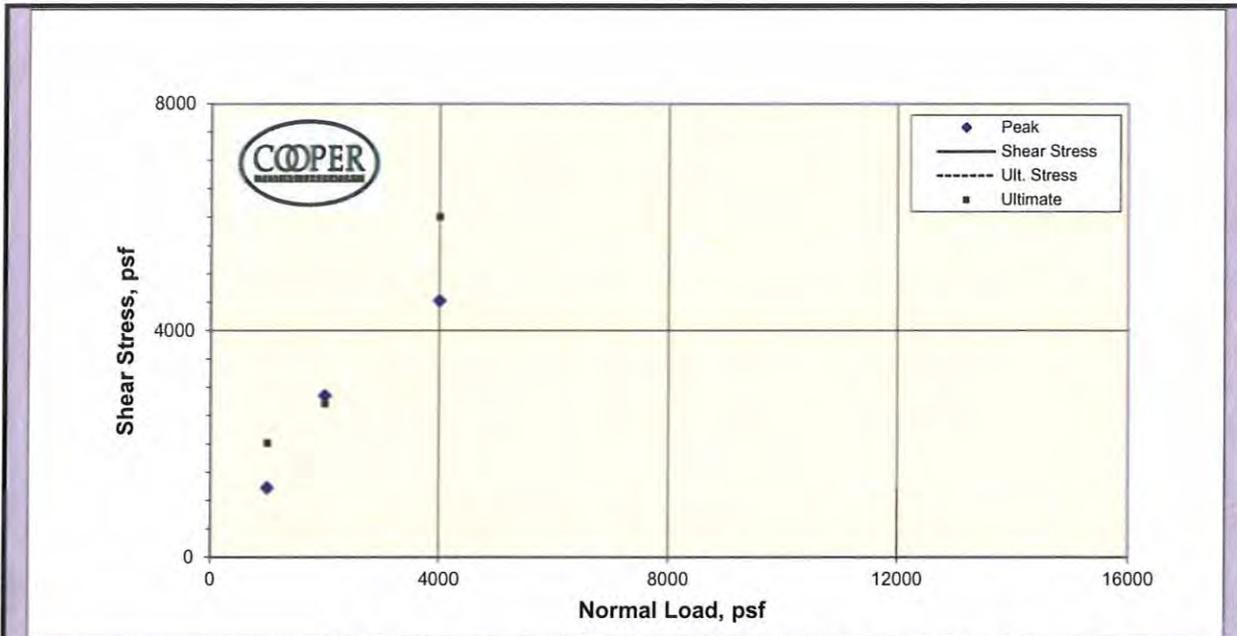


Sample Data: Initial				
	1	2	3	4
Moisture %	7.2%	6.5%	6.9%	
Dry Dens., pcf	108.3	108.1	111.4	
Void Ratio	0.557	0.559	0.513	
Saturation %	34.7	31.3	36.1	
Diameter	1.93	1.93	1.93	
Height	1.00	1.00	1.00	
Sample Data: At Test				
Moisture %	14.0%	14.4%	13.1%	
Dry Dens., pcf	122.4	121.4	124.7	
Void Ratio	0.378	0.389	0.353	
Saturation %	100.0	100.0	100.0	
Diameter	1.93	1.93	1.93	
Height	0.885	0.891	0.893	
Normal Stress, psf	1000	2000	4000	
Shear Stress, psf	1231	2855	4528	
Strengths picked at	5.0%	5.0%	5.0%	
Ult. Stress, psf	2018	2707	6005	
Strain Rate, %/min.	1.0	1.0	1.0	
CTL #	032-390			
Client:	Haro, Kasunich & Associates			
Project	17 Mile Dr. Lundquist - M10146			
Tested By:	MD			
Reduced By:	RU			
Date:	5/18/2011			

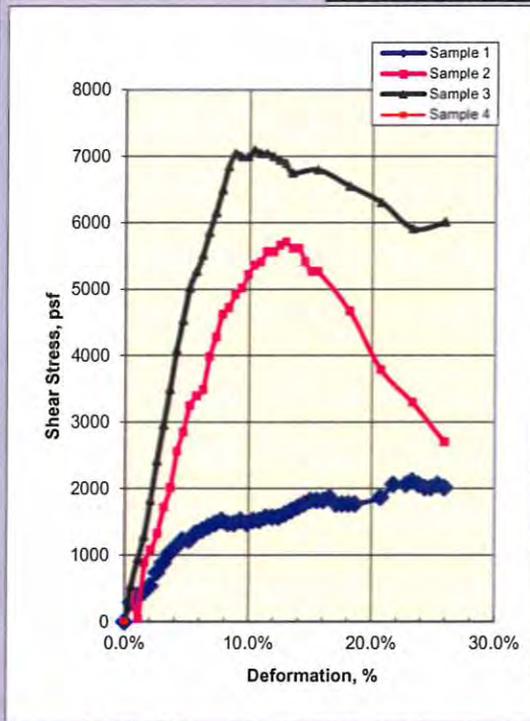
Specimen #	Boring:	Sample:	Depth, ft:	Visual Soil Classification
1		2-2		Olive Brown Silty SAND w/ Gravel
2		2-2		Olive Brown Silty SAND w/ Gravel
3		2-2		Olive Brown Silty SAND w/ Gravel
<b>Remarks:</b>				
*DS-CU* A fully undrained condition may not be attained in this test.				

# Direct Shear

(Consolidated-Undrained)



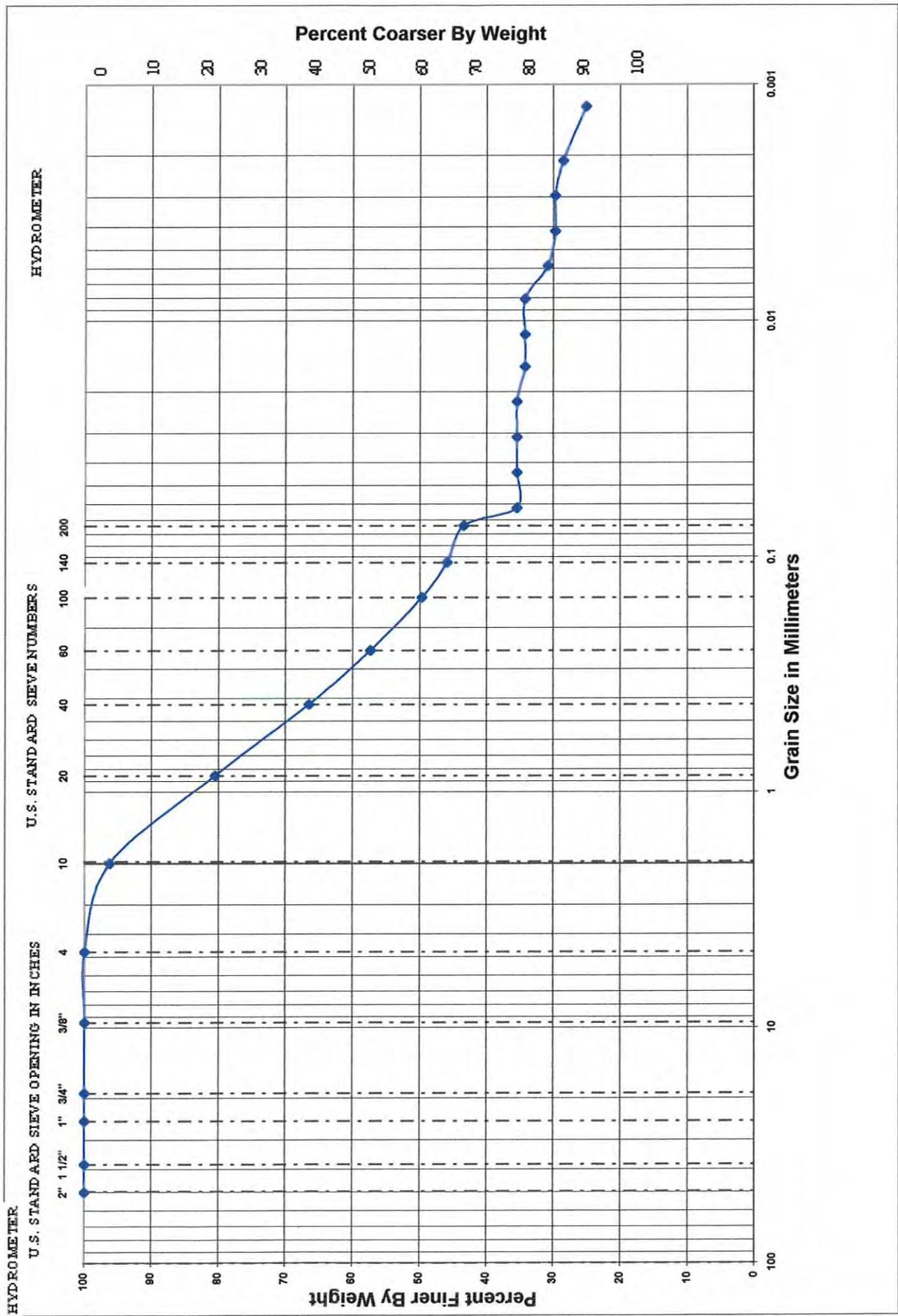
P. Phi (degrees)	Ult. Phi (degrees)
P. Cohesion (psf)	Ult. Cohesion (psf)



Sample Data: Initial				
	1	2	3	4
Moisture %	7.2%	6.5%	6.9%	
Dry Dens., pcf	108.3	108.1	111.4	
Void Ratio	0.557	0.559	0.513	
Saturation %	34.7	31.3	36.1	
Diameter	1.93	1.93	1.93	
Height	1.00	1.00	1.00	
Sample Data: At Test				
Moisture %	14.0%	14.4%	13.1%	
Dry Dens., pcf	122.4	121.4	124.7	
Void Ratio	0.378	0.389	0.353	
Saturation %	100.0	100.0	100.0	
Diameter	1.93	1.93	1.93	
Height	0.885	0.891	0.893	
Normal Stress, psf	1000	2000	4000	
Shear Stress, psf	1231	2855	4528	
Strengths picked at	5.0%	5.0%	5.0%	
Ult. Stress, psf	2018	2707	6005	
Strain Rate, %/min.	1.0	1.0	1.0	
CTL #	032-390			
Client:	Haro, Kasunich & Associates			
Project	17 Mile Dr. Lundquist - M10146			
Tested By:	MD			
Reduced By:	RU			
Date:	5/18/2011			

Specimen #	Boring	Sample	Depth, ft.	Visual Soil Classification
1		2-2		Olive Brown Silty SAND w/ Gravel
2		2-2		Olive Brown Silty SAND w/ Gravel
3		2-2		Olive Brown Silty SAND w/ Gravel
<b>Remarks:</b>				
*DS-CU* A fully undrained condition may not be attained in this test.				

Graph Chart 1



Project No. M10146  
18 May 2011

**APPENDIX B**

**CEQA Checklist**

**Appendix Environmental  
Checklist Form  
Selected Checklist Items as they Pertain to Geotechnical Issues**

VI. GEOLOGY AND SOILS -- Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

life or property?

e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

### VIII. HYDROLOGY AND WATER QUALITY

-- Would the project:

c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?

d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?

e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?

f) Otherwise substantially degrade water quality?

g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? *n/a not a housing project*

h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?

i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?

j) Inundation by seiche, tsunami, or mudflow? *Tsunami unlikely to reach elevation of garage*

X. MINERAL RESOURCES -- Would the project:

a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?

b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?



A

B

C

D

E

F

G

GREEN LINE = DEL MONTE FOREST LUAC APPROVED HEIGHT  
RED LINE = COUNTY-REQUESTED CHANGES

Lundquist  
3224 SEVENTEEN MILE DRIVE PEBBLE BEACH, CALIFORNIA  
JUNE 19, 2012



**Carver + Schicketanz**  
ARCHITECTS · PLANNERS · INTERIOR DESIGNERS

PO BOX 2684 - CARMEL CA 93921 - USA  
PHONE 831.624.2284 - FACSIMILE 824.0364  
CARVERBSCHICKETANZ.COM

# Exhibit G

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**Before the Planning Commission in and for the  
County of Monterey, State of California**

In the matter of the application of:

**RICHARD AND MELANIE LUNDQUIST (PLN110114)**

**RESOLUTION NO. 13-007**

Resolution by the Monterey County Planning  
Commission:

- 1) Adopting a Mitigated Negative Declaration;
- 2) Approving Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval to allow the construction of a detached 1,070 square foot four-car garage with planted roof (green roof), remodel and reduction in size of an existing, detached carport, a new permeable cobblestone driveway, the replacement of an existing wood fence with a new stone wall with six 12-foot sections and one 15.5-foot section of antique bronze open-design fencing and antique bronze fencing with stone pillars at the new driveway entrance, restoration of existing paths and driveway to native Monterey cypress habitat, grading of approximately 550 cubic yards of cut and 200 cubic yards of fill; 2) a Coastal Development Permit for the removal of one dead 7" Monterey cypress; 3) a Coastal Development Permit for development within 100 feet of an Environmentally Sensitive Habitat Area; 4) a Coastal Development Permit for development within 750 feet of a known archaeological resource and; and 5) a Coastal Development Permit for development on slopes greater than 30 percent; and
- 3) Adopting a Mitigation Monitoring and Reporting Plan

[PLN110114, Richard and Melanie Lundquist, 3224  
17-Mile Drive, Pebble Beach, Del Monte Forest Area  
Land Use Plan (APN: 008-472-006-000)]

**The Lundquist application (PLN110114) came on for public hearing before the Monterey County Planning Commission on December 12, 2012, January 30, 2013, February 27, 2013 and March 13, 2013. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:**

**FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:** a) During the course of review of this application, the project has been

reviewed for consistency with the text, policies, and regulations in:

- the 1982 Monterey County General Plan;
- Del Monte Forest Area Land Use Plan;
- Monterey County Coastal Implementation Plan Part 5; and
- Monterey County Zoning Ordinance (Title 20);

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The property is located at 3224 17-Mile Drive, Pebble Beach (Assessor's Parcel Number 008-472-006-000), within the Pebble Beach Planning Area of the Del Monte Forest Area Land Use Plan. The parcel is zoned LDR/2-D (CZ) [Low Density Residential, 2 acres per unit with Design Control (Coastal Zone)], which allows accessory structures accessory to any principal use subject to a Coastal Administrative Permit in each case. The project will allow remodel and reduction in size of the existing carport and the construction of a garage, new driveway and fencing accessory to the existing primary residential use. Therefore, the project is an allowed land use for this site.
- c) The site is subject to design review. The Lundquist project has been reviewed for siting, design, colors, materials and height. The proposed project meets the development standards of the zoning district including height, setback, lot coverage, and floor area ratio and the proposed colors and materials are appropriate for the site and the neighborhood.
- d) The proposed garage location 9 feet-2 inches from the front property line conforms to Section 20.62.040.N (Height and Setback Exceptions) which allows a garage to encroach into the front setback requirement up to 5 feet from the front of the lot in cases where the elevation of the front half of the lot at a point 50 feet from the centerline of the traveled roadway is 7 feet above or below the grade of said centerline. In this case, the elevation drops between approximately 7 feet and 13 feet from the centerline of 17-Mile Drive to points 50 feet into the front of the lot.
- e) Tree Removal: The removal of sensitive trees or trees located in an environmentally sensitive habitat area requires a Coastal Development Permit pursuant to CIP Section 20.147.050.A. The project includes the removal one dead 7-inch Monterey cypress tree; therefore a Coastal Development Permit for tree removal is required. The tree will be replaced with three trees propagated from trees indigenous to Pebble Beach in a site determined by the project arborist. Tree removal has been minimized to the extent possible and the project has been designed to protect retained trees from damage by construction equipment.
- f) Forest Resources: The project is consistent with the Forest Resources Policies of the LUP. The project site is located within the mapped indigenous Monterey cypress range and contains Monterey cypress forest. One 7-inch dead Monterey cypress tree will be removed to accommodate the construction of the garage. An arborist report was prepared for the project (see Finding 2, Evidence b) to evaluate potential impacts to the forest due to construction. All of the recommendations for tree protection contained in the arborist report have been incorporated into the project design.
- g) 30 Percent Slope: The proposed garage and a small area of the

driveway relocation are located on a slope that exceeds 30 percent. Pursuant to Title 20 Section 20.64.230.C.1, a Coastal Development Permit is required. The proposed project will better meet the goals, policies and objectives of the Monterey County Local Coastal Program than other development alternatives. See **Finding 7** for more detailed discussion.

- h) **ESHA**: The project site is located within the mapped indigenous Monterey cypress habitat as shown on Figure 2a of the LUP and Monterey cypress habitat and other special status plant species are present on the site. Pursuant to CIP Section 20.147.040.B, a biological report was prepared for the project (See Finding 2, Evidence b). As designed and conditioned the project is consistent with LUP Policies regarding protection of environmentally sensitive habitats. See **Finding 8** for more detailed discussion.
- i) **Scenic and Visual Resources**: The site is within the public viewshed from 17-Mile Drive, Vista Points and Point Lobos as shown on Figure 3 of the LUP. As designed and mitigated, the project is consistent with the Scenic and Visual Resources policies of the LUP which require protection of the public viewshed and that new structures be designed to harmonize with the natural setting and not be visually intrusive. See also **Finding 6**.
- j) **Cultural Resources**: The project site is located within an area of high archaeological sensitivity and contains known archaeological resources. Pursuant to LUP Policy 58 and CIP Section 20.147.080.B.1, an archaeological report (See **Finding 2, Evidence b**) was prepared for the project. As designed and conditioned, the project is consistent with LUP Policy 60 which requires that the project be designed to avoid or mitigate potential impacts to the resources. Mitigation Measure No. 8 (**Condition No. 24**) requires the monitoring of all soil disturbing activities by a qualified archaeologist, who will have the authority to stop work until the find can be evaluated and appropriate mitigation measures formulated should potentially significant resources be discovered.
- k) The project planner conducted site inspections on April 1, 2011, July 21, 2011, March 21, 2012, May 21, 2012 and November 8, 2012 to verify that the project on the subject parcel conforms to the plans listed above.
- l) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN110114.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

**EVIDENCE:** a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Pebble Beach Community Services District (Fire Protection District), Public Works, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have

been incorporated.

- b) Staff identified potential impacts to Biological Resources, Archaeological Resources and Soil/Slope Stability. The following reports have been prepared:
- "Biological Assessment of Richard and Melanie Lundquist Property APN: 008-472-006-000)" (LIB110215) prepared by Fred Ballerini, Pacific Grove, CA dated May 18, 2011;
  - "Biotic Survey & Impact Assessment" (LIB080032) prepared by Jean Ferreira, Carmel, CA dated January 11, 2008;
  - "Tree Resource Evaluation Construction Impact Analysis" (LIB120030) prepared by Maureen Hamb, WCISA Certified Arborist, Santa Cruz, CA dated June 2011 and letter reports dated August 31, 2011 and February 8, 2013;
  - "Preliminary Cultural Reconnaissance" (LIB110216) prepared by Susan Morley, Marina, CA dated April 2011;
  - "Geotechnical Investigation for Proposed New Driveway Alignment, Site Wall and Detached 4-Car Garage, Lundquist property" (LIB110217) prepared by Haro, Kasunich and Associates, Watsonville, CA dated May 2011.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) Staff conducted site inspections on April 1, 2011, July 21, 2011, March 21, 2012, May 21, 2012 and November 8, 2012 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN110114.

3. **FINDING:**

**HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

**EVIDENCE:**

- a) The project was reviewed by the RMA - Planning Department, Pebble Beach Community Services District (Fire Protection District), Public Works, Environmental Health Bureau, and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Necessary public facilities are available. The existing residence has an existing water connection to California American Water Company and an existing sewer connection to the Pebble Beach Community Services District. No intensification to water or wastewater is anticipated as a

result of the current project to build a new garage, replace the driveway and build a new fence. The existing water and sewer connections will continue to be utilized.

- c) Staff conducted site inspections on April 1, 2011, July 21, 2011, March 21, 2012, May 21, 2012 and November 8, 2012 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN110114.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on subject property.
  - b) Staff conducted site inspections on April 1, 2011, July 21, 2011, March 21, 2012, May 21, 2012 and November 8, 2012 and researched County records to assess if any violation exists on the subject property.
  - c) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN110114.

5. **FINDING:** **CEQA (Mitigated Negative Declaration)** - On the basis of the whole record before the Monterey County Planning Commission, there is no substantial evidence that the proposed project as designed, conditioned and mitigated, will have a significant effect on the environment. The Mitigated Negative Declaration reflects the independent judgment and analysis of the County.

- EVIDENCE:**
- a) Public Resources Code Section 21080.d and California Environmental Quality Act (CEQA) Guidelines Section 15064.a.1 require environmental review if there is substantial evidence that the project may have a significant effect on the environment.
  - b) The Monterey County Planning Department prepared an Initial Study pursuant to CEQA. The Initial Study is on file in the offices of the Planning Department and is hereby incorporated by reference (PLN110114).
  - c) The Initial Study identified several potentially significant effects, but revisions have been made to the project and the applicant has agreed to proposed mitigation measures that avoid the effects or mitigate the effects to a point where clearly no significant effects would occur.
  - d) All project changes required to avoid significant effects on the environment have been incorporated into the project and/or are made conditions of approval. A Condition Compliance and Mitigation Monitoring and/or Reporting Plan has been prepared in accordance with Monterey County regulations, is designed to ensure compliance during project implementation, and is hereby incorporated herein by reference. The applicant must enter into an "Agreement to Implement a Conditions

of Approval and Mitigation Monitoring and/or Reporting Plan” as a condition of project approval.

- e) The Draft Mitigated Negative Declaration (“MND) for PLN110114 was prepared in accordance with CEQA and circulated for public review from June 27, 2012 through July 26, 2012 (SCH#: 2012061087).
- f) Issues that were analyzed in the Mitigated Negative Declaration include: aesthetics, biological resources, cultural resources, geology/soils, greenhouse gas emissions, and land use/planning.
- g) Aesthetics: In order to prevent adverse impacts to the existing scenic vista and scenic character of the site due to construction of the new fence/wall, Modified Mitigation Measure No. 1 (**Condition No. 17**) (see **Finding 5, Evidence m** below) requires that the number and size of openings in the wall be increased and that the perpendicular wall elements at the openings be reduced in size to allow for views through the Monterey cypress habitat to the sea. In order to prevent adverse impacts to the existing scenic vista and to the scenic character of the site due to the planting of a row non-native Monterey cypress trees along the front and side property lines and to prevent adverse impacts to the native Monterey cypress forest, Mitigation Measure No. 2 (**Condition No. 18**) requires removal of those trees.
- h) Biological Resources: In order to prevent adverse impacts to trees due to construction, Mitigation Measure Nos. 3 and 4 (**Condition Nos. 20-21**) require that a qualified arborist supervise installation of tree protection measures as outlined in the arborist report prepared for the project and that all excavation and soil activities within the critical root zones of trees shall be done under the direction of a qualified arborist. In order to reduce the impact to special status plant species, Mitigation Measure No. 5 (**Condition No. 21**) requires replanting as recommended by the project biologist and arborist. Mitigation Measure No. 6 (**Condition No. 22**) will mitigate for the removal of native Monterey cypress habitat through the preparation and implementation of a Monterey Cypress Habitat restoration plan for all of the disturbed areas. Implementation Mitigation Measure No. 7 (**Condition No. 23**) will minimize potential impacts to animal resources and habitat through requirement for a preconstruction survey for special status plant and animal habitat, including nesting birds and implementation of an avoidance program should any nesting birds or special status species be present on the site.
- i) Cultural Resources: In order to prevent adverse impacts to cultural resources on the site, Mitigation Measure No. 8 (**Condition No. 24**) requires that an archaeological monitor with the authority to stop construction be on the site during all excavation and soil disturbing activities. Implementation of Mitigation Measure No. 9 (**Condition No. 25**) will prevent unintended impacts to the known resources on the site through the installation of exclusionary fencing around the resources.
- j) Evidence that has been received and considered includes: the application, technical studies/reports (see Finding 2/Site Suitability), staff reports that reflect the County’s independent judgment, and information and testimony presented during public hearings. These documents are on file in the RMA-Planning Department (PLN110114)

and are hereby incorporated herein by reference.

- k) Staff analysis contained in the Initial Study and the record as a whole indicate the project could result in changes to the resources listed in Section 753.5(d) of the California Department of Fish and Game (CDFG) regulations. All land development projects that are subject to environmental review are subject to a State filing fee plus the County recording fee, unless the Department of Fish and Game determines that the project will have no effect on fish and wildlife resources. The site supports Monterey cypress habitat, which may potentially be a nesting area for migratory birds and raptors and the record shows that land animal species utilize the site. For purposes of the Fish and Game Code, the project may have a significant adverse impact on the fish and wildlife resources upon which the wildlife depends. The Initial Study was sent to the California Department of Fish and Game for review, comment, and to recommend necessary conditions to protect biological resources in this area. Therefore, the project will be required to pay the State fee plus a fee payable to the Monterey County Clerk/Recorder for processing said fee and posting the Notice of Determination (NOD).
- l) One comment was received from the Monterey Bay Unified Air Pollution Control District during the public review period. The County has considered the comment received during the public review period and it does not alter the conclusions in the Initial Study and Mitigated Negative Declaration.
- m) Three recommended mitigation measures (Mitigation Measure No. 1, **Condition No. 17**; Mitigation Measure No. 4, **Condition No. 20**; and Mitigation Measure No. 5, **Condition No. 21**) have been revised as follows (deleted language is shown in ~~strike~~through and added language is underlined):  
**“Mitigation Measure No. 1:** In order to prevent adverse impacts to the existing scenic vista and to the scenic character of the site due to the replacement of the existing fence and to ensure that the project complies with the Visual Resources and Public Access policies of the Del Monte Forest Land Use Plan, the proposed wall/fencing along 17-Mile Drive shall be designed and sited to minimize obstruction of views from the road to the sea. The proposed wall/fencing shall be designed so as to not impair views from 17-Mile Drive over the existing condition. The wall/fence shall be constructed as shown on the plans dated November 6, 2012 (attached to the March 13, 2013 staff report) and as staked and flagged on November 7, 2012. Said plans include the following: 1) number of openings increased to six 12-foot wide and one 15.5-foot wide open-design antique bronze fencing sections; 2) the wing walls at each opening are reduced to not more than 4 feet-6 inches long; and 3) the height of sections D, F, G and H are reduced by 1, 1, 2 and 0.5 feet respectively. Prior to the issuance of a building or grading permit, the applicant/owner shall submit revised plans for the wall/fencing to the RMA/Planning Department for review and approval that are consistent with the visual simulation provided to the County on June 21, 2012 including: 1) the top of the wall/fencing in Section A (between new driveway entrance and neighboring property to the northeast) as shown on the visual simulation shall be one foot lower than shown on the plans

~~that were recommended for approval by the Del Monte Forest Land Use Advisory Committee on July 2, 2011; 2) the number of antique bronze fenced sections shall be increased from 5 to 6, with the additional section being located between the new driveway entrance and the neighboring property to the northeast; and 3) the open design fenced openings shall be increased from 9 feet long to 12.5 feet long.~~

**Monitoring Action No. 1:** Prior to the issuance of a building or grading permit, the applicant/owner shall submit revised plans for the wall/fencing to the RMA-Building Services Department and the RMA-Planning Department for review and approval as described in this Mitigation Measure. The approved wall/fencing plans shall be incorporated into the plans for the construction permits required for the project.

**Monitoring Action No. 2:** The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection.

**Monitoring Action No. 3:** Prior to final inspection the applicant/owner shall ~~submit photographic evidence~~ provide evidence from a licensed civil engineer or surveyor to the Director of the RMA - Building Services Department and RMA - Planning Department for review and approval, that the height of the wall/fence from the benchmark is consistent with what was approved on the building permit associated with this project and that the replacement fence has been constructed in accordance with the approved plans to the RMA-Planning Department for review and approval."

**Mitigation Measure No. 4:** In order to prevent adverse impacts to trees located in close proximity to the project due to construction activities, a qualified arborist shall be present during all excavation and soil disturbing activities associated with grading, construction and restoration conducted within the critical root zone (CRZ) of any tree. The CRZ for each tree is included in the arborist report prepared for the project. Roots greater than one inch will be inspected and evaluated by the project arborist. If necessary, as determined by the arborist, the root will be retained, wrapped in protective material (foam pipe wrap) and bridged to the specifications of the arborist. The arborist shall supervise or perform the pruning of any tree roots as necessary. The arborist shall have the authority to require such special construction methods as he/she determines are necessary to protect the trees, including but not limited to designing the wall footings to span over tree roots, tunneling under tree roots or placement of a grade beam above grade. If it appears to the arborist that any tree has experienced or will experience death or damage due to construction activities, all work shall stop within the CRZ of the tree and the arborist/owner/applicant shall immediately contact the RMA-Planning Department to determine whether additional permits or modification of the project is required. Following construction and for a period of not less than five (5) years, trees whose Critical Root Zone (CRZ) is within the areas impacted by construction shall be monitored annually by a qualified arborist. If any noticeable decline in the health of any tree is observed, additional Monterey

cypress trees of indigenous stock shall be planted onsite at a one-to-one ratio in a suitable location as determined by the arborist.

**Monitoring Action No. 4a:** Prior to issuance of a construction permit, the applicant shall provide to the RMA-Planning Department a copy of the contractual agreement with a qualified arborist to provide the required monitoring services to the RMA-Planning Department for review and approval.

**Monitoring Action No. 4b:** Prior to final inspection the applicant or arborist shall also submit evidence of on-site monitoring, including arborist certification regarding the success of the measures, to the RMA – Planning Department. If additional mitigation measures are determined to be required, they shall be formulated and implemented by the monitoring arborist, after review and approval by the RMA - Planning Department. The requirements of this measure shall be included as a note on all grading and building plans.

**Monitoring Action No. 4c:** Beginning one year after final inspection of the project, the applicant shall submit annual monitoring reports by the arborist, subject to the RMA-Planning Department's approval, for five (5) years. The reports shall document the status of the health of all trees being monitored and any required replacement plantings.

**Mitigation Measure No. 5:**

In order to mitigate for the removal of sensitive plant species on the site the following re-planting measures shall apply:

1. Small-leaved lomatium: all of the lomatium plants located within the area of the proposed driveway and garage (minimum of 86 plants) shall be salvaged from the site prior to the issuance of a grading or building permit and grown out by a reputable native plant nursery familiar with the growing requirements of the Small-leaved lomatium. The salvaged lomatium shall be re-planted on the site in the fall months to coincide with the arrival of the rainy season.
2. Ocean bluff milk-vetch: Ocean bluff milk-vetch seed shall be collected from several locations on the property to ensure genetic diversity and shall be propagated for a fall out-planting. The plants shall be replaced on the site at a 3:1 ratio (minimum of 6 plants), as recommended by the project biologist.
3. Monterey pine: Any Monterey pine tree saplings removed from the construction zone shall be re-planted on the site.
4. Monterey cypress: The one dead 7-inch Monterey cypress that is located within the footprint of the proposed garage shall be removed, transplanted to another location on the site under the supervision of a qualified arborist. Three replacement Monterey cypress trees propagated from trees indigenous to Pebble Beach shall be planted on the site in addition to the Monterey cypress that are required to be planted as part of the Monterey Cypress Habitat Restoration Plan. Any native Monterey cypress seedlings or saplings that are removed from the footprint of the proposed development shall be transplanted to another location on the site under the supervision of a qualified arborist. Mitigation revegetation locations for Items 1 and 2 shall be determined

by the project biologist in consultation with the project arborist. Mitigation revegetation locations for Items 3 and 4 shall be determined by the project arborist. The re-planting plan shall be submitted to the RMA-Planning Department for review and approval prior to issuance of a grading or building permit. The applicant/owner shall submit a monitoring report prepared by the project biologist documenting the success of the planting to the RMA-Planning Department 6 months after the initial planting and then annually for 2 years. The replanting shall be considered successful when 95 percent of replanted trees and 85 percent of other planted native vegetation have survived and are evaluated by the project biologist and project arborist as being in good health. In the event of loss of plant materials due to mortality, the plants shall be replaced and the monitoring shall begin again.

**Monitoring Action No. 5a:**

Prior to the issuance of grading or building permit, applicant/owner shall submit the planting/restoration plan to the RMA-Planning Department for review and approval.

**Monitoring Action No. 5b:**

Prior to final inspection, the applicant/owner shall submit evidence to the RMA-Planning Department that the planting plan has been implemented.

**Monitoring Action No. 5c:**

The applicant/owner shall submit monitoring report prepared by a qualified biologist 6 months after the evidence required in 5b above has been submitted and then annually for a minimum of 2 years or until the replanting has been deemed successful. The monitoring reports shall include an evaluation of the health status of the plantings and recommendations regarding measures to improve the success of the plantings if they are not thriving. The applicant/owner shall implement the recommendations. The requirement for monitoring reports shall end after 2 ½ years or whenever the required success rate of 95 percent survival for trees and 85 survival percent for other vegetation, has been met, whichever occurs later.

- n) Pursuant to CEQA Guidelines Section 15073.5, a lead agency is required to recirculate a negative declaration when the document must be substantially revised after public notice of its availability has previously been given pursuant to Section 15072, but prior to its adoption. In this case, no recirculation of the MND is required pursuant to CEQA Guidelines Section 15073.5 because:
1. The revision of the mitigation measures does not constitute a "substantial revision" of the MND pursuant to Section 15073.5(b) because no new, avoidable significant effect was identified that requires new mitigation measures or project revisions to be added in order to reduce the effect to insignificance and the County has not determined that the proposed mitigation measure or project revision will not reduce potential effects to less than significance requiring new measures or revisions. The revised mitigation measures will mitigate the same visual impacts as the original measures and will reduce the impacts to less than significance.

2. The County has not determined that the proposed mitigation measures or project revisions will not reduce potential effects to less than significance and that new measures or revisions must be required;
  3. The original Mitigation Measure No. 1 required a total of 75 linear feet of openings (six 12.5-foot openings) in the fence and a one foot height reduction of a 48-foot section of wall. The revised measure requires a total of 87.5 linear feet of openings (six 12-foot openings and one 15.5-foot opening) and the length of the perpendicular wall sections at each opening will be reduced from 6 feet to 4.5 feet. Four wall sections totaling 127 linear feet will be reduced in height. This will result in an equivalent or greater increase in views across the parcel. Original Mitigation Measure No. 4 has been amended to include additional monitoring of the health of trees potentially impacted by the project for a period of 5 years following construction. Original Mitigation Measure No. 5 has been amended to require replacement plantings rather than replanting for a protected tree that died since the MND was circulated.
  4. Pursuant to Section 15074.1(b) (2), the revised mitigation measures are equivalent or more effective in mitigating or avoiding significant effects and will not cause any potentially significant effect on the environment. The incorporation of an additional opening in the wall and reduction in the length of the perpendicular wall elements will result in less wall being built and will cause fewer construction related impacts. Monitoring of the health of trees potentially impacted by the project with provision for replacement should any of the trees fail or planting of replacement trees will not impact the environment.
  5. Pursuant to Section 15074.1 (c), no recirculation of the proposed MND pursuant to Section 15072 is required because the new mitigation measures are incorporated into the conditions of approval (**Conditions 17, 20 and 21**).
  6. No project revisions have been added in response to comments on the project's effects identified in the proposed negative declaration which are new avoidable significant effects; and
  7. A public hearing was held on the project on March 13, 2013 in which the substitution of the mitigation measures was addressed.
- o) The Monterey County Planning Department, located at 168 W. Alisal, 2nd Floor, Salinas, California, 93901, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the negative declaration is based.

6.       **FINDING:**       **VIEWSHED** – The subject project minimizes development within the viewshed in accordance with the applicable goals and policies of the applicable area plan and zoning codes.
- EVIDENCE:**   a) *LUP Policy 47:* The project includes application for development within a public viewshed as identified on Figure 3 of the LUP. The property is part of the viewshed from 17-Mile Drive and from Point Lobos however views of the proposed project from Point Lobos will be blocked by existing structures and vegetation. The existing condition

includes views across the property to the sea and to the Lone Cypress. Consistent with this policy, the project is conditioned to require dedication of a conservation and scenic easement deed over visually prominent portions of the property (**Condition No. 6.**)

- b) *LUP Policy 48 and 56:* The project includes the replacement of an existing wood fence along the front property line with a stone wall with open-design fenced openings. Consistent with these policies, the project has been designed to avoid blocking views across the site to the sea and to the Lone Cypress on the adjacent property to the northwest. The height of the wall was reduced and open-design fenced openings were incorporated into the wall design to allow for visual access. The proposed garage will not be visible from the road because it will have a green roof and will be built into the slope adjacent to and below 17-Mile Drive.
- c) *LUP Policy 52 and 53:* Consistent with these policies, the project is designed to minimize alterations to natural landforms and tree removal. One small dead Monterey cypress will be removed for the construction of the garage. The garage will be built into a man-made slope between the house and road that was created by grading for the construction of the house and will not be visible from the public viewshed. The existing driveway will be restored to native Monterey cypress habitat. The wall/fence materials consist of natural stone and antique bronze, which will harmonize with the natural setting.
- d) The project as proposed, conditioned, and mitigated is consistent with policies of the Del Monte Forest Area Land Use Plan dealing with visual resources and will have no significant impact on the public viewshed.
- e) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN110114.

7. **FINDING:**

**DEVELOPMENT ON SLOPE** – The proposed development better achieves the goals, policies and objectives of the Monterey County General Plan and Del Monte Forest Area Land Use Plan and the Monterey County Zoning Ordinance (Title 20) than other development alternatives.

**EVIDENCE:**

- a) In accordance with the applicable policies of the Del Monte Forest Area Land Use Plan and the Monterey County Zoning Ordinance (Title 20), a Coastal Development Permit is required and the criteria to grant said permit has been met.
- b) The project includes application for development on slopes exceeding 30 percent. The project will require the excavation of an area of approximately 160 square feet on a slope greater than 30 percent in order to re-align the driveway as well as a small area for the construction of the garage. Monterey County Code Title 20 Section 20.64.230 provides for an exception on the development on a 30 percent slope if the slope is man-made and less than 100 square feet. The subject slope is man-made however it is over 100 square feet and therefore requires a Coastal Development Permit.
- c) As discussed in **Finding 6** above, the project site is located within the protected public viewshed from 17-Mile Drive. Other potential

locations for the garage that would not require development on a slope greater than 30 percent would be visible from 17-Mile Drive and would block existing views across the site. As designed, the proposed garage will be built into the slope between the house and 17-Mile Drive and will not be visible from 17-Mile Drive or block views across the site. Therefore, the project better achieves the LUP Key Scenic and Visual Resources Policy, which only allows development that does not block significant public views and does not significantly adversely impact public views and scenic character, especially along the 17-Mile Drive corridor.

- d) As discussed below in **Finding 8**, the project site is located within environmentally sensitive Monterey cypress habitat area (ESHA). Alternate alignments for the driveway and locations for the driveway were analyzed and found to have greater impacts to ESHA. The garage and new driveway are designed to minimize impacts to ESHA and thus better achieve the ESHA policies of the LUP, which require that all improvements within the cypress habitat be designed to avoid potential damage or degradation to the habitat.
- e) The Planning Commission shall require such conditions of approval and changes in the development as it may deem necessary to assure compliance with MCC Section 20.64.230.
- f) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN110114.
- g) The project planner conducted site inspections on April 1, 2011, July 21, 2011, March 21, 2012, May 21, 2012 and November 8, 2012.
- h) The subject project minimizes development on slopes exceeding 30% in accordance with the applicable goals and policies of the applicable area plan and zoning codes.

8. **FINDING:**

**ESHA** – The subject project minimizes impact on environmentally sensitive habitat areas in accordance with the applicable goals and policies of the applicable area plan and zoning codes.

**EVIDENCE:**

- a) The project includes application for development within 100 feet of environmentally sensitive habitat areas (ESHA). In accordance with the applicable policies of the Del Monte Forest Area Land Use Plan and the Monterey County Zoning Ordinance (Title 20), a Coastal Development Permit is required and the criteria to grant said permit has been met.
- b) The property is located within the mapped indigenous Monterey cypress habitat area within the Del Monte Forest, and pursuant to the definition the entire site is considered to be Monterey cypress habitat.
- c) *LUP Policy No. 12*: Consistent with this policy, a biological report dated May 18, 2011 (LIB110215) prepared by Fred Ballerini, was submitted (see **Finding 2, Evidence b**) to identify and address any potential impacts the project may have to biological resources. The report found that the site supports Monterey cypress, Monterey pine, Ocean bluff milk-vetch and Small-leaved lomatium, all sensitive plant species that are rare or endangered in their native ranges. The ecological communities that support native stands of either or both species are designated as environmentally sensitive habitat in the LUP.

An arborist report (LIB120030) prepared by Maureen Hamb dated June 2011 and letter reports dated August 31, 2011 and February 8, 2013 were submitted to identify and address potential impacts to trees on the site. Measures recommended in the reports to avoid impacts to Monterey cypress trees and ESHA have been incorporated as Mitigation Measures 3 – 7.

- d) The LUP Key ESHA Policy calls for all environmentally sensitive habitat areas of the Del Monte Forest Area to be protected, maintained, and, where possible, enhanced and restored. The project includes the construction of a 4,078 square foot driveway, a 1,095 square foot garage and a stone wall with fenced openings to replace an existing wood fence, for a total of 5,665 square feet of new development. The proposed project will result in a net increase of 2,148 square feet of developed area, of which approximately 1,492 square feet will be within the CRZ of Monterey cypress. The applicant proposes to restore Monterey cypress habitat in the area of the existing driveway as well as the removal and restoration of 1,874 square feet of existing gravel pathways, the removal and restoration of 2,570 square feet of non-native, invasive iceplant and removal of approximately 1,000 square feet of non-indigenous Monterey cypress trees. The arborist has also stated that approximately 316 square feet of the green roof area over the new garage could be modified to accept Monterey cypress seed development. Including the driveway restoration, removal and restoration of gravel pathways and a portion of the green roof, the project will result in no net loss of permanent habitat and the restoration of an additional 3,570 square feet (iceplant and planted cypress) of degraded habitat.
- e) *LUP Policy 8 and 13*: The project has been designed to be compatible with the long-term maintenance of the Monterey cypress habitat and to prevent impacts that would significantly degrade the protected habitat. **Condition No. 5** requiring dedication of a Conservation and Scenic Easement Deed over those areas of the property not approved for development will ensure long-term protection of the habitat.
- f) *LUP Policy 20*: The project site is located within the indigenous range of the Monterey cypress as shown in Figure 2a of the LUP, and the entire site is considered to be Monterey cypress habitat. LUP Policy 20 prohibits grading, paving and building construction activity “within the perimeter of the identified habitat area for a site, including at a minimum as defined by the driplines of the outermost indigenous Monterey cypress trees on the site.” Approximately 150 trees are located on the site, the majority of them being Monterey cypress. The trees are spread across the entire site and based on the graphic illustration of Monterey cypress CRZ on the site, it would not be feasible to make the needed safety improvements to the existing driveway without tree removal or impacting the identified habitat area. The arborist has stated that if the existing driveway is to remain in use, there is one Monterey cypress tree that presents a hazard and should be removed for safety reason, that the existing asphalt driveway has impacted the CRZ of nearby Monterey cypress trees and that the removal of the driveway and restoration of the area will allow measures

to improve the health of those trees. Utilization of permeable pavers and a grade beam foundation for areas of the driveway within the CRZ of Monterey cypress will minimize impacts to CRZ in the new driveway.

The proposed project will result in a net increase of 2,148 square feet of developed area, of which approximately 1,492 square feet will be within the CRZ of Monterey cypress. As mitigated, the project will avoid potential damage or degradation of indigenous Monterey cypress habitat and will result in no net loss of permanent habitat and the restoration of an additional 3,570 square feet (iceplant and planted cypress) of degraded habitat. Mitigation Measure No. 3 requires the installation of tree protective measures under the supervision of a certified arborist and Mitigation Measure No. 4 requires that a qualified arborist supervise all excavation and soil disturbing activities associated with grading, construction and restoration conducted within the critical root zone of any tree and monitoring of all trees whose Critical Root Zones are within the construction area for a period of 5 years with provision for replacement should any of the trees fail. Thus, on balance, the project will be consistent with Policy 20 and the conflict resolution provisions found in the Introduction to the Resource Management Chapter of the LUP in that although there will be development outside of existing hardscaped areas and within the driplines of individual cypress trees, the project will improve the habitat value of the entire site for Monterey cypress and will be most protective of coastal resources.

- g) The project planner conducted site inspections on April 1, 2011, July 21, 2011, March 21, 2012, May 21, 2012 and November 8, 2012 to verify ESHA locations and potential project impacts to ESHA.
- h) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN110114.
- i) See also **Findings 1 and 5**.

9. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.147.130 of the Monterey County Coastal Implementation Plan can be demonstrated.
  - b) The subject property is not described as an area where the Local Coastal Program requires public access (Figure 8 in the Del Monte Forest Area Land Use Plan).
  - c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
  - d) The project is located within the public viewshed of 17-Mile Drive and the shoreline is visible across the site from 17-Mile Drive.
  - e) The project is consistent with *LUP Policy 123* which does not allow development to block significant public views or significantly adversely

impact public views and scenic character, particularly from the 17-Mile Drive corridor. See **Findings 1, 5 and 6** above.

- f) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN110114.
- g) The project planner conducted site inspections on April 1, 2011, July 21, 2011, March 21, 2012, May 21, 2012 and November 8, 2012.

**10. FINDING:**

**WILDFIRE PROTECTION STANDARDS IN STATE RESPONSIBILITY AREAS**

– The subject project, as conditioned, will ensure standardized basic emergency access and fire protection pursuant to Section 4290 of the Public Resource Code.

**EVIDENCE:**

- a) The proposed project is within the Monterey County State Responsibility Area.
- b) The proposed garage will be built into the slope and will only be exposed on one side. The proposed wall/fence will be constructed of stone and metal, and will not be flammable.
- c) The project was reviewed by the Pebble Beach Community Services District (Fire District) for compliance with MCC Title 18.56. The four conditions of approval recommended by Fire have been imposed upon the project.

**11. FINDING:**

**APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission

**EVIDENCE:**

- a) Section 20.86.030.A of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Board of Supervisors.
- b) Section 20.86.080.A.1 and 3 of the Monterey County Zoning Ordinance states that the proposed project is subject to appeal by/to the Coastal Commission because the project is located between the first public road and the sea and because the project involves development that is permitted in the underlying zone as a conditional use.

**DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Planning Commission does hereby:

1. Adopt a Mitigated Negative Declaration;
2. Approve the Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval to allow the construction of a detached 1,070 square foot four-car garage with planted roof (green roof), remodel and reduction in size of an existing, detached carport, a new permeable cobblestone driveway, the replacement of an existing wood fence with a new stone wall with six 12-foot sections and one 15.5-foot section of antique bronze open-design fencing and antique bronze fencing with stone pillars at the new driveway entrance, restoration of existing paths and driveway to native Monterey cypress habitat, grading of approximately 550 cubic yards of cut and 200 cubic yards of fill; 2) a Coastal Development Permit for the removal of one dead 7" Monterey cypress; 3) a Coastal Development Permit for development within 100 feet of an Environmentally Sensitive Habitat Area; 4) a Coastal Development Permit for development within 750 feet of a known archaeological resource and; and 5) a Coastal Development Permit for development on

- slopes greater than 30 percent, in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference; and
3. Adopt the attached Mitigation Monitoring and Reporting Program.

**PASSED AND ADOPTED** this 13th day of March, 2013 upon motion of Commissioner Rochester, seconded by Commissioner Diehl, by the following vote:

AYES: Getzelman, Mendez, Diehl, Padilla, Hert  
NOES: Vandevere, Rochester, Roberts  
ABSENT: Brown, Salazar  
ABSTAIN: None

  
Mike Novo, Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON MAR 21 2013

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE] APR 01 2013

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

#### NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

**Monterey County Planning Department**  
**Condition of Approval Implementation Plan/Mitigation**  
**Monitoring Reporting Plan**

PLN110114

**1. PD001 - SPECIFIC USES ONLY**

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** This permit is a Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval to allow the construction of a detached 1,070 square foot four-car garage with planted roof (green roof), remodel and reduction in size of an existing, detached carport, a new permeable cobblestone driveway, the replacement of an existing wood fence with a new stone wall with six 12- foot sections and one 15.5-foot section of antique bronze open-design fencing and antique bronze fencing with stone pillars at the new driveway entrance, restoration of existing paths and driveway to native Monterey cypress habitat, grading of approximately 550 cubic yards of cut and 200 cubic yards of fill; 2) a Coastal Development Permit for the removal and replanting of one dead 7" Monterey cypress; 3) a Coastal Development Permit for development within 100 feet of an Environmentally Sensitive Habitat Area; 4) a Coastal Development Permit for development within 750 feet of a known archaeological resource and; and 5) a Coastal Development Permit for development on slopes greater than 30 percent. The project is located at 3227 17-Mile Drive, Pebble Beach (Assessor's Parcel Number 008-472-006-000). This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled.  
(RMA - Planning Department)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. The notice shall include the following language:

"A Combined Development Permit (Resolution No. 13-007) was approved by the Planning Commission for Assessor's Parcel Number 008-472-006-000 on March 13, 2013. The permit was granted subject to 26 conditions of approval including 9 mitigation measures which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department."

Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use.  
(RMA - Planning Department)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits or commencement of use, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning Department.

## 3. PD004 - INDEMNIFICATION AGREEMENT

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless.  
(RMA - Planning Department)

**Compliance or Monitoring Action to be Performed:** Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Director of RMA-Planning Department for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the RMA-Planning Department.

#### 4. PD016 - NOTICE OF REPORT

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:

"The following reports have been prepared for this property:  
'Geotechnical Investigation for Proposed New Driveway Alignment, Site Wall and Detached 4-Car Garage, Lundquist Property' (LIB110217), prepared by Haro, Kasunich and Associates, Watsonville, CA dated May 2011;  
'Tree Resource Evaluation Construction Impact Analysis' (LIB120030) prepared by Maureen Hamb, WCISA Certified Arborist, Santa Cruz, CA dated June 2011 and letter reports dated August 31, 2011 and February 8, 2013; and  
'Biological Assessment of Richard and Melanie Lundquist Property APN: 008-472-006-000 (LIB110215) prepared by Fred Ballerini, Pacific Grove, CA dated May 18, 2011;  
and are on file in the Monterey County RMA - Planning Department. All development shall be in accordance with these reports."  
(RMA - Planning Department)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to the RMA - Planning Department.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the RMA - Planning Department.

#### 5. PD022(B) - EASEMENT-DMF CONSERVATION & SCENIC

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** A conservation and scenic easement shall be conveyed to the Del Monte Forest Conservancy over those portions of the property where environmentally sensitive habitats, remnant native sand dune habitats, habitats of rare, endangered and sensitive native plants and animals, and visually prominent areas exist. The easement shall be developed in consultation with a certified professional and the Del Monte Forest Conservancy. These instruments shall be subject to approval by the County as to form and content, shall provide for enforcement, if need be, by the County or other appropriate agency, and name the County as beneficiary in event the Foundation is unable to adequately manage these easements for the intended purpose of scenic and visual resource protection. An easement deed shall be submitted to the Director of the RMA - Planning Department for review and approval prior to issuance of grading and building permits.

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to the to the Del Monte Forest Conservancy for review and approval.

Prior to the issuance of grading and building permits, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to the RMA - Planning Department for review and approval.

Prior to final inspection or commencement of use, the Owner/Applicant shall record the deed and map showing the approved conservation and scenic easement. Submit a copy of the recorded deed and map to the RMA-Planning Department.

## 6. PD010 - EROSION CONTROL PLAN

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA - Planning and Director of Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services.  
(RMA - Planning Department and RMA - Building Services Department)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, the Owner/Applicant shall submit an Erosion Control Plan to the RMA - Planning Department and the RMA - Building Services Department for review and approval.

The Owner/Applicant, on an on-going basis, shall comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services.

## 7. PD01 - NON STANDARD - CONSTRUCTION HOURS

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** Construction activities shall occur between the hours of 8-5 pm, Monday through Friday.

**Compliance or Monitoring Action to be Performed:** Prior to commencement of use and on an on-going basis, the Owner/Applicant shall demonstrate compliance with the hours of operation to the Director of RMA-Planning Department.

## 8. PD003(B) - CULTURAL RESOURCES POSITIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** If archaeological resources or human remains are accidentally discovered during construction, the following steps will be taken:

There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until the coroner of the county in which the remains are discovered must be contacted to determine that no investigation of the cause of death is required.

If the coroner determines the remains to be Native American:

- The coroner shall contact the Native American Heritage Commission and the RMA - Planning Department within 24 hours.

- The Native American Heritage Commission shall identify the person or persons from a recognized local tribe of the Esselen, Salinan, Costanoans/Ohlone and Chumash tribal groups, as appropriate, to be the most likely descendant.

- The most likely descendant may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in Public Resources Code Section 5097.9 and 5097.993, Or

Where the following conditions occur, the landowner or his authorized representatives shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further subsurface disturbance:

1. The Native American Heritage Commission is unable to identify a most likely descendant or the most likely descendant failed to make a recommendation within 24 hours after being notified by the commission.

2. The descendant identified fails to make a recommendation; or

3. The landowner or his authorized representative rejects the recommendation of the descendant, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner.

(RMA - Planning Department)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading or building permits, whichever occurs first, the Owner/Applicant, per the archaeologist, shall submit the contract with a Registered Professional Archaeologist to the Director of the RMA-Planning Department for approval.

Prior to the issuance of grading or building permits, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans, and in the CC&Rs.

## 9. PD006 - MITIGATION MONITORING

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** The applicant shall enter into an agreement with the County to implement a Mitigation Monitoring and/or Reporting Plan in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14 Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed mitigation monitoring agreement. The mitigation monitoring agreement shall be recorded.  
(RMA - Planning Department)

**Compliance or Monitoring Action to be Performed:** Within sixty (60) days after project approval or prior to the issuance of building and grading permits, whichever occurs first, the Owner/Applicant shall:

- 1) Enter into agreement with the County to implement a Mitigation Monitoring Program.
- 2) Fees shall be submitted at the time the property owner submits the signed mitigation monitoring agreement.
- 3) Proof of recordation of the mitigation monitoring agreement shall be submitted to the RMA-Planning Department.

## 10. PD009 - GEOTECHNICAL CERTIFICATION

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** Prior to final inspection, the geotechnical consultant shall provide certification that all development has been constructed in accordance with the geotechnical report.  
(RMA - Planning Department and Building Services Department)

**Compliance or Monitoring Action to be Performed:** Prior to final inspection, the Owner/Applicant/Geotechnical Consultant shall submit certification by the geotechnical consultant to the RMA-Building Services Department showing project's compliance with the geotechnical report.

## 11. PD041 - HEIGHT VERIFICATION

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of the RMA - Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project.  
(RMA - Planning Department and Building Services Department)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

## 12. PD044 - RESOURCE CONSERVATION EASEMENT

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** NON-STANDARD - A resource conservation easement shall be conveyed to the County over those portions of the property where known archaeological sites exist. A proposed easement deed shall be submitted to, and approved by, the Director of RMA - Planning Department prior to issuance of grading and building permits. The easements shall be conveyed to the County, upon approval by the Board of Supervisors, prior to final building inspection.  
(RMA - Planning Department)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading or building permits, the Owner/Applicant shall submit the appropriate conservation easement deed to the RMA for review and approval by the Director of the RMA-Planning Department.

Prior to final inspection, the Owner/Applicant shall ensure conveyance to the County upon approval by the Board of Supervisors.

## 13. FIRE007 - DRIVEWAYS

**Responsible Department:** Fire

**Condition/Mitigation Monitoring Measure:** (NON-STANDARD) Driveways shall not be less than 11.5 feet wide unobstructed, with an unobstructed vertical clearance of not less than 14 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (Pebble Beach Community Services District)

**Compliance or Monitoring Action to be Performed:**

1. Prior to issuance of grading and/or building permit, the applicant or owner shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.
2. Prior to final building inspection, the applicant or owner shall schedule Fire Department clearance inspection.

#### 14. FIRE008 - GATES

**Responsible Department:** Fire

**Condition/Mitigation Monitoring Measure:** All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (Pebble Beach Community Services District)

**Compliance or Monitoring Action to be Performed:**

1. Prior to issuance of grading and/or building permit, the applicant or owner shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.
2. Prior to final building inspection, the applicant or owner shall schedule Fire Department clearance inspection.

#### 15. FIRE011 - ADDRESSES FOR BUILDINGS

**Responsible Department:** Fire

**Condition/Mitigation Monitoring Measure:** All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Pebble Beach Community Services District)

**Compliance or Monitoring Action to be Performed:**

1. Prior to issuance of building permit, the applicant or owner shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.
2. Prior to final building inspection, the applicant or owner shall schedule Fire Department clearance inspection.

#### 16. FIRE019 - DEFENSIBLE SPACE REQUIREMENTS - (STANDARD)

**Responsible Department:** Fire

**Condition/Mitigation Monitoring Measure:** Manage combustible vegetation within a minimum of 100 feet of structures (or to the property line). Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (Pebble Beach Community Services District)

**Compliance or Monitoring Action to be Performed:**

1. Prior to issuance of grading and/or building permit, the applicant or owner shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.
2. Prior to final building inspection, the applicant or owner shall schedule Fire Department clearance inspection.

## 17. MM001 - AESTHETICS - WALL/FENCE DESIGN

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 1: In order to prevent adverse impacts to the existing scenic vista and to the scenic character of the site due to the replacement of the existing fence and to ensure that the project complies with the Visual Resources and Public Access policies of the Del Monte Forest Land Use Plan, the proposed wall/fencing along 17-Mile Drive shall be designed and sited to minimize obstruction of views from the road to the sea. The proposed wall/fencing shall be designed so as to not impair views from 17-Mile Drive over the existing condition. The wall/fence shall be constructed as shown on the plans dated November 6, 2012 (attached to the March 13, 2013 staff report) and as staked and flagged on November 7, 2012. Said plans include the following: 1) number of opening increased to six 12-foot wide and one 15.5-foot wide open-design antique bronze fencing sections; 2) the wing walls at each opening are reduced to not more than 4 feet-6 inches long; and 3) the height of sections D, F, G and H are reduced by 1, 1, 2 and 0.5 feet respectively.

**Compliance or Monitoring Action to be Performed:** Monitoring Action No. 1: Prior to the issuance of a building or grading permit, the applicant/owner shall submit plans for the wall/fencing to the RMA-Building Services Department and the RMA-Planning Department for review and approval as described in this Mitigation Measure. The approved wall/fencing plans shall be incorporated into the plans for the construction permits required for the project.

Monitoring Action No. 2: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection.

Monitoring Action No. 3: Prior to final inspection the applicant/owner shall provide evidence from a licensed civil engineer or surveyor to the Director of the RMA - Building Services Department and RMA-Planning Department for review and approval, that the height of the wall/fence from the benchmark is consistent with what was approved on the building permit associated with this project and that the replacement fence has been constructed in accordance with the approved plans to the RMA-Planning Department for review and approval.

## 18. MM002 - AESTHETICS -

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 2: In order to prevent adverse impacts to the existing scenic vista and to the scenic character of the site due to the planting of Monterey cypress trees of non-indigenous stock along the front fence line and to prevent adverse impacts to the native Monterey cypress forest, the applicant/owner shall remove all such recently planted trees from the property. The trees shall be removed under the supervision of a qualified arborist to ensure that only non-indigenous trees are removed.

**Compliance or Monitoring Action to be Performed:** Monitoring Action No. 2: Prior to the issuance of a building or grading permit, the applicant/owner shall submit evidence to the RMA-Planning Department that all recently planted non-indigenous Monterey cypress trees on the property have been removed. Such evidence shall consist of a letter from a qualified arborist describing the number and location of the trees that were removed.

## 19. MM003 - TREE PROTECTION

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 3: In order to prevent adverse impacts to trees, prior to the issuance of a construction permit, a qualified arborist shall supervise the installation of the tree protection measures as set forth in the Tree Resource Evaluation Construction Impact Analysis (LIB120030) prepared by Maureen Hamb, dated June 2011 (arborist report). Such tree protection measures shall remain in place throughout construction and shall not be removed until all construction activities are complete. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by a certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. When access to the protected areas becomes necessary, it shall be reviewed by both the contractor and the project arborist, and the arborist shall have the authority to supervise such access. Stockpiling of materials or parking within the critical root zone of trees shall not be allowed. The text of this measure shall be included as a note on the construction plans.

**Compliance or Monitoring Action to be Performed:** Monitoring Action No. 3a: Prior to the issuance of a grading or building permit, the applicant/owner shall submit proof to the RMA-Planning Department that the tree protection measures have been installed as prescribed. Such proof shall be in the form of a letter from the arborist and photographs of the protection measures in place. The owner/applicant shall submit evidence that the text of this measure appears as a note on the construction plans.

Monitoring Action No. 3b: Prior to final inspection, the applicant/owner shall provide verification from the arborist that the tree protection measures have been successful. If additional mitigation measures are determined to be required, they shall be formulated and implemented by the monitoring arborist, after review and approval by the RMA - Planning Department.

## 20. MM004 - TREE PROTECTION - MONITORING REQUIRED

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 4: In order to prevent adverse impacts to trees located in close proximity to the project due to construction activities, a qualified arborist shall be present during all excavation and soil disturbing activities associated with grading, construction and restoration conducted within the critical root zone (CRZ) of any tree. The CRZ for each tree is included in the arborist report prepared for the project. Roots greater than one inch will be inspected and evaluated by the project arborist. If necessary, as determined by the arborist, the root will be retained, wrapped in protective material (foam pipe wrap) and bridged to the specifications of the arborist. The arborist shall supervise or perform the pruning of any tree roots as necessary. The arborist shall have the authority to require such special construction methods as he/she determines are necessary to protect the trees, including but not limited to designing the wall footings to span over tree roots, tunneling under tree roots or placement of a grade beam above grade. If it appears to the arborist that any tree has experienced or will experience death or damage due to construction activities, all work shall stop within the CRZ of the tree and the arborist/owner/applicant shall immediately contact the RMA-Planning Department to determine whether additional permits or modification of the project is required. Following construction and for a period of not less than five (5) years, trees whose Critical Root Zone (CRZ) is within the areas impacted by construction shall be monitored annually by a qualified arborist. If any noticeable decline in the health of any tree is observed, additional Monterey cypress trees of indigenous stock shall be planted onsite at a one-to-one ratio in a suitable location as determined by the arborist..

**Compliance or Monitoring Action to be Performed:** Monitoring Action No. 4a: Prior to issuance of a construction permit, the applicant shall provide to the RMA-Planning Department a copy of the contractual agreement with a qualified arborist to provide the required monitoring services to the RMA-Planning Department for review and approval.

Monitoring Action No. 4b: Prior to final inspection the applicant or arborist shall also submit evidence of on-site monitoring, including arborist certification regarding the success of the measures, to the RMA-Planning Department. If additional mitigation measures are determined to be required, they shall be formulated and implemented by the monitoring arborist, after review and approval by the RMA - Planning Department. The requirements of this measure shall be included as a note on all grading and building plans.

Monitoring Action No. 4c: Beginning one year after final inspection of the project, the applicant shall submit annual monitoring reports by the arborist, subject to the RMA-Planning Department's approval, for five (5) years. The reports shall document the status of the health of all trees being monitored and any required replacement plantings.

## 21. MM005 - SENSITIVE SPECIES REPLACEMENT PLANTINGS REQUIRED

**Responsible Department:** Planning Department

**Condition/Mitigation** Mitigation Measure No. 5:

**Monitoring Measure:** In order to mitigate for the removal of sensitive plant species on the site the following re-planting measures shall apply:

1. Small-leaved lomatium: all of the lomatium plants located within the area of the proposed driveway and garage (minimum of 86 plants) shall be salvaged from the site prior to the issuance of a grading or building permit and grown out by a reputable native plant nursery familiar with the growing requirements of the Small-leaved lomatium. The salvaged lomatium shall be re-planted on the site in the fall months to coincide with the arrival of the rainy season.

2. Ocean bluff milk-vetch: Ocean bluff milk-vetch seed shall be collected from several locations on the property to ensure genetic diversity and shall be propagated for a fall out-planting. The plants shall be replaced on the site at a 3:1 ratio (minimum of 6 plants), as recommended by the project biologist.

3. Monterey pine: Any Monterey pine tree saplings removed from the construction zone shall be re-planted on the site.

4. Monterey cypress: The one dead Monterey cypress that is located within the footprint of the proposed garage shall be removed. Three replacement Monterey cypress trees propagated from trees indigenous to Pebble Beach shall be planted on the site in addition to the Monterey cypress that are required to be planted as part of the Monterey Cypress Habitat Restoration Plan. Any native Monterey cypress seedlings or saplings that are removed from the footprint of the proposed development shall be transplanted to another location on the site under the supervision of a qualified arborist. Mitigation revegetation locations for Items 1 and 2 shall be determined by the project biologist in consultation with the project arborist. Mitigation revegetation locations for Items 3 and 4 shall be determined by the project arborist. The re-planting plan shall be submitted to the RMA-Planning Department for review and approval prior to issuance of a grading or building permit. The applicant/owner shall submit a monitoring report prepared by the project biologist documenting the success of the planting to the RMA-Planning Department 6 months after the initial planting and then annually for 2 years. The replanting shall be considered successful when 95 percent of replanted trees and 85 percent of other planted native vegetation have survived and are evaluated by the project biologist and project arborist as being in good health. In the event of loss of plant materials due to mortality, the plants shall be replaced and the monitoring shall begin again.

**Compliance or  
Monitoring  
Action to be Performed:**

**Monitoring Action No. 5a:**

Prior to the issuance of grading or building permit, applicant/owner shall submit the planting/restoration plan to the RMA-Planning Department for review and approval.

**Monitoring Action No. 5b:**

Prior to final inspection, the applicant/owner shall submit evidence to the RMA-Planning Department that the planting plan has been implemented.

**Monitoring Action No. 5c:**

The applicant/owner shall submit monitoring report prepared by a qualified biologist 6 months after the evidence required in 5b above has been submitted and then annually for a minimum of 2 years or until the replanting has been deemed successful. The monitoring reports shall include an evaluation of the health status of the plantings and recommendations regarding measures to improve the success of the plantings if they are not thriving. The applicant/owner shall implement the recommendations. The requirement for monitoring reports shall end after 2½ years or whenever the required success rate of 95 percent survival for trees and 85 survival percent for other vegetation, has been met, whichever occurs later.

## 22. MM006 - MONTEREY CYPRESS HABITAT RESTORATION PLAN

**Responsible Department:** Planning Department

**Condition/Mitigation** Mitigation Measure No. 6:

**Monitoring Measure:** To mitigate for the removal of native Monterey cypress habitat, the applicant/owner shall prepare and implement a Monterey Cypress Habitat restoration plan for the existing asphalt driveway and the existing gravel paths and parking areas and all other areas that will be disturbed due to construction. The restoration plan shall be prepared by a qualified biologist in consultation with a qualified arborist and shall include measures to protect adjacent Monterey cypress trees during the restoration. Installation of the restoration plan shall be done under the supervision of a qualified biologist. The restoration plan shall also include a planting plan that includes mulching, the installation of Monterey cypress trees propagated from trees indigenous to Pebble Beach, appropriate Monterey cypress forest understory plants and a plan for the eradication of non-native species. Plants and seeds shall consist of appropriate local ecotypes of plant species and site-specific seed and/or cuttings shall be utilized. It is not expected that restoration to native Monterey cypress habitat will require excessive plantings. The removal of non-native species and installation of mulch and minimal appropriate native plantings to allow native understory plants to regenerate in areas that do not require erosion control plantings is preferable. The applicant/owner shall submit a monitoring report prepared by the project biologist documenting the success of the restoration to the RMA-Planning Department 6 months after the initial planting and then annually for 2 years. The restoration shall be considered successful when 95 percent of replanted trees, 85 percent of other planted native vegetation have survived and are evaluated by the project biologist and project arborist as being in good health, and 100 percent of non-native invasive plants within the restoration areas have been eradicated. In the event of loss of plant materials due to mortality, the plants shall be replaced and the monitoring shall begin again.

**Compliance or  
Monitoring  
Action to be Performed:**

**Monitoring Action No. 6a:**

Prior to the issuance of a grading or building permit, the applicant/owner shall submit the Monterey Cypress Habitat Restoration Plan and a copy of the contractual agreement with a qualified biologist for review and approval to the RMA-Planning Department for review and approval.

**Monitoring Action No. 6b:**

Prior to final inspection, the applicant/owner shall submit a report to the RMA-Planning Department from the project biologist documenting that the restoration plan has been implemented.

**Monitoring Action No. 6c:**

The applicant/owner shall submit monitoring report prepared by a qualified biologist 6 months after the evidence required in 5b above has been submitted and then annually for a minimum of 2 years or until the restoration has been deemed successful. The monitoring reports shall include an evaluation of the health status of the plantings and recommendations regarding measures to improve the success of the plantings if they are not thriving. The applicant/owner shall implement the recommendations. The requirement for monitoring reports shall end after 2½ years or whenever the required success rate of 95 percent survival for trees and 85 survival percent for other vegetation, has been met, whichever occurs later.

## 23. MM007 - BIOLOGICAL RESOURCES PRECONSTRUCTION SURVEY REQUIRED

**Responsible Department:** Planning Department

**Condition/Mitigation** Mitigation Measure No. 7:

**Monitoring Measure:**

In order to minimize potential biological impacts to animal resources and habitat, prior to the commencement of work, the project biologist shall perform a preconstruction survey for special status plant and wildlife species, including nesting birds. There shall be no removal of a special status species without prior approval of the RMA-Planning Department. For any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. Limits of construction to avoid an active nest shall be established in the field with flagging, fencing, or other appropriate barriers, and construction personnel.

**Compliance or  
Monitoring**

**Action to be Performed:**

**Monitoring Action No 7a:**

Prior to issuance of a grading or building permit, applicant/owner shall submit a copy of the contract with a biologist to perform the pre-construction surveys to the RMA-Planning Department.

**Monitoring Action No. 7b:**

No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit, to the RMA-Planning Department, a nest survey prepared by a County qualified biologist to determine if active raptor or migratory bird nests occur within the project site or immediate vicinity.

**Monitoring Action No. 7c:**

If active raptor or migratory bird nests are present, the project biologist shall establish an appropriate buffer plan around the nests and limits of construction shall be established in the field.

## 24. MM008 - ARCHAEOLOGICAL MONITORING REQUIRED

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 8: 1) In order to prevent adverse impacts to cultural resources, a qualified archaeological monitor shall be present during excavation and soil disturbing activities associated with: a) the excavation for the new driveway, fence, and garage; and b) removal and restoration of the existing driveway and paths. 2) The monitor shall have the authority to temporarily halt work to examine any potentially significant materials. 3) If human remains are identified, work shall be halted to within a safe working distance, the Monterey County Coroner must be notified immediately and if said remains are determined to be Native American, the Native American Heritage Commission shall be notified as required by law. 4) If potentially significant, archaeological resources are discovered, work shall be halted in the area of the find until it can be evaluated and, in consultation with the lead agency, appropriate mitigation measures be formulated and implemented. 5) If suitable materials are recovered, a minimum of two samples shall be submitted for radiocarbon dating in order to provide a basic chronology of the site. 6) If intact, significant features should be encountered, the archaeologist shall recommend appropriate mitigation measures. Features are human burials, hearths, house floors, caches of stone tools. A feature is artifactual and cannot be moved but must be documented in place, in situ. 7) A monitoring report shall be produced by the qualified archaeologist to document any findings and to evaluate the significance of the cultural resource. 8) The applicant shall retain a qualified archaeologist to monitor and ensure conduct of the requirements of the mitigation and monitoring plan.

**Compliance or Monitoring Action to be Performed:** Monitoring Action No. 8:  
Prior to issuance of a construction permit, the applicant shall provide to the RMA-Planning Department a copy of the contractual agreement with a qualified archaeologist for review and approval. The applicant or archaeologist shall also submit evidence of on-site monitoring, including archaeologist certification, to the RMA - Planning Department. If additional measures are determined to be required to minimize impacts, they shall be formulated by a qualified archaeologist, reviewed and approved by the RMA-Planning Department, and implemented by the monitoring archaeologist. The requirements of this measure shall be included as a note on all grading and building plans.

## 25. MM009 - ARCHAEOLOGICAL RESOURCES EXCLUSIONARY FENCING

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** Mitigation Measure No. 9:  
During demolition, construction and restoration, the archaeological site shall be protected with exclusionary fencing to minimize the potential for unanticipated impacts to cultural resources.

**Compliance or Monitoring Action to be Performed:** Monitoring Action No. 9:  
Prior to the issuance of a demolition permit, the applicant shall submit evidence of exclusionary fencing to the RMA-Planning Department for review and approval. The requirements of this measure shall be included as a note on all grading and building plans.

## 26. PD032(A) - PERMIT EXPIRATION

**Responsible Department:** Planning Department

**Condition/Mitigation Monitoring Measure:** The permit shall be granted for a time period of 3 years, to expire on March 13, 2016 unless use of the property or actual construction has begun within this period. (RMA-Planning Department)

**Compliance or Monitoring Action to be Performed:** Prior to the expiration date stated in the condition, the Owner/Applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.

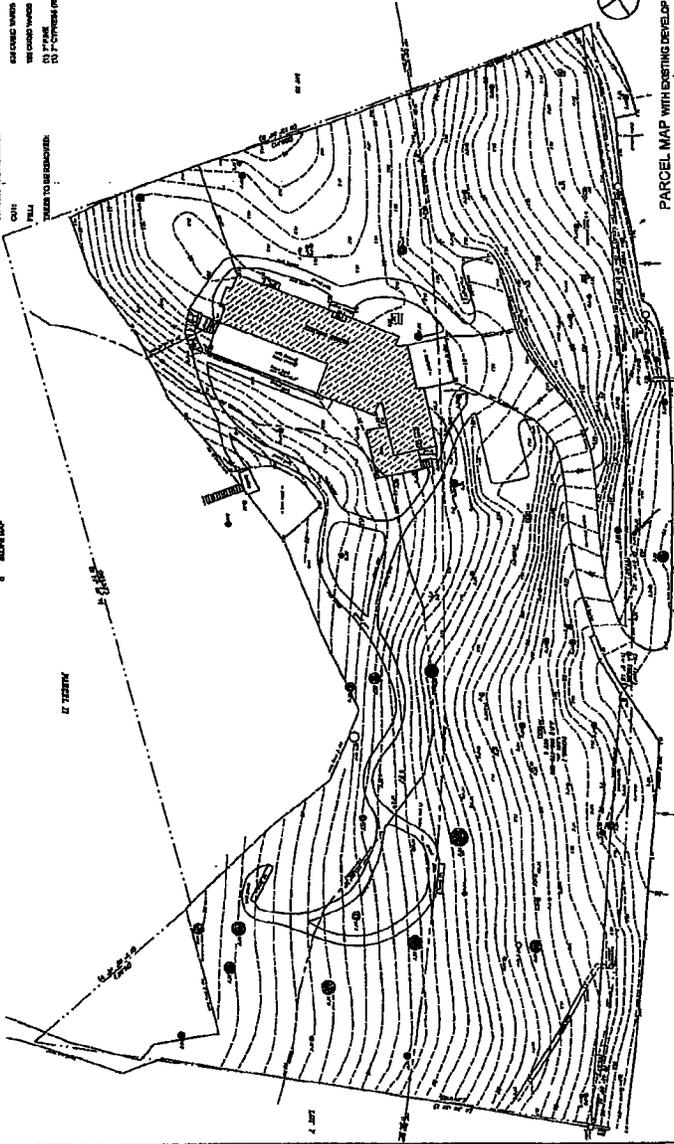
**SHEET SCHEDULE**

- 1 PROJECT DATA, PARCEL MAP, AND VICINITY MAP
- 2 GRADE, EROSION CONTROL, AND DRAINAGE CALCULATIONS
- 3 CIVIL, PAVING, AND UTILITY CALCULATIONS
- 4 FLOOR AREA, WATER, AND SEWER CALCULATIONS
- 5 EROSION CONTROL, AND DRAINAGE CALCULATIONS
- 6 SITE PHOTOS

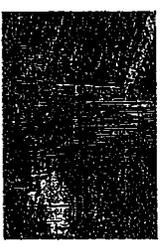
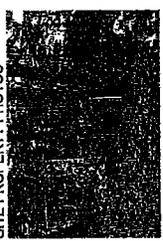
**SCOPE OF WORK**

DESIGN AND CONSTRUCTION OF A 1.5 ACRE TRACT FOR THE DEVELOPMENT OF A SINGLE-FAMILY RESIDENTIAL TRACT. THE TRACT IS TO BE DEVELOPED WITH PLANNED ROADS, STORM SEWER SYSTEM, AND UNDERGROUND TRENCH SERVICE WITH PLANNED ROADS.

- DESIGN CALCULATIONS
- CIVIL
- PAVING
- TRAFFIC TO BE CONSIDERED
- DESIGN WORK
- CONSTRUCTION
- CONSTRUCTION
- CONSTRUCTION



SITE PROPERTY PHOTOS

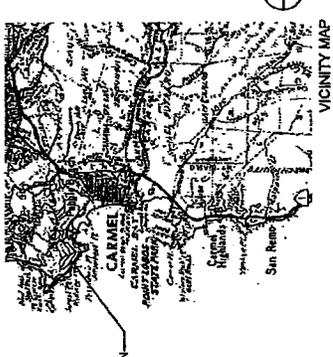


PARCEL MAP WITH EXISTING DEVELOPMENT  
SCALE 1" = 20'



**PROJECT DATA**

<b>OWNER:</b>	Michael J. & Susan M. Johnson 2000 W. 10th Street, Suite 100 Orem, Utah 84058
<b>ARCHITECT:</b>	Chris & Sarah Larson Architects 1000 W. 10th Street, Suite 100 Orem, Utah 84058
<b>ENGINEER:</b>	2000 W. 10th Street, Suite 100 Orem, Utah 84058
<b>PROJECT ADDRESS:</b>	2000 W. 10th Street, Suite 100 Orem, Utah 84058
<b>APR:</b>	008-07-00
<b>LOT SIZE:</b>	1.51 Acres (65,200 sq. ft.)
<b>LAND USE:</b>	RESIDENTIAL, UNIMPROVED
<b>STATUS:</b>	UNIMPROVED
<b>WATER MAINLINE:</b>	CALIFORNIA AMERICAN WATER
<b>SEWER SYSTEM:</b>	PUBLIC SEWER (COMMUNITY DEVELOPMENT DISTRICT)
<b>LET CONTRACTING CALCULATIONS:</b>	
<b>ASBESTOS (YES/NO):</b>	NO
<b>EROSION CONTROL:</b>	2000 W. 10th Street, Suite 100 Orem, Utah 84058
<b>PAVING:</b>	2000 W. 10th Street, Suite 100 Orem, Utah 84058
<b>TRAFFIC:</b>	2000 W. 10th Street, Suite 100 Orem, Utah 84058
<b>FLOOR AREA WATER CALCULATIONS:</b>	
<b>AT RISK (YES/NO):</b>	NO
<b>PROJECT (S.A.S. PLAN):</b>	2000 W. 10th Street, Suite 100 Orem, Utah 84058
<b>DATE:</b>	10/20/00
<b>SCALE:</b>	1" = 20'
<b>PROJECT (S.A.S. PLAN):</b>	2000 W. 10th Street, Suite 100 Orem, Utah 84058
<b>DATE:</b>	10/20/00
<b>SCALE:</b>	1" = 20'



VICINITY MAP

DATE	1/26/2011
SCALE	1" = 20'
DRAWN BY	AL
CHECKED BY	100

PROJECT DATA, PARCEL MAP, AND VICINITY MAP  
**LUNDQUIST**  
REGISTERED CIVIL ENGINEER, CALIFORNIA

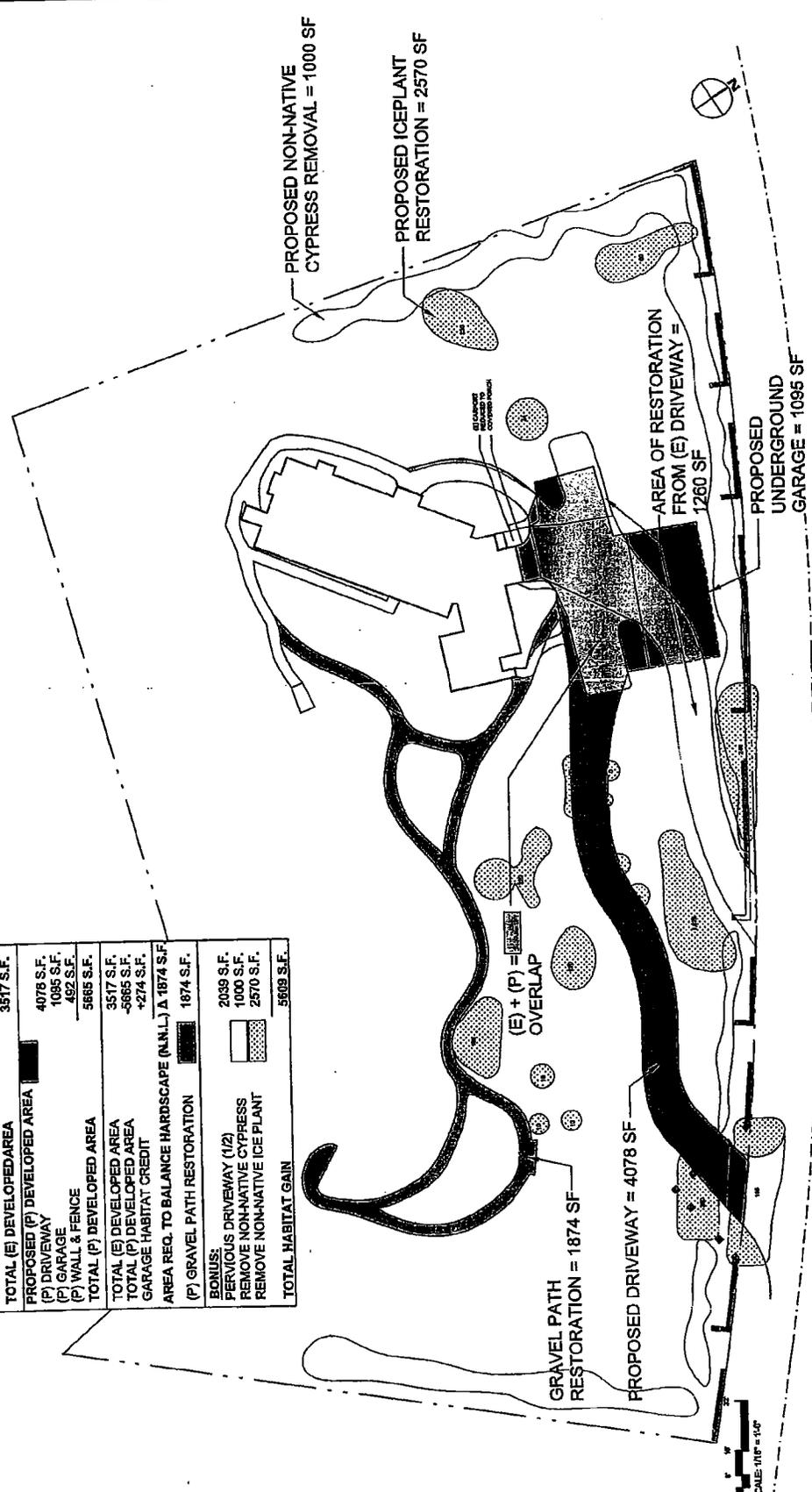
DATE: 1/26/2011  
SCALE: 1" = 20'  
DRAWN BY: AL  
CHECKED BY: 100

NO SET BACKS, CHANGES TO PERMIT, ETC.  
PERMIT INFORMATION: 714-944-8834  
CONTRACT NUMBER: 10000000000000000000





EXISTING (E) DEVELOPED AREA	3249 S.F.
(E) DRIVEWAY	288 S.F.
(E) FENCE	3517 S.F.
TOTAL (E) DEVELOPED AREA	7054 S.F.
PROPOSED (P) DEVELOPED AREA	4078 S.F.
(P) DRIVEWAY	1095 S.F.
(P) GARAGE	492 S.F.
(P) WALL & FENCE	5665 S.F.
TOTAL (P) DEVELOPED AREA	6652 S.F.
TOTAL (E) DEVELOPED AREA	3517 S.F.
TOTAL (P) DEVELOPED AREA	-5665 S.F.
GARAGE HABITAT CREDIT	+274 S.F.
AREA REQ. TO BALANCE HARDSCAPE (N.L.L.)	Δ 1874 S.F.
(P) GRAVEL PATH RESTORATION	1874 S.F.
BONUS:	
PERVIOUS DRIVEWAY (1/2)	2039 S.F.
REMOVE NON-NATIVE CYPRESS	1000 S.F.
REMOVE NON-NATIVE ICE PLANT	2570 S.F.
TOTAL HABITAT GAIN	5609 S.F.



DATE: 01/10/2018	TITLE: HABITAT RESTORATION AREA - CONCEPT PLAN	PROJECT: 1874 SCHNITZER	DATE: 3.1
SCALE: 1/16" = 1'-0" (SHEET) 1/8" = 1'-0" (PLAN)	LUNDQUIST ARCHITECTURE + INTERIOR DESIGN 1000 17TH AVENUE, SUITE 100 DENVER, CO 80202	ARCHITECT: LUNDQUIST ARCHITECTURE + INTERIOR DESIGN www.lundquistfirm.com	PROJECT: 1874 SCHNITZER ARCHITECT: LUNDQUIST ARCHITECTURE + INTERIOR DESIGN www.lundquistfirm.com
DRAWN BY: ALAN			
JOB NUMBER: 1874			



**KEY**

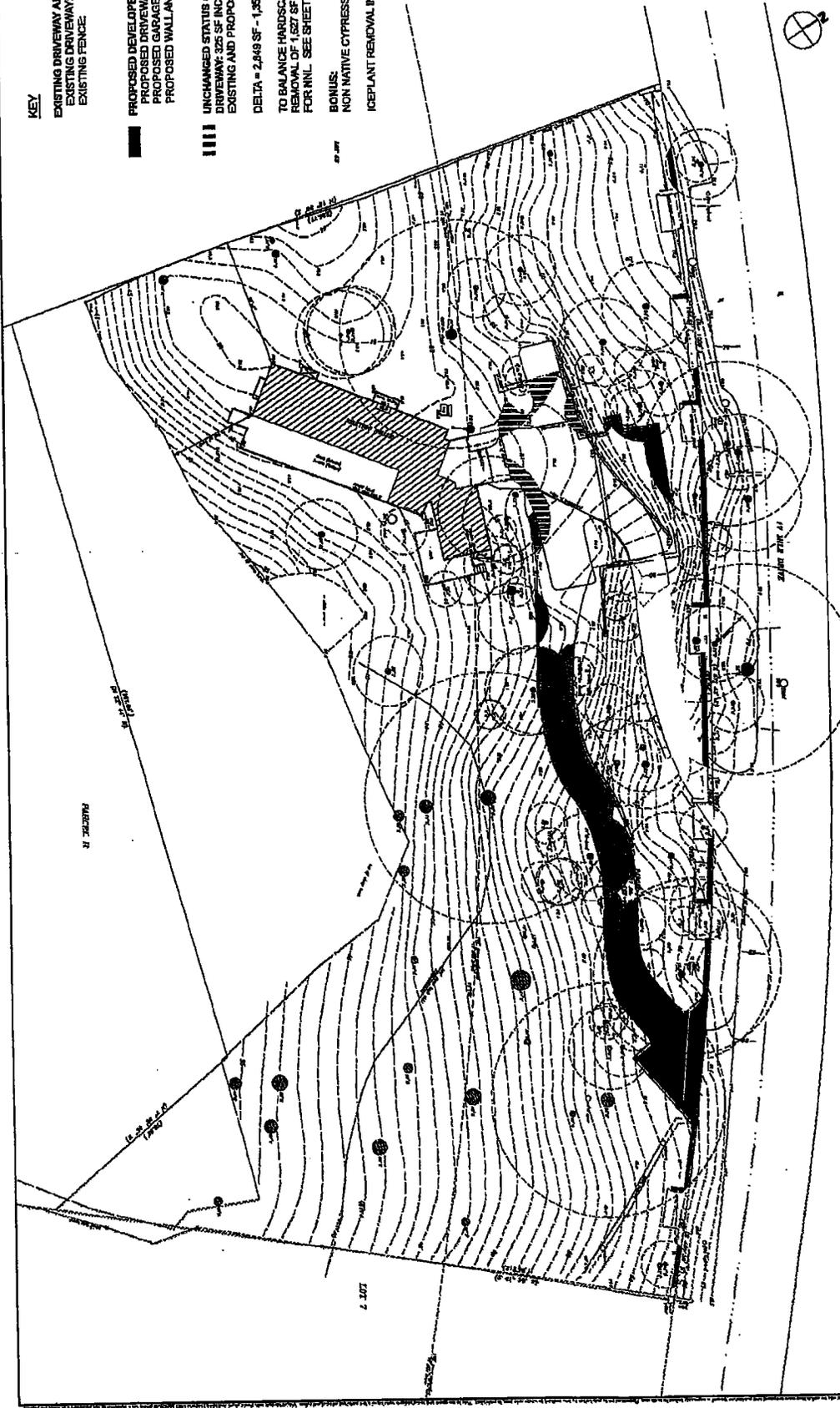
EXISTING DRIVEWAY AREA IN CRZ: 1,207 SF  
 EXISTING DRIVEWAY: 1,207 SF  
 EXISTING FENCE: 150 SF  
 EXISTING FENCE: 1,357 SF

PROPOSED DEVELOPED AREA IN CRZ: 2,246 SF  
 PROPOSED DRIVEWAY: 2,246 SF  
 PROPOSED DRIVEWAY: 2,246 SF  
 PROPOSED WALL AND FENCE: 368 SF  
 PROPOSED WALL AND FENCE: 2,849 SF

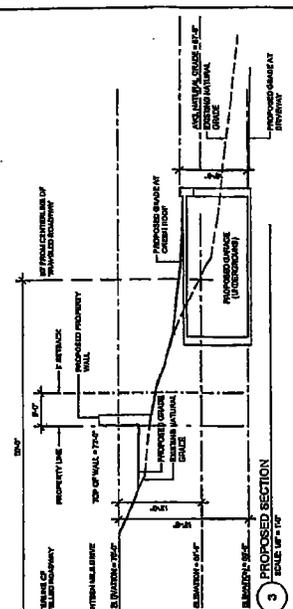
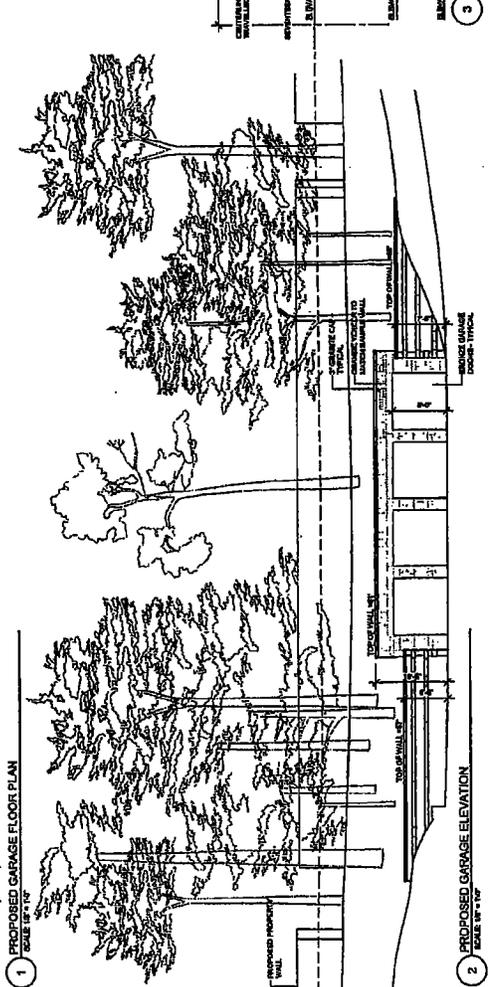
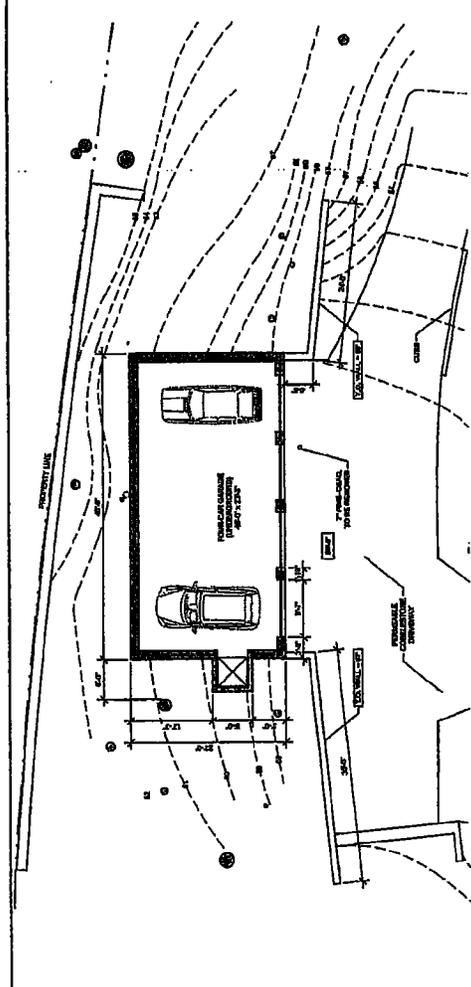
UNCHANGED STATUS OF EXISTING DRIVEWAY: 226 SF INCLUDED IN BOTH EXISTING AND PROPOSED.

DELTA = 2,849 SF - 1,357 SF = 1,492 SF  
 TO BALANCE HARDSCAPE PROPOSED REMOVAL OF 1,527 SF OF GRAVEL PATH FOR NTL. SEE SHEET 3.1.

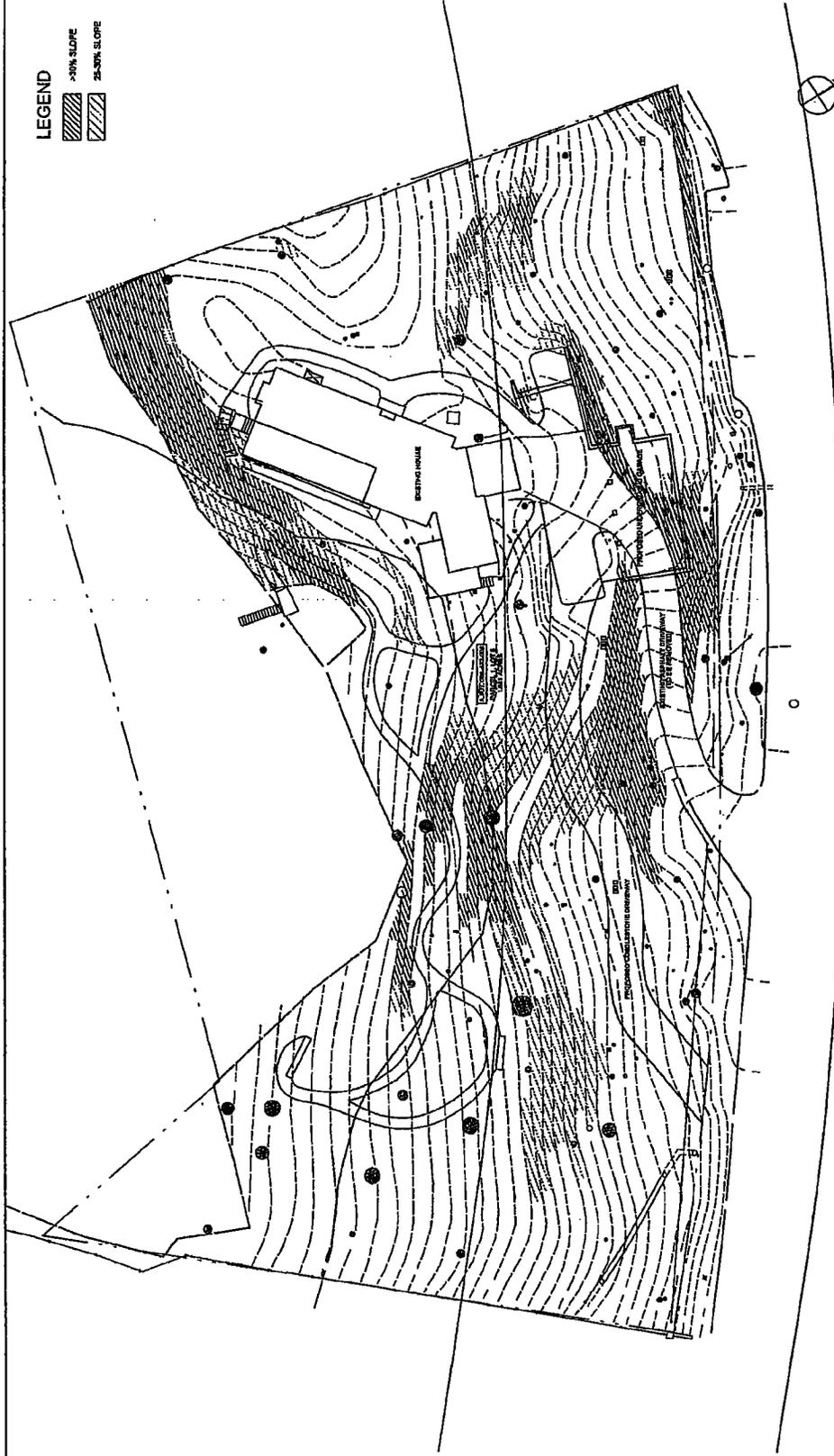
BONUS:  
 NON NATIVE CYPRESS REMOVAL IN CRZ: 1,000 SF  
 ICEPLANT REMOVAL IN CRZ: 2,510 SF  
 3,510 SF



DATE: 01 FEBRUARY 2013		TITLE: PROPOSED SITE PLAN - CRITICAL ROOT ZONE	
SCALE: AS SHOWN (1/8" = 1'-0")		DRAWN BY: CC	
DATE NUMBER: 1000		JOB NUMBER: 1000	
 <b>LUNDQUIST</b> CIVIL/MECHANICAL ENGINEERS • FERRISVILLE, CALIFORNIA			
 <b>Carter + Schlotzky</b> ARCHITECTS • PLANNERS • INTERIORS DESIGNERS			
3000 WEST UNIVERSITY AVENUE, SUITE 100 FERRISVILLE, CALIFORNIA 94503 925.251.1234 • WWW.CARTERSCHLOTZKY.COM			
		3.4	



DATE		TITLE	
LUNENBERG		PROPOSED GARAGE FLOOR PLAN, ELEVATION, AND SECTION	
SCALE 1/8" = 1'-0"			
DRAWN BY			
CHECKED BY			
DATE			
PROJECT NO.		LUNDQUIST	
CLIENT		CITY OF LUNENBERG • FERRIS ROAD, CALIFORNIA	
DESIGNER		Carver + Beckwith ARCHITECTS • LANDSCAPE ARCHITECTS	
SCALE		5	
SHEET		NO. 1047 - BUNNELL, CA 93701 - 10A FROM EXISTING EXISTING GARAGE CONSTRUCTION	



DATE	1 JAN 2011	TITLE	SLOPE MAP	PROJECT	<p>NO. 100 1000 - JOURNAL OF 1000' CURS. FROM 1000 1000 - 1000 1000 1000 LANDSCAPE ARCHITECTURE</p> <p>Government of California Department of Transportation</p> 
SCALE	1/8" = 1'-0"	DRAWN BY	AJ	SHEET	
CHECKED BY		DATE	1/11/11	PROJECT	
<p><b>LUNDQUIST</b> LANDSCAPE ARCHITECTURE • 1000 1000 1000</p>					

# Exhibit H

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## **EXHIBIT H**

### **POLICY 20 OF THE DEL MONTE FOREST LAND USE PLAN (effective February 7, 2018)**

Indigenous Monterey cypress habitat is an environmentally sensitive habitat area within the Del Monte Forest, and is presumed present within and adjacent to the area mapped in Figure 2a. All proposed development in this area shall be accompanied by a coordinated biological/arborist report prepared in consultation with the Del Monte Forest Conservancy and consistent with Policies 12 and 16, a primary purpose of which shall be to determine: the Monterey cypress habitat portion of the site; the “critical habitat area” for the site (i.e., the portion of Monterey cypress habitat on the site that is to be avoided to protect against potential damage or degradation of cypress habitat, including the microhabitat of individual cypress trees); the relative habitat sensitivity of all parts of the site, ranked from the highest sensitivity to the lowest sensitivity in terms of potential adverse impacts from development; the ways in which the cypress habitat portion of the site, the critical habitat area and the relative habitat sensitivity rankings relate to adjacent and surrounding habitat areas; and the measures to best protect Monterey cypress habitat on the site and overall, including on-site (and potentially off-site) restoration and enhancement measures. The critical habitat area shall at a minimum be defined by a 10-foot buffer applied to the outermost driplines (i.e., the tree canopies) of all of the Monterey cypress trees on and adjacent to the site, but shall also include any other areas on site that are deemed critical to preservation of existing cypress trees on and off site, or that are to be avoided due to high habitat sensitivity and/or cypress habitat preservation purposes for other reasons.

All development in and adjacent to the Monterey cypress habitat mapped in Figure 2a shall be carefully sited and designed to avoid potential damage or degradation of Monterey cypress habitat, including the microhabitat of individual cypress trees, and shall be required to include measures that will enhance Monterey cypress habitat values. All use and development in or adjacent to indigenous Monterey cypress habitat areas shall be compatible with the objective of protecting this environmentally sensitive coastal resource. All improvements (such as structures and driveways, etc.) shall be carefully sited and designed to avoid potential damage and/or degradation of Monterey cypress habitat, including the microhabitat of individual cypress trees. Open space conservation and scenic easements are required for all undeveloped areas of a site within the Monterey cypress habitat area, and such easements shall be secured consistent with Policy 13.

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# Exhibit I

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## EXHIBIT I

### SECTION 20.147.040.D.2

**(Subsection 2 of Subsection D of Section 20.147.040 of Part 5, Regulations for Development in the Del Monte Forest Land Use Plan Area, of Title 20 (Monterey County Coastal Implementation Plan)) [effective February 7, 2018]**

#### 2. Monterey Cypress Habitat

(a) Indigenous Monterey cypress habitat is an environmentally sensitive habitat area within the Del Monte Forest, and is presumed present within and adjacent to the area mapped in LUP Figure 2a. All proposed development in this area shall be accompanied by a coordinated biological/arborist report in consultation with the Del Monte Forest Conservancy and consistent with Section 20.147.040.A, a primary purpose of which shall be to determine: the Monterey cypress habitat portion of the site; the “critical habitat area” for the site (i.e., the portion of Monterey cypress habitat on the site that is to be avoided to protect against potential damage or degradation of cypress habitat, including the microhabitat of individual cypress trees); the relative habitat sensitivity of all parts of the site, ranked from the highest sensitivity to the lowest sensitivity in terms of potential adverse impacts from development; the ways in which the cypress habitat portion of the site, the critical habitat area and the relative habitat sensitivity rankings relate to adjacent and surrounding habitat areas; and the measures to best protect Monterey cypress habitat on the site and overall, including on-site (and potentially offsite) restoration and enhancement measures. The critical habitat area shall at a minimum be defined by a 10-foot buffer applied to the outermost driplines (i.e., the tree canopies) of all of the Monterey cypress trees on and adjacent to the site, but shall also include any other areas on site that are deemed critical to preservation of existing cypress trees on and off site, or that are to be avoided due to high habitat sensitivity and/or cypress habitat preservation purposes for other reasons.

(b) Within and adjacent to their indigenous range (see LUP Figure 2a), indigenous Monterey cypress habitat shall be protected to the maximum extent possible. All development in and adjacent to the Monterey cypress habitat mapped in Figure 2a shall be carefully sited and designed to avoid adverse impacts and potential damage or degradation of Monterey cypress habitat, including the microhabitat of individual cypress trees, and shall be required to include measures identified pursuant to the biological/arborist report that will protect and enhance Monterey cypress habitat values. These measures may include, but are not limited to: siting development in any non-Monterey cypress portions of the site to the maximum degree possible; prohibiting all irrigation of Monterey cypress habitat areas; improving growing conditions to provide a bare, mineral soil necessary for seed germination; and increasing sunlight to prevent soil borne fungi from inhabiting seedlings. Trees identified by the biological/arborist as at risk from construction shall be surrounded by exclusionary fencing located outside of the critical habitat area. Grading, demolition, and construction permits shall not be issued and construction shall not commence until it is confirmed in writing by the project biologist/arborist that all tree protection measures have been installed, and that a preconstruction cypress habitat protection meeting (with the project general contractor, demolition and grading subcontractors, the project civil engineer, and the biologist/arborist, as applicable) has been completed. All use and

development in or adjacent to identified Monterey cypress habitat areas shall be compatible with the objective of protecting this environmentally sensitive coastal resource.

(c) All improvements (such as structures and driveways, etc.) shall be carefully sited and designed to avoid potential damage and/or degradation of Monterey cypress habitat, including the micro-habitat of individual trees, including as described below.

(1) On undeveloped lots (i.e., those without an existing legally established residence), within the perimeter of the critical habitat area for a site, development (including removal of native trees or other indigenous vegetation, grading, paving, building construction activity, landscape alterations, and summer watering) shall be prohibited, other than: development associated with cypress habitat enhancement and/or restoration; and on the inland side of 17-Mile Drive only: driveways, underground residential utilities and fences (which shall be designed with see-through materials or spaced in a manner to protect views of the natural habitat from 17-Mile Drive (e.g., wrought iron with openings)), and only if this area cannot possibly be avoided and if such development does not harm individual cypress trees. All otherwise allowable development shall be sited, designed, and limited as necessary to protect cypress trees and habitat as much as possible, including being sited in the non-cypress habitat portions of the site (if there are any) to the maximum degree possible, and all such development (e.g., residential structures, hardscape (such as decks, patios, driveways, paths, etc.), and landscaping) shall be confined within a defined and surveyed "development envelope". With the exceptions specified above, the development envelope shall contain all improvements and structural development (i.e., all uses that are not Monterey cypress habitat), shall be located entirely outside of the critical habitat area, and, within the Monterey cypress habitat portion of the site, shall be no larger than 15% of the cypress habitat area. Open space conservation and scenic easements are required for all undeveloped areas of the Monterey cypress habitat area (i.e., all Monterey cypress habitat outside of the defined development envelope), and such easements shall be secured consistent with LUP Policy 13. In addition to the above described requirements, for all development on undeveloped lots containing cypress habitat, including for development approved pursuant to Section 20.02.060(B), the restoration and siting requirements specified in Sections 20.147.040(D)(2)(c)(2)(d), (e), and (f) shall also apply.

(2) On developed lots (i.e., those with an existing legally established residence), new and/or modified development shall be located within the existing legally established structural and/or hardscape area (i.e., all areas of the site covered with a structure, or covered by pervious or impervious hardscape (such as decks, patios, driveways, and paths, but not including landscaped areas, fence areas, or underground or over ground utility areas)) and outside the critical habitat area.

New and/or modified development outside of such areas is prohibited unless each of the following findings can be made:

- (a) Construction, use, and maintenance of the new and/or modified development shall significantly reduce existing hardscape;
- (b) Construction, use, and maintenance of the new and/or modified development will accommodate the health and vitality, and will not harm, any existing individual Monterey cypress tree regardless of size. This determination will be made based on the type of development, the particulars of its siting and design, and its

location in relation to individual trees, the critical habitat area, higher sensitivity portions of the site, and adjacent and surrounding habitat areas);

(c) The new and/or modified development will be confined within a defined and surveyed development envelope. The development envelope shall contain all improvements and structural development (i.e., all uses and development that are not Monterey cypress habitat), and shall, within the Monterey cypress habitat area portion of the site, be no larger than 15% of the cypress habitat area; however, limited additional coverage above 15% may be allowed for a driveway only if an existing driveway cannot be reconfigured to achieve full compliance with this standard, in which case the existing driveway shall be reduced in width, length, and overall coverage as much as possible. All development on the site:

(1) Shall significantly reduce hardscape;

(2) Shall be sited in the non-cypress habitat portions of the site (if there are any) to the maximum degree possible; and

(3) Shall be sited in such a way as to maximize Monterey cypress habitat values, including in relation to adjacent and surrounding areas (e.g., clustering new and/or modified development on the site near to existing and/or adjacent residential developments so as to provide as much of a contiguous, undisturbed, and unfragmented habitat area as possible on and off site);

(d) All Monterey cypress habitat area outside of the approved development envelope shall be: restored to and/or enhanced as high value and self-functioning Monterey cypress habitat (including through measures identified pursuant to the biological/arborist report, such as removal of exotics species, improving growing conditions to provide a bare, mineral soil necessary for seed germination, and increasing sunlight to prevent soil borne fungi from inhabiting seedlings), with all initial restoration/enhancement initialized prior to occupancy of any approved development; and placed within an open space conservation and scenic easement secured consistent with Policy 13;

(e) All areas of new coverage (i.e., areas that would be covered with structures and/or hardscape and/or other non-cypress habitat restoration and enhancement that are not already so covered in the existing legally established baseline condition) shall be offset through restoration and/or enhancement (as high value and self-functioning Monterey cypress habitat) of an off-site area located within the Monterey cypress habitat area mapped in Figure 2a at a ratio of 2:1 (and/or payment of a mitigation fee, commensurate with the cost to restore/enhance such an area, to a public agency or private group acceptable to the County effectively able to administer such a fee and to implement such measures). Such off-site restoration/enhancement areas shall be selected for their potential to result in the greatest amount of overall benefit to the native Monterey cypress habitat in the Del Monte Forest, and all initial restoration/enhancement of the offsite area shall be initialized prior to occupancy of any approved development or, in the case of a fee, the fee paid prior to issuance of any demolition, grading, or construction permits;

(f) The new and/or modified development has been sited and designed to avoid the critical habitat area and the most sensitive habitat parts of the site as much as possible (including through required siting in the non-cypress habitat portions of the site (if there are any) to the maximum degree possible), and to minimize any incursion into

this area as much as possible. If any non-habitat related development is proposed within the defined critical habitat area, the biological/arborist report must identify all possible alternatives to avoid such siting, and must provide alternative construction methods or preconstruction treatments to avoid impacts in the case such development ultimately proves unavoidable. The alternative methods and treatments can include supplemental irrigation, hand digging or grading, root pruning or modification to traditional construction methods, such as spanning roots, pier and above grade beams or cantilevering structures. However, in no case shall Monterey cypress trees be removed unless they are dead or declining, and the biological/arborist report and the approving body conclude removal will further enhance Monterey cypress habitat values or avoid adverse impacts, potential damage, or degradation to both healthy individual cypress trees and cypress habitat; and

(g) The project results in greater cypress habitat value on the site (and in relation to adjacent and surrounding habitat areas) than the existing baseline habitat value, and the project enhances Monterey cypress habitat values overall.

(d) The Del Monte Forest Conservancy shall be encouraged to maintain an interpretive and educational program at Crocker Grove. Said program shall be under careful supervision and designed for the protection of the indigenous Monterey cypress habitat. The type and intensity of access to Crocker Grove shall be carefully regulated by the Del Monte Forest Conservancy.

# Exhibit J

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# Monterey County Planning Commission

168 West Alisal Street,  
1st Floor  
Salinas, CA 93901  
831.755.5066

## Agenda Item No. 4

Legistar File Number: PC 18-013

February 14, 2018

**Introduced:** 2/7/2018

**Current Status:** Agenda Ready

**Version:** 1

**Matter Type:** Planning Item

### PLN150150 - LUNDQUIST

Public hearing to consider demolition and construction of a single-family dwelling and accessory structures; development on slopes exceeding 30 percent; development within 100 feet of environmentally sensitive habitat (Monterey cypress habitat); development within 750 feet of known archaeological resources; and removal of one dead Monterey cypress tree.

**Project Location:** 3224 17-Mile Drive, Pebble Beach, Del Monte Forest, Coastal Zone

**Proposed CEQA Action:** Addendum to a previously-adopted Mitigated Negative Declaration pursuant to Section 15164 of the CEQA Guidelines.

### RECOMMENDATION:

Staff recommends that the Planning Commission:

- a. Consider an Addendum together with the previously-adopted Mitigated Negative Declaration (SCH No. 2012061087; Planning Commission Resolution No. 13-007), pursuant to Section 15164 of the CEQA Guidelines;
- b. Approve an Amendment to a previously-approved Combined Development Permit (PLN110114) consisting of:
  - 1) a Coastal Administrative Permit and Design Approval to:
    - a. Demolish a 2,083 square foot single-family dwelling with 740 square feet of deck area and a 249 square foot attached carport;
    - b. Construct an 8,886 square foot single-family dwelling with 1,296 square feet of balcony area and a 1,106 square foot detached garage, and re-aligned driveway;
    - c. Replace an existing wood fence with a stone wall and a new driveway entrance gate; and
    - d. Restore existing paths and driveway to Monterey Cypress habitat.
  - 2) a Coastal Development Permit to allow the removal of one dead Monterey cypress tree;
  - 3) a Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat (Monterey cypress habitat);
  - 4) a Coastal Development Permit to allow development within 750 feet of known archaeological resources; and
  - 5) a Coastal Development Permit to allow development on slopes exceeding 30 percent; and
- c. Adopt a Mitigation Monitoring and Report Plan.

A draft resolution, including findings and evidence, is attached for consideration (**Exhibit B**).

Staff recommends approval subject to thirty (30) conditions of approval, including nine (9) mitigation measures.

**PROJECT INFORMATION:**

**Property Owner:** Richard C. and Melanie F. Lundquist TRS

**Agent:** Aengus Jeffers

**APN:** 008-472-006-000

**Zoning:** Low Density Residential, 2.5 acres per unit, with a Design Control Overlay (Coastal Zone) [LDR/2.5-D (CZ)]

**Parcel Size:** 1.68 acres or 73,181 square feet

**Plan Area:** Del Monte Forest Land Use Plan

**Flagged and Staked:** Yes

**SUMMARY:**

The original project (RMA-Planning File No. PLN 110114) to construct a garage, re-align the driveway, and construct a replacement wall and fence was approved by the Planning Commission on March 13, 2013, but then appealed by the California Coastal Commission (CCC). The CCC appeal action initiated discussions with County staff to amend Policy 20 (Monterey cypress habitat) of the Del Monte Forest Land Use Plan (DMF LUP). The CCC took final action on the Policy 20 amendment on February 7, 2018. Staff finds that PLN150150, a plan to redevelop the entire site, is consistent with the revised/amended Policy 20.

The fence/wall design has been revised, in consultation with CCC and County staff, to allow better visibility from 17-Mile Drive to the ocean, including the Lone Cypress landmark. A subterranean basement level is proposed and three prehistoric sites are located on the project parcel (CA-MNT-166, 167, and 168). Auger testing confirmed that all the midden that was in this location was disturbed during construction of the existing foundation and residence, and no intact midden was found. Based on tribal consultation, County staff is recommending a minor revision to Mitigation Measure No. 8 to include a tribal monitor during excavation activities.

**DISCUSSION:**

**Project Setting**

The subject property is located at 3224 17-Mile Drive in Pebble Beach, along the Carmel Bay shoreline in the Del Monte Forest. The project site is located adjacent to and west of 17-Mile Drive, south of Cypress Point and Crocker Grove, in a developed residential neighborhood. The 1.68-acre parcel is bordered by the Pacific Ocean to the west, and by residential uses to the east and south. The Lone Cypress vista point is located on the adjacent parcel to the north. Existing development on the parcel includes a single-family dwelling with a carport, driveway and parking area, decks, paths, and landscaping. The property is also populated with numerous Monterey cypress and Monterey pine trees. Per Del Monte Forest Land Use Plan Figure 2a, the parcel is located within the mapped indigenous Monterey cypress habitat area, with the dominant vegetation on the site being a mature Monterey cypress forest habitat and occasional Monterey pines. The understory of the Monterey cypress forest has been colonized by numerous non-native species that have crowded out large areas of native plants, reducing the diversity and habitat value of the understory. A previous owner severely trimmed cypress trees to improve their view of the Lone Cypress landmark and coastline, and also planted approximately 20 young non-native Monterey cypress trees along the fence at the front of the property.

### Project History and Appeal

The original project (PLN110114), approved by the Planning Commission on March 13, 2013 (Resolution No. 13-007), allowed the construction of a detached garage, replacement of an existing wood fence with new stone pillars at the driveway entrance, and restoration of existing paths and driveway that affected native Cypress habitat. After Planning Commission approval, the project was appealed by the California Coastal Commission. The appeal was based on concern for protection of environmentally sensitive habitat areas (ESHA), visual resources, archaeological resources, forest resources, marine resources, and inconsistency with Del Monte Forest Land Use Plan (LUP) Policy 20. After collaborative discussions between County and Coastal Commission staffs, and with interested stakeholders, these appeal concerns have been resolved. A full discussion of the appeal issues and their resolutions can be found in the attached detailed discussion (**Exhibit A**).

### Proposed Project

During the appeal process, the Applicant decided to amend the project to include their full redevelopment vision for the property. As such, staff has evaluated this Amendment as a new project. The project was amended to include demolition of the existing 2,083 square foot one-story single-family dwelling with 740 square feet of deck area and a 249-square foot attached carport; and construction of an 8,886 square foot two-story single family dwelling with a subterranean basement, 1,296 square feet of balcony area, and a 1,106 square foot detached garage. The fence/wall design has been revised to allow better visibility from 17-Mile Drive to the ocean, in line with the policies of the Del Monte Forest Land Use Plan.

The proposed development and restoration represents an opportunity to increase and promote Monterey cypress native habitat by over 9,700 square feet. As proposed, the project would create 3,214 square feet of new hardscape, primarily from the re-alignment of the driveway to improve ingress to and egress from the site, and another 664 square feet of hardscape in existing disturbed areas. However, the project would also involve the restoration of 4,191 square feet of hardscape, resulting in a 313-square foot net reduction of hardscape on the site, including 119 square feet of hardscape from existing critical root zone areas. Additionally, the project proposes the restoration of over 9,700 square feet of Monterey cypress habitat through the removal of non-native Monterey cypress and ice plant. In addition, County staff recommends including a condition to require a conservation and scenic easement over those undeveloped portions of the parcel, including most of the southern half of the property, which will provide a large area for visual access to the ocean from 17-Mile Drive (Condition No. 7). The property currently has no conservation and scenic easement.

Excavation is required to accommodate a subterranean basement level. Construction of the proposed structures will require grading of approximately 1,360 cubic yards of cut and 30 cubic yards of fill. Archaeological reconnaissance of the parcel revealed three prehistoric sites located on the project parcel (CA-MNT-166, 167, and 168), which extend onto the adjacent Lone Cypress parcel. Auger testing in the crawl space under the existing house confirmed that all the midden that was in this location was disturbed during construction of the existing foundation and residence, and no intact midden was found. Based on tribal consultation, which occurred on December 8, 2015, County staff has recommended revision of Mitigation Measure No. 8 to include a tribal monitor during excavation activities (Condition No. 28). Additionally, one dead Monterey cypress and the planted non-native Monterey cypress along the fence line are proposed for removal.

### Design and Public Viewshed

Pursuant to MCC Chapter 20.44, the proposed project site and surrounding area are designated as a Design Control Zoning District (“D” zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The proposed structure color and material finishes include earth-toned stone and masonry, bronze metal window and door frames, and gray zinc metal roofing. The proposed finishes are consistent with other dwellings in the neighborhood and with the surrounding residential neighborhood character, and blend with the surrounding natural environment.

The proposed development is also consistent with Del Monte Forest Land Use Plan (LUP) Policies 123 and 137, and will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity. Based on the proposed structural siting compared to the location of the existing single-family dwelling, and extensive large tree canopy screening, the development proposal would not significantly interfere with visual access along 17-Mile Drive or to the ocean.

The proposed single-family dwelling would be constructed within the same approximate development footprint and visual alignment as the existing residence, with minor shifts to avoid several large Monterey cypress located near the building footprint. Although approximately 12 feet taller than the existing residence, the new single-family dwelling has been designed to minimize obstructions to and degradation of views from 17-Mile Drive to the ocean, and to not interfere with public visual access to the Lone Cypress. These height increases have been carefully evaluated by staff to ensure they are in alignment with existing natural visual obstructions on the site (i.e., existing trees). Staff finds that the proposed structures would not significantly intensify visual impacts over the existing residential use of the site, and would be visually compatible with other structures in the site vicinity. However, County staff recommends including a condition to require a conservation and scenic easement over those undeveloped portions of the parcel, including most of the southern half of the property, which will provide a large area for visual access to the ocean from 17-Mile Drive (Condition No. 7). As proposed and conditioned, the project is consistent with applicable LUP visual resource policies, assures protection of the public viewshed, and is consistent with neighborhood character.

### Review of Development Standards

The development standards for the LDR zoning district are identified in Monterey County Code (MCC) Section 20.14.060. Required setbacks in the LDR district for main dwelling units are 30 feet (front), 20 feet (rear), and 20 feet (sides). In addition, to maintain the public viewshed along 17-Mile Drive, Del Monte Forest Land Use Plan Policy 84 requires a 100-foot setback from the centerline of 17-Mile Drive for new development. The proposed single-family dwelling setbacks are 100 feet (front), 36 feet and 235 feet (sides), and 58 feet (rear). As proposed, the residence meets or exceeds all required setbacks. The corresponding maximum structure height is 30 feet. The proposed height for the single-family dwelling is 26.67 feet.

Pursuant to an allowed setback exception identified in MCC Section 20.62.040.N, the proposed detached garage will be 8 feet from the front property line. The setback exception allows detached garages to encroach into the front setback up to 5 feet from the front property line where the elevation of the front half of the lot at a point 50 feet from the centerline of the traveled roadway is 7 feet above

or below the grade of said centerline. Placement of the garage in this location reduces impact to the public viewshed by placing the structure below grade with a green roof that includes restored habitat above, and the entrance to the garage would face away from 17-Mile Drive.

The allowed site coverage maximum in the LDR zoning district is 15 percent, and the allowed floor area ratio maximum in the LDR/2 zoning district is 17.5 percent. The property is 1.68 acres or 73,230 square feet, which would allow site coverage of 10,985 square feet and floor area of 12,815 square feet. As proposed, the project would result in site coverage of 4,647 square feet or 6.34 percent, and floor area of 9,439 square feet or 12.88 percent.

Therefore, as proposed, the project meets all required development standards.

#### Del Monte Forest Land Use Plan (LUP) Policy 20

LUP Policy 20 identifies the indigenous Monterey cypress habitat as ESHA, and regulates use and development in or adjacent to indigenous Monterey cypress habitat areas. The policy requires development to be compatible with the objective of protecting this environmentally sensitive coastal resource. Policy 20, as approved in 2012, suggested that only remodels which stay within existing hardscape footprints can be approved. The undesired consequence of this language was that good projects which modified existing encroachments like excessive hardscapes, and provided a net benefit to overall cypress habitat could still be determined to be inconsistent with the policy. This project falls into that category of projects which provide a net benefit to cypress habitat. Coastal Commission found the Lundquist project, as approved by the Planning Commission in 2013, to be inconsistent with Policy 20. That action triggered efforts to amend Policy 20, not only for this project, but for other projects west of 17-Mile Drive from Pescadero Point to Cypress Point.

Based upon the proposed development and restoration, the project represents an opportunity to increase and promote Monterey cypress native habitat by over 9,700 square feet. The project incorporates recommendations for improving the health and viability of the habitat system as a component of the development, and satisfies the requirements of the newly-adopted Policy 20. Restoration would be partially accomplished by removing all of the existing planted landscaping beyond the footprint of the proposed new residence, and preparing these areas for future Monterey cypress germination. All Monterey cypress habitat area outside of the proposed development envelope would be restored to and/or enhanced as high value and self-functioning Monterey cypress habitat. As proposed, conditioned, and mitigated, the project would result in significant improvements over the existing site development pattern by: moving structural and hardscape development away from existing Monterey cypress trees; reducing the landscaped area on the parcel; increasing the amount of easement and protected habitat area; and by promoting the health and vitality of the Monterey cypress habitat to the maximum extent possible. A full discussion of the project consistency with Policy 20 can be found in the attached detailed discussion (**Exhibit A**).

On December 6, 2016, following collaboration between County and Coastal Commission staff to revise Policy 20, the Board of Supervisors adopted a Resolution of Intent (Resolution of Intent No. 16-321) to amend the text of the Del Monte Forest Area Land Use Plan and to adopt an ordinance to amend the text of Section 20.147.040.D.2 of the Coastal Implementation Plan regulating development within the indigenous Monterey cypress habitat. The purpose of the amendment was to recognize residential projects in the Del Monte Forest that may alter their existing footprint following confirmation

that the project would substantially improve existing Monterey cypress habitat.

On May 10, 2017, the California Coastal Commission certified the amendment to Policy 20 and its associated development regulations, with modifications. The Planning Commission reviewed the Coastal Commission's version of the amendment on October 25, 2017, and recommended approval to the Board of Supervisors. On December 12, 2017, the Board of Supervisors adopted the amendment with the recommended modifications. On February 7, 2018, the Coastal Commission concurred with the Commission's Executive Director's determination of adequacy.

With the implementation of recommended mitigation measures and conditions of approval, and the adoption and certification of the amended Policy 20, the proposed development is consistent with the development standards in the amended Del Monte Forest Coastal Implementation Plan Section 20.17.040.D.2 (Development Standards for Monterey Cypress Habitat).

See **Exhibit A** for a more detailed project discussion.

ENVIRONMENTAL REVIEW:

The County prepared, circulated, considered, and adopted a Mitigated Negative Declaration (MND; SCH No. 2012061087) (**Exhibit F**) for the original Combined Development Permit (PLN110114). The MND concluded that the project as designed and mitigated had reduced potential impacts to a less than significant level. Issues that were analyzed in the MND included: aesthetics, biological resources, cultural resources, geology/soils, greenhouse gas emissions, and land use/planning. Mitigations were recommended to reduce potential impacts to less than significant for aesthetics, biological resources, and cultural resources. The current proposal does not alter the analysis or conclusions reached by this MND. The County has prepared an Addendum (**Exhibit E**) for PLN150150 which states that none of the conditions described in Section 15162 of the CEQA Guidelines calling for preparation of a subsequent Initial Study or EIR have occurred, there are no new significant environmental effects or increase in the severity of previously identified significant effects, and there is no new information of substantial importance that was not known at the time the previous MND was adopted. The proposed demolition and rebuild of the single-family dwelling does not raise any new potential significant impacts that were not previously analyzed and/or mitigated under the original permit and MND. Mitigation No. 8 regarding archeological resources will be slightly modified to include the excavation of the area for the new residence in addition to the new driveway, fence, and garage, and to include a tribal monitor. No unresolved issues remain and the project, as proposed and mitigated, is consistent with applicable policies regarding hazards and protection of environmental resources.

OTHER AGENCY INVOLVEMENT:

The following County agencies or departments reviewed this project:

- RMA-Public Works
- RMA-Environmental Services
- Environmental Health Bureau
- Water Resources Agency
- Pebble Beach Community Services District - Fire Department

The proposed project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. The LUAC, at a duly-noticed public meeting on June 4, 2015, voted 5 - 0 to support the project as proposed (**Exhibit C**).

Prepared by: Joseph Sidor, Associate Planner, x5262

Reviewed by: Brandon Swanson, RMA Services Manager

Approved by: Carl P. Holm, AICP, RMA Director



The following attachments are on file with the RMA:

Exhibit A - Discussion

Exhibit B - Draft Resolution, including:

- Conditions of Approval and Mitigation Monitoring and Reporting Plan
- Plans

Exhibit C - Del Monte Forest Land Use Advisory Committee Minutes (June 4, 2015)

Exhibit D - Vicinity Map

Exhibit E - Addendum

Exhibit F - Mitigated Negative Declaration/Initial Study

Exhibit G - Planning Commission Resolution No. 13-007 (March 13, 2013)

cc: Front Counter Copy; Planning Commission; California Coastal Commission; Brandon Swanson, RMA Services Manager; Joseph Sidor, Project Planner; Aengus Jeffers, Agent; Richard Lundquist, Owner; The Open Monterey Project (Molly Erickson); LandWatch; Planning File PLN150150