

Exhibit A

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Draft Resolution

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

REEVES SAMUEL T & ELIZABETH W (PLN220274)

RESOLUTION NO. ----

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding that the minor alteration and addition to an existing single family dwelling qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301 and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Combined Development Permit consisting of:
 - a) Design Approval to allow construction of a 12 square foot addition to the first-floor of an existing 7,536 square foot single family dwelling and internal remodel of 1,022 square feet of first-floor Caretaker Unit into a bedroom wing of the single family dwelling; and
 - b) Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Area (ESHA).

[PLN220274, Elizabeth and Samuel Reeves, 1176 Signal Hill Road, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone (Assessor's Parcel Number: 008-261-010-000)]

The REEVES SAMUEL T & ELIZABETH W application (PLN220274) came on for a public hearing before the County of Monterey Zoning Administrator on September 26, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, including the conditions of approval and project plans, the Monterey County Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 1982 Monterey County General Plan;
- Del Monte Forest Land Use Plan (DMF LUP);
- Monterey County Coastal Implementation Plan Part 5 (CIP); and
- Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 1176 Signal Hill Road, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone (Assessor's Parcel Number: 008-261-010-000). The parcel is predominately zoned Low Density Residential with 1.5 acres per unit with a Design Control overlay in the Coastal Zone or "LDR/1.5-D(CZ)" which allows a single family dwelling and an accessory dwelling unit (formerly Caretaker Unit) per legal lot of record, subject to the granting of the appropriate Coastal Administrative Permits. The parcel is bounded by a golf course which is zoned Open Space Recreational zoning with a Design Control overlay or "OR-D(CZ)" to the south and southwest, as well as Resources Conservation with a Design Control overlay or "RC-D(CZ)" to the east and zoning "Under Review" to the north over identified Coastal Dune habitat. The project is a minor addition to structurally attach the single family dwelling and Caretaker Unit and conversion of the Caretaker Unit, including removal of the kitchen, into a conventional bedroom wing of the single family dwelling. Therefore, the project is an allowed land use for this site.
- c) Lot Legality. The subject parcel was created as a portion of the El Pescadero Rancho (Volume 3 of Surveys, Page 111) filed with the Monterey County Recorder's Office on October 18, 1926. The parcel has been previously developed with a single family dwelling and is recognized by the County as a legal lot of record.
- d) Design/Neighborhood and Community Character. Pursuant to Title 20 Chapter 20.44, the project includes a Design Approval to allow for the proposed development. As demonstrated in Finding No. 4 and supporting evidence below, the exterior changes are consistent with the purpose and regulations of the Design Control District.
- e) Development Standards. The development standards for the LDR zoning district are identified in Title 20 Section 20.14.060. Required setbacks for main dwelling units are 30 feet (front), 20 feet (rear), and 20 feet (sides). The maximum allowed height is 30 feet. Required setbacks for habitable accessory structures are 50 feet (front) with 6 feet side and rear setbacks and the maximum height limit allowed is 15 feet, unless it is attached to the main structure pursuant to Title 20 Section 20.62.030.D. As proposed, the converted two-story bedroom wing will be attached to the main residence and maintain the existing compliant 30 foot (front), 20 foot (sides), and exceed the rear setbacks. The existing height will remain 19 feet 7 inches. The conversion of the Caretaker Unit consists of an interior remodel and removal of the kitchen, resulting in a conventional first-floor wing of the main residence. Therefore, the applicant has complied with the development standards listed in Title 20.

- f) Site Coverage. Pursuant to Title 20 Section 20.14.060.E, the maximum building site coverage is 15 percent. The property is 2.2 acres or approximately 94,308 square feet, which allows site coverage of 14,146 square feet. The proposed project results in site coverage of 6,437 square feet which equals 6.8 percent. The maximum allowed floor area ratio (FAR) is 17.5 percent or 16,504 square feet for parcels within the Del Monte Forest. The project proposes a FAR of 6,576 square feet or 6.9 percent which is below the maximum allowed. Therefore, as proposed, the project meets the required coverage limitations.
- g) Biological Resources. The site is located in an area of remnant Coastal Dune habitat which is considered ESHA according to the DMF LUP. The proposed addition will be located on existing hardscape. A Biological Assessment (HCD Library Document No. LIB230004) prepared for the project concluded there would be no impacts to ESHA. See Finding No. 5 and supporting evidence below.
- h) Cultural Resources. County records identify the project site as within an area of high sensitivity for archaeological resources. Pursuant to Del Monte Forest CIP requirements, a Phase I Inventory of Archaeological Resources was prepared for the project. In June 2021, a field reconnaissance survey (HCD Library Document No. LIB230001) was performed by Susan Morley at the proposed project site. Results of the reconnaissance were negative, and the siting and design of the project were found to not have any potential impacts to known archaeological resources because the site was previously developed. A standard condition of approval requiring work to stop if previously unidentified resources are found during construction has been incorporated into this permit (Condition No. 3).
- i) Historical Resources. On November 15, 2021, Kent L. Seavey analyzed the potential historical significance of the existing single family dwelling (see Finding 2, Evidence “b”). The existing one-story single family dwelling and Caretaker wing was built by noted Monterey architect Robert Stanton in 1977. The one-story caretaker wing was remodeled as a two-story wood-shingled structure in 1998 and later, a utility bathroom was added in 2007. Although the Caretaker wing was designed by a noted architect, significant alterations and subsequent remodels to the existing structure do not qualify as a historic resource. The assessment concluded that the structure is not historically significant, and therefore, is not eligible for listing on any national, state, or local Historic Resources registry.
- j) Tree Removal. The project originally proposed a complete demolition and rebuild of the two-story Caretaker wing which required pruning and protection of three Monterey cypress trees. An Arborist Report (HCD Library Document No. LIB230002) was prepared by Frank Ono on December 15, 2021. In December of 2023, the project was redesigned to only include an interior remodel and minor addition to the caretaker wing. Tree pruning is no longer required as part of this project and no tree removal is proposed.
- k) Land Use Advisory Committee (LUAC) Review. The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. On March 21, 2024, the LUAC reviewed the

project and raised concerns about the circular staircase as the only access to the upstairs bedroom of the Caretaker Unit where the remodel and addition are proposed. The applicant responded to the concern by stating the stairs are existing and planned to remain as part of this project. After review, the LUAC unanimously recommended approval of the project as proposed by a vote of 8-0 with no members absent.

- l) The project planner conducted a site inspection on December 14, 2022, to verify that the project on the subject parcel conforms to the plans listed above.
- m) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD-Planning can be found in Project File PLN220274.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed development and/or use.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (CSD). County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for development. Conditions recommended have been incorporated.

- b) Staff identified potential impacts to biological, cultural, geological, historical, and tree resources. The following reports have been prepared:
 - “Arborist Report” (LIB230002) prepared by Ono Consulting, Pacific Grove, CA, December 15, 2021.
 - “Biological Assessment” (LIB230004) prepared by Regan Biological and Horticultural Consulting, Carmel, CA, November 2, 2022.
 - “Geotechnical Report” (LIB230080) prepared by Butano Geotechnical Engineering, Inc., Freedom, CA, February 6, 2023.
 - “Historical Assessment” (LIB230003) prepared by Kent L. Seavey, Pacific Grove, CA, November 15, 2021.
 - “Preliminary Cultural Resources Reconnaissance” (LIB230001) prepared by Susan Morley, Marina, CA, November 23, 2021.

County staff independently reviewed these reports and concurred with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on December 14, 2022, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD-Planning can be found in Project File PLN220274.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of

this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach CSD. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are available and have existed onsite. Water is provided to the parcel by the California American Water Company (Cal Am) and sewage disposal is provided by the Carmel Wastewater District (CAWD) via the Pebble Beach Community Services District. On January 28, 1998, the existing guest bedroom wing was converted to a Caretaker Unit which included a kitchen facility (Zoning Administrator Resolution No. PLN970377). Conversion of the permitted Caretaker Unit includes removal of the kitchen facility, therefore, reducing the water fixture count for the property.
 - c) Staff conducted a site inspection on December 14, 2022, to verify that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD-Planning can be found in Project File PLN220274.

4. **FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

- EVIDENCE:**
- a) Pursuant to Chapter 20.44, Title 20 (Zoning Ordinance) of the Monterey County Code, the purpose of the “D” district is to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. Pursuant to DMF LUP Policy 53, the design and siting of structures in public views of scenic areas should not detract from scenic values of the forest, stream courses, ridgelines, or shoreline. Structures, including fences, shall be subordinate to and blended into the environment, including by using appropriate materials that will achieve that effect. Where necessary, modifications shall be required for siting, structural design, shape, lighting, color, texture, building materials, access, and screening to protect such public views.
 - b) Neighborhood Character. The proposed minor addition and interior alteration of the existing structure would have a comparatively similar layout to other residences in the vicinity. As proposed, visibility of the structure from the front property line off Signal Hill Road will remain minimal and unchanged. Furthermore, the existing single family dwelling will remain

comparable to the bulk and mass of other dwellings in the surrounding neighborhood.

- c) Material and Color Finishes. The proposed exterior colors and materials are consistent with the Del Monte Forest's eclectic setting and surrounding residences. Proposed exterior colors and materials will remain unchanged which match the existing brown wood shingled siding of the single family dwelling. The exterior finishes described above blend with the surrounding environment, consistent with the DMF LUP Policy 53 requiring development to be subordinate to the scenic and visual resources of Signal Hill like other dwellings in the neighborhood.
- d) Visual Resources. The property is located in the unincorporated community of Pebble Beach approximately 900 feet east of the Pacific Ocean and 3 miles west of Highway 1. The proposed project is situated on a parcel tucked back on a hillside overlooking the Spyglass Hill Golf Course to the south and Fanshell Beach and 17 Mile Drive to the west. Pursuant to DMF LUP Policy 47, views from designated public access areas and vista points, including 17 Mile Drive and Fanshell Beach, shall be protected as resources of public importance. The existing structure is naturally screened from 17 Mile Drive by mature Monterey cypress trees along the western property line. Staff conducted a public viewshed determination of the development from 17 Mile Drive and found that the staking and flagging of the addition were not visible. Staff concluded that there would be no impact on a public viewshed. See Finding No. 8 and supporting evidence. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.
- e) The project planner conducted a site inspection on December 14, 2022, to verify that the project on the subject parcel conforms to the plans listed above. Based on the evidence described above, the proposed structure and use are consistent with the surrounding residential neighborhood character (i.e., structural design features, colors, and material finishes). The project was found to be consistent with the public viewshed protections in the DMF LUP.
- f) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD-Planning for the proposed development can be found in Project File PLN220274.

5. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on the subject property.
 - b) Staff conducted a site inspection on December 14, 2022, and researched County records to assess if any violation exists on the subject property.

- c) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD-Planning can be found in Project File PLN220274.

6. FINDING:

DEVELOPMENT WITHIN 100 FEET OF ENVIRONMENTALLY SENSITIVE HABITAT AREA (ESHA)

– The subject project minimizes impact on environmentally sensitive habitat areas in accordance with the applicable goals and policies of the applicable area plan and zoning codes. However, due to the location of the existing single family dwelling on a Coastal Dune, the proposed development is within 100 feet of ESHA.

EVIDENCE:

- a) The site is located in an area of a remnant Coastal Dune complex which is considered ESHA according to the DMF LUP. In accordance with the DMF LUP Policies 12, 14, and 16, and the Monterey County Zoning Ordinance (Title 20), a Coastal Development Permit is required and the finding to grant said permit has been met.
- b) In accordance with DMF LUP Policies 12, 14, and 16, a biological report was required for the purpose of determining the presence of rare, endangered, and/or sensitive native plant and animal species as well as their habitats and developing appropriate siting and design standards. A Biological Assessment performed by Pat Regan was submitted as part of the project application (November 2, 2022, HCD-Planning Library File No. LIB230004). The biologist visited the property in October of 2022 to assess the potential impacts of an earlier version of the project, proposed as a complete demolition and rebuild of the attached Caretaker Unit. However, the project was redesigned in December of 2023 to include interior remodeling and a 12 square foot addition within an existing hardscape area located along the eastern side of the structure. Several rare and endangered plant and animal species are known to occur in Coastal Dune habitat. Although the project biologist stated in the report that October is not the best time of the year for a biological survey, no further studies were recommended due to the minor nature and location of the proposed addition entirely on an existing hardscaped area. Consistent with DMF LUP Policy 14, the project is restricted to the minimum amount of work necessary to accommodate the development. As proposed, the addition will not further encroach on, disturb, or remove the adjacent Dune scrub habitat. Therefore, even though the project is within 100 feet of ESHA, no impacts on Coastal Dune habitat are anticipated during construction.
- c) The project includes a minor addition with interior alterations to a residential guest wing attached to an existing single family dwelling. The 12 square foot addition
- d) The project planner conducted a site inspection on December 14, 2022, to verify ESHA locations and potential project impacts on ESHA.

- e) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD-Planning can be found in Project File PLN220274.

7. FINDING:

CEQA (Exempt) – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE:

- a) California Environmental Quality Act (CEQA) Guidelines Section 15301 categorically exempts minor alterations and additions to existing single family dwellings. As proposed, the interior remodel and 12 square foot addition to the existing caretaker wing attached to the main residence will be constructed within an existing hardscaped area. The addition will not impact the Coastal Dune habitat on site.
- b) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, and there are no unusual circumstances that would result in a significant effect. Impacts within the 17 Mile Drive viewshed are avoided or minimized by maintaining the location, height, and mass of the existing structure. No significant archaeological resources have been found, there are no historic resources that will be impacted, and no significant effects on biological resources are anticipated during construction. See Finding No. 1, 2 and 6 with supporting evidence.
- c) No adverse environmental effects were identified during staff review of the development application during a site visit on December 14, 2022.
- d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD-Planning can be found in Project File PLN220274.

8. FINDING:

PUBLIC ACCESS – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

EVIDENCE:

- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.147.130 of the Del Monte Forest CIP can be demonstrated.
- b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
- c) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access (Figure 3, Visual Resources, and Figure 8, Major Public Access and Recreational Facilities, in the DMF LUP).
- d) The site is located on the inland (eastern) side of 17 Mile Drive when driving southbound along the Pacific Ocean and will not have the potential to impact visual access to the coastline. The project does not propose new

fences or additional accessory structures that could obscure public views from Fanshell Beach, Bird Rock or Cypress Point Rock.

- e) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD-Planning can be found in Project File PLN220274.

9. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) California Coastal Commission. Pursuant to Section 20.86.080.A (1) and (3) of the Monterey County Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because the project site is located between the sea and the first through public road paralleling the sea, and the project involves development that is permitted in the underlying zone as a conditional use.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find that the minor alteration and addition to an existing single family dwelling qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301 and there are no exceptions pursuant to Section 15300.2; and
2. Approve the Combined Development Permit consisting of:
 - a) Design Approval to allow construction of a 12 square foot addition to the first-floor of an existing 7,536 square foot single family dwelling and internal remodel of 1,022 square feet of first-floor Caretaker Unit into a bedroom wing of the single family dwelling; and
 - b) Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Area (ESHA).

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 26th day of September 2024.

Mike Novo, AICP
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220274

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This Combined Development Permit (PLN220274) consisting of: 1) Design Approval to allow construction of a 12 square foot addition to the first-floor of an existing 7,536 square foot single family dwelling and internal remodel of 1,022 square feet of first-floor Caretaker Unit into a bedroom wing of the single family dwelling; and 2) Coastal Development Permit to allow development within 100 feet of ESHA. The property is located at 1176 Signal Hill Road, Pebble Beach (Assessor's Parcel Number 008-261-010-000), Del Monte Forest Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Combined Development Permit (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 008-261-010-000 on September 26, 2024. The permit was granted subject to 7 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Prior to the issuance of grading and building permits, certificates of compliance, or
Action to be commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Performed: shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or The Owner/Applicant shall adhere to this condition on an on-going basis.

Monitoring
Action to be
Performed:

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

6. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

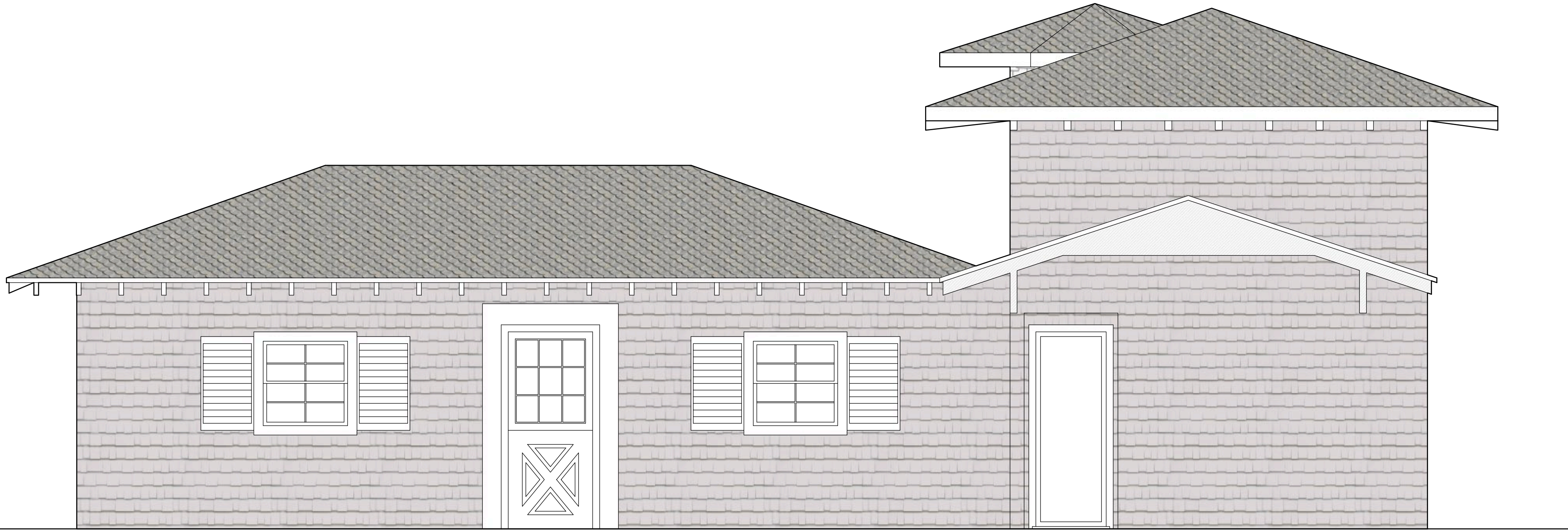
7. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

1176 SIGNAL HILL ROAD



SHEET INDEX

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PROJECT DATA

PROPERTY OWNER:	SAM REEVES 1176 SIGNAL HILL ROAD PEBBLE BEACH, CA, 93953
PROJECT ADDRESS:	1176 SIGNAL HILL RD, PEBBLE BEACH, CA 93953
APPLICANT:	STOCKER & ALLAIRE, INC. 21B MANDEVILLE CT, MONTEREY, CA. 93940 PH: (831) 375-1890
A.P.#:	008-261-010-000
ZONING:	LDR/1.5-D(CZ) DEL MONTE FOREST
PROJECT CODE COMPLIANCE:	2019
OCCUPANCY GROUP:	R-3
CONSTRUCTION TYPE:	VB
TOPOGRAPHY:	VERY TOPOGRAPHY IN SCOPE OF WORK
SEWER:	PBCSD
WATER:	CAL Am Water

BUILDING HEIGHT:	30'-0"	Allowed
	19'-8"	Existing
	22'-3"	Proposed

TREE REMOVAL:	NONE
GRADING:	NONE
LOT SIZE:	94,307.5 SQ FT

BUILDING SITE COVERAGE:	14,146.1 SQ FT Allowed (15%)
	6,425 SQ FT Existing
	5,403 SQ FT Existing Main Wing
	1,022 SQ FT Existing Guest Wing
	6,437 SQ FT Proposed (6.8%)
	5,403 SQ FT Proposed Main Wing
	1,034 SQ FT Proposed Guest Wing

FAR:	16,503.8 SQ FT Allowed (17.5%)
	6,564 SQ FT Existing
	5,403 SQ FT Existing Main Wing
	1,022 SQ FT Existing Guest Wing (Lower Level)
	139 SQ FT Existing Guest Wing (Upper Level)
	6,576 SQ FT Proposed (6.9%)
	5,403 SQ FT Proposed Main Wing
	1,034 SQ FT Proposed Guest Wing (Lower Level)
	139 SQ FT Existing Guest Wing (Upper Level)

DESCRIPTION

INTERIOR REMODEL OF THE GUEST WING.
SCOPE INCLUDES:
- REMOVING THE KITCHENETTE.
- BATHROOM REMODEL
- ENLARGING THE BATHROOM BY SHIFTING THE EAST WALL TO MATCH THE BEDROOM WALL.

ALL EXTERIOR MATERIALS TO REMAIN THE SAME.

VICINITY MAP



PROJECT LOCATION

Stocker & Allaire

Lic. # 504797

General Contractors, Inc.

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1176 SIGNAL HILL RD
PEBBLE BEACH, CA 93953

APN: 008-261-010-000

NOVEMBER 20th, 2023

Reeves Residence

PROJECT DATA

Revisions:

A0.1

GENERAL NOTES

1. PROJECT SHALL COMPLY WITH TITLE 24 AND 2019 CALIFORNIA BUILDING CODE (CBC), 2019 CALIFORNIA RESIDENTIAL CODE (CRC), 2019 CALIFORNIA MECHANICAL CODE (CMC), 2019 CALIFORNIA PLUMBING CODE (CPC), 2019 CALIFORNIA ELECTRICAL CODE (CEC), 2019 CALIFORNIA ENERGY CODE (CEC), 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC), AND THE CURRENT EDITION OF THE MONTEREY COUNTY CODE (MCC).
2. FIRE SPRINKLERS ARE REQUIRED FOR NEW STRUCTURES. SHOP DRAWINGS FOR THE FIRE SPRINKLER SYSTEM SHALL BE SUBMITTED TO MONTEREY COUNTY FOR REVIEW AN APPROVAL PRIOR TO ORDERING OR INSTALLATION.
3. SPECIAL INSPECTION AND STRUCTURAL OBSERVATION IS REQUIRED FOR THIS PROJECT.
4. PROPERTY CORNERS SHALL BE SET IN PLACE BY A LICENSED SURVEYOR.
5. VERIFY ELEVATION OF NEAREST UPSTREAM MANHOLE COVER. DRAINAGE PIPING SERVING FIXTURES WITH FLOOD LEVEL RIMS LESS THAN 2 FT. ABOVE THIS ELEVATION SHALL BE PROTECTED FROM SEWAGE BACK FLOW WITH AN APPROVED BACK WATER VALVE.
6. WINDOWS OF HABITABLE ROOMS SHALL AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE ROOM FLOOR AREA. (R303)
7. OPENABLE WINDOW AREA TO THE OUTDOORS OF HABITABLE ROOMS SHALL BE NOT LESS THEN 4% OF THE ROOM FLOOR AREA BEING VENTILATED. (R303)
8. IN LIEU OF OPENABLE WINDOWS FOR HABITABLE ROOMS, A MECHANICAL VENTILATING SYSTEM CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR (WITH 1/5 OF AIR SUPPLY FROM THE OUTSIDE) SHALL BE PROVIDED.
9. WINDOWS FOR BATHROOMS, LAUNDRY ROOMS, WATER CLOSET COMPARTMENTS AND SIMILAR NON-HABITABLE ROOMS, SHALL BE PROVIDED WITH AN AGGREGATE GLAZING AREA OF NOT LESS THAN 3 SF, ONE-HALF OF WHICH MUST BE OPENABLE. A WINDOW IS NOT REQUIRED IF ARTIFICIAL LIGHTING AND A LOCAL EXHAUST SYSTEM IS PROVIDED, PER R303.3.
10. PROVIDE MECHANICAL VENTILATION CONNECTED DIRECTLY TO THE OUTSIDE CAPABLE OF PROVIDING A MINIMUM OF 50 CFM FOR INTERMITTENT VENTILATION AND 20 CFM FOR CONTINUOUS VENTILATION IN BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS AND SIMILAR ROOMS.
11. FOR THE PURPOSE OF LIGHT AND VENTILATION ANY ROOM MAY BE CONSIDERED AS PART OF AN ADJOINING ROOM WHEN 50% OF THE COMMON WALL IS OPEN AND UNOBSTRUCTED AND PROVIDES AN OPENING OF 10% OF THE INTERIOR ROOM AREA OR 25 SQUARE FEET WHICHEVER IS GREATER.
12. WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUBS WITH SHOWER. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.
13. SAFETY GLAZING OR TEMPERED GLASS SHALL BE REQUIRED IN HAZARDOUS LOCATIONS PER CRC SECTION R308.4. A PERMANENT LABEL SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
14. 22"x30" ATTIC ACCESS WITH 30" MINIMUM HEADROOM IS REQUIRED. (R807.1)
15. ONE EXIT DOOR SHALL BE NOT LESS THAN 3' WIDE AND 6'-8" IN HEIGHT SO MOUNTED THAT THE CLEAR WIDTH OF EXIT-WAY IS NOT LESS THAN 32".
16. A DOOR MAY SWING OVER A LANDING THAT IS NOT MORE THAN 1'-1/2" BELOW THRESHOLD.
17. LANDINGS AT DOORS SHALL HAVE A LENGTH MEASURED IN DIRECTION OF TRAVEL OF NOT LESS THAN 36".
18. ALL BEDROOMS, BASEMENTS OR ROOMS USED FOR SLEEPING SHALL HAVE EMERGENCY RESCUE WINDOWS OR DOORS.
a. MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT.
b. MINIMUM NET CLEAR OPENING WIDTH OF 20".
c. MINIMUM NET CLEAR HEIGHT OF 24".
d. WINDOW SILL HEIGHT OF NOT MORE THAN 44 IN ABOVE THE FLOOR.
19. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH GYPSUM BOARD.
20. PROVIDE 42" HIGH PROTECTIVE GUARDRAIL FOR DECKS, PORCHES, BALCONIES AND RAISED FLOORS (MORE THAN 30" ABOVE GRADE OR FLOOR BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY FROM THE EDGE), AND OPEN SIDE(S) OF STAIR LANDINGS. OPENINGS BETWEEN BALUSTERS/RAILS SHALL BE LESS THAN 4".
21. HANDRAIL ASSEMBLIES AND GUARDS SHALL BE DESIGNED TO RESIST A LINEAR LOAD OF 50 LBS PER LINEAR FOOT. AND A CONCENTRATED LOAD OF 200 POUNDS, THE LOAD SPECIFIED MUST BE PLACED AT THE TOP OF THE HANDRAIL OR GUARD.
22. HANDRAILS AT STAIRS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS, PER CRC SEC. R311.7.8.
23. SMOKE DETECTORS SHALL BE PROVIDED PER CRC SEC. R314.
24. CARBON MONOXIDE ALARMS SHALL BE PROVIDED PER CRC SEC. R315.
25. UNDER FLOOR VENTING TO COMPLY WITH CBC SEC R408.1. OPENINGS SHALL BE LOCATED AS CLOSE TO CORNERS AS PRACTICAL AND PROVIDE CROSS VENTILATION. THE OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS OF A 1/4" IN DIMENSION.
26. ATTIC VENTS TO COMPLY WITH CRC SEC R806.2.
27. THE INSTALLATION AND INSULATION CERTIFICATES ARE REQUIRED TO BE POSTED AT THE JOB SITE DURING THE CONSTRUCTION PHASE OF THE PROJECT. (CF-6R)
28. CLOTHES DRYERS ARE TO VENT DIRECTLY TO THE OUTSIDE WITH SMOOTH 4" MIN EXHAUST DUCT WITH BACK-DRAFT DAMPER. EXHAUST DUCT LENGTH IS LIMITED TO 14' WITH TWO ELBOWS.
29. FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA, BUT NOT MORE THAN 48".
30. AN APPROVED SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS. WHERE SLEEPING ROOMS ARE LOCATED ON AN UPPER LEVEL, THE DETECTORS SHALL BE PLACED AT THE CENTER OF THE CEILING DIRECTLY ABOVE THE STAIRWAY, MOUNT AT CEILING 4" FROM A WALL OR ON THE WALL WITH THE TOP OF THE DETECTOR WITHIN 4'-12" OF THE HIGHEST POINT OF THE CEILING. FOR SPECIFIC LOCATION REQUIREMENTS SEE R314.3.3 OR NFPA 72. SMOKE DETECTORS REQUIRED FOR A REMODEL SHALL RECEIVE THEIR PRIMARY POWER FROM BATTERY. SMOKE DETECTORS REQUIRED FOR NEW CONSTRUCTION SHALL BE DIRECTLY WIRED TO THE BUILDING POWER AND HAVE A BATTERY BACKUP.

31. OPENINGS AROUND GAS VENTS, DUCTS, PIPES, CHIMNEYS AND FIREPLACES AT THE CEILING SHALL BE FIRE BLOCKED WITH NONCOMBUSTIBLE MATERIALS.
32. THE PROPOSED DWELLING SHALL BE PROTECTED BY A FULLY-AUTOMATIC FIRE SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MONTEREY COUNTY REQUIREMENTS AND N.F.P.A.-13D (INSTALLATION OF AUTOMATIC SPRINKLER SYSTEMS).
33. STAIR REQUIREMENTS:
a. MINIMUM 6 FEET 8 INCH VERTICAL HEADROOM MEASURED AT STAIRWAY TREAD NOSING.
b. MINIMUM 36 INCH CLEAR WIDTH.
34. WINDING STAIRWAYS:
a. THE REQUIRED DEPTH OF A WINDER TREAD (10 INCHES MINIMUM) IS PROVIDED AT A POINT NOT MORE THAN 12 INCHES FROM THE SIDE OF THE STAIRWAY WHERE THE TREADS ARE NARROWER, AND NOT LESS THAN 6 INCHES AT ANY POINT.
b. THE WIDTH OF THE RUN SHALL NOT BE LESS THAN 26 INCHES AT ANY POINT.
41. PACKAGING FOR ROOFING MATERIALS SHALL BEAR THE MANUFACTURER'S AND APPROVED TESTING AGENCY'S LABELS FOR FIELD INSPECTION.
42. THE EXTERIOR WALL ENVELOPE SHALL BE CONSTRUCTED IN A MANNER THAT PREVENTS THE ACCUMULATION OF WATER WITHIN THE WALL ASSEMBLY BY PROVIDING A WATER-RESISTANT BARRIER BEHIND THE EXTERIOR VENEER, AND A MEANS OF DRAINAGE TO THE EXTERIOR WATER THAT ENTERS THE ASSEMBLY.
a. A WATER-RESISTIVE BARRIER OF ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D226 FOR TYPE 1 FELT, OR OTHER APPROVED WATER-RESISTIVE BARRIER SHALL BE APPLIED OVER STUD OR SHEATHING OF ALL EXTERIOR WALLS. SUCH MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED NO LESS THAN 2 INCHES OVER THE LOWER LAYER, AND LAPPED NOT LESS THAN 6 INCHES AT ALL VERTICAL JOINTS. (R703.2)
b. APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. (R703.4)
c. THE NOMINAL THICKNESS AND ATTACHMENT OF EXTERIOR WALL COVERINGS SHALL BE IN ACCORDANCE WITH SECTION R703.3, TABLE R703.3(1), AND THE WALL COVERING MANUFACTURERS INSTALLATION INSTRUCTIONS.
d. FASTENERS FOR EXTERIOR WALL COVERINGS ATTACHED TO WOOD FRAMING SHALL BE IN ACCORDANCE WITH SECTION R703.3.2 AND TABLE R703.3(1).
43. TRUSS CALCULATIONS SHALL INCLUDE TRUSS PROFILES, LAYOUT PLAN, TRUSS PLANS AND CALCULATIONS FROM THE TRUSS MANUFACTURER. THE MANUFACTURED TRUSS SUBMITTALS SHALL BE REVIEWED (INDICATED BY LETTER OR STAMP, SIGNATURE, AND DATE) BY THE DESIGNER/ARCHITECT/ENGINEER OF RECORD FOR DESIGN COMPATIBILITY. A CERTIFICATION LETTER FROM SUCH PERSON SHALL BE PROVIDED TO THE JURISDICTION STATING AS SUCH, THE TRUSSES SHALL NOT BE INSTALLED UNTIL AN APPROVED JOB COPY OF THE TRUSS SUBMITTALS IS ISSUED BY THE MONTEREY COUNTY BUILDING DIVISION. TRUSS FABRICATOR SHALL SUBMIT NAME AND PHONE NUMBER OF THE AGENCY INSPECTING THE SHOP OPERATIONS. CALCULATIONS AND DETAILS ARE TO BE PREPARED AND SIGNED BY A REGISTERED ARCHITECT/ENGINEER. TRUSS MANUFACTURER SHALL PROVIDE A TRUSS PLACEMENT DIAGRAM THAT IDENTIFIES THE PROPOSED LOCATION FOR EACH INDIVIDUALLY DESIGNATED TRUSS AND REFERENCES THE CORRESPONDING TRUSS DESIGN DRAWINGS (TO BE INCLUDED IN THE SUBMITTAL PACKAGE AND WITH THE SHIPMENT OF THE TRUSSES). EACH TRUSS SHALL BE LEGIBLY BRANDED, MARKED, OR OTHERWISE PERMANENTLY AFFIXED THERE TO THE FOLLOWING INFORMATION WITHIN TWO FEET OF THE CENTER OF THE BOTTOM CORD.
45. HANDRAILS SHALL BE 34 INCHES TO 38 INCHES ABOVE THE NOSING OF TREADS.
46. REQUIRED GUARDRAILS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE THAT ALLOW A 4 INCH DIAMETER SPHERE TO PASS THROUGH. GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW THE PASSAGE OF A 4-3/8 INCH DIAMETER SPHERE. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY SHALL NOT ALLOW THE PASSAGE OF A 6 INCH DIAMETER SPHERE.
47. THE HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1 1/4 INCH NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION.
48. EXHAUST AND INTAKE OPENINGS TERMINATING OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLES WITH OPENINGS OF 1/4" - 1/2" IN ANY DIMENSION. OPENINGS SHALL BE PROTECTED AGAINST LOCAL WEATHER CONDITIONS.
49. LANDINGS AT EXTERIOR DOORS SHALL BE EQUAL TO THE WIDTH OF THE DOOR AND HAVE A LENGTH IN THE DIRECTION OF TRAVEL EQUAL TO 36". SLOPE OF EXTERIOR LANDINGS SHALL NOT EXCEED 1/4" PER FOOT (2% SLOPE).

50. INSULATION MATERIALS AND FACINGS SHALL HAVE A MAXIMUM FLAME SPREAD INDEX OF 25 AND A MAXIMUM SMOKE-DEVELOPED INDEX OF 450. EXPOSED INSULATION MATERIALS INSTALLED ON ATTIC FLOORS SHALL HAVE A CRITICAL RADIANT FLUX OF NOT LESS THAN 0.12 WATT PER SQUARE CENTIMETER.
51. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN NEW DWELLING UNITS AND SLEEPING UNITS WHICH HAVE FUEL-BURNING APPLIANCES INSTALLED OR HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH BATTERY BACKUP. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER CURRENT PROTECTION. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED, THE ALARM SHALL BE INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM ACTIVATES ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. SINGLE AND MULTIPLE STATION CARBON MONOXIDE ALARMS SHALL BE LISTED TO COMPLY WITH UL 3084. CARBON MONOXIDE DETECTORS SHALL BE LISTED TO COMPLY WITH UL 2075. INSTALLATION SHALL BE IN ACCORDANCE WITH NFPA 720 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. REQUIRED CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1. OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
53. FINISH MATERIALS, CARPET SYSTEMS, RESILIENT FLOORING, AND COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH THE POLLUTANT CONTROL REQUIREMENTS OF CGBSC SECTION 4.504.2 AND 4.504.3.
54. ALL NAILING FOR FRAMING TO COMPLY WITH 2016 CBC TABLE 2304.10.1 OR CRC TABLE R602.3(1) FASTENING SCHEDULE.
55. WHERE TOP OR SOLE PLATE ARE CUT FOR PIPES, A METAL TIE MINIMUM 0.058 INCHES THICK AND 1 1/2 INCHES WIDE SHALL BE FASTENED ACROSS THE OPENING WITH 6-16d NAILS MINIMUM EACH SIDE.
56. BEARING AND EXTERIOR WALL DOUBLE TOP PLATES TO BE OFF-SET AT THE END JOINTS MIN 48". PROVIDE (8)-16d LAP SPLICE NAILING.
57. TRUSSES TO BE CONNECTED TO INTERIOR NON-BEARING WALLS AND BEAMS WITH TRUSS CLIPS ONLY.
58. RAFTERS SHALL BE NAILED TO ADJACENT CEILING JOIST TO FORM A CONTINUOUS TIE BETWEEN EXTERIOR WALLS WHEN SUCH JOISTS ARE PARALLEL TO THE RAFTERS. WHEN NOT PARALLEL, RAFTERS SHALL BE TIED TO 1x4 MIN. SIZE CROSS TIES. RAFTER TIES SHALL BE SPACED NOT MORE THAN 4" O.C.
59. ALL HEADERS AT NEW OPENINGS SHALL BE D.F.#1. ALL LUMBER TO BE D.F.#2 OR BETTER UNLESS OTHERWISE SPECIFIED. PER 23-IV-V-182. STRUCTURAL LUMBER AS SHOWN ON PLANS MAY BE SUBSTITUTED W/2" - 1 3/4" MICROLAM OR OSB LUMBER WITH EQUAL DEPTH. WOOD IN CONTACT WITH EARTH SHALL BE PRESSURE TREATED.
60. ALL WOOD, INCLUDING PORCH AND BALCONY GIRDERS AND JOISTS, EXPOSED TO THE ELEMENTS SHALL BE PRESSURE TREATED OR REDWOOD.
61. MINIMUM CONCRETE COMPRESSIVE STRENGTH SHALL BE 2500 PSI AT 28 DAYS.
62. FIRELOCKING: IN COMBUSTIBLE CONSTRUCTION, FIRELOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIRELOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
(1) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS AS FOLLOWS:
1.1 VERTICALLY AT THE CEILING AND FLOOR LEVELS.
1.2 HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
(2) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
(3) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
(4) AT OPENINGS AROUND VENTS, PIPES DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, AND WITH APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
(5) FOR THE FIRELOCKING OF CHIMNEY AND FIREPLACES, SEE SECTION R1003.19.

PLUMBING

63. WATER CLOSET COMPARTMENTS SHALL HAVE 30" CLEAR WIDTH AND 24" CLEARANCE IN FRONT OF THE WATER CLOSET.
64. WATER HEATERS OVER 4' IN HEIGHT SHALL BE ANCHORED OR STRAPPED TO THE STRUCTURE.
65. USE OF SOLDERS MORE THAN TWO-TENTHS OF 1 PERCENT LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEM IS PROHIBITED.
66.
67. PROVIDE 12" SQUARE (MINIMUM) ACCESS PANEL OR UTILITY SPACE FOR ALL PLUMBING FIXTURES WITH SLIP-JOINT CONNECTIONS.
68. MAXIMUM WATER FLOW RATES FOR PLUMBING FIXTURES: 1.28 GAL. PER FLUSH AT WATER CLOSETS, 2.0 GPM AT SHOWER HEADS, 1.2 GPM AT LAVATORY FAUCETS, AND 1.8 GPM AT KITCHEN SINK FAUCETS.
69. PROVIDE PRESSURE VALVE OR THERMOSTATIC MIXING VALVE TO LIMIT WATER TEMPERATURE TO 120 DEGREES F AT TUBS AND SHOWERS.
70. 2 X 6 WALL FRAMING FOR PLUMBING LINES 3" OR GREATER WHERE REQUIRED. COORDINATE WITH PLUMBING CONTRACTOR.
71. PLUMBING VENTS TO TERMINATE 6" ABOVE ROOF AND 36" FROM ANY PROPERTY LINE.
72. REQUIREMENTS FOR WHIRLPOOL TUB:
a. A REMOVABLE PANEL OF SUFFICIENT DIMENSION SHALL BE PROVIDED TO ACCESS THE PUMP.
b. THE CIRCULATION PUMP SHALL BE LOCATED ABOVE THE CROWN WEIR OF THE TRAP.
c. THE PUMP AND CIRCULATION PIPING SHALL BE SELF-DRAINING TO MINIMIZE WATER RETENTION IN ACCORDANCE WITH STANDARDS REFERENCED IN CPC TABLE 14-1.
d. SUCTION FITTINGS ON WHIRLPOOL BATHS SHALL COMPLY WITH THE LISTED STANDARDS.
e. A 12X12 ACCESS PANEL OR UTILITY SPACE ARRANGED WITHOUT OBSTRUCTION TO MAKE CONCEALED SLIP-JOINT CONNECTIONS ACCESSIBLE FOR FIELD INSPECTION AND REPAIR IS REQUIRED.

73. NOTE: VENTING FOR ISLAND FIXTURES SHALL BE DESIGNED PER SECTION 909.0 OF THE 2016 CALIFORNIA PLUMBING CODE.
74. WATER HEATER INSTALLATION REQUIREMENTS:
a. PROVIDE WATER TIGHT PAN WITH DRAIN TO APPROVED LOCATION.
b. RELIEF VALVE MAY NOT DISCHARGE INTO PAN.
c. PROVIDE ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT, BUT NOT LESS THAN 30" SQUARE ACCESS.
d. LOCATE WATER HEATER NO FURTHER AWAY THAN 20 FT FROM THE ACCESS OPENING. A MINIMUM 24" WIDE CATWALK SHALL CONNECT THE WATER HEATER TO THE ACCESS.
e. PROVIDE PERMANENT ACCESS LADDER IF PLATFORM IS MORE THAN 8 FT ABOVE FLOOR LEVEL, UNLESS ATTIC IS LOCATED ON SINGLE STORY PORTION OF BUILDING.
f. PROVIDE ACCESS FLOORING FROM OPENING TO WATER HEATER.
75. PLUMBING INSTALLATION REQUIREMENTS:
a. PROVIDE WATER HEATER PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE OF BUILDING OR OTHER APPROVED LOCATION. NO PART OF DRAIN MAY BE INSTALLED WHERE IT WOULD BE SUBJECT TO FREEZING.
b. PROVIDE A NON-REMOVABLE BACKFLOW PREVENTION DEVICE ON ALL EXTERIOR HOSE BIBBS AND LAWN SPRINKLER/IRRIGATION SYSTEMS.
c. FOR COOLING EQUIPMENT OR COOLING COILS PROVIDE MINIMUM 3/4" CONDENSATE DRAIN LINE TO APPROVED LOCATION. FOR UNITS INSTALLED IN ATTIC OR FURRED SPACE, PROVIDE SECONDARY DRAIN PAN AND LINE OR OVERFLOW.
76.
77. IN THE KITCHEN AND DINING AREA A RECEPTACLE SHALL BE PROVIDED FOR EACH COUNTER SPACE WIDER THAN 12" SO THAT NO POINT IS MORE THAN 24" FROM AN OUTLET IN ADDITION TO OUTLETS RENDERED INACCESSIBLE BY STATIONARY APPLIANCES.
78. ALL 120 VOLT RECEPTACLES INSTALLED IN BATHROOMS, OUTDOORS, IN AN UNFINISHED BASEMENT, IN THE GARAGE, IN UNFINISHED ACCESSORY BUILDINGS, AT ALL KITCHEN COUNTERTOPS AND WITHIN 6' OF A WET BAR SINK SHALL BE GFCI PROTECTED.
79. AFCI PROTECTION IS REQUIRED FOR ALL RECEPTACLES EXCEPT FOR THOSE LOCATED OUTSIDE, IN BATHROOMS, GARAGES, ATTICS, AND BASEMENTS.
80. FIXTURES INSTALLED IN WET OR DAMP LOCATIONS SHALL BE SO LABLED.
81. A DEDICATED 20 AMP CIRCUIT SHALL BE PROVIDED TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES/ LIGHTS/FANS.
82. USE OF PLUMBING LINES AS AN ELECTRICAL GROUND IS PROHIBITED (SB 164). ELECTRIC GROUND WILL BE UNDER FOOTING. GROUND TO BE 2 - 20" LENGTH #4 BARS RUNNING IN OPPOSITE DIRECTIONS AND TIED TO FOOTING STEEL.
83.
84. 125 AND 250-VOLT RECEPTACLES INSTALLED OUTDOORS IN A WET LOCATION SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED.
85. PROVIDE AT LEAST TWO SEPARATE 20 AMP CIRCUITS FOR SMALL APPLIANCES IN KITCHEN, PANTRY, DINING ROOM AND SIMILAR AREAS, WITH NO OTHER OUTLETS ON THE CIRCUITS.
86. PROVIDE AT LEAST ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCE RECEPTACLE.
87. LUMINAIRES INSTALLED IN CLOSETS SHALL BE 12 INCHES FROM EDGE OF STORAGE SHELF FOR INCANDESCENT OR LED SURFACE MOUNTED, SURFACE MOUNTED OR RECESSED FLUORESCENT, RECESSED INCANDESCENT OR LED, 6-INCHES, SURFACE MOUNTED FLUORESCENT OR LED PERMITTED IN STORAGE AREA IF LISTED FOR USE.
88. ALL PARTS OF POOL STRUCTURE AND EQUIPMENT SHALL BE BONDED.
89. PROVIDE RECEPTACLE OUTLET AT PENINSULAR KITCHEN COUNTER. CEC ART 210.52
90. RESIDENTIAL LIGHTING MEASURES, TITLE 24 ADDITIONAL REQUIREMENTS:
a) ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY; EITHER LISTED BY SOURCE TYPE OR BY BEING JAB-2016 CERTIFIED LABELED.
b) OUTDOOR LIGHTING PERMANENTLY MOUNTED TO THE BUILDING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH **AND** BE CONTROLLED BY A PHOTOCELL AND MOTION SENSOR, **OR** BY PHOTO CONTROL AND AUTOMATIC TIME SWITCH CONTROL, **OR** BY ASTRONOMICAL TIME CLOCK CONTROL THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING THE DAYLIGHT HOURS, **OR** BY ENERGY MANAGEMENT CONTROL SYSTEM.
c) LUMINAIRES INSTALLED IN WET OR DAMP LOCATIONS MUST BE MARKED "SUITABLE FOR WET/DAMP LOCATIONS".
d) OUTLET BOXES INSTALLED FOR CEILING SUSPENDED FAN SHALL BE LISTED AND MARKED FOR THIS PURPOSE, AND SHALL NOT SUPPORT FANS WEIGHING MORE THAN 70 POUNDS. BOXES SUPPORTING FANS WEIGHING MORE THAN 35 POUNDS MUST BE MARKED INSIDE THE BOX TO INCLUDE MAXIMUM WEIGHT TO BE SUPPORTED.
e) SCREW BASED LUMINAIRES SHALL MEET ALL THE FOLLOWING:
1) SHALL NOT BE RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS; AND
2) SHALL CONTAIN LAMPS THAT COMPLY WITH CEC REFERENCE APPENDIX JAB; 3) THE INSTALLED LAMPS SHALL BE MARKED WITH JAB-2016 OR JAB-2016-E.
f) LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL THE REQUIREMENTS FOR: INSULATION CONTACT (IC) LABELING; SEALED WITH GASKET OR CAULKED BETWEEN HOUSING AND CEILING, AND SHALL BE CERTIFIED TO COMPLY WITH SECTION 110.9 AND ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW. JAB-2016-E CERTIFIED AND MARKED LIGHT SOURCE, RATED FOR ELEVATED TEMPERATURE, MUST BE INSTALLED BY FINAL INSPECTION.
g) DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JAB (INCLUDING CEILING RECESSED DOWNLIGHT LUMINAIRES AND GU-24 SOCKETS CONTAINING LED LIGHT SOURCES) AND THEY SHALL COMPLY WITH SECTION 119(d) AND NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION.
h) AT LEAST ON LIGHT IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR CERTIFIED TO COMPLY WITH SECTION 119(d) THAT DOES NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION. (150)(k)3
i) TAMPER RESISTANT RECEPTACLES ARE REQUIRED IN ALL LOCATION EXCEPT AT OUTLETS LOCATED MORE THAN 5'-1/2' FEET ABOVE THE FLOOR, OUTLETS THAT ARE A PART OF A LUMINAIRE, OUTLETS DEDICATED TO APPLIANCES THAT CANNOT BE EASILY MOVED AND AT OUTLETS LOCATED IN ATTICS.
j) PRIOR TO RECEIVING A BUILDING FINAL, A COMPLETED COPY OF THE WS-5R FORM SHALL BE GIVEN TO THE OWNER AND TO THE BUILDING INSPECTOR.

MECHANICAL

91. ALL MECHANICAL PLANS AND SPECIFICATIONS, AS WELL AS COMBUSTION AIR REQUIREMENTS, TO BE SUBMITTED BY THE MECHANICAL CONTRACTOR AND APPROVED PRIOR TO INSTALLATION.
92. a. PROVIDE ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT, BUT NOT LESS THAN 30"x30" MINIMUM ACCESS OPENING, AND 30" SQUARE MINIMUM ACCESS PASSAGEWAY.
b. LOCATE EQUIPMENT NO FURTHER THAN 20 FT FROM THE ACCESS OPENING. A MINIMUM 24" WIDE CATWALK SHALL CONNECT THE EQUIPMENT TO THE ACCESS.
c. PROVIDE 30" WORKING DEPTH, WIDTH AND HEIGHT ALONG THE SERVICE SIDE OF THE EQUIPMENT.
d. PROVIDE A PERMANENT OUTLET AND LIGHT FIXTURE AT THE EQUIPMENT. LOCATE SWITCH AT THE ACCESS OPENING.
93. A "BATHROOM", WHICH CONTAINS A BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION, SHALL BE MECHANICALLY VENTILATED WITH AN EXHAUST FAN THAT COMPLIES WITH CGBS 4.506 AND SHALL INCLUDE THE FOLLOWING: HAVE A MINIMUM VENTILATION RATE OF 50 CFM AND BE ENERGY STAR COMPLIANT AND MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY OF 50% TO 80%. THE CONTROL MAY BE A SEPARATE COMPONENT OR INTEGRAL TO THE EXHAUST FAN. ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS, OR IF FAN IS INTEGRAL WITH THE LIGHTING IT SHALL BE POSSIBLE FOR THE LIGHTING TO BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD.
BATHROOM EXHAUST FAN CONTROLS MUST COMPLY WITH ONE OF THE FOLLOWING:
1) ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS.
2) FOR AN EXHAUST FAN WITH AN INTEGRAL LIGHTING SYSTEM, IT SHALL BE POSSIBLE FOR THE LIGHTING SYSTEM TO BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD.
A BATHROOM WHICH DOES NOT CONTAIN A SOURCE OF MOISTURE SHALL HAVE A WINDOW TO THE EXTERIOR OR A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING 50 CFM.
NOTE:
EACH CONTRACTOR RESPONSIBLE FOR THE CONSTRUCTION OF A MAIN WIND OR SEISMIC FORCE RESISTING SYSTEM, DESIGNATED SEISMIC SYSTEM OR A WIND OR SEISMIC RESISTING COMPONENT LISTED IN THE STATEMENT OF SPECIAL INSPECTIONS SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE BUILDING OFFICIAL AND THE OWNER PRIOR TO THE COMMENCEMENT OF WORK ON THE SYSTEM OR COMPONENT. THE CONTRACTOR'S STATEMENT OF RESPONSIBILITY SHALL CONTAIN THE FOLLOWING: (1) ACKNOWLEDGEMENT OF AWARENESS OF THE SPECIAL REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. (2) ACKNOWLEDGEMENT THAT CONTROL WILL BE EXERCISED TO OBTAIN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS APPROVED BY THE BUILDING OFFICIAL. (3) PROCEDURES FOR EXERCISING CONTROL WITHIN THE CONTRACTOR'S ORGANIZATION, THE METHOD AND FREQUENCY OF REPORTING AND THE DISTRIBUTION OF THE REPORTS. (4) IDENTIFICATION AND QUALIFICATION OF THE PERSON(S) EXERCISING SUCH CONTROL AND THEIR POSITION(S) IN THE ORGANIZATION.
ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED PER CEC 210.12(B).
FIXTURES INSTALLED IN WET OR DAMP LOCATIONS SHALL BE SO LABLED. A DEDICATED 20 AMP CIRCUIT SHALL BE PROVIDED TO SERVE THE REQUIRED BATHROOM
ALSO NOTE:
ALL 125-VOLT, 15 AND 20 AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER- RESISTANT RECEPTACLES PER CEC 406.11

- HANDRAIL NOTES:
A. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, SHALL NOT BE LESS THAN 34 INCHES OR MORE THAN 38 INCHES. (SECTION R311.7.8)
B. HANDGRIPS WITH A CIRCULAR CROSS-SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1-1/4 INCHES AND NOT GREATER THAN 2 INCHES. IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES, AND NOT GREATER THAN 6-1/4 INCHES WITH A MAXIMUM CROSS SECTION OF DIMENSION 2-1/4 INCHES. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCHES. (SECTION R311.7.8.3).
C. OPENINGS IN GUARDS AND SIDES OF STAIRS SHALL NOT ALLOW A 4-3/8 INCH DIAMETER SPHERE TO PASS THROUGH.
- NEW BUILDINGS AND STRUCTURES LOCATED IN "MODERATE" FIRE HAZARD SEVERITY ZONES IN A STATE RESPONSIBILITY AREA SHALL COMPLY WITH THE REQUIREMENTS OF CBC AND, CHAPTER 7A SECTION 701A.1, & CRC, CHAPTER 3, SECTION 337R REVISE PLANS AS NECESSARY TO DEMONSTRATE COMPLIANCE WITH THE FOLLOWING:
A. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. [§R337.5.4]
B. ROOF AND ATTIC VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION- RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH OPENINGS A MINIMUM OF 1/16-INCH AND SHALL NOT EXCEED 1/8-INCH. [§R337.6.2]
C. VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES AND CORNICES, UNLESS THE VENTS ARE APPROVED TO RESIST THE INTRUSION OF FLAME AND EMBERS. THE ATTIC SPACE IS SPRINKLERED IN ACCORDANCE WITH CBC SEC. 903.3.1.1, OR IF THE EXTERIOR WALL AND UNDERSIDE OF THE EAVE ARE OF IGNITION RESISTANT MATERIALS AND THE VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE. [§R337.6.3]
D. EXTERIOR WALL COVERING, OR WALL ASSEMBLY SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, LOG WALL CONSTRUCTION, OR SHALL MEET THE PERFORMANCE CRITERIA OF STANDARD SFM 12-7A-1 FOR 10 MINUTE DIRECT FLAME CONTACT EXPOSURE TEST. [§R337.7.3] SEE EXCEPTIONS TO THIS SECTION FOR OTHER ALTERNATIVES.
E. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF AND TERMINATE AT 2-INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AND EAVES AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE. [§R337.7.3.1]
F. THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED EAVES SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, ONE LAYER OF 5/8" TYPE X GYPSUM BOARD, OR EXTERIOR PORTION OF AN APPROVED ONE HOUR WALL ASSEMBLY. [§R337.7.4] SEE EXCEPTIONS TO THESE SECTIONS FOR OTHER ALTERNATIVES.
G. EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE. GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [§R337.8.2.1]
H. EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITION-RESISTANT MATERIAL. SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1- 1/4 INCHES THICK, SHALL HAVE A FIRE- RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM-7A-1.

Reeves Residence

1176 SIGNAL HILL RD
PEBBLE BEACH, CA 93953

176 SIGNAL HILL RD
PEBBLE BEACH, CA 93953

NOVEMBER 20th, 2023

APN: 008-261-010-000

GENERAL NOTES

Revisions:

A0.2

Stocker & Allaire
General Contractors, Inc.
Lic. # 504797

21 Mandeville Court Monterey, CA 93940
Ph 831.375.1880 Fax 831.375.1480

Map Legend:

Horizontal Datum: Assumed.

Vertical Datum: Assumed.

Site Benchmark: Finished Floor Elevation of 100.00' used at entry off of brick patio. 100.00' used to match assumed datum used on a previous topographic survey of the site by John Hagemeyer dated September 2006.

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Utility Legend

CATV - cable tv
COMM - communications
CO or C/O - clean out
DDCV - double detector check valve
EM - electric meter
EO - electric outlet
GM - gas meter
GV - gas valve
HB - hose bib
ICV - irrigation control valve
IRK - irrigation
JP - joint utility pole
LT - light
LT-STD - light standard
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CONTROL POINT

ELECTRIC METER

IRRIGATION CONTROL VALVE

Typical tree notation. Indicates an elevation of 301.26' at the trunk of a cypress tree with a 36" trunk diameter (inner circle) and a 40' diameter canopy (outer tree symbol). Multi-trunk trees denoted with an overall trunk diameter with clarifying notes following / symbol.

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Indicates Monument Found as Noted

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Lot Line
Parcel Boundary
Right of Way
Right of Way Center Line

Plotted On: 12/7/2018 10:03 AM

DRAWING REVISIONS:
December 2018 - Original Survey

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Topographic Survey

1176 Signal Hill Rd., APN: 008-261-010
Located in Pebble Beach, Monterey County, State of California

Prepared For: Sam Reeves
Requested By: Alyssa Zacharia, Jani L. Janecki & Assoc.

December 2018

Rasmussen Land Surveying, Inc.
2150 Garden Road, Suite A-3, Monterey, California 93942
P: 831.375.7240 F: 831.375.2545

RLS W.O. # 2018-148

Sheet 1 of 1

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Signal Hill Rd.
(a 60' wide County road)

PARCEL II
0.264 Acres

PROPOSED
GUEST WING

EXISTING HOPE

RESDENCE

RESDENCE

RESDENCE

RESDENCE

RESDENCE

RESDENCE

RESDENCE

RESDENCE

RESDENCE

RESDENCE

RESDENCE

RESDENCE

RESDENCE

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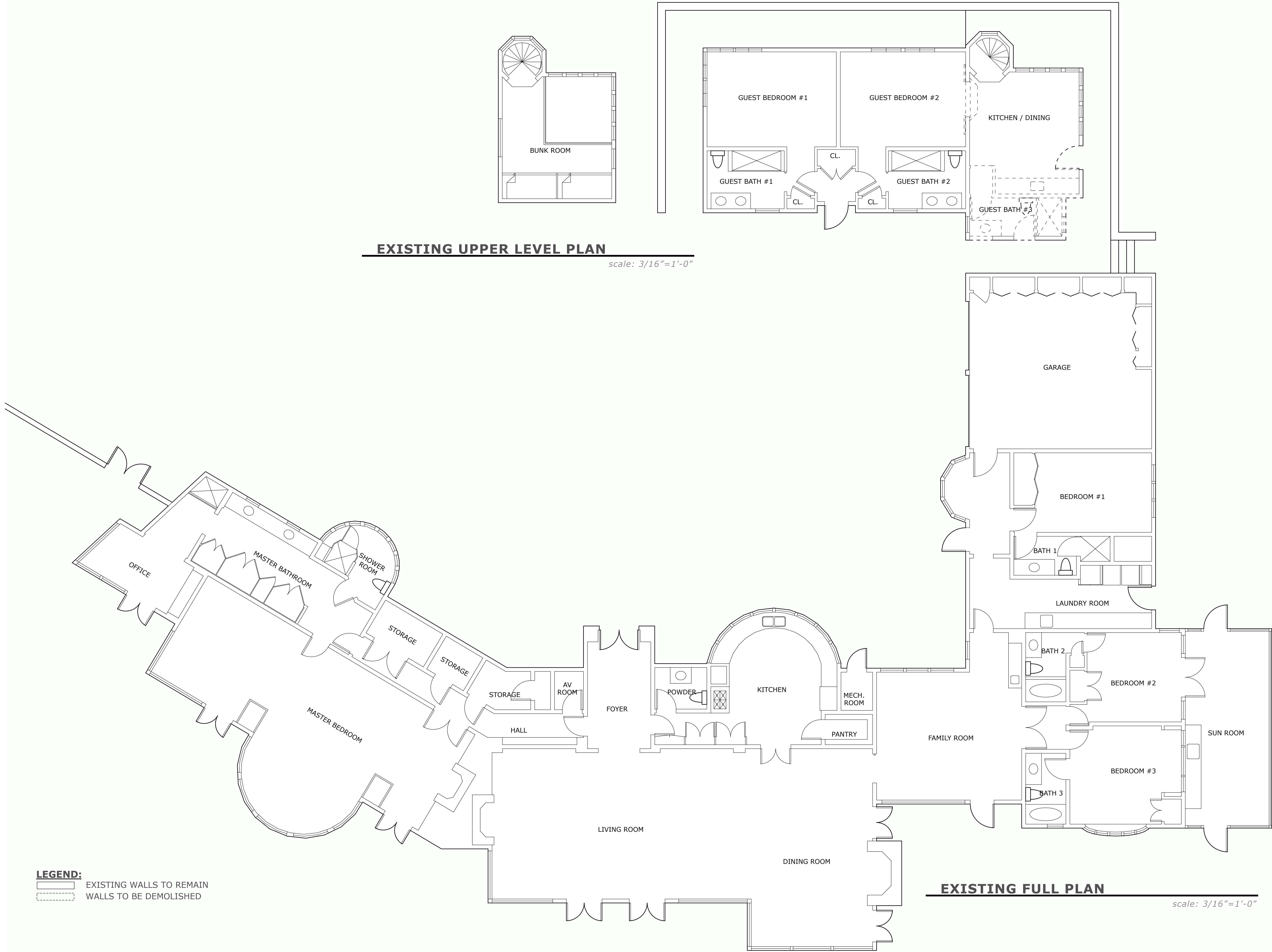
RESDENCE

RESDENCE

RESDENCE

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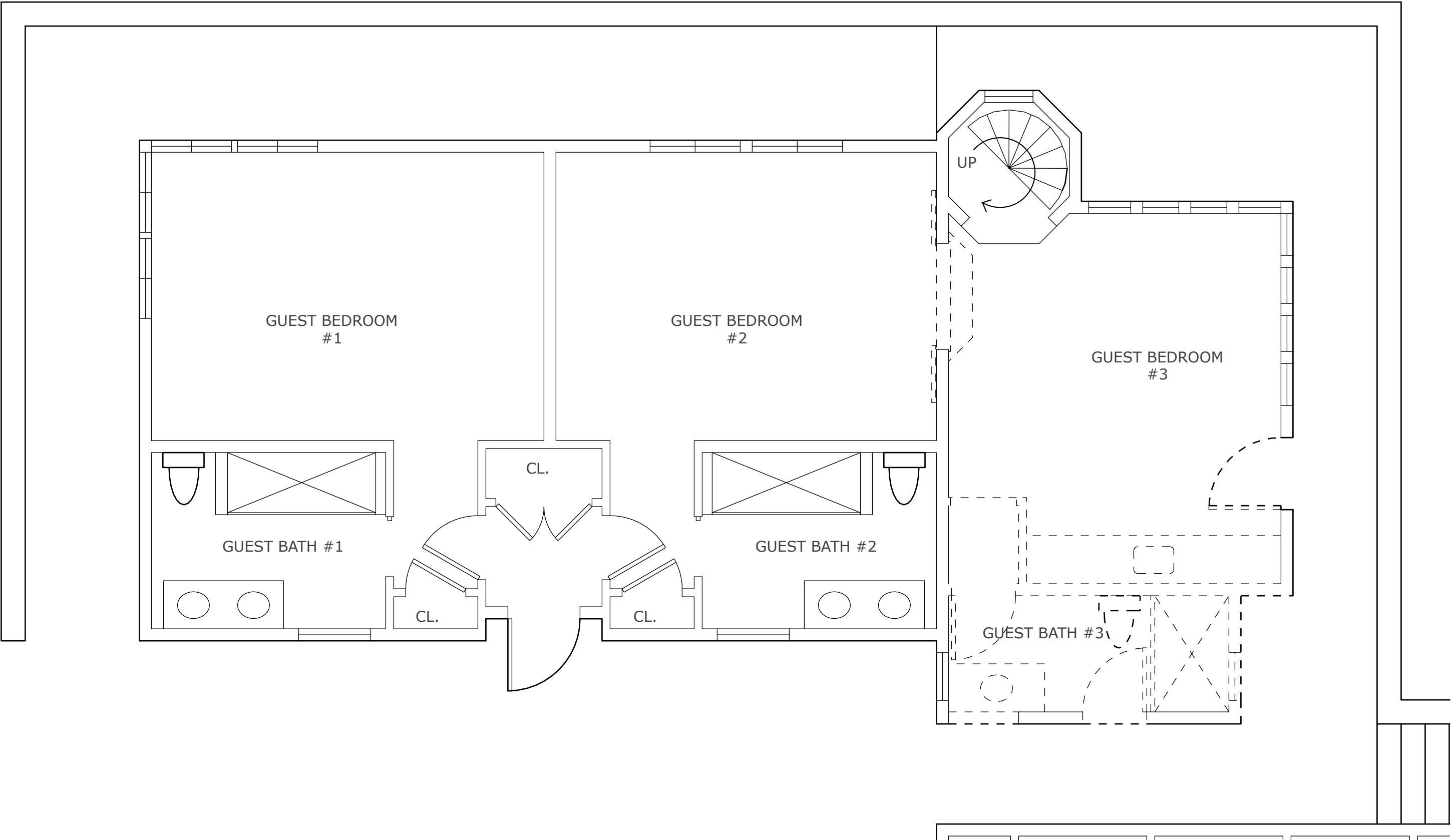


EXISTING UPPER LEVEL PLAN
scale: 3/16"=1'-0"

EXISTING FULL PLAN
scale: 3/16"=1'-0"

LEGEND:
[Solid Line] EXISTING WALLS TO REMAIN
[Dashed Line] WALLS TO BE DEMOLISHED

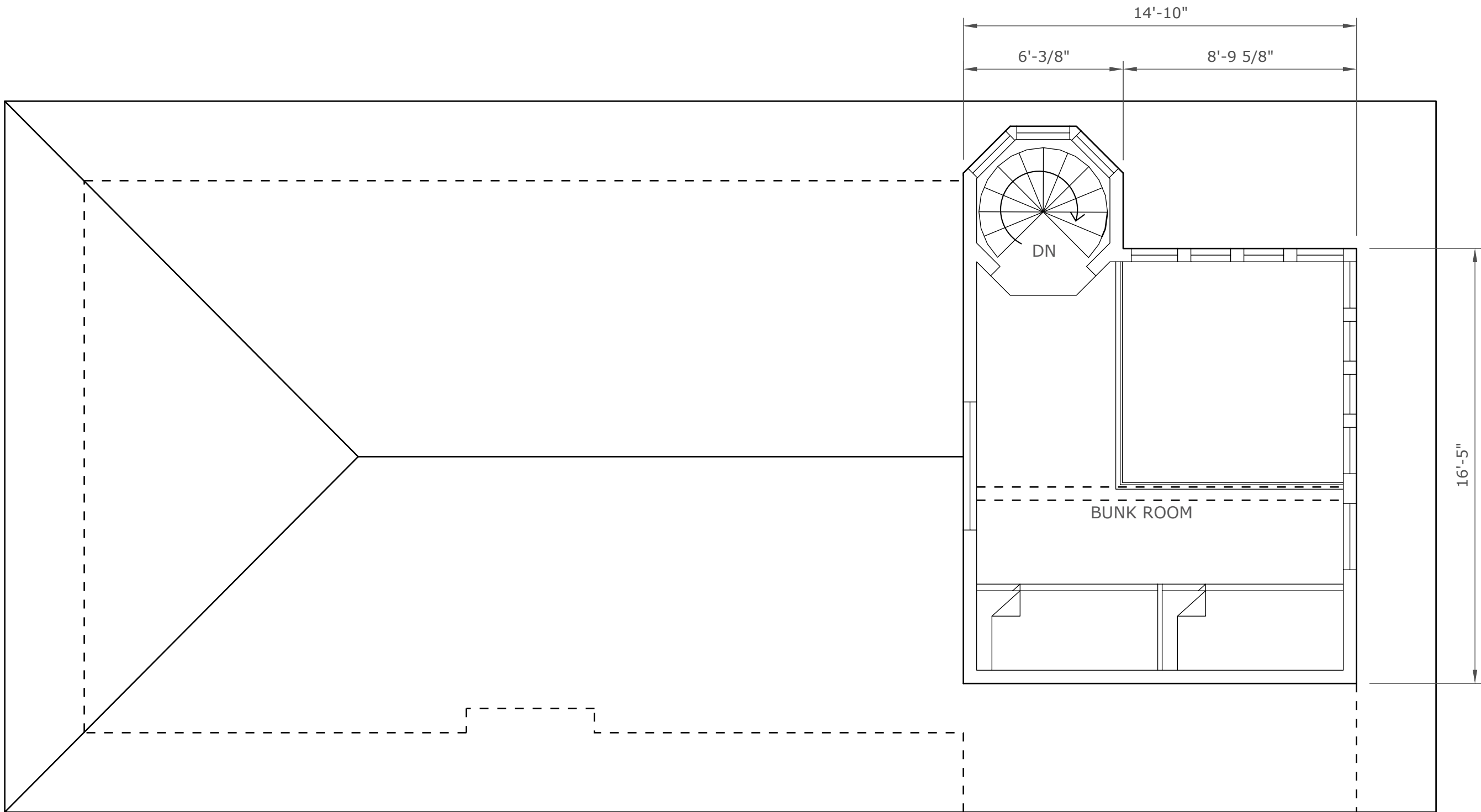
Revisions: 	Reeves Residence EXISTING PLAN		1176 SIGNAL HILL RD PEBBLE BEACH, CA 93953		Stocker & Allaire General Contractors, Inc. Lic. # 504797	
	NOVEMBER 20th, 2023		APN: 008-261-010-000		Ph 831.375.1890 Fax 831.375.1480	



EXISTING GUEST WING LOWER FLOOR PLAN

scale: 1/4"=1'-0"

- LEGEND:**
- EXISTING WALLS TO REMAIN
 - NEW WALLS



EXISTING GUEST WING UPPER FLOOR PLAN

scale: 1/4"=1'-0"

Revisions:

A1.1

Reeves Residence

ENLARGED EXISTING PLAN

1176 SIGNAL HILL RD
PEBBLE BEACH, CA 93953

NOVEMBER 20th, 2023

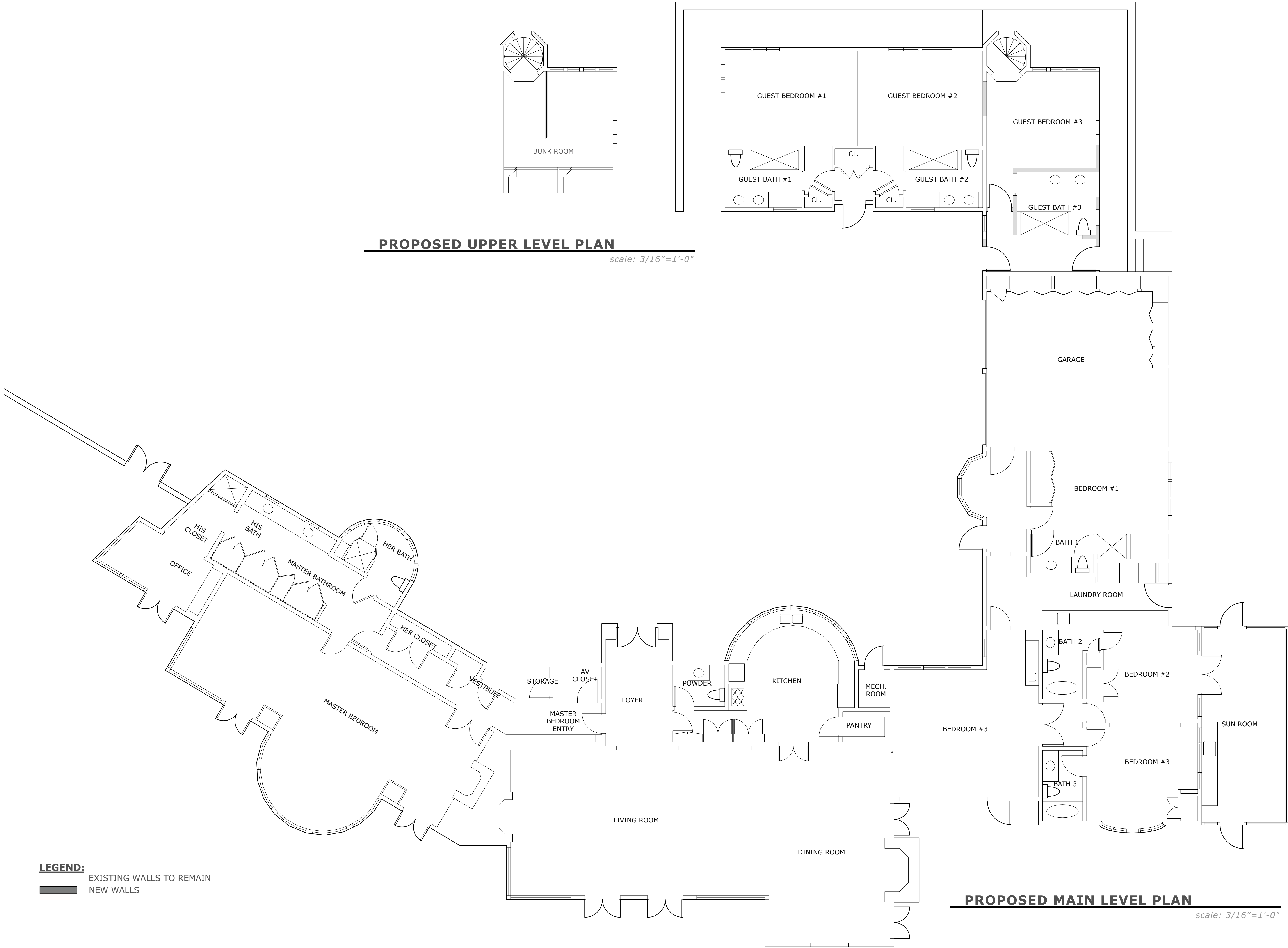
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Ph 831.375.1880 Fax 831.375.1480

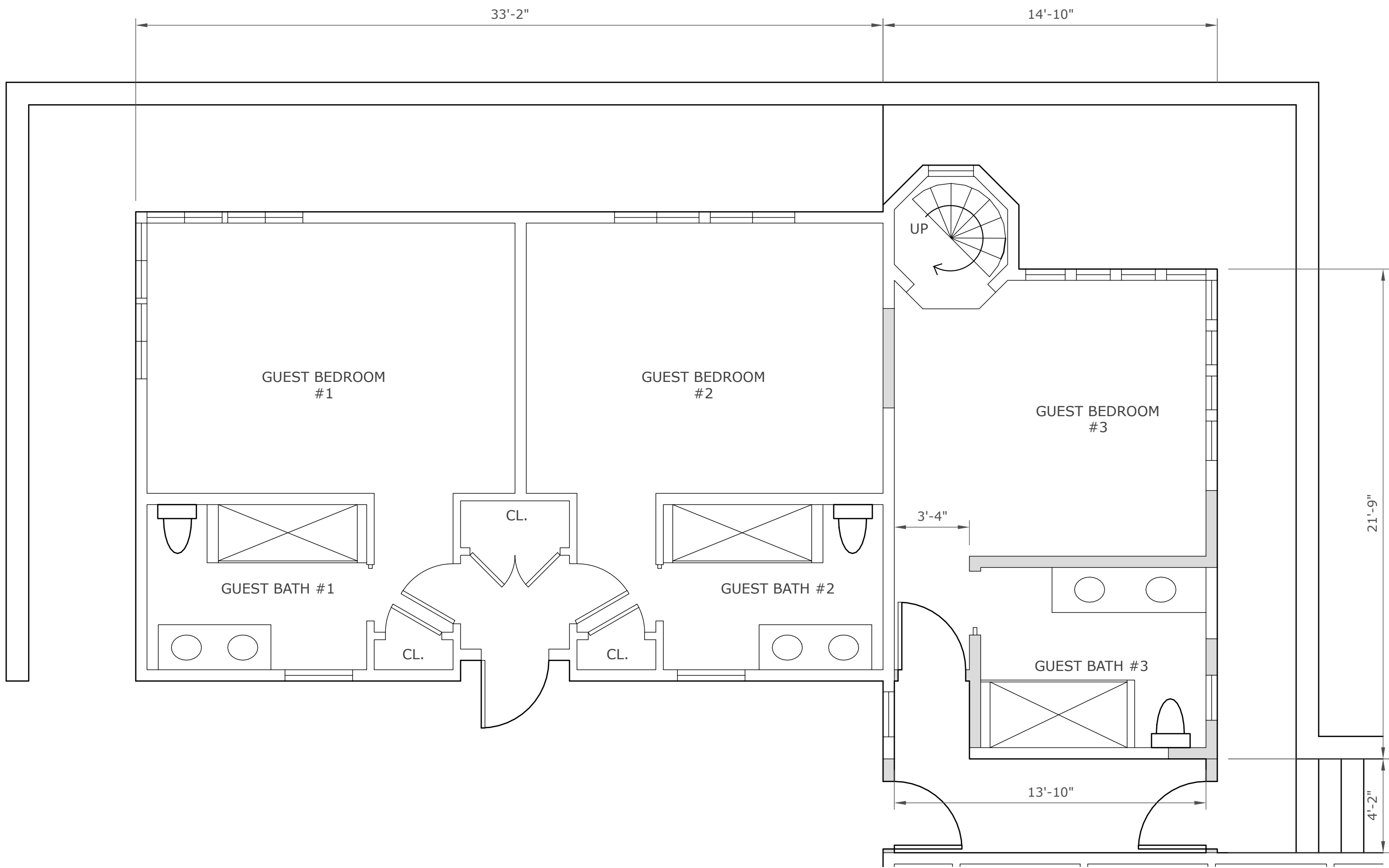


Revisions: <div></div> <div></div> <div></div> <div></div>	Reeves Residence		PROPOSED PLAN	
	1176 SIGNAL HILL RD PEBBLE BEACH, CA 93953			
	NOVEMBER 20th, 2023		APN: 008-261-010-000	

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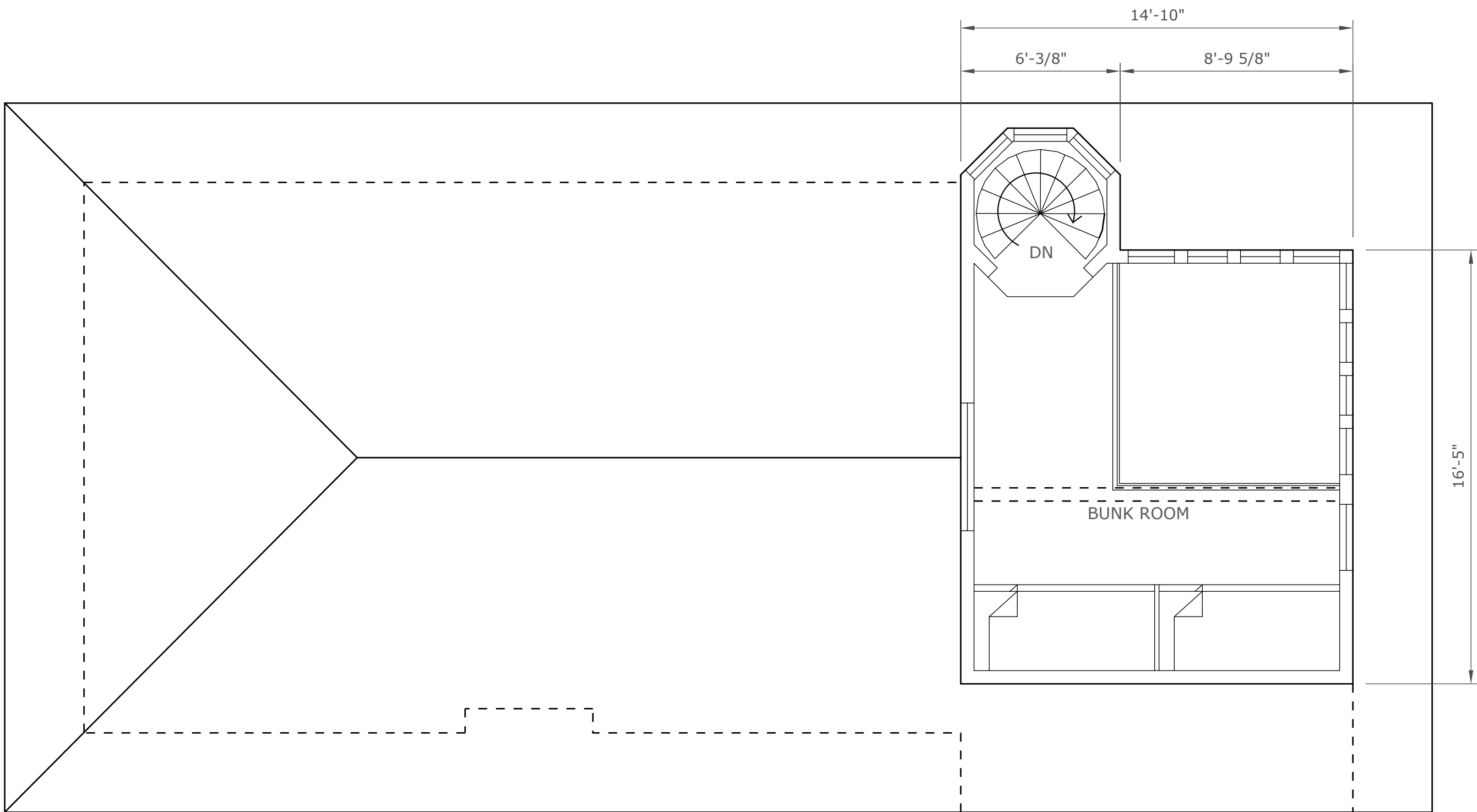
A1.2



PROPOSED LOWER GUEST WING PLAN

scale: 1/4"=1'-0"

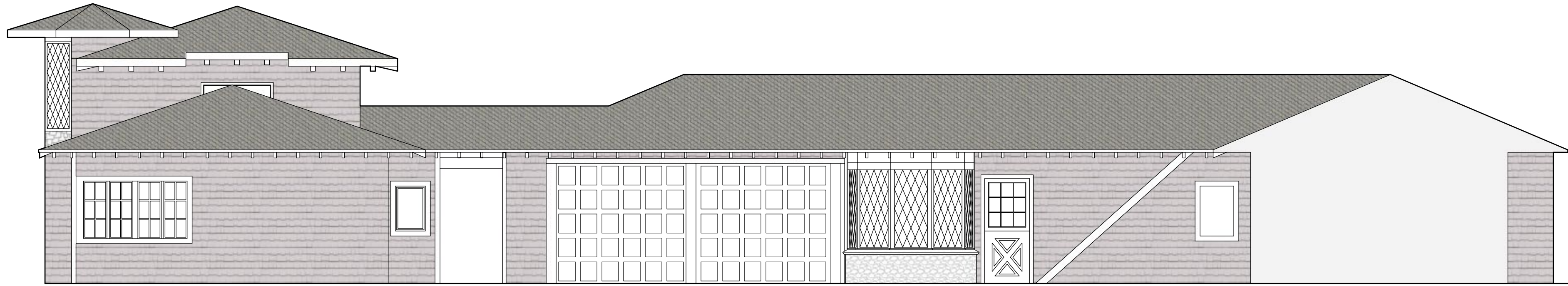
- LEGEND:**
- EXISTING WALLS TO REMAIN
 - NEW WALLS



PROPOSED UPPER GUEST WING PLAN

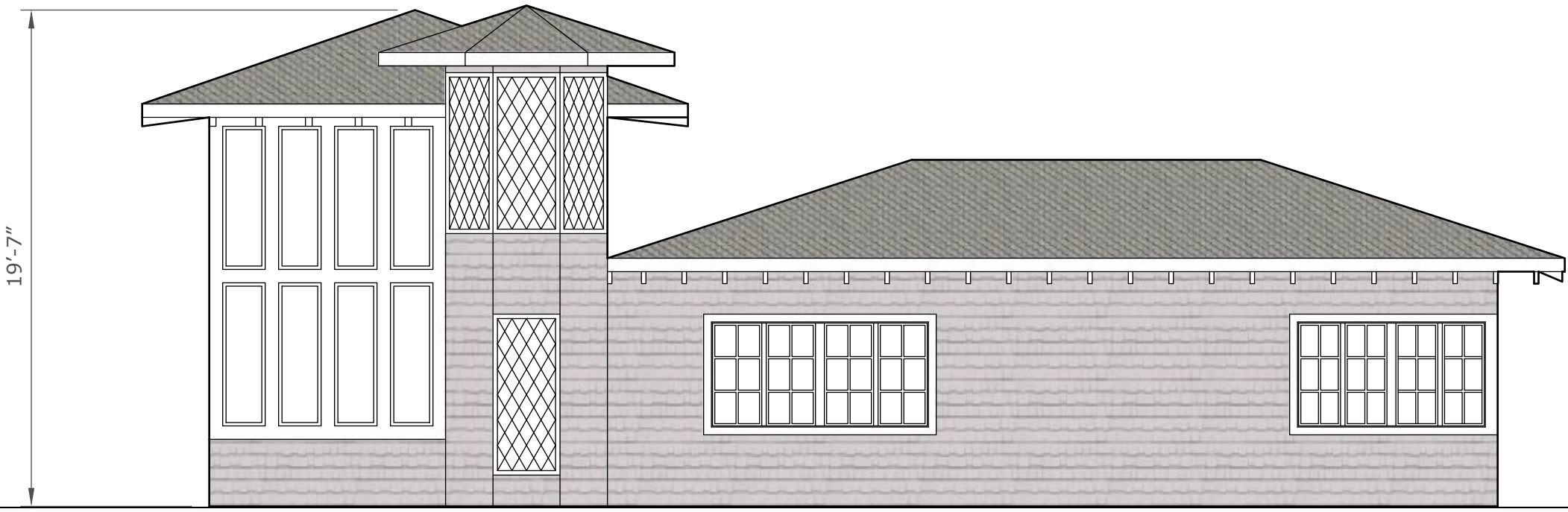
scale: 1/4"=1'-0"

Revisions:



EXISTING WEST ELEVATION

scale:3/16"=1'-0"



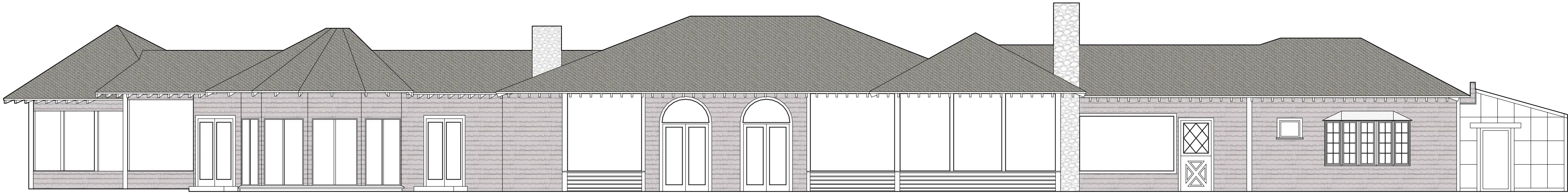
EXISTING GUEST WING NORTH ELEVATION

scale:3/16"=1'-0"



EXISTING MAIN WING NORTH ELEVATION

scale:3/16"=1'-0"



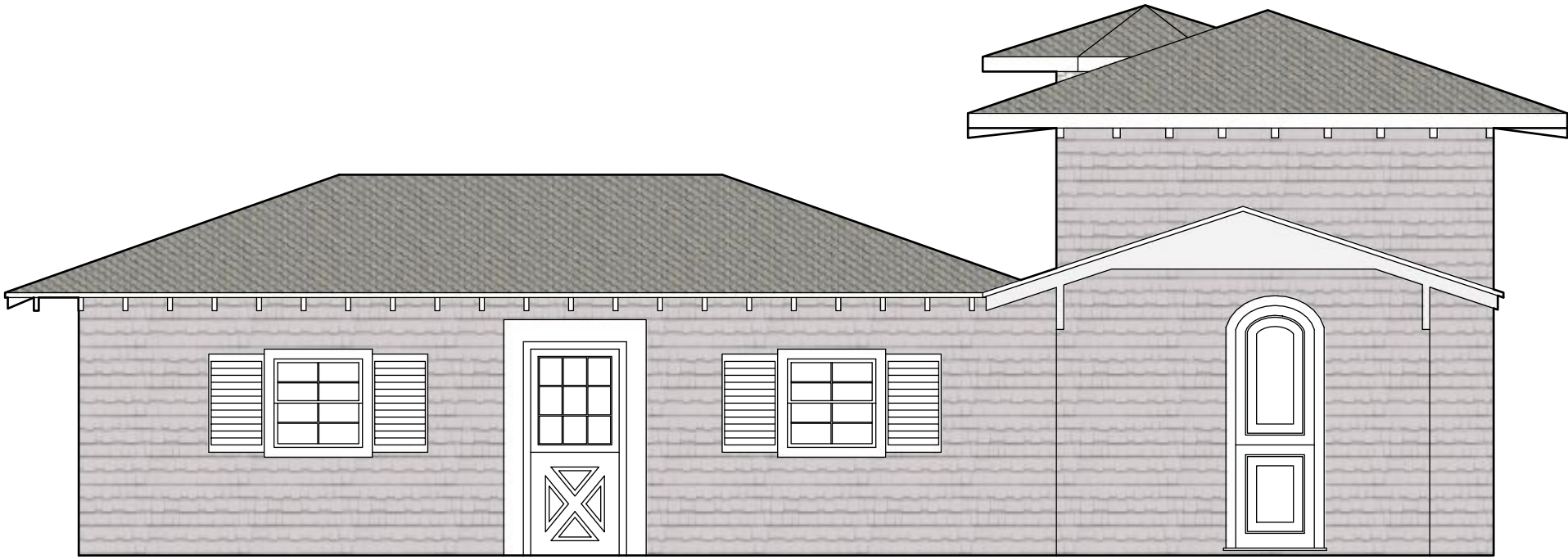
EXISTING MAIN WING SOUTH ELEVATION

scale:3/16"=1'-0"



EXISTING EAST ELEVATION

scale:3/16"=1'-0"



EXISTING GUEST WING SOUTH ELEVATION

scale:3/16"=1'-0"

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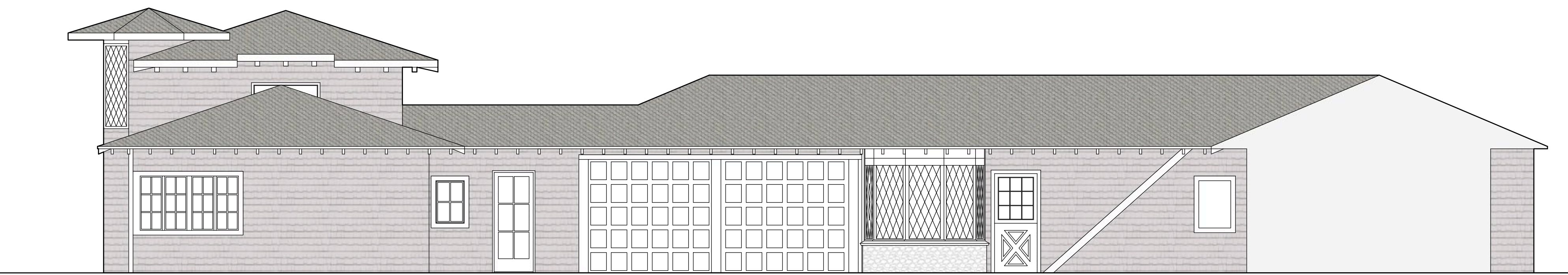
Reeves Residence

EXISTING ELEVATIONS

Revisions:

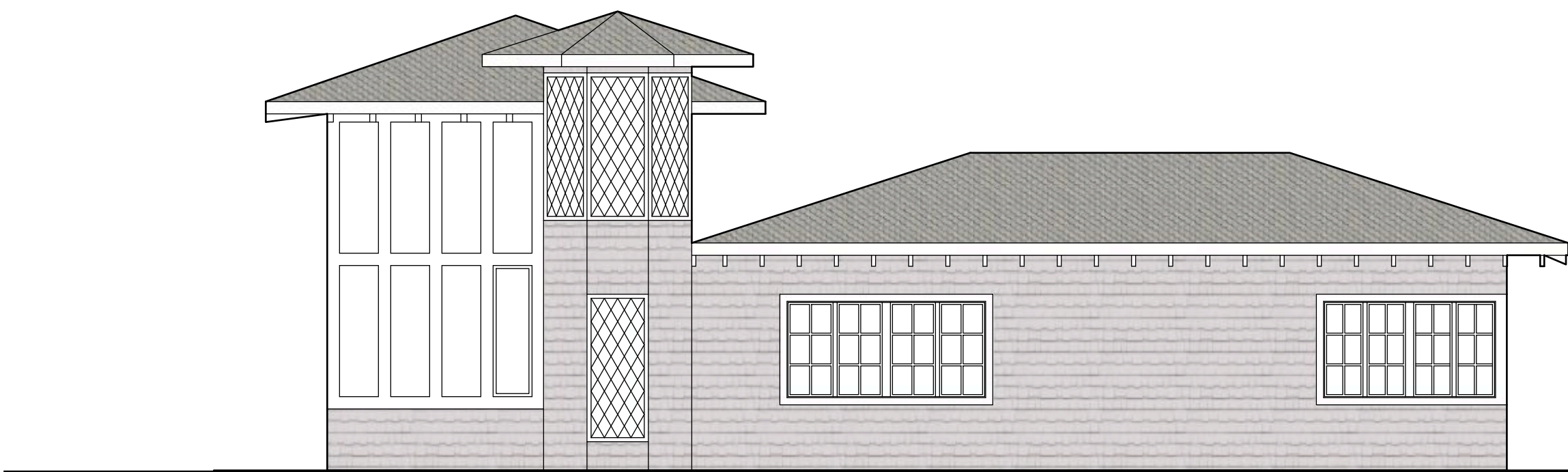
1
2
3
4

A2.0



PROPOSED WEST ELEVATION

scale: 3/16" = 1'-0"



PROPOSED GUEST WING NORTH ELEVATION

scale: 3/16" = 1'-0"



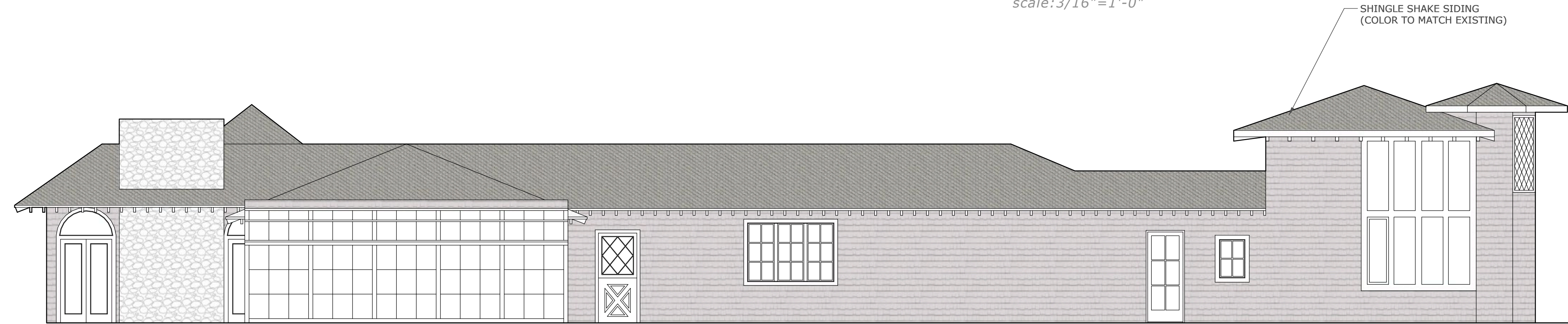
PROPOSED MAIN WING NORTH ELEVATION

scale: 3/16" = 1'-0"



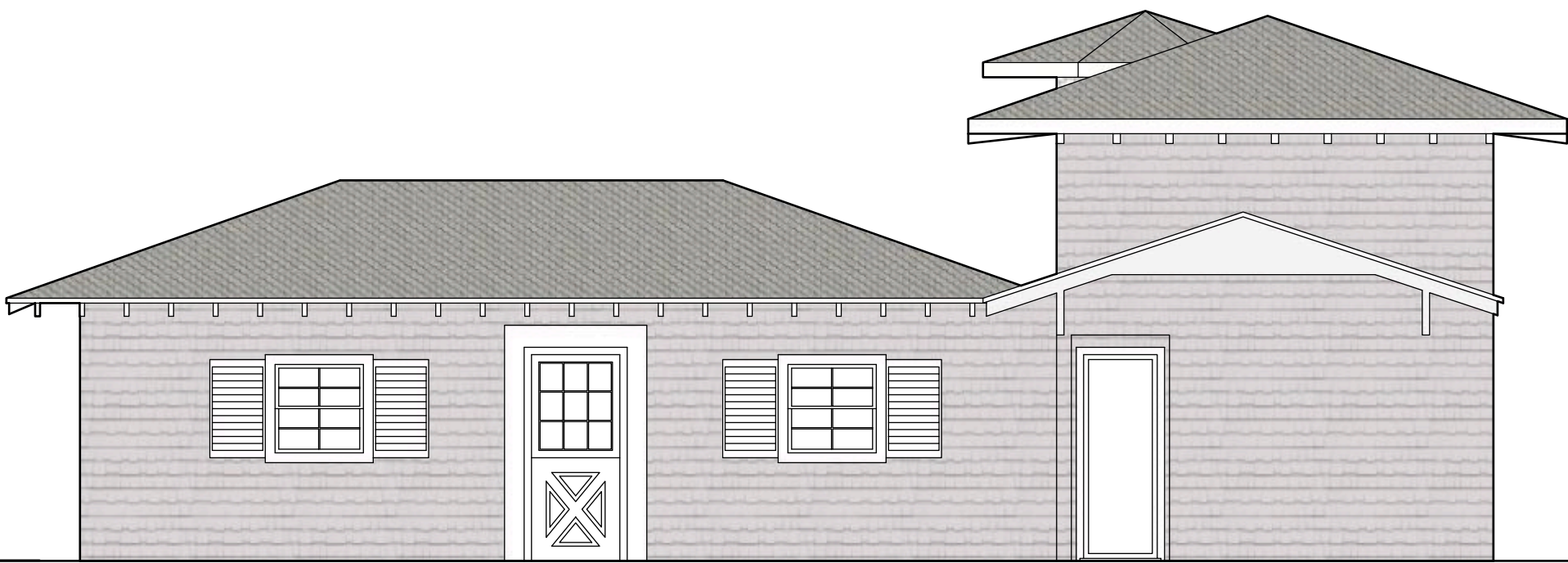
PROPOSED MAIN WING SOUTH ELEVATION

scale: 3/16" = 1'-0"



PROPOSED EAST ELEVATION

scale: 3/16" = 1'-0"



PROPOSED GUEST WING SOUTH ELEVATION

scale: 3/16" = 1'-0"

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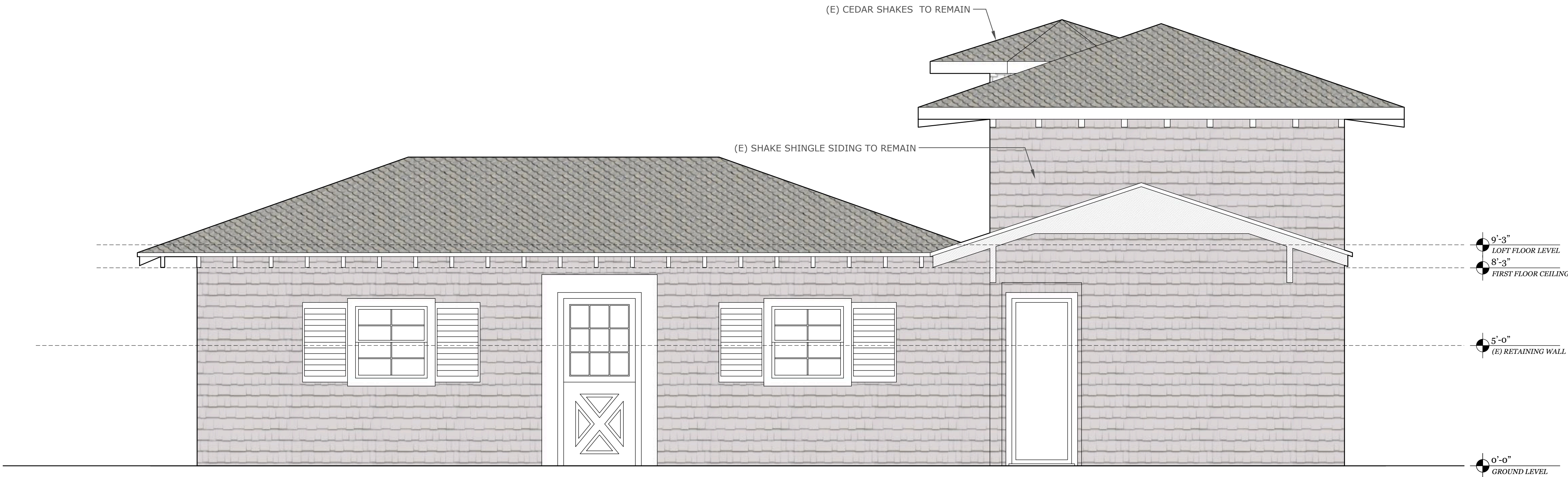
Reeves Residence

PROPOSED ELEVATIONS

Revisions:

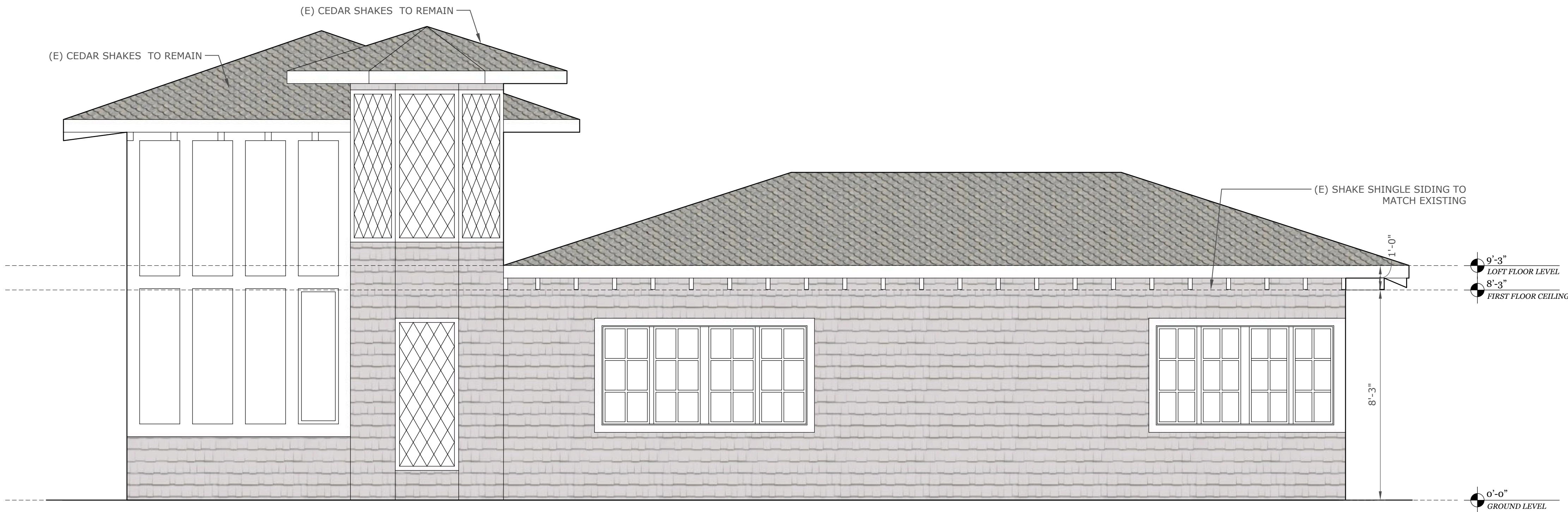
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A2.1



PROPOSED GUEST WING NORTH ELEVATION

scale: 3/8"=1'-0"



PROPOSED GUEST WING SOUTH ELEVATION

scale: 3/8"=1'-0"

Revisions:

Reeves Residence

**PROPOSED ELEVATIONS
(ENLARGED)**

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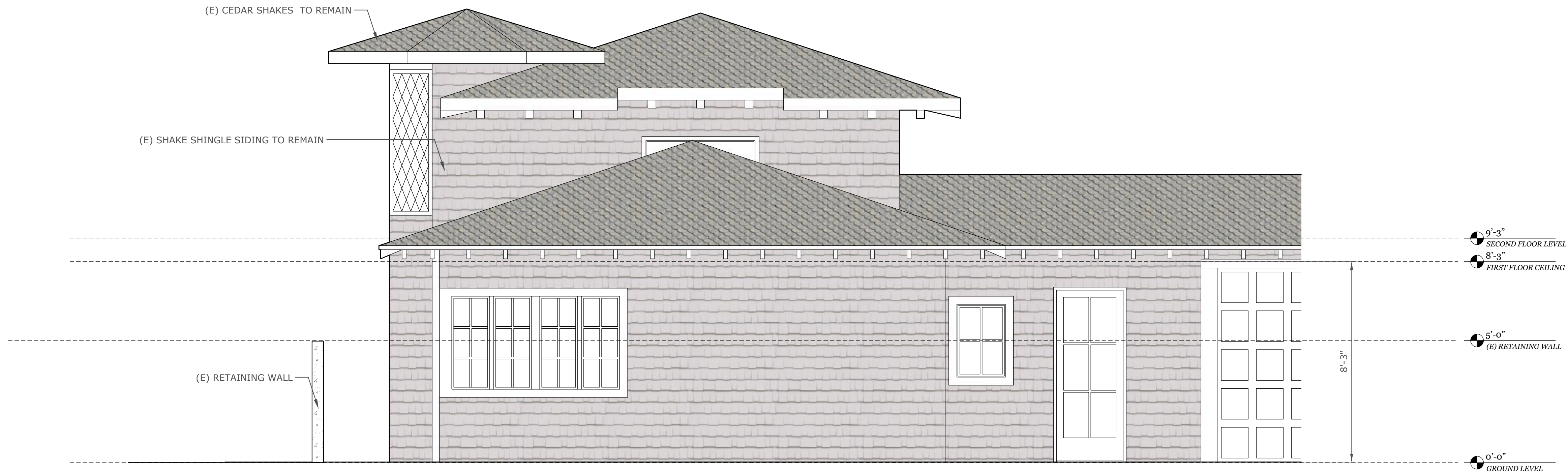
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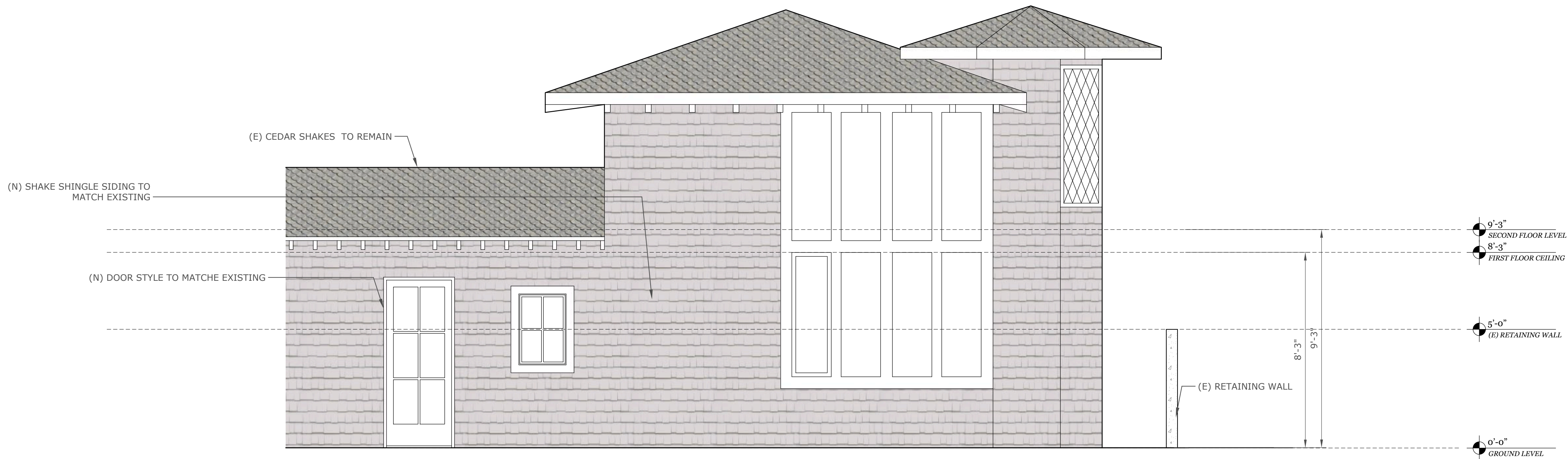
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A2.2



PROPOSED WEST ELEVATION

scale: 3/8"=1'-0"



PROPOSED EAST ELEVATION

scale: 3/8"=1'-0"

Revisions:

Reeves Residence
PROPOSED ELEVATIONS
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