

Exhibit B

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DRAFT RESOLUTION

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

BIG SUR LAND TRUST (LOBOS RIDGE) – (PLN150805)

RESOLUTION NO. ----

Resolution by the County of Monterey Planning Commission:

- 1) Adopting a Mitigated Negative Declaration pursuant to Section 15074 of the CEQA Guidelines; and
- 2) Approving a Combined Development Permit consisting of:
 - a) Coastal Administrative Permit and Design Approval to allow the construction of a 4,649 square foot two-story single family dwelling, with an attached 1,499 square foot garage, 205 square foot mechanical room, 190 square foot temporary trailer and associated site improvements including a driveway, hardscape and conversion of a test well to a domestic production well;
 - b) Coastal Development Permit for development within 100 feet of Environmentally Sensitive Habitat Areas (ESHA); and
 - c) Coastal Development Permit to allow 195 square feet of development on slopes exceeding 30%; and
- 3) Adopting a Condition Compliance and Mitigation Monitoring and Reporting Plan.

[3700 Red Wolf Drive, Carmel, Carmel Area Land Use Plan, Coastal Zone (APN 416-011-007-000)]

The BIG SUR LAND TRUST (LOBOS RIDGE) application (PLN150805) came on for a public hearing before the County of Monterey Planning Commission on September 11, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 1982 County of Monterey General Plan;
- Carmel Area Land Use Plan;
- Carmel Area Coastal Implementation Plan – Part 4; and
- County of Monterey Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The project involves the construction of a 4,649 square foot two-story single family dwelling with an attached 1,499 square foot garage, 205 square foot mechanical room, 190 square foot temporary trailer. Associated site improvements include installation of a driveway, hardscape, conversion of a test well to a domestic production well and associated grading of approximately 800 cubic yards of cut and fill. The project involves development on slopes exceeding 30 percent (195 square feet) and development within 100 feet of environmentally sensitive habitat area (Maritime Chaparral and Monterey Pine).
- c) Allowed Use. The property is located at 3400 Red Wolf Drive, Carmel (APN: 416-011-007-000). The parcel is zoned Watershed and Scenic Conservation with a density of 80 acres a unit and a Design Control overlay in the Coastal Zone or “WSC/80-D(CZ)”. Title 20, Section 20.17.040(A), (E), and (J), allows the first single family dwelling on a legal lot of record, accessory structures and uses, and water systems facilities serving fewer than 15 connections, respectively, subject to the granting of a Coastal Administrative Permit. Therefore, the proposed land uses are allowed land uses for the site.
- d) Lot Legality. The 28.916-acre parcel property (Assessor’s Parcel Number 416-011-007-000), is identified in its current size and configuration as Parcel 3 on the Parcel Map of a Portion of the South-East ¼ of Section 25, T.16S, R.1W, M.D.B.&M., recorded November 19, 1973 at Volume 5, Parcel Maps, Page 77. Therefore, the County recognizes the subject property as a legal lot of record.
- e) Design. The subject property is designated with a Design Control (“D”) zoning district overlay. Pursuant to Monterey County Code (MCC) Chapter 20.44, the purpose of this district is to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The proposed structure compliments well with the natural surrounding and will blend in effortlessly with the rural setting. The proposed project would include landscaping features including trees and other drought resistant vegetation near the residence. By incorporating native vegetation, it will further enhance the natural features of rural Carmel, a condition of approval (Condition No. 7) has been applied to ensure it meets County of Monterey landscaping requirements. The multi-level contemporary architectural style incorporates natural mixed of rustic and earthtone materials which would camouflage seamlessly with its surrounding. Colors and materials comprised of corrugated copper and natural stone exterior walls and bronze aluminum doors and windows. As such, the proposed structures would be consistent with Carmel LUP Policy 2.2.3.6 because the exterior materials and earth tone colors give the general appearance of natural materials. Staff has

determined that the proposed residence is compatible with the surrounding neighborhood character in terms of size, color, and location. The proposed residence is also consistent with the size and scale of surrounding residences, and the proposed bulk and mass would not contrast with the neighborhood character. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity. Also see subsequent Evidence “j”.

- f) Development Standards. The applicable development standards include special regulations for setbacks within the WSC zoning district as identified in MCC Section 20.17.060. These standards require special setbacks for the main dwelling unit of: 30 feet (front), 20 feet (rear) and 20 feet (sides). The proposed dwelling meets all setbacks as illustrated in the attached architectural plans (page A1.1), with a minimum side setback of 73 feet, front and back setbacks by far exceeds the required setbacks as outlined in this district. Therefore, pursuant to MCC and as proposed, the project conforms to applicable development standards regarding setbacks, height, and structural coverage.
- g) Development within 100 Feet of Environmentally Sensitive Habitat Area (ESHA). The project includes a Coastal Development Permit to allow development within 100 feet of ESHA (i.e., maritime chaparral and Monterey Pine. Policies in Chapter 2.3 of the Carmel Area LUP require maintenance, protection, and where possible enhancement of sensitive habitats. As designed, conditioned, and mitigated the project minimizes impacts to ESHA in accordance with the applicable goals and policies of the LUP and MCC. As demonstrated in Finding Nos. 6 and 7, and supporting evidence, the project is consistent with the applicable policies.
- h) Archaeological Resources. County records identify that the project site is within an area of moderate sensitivity for archaeological resources, and there are no known archaeological or cultural resources within 750 of the project site. An archaeological report prepared by Mary Doane and Gary Breschini (LIB160076) on June 5, 2014, found no known archaeological or cultural resources present on the subject parcel. In addition, there is no surface evidence of potentially significant archaeological resources in the potential well and residential development areas. Therefore, the potential for inadvertent impacts to archaeological resources is limited and will be controlled by application of the County’s standard condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- i) Visual Resources and Public Viewshed. The project, as proposed, is consistent with the Carmel Area LUP policies regarding Visual Resources (Chapter 2.2) and will have no impact on the public viewshed. The project planner conducted a site inspection on July 23, 2024 to verify that the project minimizes development within the public viewshed. The project site is approximately 2.15 miles northwest of Highway 1 and due to intervening structures and vegetation, the site is not visible from the highway. However, per staff site inspection, views to the area of the property from Highway 1 are only available with the

use of visual aids (e.g., binoculars), and the project site itself is not visible from the highway. Considering the distance, topography, existing vegetation, and project design features, the construction of the proposed project would not result in an adverse visual impact on views from Highway 1. The property also has the potential to be visible from public viewing areas including Point Lobos State Natural Reserve and Carmel River State Beach. However, as described above (i.e.; due to distance, topography, existing vegetation, and project design features), the proposed project would only be visible from these locations with the use of visual aids. The site is not visible from other public areas such as Jack’s Peak Park and Garland Park, which are located four miles north and eight miles east, respectively. Further, due to topography, the proposed project would not create a ridgeline silhouette because of the backdrop of higher hills and ridges behind the project location. As proposed, the project incorporates exterior materials and colors to help the structure blend with the existing natural environment (see preceding Evidence “e”). Therefore, the project is consistent with the Carmel Area LUP policies regarding Visual Resources (Chapter 2.2) and would have no impact on the public viewshed and would not substantially degrade the visual character of the site as surrounding uses are similar.

- j) Local Coastal Program Policy Consistency. The strict application of the Carmel Area LUP policies and development standards would deny reasonable use of the property. The proposed project is consistent with the allowed uses provided for in the Watershed and Scenic Conservation Residential zoning district and the project has been sited, designed, conditioned, and mitigated to be the least environmentally damaging alternative project. Therefore, approval is consistent with Section 20.02.060.B of Title 20. See Finding No. 9 and supporting evidence.
- k) Land Use Advisory Committee (LUAC) Review. The project was referred to the Carmel Unincorporated/Highlands Land Use Advisory Committee for review. The LUAC, at a duly-noticed public meeting held on May 15, 2023, voted 6 ayes and 1 no to recommend approval of the project as proposed without any changes. The LUAC noted that the design integrated into the environment and hillside, a key aspect welcomed by the LUAC members that were present during the site visit.
- l) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN150805.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Carmel Highlands Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Mitigations and conditions recommended have been incorporated.

- b) Staff identified potential impacts to biological and archaeological resources as well as feasibility/suitability for soils to support the development. Therefore, following technical reports have been prepared and submitted with the project application:
 - “Biological Assessment Addendum” (LIB230026) prepared by Fred Ballerini Horticultural Services, June 11, 2024
 - “Biological Assessment Addendum” (LIB230025) prepared by Fred Ballerini Horticultural Services, September 25, 2021
 - “Geotechnical and Percolation Investigation” (LIB230027) prepared by Soil Surveys Group Inc., Salinas, CA, November 19, 2021.
 - “Preliminary Archaeological Reconnaissance” (LIB160076) prepared by Mary Doane and Gary Breschini, Salinas, CA, June 5, 2014.
 - “Septic and Geotechnical Feasibility Reconnaissance Letter” (LIB160075), prepared by Haro, Kasunich and Associates, Inc, Watsonville, CA July 1, 2015.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) The project planner conducted a site inspection on July 23, 2024, to verify that the site is suitable for the proposed use.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN150805.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Carmel Highlands FPD. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are or will be available. The proposed development includes conversion of a test well to a permanent domestic well for potable water. On April 11, 2017, a test well was approved for the site (PLN170175-Reso. No. 17-011). Environmental Health Bureau confirmed the test well was drilled and completed as of July 13, 2017 (Permit no. 14-12429). As of September 4, 2024, EHB have cleared all their conditions of approval (Condition No. 16-19); the well have been installed and inspected to standards.
 - c) The Geotechnical Investigation and Percolation report prepared for the project (LIB230037) indicated that the site was suitable for the proposed

use, subject to the recommendations of the report. A standard condition of approval has been applied which shall require the applicant to follow the recommendations contained within the report.

- d) The subject site is in a very high fire hazard zone according to current Monterey County GIS information. To minimize fire hazard risk to the proposed development, a draft fuel management plan was prepared which designates fuel management zones surrounding the proposed development and includes recommendations for managing vegetation to reduce fuel loads within those zones. An exception to the conservation easement will be included for fire fuel management activities. In addition to any pruning for construction or aesthetics, California's Department of Forestry and Fire Protection (CalFire) has instituted a set of rules and guidelines for vegetation management and fire safety for homes in the wildland-urban interface (WUI). These rules have been adopted to reduce the fuels around homes and allow firefighters a better chance to combat the increasing wildfires that have been occurring in California. Carmel Highlands Fire Protection District has reviewed the project without imposing any additional conditions of approval on top of these state requirements. Fire resistant construction materials, such as Class A fire retardant with 1-inch gravel topping roof, steel over noncombustible cement board backing with fire resistant plywood and insulation, dual pane tempered glass windows with fire resistant exterior shades were chosen due to the high fire hazard risk of this parcel. In addition, there will be two 5,000 gallon water tanks on site for fire suppression.
- e) The project planner conducted a site inspection on July 23, 2024, to verify that the project, as proposed and conditioned/mitigated, would not impact public health and safety.
- f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN150805.

- 4. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
EVIDENCE:
 - a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on July 23, 2024, and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN150805.
- 5. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.146.130 of the Monterey County Coastal Implementation Plan (Part 4) can be demonstrated.
 - b) The subject property is not described as an area where the Local Coastal Program requires public access (Figure 3, Public Access, in the Carmel Area Land Use Plan).
 - c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - d) As proposed, the project would not obstruct public views of the shoreline from surrounding roadways, nor obstruct public visual access to the shoreline from major public viewing corridors (Carmel Area Land Use Plan Policy 5.3.3.4.a).
 - e) The project planner conducted a site visit on July 23, 2024, to verify that the project, as proposed and conditioned/mitigated, would not impact public access. Based on site inspection, the proposed project will not be visible from Highway 1 or any common public viewing area without the use of visual aids. The project will not result in adverse impacts to the public viewshed or scenic character in the project vicinity, and is consistent with the applicable visual resource and public access policies of the Carmel Area Land Use Plan. See also Finding No. 1, Evidence “j” above.
 - f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN150805.

6. FINDING: CEQA (Mitigated Negative Declaration) – On the basis of the whole record before the County of Monterey Planning Commission, there is no substantial evidence that the proposed project as designed, conditioned and mitigated, will have a significant effect on the environment. The Mitigated Negative Declaration reflects the independent judgment and analysis of the County.

- EVIDENCE:**
- a) Pursuant to Public Resources Code Section 21083, and California Environmental Quality Act (CEQA) Guidelines Sections 15063(a) and 15063(b)(2), the Lead Agency shall conduct environmental review in the form of an Initial Study to determine if the project may have a significant effect on the environment and shall prepare a Negative Declaration if there is no substantial evidence that the project or any of its aspects may cause a significant effect on the environment.
 - b) County of Monterey, as Lead Agency, through HCD-Planning, prepared an Initial Study pursuant to CEQA. The Initial Study is on file in the offices of HCD-Planning and is hereby incorporated by reference (Planning File No. PLN150805). The Initial Study and Mitigated Negative Declaration are also attached to the September 11, 2024, staff report to the Planning Commission.
 - c) There is no substantial evidence, based upon the record as a whole, that the project may have a significant effect on the environment. The Initial Study identified several potentially significant effects, but the applicant has agreed to mitigation measures that avoid the effects or mitigate the effects to a point where clearly no significant effects would occur.

Based upon the analysis of the Initial Study, HCD-Planning prepared a Mitigated Negative Declaration. Mitigation measures have been made with the conditions of approval of this project.

- d) Pursuant to Public Resources Code Section 21080.3.1 et seq., County of Monterey HCD-Planning staff initiated AB52 consultation with a local Native American Tribe. The County consulted with a representative of the Ohlone/Costanoan-Esselen Nation (OCEN) on January 9, 2024. Subsequent to the consultation, the OCEN representative submitted a letter to County staff objecting to all excavation in known cultural lands, requesting to have a tribal monitor onsite during construction, placement of all cultural items with the Ohlone/Costanoan-Esselen Nation, reburial of ancestral remains, and to be included in mitigation and recovery programs. However, OCEN did not provide any evidence that the site is particularly significant to the tribe, the Phase I Archaeological Assessment prepared for the project (see Finding 2, Evidence “b”) found no evidence of archaeological resources within or immediately surrounding the proposed development area, and there are no known human burial sites within the project area. Therefore, the County has determined the need for a OCEN monitor is unwarranted in this case. However, as a condition, a note on the construction plans shall be required which details procedures for if any artifacts or remains are discovered. The Native American Heritage Commission and most likely descendent would be contacted for recommendations on how to treat any identified human remains and associated grave goods with appropriate dignity. This condition would reduce the potential to impact tribal cultural resources to a less than significant level. Therefore, the potential for inadvertent impacts to archaeological and tribal cultural resources is limited.
- e) Impacts to ESHA and special-status plant species as a result of residential development within the project site are anticipated as there is no feasible alternative location on the parcel to avoid such habitat or species. However, implementation of mitigation measures would reduce this impact to a less-than-significant level. Measure Nos. 1 through 7 would reduce the potentially significant impacts to identify the impact acreage of affected maritime chaparral habitat and identify the required mitigation acreage on or off the site; implementation of best management practices and habitat protection fencing, reduce impact to special status species by preparation of a restoration plan that includes special-status plants known to occur in the vicinity; special-status plant replacement (2:1 replant ratio); pre-construction nesting migratory birds and raptors survey to protect nesting birds, preconstruction survey and avoidance of Western Bumble Bee and Crotch Bumble Bee.
- f) The Draft Initial Study and Mitigated Negative Declaration for HCD-Planning File No. PLN150805 was prepared in accordance with the CEQA Guidelines; filed with the County Clerk on June 24, 2024; and circulated for public review from June 25 to July 25, 2024 (State Clearinghouse Number 2024061019).
- g) Resource areas that were analyzed in the Draft Initial Study/Mitigated Negative Declaration included: aesthetics, air quality, biological resources, cultural resources, energy, geology and soils, greenhouse gas

emissions, hazards and hazardous materials, hydrology and water quality, noise, transportation and traffic, tribal cultural resources, and wildfire.

- h) Evidence received and considered includes: the development application, technical studies/reports, staff reports that reflect the County's independent judgment, and information and testimony presented during public meetings and hearings. These documents are on file in HCD-Planning (Planning File No. PLN150805) and are hereby incorporated herein by reference.
- i) The County identified no impacts to agriculture and forest resources, energy, mineral resources, population/housing, public services, recreation and utilities/service systems. Less than significant impacts were identified for aesthetics, air quality, cultural, geology and soils, greenhouse gas emissions, hazards and hazardous materials, hydrology and water quality, noise, transportation, and wildfire. As such, mitigation measures will not be required for these resource areas.
- j) The County identified potentially significant impacts to biological resources and land use planning, as it relates to the protection of environmentally sensitive habitat areas. Mitigation measures and conditions have been proposed to reduce the identified impacts to a level of less than significant. Measure Nos. 1 through 7 would reduce the potentially significant impacts to identify the impact acreage of affected maritime chaparral habitat and identify the required mitigation acreage on or off the site; implementation of best management practices and habitat protection fencing, reduce impact to special status species by preparation of a restoration plan that includes special-status plants known to occur in the vicinity; special-status plant replacement (2:1 replant ratio); pre-construction nesting migratory birds and raptors survey to protect nesting birds, preconstruction survey and avoidance of Western Bumble Bee and Crotch Bumble Bee; and incorporation of a note on the construction plans detailing procedures for if human remains are identified. (See Finding 7).
- k) Public Comment – During public review of the IS/MND, the County received comment from Aengus Jeffers, attorney for the Big Sur Land Trust, expressing support for Rob Carver's (architect) design while also confirming the project's consistency with the intent of the proposed conservation easement for the preservation the entire parcel outside of the development area. County staff reviewed the comments received based on the specific circumstances of this project, and determined that they do not alter the conclusions in the draft Initial Study, and no revisions to the draft Initial Study are necessary in response to the comments.
- l) The above described to the Initial Study/Mitigated Negative Declaration made after the public review period do not change any of the conclusions in the initial study or increase the severity of impacts in any resource category. These revisions clarify and amplify the existing discussion. Therefore, recirculation of the IS/MND is not required in this case.
- m) The County finds that there is no substantial evidence supporting a fair argument of a significant environmental impact.

- n) Pursuant to CEQA Guidelines Section 15073(e), the County provided notice of the public hearing to those public agencies that submitted comments on the Initial Study and Mitigated Negative Declaration.
- o) The County of Monterey Planning Commission considered the Mitigated Negative Declaration, along with the Combined Development Permit, at a duly noticed public hearing held on September 11, 2024.
- p) County of Monterey HCD-Planning, located at 1441 Schilling Place, 2nd Floor, Salinas, California, 93901, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the Mitigated Negative Declaration is based.

7. FINDING: DEVELOPMENT WITHIN 100 FEET OF ENVIRONMENTALLY SENSITIVE HABITAT AREAS (ESHA) – The subject project minimizes impact on environmentally sensitive habitat areas in accordance with the applicable goals and policies of the applicable area plan and zoning codes.

- EVIDENCE:**
- a) In accordance with policies of the Carmel Area Land Use Plan (LUP) and applicable Monterey County Code (MCC), the project includes a Coastal Development Permit to allow development within 100 feet of ESHA (i.e., maritime chaparral and Monterey Pine) and criteria to grant said permit has been met.
 - b) Policies in Chapter 2.3 of the Carmel Area LUP are directed at maintaining, protecting, and where possible enhancing sensitive habitats. As sited, designed and conditioned/mitigated, the project minimizes potential impacts to ESHA in accordance with the applicable goals and policies of the LUP and MCC.
 - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN150805.

8. FINDING: DEVELOPMENT OF SLOPES IN EXCESS OF 30% – There is no feasible alternative which would allow development to occur on slopes of less than 30 percent.

- a) Pursuant to the policies of the Carmel Area Land Use Plan (LUP Policies 2.2.4.10.a and 2.7.4.1) and applicable Monterey County Code (MCC Sections 20.146.030.C.1.a and 20.64.230.C.1), a Coastal Development Permit is required and the criteria to grant said permit has been met.
- b) The majority of project construction would be on slopes less than 30 percent. However, 195 square feet of the project, including a portion of the main house in the northern section of the property and a portion of the leach field, would be on slopes greater than 30 percent. Pursuant to the policies of the Carmel Area Land Use Plan (LUP Policies 2.2.4.10.a and 2.7.4.1) and applicable Monterey County Code (MCC Sections 20.146.030.C.1.a and 20.64.230.C.1), development on slopes that exceed 30 percent is prohibited unless there is no feasible alternative that would allow development to occur on slopes of less than 30 percent, or the proposed development better achieves the goals, policies and objectives of the Monterey County General Plan and applicable land use plan than other development alternatives. In this case, there are

no feasible alternative building sites that would completely avoid development on slopes that exceed 30 percent. The property is comprised of large areas of slopes in excess of 30 percent, shifting the house south would impact removal of protected trees.

- c) Based on site topography, the applicant has designed and sited the proposed development in the area of the parcel most suitable for development. As proposed, the project minimizes development on slopes exceeding 30 percent in accordance with the applicable goals and policies of the Carmel Area Land Use Plan.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN150805.

9. FINDING: LOCAL COASTAL PROGRAM POLICY CONSISTENCY – No building permit, grading permit, land use discretionary permit, coastal administrative permit, coastal development permit, exemption, categorical exclusion, or other permit relative to land use may be approved if it is found to be inconsistent with the County of Monterey Local Coastal Program. An exception may be considered if the strict application of the area land use plan policies denies all reasonable use of the subject property. In accordance with Section 20.02.060.B of Title 20, the decision making body, in this case the Planning Commission, finds that the parcel is otherwise undevelopable due to policies of the Carmel Area Land Use Plan, other than for reasons of public health and safety; that the grant of a coastal development permit would not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and land use designation in which the subject property is located; that the parcel is not located within the Critical Viewshed of Big Sur as defined in Coastal Implementation Plan Sections 20.145.020 and 20.145.030, and in the Big Sur Land Use Plan; that any development being approved is the least environmentally damaging alternative project; and the development being approved under these provisions is one of the "allowable uses" as listed under the parcel's zoning classification and that it shall be appealable to the California Coastal Commission in all cases.

EVIDENCE: a) Carmel Area LUP Key Policy 2.3.2 directs that environmentally sensitive habitat areas be protected, maintained, and where possible, enhanced and restored. LUP Policy 2.3.2 also subordinates all categories of land use to the protection of these critical areas. LUP Policy 2.3.3.1 and the accompanying implementing regulations in CIP Sections 20.146.040(B)(1) and (2) limits new land uses within environmentally sensitive habitat areas (ESHA) to those that are dependent on the resources therein, and states that environmentally sensitive habitat areas shall remain undeveloped except for resource-dependent development that will not significantly disrupt habitat values. As demonstrated in Finding No. 6 and supporting evidence, nearly the entire parcel is considered ESHA (maritime chaparral habitat and Monterey Pine), thus constraining development such that avoidance of ESHA is not feasible. Uses allowed in the Watershed and Scenic Conservation zoning district are limited to those that are residential,

agricultural, public/quasi-public, recreational, or utility in nature. None of these uses are considered resource-dependent development, dependent specifically on maritime chaparral. Therefore, denial of the project would deny all reasonable use of the subject property, including uses specifically allowed in the zoning district.

- b) LUP Policy 2.3.3.5 requires that development proposed in documented locations of ESHA be surveyed to determine the precise location of the habitat and to recommend mitigation measures to ensure its protection. Mitigation measures, including restoration, habitat protection measures, and habitat management, are recommended to minimize potential impacts that would result from construction of the proposed residential development. Pursuant to Coastal Implementation Plan Section 20.146.040.B.8, removal of indigenous vegetation and land disturbance in or adjacent to ESHA shall be restricted to only those amounts necessary for structural improvements. For development on vacant lots of record, Coastal Implementation Plan Section 20.02.060.B (Title 20) establishes standards for ensuring development will result in the least amount of impact to the habitat and represent the least environmentally damaging alternative project. To make this finding, the applicant shall be required to minimize development of structures and impervious surfaces to the minimum amount needed in order to reduce environmental impacts to the greatest extent possible and shall locate the development on the least environmentally sensitive portion of the parcel. As demonstrated in Finding Nos. 6, 7, and supporting evidence, the proposed project minimizes the structural footprint and impervious surfaces to the amount needed and environmental impacts are reduced to the greatest extent possible. The project, as proposed and mitigated, includes protection of habitat and sensitive species through the construction process, restoration of disturbed areas outside of the development footprint, and surveys for the nesting birds, Western Bumble Bees and Crotch Bumble Bees. Additionally, pursuant to Carmel LUP Policy 2.3.3.6 and Coastal Implementation Plan Section 20.146.040.B.5, the project has been conditioned to require a conservation and scenic easement over the remaining undeveloped portions of the parcel. An exception to the conservation easement will be included for fire fuel management activities.
- c) Not a Grant of Special Privilege. Approval of the project would not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and the Watershed and Scenic Conservation land use designation. Residentially developed properties within the vicinity and under the same land use designation are of similar character and size as the project proposed. See also subsequent Evidence “d”.
- d) Allowed Use. As demonstrated in Finding No. 1, Evidence “c”, all proposed uses are allowable uses. As demonstrated in Finding No. 2 and supporting evidence, the site has been found to be suitable for the proposed development. Additionally, as demonstrated in Finding No. 3 and supporting evidence, the project would not impact public health and safety. The project does not constitute a nuisance and is consistent with development standards for public health and safety.

- e) Not Located Within the Big Sur Critical Viewshed. The parcel is not located within the critical viewshed of Big Sur. As indicated in the purpose section of the Big Sur Coastal Implementation Plan, Section 20.145.010, the regulations within the Big Sur Coastal Implementation Plan, including the definitions of the critical viewshed per Sections 20.145.020 and 20.145.030, are only applicable to parcels subject to the Big Sur Land Use Plan. The property is located at 3400 Red Wolf Drive, in the Carmel Area Land Use Plan.
- f) Sufficiency of the Property Owners Interest – The current property owner’s purchased the property on January 8, 1998 for \$600,000. Fair market value of the property at that time was \$600,000. From 2015 to 2023, costs incurred associated with this permit have been approximately \$32,888.16. A comparable market analysis conducted September 4, 2024 compared the vacant subject property with a listing for a residentially developed property located at 2700 Red Wolf Drive which sold for \$2,600,000. An updated comparable market analysis prepared September 4, 2024 compared the subject property with three undeveloped properties located within 5 mile radius. The median listing price was \$1,750,000 and the average was \$1,900,000. This information demonstrates that the current property owners have a sufficient real property interest.
- g) Economic Impact of Denial. Denial would deprive the owners of a reasonable residential use of the property. None of the uses allowed in the Watershed and Scenic Conservation Residential Zoning District are considered development dependent on maritime chaparral habitat. No identified resource-dependent uses have been identified that would have an investment-backed expectation then that of the project (see preceding Evidence “f”). Based on the residential zoning of the property and similar residential developments approved in the area, it is reasonable for the property owner to believe establishment of a dwelling on the site would be allowed.
- h) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN150805.

10. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Monterey County Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Section 20.86.030 of the County of Monterey Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Board of Supervisors. Pursuant to CEQA Guidelines Section 15074(f), when a non-elected decision-making body within a local lead agency adopts a negative declaration, that adoption may be appealed to the agency’s elected decision-making body.
 - c) California Coastal Commission. Pursuant to Section 20.86.080.A of the County of Monterey Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because it involves

development permitted in the underlying zone as a conditional use (i.e.; development within 100 feet of environmentally sensitive habitat area).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Adopt a Mitigated Negative Declaration pursuant to Section 15074 of the CEQA Guidelines;
2. Approve a Combined Development Permit consisting of:
 - a. Coastal Administrative Permit and Design Approval to allow the construction to allow construction of an approximately 4,649 square foot two-story single family dwelling, with an attached 1,499 square foot garage, 205 square foot mechanical room, 190 square foot temporary trailer and associated site improvements including a driveway, hardscape and conversion of a test well to a domestic production well;
 - b. Coastal Development Permit to allow development within environmentally sensitive habitat; and
 - c. Coastal Development Permit to allow 195 square feet of development on slopes in excess of 30%; and
3. Adopt a Mitigation Monitoring and Reporting Plan

To be carried out in general conformance with the attached project plans and subject to the attached 24 conditions of approval, both attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 11th day of September, 2024, upon motion of Commissioner _____, seconded by Commissioner _____, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Melanie Beretti, AICP
Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES:

1. You will need a building permit and must comply with the County of Monterey Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from County of Monterey HCD-Planning and HCD-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN150805

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development permit (PLN150805) allows: 1) Coastal Administrative Permit and Design Approval to allow construction of an approximately 4,649 square foot two-story single family dwelling, with an attached 1,499 square foot garage, 205 square foot mechanical room and associated site improvements including a, driveway, hardscape and conversion of a test well to a domestic production well; 2) Coastal Development Permit to allow development within environmentally sensitive habitat; 3) Coastal Development Permit to allow 195 square feet of development on slopes in excess of 30%.. The property is located at 3400 Red Wolf Drive, Carmel (Assessor's Parcel Number 416-011-007-000), Carmel Area Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number ___) was approved by the Planning Commission Assessor's Parcel Number 416-011-007-000 on September 11, 2024. The permit was granted subject to 24 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD- Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD- Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD- Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the County Counsel for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel.

5. PD005 - FISH & GAME FEE NEG DEC/EIR

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Pursuant to the State Public Resources Code Section 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Within five (5) working days of project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to the Director of RMA - Planning.

If the fee is not paid within five (5) working days, the applicant shall submit a check, payable to the County of Monterey, to the Director of RMA - Planning prior to the recordation of the final/parcel map, the start of use, or the issuance of building permits or grading permits.

6. PD006 - CONDITION OF APPROVAL / MITIGATION MONITORING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring and/or Reporting Plan (Agreement) in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed Agreement. The agreement shall be recorded. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Within sixty (60) days after project approval or prior to the issuance of building and grading permits, whichever occurs first, the Owner/Applicant shall:

- 1) Enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring Plan.
- 2) Fees shall be submitted at the time the property owner submits the signed Agreement.
- 3) Proof of recordation of the Agreement shall be submitted to RMA-Planning.

7. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of RMA - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD- Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to RMA - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by RMA-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to RMA-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

8. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.

(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD- Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

9. SPPD001 - MITIGATION MEASURE #1

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of any grading or building permits, the applicant or property owner, with the assistance of a County-approved biologist, shall determine the impact acreage of affected Central Maritime Chaparral Habitat (including vegetation removal areas required for fire clearance), and impacts shall be mitigated at a minimum 1:1 impact to mitigation ratio by preserving this sensitive habitat on the site.

If full on-site mitigation of maritime chaparral habitat is not feasible and off-site mitigation is necessary, a minimum 2:1 mitigation ratio for off-site mitigation shall be required. Off-site areas shall be located in the vicinity of the site and shall be selected in coordination with a County-approved biologist and reported to the Monterey County Housing & Community Development for their files.

The mitigation area(s) shall be capable of supporting high quality maritime habitat. Sensitive habitat mitigation for maritime chaparral and special status plant impacts can be accomplished in the same mitigation area(s).

The mitigation area(s) shall be capable of supporting high quality maritime habitat. Sensitive habitat mitigation for maritime chaparral and special-status plant impacts can be accomplished in the same mitigation area(s).

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permit, the applicant or property owner with the assistance of a County-approved biologist, shall determine the impact acreage of affected maritime chaparral habitat and shall identify the required mitigation acreage on or off the site as set forth in BIO-1. Prior to final approval of the building permit, the applicant or property owner shall report the mitigation area and acreage to the Monterey County Housing & Community Development.

10. SPPD002 - MITIGATION MEASURE #2

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall retain a County-approved biologist to prepare a Restoration Plan for the project that includes special-status plants known to occur in the vicinity. The Restoration Plan shall be prepared and provided to the Monterey County Housing & Community Development prior to issuance of any grading or building permit. This Restoration Plan shall be prepared separately and in addition to the required landscaping plan.

The restoration site(s) shall be located within on-site native landscaping portions of the limited development area, within previously disturbed areas of the strict conservation area, or within an off-site maritime chaparral habitat location in the vicinity of the project site that is placed under a conservation easement for these mitigation purposes. The mitigation site(s) shall be selected in coordination with a County-approved biologist and reported to the Monterey Housing & Community Development.

The Restoration Plan shall identify the size and location of the mitigation site(s), determine appropriate restoration techniques including native seed/plant sources and transplantation/ propagation methods, describe long-term site maintenance activities, establish restoration success criteria, define an adequate long-term restoration monitoring program, include mitigation plantings of sensitive species, establish an invasive species control methodology, and provide an implementation schedule. Quantified special-status plants, including special-status spring-flowering species, that would be impacted and lost due to construction shall be integrated into the restoration areas at a minimum 2:1 impact to mitigation ratio.

The project Restoration Plan shall be implemented within one year from the start of initiation of site preparation and disturbance activities, and shall continue for as long as the specified maintenance and monitoring activities are required by the Restoration Plan.

Specific special-status plant impacts shall be quantified and integrated into the Restoration Plan prior to issuance of grading or building permits. In addition, spring plant surveys shall be conducted prior to issuance of grading permits to identify and quantify listed sensitive spring-flowering elements that may occur within proposed impact areas (including fire-clearance zones). Spring surveys shall be conducted during appropriate timeframes with findings, recommendations, and potential mitigations presented to the Monterey County Housing & Community Development. Based on the total assessed impacts, replanting/replacement of special-status plants shall occur at a 2:1 impact to mitigation ratio within restoration areas.

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permit, the applicant or property owner with the assistance of a County approved biologist, shall prepare a restoration plan to implement special-status plant species propagation/salvage/installation activities in identified restoration/mitigation areas. The restoration plan shall be submitted to the Monterey County Housing and Community Development prior to issuance of any grading or building permits and implementation of the plan shall be monitored and reported to the agency as described by the plan.

11. SPPD003 - MITIGATION MEASURE #3

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall contract with a County-approved qualified biologist or native plant specialist to collect seed from or salvage special-status plants located within impact areas prior to initiation of ground disturbance activities, as specified by the Restoration Plan. If needed to supplement plant replacement efforts, container plants grown from a local seed source may be obtained from a native plant nursery. The mitigation site(s) shall be preserved in perpetuity by conservation easement. The applicant or property owner shall be responsible for the implementation of this mitigation measure, and shall provide monitoring reports to the Monterey County Housing & Community Development for their files.

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permit, the applicant or property owner with the assistance of a County-approved biologist, shall prepare a Restoration Plan to implement Central Maritime Chaparral restoration that includes special-status mitigation species (2:1 replant ratio) and include detailed plant species propagation/salvage/installation activities in identified restoration/mitigation areas, long-term invasive species methodology, long term monitoring protocols, and success criteria. The restoration plan shall also include the quantified special-status plants, including special-status spring-flowering plants identified and quantified during focus spring surveys of the proposed development and fire clearance zones. The restoration plan shall be submitted to the Monterey County Housing & Community Development prior to issuance of any grading or building permits and implementation of the plan shall be monitored and reported to the agency as described by the plan.

12. SPPD004 - MITIGATION MEASURE #4

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If construction activities begin during the bird nesting season (February 1 to September 15), or if construction activities are suspended for at least two weeks and recommence during the bird nesting season, then the applicant shall retain a County-approved biologist to conduct pre-construction surveys for nesting birds. The surveys shall be performed within suitable nesting habitat areas in and adjacent to the site to ensure that no active nests would be disturbed during project implementation. Surveys shall be conducted no more than two weeks prior to the initiation of construction activities. A report documenting survey results and a plan for active bird nest avoidance (if needed) shall be completed by the project biologist and submitted to the Monterey County Housing & Community Development for review and approval prior to construction activities.

If no active bird nests are detected during the survey, then project activities can proceed as scheduled. However, if an active bird nest is detected during the survey, then a plan for nest avoidance shall determine and clearly delineate an appropriately sized, temporary protective buffer area around each active nest, depending on the nesting bird species, existing site conditions, and type of proposed construction activities. The protective buffer area around an active bird nest is typically 50 to 300 feet, determined at the discretion of the project biologist based on the species encountered and nature/location of construction activities.

To ensure that no inadvertent impacts to an active bird nest shall occur, no construction activities shall occur within the protective buffer area(s) until the juvenile birds have fledged (left the nest), and there is no evidence of a second attempt at nesting, as determined by the project biologist. The applicant or future developer(s) shall be responsible for the implementation of this mitigation measure, subject to monitoring by the Monterey County Housing & Community Development.

Compliance or Monitoring Action to be Performed: Prior to construction activities that would begin or recommence during the bird nesting season (February 1 to September 15), the applicant, with assistance from a County approved biologist, shall implement the pre-construction nesting bird survey and active nest avoidance and protection requirements set forth in Mitigation Measure BIO-3. This includes preparation of a results report to be provided to the Monterey County Housing & Community Development prior to construction.

13. SPPD005 - MITIGATION MEASURE #5

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Within 14 days prior to construction, a preconstruction survey shall be conducted by a County-approved biologist for bumble bee nests on the project site.

If the surveys identify occupied bumble bee (*Bombus*) nests within the project footprint, the project biologist would photograph bees sufficiently for identification. Additional preconstruction surveys may be required to positively identify bumble bee species.

If it is determined that the active nest colony is western or Crotch bumble bee, an avoidance buffer shall be established under the direction of the project biologist. The project biologist shall monitor and maintain no-work buffers around nest colonies and any floral resources identified during surveys.

The size and configuration of the no-work buffer shall be based on the best professional judgment of the project biologist with County approval. However, at a minimum, the buffer shall provide at least 20 feet of clearance around nest entrances and maintain disturbance-free airspace between the nest and nearby floral resources.

Construction activities shall not occur within the no-work buffers until the colony is no longer active (i.e., no bees are seen flying in or out of the nest for three consecutive days indicating the colony has completed its nesting season and the next season's queen has dispersed from the colony).

Compliance or Monitoring Action to be Performed: Prior to construction activities, the applicant, with assistance from a County approved biologist, shall implement the pre-construction Western bumblebee and Crotch bumble bee survey and active nest colony avoidance and protection requirements set forth in mitigation measure BIO-5.

14. SPPD006 - MITIGATION MEASURE #6

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: During any initial ground disturbance activities such as vegetation removal and site preparation/ grading, the applicant shall retain a County-approved biologist to perform biological construction monitoring for potentially occurring special-status coast horned lizards, silvery legless lizards, and the Monterey dusky-footed woodrat. If any special-status wildlife species are observed within the impact areas by the project biologist, work in the immediate vicinity of the observation shall be halted until the wildlife safely moves away from construction activities on its own. The project biologist shall not handle or relocate any individuals unless CDFW approval to do so has been obtained for the project.

To avoid and reduce impacts to the Monterey dusky-footed woodrat the project proponent shall retain a qualified biologist to conduct pre-construction surveys within three days prior to any further vegetation clearance or grading for woodrats nests within the project area and in a buffer zone from the limit of disturbance, including fire clearance areas. All woodrat nests shall be flagged for avoidance of direct construction impacts, where feasible. Nests that cannot be avoided shall be manually deconstructed by the qualified biologist prior to land clearing activities to allow animals to escape harm. If a litter of young is found or suspected, nest material shall be replaced, and the nest left alone for 2- 3 weeks before a re-check to verify that young are capable of independent survival before proceeding with nest dismantling.

Compliance or Monitoring Action to be Performed: During any initial ground disturbance activities, the County approved biologist with the applicant or future developer(s) shall implement the special-status wildlife monitoring and avoidance requirements set forth in Mitigation Measure BIO-6.

15. SPPD007 - MITIGATION MEASURE #7

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to grading and during construction, general best management practices shall be in place to protect habitats that are adjacent to the development. These include the following:

- a. Habitat protection fencing shall be installed at the perimeter edge (with allowable minimal buffer required to implement the construction project) of the development to protect sensitive chaparral habitat from construction impacts. Protection fencing of Monterey pine trees within the development zone shall be installed around the maximum critical root zone as feasible to prevent soil compaction and adverse grading or construction impacts to root zones, trunks, or limbs. Protection fencing shall be monitored by the project biologist. Photo documentation and protection fencing mapping shall be issued to the Monterey County Housing & Community Development as a condition of compliance prior to issuance of grading permits. Fencing shall be maintained in good standing until the project is complete.
- b. Mobilized mechanized grading equipment shall be pressure washed prior to mobilization to prevent unwarranted plant pathogens or invasive species seed or vegetative debris from entering and potentially pioneering on the site. Use of heavy equipment shall be restricted to areas within the development envelope.
- c. Excavated clean upper soil horizon soils from the construction site shall be used to top dress final landscape restoration areas. Prior to final grading, all construction debris shall be removed, and construction activities completed in the areas to be treated with the approved native seed mix. To protect adjacent maritime chaparral habitats from inadvertent soil deposition impacts, excavated substrate materials shall not be cast into adjacent habitats or areas beyond the approved development zone; rather it should be hauled off location and disposed at a receiver site or used for fill within the development area per recommendations of the grading plan.
- d. After the completion of the soil disturbance activities, any disturbed soils shall be stabilized with native seed of site-identified species and plant materials and installed in all restoration areas in the fall months prior to or in conjunction with the seasonal rains.
- e. Any disturbed soil generated by the project must be kept free of invasive, exotic plant species.
- f. Restoration in all disturbed soils surrounding the structures shall be restricted to central maritime chaparral habitat species to be approved by the project biologist. Any out-plantings that stray from the specified chaparral plant assemblage could negatively impact the extant natural community through competition, shading, or invasion. Not adhering to the guidelines of this impact mitigation could result in adverse impacts to the sensitive native maritime chaparral surrounding the structures.

Compliance or Monitoring Action to be Performed: Prior to grading and during construction, the applicant shall implement best BMPs to protect habitats that are adjacent to the development.

16. EHSP001 - WATER WELL CONSTRUCTION PERMIT

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: Obtain a water well construction permit from the Environmental Health Bureau pursuant to Monterey County Code Chapter 15.08, Water Wells

Compliance or Monitoring Action to be Performed: Prior to drilling the well, a CA-licensed well drilling contractor shall obtain a water well construction permit from the Environmental Health Bureau on behalf of the owner.

17. EHSP002 – NEW WELL SOURCE CAPACITY TEST IN BEDROCK FORMATION

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: All new or rehabilitated wells, completed in bedrock formations, to be added to a potable water distribution system shall first undergo a minimum of a 72-hour continuous source capacity test, witnessed by the Environmental Health Bureau (EHB), to determine the yield of the well in order to demonstrate compliance with Section 601.1 of the Uniform Plumbing Code. The test shall conform to Source Capacity Test Procedure, available from the EHB. The source capacity test must yield a sufficient quantity (determined by EHB) to support the proposed development.

The source capacity test(s) shall be made no earlier than August 1 of each year and no later than the first significant rainfall event of the wet season or Oct 31st. The applicant shall pay all associated fees to EHB.

Compliance or Monitoring Action to be Performed: Prior to Environmental Health Bureau (EHB) accepting this well as a domestic water source for future development, contact Drinking Water Protection Services of EHB to schedule a Source Capacity Test and obtain procedure guidelines. A qualified professional shall perform test and prepare report as detailed by the EHB Source Capacity Testing Procedures. Submit Report to Environmental Health for review and approval.

18. EHSP003 - NEW WELL WATER QUALITY ANALYSIS

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: A residential building shall be provided with an adequate supply of potable water pursuant to Section 601.1 of the Uniform Plumbing Code. In order to demonstrate a potable supply, a new domestic well shall first undergo water quality testing. Sample collection shall be done after development of the well and shall include analysis of coliform bacteria, and primary inorganics and secondary compounds including Perchlorate, as listed in Tables 64431-A and 64449-A&B in Title 22 of the California Code of Regulations. Waivers for asbestos, MTBE, and thiobencarb may be available upon request. Sample collection shall be done by a person approved by EHB and shall be analyzed by a laboratory certified by the Environmental Laboratory Accreditation Program (ELAP). If water quality results indicate that the well exceeds a primary drinking water standard(s), a Point-of-Entry treatment system shall installed before a building is occupied and the applicant shall record a deed restriction indicating that treatment is necessary for the well water to meet Title 22, CCR primary drinking water standards.

Compliance or Monitoring Action to be Performed: Prior to the EHB accepting this well as a domestic water source for future development, the applicant shall submit water quality analysis results to EHB for review. If EHB determines that the water quality is adequate, no further action is required.

If EHB determines that treatment is necessary:

- Prior to issuance of a construction permit, the applicant shall provide plans prepared by a qualified individual for point-of-entry treatment to EHB for review and approval.
- Prior to occupancy of a building, the applicant shall provide to EHB for review and approval as-built plans prepared by a qualified individual for point-of-entry treatment and water quality analysis for a treatment effluent sample that demonstrates the treatment system is able to reduce the contaminant(s) to Title 22,CCR primary standards.

The applicant shall submit a draft deed restriction for review and approval by EHB and County Counsel.

The applicant shall provide proof of recordation of the approved deed restriction to EHB and Planning Department.

If the applicant chooses not to pursue utilizing the well as a source for domestic use, this condition shall not be applicable

19. EHSP004 - LONG-TERM WATER SUPPLY DEED RESTRICTION

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The applicant shall record a deed restriction stating: "Well yields in fractured rock aquifer systems have been shown to decline significantly over time due to meager ability of fractured rock to store and transmit water. Therefore, with the intrinsic uncertainties regarding the long-term sustainability of an on-site well proposed to provide a source of domestic potable water on this parcel, the present and any future owners of this property are hereby given notice that additional water sources may be required in the future."

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the applicant shall submit a draft deed restriction for review and approval by the Environmental Health Bureau and County Counsel.

Once approved, the applicant shall provide proof of recordation of the deed restriction to the Environmental Health Bureau and Planning Department.

If the applicant chooses not to pursue utilizing the well as a source for domestic use, this condition shall not be applicable.

20. SPPD - CONSERVATION AND SCENIC EASEMENT (NONSTANDARD)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of grading and building permits, owner shall record a Conservation and Scenic Easement over the remaining undeveloped areas. The easement shall prohibit uses and include restrictions for the protection of Visual Resources and Environmentally Sensitive Habitat Areas and shall be granted in perpetuity. The Conservation and Scenic Easement shall be granted to the Big Sur Land Trust (BSLT) or other entity acceptable to the County, with the County to be named as beneficiary in event the Big Sur Land Trust or other entity is unable to adequately manage these easements for the intended purpose of scenic and visual resource protection and environmentally sensitive habitat areas. All undeveloped portions of Area A will ultimately be preserved by the imposition of habitat conservation easements in accordance with the procedures in Monterey County Code § 20.64.280.A. The easement shall be developed in consultation with a certified professional and the Big Sur Land Trust. A Subordination Agreement shall be required, where necessary. These instruments shall be subject to approval by the County as to form and content and approval as to form and legality by County Counsel and shall provide for enforcement, if need be, by the County or other appropriate agency. The easement deed shall be submitted to, reviewed, and approved by the Chief of HCD - Planning and forwarded to the Executive Director of the California Coastal Commission by the HCD Planning Department prior to recording the document. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and building permits, and after a building option has been chosen, the applicant shall submit a Conservation and Scenic Easement instrument for approval by the County as to form and content and approval as to form and legality by County Counsel.

The easement deed shall be submitted to, reviewed, and approved by the Chief of RMA - Planning and forwarded to the Executive Director of the California Coastal Commission by the HCD Planning Department prior to recording the document.

21. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

22. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

23. PD041 - HEIGHT VERIFICATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

24. PD016 - NOTICE OF REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:
"A Geotechnical and Percolation Investigation" (LIB230027) prepared by Soil Surveys Group Inc., Salinas, CA, November 19, 2021 and "Biological Assessment Addendum" (LIB230026) prepared by Fred Ballerini Horticultural Services, June 11, 2024 are on file in Monterey County HCD - Planning. All development shall be in accordance with these reports."
(HCD - Planning)

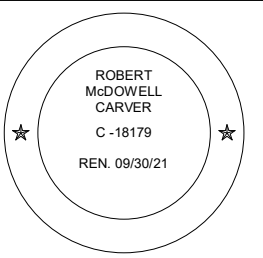
Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



CHARTIER
BIG SUR
LAND
TRUST
3400 RED WOLF DRIVE,
CARMEL, CA 93923



PLANNING
PERMIT

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RENDERING

Scale: @ 24x36
Drawn By: DPIJP
Job: 2102

R1

03/07/2023

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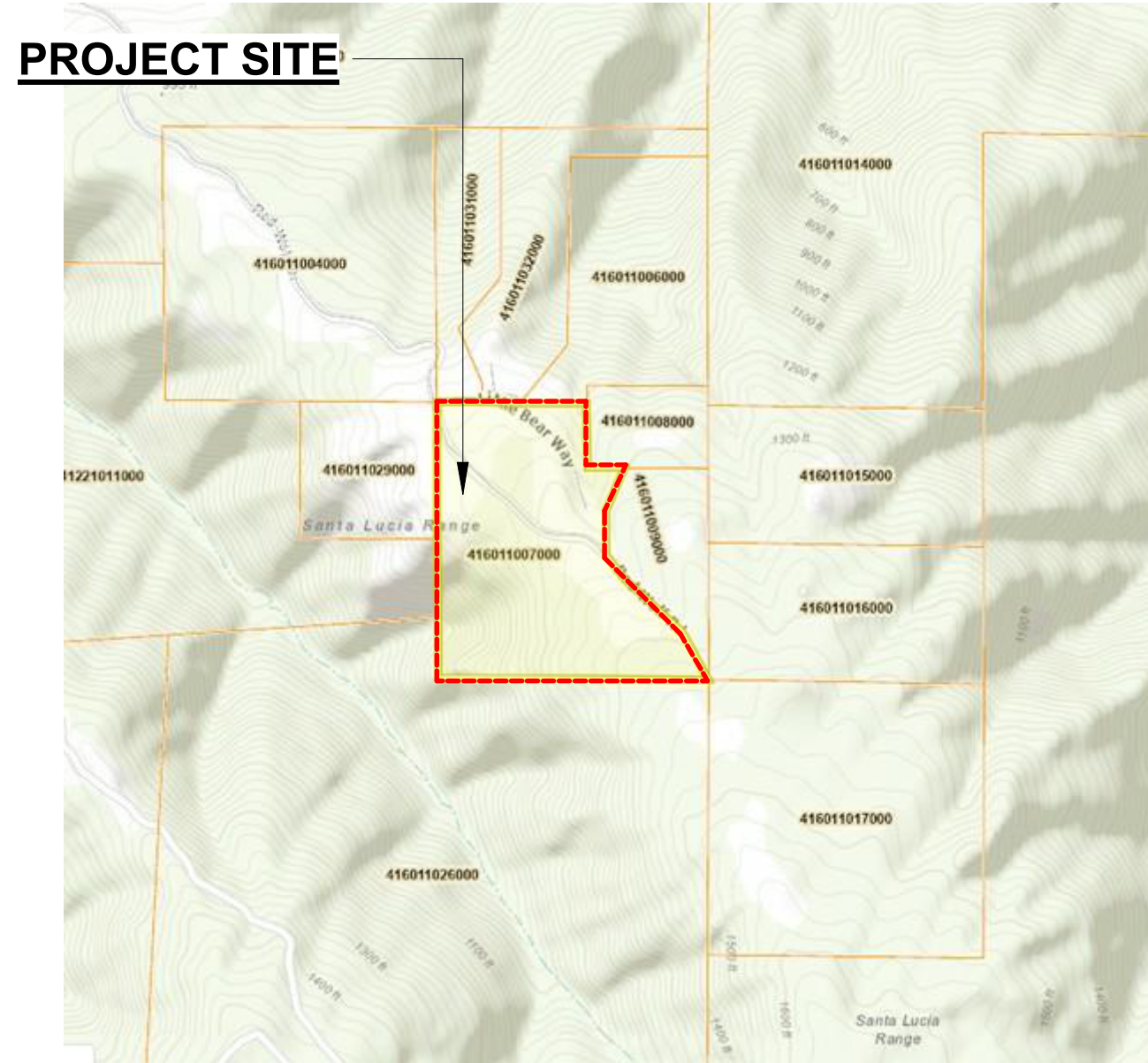
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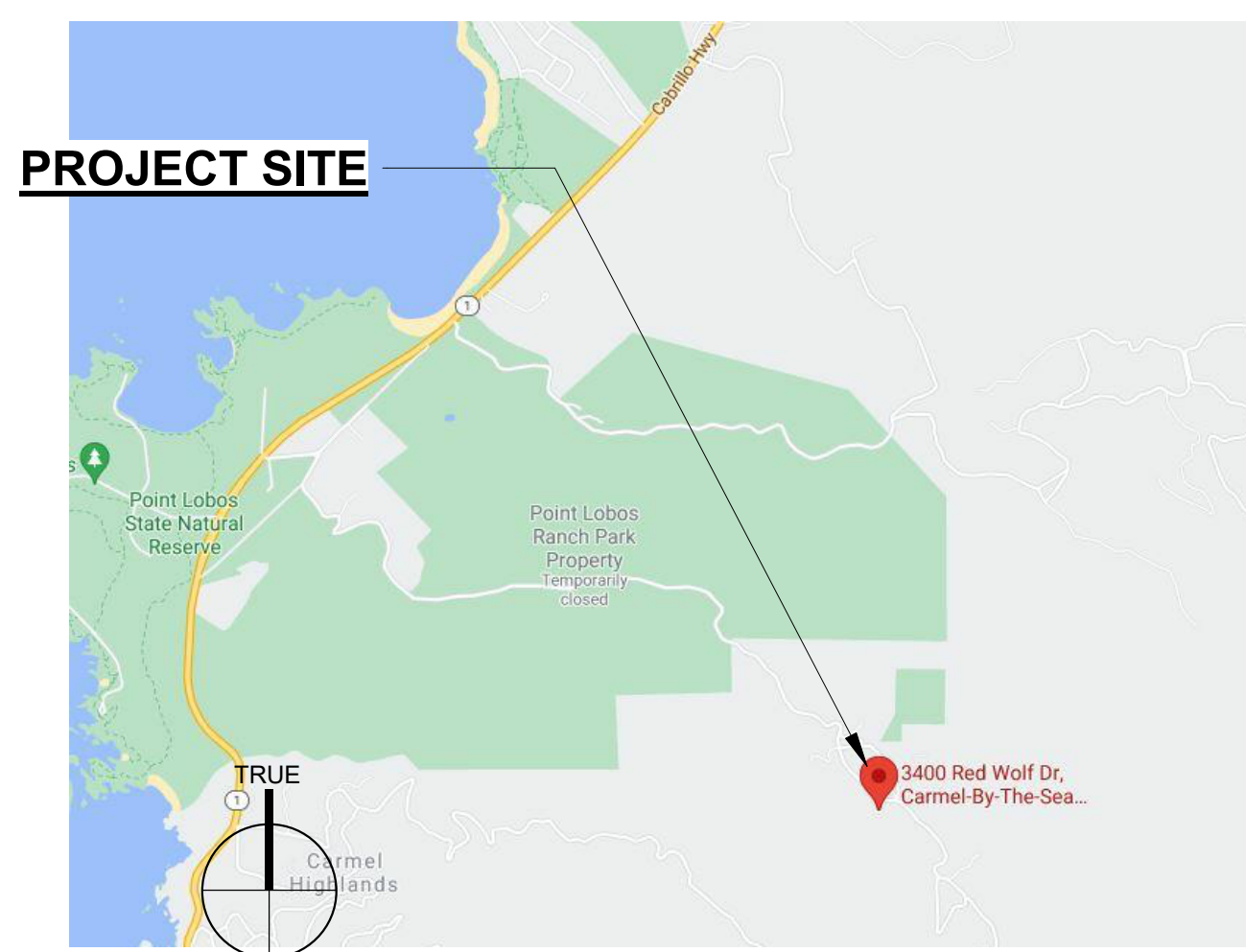
ARCHITECTURAL ABBREVIATIONS

&	AND	DKG.	DECKING	HTR.	HEATER	REF.	REFRIGERATOR
<	ANGLE	DN.	DOWN	HVAC	HEATING VENTILATION & AIR CONDITIONING	REIN.	REINFORCED
@	AT	DWG.	DRAWING			RES.	RESIN
Ø	DIAMETER	D.O.	DOOR OPENING	HW	HOT WATER	REV.	REVISED(ION)
2CP	2 COAT PLASTER	DR	DOOR			REOD.	REQUIRED
3CP	3 COAT PLASTER	D.S.	DOWNSPOUT	IB	IMPERIAL BOARD	RM.	ROOM
		DTL.	DETAIL	I.D.	INSIDE DIAMETER	R.O.	ROUGH OPENING
AB.	AGGREGATE BASE			IN	INCHES	S	SOUTH
A.B.T	ANCHOR BOLT	E	EAST	INSL.	INSULATION	SAFB	SOUND ATTENUATION FIRE BLANKET
AC.	AIRCONDITIONER	(E)	EXISTING	INV.	INVERT	SC	SEALED CONCRETE SOLID CORE
ACD.	ACCESS DOOR	EA	EACH	JAN.	JANITOR	SCH.	SCHEDULE
ACT	ACOUSTIC TILE	E.J.	EXPANSION JOINT	JT.	JOINT	SCH.	SKIM COAT PLASTER
AD.	AREA DRAIN	EL.	ELEVATION	L	ANGLE	SEC.	SECTION
A.D.A	AMERICANS WITH DISABILITIES ACT	ELEC.	ELECTRICAL	L.B.	POUND	S.F.	SQUARE FEET
ADJ.	ADJUSTABLE	EMER.	EMERGENCY	L.G.	LONG LENGTH	SHT.	SHEET
A.F.F.	ABOVE FINISH FLOOR	E.M.R	ELEVATOR MACHINE RM.	LAM.	LAMINATE(ION)	SIG.	SOUND INSULATING GLASS
AL.	ALUMINUM	ENCL.	ENCLOSURE, ENCLOSED	LAV.	LAVATORY	SIM.	SIMILAR
ALND.	ALNOZED	ENGR.	ENGINEER	LLH	LONG LEG HORZ.	SIP	Structural Insulated Panel
A.P.	ACCESS PANEL	ENR.	ENTRANCE	LLV	LONG LEG VERT.	S.J.	SCORED JOINT
ARCH.	ARCHITECTURAL	EQ.	EQUAL	LT(G)	LIGHT(ING)	S.K.R.	SPRINKLER
AVG.	AVERAGE	EQP.	EQUIPMENT	LVR.	LOUVER	SPKR.	SPEAKER
		EST.	ESTIMATE			SQ.	SQUARE
BO.	BOARD	EX.	EXISTING	MACH.	MACHINE	S.S.	STAINLESS STEEL
BITUM.	BITUMINOUS	EXH.	EXHAUST	MAX.	MAXIMUM	SMI	SEE MANUFACTURERS INSTRUCTIONS
BLD.G.	BUILDING	EXP.	EXPANSION	MECH.	MECHANICAL	SED	SEE ENGINEERING DRAWINGS
BLK.	BLOCKING	EXT.	EXTERIOR	MEMB.	MEMBRANE	SSD	SEE STRUCTURAL DRAWINGS
BM.	BEAM	F.A.I.	FRESH AIR INTAKE	MEZZ.	MEZZANINE	ST	STONE TILE / STONE
B.M	BENCH MARK	F.D.	FLOOR DRAIN	MFR.	MANUFACTURER	STL	STEEL
B.O.	BOTTOM OF	FDN.	FOUNDATION	MH.	MAN HOLE	STL	STEEL TRANSMISSION COEFFICIENT
BR.	BRASS	F.E.	FIRE EXTINGUISHER	MIN.	MINIMUM	STD.	STANDARD
BRK.	BRICK	FF	FINISH FLOOR OR FINISHED	MISC.	MISCELLANEOUS	STOR.	STORAGE
B.S.	BOTH SIDES	FACE	FACE	M.O.	MASONRY OPENING	STRUC.	STRUCTURAL
BSMT.	BASEMENT	F.G.	FINISH GRADE	M.TD.	MOUNTED	SUSP.	SUSPENDED
B.U.R.	BUILT-UP ROOF	FGL.	FIBERGLASS	MTG.	MEETING	SW.	STAINED WOOD
		F.H.	FIRE HYDRANT, FLAT HEAD	MTL.	METAL		
CAB.	CABINET	F.H.C.	FIRE HOSE CABINET	N	NORTH	T	TREAD
CAP.	CAPACITY	FIN.	FINISH	NAT.	NATURAL	TB.	TILE BACKER BOARD
CAT.	CATALOG	FLR.	FLOOR	N.I.C.	NOT IN CONTRACT	T.C.	TERRA COTTA
C.C.F.I.	CLOSED CELL FOAM INSULATION	FL.	FLOURESCENT	NO.	NUMBER	TEL.	TELEPHONE
C.B.	CATCH BASIN	F.O.	FACE OF	NOM.	NOMINAL	TEMP.	TEMPORARY
CE.	CEDAR	F.O.C.	FACE OF CONC.	NRC	NOISE REDUCTION COEFFICIENT	TERR.	TERRACE
CEM.	CEMENTITIOUS	F.O.M.	FACE OF MASONRY	N.T.S.	NOT TO SCALE	T&G	TONGUE AND GROOVE
CER.	CERAMIC	F.O.S	FACE OF STUD	O	OVER	THK.	THICK
CFM.	CUBIC FEET/MIN.	F.P.	FIRE PROOFING	O.C.	ON CENTER	THRU.	THROUGH
C.I.	CAST IRON	FR.	FRAME / FIRE RATED	O.D.	OUTSIDE DIAMETER	T.MPD	TEMPERED
C.L.	CENTERLINE	F.S.	FULL SIZE/SCALE	O.O.	ON CENTER	(T)	TEMPERED
CLG.	CEILING	FT.	FOOT/FEET	OFF.	OFFICE	T.O.P	TOP OF PLATE
CLOS.	CLOSET	FTG.	FOOTING	O.H.	OPPOSITE HAND	T.O.W.	TOP OF WALL
CLR.	CLEAR	FXTR.	FIXTURE	OPG.	OPENING	T.S.S.	TOP OF STRUCTURAL STEEL
CLW.	CLEAR FINISH WOOD	GA.	GAUGE	OPP.	OPPOSITE	TYP.	TYPICAL
C.J.	CONTROL JOINT	GALV.	GALVANIZED	OVHD.	OVERHEAD	UNF.	UNFINISHED
CMU.	CONC. MASONRY UNIT	G.C.	GENERAL CONTRACTOR	PERF.	PERFORATED	UNO	UNLESS NOTED OTHERWISE UPHOLSTERED
CNTR.	COUNTER	GEN.	GENERAL	PL.	PLATE	PLAS.	PLASTER
C.O.	CLEANOUT	GFCI.	GROUND FAULT CIRCUIT INTERRUPTER	PLB.G.	PLUMBING	PLG.	PANELLING
CONF.	CONFERENCE	G.I.	GALVANIZED IRON	PLY.	PLYWOOD	PLY.	PLYWOOD
COL.	COLUMN	GL.	GLASS	PM.	PERF. MTL.	POL.	POLISHED
COMM.	COMMUNICATION	GLM.	GUELAM	PR.	PAIR	PT.	PAINTED
CONC.	CONCRETE	GLZ.	GLAZING	PTN.	PAINTED WOOD	PTN.	PAINTED WOOD
CONST.	CONSTRUCTION	GR.	GRADE	PW.	PAINTED WOOD	QTY.	QUANTITY
CONT.	CONTINUOUS	GMT.	GLASS MOSIAC TILE	QT.	QUARRY TILE	R	RADIUS / RISER
CORR.	CORRIDOR	GR.	GRADE	QTY.	QUANTITY	R.A.	RETURN AIR
CPT.	CARPET	GR.	GRADE	R	RADIUS / RISER	R.D.	ROOF DRAIN
CRS.	COURSE	GWB.	GYPSSUM WALL BOARD			WT.	WEIGHT
CTR.	CERAMIC TILE	GYP.	GYPSSUM			YD	YARD
CTR.	CENTER	HC.	HOLLOW CORE				
CW	COLD WATER	HD(R).	HARDWARE				
		HDWD.	HARDWOOD				
DBL.	DOUBLE	HDWR.	HARDWARE				
DEMO	DEMOLITION	H.M.	HOLLOW MTL.				
DET.	DETAIL	HORIZ.	HORIZONTAL				
DF.	DOUGLAS FIR	HR.	HOUR				
DIA.	DIAMETER	H.S.	HEADED STUD				
DIAG.	DIAGONAL	HT.	HEIGHT				
DIM.	DIMENSION	HTG.	HEATING				

PARCEL MAP



VICINITY MAP



SHEET INDEX - PLANNING

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G1.9	FUEL MANAGEMENT PLAN
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A1.1	PROPERTY BOUNDARY, SETBACKS AND EASEMENTS PLAN
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A2.1	LEVEL 2
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A6.1	LEVEL 2 - RCP
L1.0	EXTERIOR LIGHTING PLAN
SW.1	SEPTIC SYSTEM SITE PLAN

SCOPE OF WORK

CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE WITH AN ATTACHED GARAGE, POOL, AND SPA. 800 CU. YDS. OF GRADING TO BE BALANCED ON SITE. INSTALL A CONSTRUCTION TRAILER AND CONVERT TO A PLAYHOUSE AFTER FINAL. NEW SEPTIC SYSTEM, GENERATOR, PROPANE TANK, WATER TANKS AND UNDERGROUND WATER LINES. UNDERGROUND UTILITY EXTENSIONS. CONVERSION OF AN EXISTING TEST WELL TO PRIVATE WELL. LANDSCAPING TO BE CALIFORNIA NATIVE DROUGHT TOLERANT PLANTS

PROJECT TEAM

OWNER	BIG SUR LAND TRUST
BUYER	Chris Chartier
ARCHITECT	STUDIO CARVER ARCHITECTS P.O. Box 2684, Carmel, CA 93921 Phone: (831) 624-2304 E-mail: robert@studiocarver.com Contact: Robert Carver, AIA, LEED AP
SURVEYOR	WHITSON ENGINEERS 9699 Blue Larkspur Lane, Suite 105 Monterey, CA 93340 Phone: (831) 649-5525 Fax: (831) 373-5065 E-mail: info@whitsonengineers.com Contact: Rich Weber
GEOTECH/SEPTIC	SOIL SURVEYS GROUP, INC. 3640 The Barnyard, Suite 32 Carmel, CA 93923 Phone: (831) 757-2172 E-mail: info@soilsurveys.net
BIOLOGIST	FRED BALLERINI BIOLOGICAL + HORTICULTURAL SERVICES P.O. Box 1023, Pacific Grove, CA 93950 Phone: (831) 238-6832 E-mail: fred@fredballerini.com

BUILDING CODE INFO

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

- THE 2023 CALIFORNIA RESIDENTIAL CODE (CRC),
- THE 2023 CALIFORNIA MECHANICAL CODE (CMC)
- THE 2023 CALIFORNIA PLUMBING CODE (CPC)
- THE 2023 CALIFORNIA ELECTRICAL CODE (CEC)
- THE 2023 CALIFORNIA ENERGY CODE (CEC)
- THE 2023 CALIFORNIA FIRE CODE
- THE 2023 CALIFORNIA GREEN BUILDING STANDARDS CODE

PROJECT INFORMATION

PROPERTY ADDRESS	3400 RED WOLF DRIVE, CARMEL, CA 93923
APN	416-011-007-000
ZONING	WSC/40-D(CZ) WSC/80-D(CZ)
GENERAL PLAN LAND USE DESIGNATION	WATERSHED AND SCENIC CONSERVATION, 1 DWELLING UNIT PER 80 ACRES.
TYPE OF CONSTRUCTION	TYPE V-B
OCCUPANCY GROUP	R-3 / SINGLE FAMILY RESIDENCE U / GARAGE
WILDLAND URBAN INTERFACE AREA (ALL MATERIALS & CONSTRUCTION TO COMPLY WITH CHAPTER 7A OF THE 2023 CBC)	YES
AVERAGE NATURAL GRADE	ELEV. = 1365' - 5"
ALLOWED HEIGHT LIMIT ABOVE A.N.G	24' - 0" ELEV. = 1389' - 5"
(P) HEIGHT ABOVE A.N.G	23' - 11" ELEV. = 1389' - 4"

LOT COVERAGE

LOT SIZE	27.75 ACRES (1,208,790 SF)
ALLOWABLE LOT COVERAGE	10% OR 147,800 SF
LOT COVERAGE:	
(P) RESIDENCE	3,630 SF
(P) ATTACHED GARAGE	1,499 SF
(P) MECH.	205 SF
SUBTOTAL	5,334 SF
(P) CNST. TRAILER / PLAYHSE.	192 SF
(E) CELL TOWER BLDGS	2,676 SF
TOTAL	8,202 SF OR 0.68 %

BUILDING AREA

(P) RESIDENCE	3,630 SF
(P) LEVEL 2	1,019 SF
RESIDENCE SUBTOTAL	4,649 SF
(P) ATTACHED GARAGE	1,499 SF
(P) MECH.	205 SF
TOTAL	6,353 SF

GRADING ESTIMATES

GRADING CUT (±)	800 CU.YDS.
GRADING FILL (±)	800 CU.YDS.
GRADING NET IMPORT /EXPORT	0 CU.YDS.
ALL CUT TO BE BALANCED ON SITE	

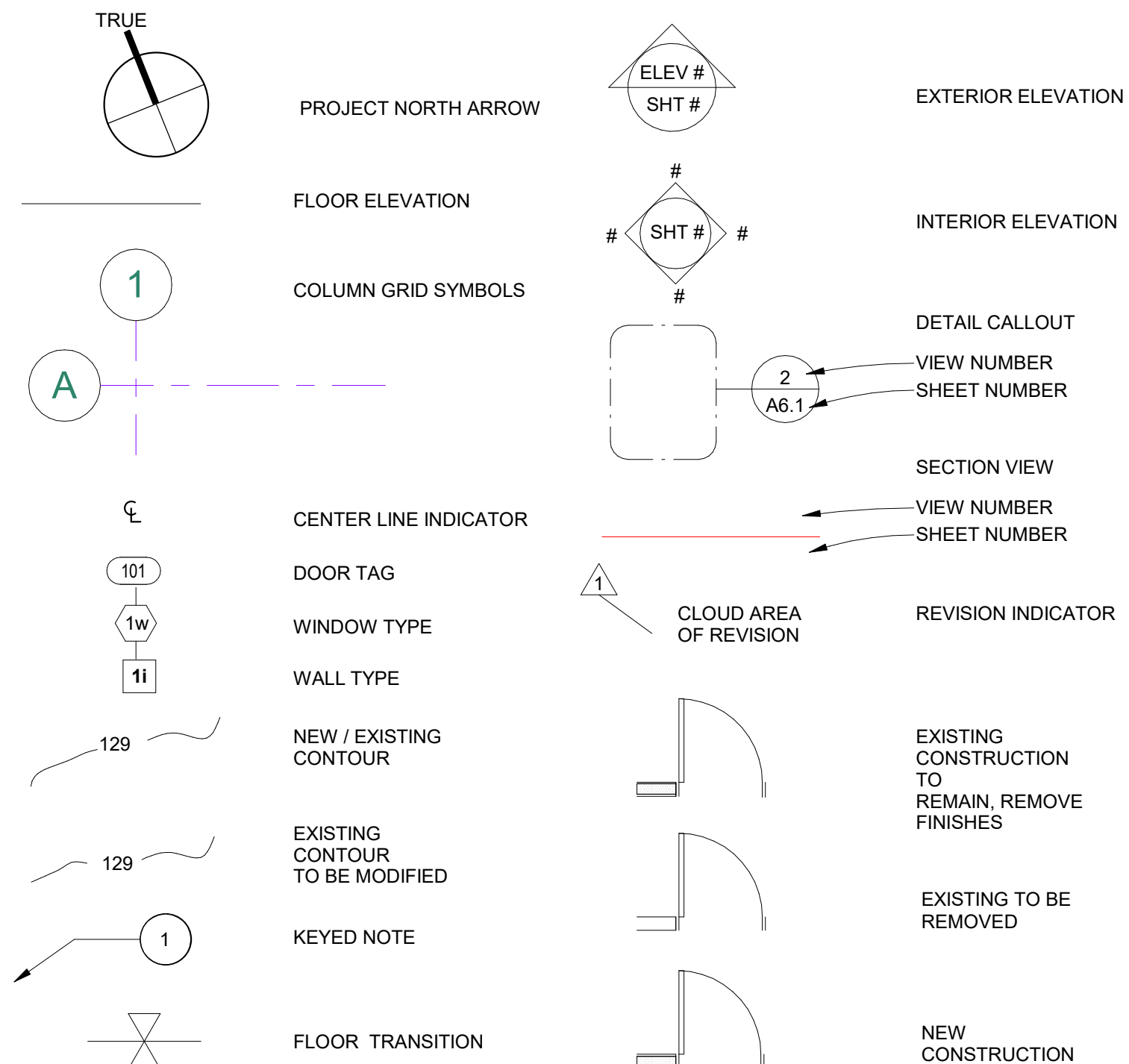
MISCELLANEOUS

WATER SOURCE	PRIVATE WELL
SEWER SYSTEM	(P) SEPTIC SYSTEM
TREES TO BE REMOVED	0
REQUIRED PARKING	2 SPACES/UNIT
PROPOSED PARKING	2 SPACES (COVERED) 2 + SPACES (UNCOVERED)

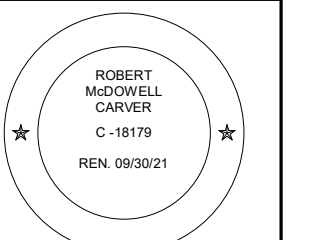
BUILDING CODE DATA

FIRE SPRINKLERS	UNDER DEFERRED SUBMITTAL
SOLAR PANELS	UNDER DEFERRED SUBMITTAL

ARCHITECTURAL SYMBOLS



**CHARTIER
BIG SUR
LAND
TRUST**
3400 RED WOLF DRIVE,
CARMEL, CA 93923



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**ARCHITECTURAL
COVER SHEET**

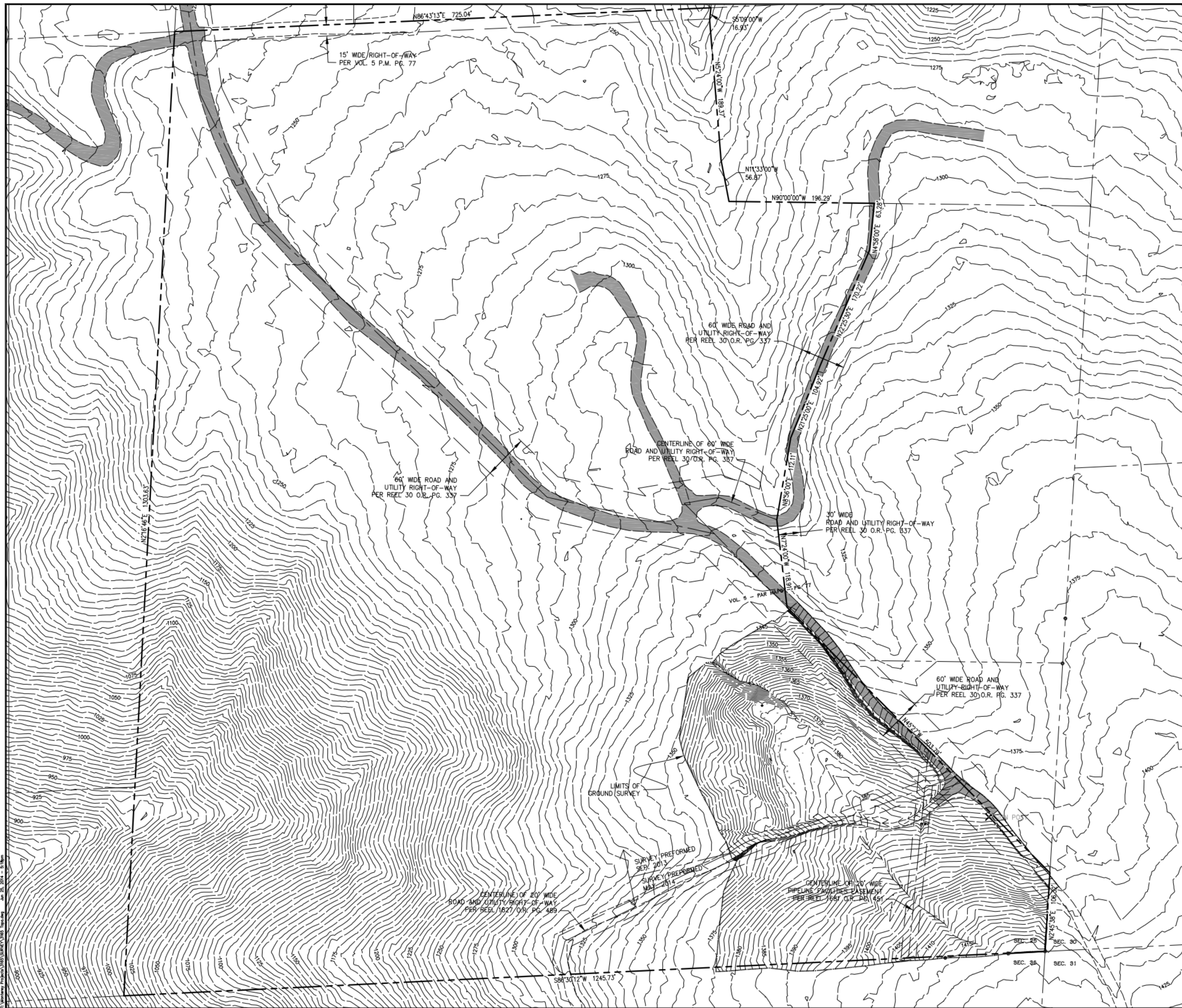
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Drawn By: DP/JP
Job: 2102

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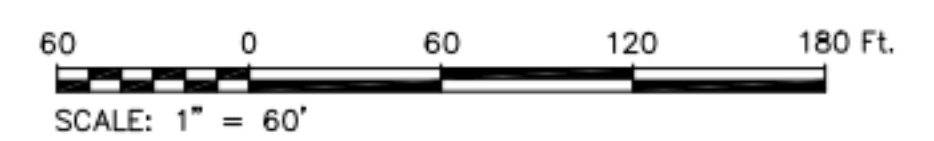


NOTES:

1. THIS MAP REPRESENTS A TOPOGRAPHIC SURVEY PERFORMED BY WHITSON ENGINEERS ON MAY 16, 2014 & RASMUSSEN LAND SURVEYING SEPTEMBER 25, 2013. TOPOGRAPHIC INFORMATION OUTSIDE THE "LIMITS OF FIELD SURVEY" ARE BASED UPON 2010 AMBAG LIDAR DATA.
2. THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE CLIENT.
3. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY SHOWN IS FROM RECORD DATA. THIS TOPOGRAPHY DOES NOT CONSTITUTE A BOUNDARY SURVEY. THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.
4. DISTANCES AND DIMENSIONS SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
5. BENCHMARK TAKEN AS TBM REBAR. ASSUMED ELEVATION: 1347.59
6. UNDERGROUND UTILITIES WERE NOT WITHIN THE SCOPE THIS SURVEY. THE EXISTENCE, LOCATION AND DEPTH OF ALL UTILITIES SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.
7. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" WERE NOT NECESSARILY LOCATED AS PART OF THIS SURVEY.

LEGEND

- 1300 GROUND CONTOUR
- SUBJECT PROPERTY LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- LIMITS OF GROUND SURVEY
- FLOW LINE
- WATER VALVE



REVISIONS:	DATE:	BY:	DESCRIPTION:



WHITSON ENGINEERS
 9699 Blue Larkspur Lane • Suite 105 • Monterey, CA 93940
 831 649-5225 • Fax 831 373-5065
 CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT

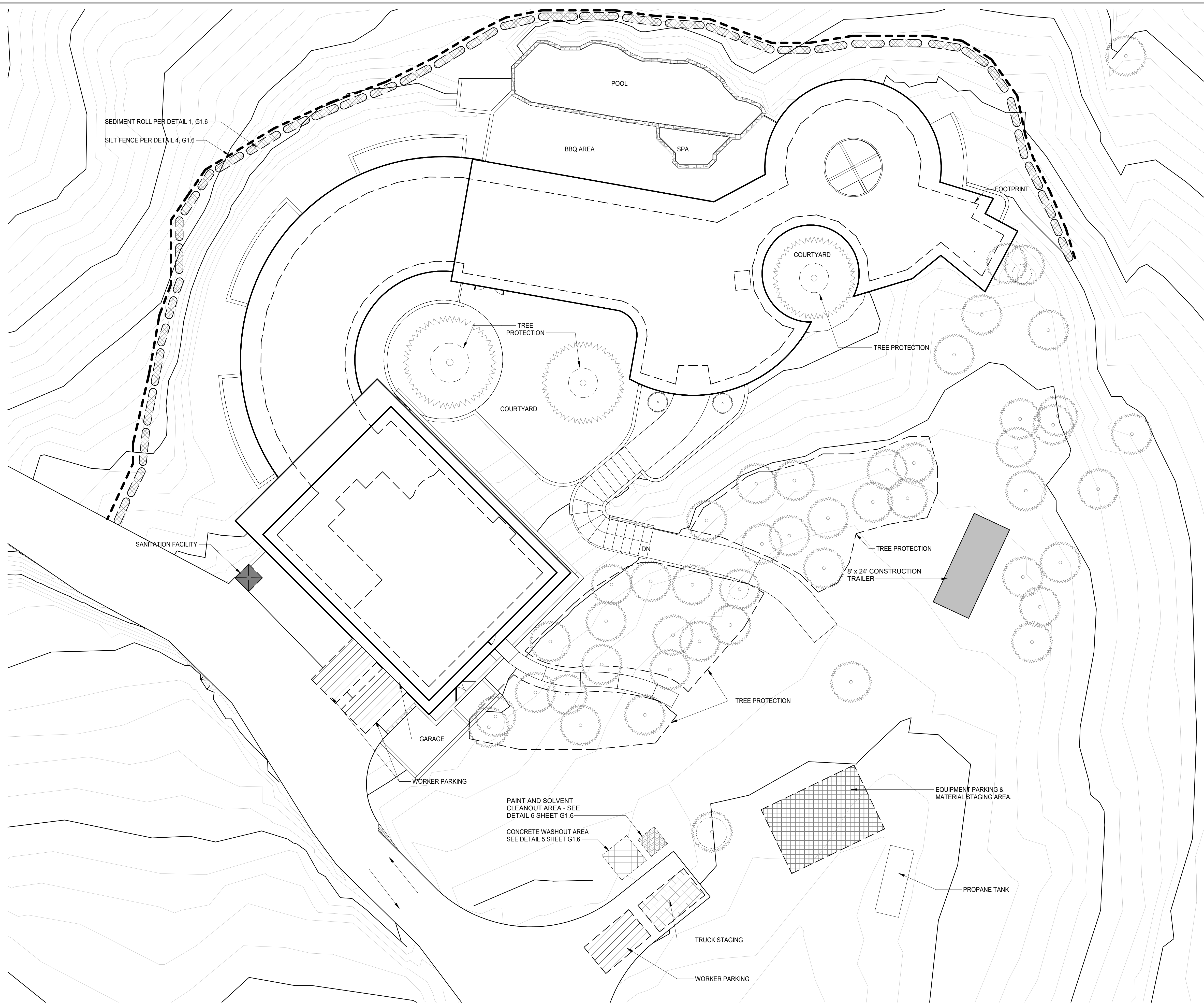
LOBOS RIDGE
 MONTEREY COUNTY
 CALIFORNIA
TOPOGRAPHIC SURVEY
 SHEET **1** OF 1
 APN 416-011-007

FOR REDUCED PLANS ORIGINAL SCALE IS IN INCHES



G1.3

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CONSTRUCTION MANAGEMENT NOTES

1. THE STAMPED SET OF APPROVED PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
2. DURATION OF CONSTRUCTION IS ESTIMATED TO BE 34-36 MONTHS STARTING FROM THE DATE PERMITS ARE ISSUED.
3. WORK HOURS ARE LIMITED FROM 7 AM TO 7 PM MONDAY THROUGH FRIDAY AND 8 AM TO 6 PM SATURDAYS. NO WORK SHALL BE PERFORMED ON SUNDAYS AND HOLIDAYS. WORK PERFORMED BEFORE 8AM SHALL BE NON-CONSTRUCTION ACTIVITY (QUIET HOUR). THE NUMBER OF WORKERS WILL VARY THROUGHOUT THE CONSTRUCTION. WORKERS ON-SITE WILL RANGE FROM 2 TO 12.
4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE DURING THE CONSTRUCTION PERIOD.
5. ALL ON AND OFF-ROAD DIESEL EQUIPMENT SHALL NOT IDLE FOR MORE THAN 5 MINUTES. SUBSTITUTE GASOLINE-POWERED IN PLACE OF DIESEL-POWERED EQUIPMENT, WHERE FEASIBLE.
6. USE ALTERNATIVELY FUELED CONSTRUCTION EQUIPMENT ON-SITE WHERE FEASIBLE, SUCH AS COMPRESSED NATURAL GAS (CNG), LIQUEFIED NATURAL GAS (LNG), PROPANE OR BIODIESEL.
7. DUST SHALL BE CONTROLLED BY DUST PALLIATIVE AND/OR WATERING VIA THE USE WATER TRUCKS OR SPRINKLER SYSTEMS IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. WATERING FREQUENCY SHALL BE INCREASED WHENEVER WIND SPEEDS EXCEED 15 MPH. RECLAIMED (NON-POTABLE) WILL BE USED WHENEVER POSSIBLE. CONSTRUCTION TRUCK TRIPS WILL BE SCHEDULED DURING NON-PEAK HOURS TO REDUCE PEAK HOUR EMISSIONS.
8. ALL TRUCKS HAULING DIRT, SAND, SOIL, OR OTHER LOOSE MATERIALS ARE TO BE COVERED OR SHOULD MAINTAIN AT LEAST TWO FEET OF FREEBOARD (MINIMUM VERTICAL DISTANCE BETWEEN TOP OF LOAD AND TOP OF TRAILER) IN ACCORDANCE WITH CVC SECTION 23114.
9. ALL PLASTIC DRAINAGE PIPES SHALL CONSIST OF PVC OR ABS PLASTIC SCHEDULE 40 OR SDR 35 OR ADS 3000 WITH GLUED JOINTS.
10. NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER STREETS, CURBS, GUTTERS OR STORM DRAINS. ALL MATERIAL AND WASTE SHALL BE REMOVED FROM THE SITE.
11. ALL PLASTIC DRAINAGE PIPES SHALL CONSIST OF PVC OR ABS PLASTIC SCHEDULE 40 OR SDR 35 OR ADS 3000 WITH GLUED JOINTS.
12. NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER STREETS, CURBS, GUTTERS OR STORM DRAINS. ALL MATERIAL AND WASTE SHALL BE REMOVED FROM THE SITE.

CONSTRUCTION MANAGEMENT LEGEND

	CONSTRUCTION ENTRY		6' x 6' CONCRETE WASHOUT AREA
	WORKER PARKING		TREE AND ROOT PROTECTION MEASURES PER ARBORIST
	EQUIPMENT PARKING AND MATERIAL STAGING AREA		STRAW WATTLE EROSION CONTROL
	TRUCK STAGING		TRAFFIC
	PAINT AND SOLVENT CLEANOUT AREA		SILT FENCE
	TEMPORARY SANITATION FACILITY		
	8.5' x 25' CONSTRUCTION TRAILER		

1 EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN
1" = 10'-0"

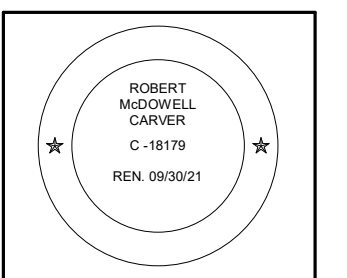
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 Job: 2102

0' 10' 20'

TRUE

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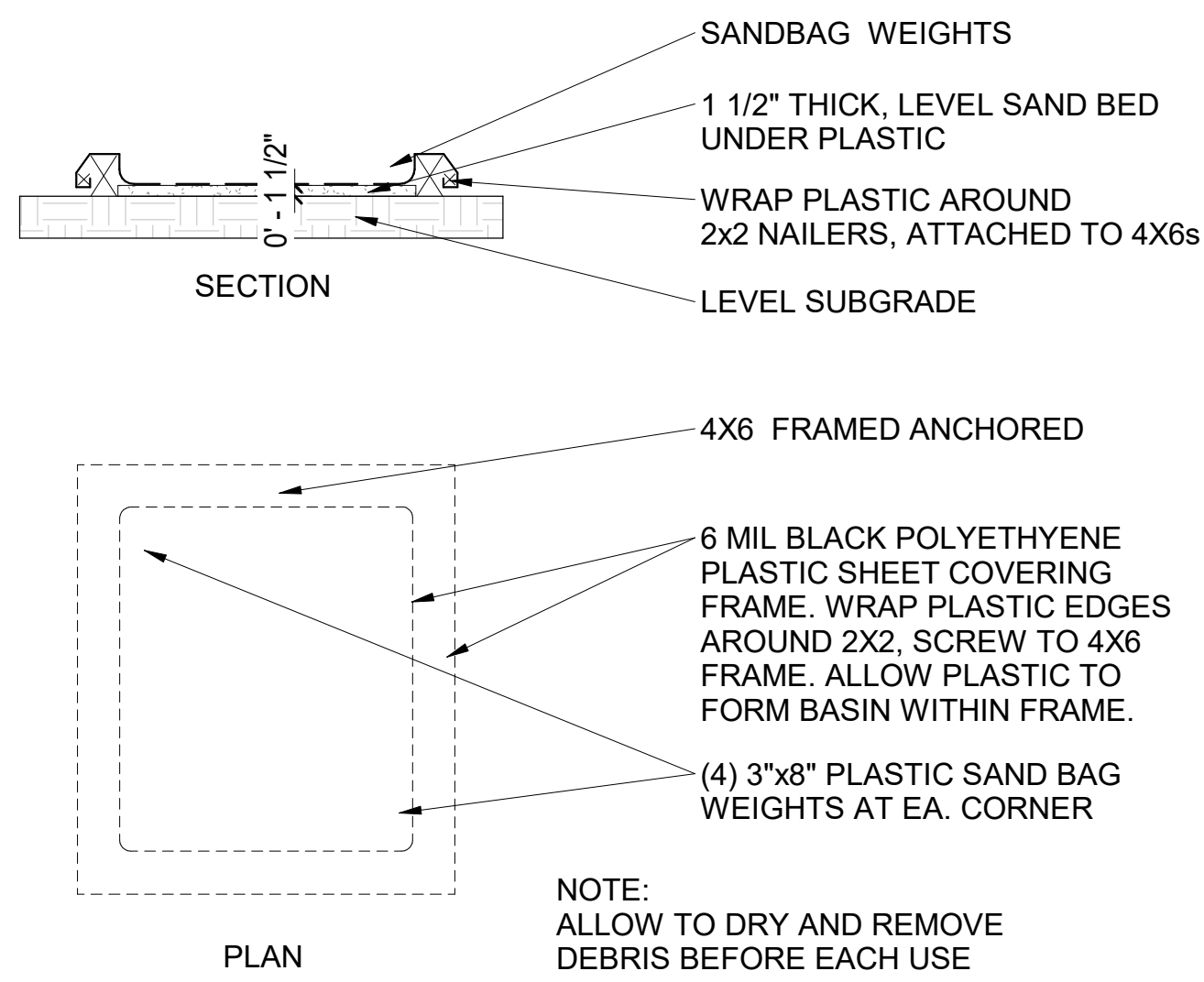
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**ARCHITECTURAL
EROSION
CONTROL /
CONSTRUCTION
MGMT PLAN**

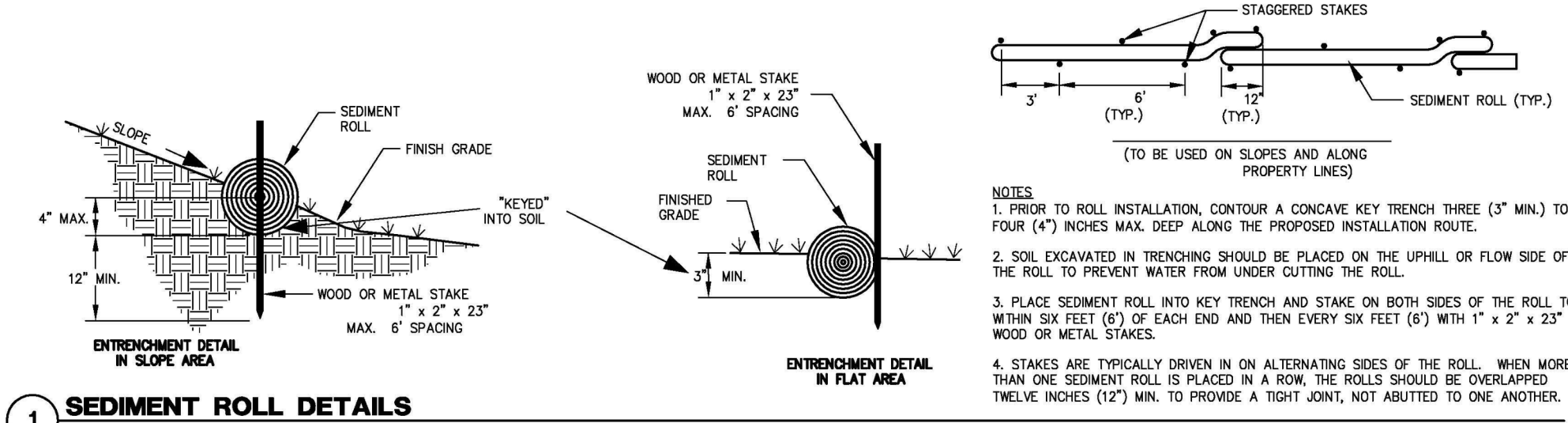
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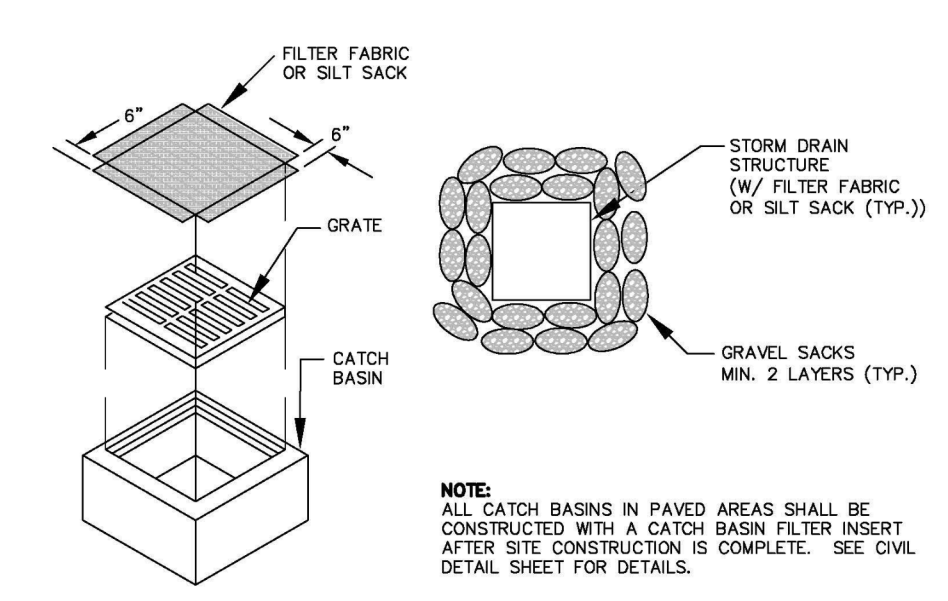
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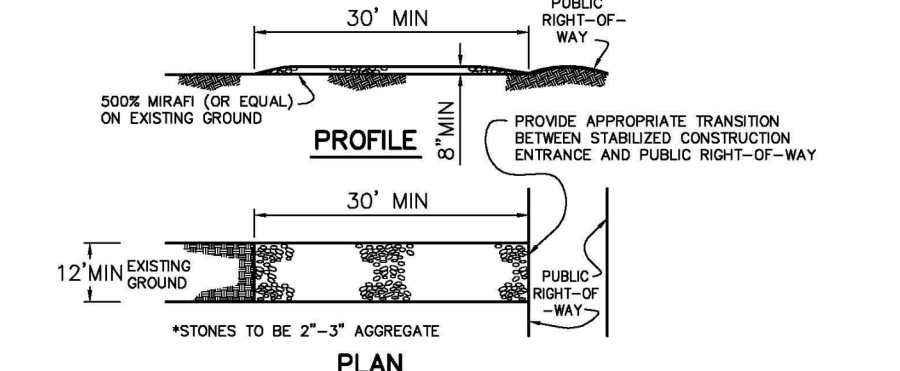
NOTE: ALLOW TO DRY AND REMOVE DEBRIS BEFORE EACH USE



1 SEDIMENT ROLL DETAILS
NO SCALE

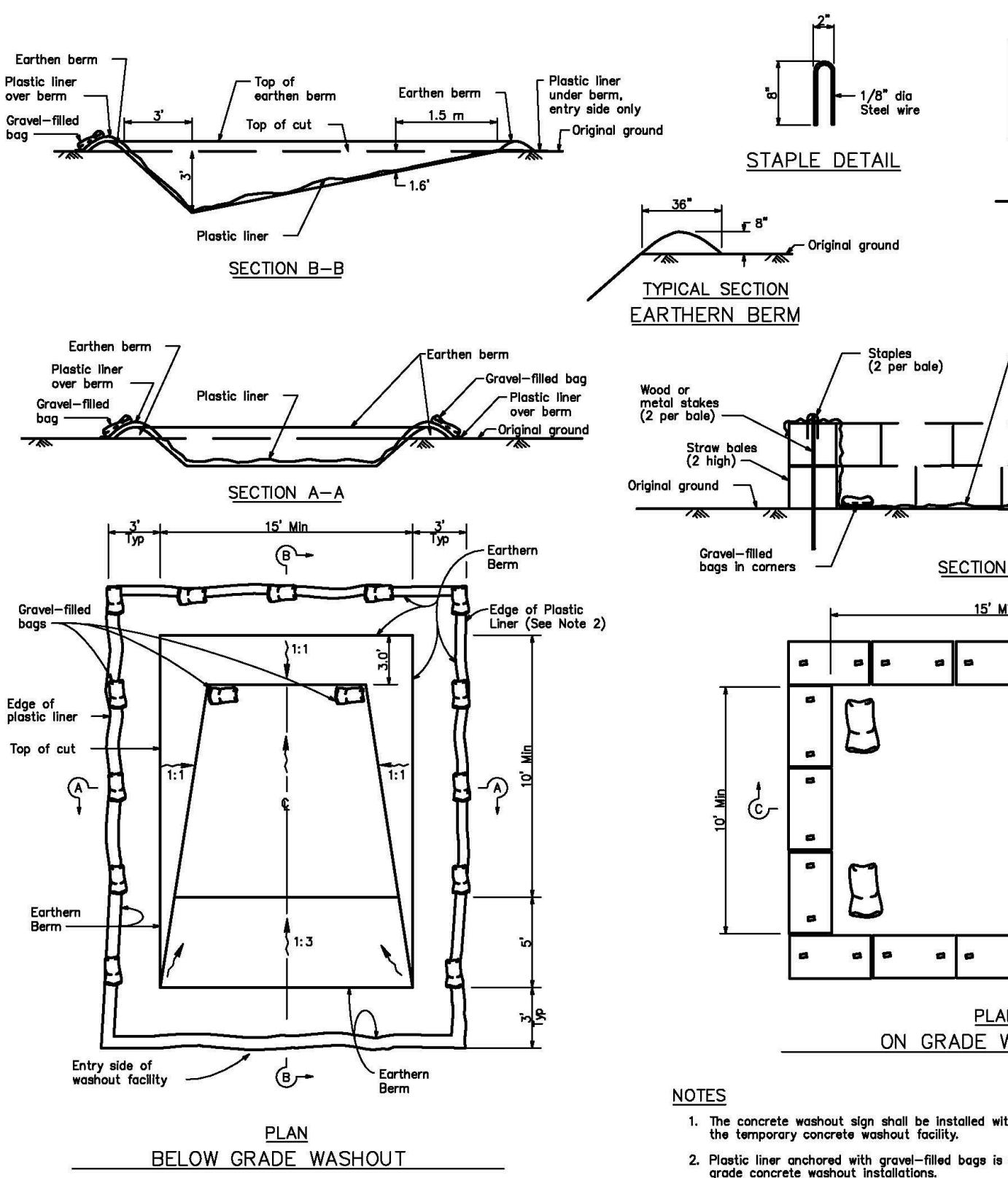


2 FABRIC INLET PROTECTION
NO SCALE

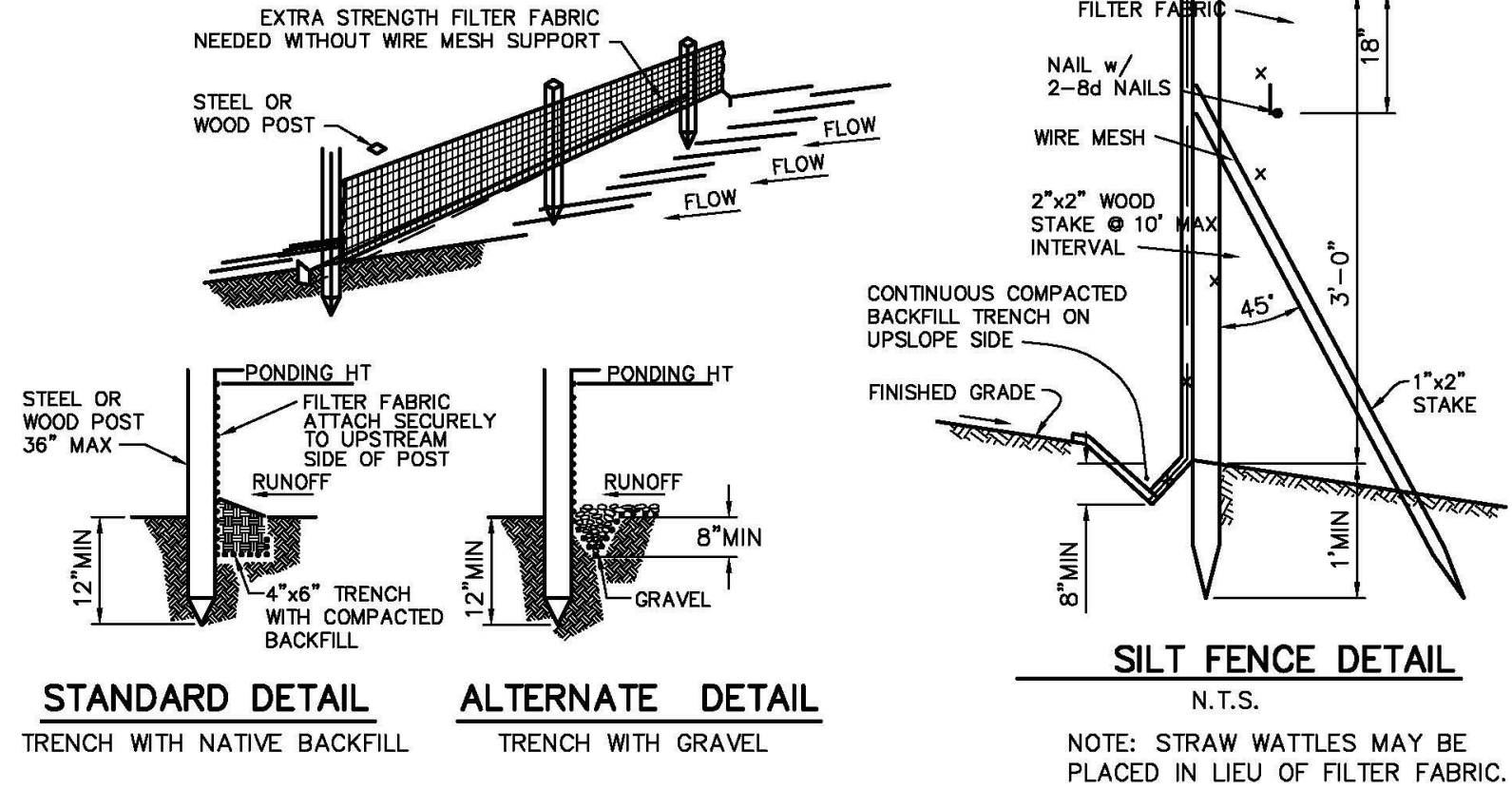


3 CONSTRUCTION ENTRANCE
NO SCALE

6 PAINT AND SOLVENT CLEANOUT AREA
1/2" = 1'-0"



5 CONCRETE WASHOUT AREA
NO SCALE

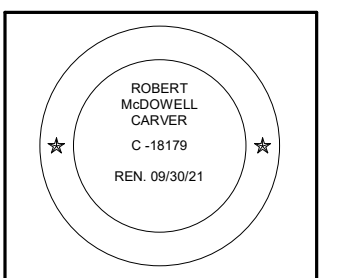


4 SILT FENCE DETAIL
NO SCALE

EROSION & SEDIMENT CONTROL MEASURES

- THE FACILITIES SHOWN ON THE EROSION CONTROL PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON, WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES. TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO APRIL 15. EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND APRIL 15.
 - THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE ENGINEER.
 - CONSTRUCTION PROTECTION TO BE INSTALLED PER THE PERMITTED PLANS PRIOR TO THE START OF CONSTRUCTION.
 - CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES.
 - CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY.
 - APPLY STRAW WITH TACKIFIER TO ALL DISTURBED AREAS, AFTER SEEDING. ANCHOR STRAW IN SLOPES BY TRACK ROLLING, AS SHOWN ON THIS SHEET.
 - IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER, 2) BLOWN STRAW, 3) TACKIFIER AND MULCH.
 - INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
 - THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE COUNTY REPRESENTATIVE OF ANY FIELD CHANGES.
 - FAILURE TO REQUEST INSPECTIONS AND/OR HAVE REMOVABLE EROSION CONTROL DEVICES ON-SITE AT THE APPROPRIATE TIMES SHALL RESULT IN A "STOP WORK" ORDER. BETWEEN OCTOBER 15 AND APRIL 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT. DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT.
 - TEMPORARY DESILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.
 - INSPECTION - PRIOR TO LAND DISTURBANCE THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICES AND ADJACENT PRIVATE PROPERTY. AN IMMEDIATE REMEDY SHALL OCCUR DURING THE RAINY SEASON. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
 - CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
 - WITH THE APPROVAL OF THE ENGINEER, EROSION AND SEDIMENT CONTROLS MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.
 - ALL DISTURBED SURFACES SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION AND TO ESTABLISH NATIVE OR NATURALIZED VEGETATIVE GROWTH COMPATIBLE WITH THE AREA. THIS CONTROL SHALL CONSIST OF EFFECT TEMPORARY PLANTING SUCH AS RYE GRASS, SOME OTHER FAST-GERMINATION SEED, AND MULCHING WITH STRAW AND/OR OTHER SOIL STABILIZATION MATERIAL. PERMANENT PLANTING OF NATIVE OR NATURALIZED DROUGHT RESISTANT SPECIES OF SHRUBS, TREES OR OTHER VEGETATION, PURSUANT TO THE COUNTY'S "LANDSCAPE CRITERIA", WHEN THE PROJECT IS COMPLETED.
 - MULCHING, FERTILIZING, WATERING OR OTHER METHODS MAY BE REQUIRED TO ESTABLISH NEW VEGETATION. ON SLOPES LESS THAN 20%, TOPSOIL SHOULD BE STOCKPILED AND REAPPLIED.
 - NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION. (MCC 6.08.300 C.2) IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION. (MCC 16.12.100)
 - LAND CLEARING SHALL BE KEPT TO A MINIMUM. VEGETATION REMOVAL SHALL BE KEPT TO THAT AMOUNT NECESSARY FOR BUILDING, ACCESS AND CONSTRUCTION AS SHOWN ON THE APPROVED EROSION CONTROL PLAN.
 - THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL. (MCC 16.08.310 D)
- EMPLOYEE TRAINING**
- STORM WATER POLLUTION PREVENTION TRAINING SHALL BE PROVIDED AT THE BEGINNING OF CONSTRUCTION AND REGULARLY DURING CONSTRUCTION FOR ALL EMPLOYEES WORKING ON THE JOB SITE. TRAINING SHALL BE PROVIDED BY THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER. TOPICS SHALL INCLUDE, BUT ARE NOT LIMITED TO:
 - SPILL PREVENTION AND RESPONSE;
 - LOCATIONS AND FUNCTIONS OF SEDIMENT/EROSION CONTROL DEVICES;
 - GOOD HOUSEKEEPING;
 - FINES AND PENALTIES;
 - MATERIAL MANAGEMENT PRACTICES
- NON-STORM WATER DISCHARGES**
- NON-STORM WATER DISCHARGES INCLUDE A WIDE VARIETY OF SOURCES, INCLUDING IMPROPER DUMPING, SPILLS, OR LEAKAGE FROM STORAGE TANKS OR TRANSFER AREAS. NON-STORM WATER DISCHARGES MAY CONTRIBUTE SIGNIFICANT POLLUTANT LOADS TO RECEIVING WATERS, AND AS SUCH ARE PROHIBITED.
 - MEASURES TO CONTROL SPILLS, LEAKAGE, AND DUMPING, AND TO PREVENT ILLICIT CONNECTIONS DURING CONSTRUCTION, MUST BE TAKEN.
 - HOWEVER, CERTAIN NON-STORM WATER DISCHARGES MAY BE AUTHORIZED FOR THE COMPLETION OF CONSTRUCTION. AUTHORIZED NON-STORM WATER DISCHARGES MAY INCLUDE THOSE FROM DECHLORINATED POTABLE WATER SOURCES SUCH AS:
 - FIRE HYDRANT FLUSHING;
 - IRRIGATION OF VEGETATIVE EROSION CONTROL MEASURES;
 - PIPE FLUSHING AND TESTING;
 - WATER TO CONTROL DUST;
 - UNCONTAMINATED GROUND WATER FROM DEWATERING;
 - OTHER DISCHARGES NOT SUBJECT TO A SEPARATE GENERAL NPDES PERMIT ADOPTED BY A REGIONAL WATER BOARD.
 - THE DISCHARGE OF NON-STORM WATER IS AUTHORIZED UNDER THE FOLLOWING CONDITIONS:
 - THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD
 - THE DISCHARGE DOES NOT VIOLATE ANY OTHER PROVISION OF THE GENERAL PERMIT
 - THE DISCHARGE IS NOT PROHIBITED BY THE APPLICABLE BASIN PLAN
 - THE DISCHARGER HAS INCLUDED AND IMPLEMENTED SPECIFIC BMPs REQUIRED BY THE GENERAL PERMIT TO PREVENT OR REDUCE THE CONTACT OF THE NON-STORM WATER DISCHARGE WITH CONSTRUCTION MATERIALS OR EQUIPMENT
 - THE DISCHARGE DOES NOT CONTAIN TOXIC CONSTITUENTS IN TOXIC AMOUNTS OR (OTHER) SIGNIFICANT QUANTITIES OF POLLUTANTS
 - THE DISCHARGER IS MONITORED AND MEETS THE APPLICABLE NALS AND NELS
 - THE DISCHARGER REPORTS THE SAMPLING INFORMATION IN THE ANNUAL REPORT
 - IF ANY OF THE ABOVE CONDITIONS ARE NOT SATISFIED, THE DISCHARGE IS NOT AUTHORIZED.
- OBSERVATION AND MAINTENANCE**
- TEMPORARY DESILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.
 - VISUALLY OBSERVE BMPs AS FOLLOWS:
 - WEEKLY, AND
 - WITHIN 48 HOURS PRIOR TO EACH STORM EVENT, AND
 - WITHIN 48 HOURS AFTER EACH STORM EVENT.
 - MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED FROM SEDIMENT CONTROL BMPs BEFORE SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF THE SEDIMENT BARRIER OR SUMP, IF NOT OTHERWISE SPECIFIED IN THE SPECIAL PROVISIONS OR BY THE BMP SUPPLIER OR MANUFACTURER.
 - REMOVED SEDIMENT SHALL BE PLACED AT AN APPROVED LOCATION AND IN SUCH A MANNER THAT IT WILL NOT ERODE OR SHALL BE DISPOSED OF OFF-SITE.
 - TRASH AND DEBRIS SHALL BE REMOVED FROM BMPs DURING SCHEDULED INSPECTIONS.
 - REPAIR RILLS AND GULLIES BY RE-GRADING AND THEN TRACK WALKING PERPENDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.
 - STRAW BALE INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE FOOT.

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GEOTECHNICAL ENGINEER INSPECTION SCHEDULE

INSPECTION - PRIOR TO LAND DISTURBANCE
 PRIOR TO LAND DISTURBANCE, THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.

INSPECTION - DURING ACTIVE CONSTRUCTION
 DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.

INSPECTION - FOLLOWING ACTIVE CONSTRUCTION
 PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.

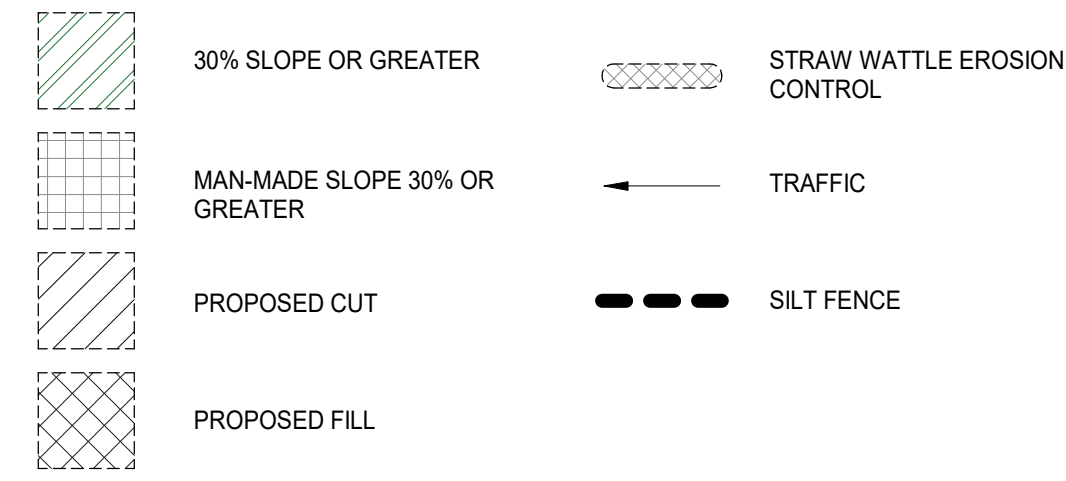
INSPECTION - FOLLOWING ACTIVE CONSTRUCTION
 PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

GEOTECHNICAL CERTIFICATION
 PRIOR TO FINAL INSPECTION, THE APPLICANT SHALL PROVIDE A LETTER FROM A LICENSED PRACTITIONER CERTIFYING THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT.

GEOTECHNICAL ENGINEER INSPECTION SCHEDULE

When the inspection is to be completed	Who will conduct the inspection	Description of the required inspection	Name	Date
Pre-Construction Meeting	Geotechnical Engineer			
Completion of Over-Excavation	Geotechnical Engineer	Observation and testing		
Placement of Fill	Geotechnical Engineer	Observation and testing		

GRADING LEGEND

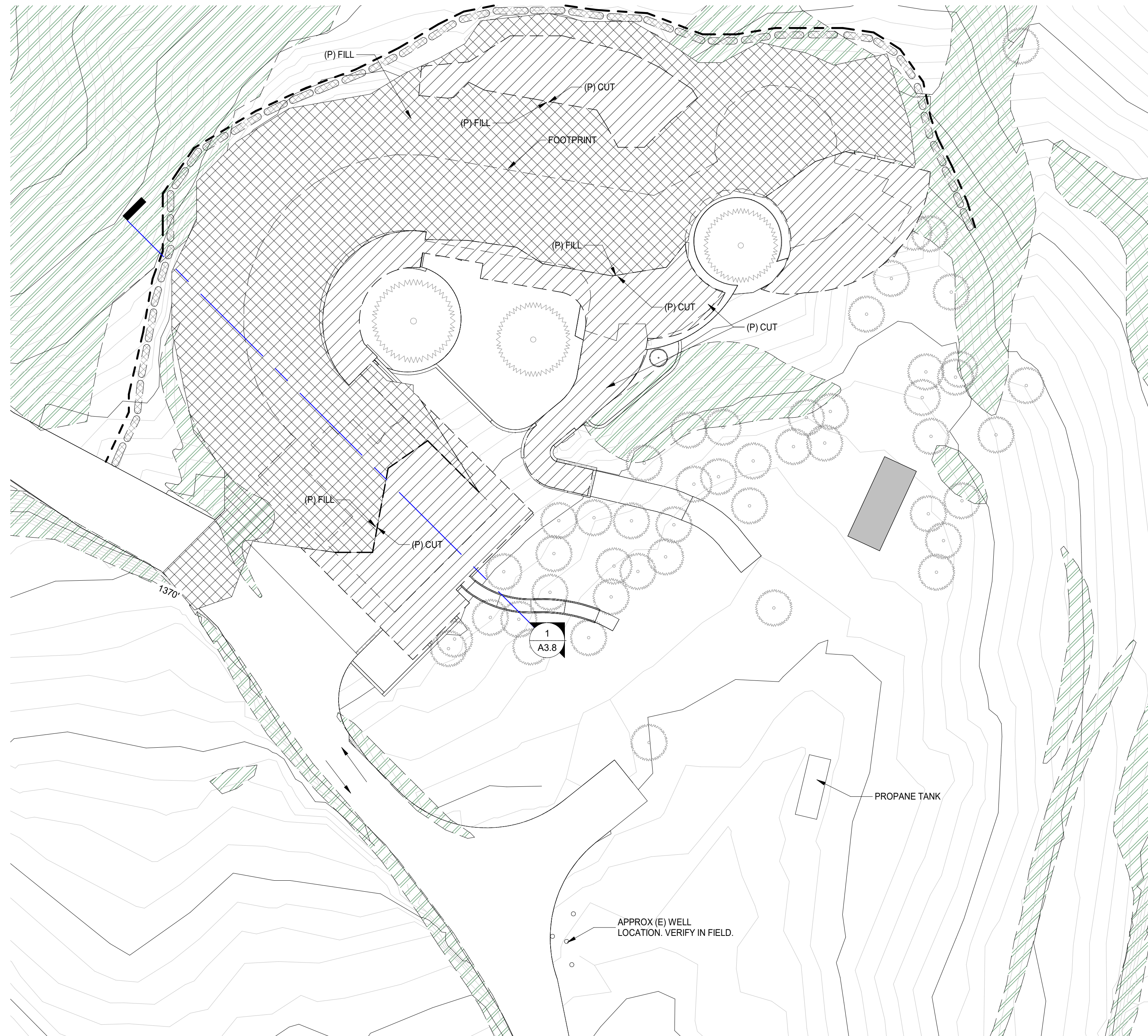


GRADING ESTIMATES

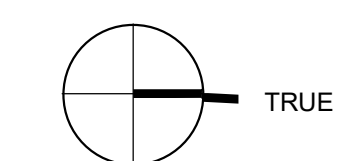
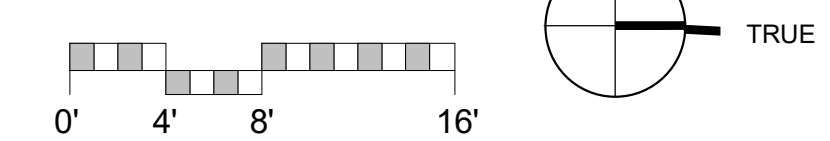
GRADING CUT (±) 800 CU.YDS.
GRADING FILL (±) 800 CU.YDS.
GRADING NET IMPORT /EXPORT 0 CU.YDS.
ALL CUT TO BE BALANCED ON SITE

GRADING GENERAL NOTES

- ISSUANCE OF A BUILDING PERMIT BY THE COUNTY OF MONTEREY DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. THE CONTRACTOR SHOULD CONTACT THE COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND FACILITIES ARE SHOWN ON THESE PLANS AS REFERENCE ONLY. NOT ALL UTILITIES MAY BE SHOWN. IT IS MANDATORY THAT THE CONTRACTOR EXPOSE AND VERIFY THE TOP AND BOTTOM OF ALL UTILITIES PRIOR TO ANY WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE THE FINAL DETERMINATION AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND TO BRING ANY DISCREPANCY TO THE ATTENTION OF THE ARCHITECT.
- PRIOR TO PERFORMING ANY WORK IN THE COUNTY PUBLIC RIGHTS-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM PUBLIC WORKS.
- ALL WORK SHALL CONFORM WITH THE GEOTECHNICAL REPORT PREPARED BY SOIL SURVEYS GROUP, INC. DATED NOVEMBER 19, 2021 AND SPECIAL REQUIREMENTS OF THE PERMIT.
- TRUCKS WILL BE ROUTED TO AND FROM THE SITE USING RED WOLF DRIVE VIA HIGHWAY 1.
- ESTIMATED NUMBER OF TRUCK TRIPS.
- CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
- CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED". GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THAT AREA SHALL BE PLANTED UNDER THE PROVISIONS OF SECTION 16.08.340 TO CONTROL EROSION. (MCC 16.08.300 C.1)
- POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM ALL BUILDINGS AND SLOPE AREAS.
- GRADED SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
- FILL SLOPES SHALL BE COMPACTED TO NO LESS THAN 90 PERCENT RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.
- ALL FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION AS DETERMINED BY ASTM TEST METHOD 1557, AND APPROVED BY THE SOILS ENGINEER. COMPACTION TESTS SHALL BE PERFORMED APPROXIMATELY EVERY TWO FEET IN VERTICAL HEIGHT AND OF SUFFICIENT QUANTITY TO ATTEST TO THE OVERALL COMPACTION EFFORT APPLIED TO THE FILL AREAS.
- AREAS TO RECEIVE FILL SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING OF THE FILL.
- FILLS SHALL BE KEVED OR BENCHED INTO COMPETENT MATERIAL.
- ALL EXISTING FILLS SHALL BE APPROVED BY THE SOILS ENGINEER OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE ADDED.
- ALL TRENCH BACKFILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION, AND APPROVED BY THE SOILS ENGINEER. COUNTY BUILDING SERVICES MAY REQUIRE CORING OF CONCRETE FLAT WORK PLACED OVER UNTESTED BACKFILLS TO FACILITATE TESTING.
- NOTIFICATION OF NONCOMPLIANCE: IF, IN THE COURSE OF FULFILLING THEIR RESPONSIBILITY, THE CIVIL ENGINEER, THE SOILS ENGINEER, THE ENGINEERING GEOLOGIST OR THE TESTING AGENCY FINDS THAT THE WORK IS NOT BEING DONE IN CONFORMANCE WITH THE APPROVED GRADING PLANS, THE DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE PERSON IN CHARGE OF THE GRADING WORK AND TO THE BUILDING INSPECTOR. RECOMMENDATIONS FOR CORRECTIVE MEASURES, IF NECESSARY, SHALL BE SUBMITTED TO COUNTY BUILDING SERVICES FOR APPROVAL.
- A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, ARCHITECT, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, COUNTY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.
- A PRE-PAVING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF THE SUB-GRADE PREPARATION FOR THE PAVING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, ARCHITECT, PAVING CONTRACTORS, DESIGN CIVIL ENGINEER, SOILS ENGINEER, COUNTY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.
- GEOTECHNICAL CERTIFICATION: PRIOR TO FINAL INSPECTION, THE APPLICANT SHALL PROVIDE A LETTER FROM A LICENSED PRACTITIONER CERTIFYING THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT.

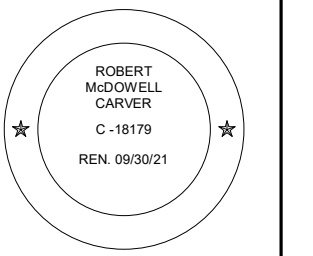


1 GRADING / SLOPE / DRAINAGE PLAN
 1/16" = 1'-0"



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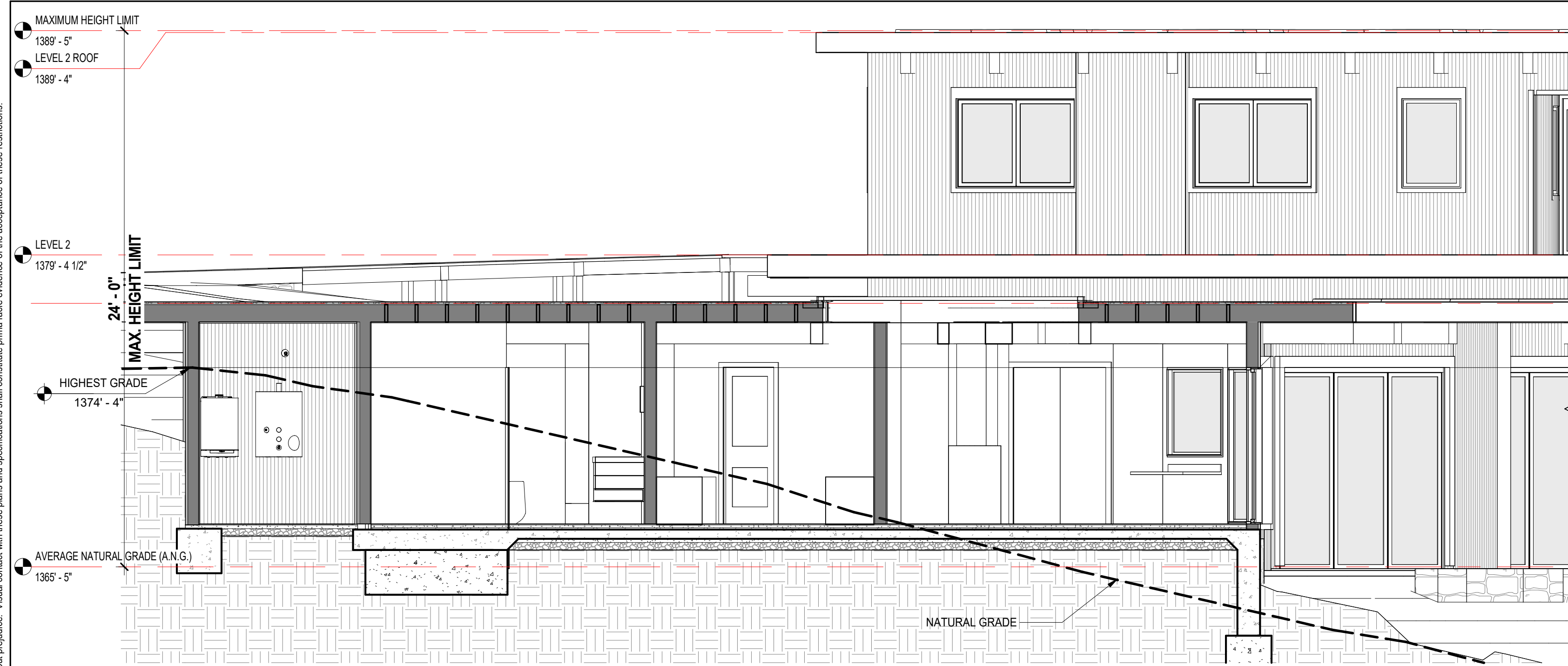
**ARCHITECTURAL
 GRADING/SLOPE
 MAP & DRAINAGE
 PLAN**

Scale: @ 24x36
 Drawn By: DP/JP
 Job: 2102

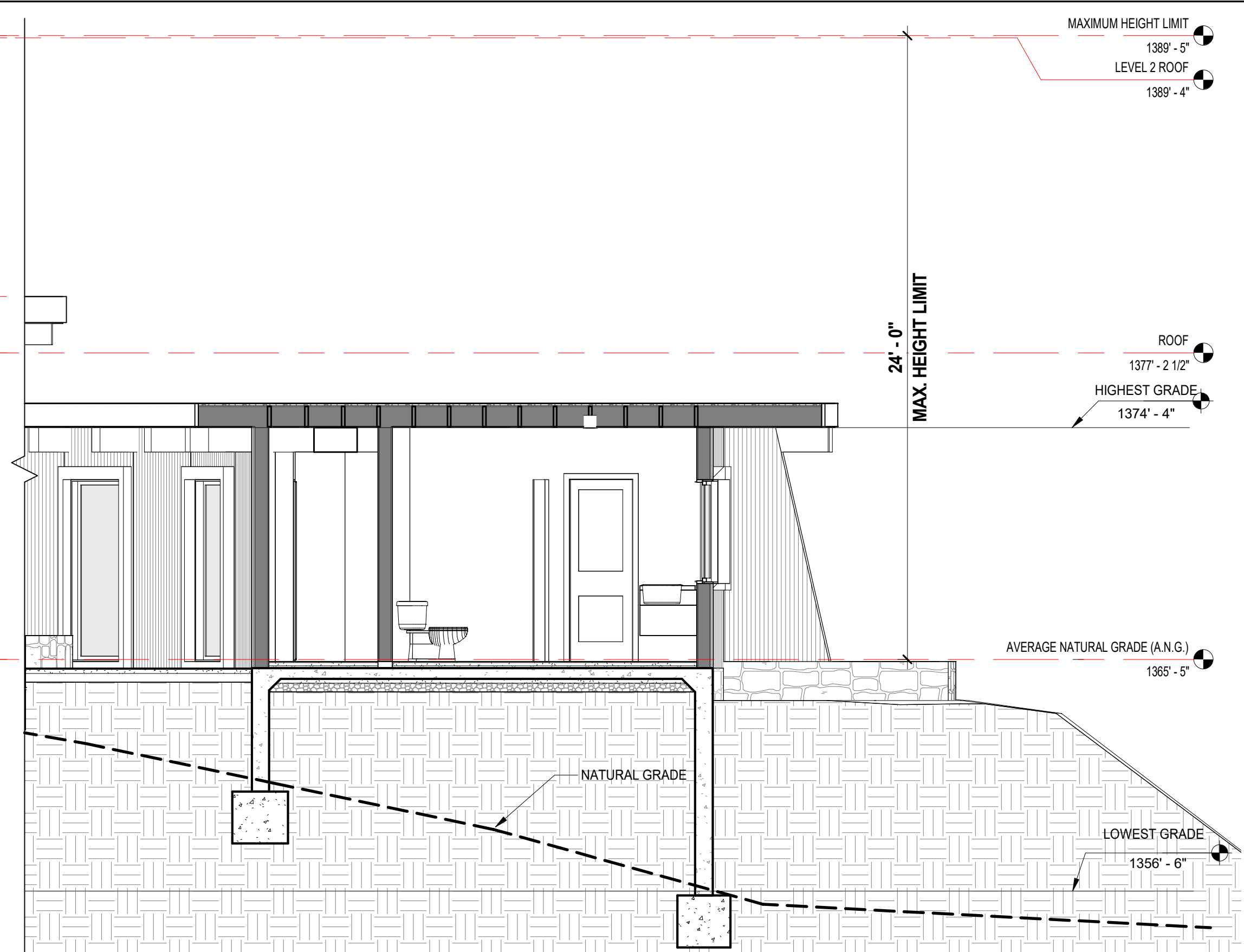
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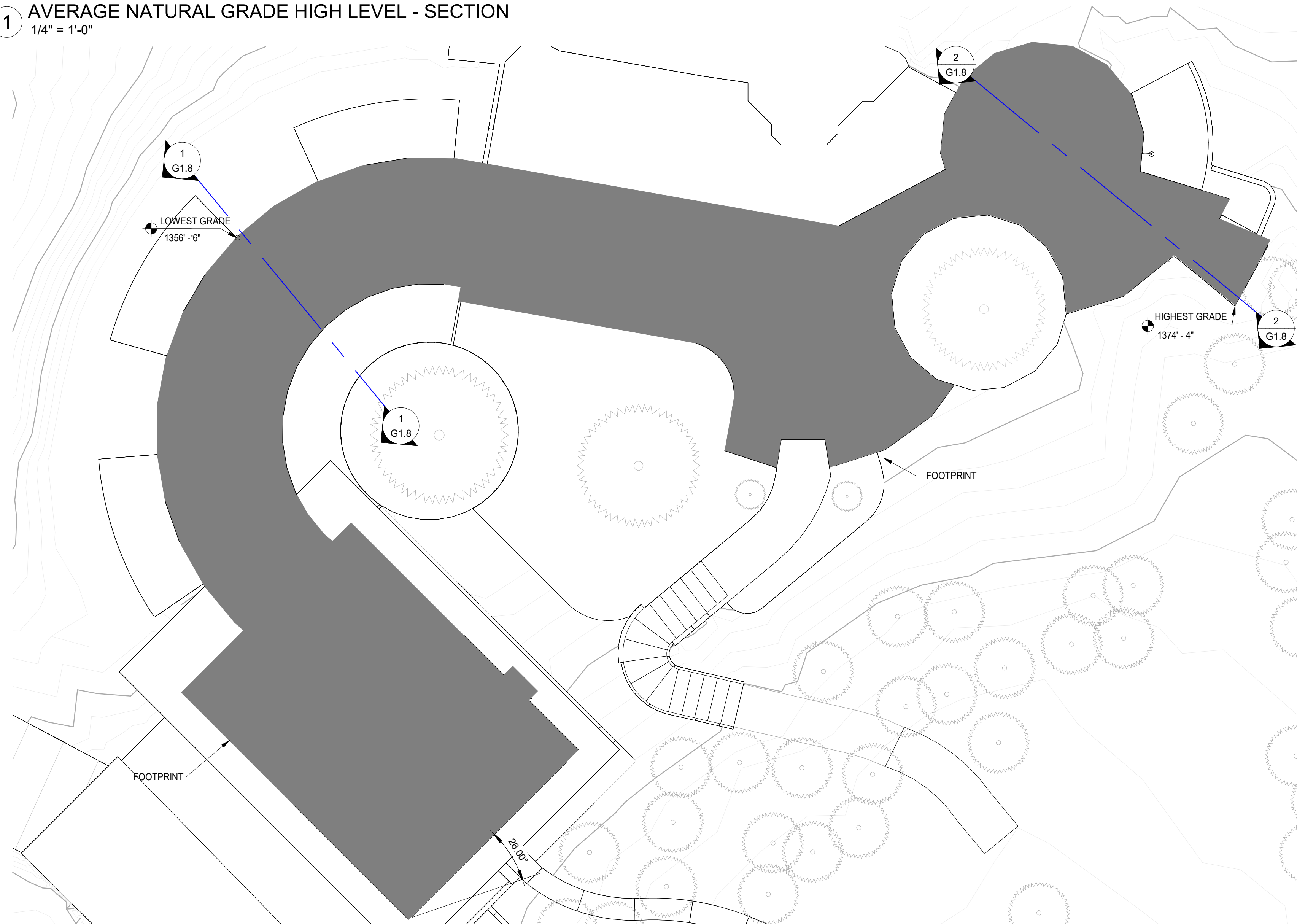
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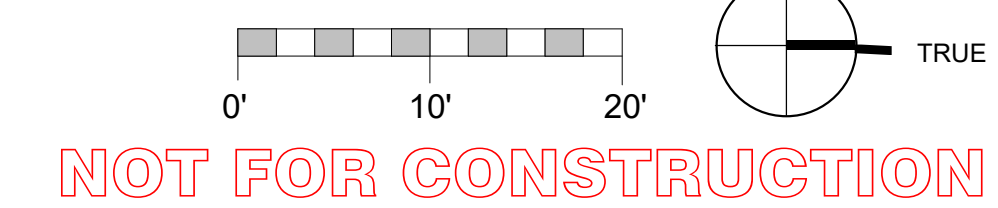
1 AVERAGE NATURAL GRADE HIGH LEVEL - SECTION
1/4" = 1'-0"



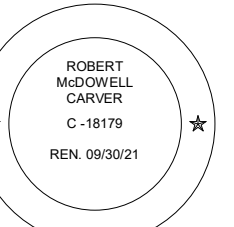
2 AVERAGE NATURAL GRADE LOWER LEVEL - SECTION
1/4" = 1'-0"



3 LEVEL 1 - WORKING-Existing
1" = 10'-0"



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**ARCHITECTURAL
AVERAGE
NATURAL GRADE
PLAN &
SECTIONS**

Scale: @ 24x36
Drawn By: DPI/JP
Job: 2102

G1.8

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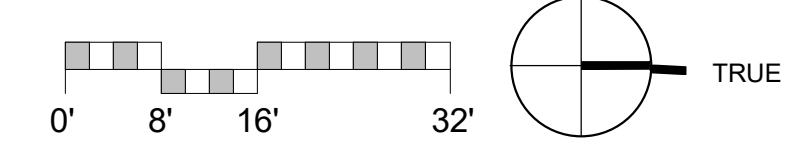
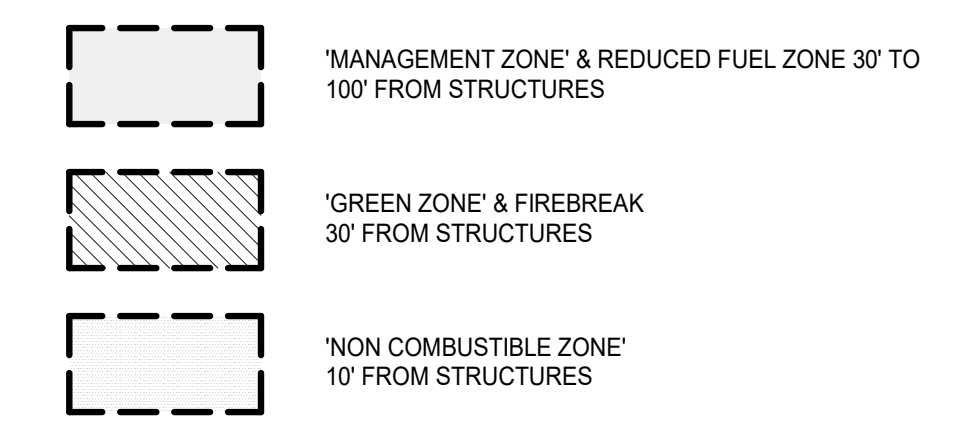


DEFENSIBLE SPACE GUIDELINES

1. MAINTAIN A FIREBREAK BY REMOVING AND CLEARING AWAY ALL FLAMMABLE VEGETATION AND OTHER COMBUSTIBLE GROWTH WITHIN 30 FEET OF EACH BUILDING OR STRUCTURE, WITH CERTAIN EXCEPTIONS PURSUANT TO PRC 5429(A). SINGLE SPECIMENS OF TREES OR OTHER VEGETATION MAY BE RETAINED PROVIDED THEY ARE WELL- SPACED, WELL- PRUNED, AND CREATE A CONDITION THAT AVOIDS SPREAD OF FIRE TO OTHER VEGETATION OR TO A BUILDING OR STRUCTURE.
2. DEAD AND DYING WOODY SURFACE FUELS AND AERIAL FUELS WITHIN THE REDUCED FUEL ZONE SHALL BE REMOVED. LOOSE SURFACE LITTER, NORMALLY CONSISTING OF FALLEN LEAVES OR NEEDLES, TWIGS, BARK, CONES, AND SMALL BRANCHES, SHALL BE PERMITTED TO A DEPTH OF 3 INCHES. THIS GUIDELINE IS PRIMARILY INTENDED TO ELIMINATE TREES, BUSHES, SHRUBS AND SURFACE DEBRIS THAT ARE COMPLETELY DEAD OR WITH SUBSTANTIAL AMOUNTS OF DEAD BRANCHES OR LEAVES/NEEDLES THAT WOULD READILY BURN.
3. DOWN LOGS OR STUMPS ANYWHERE WITHIN 100 FEET FROM THE BUILDING OR STRUCTURE, WHEN EMBEDDED IN THE SOIL, MAY BE RETAINED WHEN ISOLATED FROM OTHER VEGETATION. OCCASIONAL (APPROXIMATELY ONE PER ACRE) STANDING DEAD TREES (SNAGS) THAT ARE WELL-SPACE FROM OTHER VEGETATION AND WHICH WILL NOT FALL ON BUILDINGS OR STRUCTURES OR ON ROADWAYS/DRIVEWAYS MAY BE RETAINED.
4. WITHIN THE REDUCED FUEL ZONE, ONE OF THE FOLLOWING FUEL TREATMENTS (4A. OR 4B.) SHALL BE IMPLEMENTED. PROPERTIES WITH GREATER FIRE HAZARDS WILL REQUIRE GREATER CLEARING TREATMENTS. COMBINATIONS OF THE METHODS MAY BE ACCEPTABLE UNDER §1299(C) AS LONG AS THE INTENT OF THESE GUIDELINES IS MET.
 - 4A. REDUCED FUEL ZONE: FUEL SEPARATION**
5. IN CONJUNCTION WITH GENERAL GUIDELINES 1, 2, AND 3, ABOVE, MINIMUM CLEARANCE BETWEEN FUELS SURROUNDING EACH BUILDING OR STRUCTURE WILL RANGE FROM 4 FEET TO 40 FEET IN ALL DIRECTIONS, BOTH HORIZONTALLY AND VERTICALLY.
6. CLEARANCE DISTANCES BETWEEN VEGETATION WILL DEPEND ON THE SLOPE, VEGETATION SIZE, VEGETATION TYPE (BRUSH, GRASS, TREES), AND OTHER FUEL CHARACTERISTICS (FUEL COMPACTION, CHEMICAL CONTENT ETC.). PROPERTIES WITH GREATER FIRE HAZARDS WILL REQUIRE GREATER SEPARATION.
7. GRASS GENERALLY SHOULD NOT EXCEED 4 INCHES IN HEIGHT. HOWEVER, HOMEOWNERS MAY KEEP GRASS AND OTHER FORBS LESS THAN 18 INCHES IN HEIGHT ABOVE THE GROUND WHEN THESE GRASSES ARE ISOLATED FROM OTHER FUELS OR WHERE NECESSARY TO STABILIZE THE SOIL AND PREVENT EROSION.
8. CLEARANCE REQUIREMENTS INCLUDE:
 - A. HORIZONTAL CLEARANCE BETWEEN AERIAL FUELS, SUCH AS THE OUTSIDE EDGE OF THE TREE CROWNS OR HIGH BRUSH. HORIZONTAL CLEARANCE HELPS STOP THE SPREAD OF FIRE FROM ONE FUEL TO THE NEXT.
 - B. VERTICAL CLEARANCE BETWEEN LOWER LIMBS OF AERIAL FUELS AND THE NEAREST SURFACE FUELS AND GRASS/WEEDS. VERTICAL CLEARANCE REMOVES LADDER FUELS AND HELPS PREVENT A FIRE FROM MOVING FROM THE SHORTER FUELS TO THE TALLER FUELS.
- 4B. REDUCED FUEL ZONE: DEFENSIBLE SPACE WITH CONTINUOUS TREE CANOPY**
1. TO ACHIEVE DEFENSIBLE SPACE WHILE RETAINING A STAND OF LARGER TREES WITH A CONTINUOUS TREE CANOPY APPLY THE FOLLOWING TREATMENTS:
 2. GENERALLY, REMOVE ALL SURFACE FUELS GREATER THAN 4 INCHES IN HEIGHT. SINGLE SPECIMENS OF TREES OR OTHER VEGETATION MAY BE RETAINED PROVIDED THEY ARE WELL-SPACED, WELL-PRUNED, AND CREATE A CONDITION THAT AVOIDS SPREAD OF FIRE TO OTHER VEGETATION OR TO A BUILDING OR STRUCTURE.
 3. REMOVE LOWER LIMBS OF TREES ("PRUNE") TO AT LEAST 6 FEET UP TO 15 FEET (OR THE LOWER 1/3 BRANCHES FOR SMALL TREES). PROPERTIES WITH GREATER FIRE HAZARDS, SUCH AS STEEPER SLOPES OR MORE SEVERE FIRE DANGER, WILL REQUIRE PRUNING HEIGHTS IN THE UPPER END OF THIS RANGE.

- DEFENSIBLE SPACE: REDUCED FUEL ZONE**
4. 30 FT. REDUCED FUEL ZONE.
 5. 30 FT. TO 100 FT.
 6. BETWEEN FUELS. FOR EXAMPLE, PROPERTIES ON STEEP SLOPES HAVING LARGE SIZED VEGETATION WILL REQUIRE GREATER SPACING BETWEEN INDIVIDUAL TREES AND BUSHES (SEE PLANT SPACING GUIDELINES AND CASE EXAMPLES BELOW). GROUPS OF VEGETATION (NUMEROUS PLANTS GROWING TOGETHER LESS THAN 10 FEET IN TOTAL FOLIAGE WIDTH) MAY BE TREATED AS A SINGLE PLANT. FOR EXAMPLE, THREE INDIVIDUAL MANZANITA PLANTS GROWING TOGETHER WITH A TOTAL FOLIAGE WIDTH OF EIGHT FEET CAN BE "GROUPED" AND CONSIDERED AS ONE PLANT AND SPACED ACCORDING TO THE PLANT SPACING GUIDELINES IN THIS DOCUMENT.

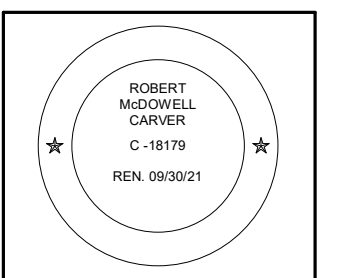
ALL ROOFS TO BE CLASS A RATED ASSEMBLIES
 ALL EXTERIOR WALLS TO HAVE FIRE RESISTIVE FINISH
 ALL EXTERIOR WINDOWS TO BE DOUBLE PANE OR TEMPERED GLASS



1 FUEL MANAGEMENT PLAN
 1/16" = 1'-0"

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**ARCHITECTURAL
 FUEL
 MANAGEMENT
 PLAN**

Scale: @ 24x36
 Drawn By: DPI/JP
 Job: 2102

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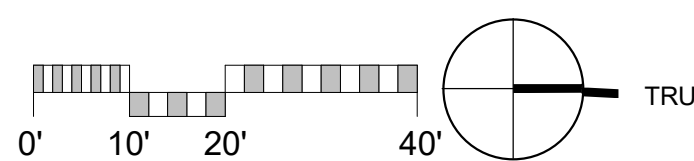
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1 SITE PLAN
1" = 20'-0"

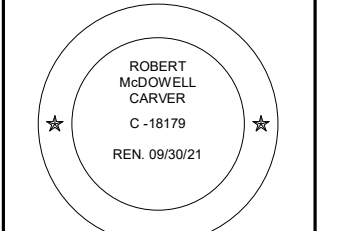
GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES.
2. CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
3. CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED."



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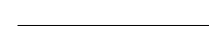
REVISION #	DATE	DESCRIPTION
1	03/06/2023	PLANNING COMMENTS

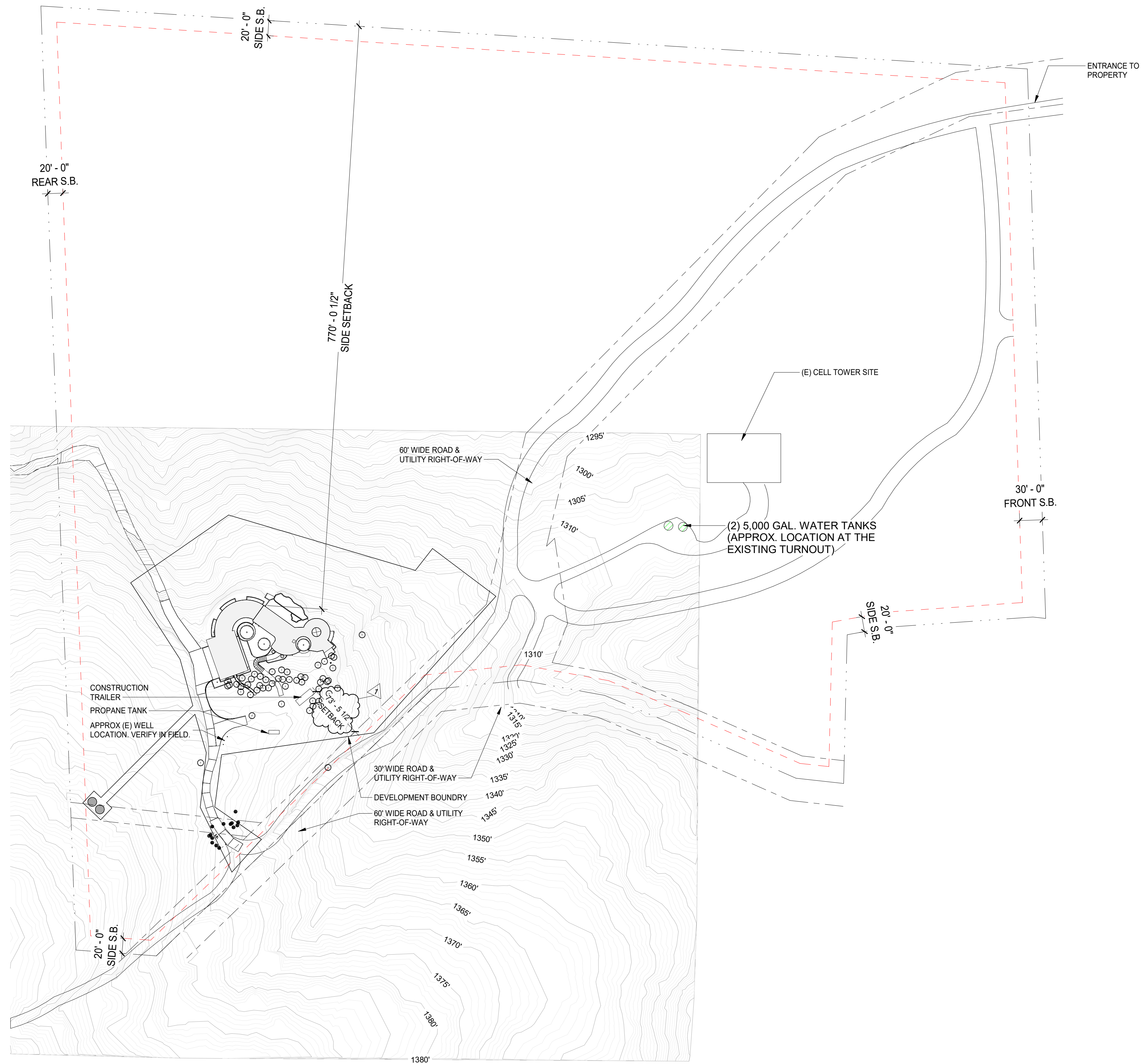
ARCHITECTURAL
SITE PLAN

Scale: @ 24x36
Drawn By: DPI/JP
Job: 2102

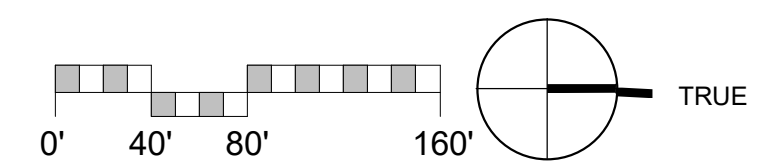
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3/7/2023 4:28:44 PM

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LEGEND	APN: 416-011-007-000
	SETBACK
	PROPERTY LINE

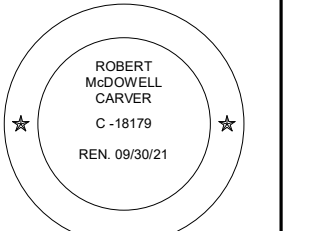


1 PROPERTY BOUNDARY AND SETBACKS
1" = 80'-0"



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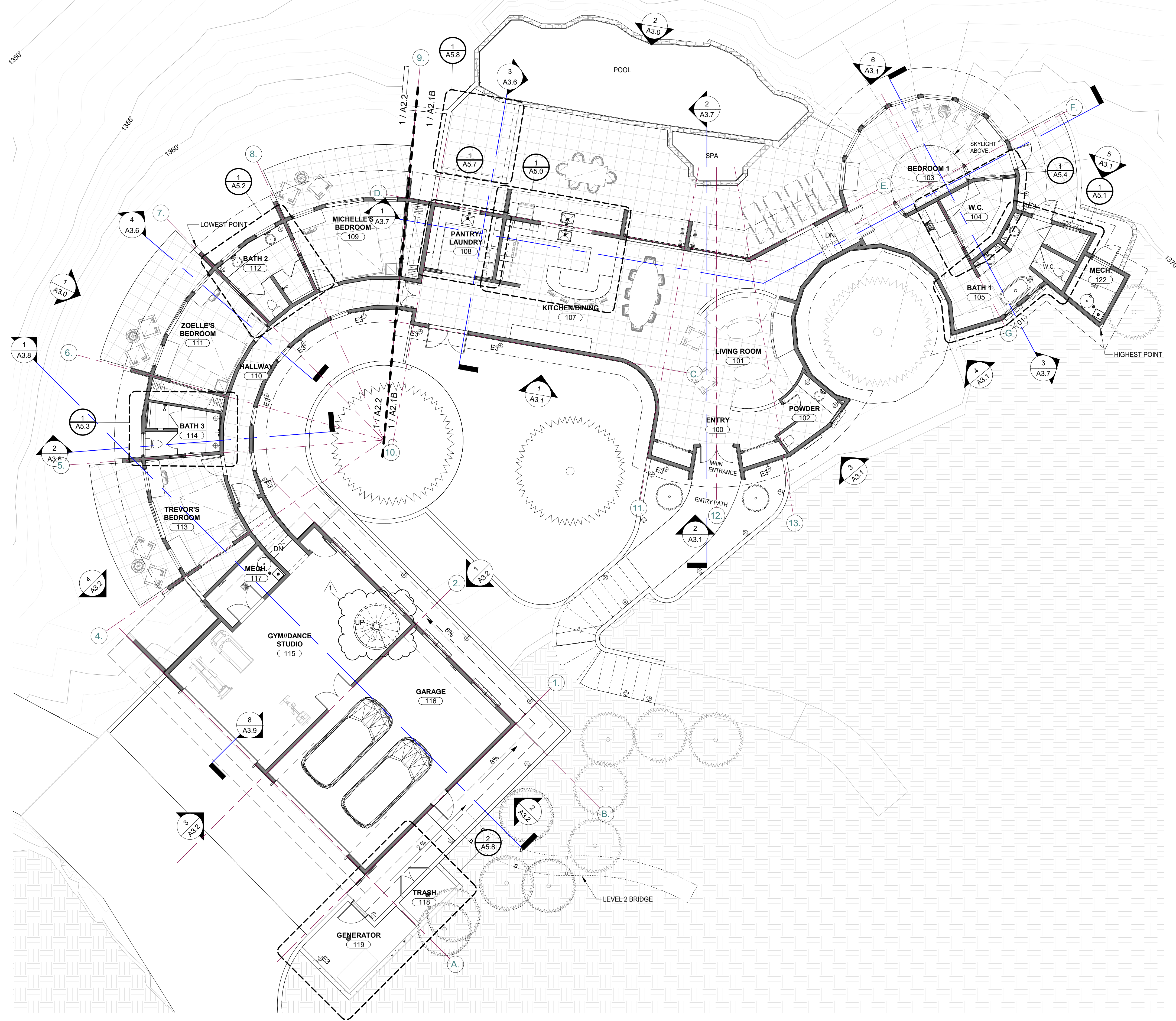
REVISION #
1 03/06/2023 PLANNING COMMENTS

**ARCHITECTURAL
PROPERTY
BOUNDARY,
SETBACKS AND
EASEMENTS
PLAN**

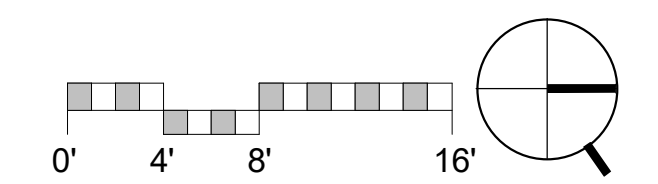
Scale: @ 24x36
Drawn By: DPIJP
Job: 2102

A1.1
03/07/2023

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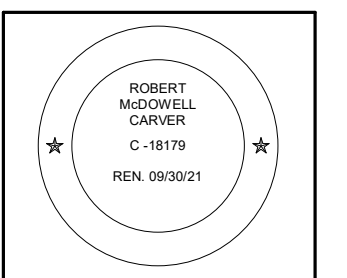


1 LEVEL 1 - FLOOR PLAN
1/8" = 1'-0"



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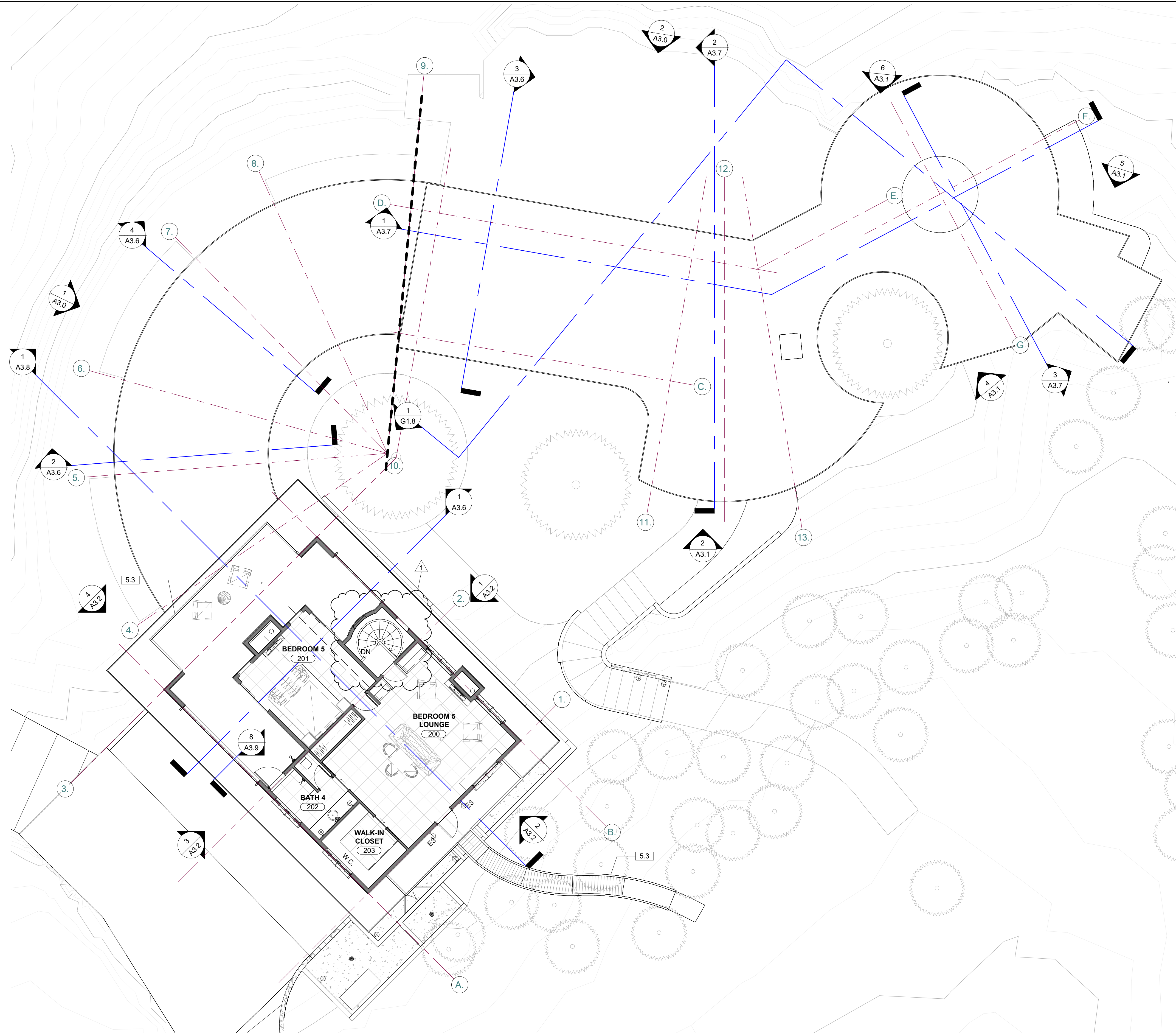
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1 03/06/2023 PLANNING COMMENTS

ARCHITECTURAL
MAIN RESIDENCE
FLOOR PLAN

Scale: @ 24x36
Drawn By: DJI/P
Job: 2102

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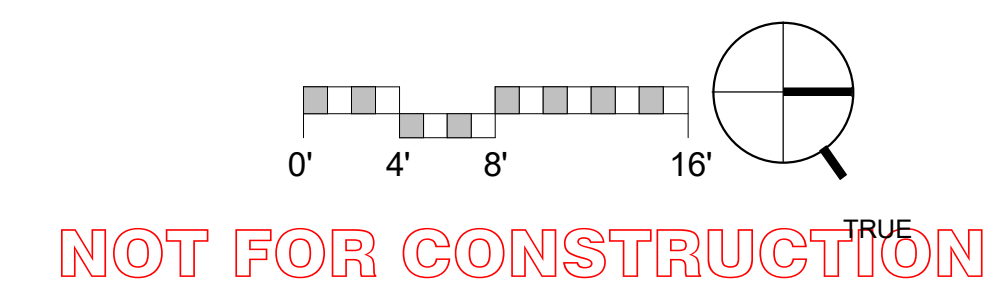
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KEYNOTE LEGEND

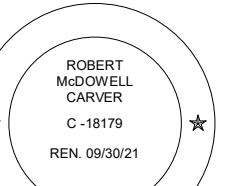
5.3 42" HIGH (A.F.F.) REBAR GUARD RAIL

1 LEVEL 2
1/8" = 1'-0"



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COMMENTS

**ARCHITECTURAL
LEVEL 2**

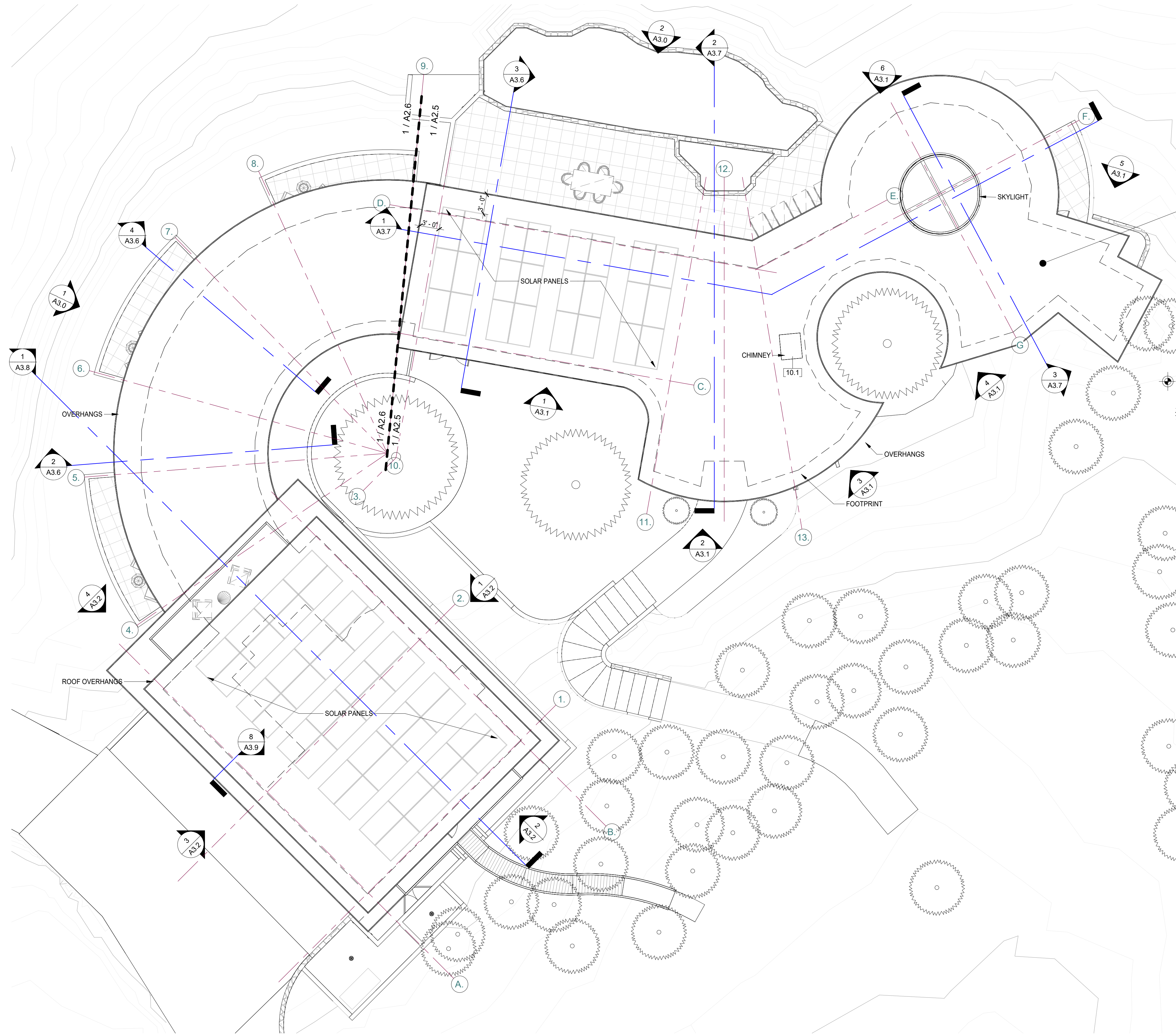
Scale: 1/8" = 1'-0"
@ 24x36
Drawn By: DPIJP
Job: 2102

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3/7/2023 4:29:07 PM

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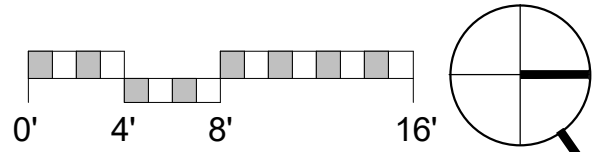
ROOF NOTES

1. FASCIA BOARDS SHALL BE MINIMUM 2" NOMINAL THICKNESS.
2. ALL FLASHING, SHEET METAL, VENT STACKS, AND PIPES SHALL BE COPPER OR PAINTED TO MATCH THE ADJACENT ROOFING MATERIAL
3. PIPES AND VENTS SHALL BE COMBINED FOR MINIMUM ROOF PENETRATIONS. PENETRATIONS SHALL KEPT TO NORTH SIDE OF ROOF WHERE LEAST VISIBLE.
4. ALL ROOF ASSEMBLIES TO BE CLASS A FIRE RATED



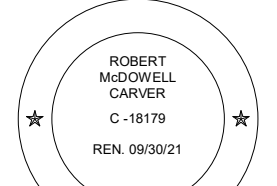
TAR AND GRAVEL

1 ROOF PLAN
1/8" = 1'-0"



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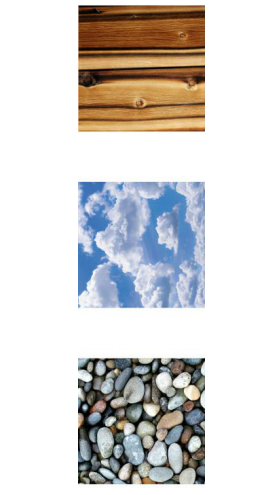
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**ARCHITECTURAL
ROOF PLAN**

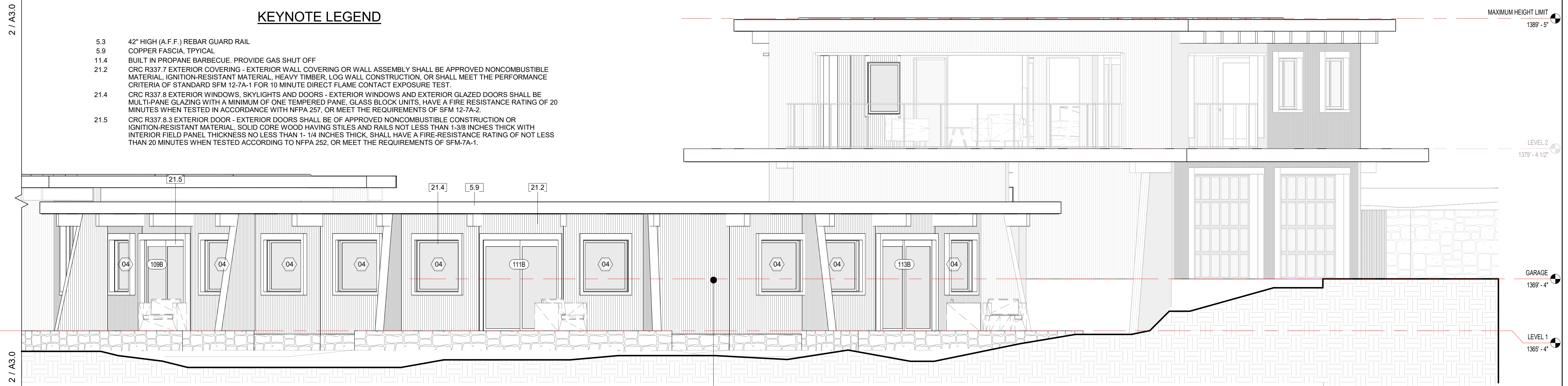
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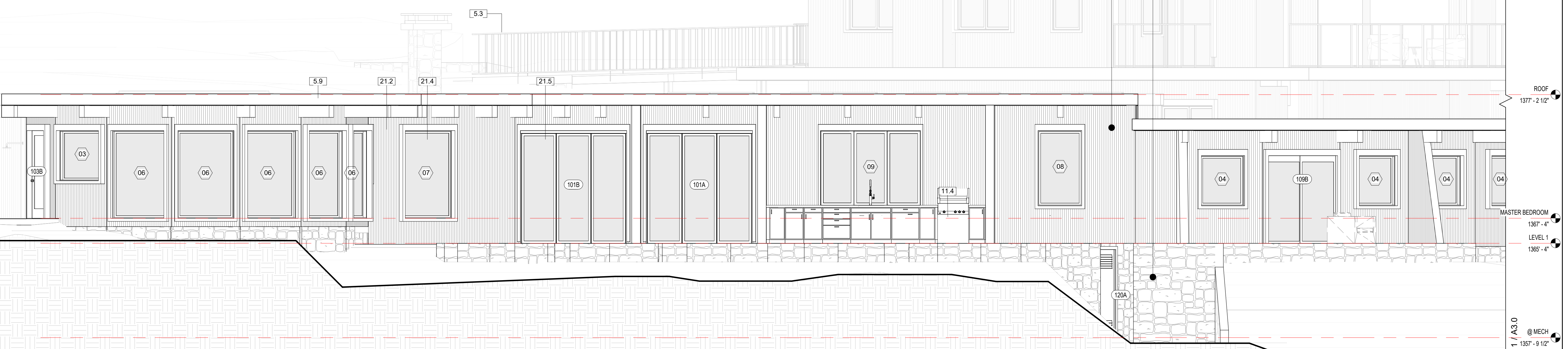
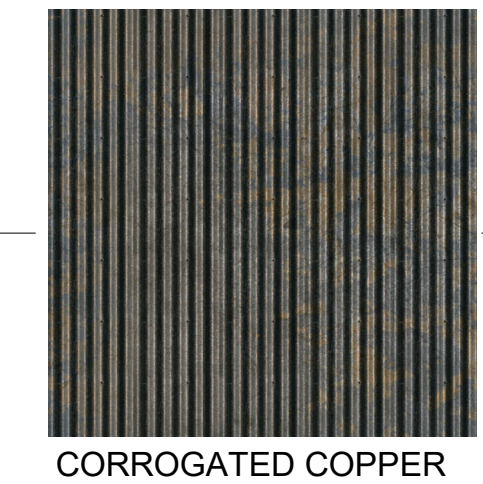
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KEYNOTE LEGEND

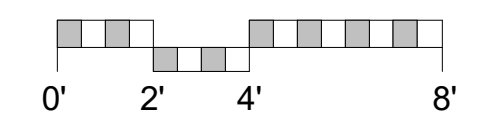
- 5.3 42" HIGH (A.F.F.) REBAR GUARD RAIL
- 5.9 COPPER FASCIA, TYPICAL
- 11.4 BUILT IN PROPANE BARBECUE, PROVIDE GAS SHUT OFF
- 21.2 CRC R337.7 EXTERIOR COVERING - EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, LOG WALL CONSTRUCTION, OR SHALL MEET THE PERFORMANCE CRITERIA OF STANDARD SFM 12-7A-1 FOR 10 MINUTE DIRECT FLAME CONTACT EXPOSURE TEST.
- 21.4 CRC R337.8 EXTERIOR WINDOWS, SKYLIGHTS AND DOORS - EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE. GLASS BLOCK UNITS. HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2.
- 21.5 CRC R337.8.3 EXTERIOR DOOR - EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITION-RESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1-1/4 INCHES THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM-7A-1.



1 SOUTH-WEST ELEVATION @ BEDROOMS
1/4" = 1'-0"

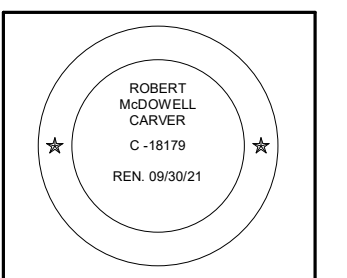


2 WEST ELEVATION
1/4" = 1'-0"



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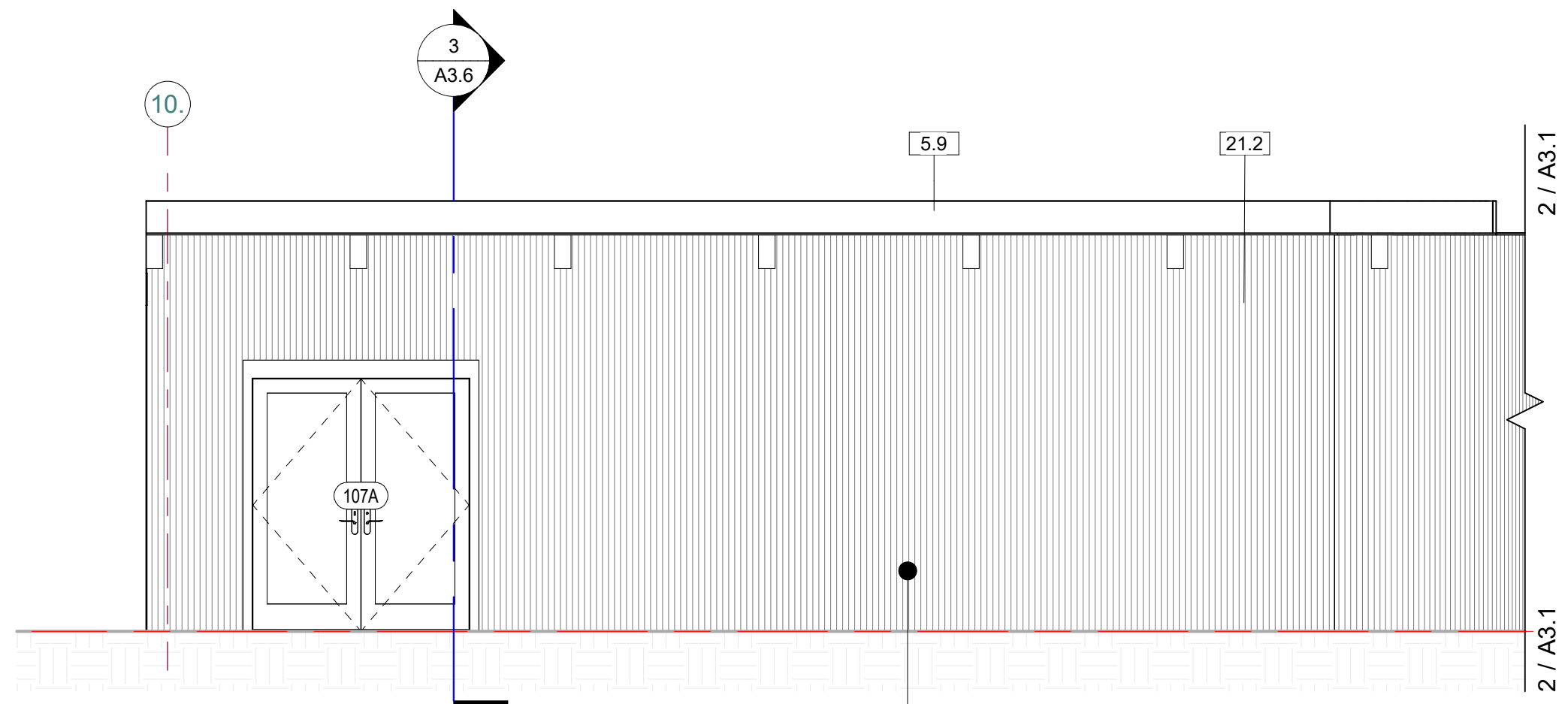
△ REVISION #

**ARCHITECTURAL
EXTERIOR
ELEVATIONS**

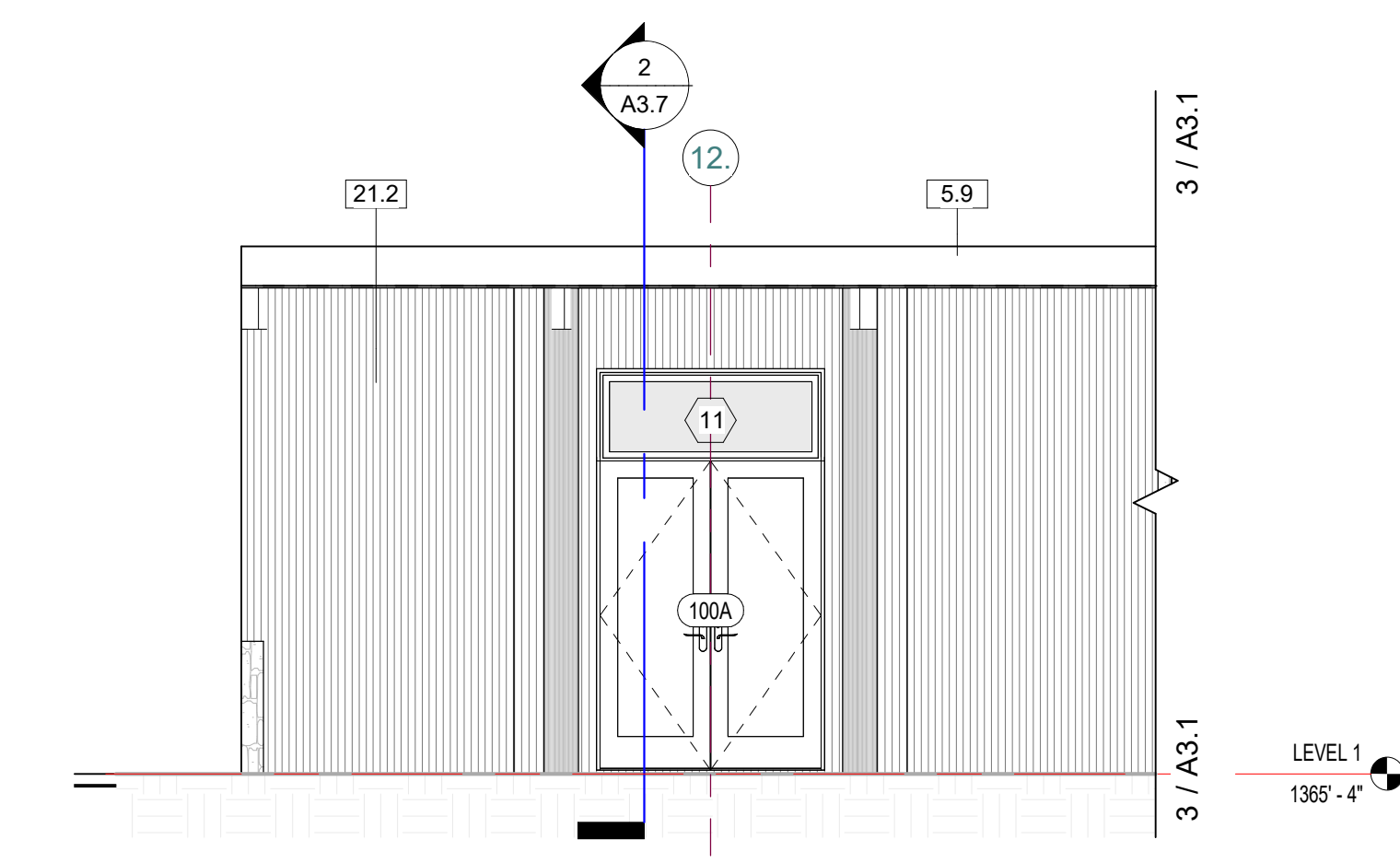
Scale: @ 24x36
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A3.0
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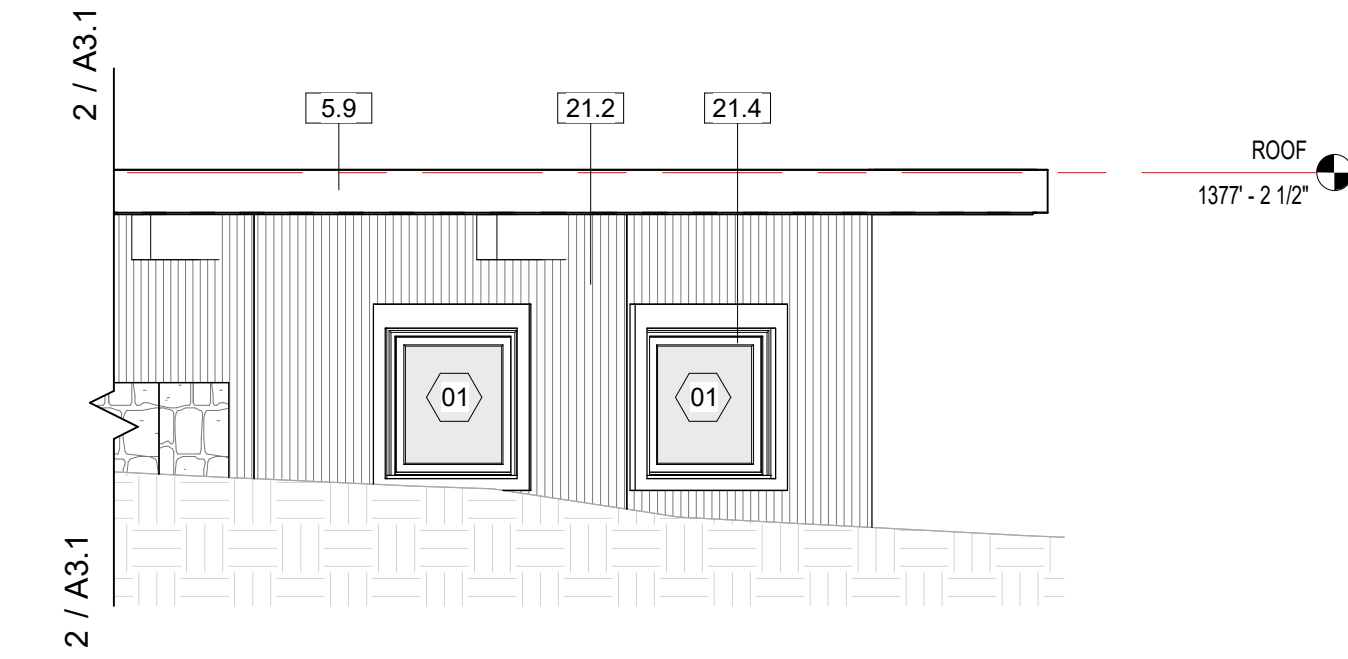
1 EAST ELEVATION @ KITCHEN
1/4" = 1'-0"



2 EAST ELEVATION @ ENTRY
1/4" = 1'-0"



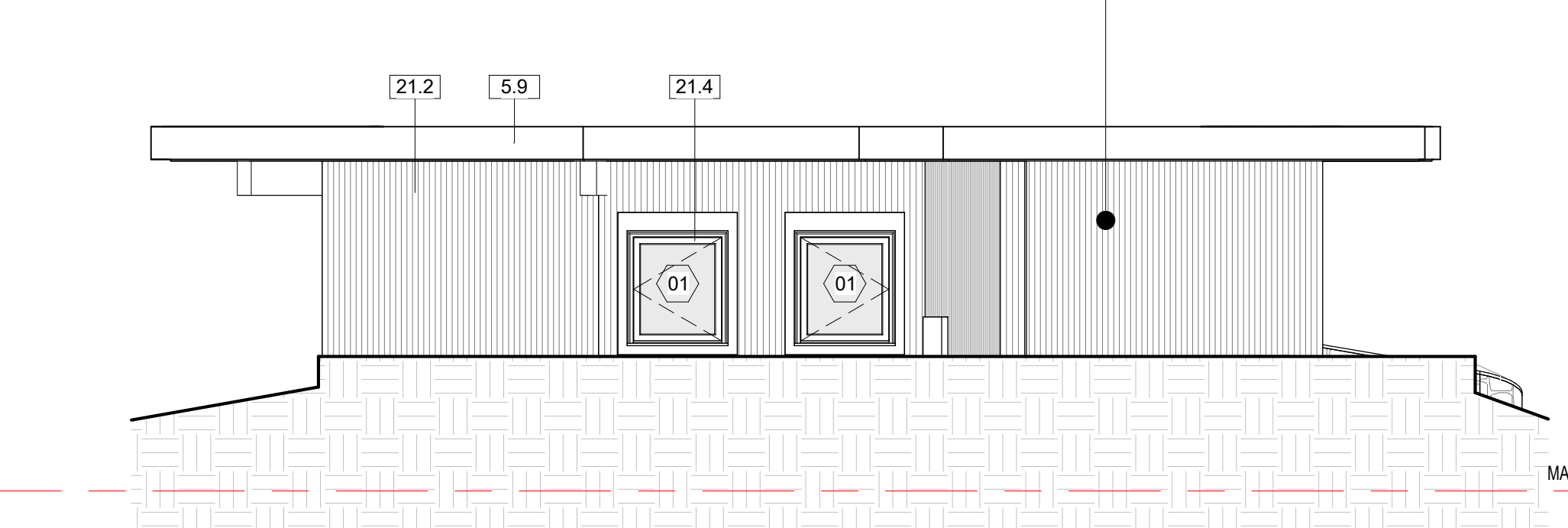
CORROGATED COPPER



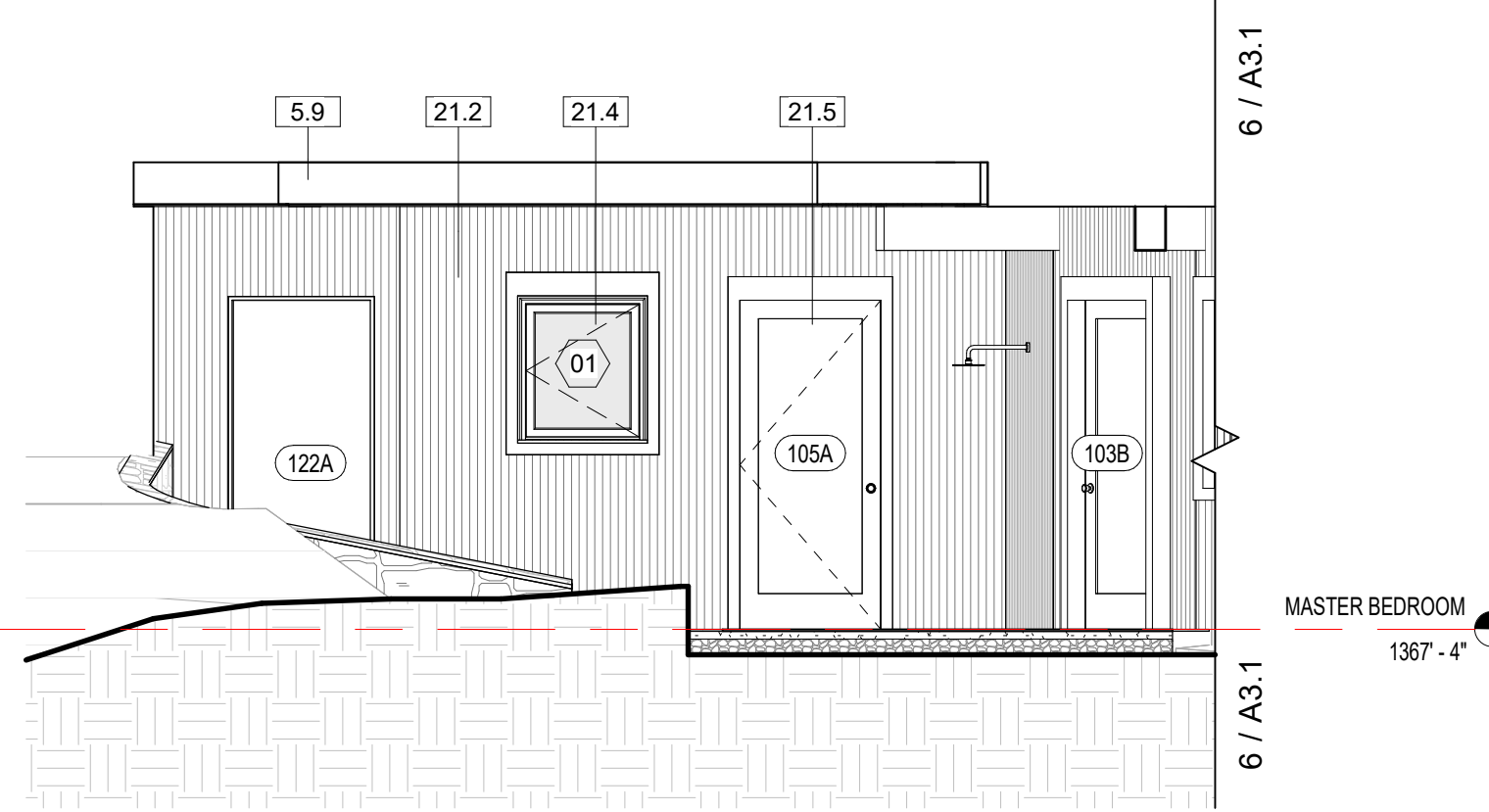
3 NORTH EAST ELEVATION @ ENTRY
1/4" = 1'-0"



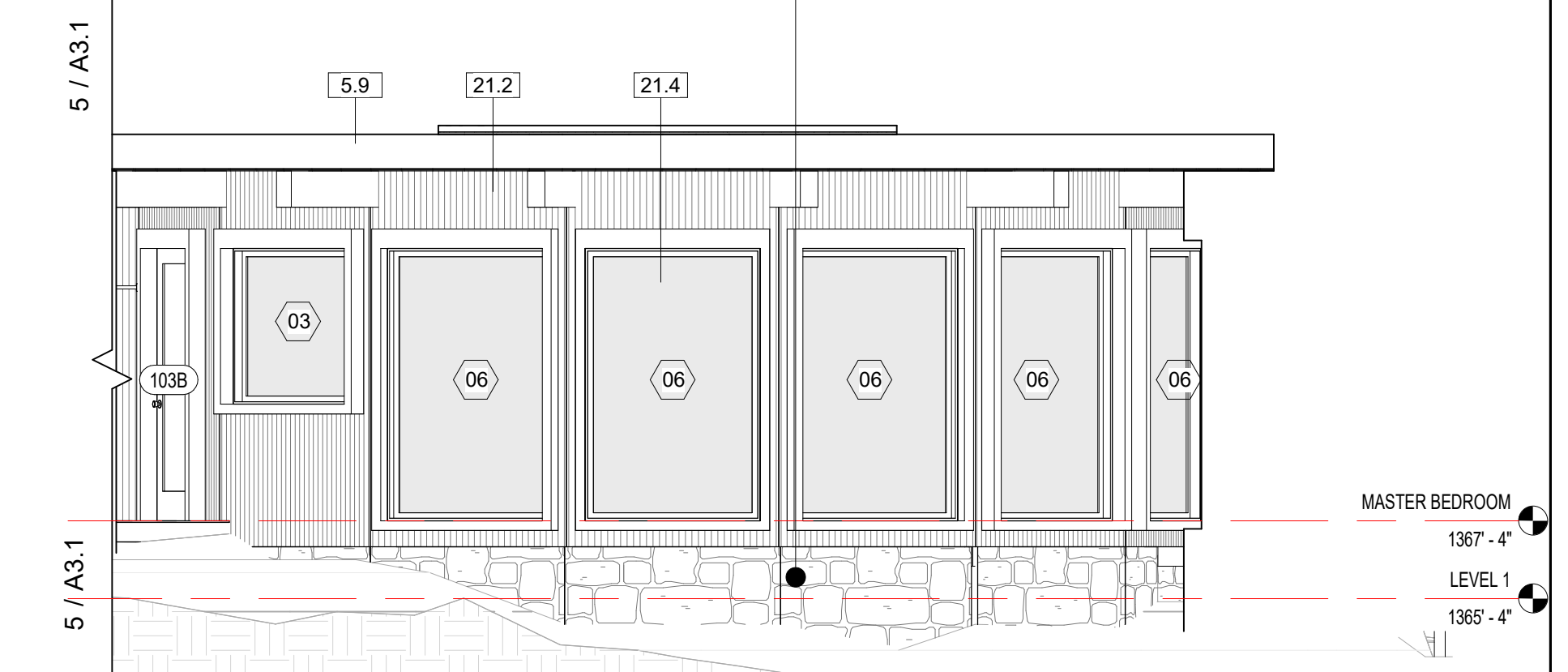
STONE CLAD RETAINING WALL



4 NORTH ELEVATION @ MASTER BEDROOM
1/4" = 1'-0"



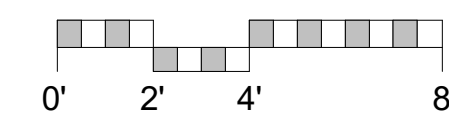
5 NORTH WEST ELEVATION @ MASTER BEDROOM
1/4" = 1'-0"



6 WEST ELEVATION @ MASTER BEDROOM
1/4" = 1'-0"

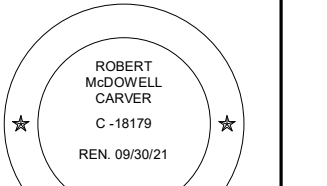
KEYNOTE LEGEND

- 5.9 COPPER FASCIA, TYPICAL
- 21.2 CRC R337.7 EXTERIOR COVERING - EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, LOG WALL CONSTRUCTION, OR SHALL MEET THE PERFORMANCE CRITERIA OF STANDARD SFM 12-7A-1 FOR 10 MINUTE DIRECT FLAME CONTACT EXPOSURE TEST.
- 21.4 CRC R337.8 EXTERIOR WINDOWS, SKYLIGHTS AND DOORS - EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE. GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2.
- 21.5 CRC R337.8.3 EXTERIOR DOOR - EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITION-RESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1- 1/4 INCHES THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM-7A-1.



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**ARCHITECTURAL
EXTERIOR
ELEVATIONS**

Scale: @ 24x36
Drawn By: DPIJP
Job: 2102

A3.1

03/07/2023

3/7/2023 4:30:07 PM

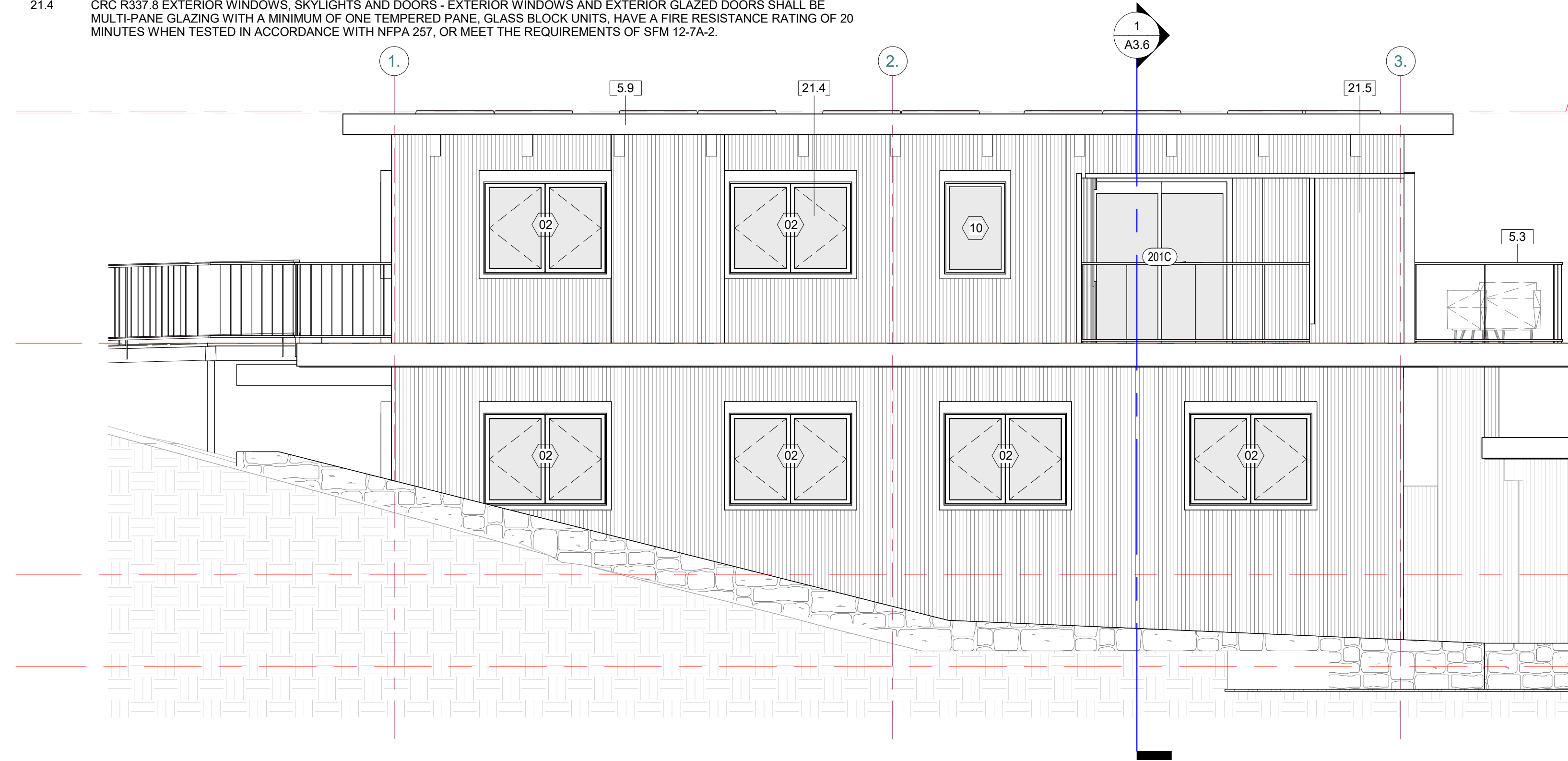
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KEYNOTE LEGEND

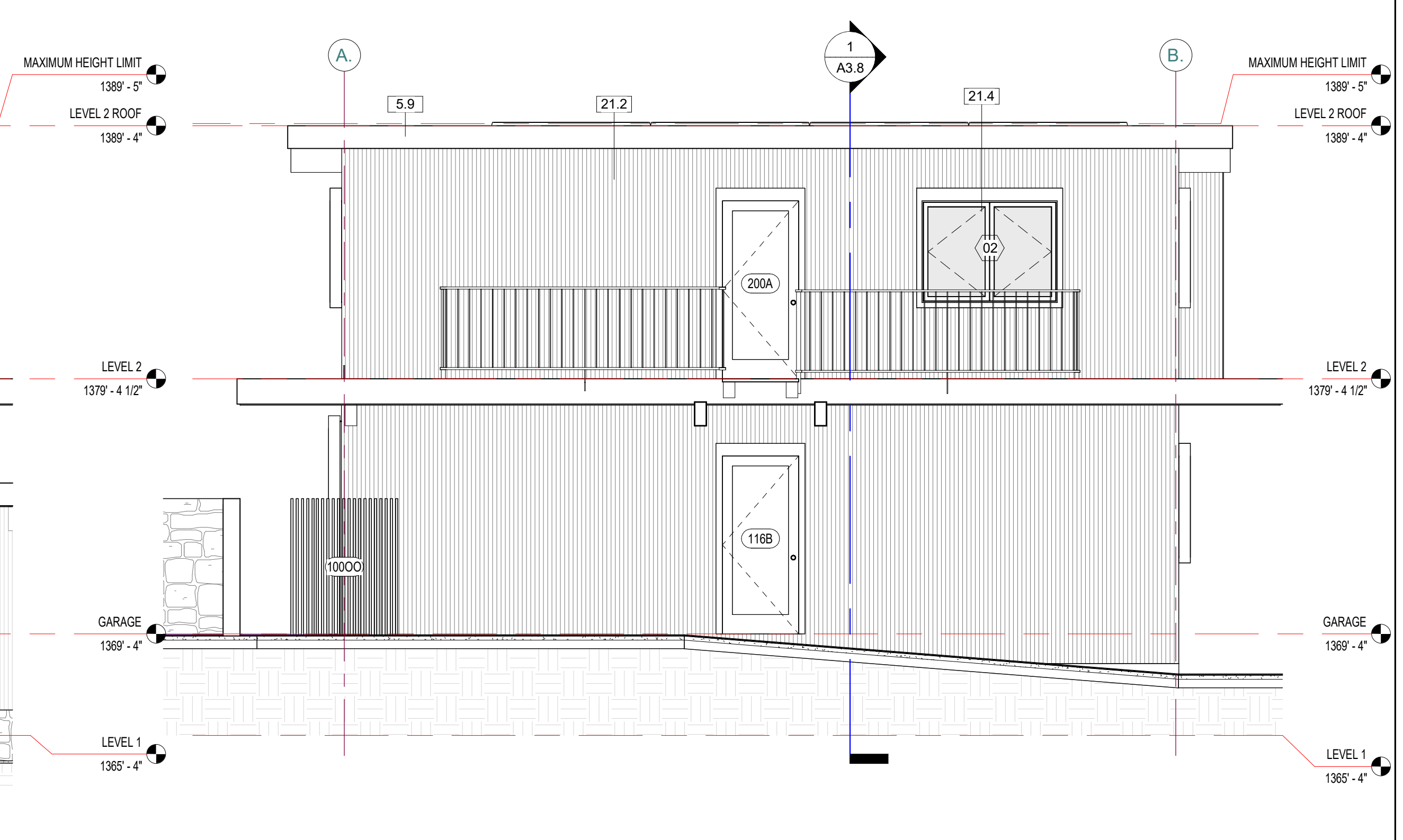
- 5.3 42" HIGH (A.F.F.) REBAR GUARD RAIL
- 5.9 COPPER FASCIA, TYPICAL
- 21.2 CRC R337.7 EXTERIOR COVERING - EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, LOG WALL CONSTRUCTION, OR SHALL MEET THE PERFORMANCE CRITERIA OF STANDARD SFM 12-7A-1 FOR 10 MINUTE DIRECT FLAME CONTACT EXPOSURE TEST.
- 21.4 CRC R337.8 EXTERIOR WINDOWS, SKYLIGHTS AND DOORS - EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2.

KEYNOTE LEGEND

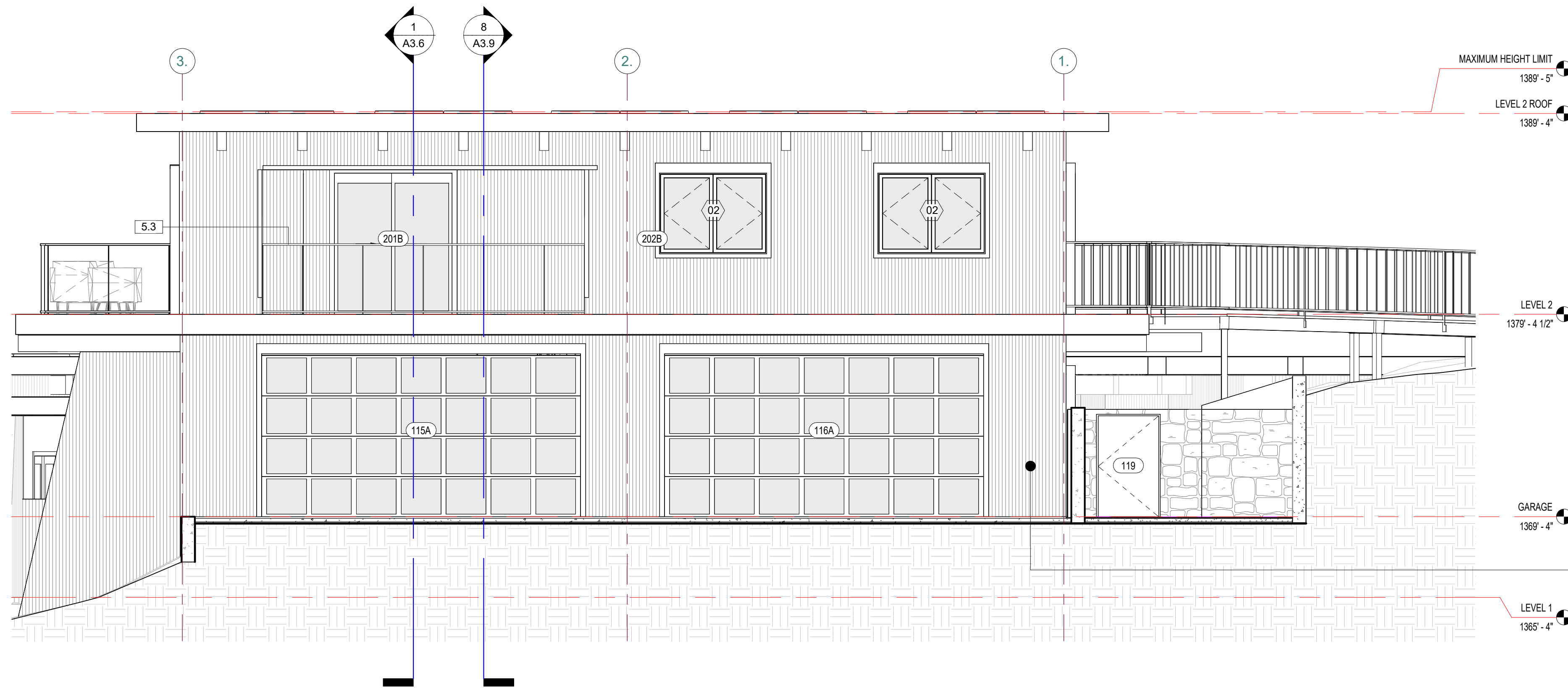
- 21.5 CRC R337.8.3 EXTERIOR DOOR - EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITION-RESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1-1/4 INCHES THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM-7A-1.



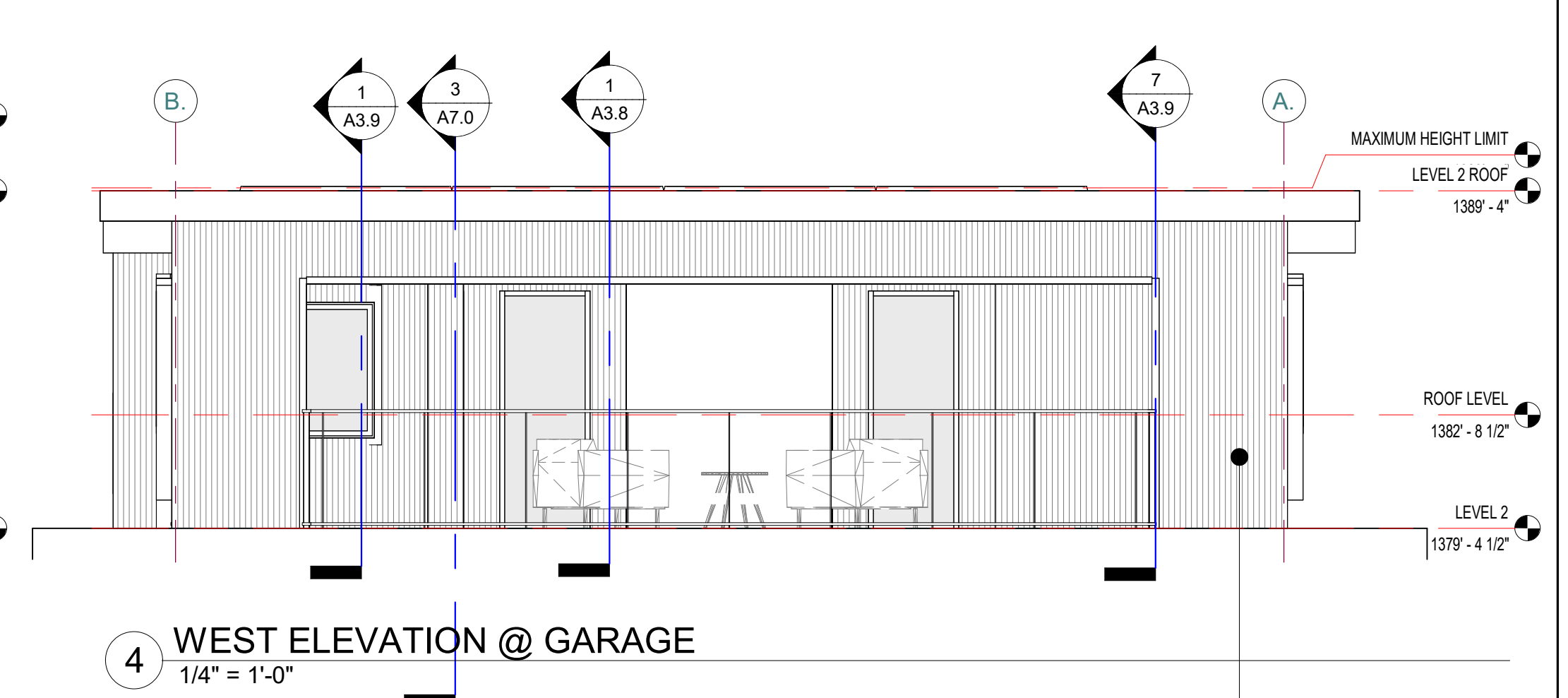
1 NORTH ELEVATION @ GARAGE
1/4" = 1'-0"



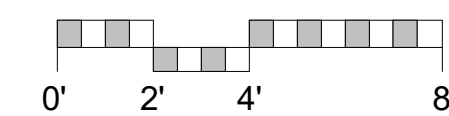
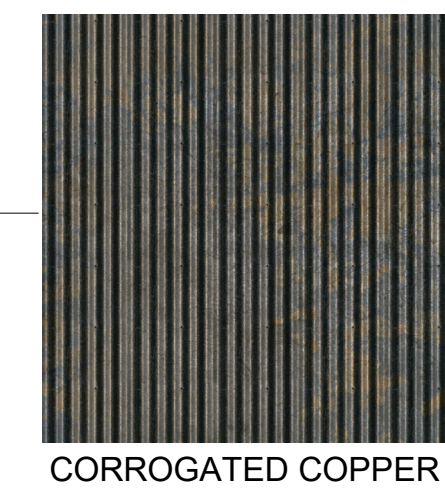
2 EAST ELEVATION @ GARAGE
1/4" = 1'-0"



3 SOUTH ELEVATION @ GARAGE
1/4" = 1'-0"

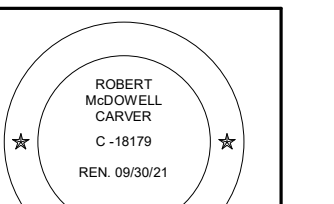


4 WEST ELEVATION @ GARAGE
1/4" = 1'-0"



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Scale: @ 24x36
Drawn By: DPI/JP
Job: 2102

A3.2

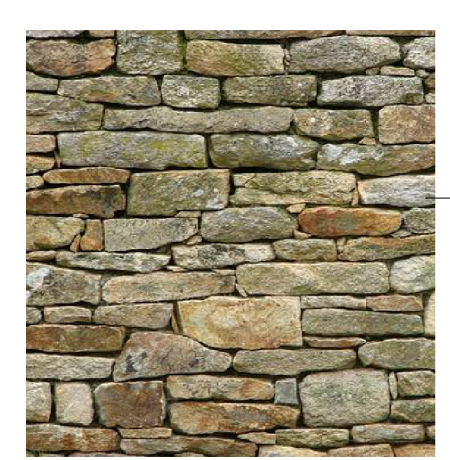
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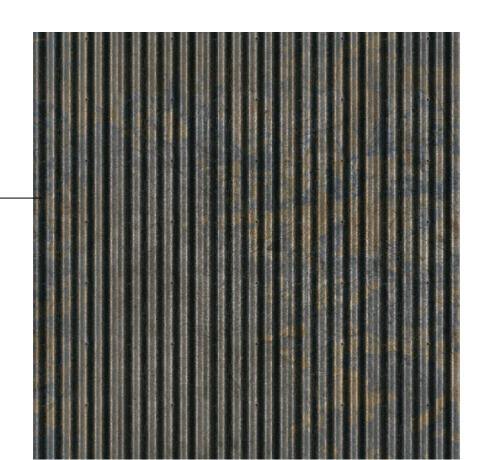
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1 SOUTH WEST ELEVATION

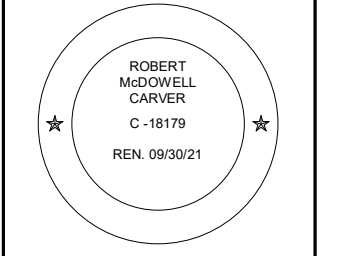


STONE CLAD RETAINING WALL



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3D MODEL -
SOUTH WEST
ELEVATION

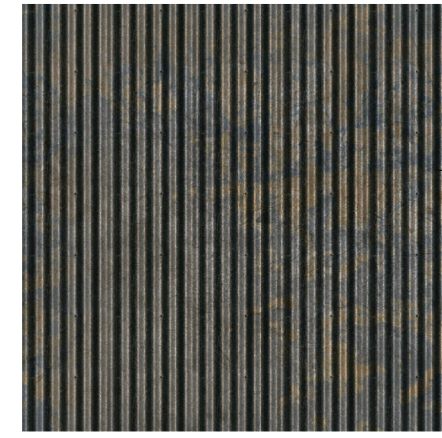
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Drawn By: DPIJP
Job: 2102

A3.3
03/07/2023

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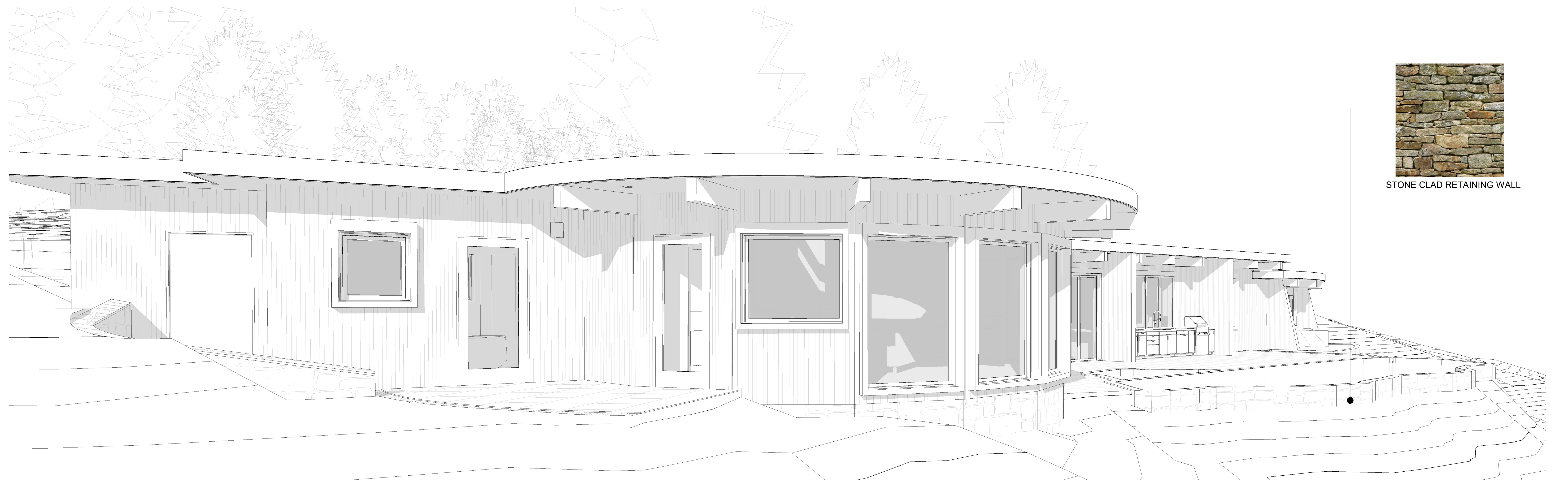
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1 EAST ELEVATION

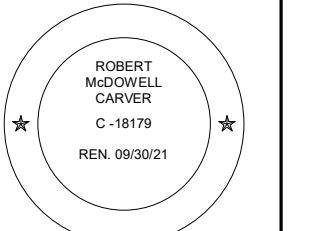


2 NORTH ELEVATION



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ARCHITECTURAL
3D MODEL -
NORTH & EAST
ELEVATION

Scale: @ 24x36
Drawn By: DPIJP
Job: 2102

A3.4

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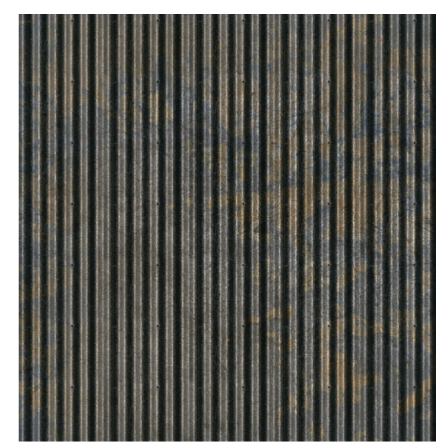
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1 SOUTH ELEVATION

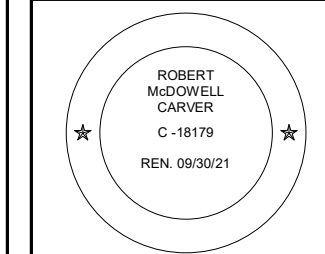


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3D MODEL -
SOUTH
ELEVATION

Scale: @ 24x36
Drawn By: DPIJP
Job: 2102

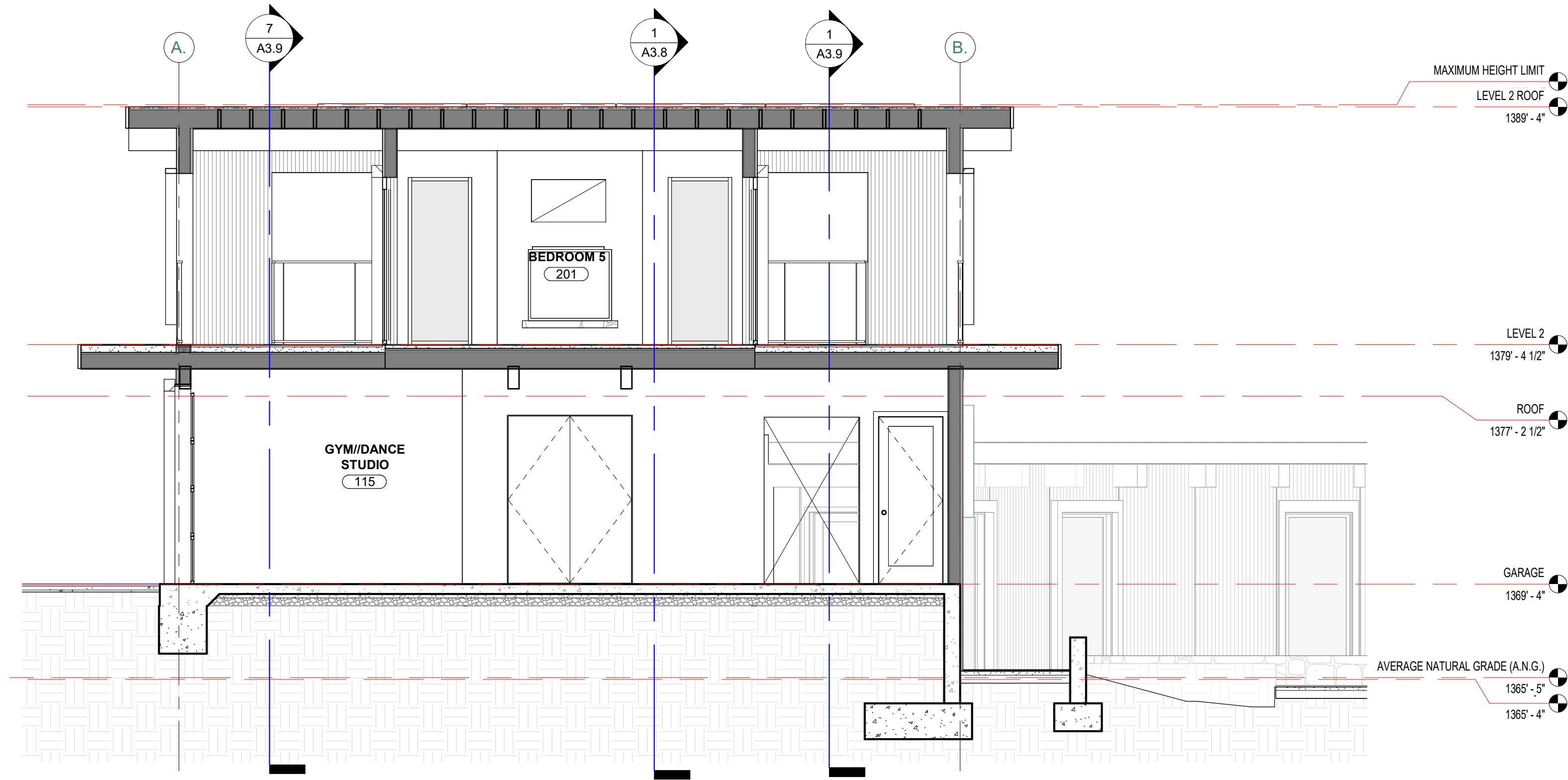
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A3.5

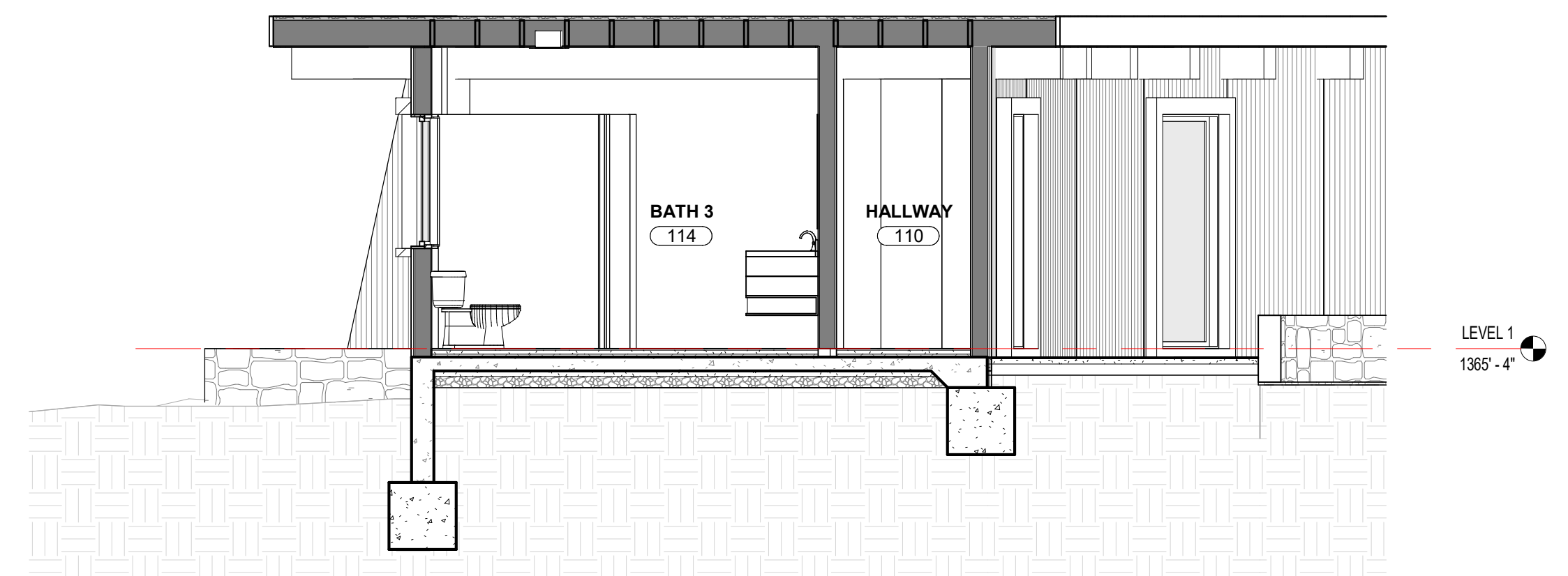
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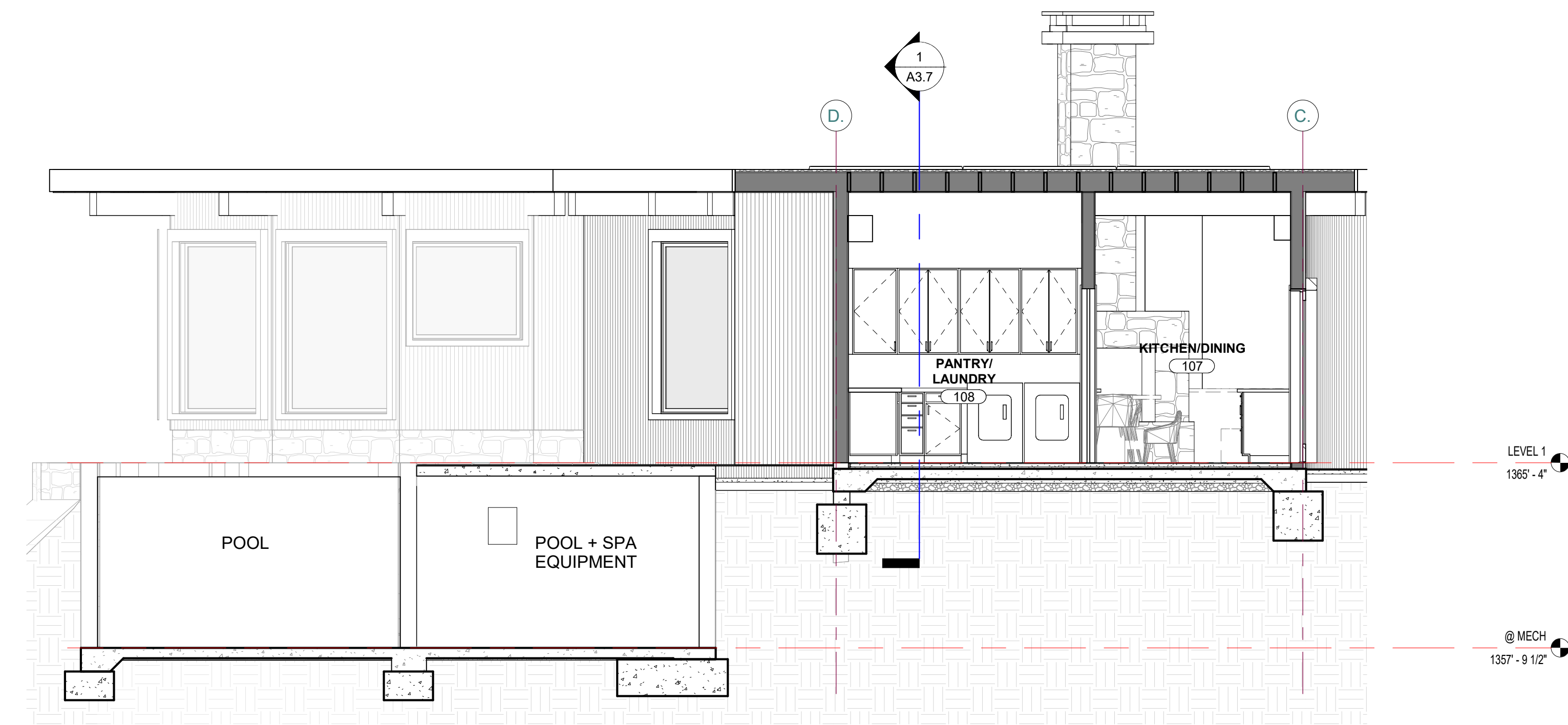
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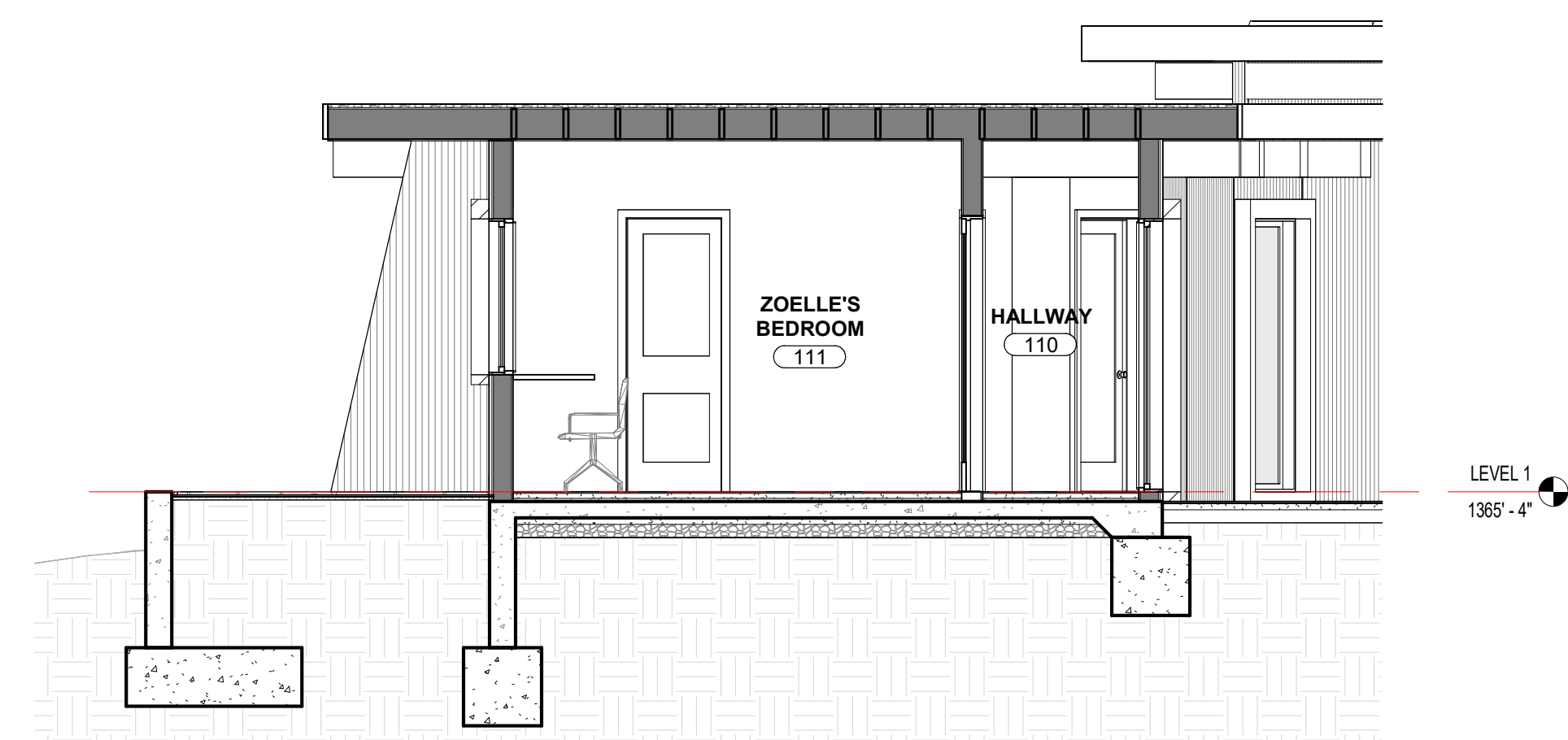
1 SECTION @ GARAGE
1/4" = 1'-0"



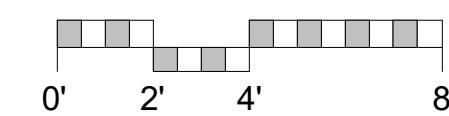
2 SECTION @ BATH 3
1/4" = 1'-0"



3 SECTION @ PANTRY/LAUNDRY
1/4" = 1'-0"



4 SECTION @ ZOELLE'S ROOM
1/4" = 1'-0"



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BUILDING
SECTIONS

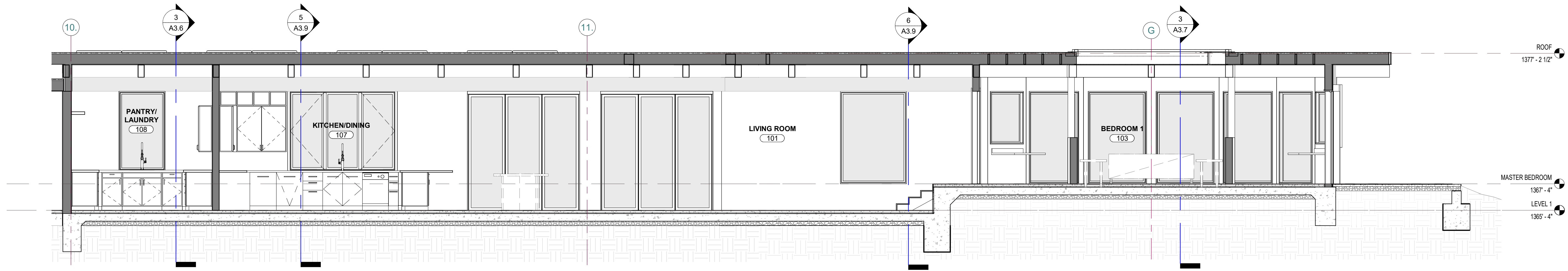
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Drawn By: DPIJP
Job: 2102

A3.6

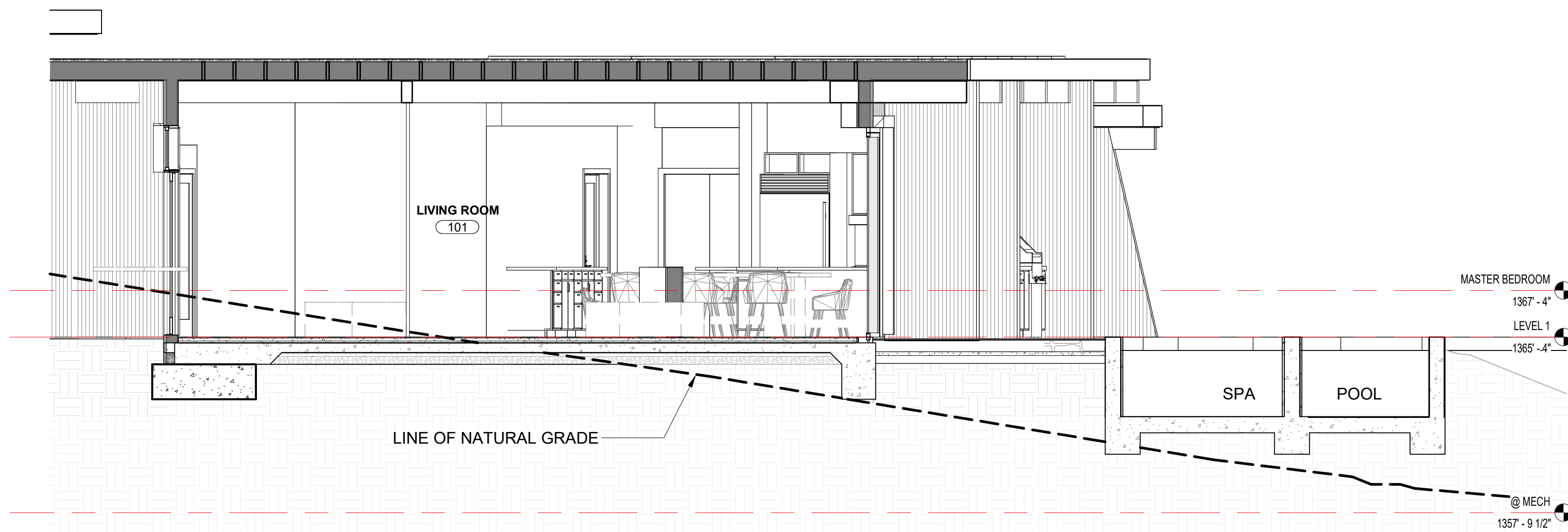
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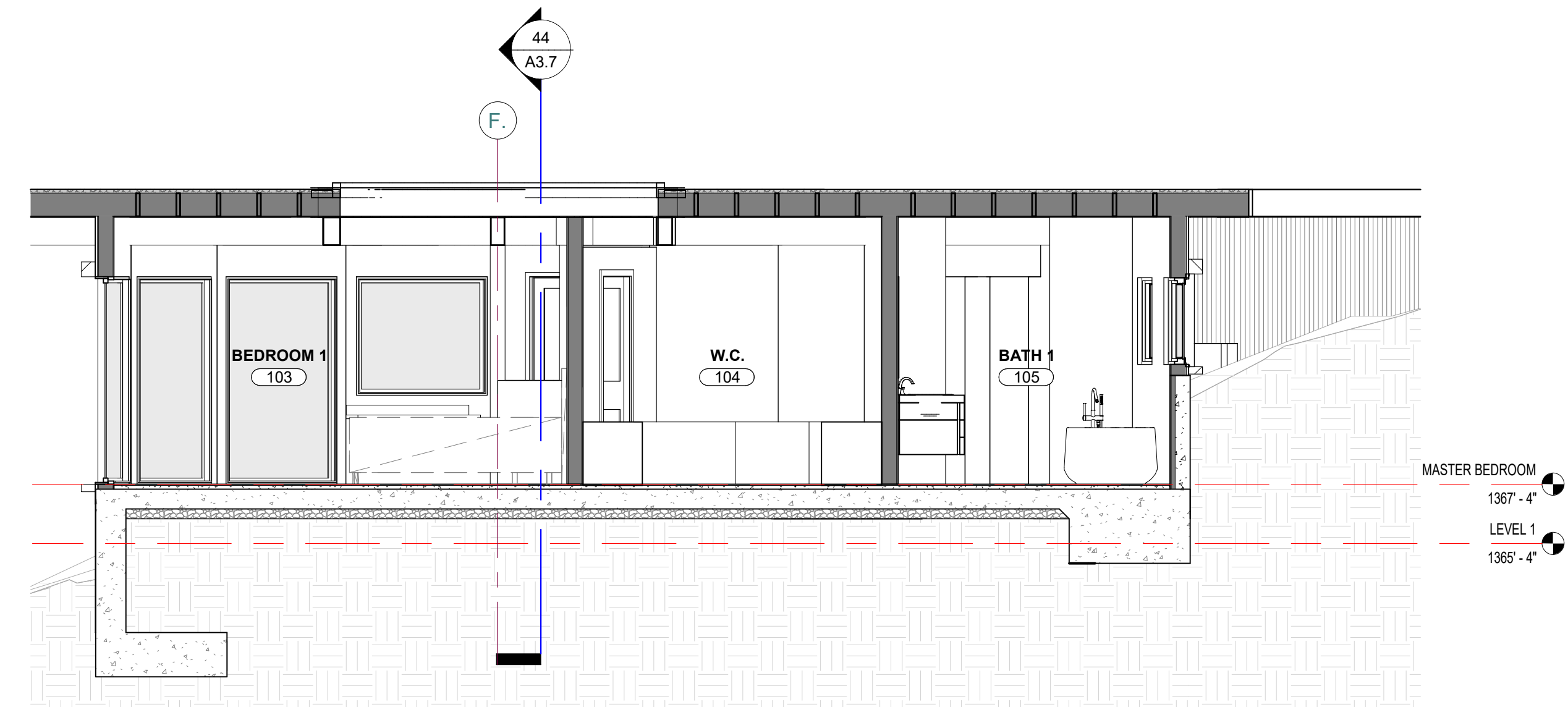
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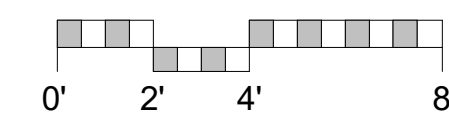
1 MAIN HOUSE - SECTION
1/4" = 1'-0"



2 GREAT ROOM - SECTION
1/4" = 1'-0"

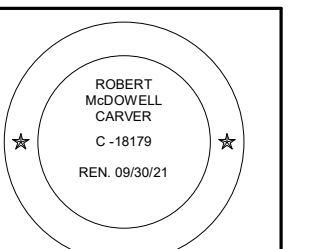


3 MASTER BEDROOM - SECTION
1/4" = 1'-0"



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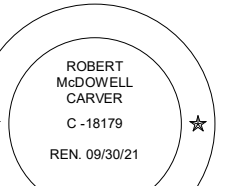
Scale: @ 24x36
Drawn By: DPI/JP
Job: 2102

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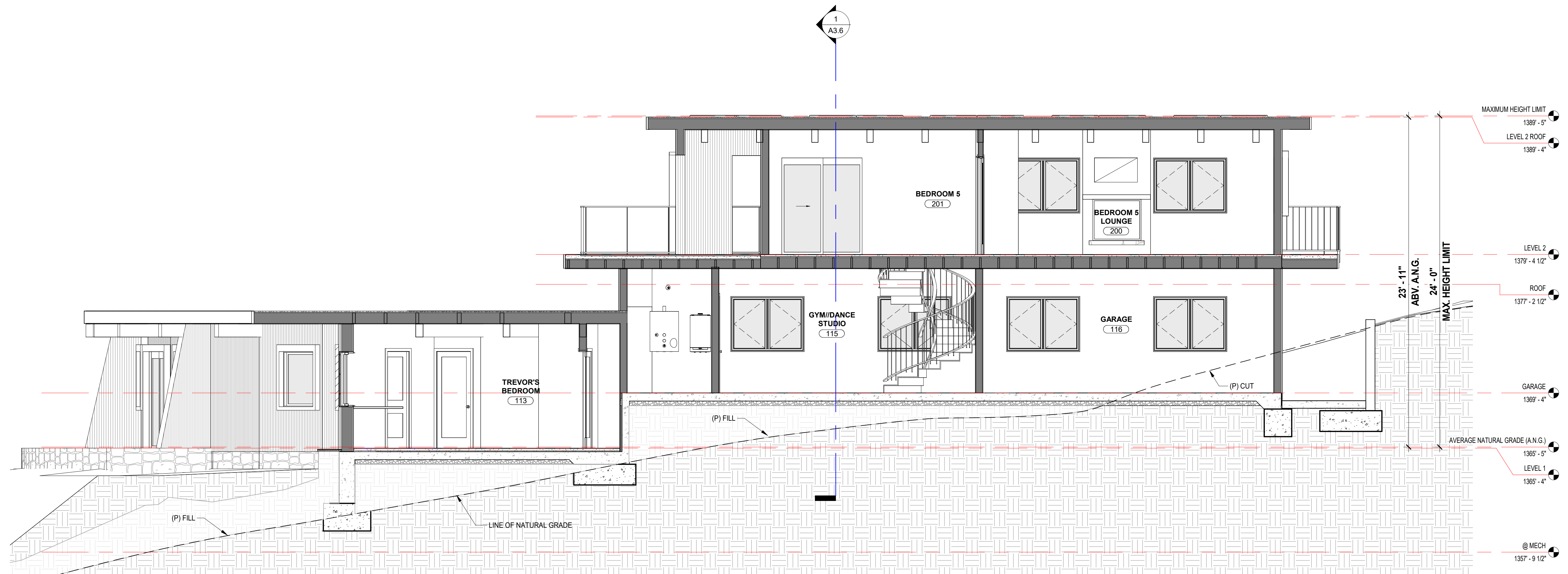
ARCHITECTURAL
BUILDING
SECTIONS

Scale: @ 24x36
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A3.8

03/07/2023

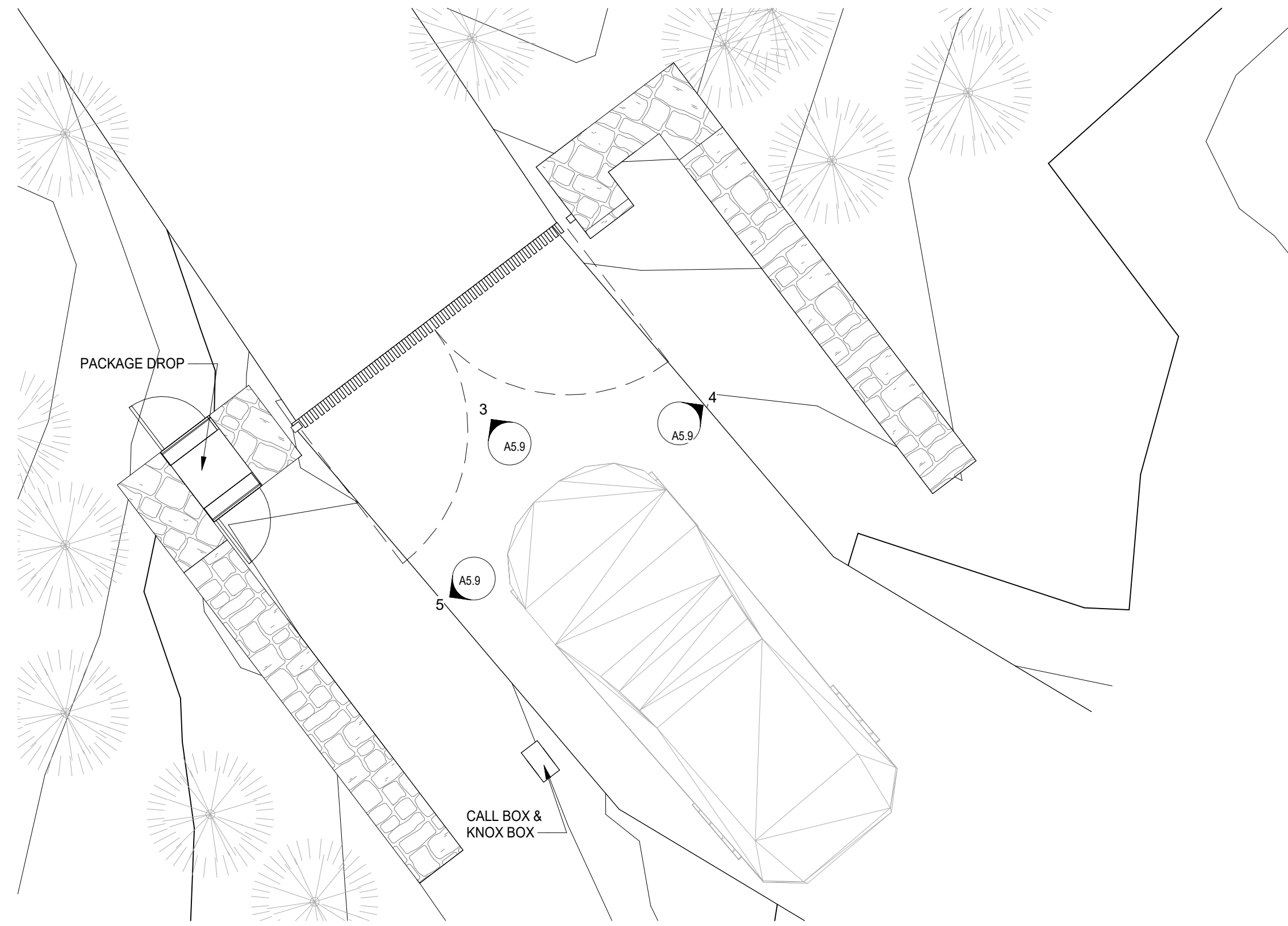
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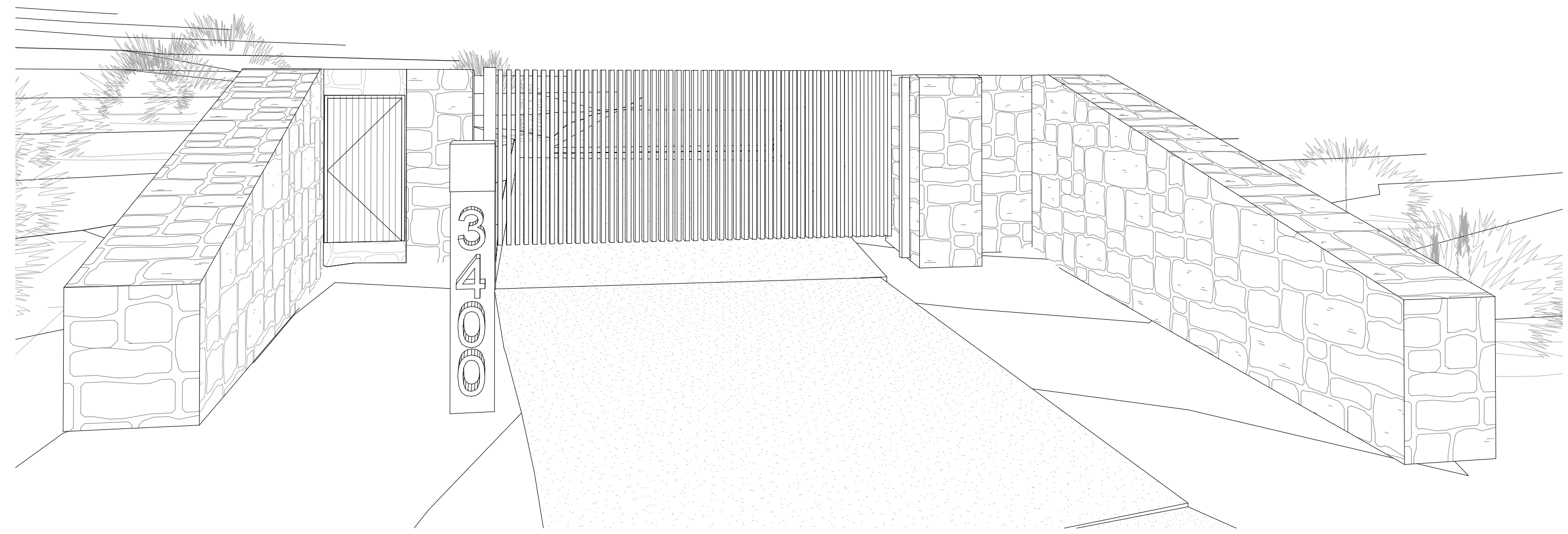
1 GRADING CROSS SECTION - MAIN RESIDENCE
1/4" = 1'-0"

0' 2' 4' 8'
NOT FOR CONSTRUCTION

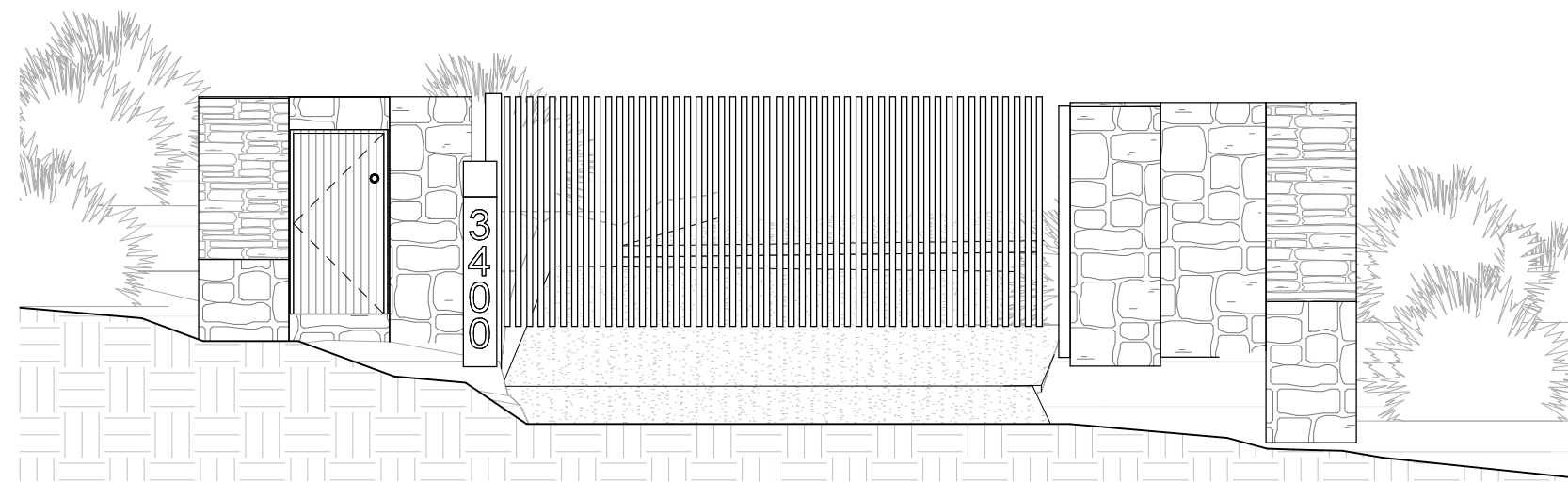
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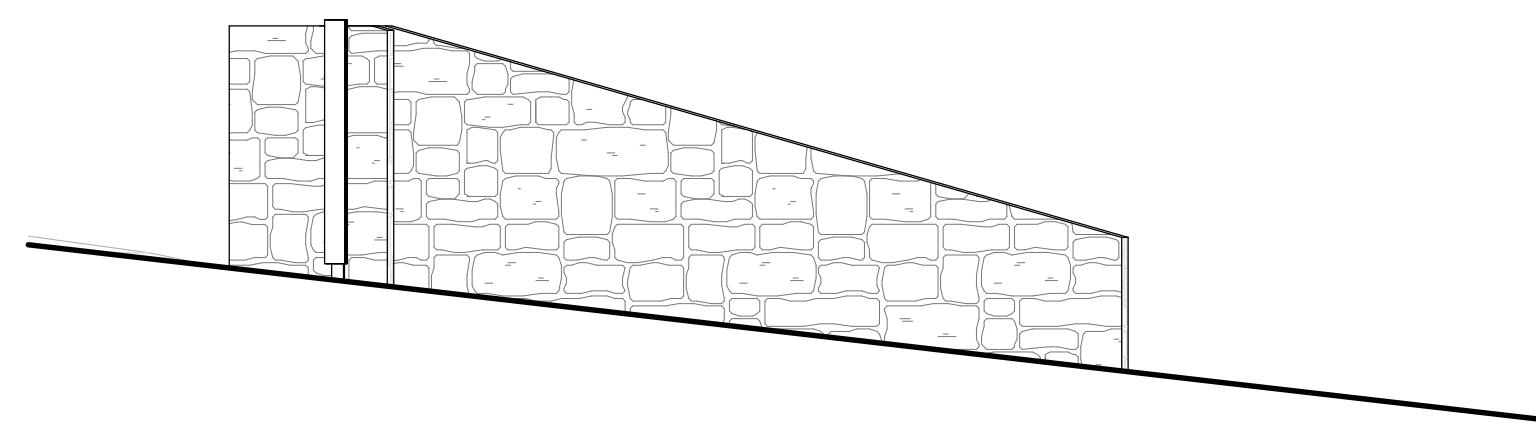
1 GATE - SITE PLAN
1/4" = 1'-0"



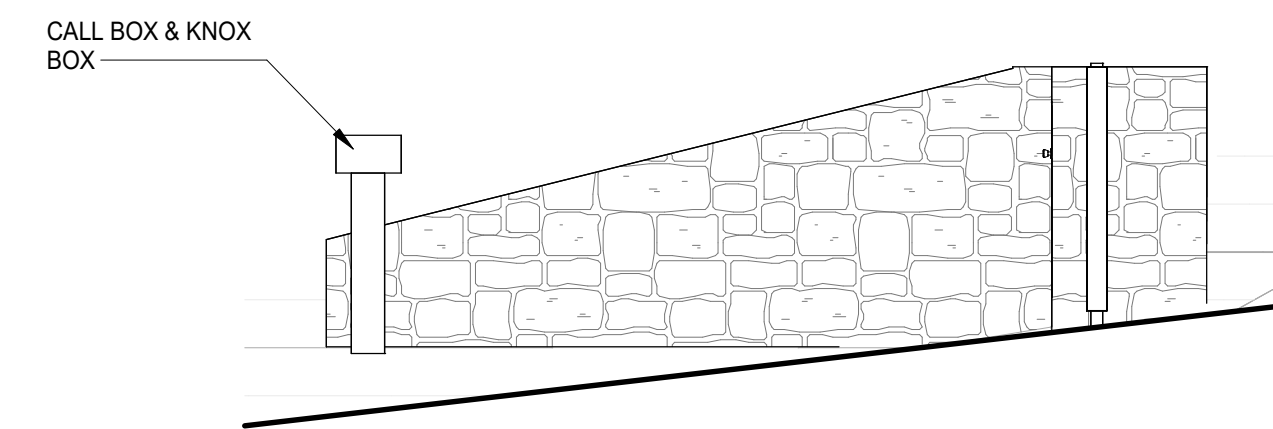
2 GATE 3D VIEW



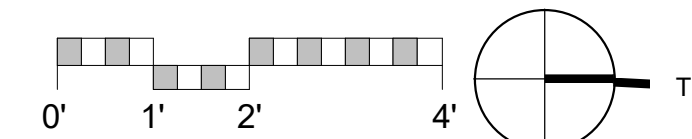
3 GATE WEST ELEVATION
1/4" = 1'-0"



4 GATE NORTH ELEVATION
1/4" = 1'-0"

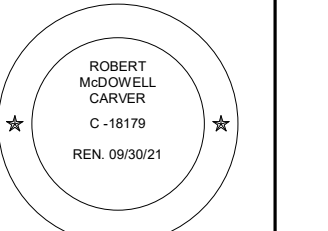


5 GATE EAST ELEVATION
1/4" = 1'-0"



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ARCHITECTURAL
ENLARGED GATE
- PLANS &
ELEVATIONS

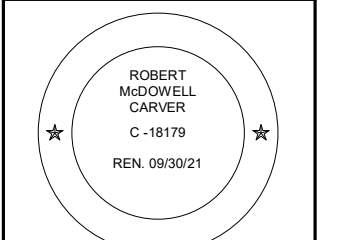
Scale: @ 24x36
Drawn By: DPI/JP
Job: 2102

A5.9

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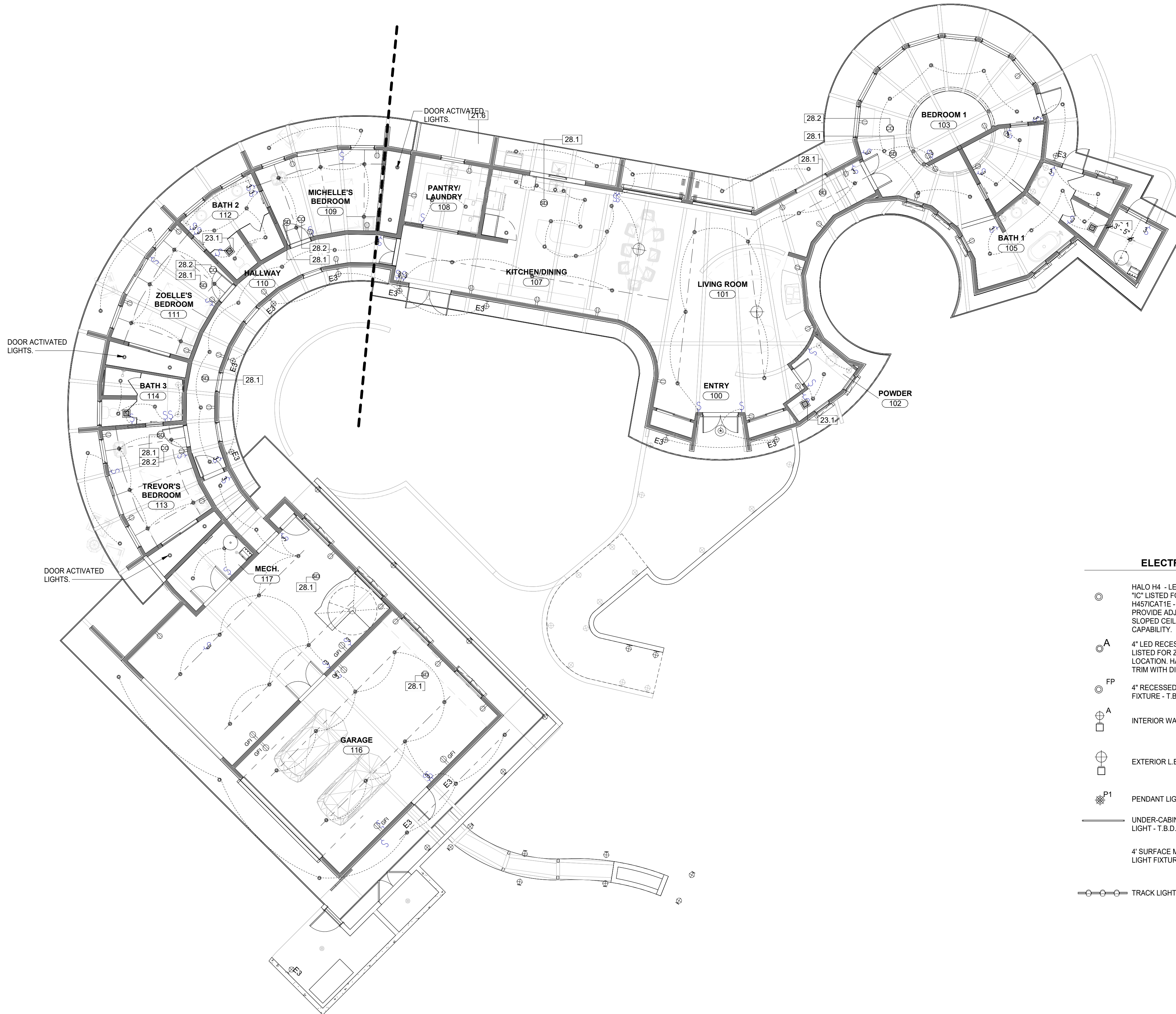
**ARCHITECTURAL
MAIN RESIDENCE
- RCP &
EXTERIOR LIGHTING**

Scale: @ 24x36
Drawn By: DPIJP
Job: 2102

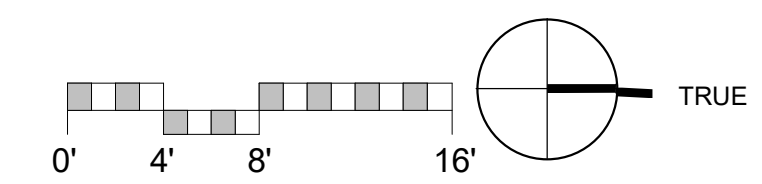
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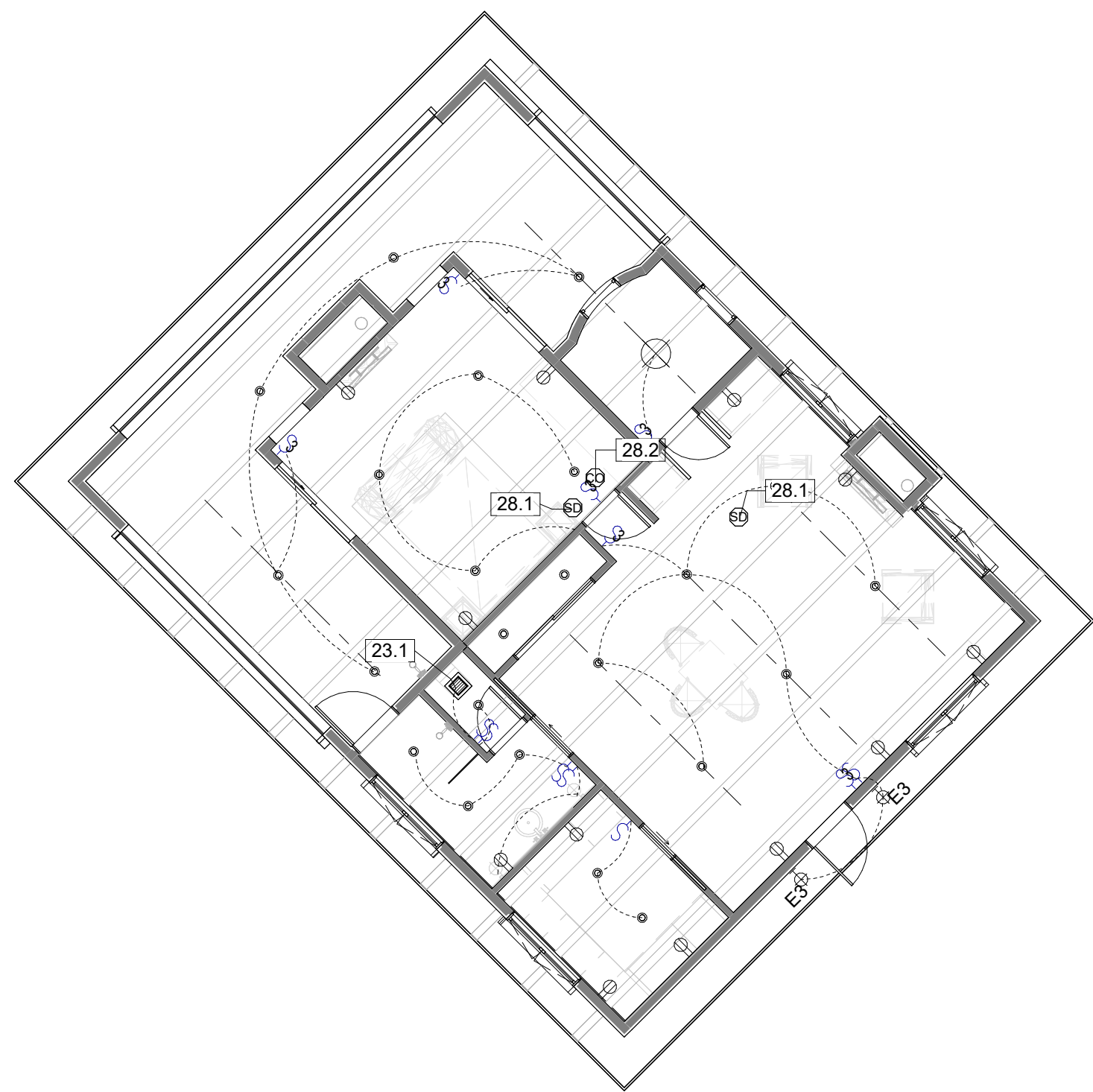
ELECTRICAL & LIGHTING PLAN SYMBOL LEGEND			
⊙	HALO H4 - LED RECESSED LIGHT FIXTURE "1C" LISTED FOR ZERO CLEARANCE H457/CATIE - EL640930/WH - TL410/WH PROVIDE ADJUSTABLE GIMBLE ROUND (AT SLOPED CEILINGS) -WITH DIMMING	⊞	SINGLE SWITCH
⊙A	4" LED RECESSED LIGHT FIXTURE "1C" LISTED FOR ZERO CLEARANCE AND WET LOCATION. HALO H4 ROUND WITH TL422PS TRIM WITH DIMMING CAPABILITY.	⊞3	DIMMER SWITCH
⊙FP	4" RECESSED FRAMING PROJECTOR LIGHT FIXTURE - T.B.D.	⊞3-D	3 WAY SWITCH
⊙A	INTERIOR WALL SCONCE - T.B.D.	⊞3-D	3 WAY DIMMER SWITCH
⊙	EXTERIOR L.E.D. WALL SCONCE - T.B.D.	⊞	TAMPER RESISTANT DUPLEX OUTLET
⊙P1	PENDANT LIGHT - T.B.D.	⊞GFI	GROUND FAULT CIRCUIT INTERRUPT OUTLET / TAMPER RESISTANT
—	UNDER-CABINET / OVERHEAD L.E.D. STRIP LIGHT - T.B.D.	⊞WP	WATER PROOF EXTERIOR OUTLET / TAMPER RESISTANT
—	4' SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE	⊞	SWITCHED OUTLET / TAMPER RESISTANT
—	TRACK LIGHT - T.B.D.	⊞	DEDICATED OUTLET -VERIFY W/ EQUIP. MFG. TAMPER RESISTANT
		⊞	FLOOR OUTLET / TAMPER RESISTANT
		⊞	DUAL CATSE / TELEPHONE JACK
		⊞TV	CABLE TV JACK
		⊞EF-1	EXHAUST FAN "NUTONE" - ULTRA GREEN SERIES - WITH OCCUPANCY AND HUMIDITY SENSOR. ENERGY STAR RATED.
		⊞	SMOKE DETECTOR - HARD WIRED
		⊞	CARBON MONOXIDE DETECTOR



1 LEVEL 1 - RCP & EXTERIOR LIGHTING
1/8" = 1'-0"

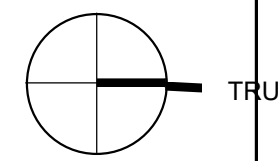
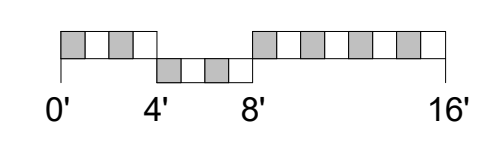
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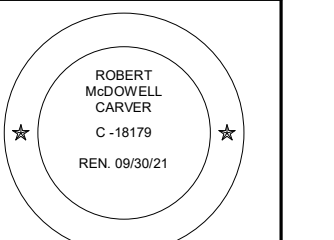
ELECTRICAL & LIGHTING PLAN SYMBOL LEGEND			
	HALO H4 - LED RECESSED LIGHT FIXTURE "IC" LISTED FOR ZERO CLEARANCE. H457/CAT1E - ELG408930WH - TL410WH. PROVIDE ADJUSTABLE GIMBLE ROUND (AT SLOPED CEILINGS) - WITH DIMMING CAPABILITY.		SINGLE SWITCH
	4" LED RECESSED LIGHT FIXTURE "IC" LISTED FOR ZERO CLEARANCE AND WET LOCATION. HALO H4 ROUND WITH TL422PS TRIM WITH DIMMING CAPABILITY.		DIMMER SWITCH
	4" RECESSED FRAMING PROJECTOR LIGHT FIXTURE - T.B.D.		3 WAY SWITCH
	INTERIOR WALL SCONCE - T.B.D.		3 WAY DIMMER SWITCH
	EXTERIOR L.E.D. WALL SCONCE - T.B.D.		TAMPER RESISTANT DUPLEX OUTLET
	PENDANT LIGHT - T.B.D.		GROUND FAULT CIRCUIT INTERRUPTER OUTLET / TAMPER RESISTANT
	UNDER-CABINET / OVERHEAD L.E.D. STRIP LIGHT - T.B.D.		WATER PROOF EXTERIOR OUTLET / TAMPER RESISTANT
	4' SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE		SWITCHED OUTLET / TAMPER RESISTANT
	TRACK LIGHT - T.B.D.		DEDICATED OUTLET - VERIFY W/ EQUIP. MFG. TAMPER RESISTANT
			FLOOR OUTLET / TAMPER RESISTANT
			DUAL CAT5E / TELEPHONE JACK
			CABLE TV JACK
			EXHAUST FAN "NUTONE - ULTRA GREEN SERIES - WITH OCCUPANCY AND HUMIDITY SENSOR. ENERGY STAR RATED.
			SMOKE DETECTOR - HARD WIRED
			CARBON MONOXIDE DETECTOR

1 LEVEL 2
1/8" = 1'-0"



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BIG SUR
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TRUST**
3400 RED WOLF DRIVE,
CARMEL, CA 93923



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△ REVISION #

**ARCHITECTURAL
LEVEL 2 - RCP**

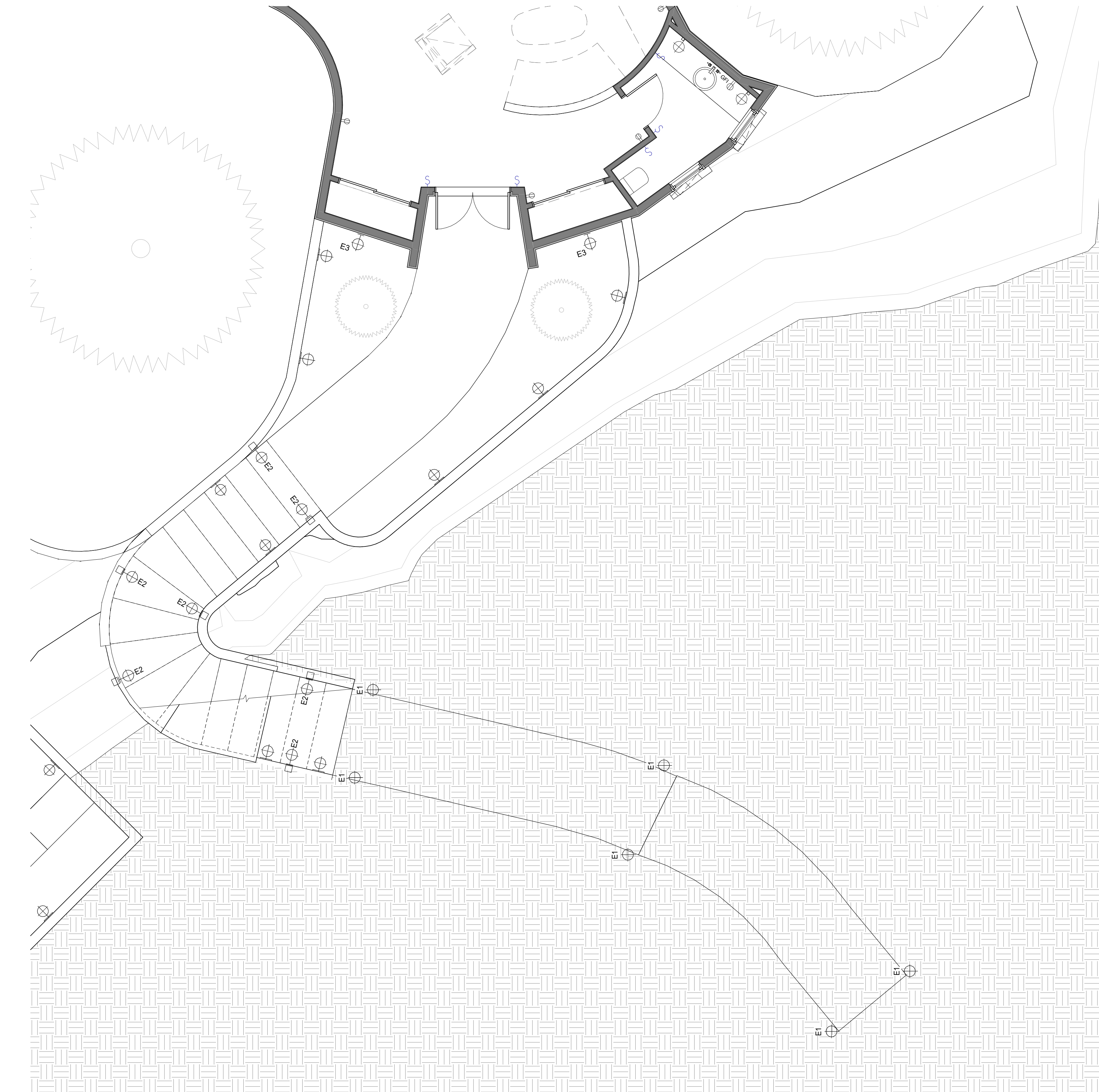
Scale: @ 24x36
Drawn By: DPI/JP
Job: 2102

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03/07/2023

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1 LEVEL 1 - EXTERIOR LIGHTING PLAN
1/4" = 1'-0"

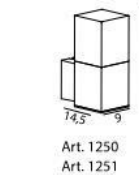
ARENDA



ARENDA Aluminum powder coated wall light. Supplied with tempered glass, frosted rock.

Art	Watt	Type of light source	Lumens Flux	Colour temperature	L70/B50	Light control
1250	-	E14	-	-	-	-
1251	40W	LED	330lm	3000K	50 000h	On/off

*2700K/4000K available by request, contact your supplier.



HALMSTAD



Art	Watt	Dim	Beam angle	Height	Material	Finish	Light control
1252	10W	-	60°	1.2m	Aluminum	Black	On/off
1253	10W	-	60°	1.2m	Aluminum	Black	On/off
1254	10W	-	60°	1.2m	Aluminum	Black	On/off
1255	10W	-	60°	1.2m	Aluminum	Black	On/off
1256	10W	-	60°	1.2m	Aluminum	Black	On/off
1257	10W	-	60°	1.2m	Aluminum	Black	On/off
1258	10W	-	60°	1.2m	Aluminum	Black	On/off
1259	10W	-	60°	1.2m	Aluminum	Black	On/off
1260	10W	-	60°	1.2m	Aluminum	Black	On/off

SKILL WOOD



SKILL WOOD Information sheet Page 1 of 2

Skill is a unique LED luminaire, assuring high lighting performance and total absence of glare. The most modern electronic technology is contained in the thickness of only 3 cm and provides an excellent quality of light while saving energy.

Luminaire characteristics: Power input: 4.7W to 13.5W (system wattage)
Lumens: 132lm to 378lm (for 3000K, 90CRI)
Luminaire efficiency: 30 to 28lm/W

Source: LED module (LM-79 tested)
2700K, 90CRI;
3000K, 90CRI;
4000K, 90CRI;
80% of initial lumens at 70 000 hours(L80) (LM79)

Lumen maintenance: 80% of initial lumens at 70 000 hours(L80) (LM79)

Optics: Acoust light.

Material: Rody, Die-cast aluminum and oiled oak wood.
Diffuser: Tempered glass.

Mounting: See mounting options on page 3.

Electrical: High efficiency electronic power supply, rated at 50 000 hours, 120-277V. See remote LED driver options on page 3.

Dimming: 0-10V down to 15% (120-277V), see page 7 for available remote options.

Finish: White or Rousmeil bronze painted finish following a double powder paint in 3 step process: surface treatment containing ceramic nano particles (Bonderite), Epoxy primer paint, Polyester powder paint with high resistance against UV rays and harsh weather conditions.

Weight: Max: 8 vertical: 1.23kg (0.55kg)
Skill Square: 3.35kg (1.5kg)
Skill rectangular: 3.37kg (1.5kg)

Warranty: 5 year limited warranty.

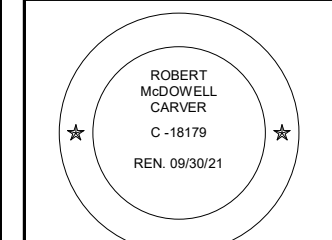
Rating: IP65, IK08

Certification: CE, RoHS, REACH, eUL listed for wet location

EXTERIOR LIGHTING FIXTURES

- E1 ⊕ EXTERIOR LED GROUND MOUNTED LIGHT
QUANTITY = 6
- E2 ⊕ EXTERIOR SURFACE MOUNTED STEP LIGHT
QUANTITY = 7
- E3 ⊕ EXTERIOR WALL SCONCE QUANTITY = 2

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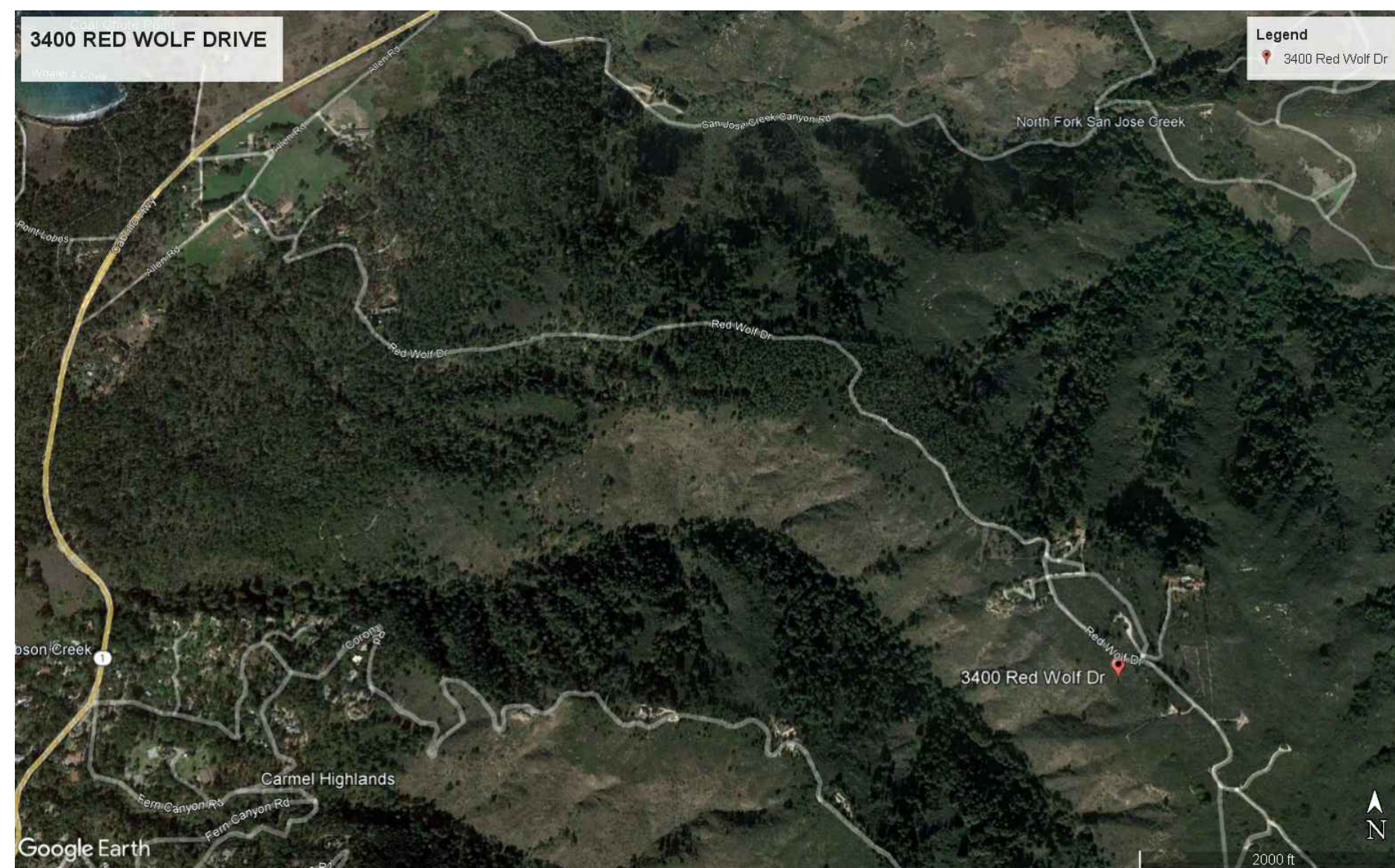
△ REVISION #

**ARCHITECTURAL
EXTERIOR
LIGHTING PLAN**

Scale: @ 24x36
Drawn By: DP/JP
Job: 2102

L1.0
03/07/2023

NOT FOR CONSTRUCTION



VICINITY MAP

NOT TO SCALE

LEGEND:

- 400 — (E) MAJOR CONTOUR (5' INTERVAL)
- (E) MINOR CONTOUR (1' INTERVAL)
- - - - - PROPERTY LINE
- D.V. • DIVERSION VALVE
- D.B. • DISTRIBUTION BOX
- C.O. • CLEAN OUT
- ⊕ P-3 • PERCOLATION TEST BORING

PROJECT INFORMATION

PROPERTY OWNER: CHARTIER
 34500 RED WOLF DRIVE
 CARMEL, CA 93923

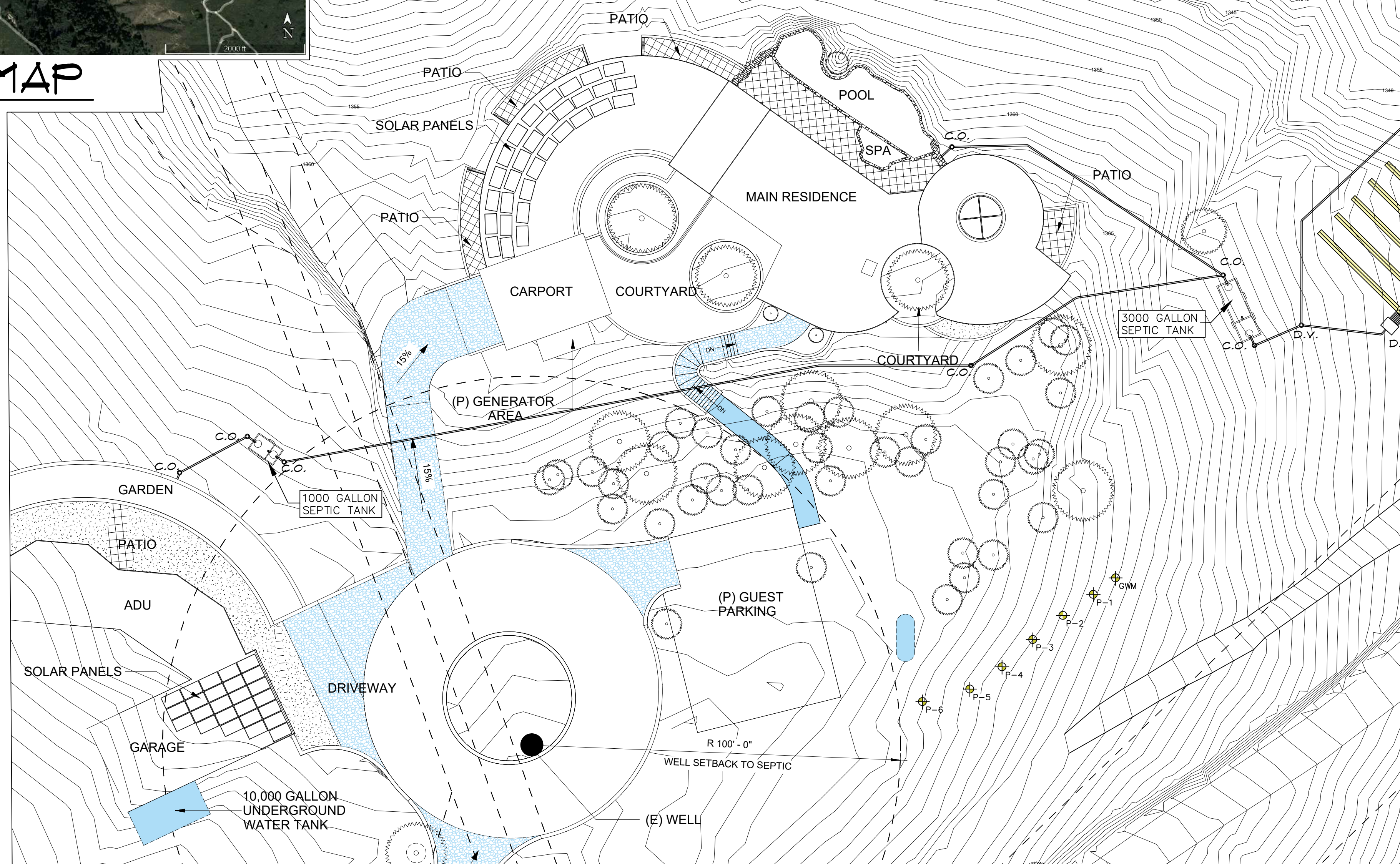
JURISDICTION: COUNTY OF MONTEREY

ASSESSORS PARCEL NO: 416-011-007-000

DESCRIPTION: 3400 RED WOLF DRIVE, CARMEL, CA

BASIS OF SEPTIC DESIGN:

- THE SEPTIC SYSTEM IS DESIGNED TO COMPLY WITH THE MONTEREY COUNTY LAMP FOR OWTs, (MAY 2018).
- THE SYSTEM IS SIZED FOR A 4-BEDROOM RESIDENCE AND A 1-BEDROOM ACCESSORY DWELLING UNIT PLUS A GUEST ROOM. THE AVERAGE DAILY FLOW IS 750 GALLONS. THE SEPTIC TANK SHALL BE 3000 GALLONS (ROOM FOR A GARBAGE GRINDER).
- PER THE SITE PERCOLATION INVESTIGATION REPORT BY SOIL SURVEYS GROUP, INC., DATED NOVEMBER 19, 2021, JOB #7915, THE PERCOLATION RATES AVERAGE FOR BORINGS P-1 AND P-2 IS 33.34 MINUTES PER INCH. THE DESIGN IS BASED ON THE ACTUAL RATE OF P-1 OF 50 MINUTES PER INCH. (CONSERVATIVE).
- PER TABLE 5-4, SOIL APPLICATION RATES (AS DETERMINED FROM STANDARDIZED PERCOLATION RATES), THE MAXIMUM SOIL APPLICATION RATE IS 0.3 GALLONS PER DAY PER SQUARE FOOT.
- THE ESTIMATED DAILY WASTEWATER GENERATION 750 GALLONS $750 / 0.3 = 2500 \text{ SF}$. $2500 / 4 \text{ SF/LF} = 625 \text{ LF}$
 PRIMARY FIELD: $4 \times 630 (10 \times 63) = 2520 \text{ SF} > 2500 \text{ SF REQ}$
 SECONDARY FIELD: $4 \times 640 (8 \times 80) = 2560 \text{ SF} > 2560 \text{ SF REQ}$
- THE LEACH FIELDS SHALL NOT BE COVERED BY AN IMPERMEABLE SURFACE, SUCH AS PAVING, CONCRETE SLABS, PLASTIC SHEETING OR ANY OTHER MATERIAL THAT PREVENTS OXYGEN TRANSFER TO THE SOIL UNLESS SUPPLEMENTAL TREATMENT IS INCORPORATED INTO THE SEPTIC SYSTEM.
- TO FACILITATE FUTURE INSPECTIONS OF THE LEACH FIELDS, TRACER WIRE SHALL BE LAID ALONG THE LENGTH OF THE DISTRIBUTION PIPE AND INSPECTION PORTS ARE TO BE INSTALLED AT THE END OF EACH TRENCH.
- THE LEACH FIELDS SHALL NOT BE DEEPER THAN TEN FEET.
- THE SEPTIC TANK SHALL BE WATER TIGHT AND CONSTRUCTED OF DURABLE, CORROSION RESISTANT MATERIALS AND MUST CONFORM TO IAPMO, NSF OR ASTM STANDARDS. THE TANK SHALL BE INSTALLED NO DEEPER THAN SIX INCHES BELOW FINISH GRADE UNLESS FITTED WITH WATERTIGHT RISERS. THE OWNERS SHALL MAINTAIN ACCESS OPENINGS SO THAT THE TANK IS READILY ACCESSIBLE FOR OBSERVATIONS, MAINTENANCE AND PUMPING.



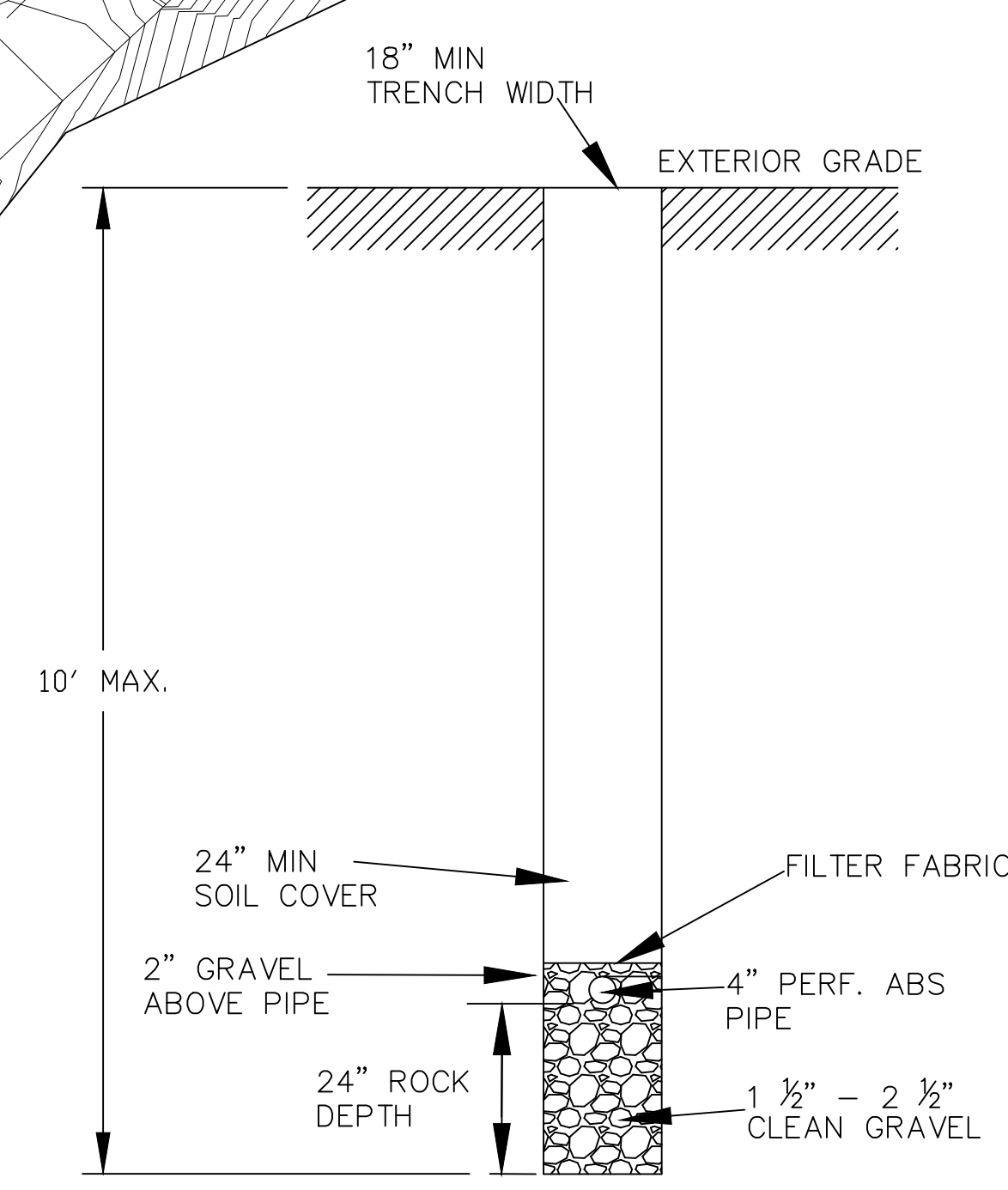
SEPTIC PLAN

SCALE: 1" = 20' 0"

FUTURE BACKUP REPAIR AREA
 TERTIARY FIELD - TOTAL LENGTH 640 LINEAL FEET MAX. DEPTH IS 10 FEET. 2 FEET EFFECTIVE DEPTH OF ROCK - EACH TRENCH IS 80 FEET LONG (8 TRENCHES)
 NOT TO BE INSTALLED - FUTURE

SECONDARY FIELD - TOTAL LENGTH 640 LINEAL FEET MAX. DEPTH IS 10 FEET. 2 FEET EFFECTIVE DEPTH OF ROCK - EACH TRENCH IS 80 FEET LONG (8 TRENCHES)

PRIMARY FIELD - TOTAL LENGTH 630 LINEAL FEET MAX. DEPTH IS 10 FEET. 2 FEET EFFECTIVE DEPTH OF ROCK - EACH TRENCH IS 63 FEET LONG (10 TRENCHES)



LEACH FIELD DETAIL

SEPTIC NOTES:

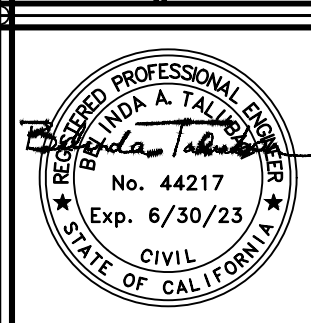
- THE ON-SITE WASTEWATER TREATMENT SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THE MONTEREY COUNTY LAMP FOR OWTs FOR NEW CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL THE PRIMARY AND SECONDARY LEACH FIELDS, DIVERTER VALVES, DISTRIBUTION BOXES, ETC. AT THE INITIAL INSTALLATION OF THE SEPTIC SYSTEM.
- THE INSTALLATION OF THE SEPTIC TANK AND LEACH FIELDS SHALL BE INSPECTED AND APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENTS PRIOR TO COVERING OR PLACEMENT OF THE DRAIN ROCK.
- THE SEPTIC TANK SHALL BE EQUIPPED WITH AN EFFLUENT FILTER.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. UNDERGROUND UTILITY LOCATIONS SHOULD BE OBTAINED FROM THE LOCAL UTILITY COMPANIES, PUBLIC OR PRIVATE AND/OR PROPERTY OWNERS.

GENERAL / GRADING NOTES

- SURFACE WATER WILL DRAIN AWAY FROM EACH STRUCTURE ON THE LOT.
- INSTALL SEDIMENT LOGS AROUND CONSTRUCTION AREA TO KEEP DEBRIS ON PROPERTY.
- PLACE GRAVEL BAGS AROUND NEARBY, DOWN-STREAM OF STORM INLET(S) DURING CONSTRUCTION.
- DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN THE COUNTY RIGHT-OF-WAY (STREET/SIDEWALK) FREE FROM DEBRIS AND DIRT.
- ALL GRADING SHALL COMPLY WITH THE COUNTY OF MONTEREY GRADING ORDINANCE.

REVISIONS

TALUBAN ENGINEERING, INC.
 taluban@bcglibal.net
 103 CHURCH STREET
 SALINAS, CALIFORNIA 93901
 P.O. BOX 292, SALINAS, CALIFORNIA, 93902



SEPTIC SYSTEM SITE PLAN

CHARTIER
 3400 RED WOLF DRIVE
 CARMEL, CA 93923

DATE: 11.20.21
 SCALE: AS SHOWN
 DRAWN: BT
 JOB: 7915-S
 APN: 416-011-007-000
 SHEET
 SW.1
 OF SHEETS