Exhibit A

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EXHIBIT A
DRAFT RESOLUTION

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:
ROSENBERG STEVEN DANIEL & IBANESCU BRENDA MARLEN (PLN220130)

RESOLUTION NO. ----
Resolution by the Monterey County Planning Commission:

1) Considering an Addendum together with a previously certified EIR for the Santa Lucia Preserve Subdivision (EIR No. 94-005/Resolution No. 96-059) pursuant to CEQA Guidelines Section 15164; and
2) Approving a Combined Development Permit consisting of: 1) An Administrative Permit & Design Approval to allow construction of a 4,678 square foot single family dwelling, 999 square foot detached garage, 1,188 square foot accessory dwelling unit, a 544 square foot detached office and associated site improvements including a pool, fire pit, covered porches and landscaping; and 2) A Use Permit to allow the removal of 5 Coast Live Oak trees. Colors and materials consist of medium and dark brown brick for the exterior walls of the structures, stained wood windows and doors, bronze metal railings, ballast rock flat roof and Tesla solar roof tiles.

[PLN220130, Rosenberg Steven Daniel & Ibanescu Brenda Marlen 33 Potrero Trail, Carmel, Greater Monterey Peninsula Area Plan (APN: 239-111-013-000)]

Rosenberg Steven Daniel & Ibanescu Brenda Marlen application (PLN220130) came on for hearing before the Monterey County Planning Commission on February 22, 2023. Having considered all the written and documentary evidence, the administrative record, the staff report, written testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 2010 Monterey County General Plan;
- Greater Monterey Peninsula Area Plan;
- Monterey County Zoning Ordinance (Title 21);
- Resolution 96-060, Santa Lucia Preserve (SLP) Final Environmental Impact Report #94-005, SLP Subdivision Forest Management Plan

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

b) Project Scope. The project is the construction of a single-family dwelling, accessory dwelling unit, accessory structures, and associated site improvements on an undeveloped lot in the Santa Lucia Preserve:

- The single-family dwelling is one story with a basement, totaling 4,678 square feet.
- The accessory dwelling unit (ADU) is 1,188 square feet.
- The accessory structures include a 544 square foot office and a 999 square foot detached garage.
- 5 protected oaks trees are proposed for removal, one of which is a landmark tree. These trees are in the proposed driveway area.
- A new septic system with a leach field is proposed to support the development and the property will receive potable water from Santa Lucia Preserve Community Services District (CSD).
- Other site improvements consist of a paved driveway with two parking spots and a fire truck turnaround, three covered porches, one covered patio, a pool, a fire pit, stone paved walkways, tree planting and landscaping.

c) Allowed Use. The property is located at 33 Potrero Trail, Carmel (APN: 239-111-013-000), in the Greater Monterey Peninsula Area Plan. The parcel is zoned Resource Conservation with a density of 1 unit per 40 acres with Design Control and Site Plan Review overlay zones or "RC/40-D-S", which allows one single-family dwelling (Title 21 Section 21.36.030.A), accessory dwelling units (Title 21 Section 21.64.030.C), accessory structures and uses (Title 21 Section 21.36.030.E), and removal of more than three protected trees pursuant to a Use permit (section 21.64.260.D.3). Therefore, the project is an allowed land use for this site.

d) Site Inspection. The project planner conducted a site inspection on July 6, 2022, to verify that the project on the subject parcel conforms to the plans listed above.

e) Lot Legality. The property is shown in its current configuration as lot 199 in Volume 21 Cities & Towns, Pg 20 (Tract No. 1353, Santa Lucia Preserve Phase C) on sheet 10 of 30. Therefore, the County recognizes the property as a legal lot of record.

f) Design/Neighborhood and Community Character. The property is subject to the Design Control "D" overlay zoning district regulations, which requires design review of proposed development to assure protection of the public viewshed and neighborhood character. Consistent with Title 21, Chapter 21.44, a Design Approval Application

was submitted. Colors and materials consist of medium-brown brick cladding for the exterior siding of the main dwelling, the ADU, and the office. The siding for the garage and the chimney on the main dwelling will be made up of dark brown stacked brick. The exterior framing, trim and trellises will be made from stained natural wood. Bronze metal railings will surround the covered porches that extend off the main dwelling and the office. The main dwelling, the office and the ADU will have Tesla Solar roof tiles, the garage will have a flat, green roof covered with native plant species. The proposed design blends well with the setting and is consistent with other development in the area.

g) Site Plan Review. The property is subject to the Site Plan Review "S" overlay zoning district, which provides regulations for development, which by reason of its location, has the potential to adversely affect or be adversely affected by natural resources or site constraints. A site plan was included in the application and an Administrative permit has been processed pursuant to these regulations. The project is proposed within a designated "homeland" boundary. Homeland boundaries were established in the original SLP Plan to protect resources on the property by directing development to less sensitive areas of the property. An archeological report was completed as part of the environmental impact report when the Santa Lucia Preserve subdivision was created; this parcel did not have any archeological recourses identified on the property. A fuel management plan was included in the application which included measures to maintain vegetation surrounding the development area to reduce fire hazards. A geotechnical report was prepared for the project which analyzed the soil conditions of the site and determined it was suitable for development of the proposed project. Pursuant to section 16.08.110 of the Monterey County Code, all recommendations made in the geotechnical report will be incorporated in the final grading plans and specification.

h) Development Standards. Development standards for the Resource Conservation zoning district can be found in Title 21 Section 21.36.060. The proposed development is consistent with applicable development standards. All structures are within the homeland boundary (building envelope) established by the recorded final map. The proposed project has been designed to completely avoid development on slopes in excess of 30%. The structures far exceed the setbacks between structures with over 35 feet between each structure. The maximum allowed site coverage for RC/40 zoning is 25% (74,052 square feet); the proposed site coverage is 1.83% (5,437 square feet). The maximum height allowed for main structures in RC zoning districts is 30 feet, the proposed height for the main dwelling is 13 feet and 9 inches above the average natural grade. The maximum allowed height for accessory structures is 35 feet, the proposed garage is mostly underground and measures 2 feet and 3 inches above the average natural grade, and the proposed office will stand at 11 feet and 2 inches. Pursuant to section 21.64.030.E.5 of Title 21, the maximum allowed height for an ADU is 16 feet, the proposed ADU height is 15 feet from the average natural grade (See Finding 5).

i) Tree Removal. Five Coast Live Oak trees are proposed for removal. One oak tree is considered a landmark tree due to its diameter. A Use Permit is required for the removal of more than 3 protected trees. To grant a Use Permit, a finding must be made that the tree removal is the minimum required under the circumstances and will not involve risk of adverse environmental impact. Given the circumstances of this case, the project has been appropriately sited and designed to minimize tree removal and the removal will not involve adverse environmental impacts (See Finding 6 with supporting evidence).

j) Land Use Advisory Committee. The project was not referred to a Land Use Advisory Committee (LUAC) for review. The property is within the Santa Lucia Preserve which is a special treatment area that does not have a LUAC.

k) The application, project plans, staking & flagging photos and related support materials submitted by the project applicant to Monterey County HCD- Planning for the proposed development found in Project File PLN220130.

2. **FINDING:** **SITE SUITABILITY –** The site is physically suitable for the use proposed.

EVIDENCE:

a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, Monterey County Regional Fire Protection District, HCD-Environmental Services and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

b) Staff identified potential impacts to soil/slope stability and protected trees. The following reports have been prepared:
   - "Geotechnical Investigation" (LIB220184) prepared by Robert Hasseler, Watsonville, California, June 7th, 2022.
   - "Arborist Report" (LIB220183) prepared by Chris Stewart, Los Gatos, California, February 21th 2022.
   - "Percolation Testing Report" (LIB220322) prepared by Robert Hasseler, Watsonville, California, September 2nd, 2022.

   The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

c) Staff conducted a site inspection on July 6th, 2022 to verify that the site is suitable for this use.

d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development found in Project File PLN220130.

3. **FINDING:** **HEALTH AND SAFETY -** The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or

working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

EVIDENCE:

a) The project was reviewed by HCD- Planning, HCD- Engineering Services, Monterey County Regional Fire Protection District, HCD-Environmental Services and Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

b) Necessary public facilities will be provided.

c) Domestic water will be provided by the Santa Lucia Preserve Community Services District (CSD), who provided a can and will serve letter dated June 27th, 2022 confirming their ability to serve all proposed development.

d) The project includes a septic system with leach fields to serve the property's wastewater needs. The Environmental Health Bureau has reviewed the OWTS design along with a percolation test and determined the proposed system is suitable to support the development.

e) The property is located in a high fire hazard severity area. A Fire fuel management plan has been prepared that provides for vegetation management around the property. The structures will be protected with fire sprinklers and fire-resistant materials.

f) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development found in Project File PLN220130.

4. **FINDING:** **NO VIOLATIONS -** The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE:

a) Staff reviewed Monterey County HCD-Planning and Building Services Department records and is not aware of any violations existing on subject property.

b) Staff conducted a site inspection on July 6, 2022 and researched County records to assess if any violation exists on the subject property.

c) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220130.

5. **FINDING:** **ACCESSORY DWELLING UNIT** – The proposed ADU conforms with regulations in Title 21, Section 21.64.030.

EVIDENCE:

a) Title 21, Section 21.64.030 establishes regulations and standards for which an accessory dwelling unit, accessory to the main residence on a lot, may be permitted. The project includes the construction of a 1,188 square foot Accessory Dwelling Unit that includes independent living facilities, as shown in the attached plans.

b) The proposed ADU is below the maximum 1,200 square foot floor area. The closest structure to the proposed ADU is the main dwelling which is sited about 80 feet southeast of the accessory structure. The ADU

exceeds the minimum setbacks required in Title 21 Section 21.36.060.4.D.

c) The proposed ADU stands 15 feet above the average natural grade which is under the 16 foot height maximum as stated in Title 21 Section 21.64.030.E.5.

d) The ADU meets the required site development standards and design criteria as defined in Title 21 Section 21.64.030 and Chapter 21.44 (See Finding 1).

e) The application was reviewed by the Environmental Health Bureau (EHB) to ensure adequate sewage disposal and water supply facilities exist and are readily available to serve the ADU. EHB made the determination that the property has adequate potable water and septic, and no further comments or conditions were provided (See Finding 3).

f) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220130.

6. **FINDING:** **TREE REMOVAL –** The tree removal is the minimum required under the circumstances and will not involve risk of adverse environmental impact.

EVIDENCE:

a) Greater Monterey Peninsula Area Plan Policy GMP-3.5 indicates removal of healthy, native oak, Monterey pine, and redwood trees in the planning area shall be discouraged. The Zoning Ordinance (Title 21) Section 21.64.260 – Preservation of Oak and Other Protected Trees provides implementing regulations for this policy.

b) The project includes removal of 5 protected oak trees, one of which is a landmark tree. All 5 trees proposed for removal are in the footprint of the proposed driveway. The Santa Lucia Preserve Combined Development Permit does not have any trees allotted for removal on this property: therefore, a Use Permit has been applied to this project to remove the 5 protected trees.

c) The tree removal is the minimum required under the circumstances. There is a dense stand of trees near the front of the property. In order to provide access from the nearest road, a driveway must be constructed through the stand of trees near the front of the property. The applicant explored moving the driveway to avoid the two oak trees closest to the main structure but unfortunately due to the grading pattern it would not be feasible to adjust the driveway to avoid the trees. The arborist identified one of the protected trees to be in poor health with no hope for recovery, three of the trees are considered "Preservable" if extensive effort is put in, and one tree is in good condition with no notable defects. Four out of the five trees are in poor or declining health. Having considered other options for the driveway and examined the health of the five trees, 5 is the minimum number of protected trees to be removed under the circumstances.

d) The tree removal will not involve risk of an adverse environmental impact. Environmental impacts of tree removal were analyzed in the EIR for Santa Lucia Preserve Phases A-C (the Rancho San Carlos Subdivision). The project has been conditioned with the appropriate number of replacement trees pursuant to the replacement ratio listed in the

Conditions of Approval for the Santa Lucia Preserve Subdivision (Resolution 96-059), 3:1 for non-landmark trees and 5:1 for landmark trees, for a total of 17 trees (See Finding No. 7). Additionally, the Arborist Report prepared for the project analyzed the proposed tree removal and concluded that no significant long-term effects on the forest ecosystem are anticipated.

e) Existing trees not being removed shall be protected through construction. The County's tree protection condition has been applied to the project as Condition No. 6, requiring the applicant to wrap and protect trees not being removed during construction. The condition shall also require that the applicant follow the best management practice recommendations listed in the Arborist Report prepared for the project.

f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220130.

7. **FINDING:** **CEQA (Addendum) –** An Addendum to a previously certified EIR was prepared in accordance with CEQA Guidelines Section 15164 to reflect changes or additions in a project that do not cause substantial changes or new information that would require major revisions to the certified EIR.

EVIDENCE:

a) An Environmental Impact Report for the Santa Lucia Preserve Subdivision of the Santa Lucia Preserve (Phases A-C) was certified by the Board of Supervisors on February 6, 1996 (EIR #94-005/Resolution #96-059).

b) An Addendum to the Environmental Impact Report for the Santa Lucia Preserve Subdivision was prepared for this project pursuant to CEQA Guidelines Section 15164, and none of the conditions detailed in Section 15162 requiring the preparation of a subsequent EIR or Negative Declaration have occurred.

c) Pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162, when an EIR has been certified, no subsequent EIR shall be prepared for the project unless the agency determines that substantial changes are proposed which require major revisions, or substantial changes occur with respect to the circumstances under which the project is undertaken due to new significant environmental effects. In this case, no new information has been identified to warrant further environmental review. The proposed structures are within a designated building envelope, and the proposed tree removal is within the overall tree removal analyzed for the subdivision.

d) The Forest Management Plan prepared by Ralph Osterling for the Environmental Impact Report (EIR) in 1994 for Phase C provided specific tree removal estimates for each lot created by the subdivision. The Rosenberg and Ibanescu parcel, Lot 199, does not have any allotted trees for removal. The addendum was prepared to address potential impacts related to the removal of 5 protected trees for this project.

e) Removal of 1,480 trees was contemplated for the subdivision Phases A-C in the certified EIR. To date, including this project, 658 trees have been approved for removal. The estimated 5 protected trees proposed for removal on Lot 199 would represent 0.4% percent of the total trees

approved for removal within all homeland boundaries, currently totaling approximately 47% of the overall subdivision's tree removal. Currently, 113 of 254 lots have been developed and the Santa Lucia Preserve Subdivision (Phase A-C/Rancho San Carlos) is well under the tree removal approved by the Combined Development Permit and analyzed by the EIR.

f) Tree replacement requirements for the Santa Lucia Preserve Phases A-C (Condition No. 24 of PC94067) have been incorporated as project conditions. The project is consistent with all tree removal conditions pursuant to Use Permit PC94067 (Resolution No. 96-060) for the Santa Lucia Preserve Subdivision. A total of 17 trees will be replanted in accordance with the Osterling Reforestation Plan prepared for the Rancho San Carlos subdivision. This amount represents a 3:1 replacement ratio for non-landmark trees and 5:1 for all landmark trees. The higher replacement ratio is to compensate for possible failure of some new trees to achieve the required 90% success rate.

g) The addendum reflects minor changes to the EIR due to the removal of 5 trees associated. The project, as residential development in the homeland boundary on Lot 199 of the Santa Lucia Preserve Subdivision, is consistent with all other aspects of the EIR. No other changes are required to the EIR. There are no substantial changes to the project, its circumstances or information that would result in new or more severe environmental effects.

h) See supporting Finding Nos. 1, 2, and 6. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN220130.

8. **FINDING:** **APPEALABILITY -** The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE: Pursuant to Title 21 Section 21.80.040, an aggrieved party may appeal a decision of the Planning Commission to the Board of Supervisors.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Certify that an Addendum together with a previously certified EIR for the Santa Lucia Preserve Subdivision (EIR No. 94-005/Resolution No. 96-059) has been considered pursuant to CEQA Guidelines Section 15164; and
2. Approve a Combined Development Permit consisting of: 1) An Administrative Permit & Design Approval to allow construction of a 4,678 square foot single family dwelling, 999 square foot detached garage, 1,188 square foot accessory dwelling unit, a 544 square foot detached office and associated site improvements including a pool, fire pit, covered porches and landscaping; and 2) A Use Permit to allow the removal of 5 Coast Live Oak trees.

Said decision is to be in substantial conformance with the attached plan and subject to the attached conditions where are incorporated herein by reference.

PASSED AND ADOPTED this 22nd day of February, 2023:

AYES:
NOES:
ABSENT:
ABSTAIN:

_____
Craig Spencer, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

   Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

   Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD- Planning and HCD- Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220130

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Combined Development permit (PLN220130) allows construction of a 4,678 square foot single family dwelling, 999 square foot detached garage, 1,188 square foot accessory dwelling unit, and a 544 square foot detached office and associated site improvements; and the removal of 5 Coast Live Oak trees. The property is located at 33 Potrero Trl (Assessor's Parcel Number 239-111-013-000), Greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number _____) was approved by the Planning Commission for Assessor's Parcel Number 239-111-013-000 on 02/22/23. The permit was granted subject to 12 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD011(A) - TREE REMOVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

5. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to final applicant shall replace and or relocate each tree approved for removal as follows:
- Replacement ratio: 3:1
- Replacement ratio recommended by arborist: 3:1
- Other: Pursuant to Condition 24 of PC94067, the reforestation program shall include a monitoring element that guarantees a success period of not less than 5 years after planting and a success ratio threshold of no less than 90%.

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

6. PD049 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to beginning any tree removal, trees which are located close to trees approved for removal shall be protected from inadvertent damage from equipment or tree removal activity by fencing off the canopy drip-lines and/or critical root zones (whichever is greater) with protective materials. Any tree protection measures recommended by a County-approved tree consultant, in addition to the standard condition, shall be implemented. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to construction or tree removal, the Owner/Applicant/Tree Removal Contractor submit evidence of tree protection to HCD -Planning for review and approval.

During construction, if any roots greater than 2 inches in diameter of tree tag #32 and #31 are exposed, the applicant/owner/contractor shall contact the project Arborist, who shall assess impacts. All recommended remediation shall be adhered to.

After construction or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit photos of the trees on the property to HCD -Planning to document that the tree protection has been successful or if follow-up remediation measures or additional permits are required.

7. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepare by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

8. PD012(E) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-OTHER)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping and shall include an irrigation plan. The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Non-Residential Water Release Form and Water Permit Application" to the Monterey County Water Resources Agency for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be installed and inspected.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

9. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

10. PW0006 - CARMEL VALLEY

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI).

Compliance or Monitoring Action to be Performed: Prior to Building Permits Issuance Owner/Applicant shall pay to PBI the required traffic mitigation fee.

11. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

12. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management

ROSENBERG RESIDENCE

CARMEL, CA

PROJECT DIRECTORY

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LICENSED ARCHITECT
JONATHAN FELDMAN
C-28459
11/30/2021
RENEWAL DATE
STATE OF CALIFORNIA

PROJECT NAME
ROSENBERG RESIDENCE

PROJECT ADDRESS
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SANTA LUCIA PRESERVE
CARMEL, CA 93923
APN #
239-111-013

CLIENT
BRENDA & STEVE ROSENBERG

FA JOB NO.
21-024

ISSUE
PLANNING APPLICATION

DATE
6/15/22

HISTORY

△	DESC.	DATE

TITLE
COVER SHEET

A0.00
SHEET

6/15/2022 4:39:36 PM

VICINITY MAPS

SITE AERIAL PHOTO

SITE CONTEXT PHOTO

ARCHITECTURAL SYMBOLS

DRAWING SYMBOLS

- NORTH ARROW
- KEYNOTE
- SLOPE (DOWN, UON)
- 12 / 3 — SLOPE DESIGNATION
- DIMENSION
- ALIGN FINISH SURFACES
- CENTERLINE
- PROPERTY LINE
- ? — PARTITION TAG
- ? — MATERIAL TAG
- ? — WINDOW TAG
- ? — DOOR TAG
- ? X'-X"AFF — CEILING TAG

REFERENCE SYMBOLS

- 1 A0.00 — BUILDING SECTION
- A0.00 — BUILDING ELEVATION
- N W A0.00 E S — INTERIOR ELEVATION
- 1 A0.00 — DETAIL CALLOUT
- 1 A0.00 — DETAIL REFERENCE
- 0' - 0" — SPOT ELEVATION
- 1 — REVISION MARK
- LEVEL
- 1 — GRID LINE

ABBREVIATIONS

A	AB.	ANCHOR BOLT
	ABV.	ABOVE
	AESS	ARCHITECTURAL EXPOSED STRUCTURAL STEEL
	A.C.	AIR CONDITIONING
	ACOUST.	ACOUSTING
	AD.	AREA DRAIN
	ADJ.	ADJUSTABLE
	A.F.F.	ABOVE FINISHED FLOOR
	AGGR.	AGGREGATE
	ALT.	ALTERNATE
	ALUM.	ALUMINUM
	ANOD.	ANODIZED
	AP.	ACCESS PANEL
	APPROX.	APPROXIMATE
	ARCH.	ARCHITECTURAL
B	BD.	BOARD
	BLDG.	BUILDING
	BLK.	BLOCK
	BLK'G	BLOCKING
	BLW.	BELOW
	BM.	BEAM
	BOT.	BOTTOM
	BRKT.	BRACKET
	BTWN.	BETWEEN
	B.U.R.	BUILT UP ROOFING
C	C/C	CENTER TO CENTER
	C.B.	CATCH BASIN
	CEM.	CEMENT
	C.J.	CONTROL JOINT
	CLG.	CEILING
	CLKG.	CAULKING
	CLR.	CLEAR
	COL.	COLUMN
	COMB.	COMBINATION
	CONC.	CONCRETE
	CONN.	CONNECTION
	CONSTR.	CONSTRUCTION
	CONT.	CONTINUOUS
	CONTR.	CONTRACTOR
	CPT.	CARPET
	C.T.	CERAMIC TILE
	CTR.	CENTER
	CW	COLD WATER
D	DBL.	DOUBLE
	DEG.	DEGREE
	DEMO	DEMOTITION
	DET/DTL	DETAIL
	DIAG.	DIAGONAL
	DIA.	DIAMETER
	DIM.	DIMENSION
	DN.	DOWN
	DR.	DOOR
	DS.	DOWNSPOUT
	DW.	DISHWASHER
	DWG.	DRAWING
	DWR.	DRAWER
E	(E)	EXISTING
	E	EAST
	EA	EACH
	E.B.	EXPANSION BOLT
	E.J.	EXPANSION JOINT
	EL.	ELEVATION
	ELEC.	ELECTRICAL
	ELEV.	ELEVATOR
	EMER.	EMERGENCY
	ENCL.	ENCLOSURE
	ENGR.	ENGINEER
	E.P.B.	ELECTRICAL PANEL BOARD
	EQ.	EQUAL
	EXP.	EXPANSION/EXPOSED
	EXT.	EXTERIOR
F	(F)	FUTURE
	F.A.	FIRE ALARM
	FABR.	FABRICATE
	F.A.R.	FLOOR AREA RATIO
	F.B.	FLAT BAR
	F.D.	FLOOR DRAIN
	F.D.C.	FIRE DEPARTMENT CONNECTION
	FDN/FND	FOUNDATION
	F.E.	FIRE EXTINGUISHER
	F.E.C.	FIRE EXTINGUISHER CABINET
	F.F.	FINISH FLOOR
	F.F.E.	FINISH FLOOR ELEVATION
	F.G.	FINISH GRADE
	F.H.	FULL HEIGHT
	F.H.M.S.	FLAT HEAD MACHINE SCREW
	F.H.W.S.	FLAT HEAD WOOD SCREW
	FIN.	FINISH
	FIXT.	FIXTURE
	FL.	FLOW LINE
	FLASH.	FLASHING
	FLR.	FLOOR
	FLUOR.	FLUORESCENT
	F.O.	FINISHED OPENING
	F.O.B.	FACE OF BRICK
	F.O.C.	FACE OF CONCRETE
	F.O.F.	FACE OF FINISH
	F.O.M.	FACE OF MASONRY
	F.O.S.	FACE OF STUD
	FRPF.	FIREPROOFING
	FT.	FOOT OR FEET
	FTG.	FOOTING
	FURR.	FURRING
G	GA.	GAUGE
	GALV.	GALVANIZED
	G.B.	GRAB BAR
	G.C.	GENERAL CONTRACTOR
	GD.	GARBAGE DISPOSAL
	GEN.	GENERAL
	GFCI.	GROUND FAULT CIRCUIT INTERRUPTED
	GL.	GLASS
	GLAZ.	GLAZED
	GLB	GLUE LAM BEAM
	GND.	GROUND
	GR.	GRADE
	GSM.	GALVANIZED SHEET METAL
	GYP.	GYPSUM
	GYP BD.	GYPSUM BOARD
H	H.B.	HOSE BIB
	H/C	HANDICAPPED
	H.C.	HOLLOW CORE
	HCWD.	HOLLOW CORE WOOD DOOR
	HDWD.	HARDWOOD
	HDWR.	HARDWARE
	H.M.	HOLLOW METAL
	HORIZ.	HORIZONTAL
	HP.	HIGH POINT
	HR.	HOUR
	HT.	HEIGHT
	HVAC	HEATING VENTILATION AIR CONDITIONING
	HW	HOT WATER
I	I.D.	INSIDE DIAMETER
	IN.	INCH
	INCAD.	INCANDESCENT
	INSUL.	INSULATION
	INT.	INTERIOR
J	J-BOX	JUNCTION BOX
	J.H.	JOIST HANGER
	JNT.	JOINT
	JST.	JOIST
K	K.D.	KILN DRIED
	KIT.	KITCHEN
L	L	LONG/LENGTH
	LAM.	LAMINATE
	LAV.	LAVATORY
	LB.	POUND
	LP.	LOW POINT
	LT.	LIGHT
	LTG.	LIGHTING
M	MACH.	MACHINE
	MAT.	MATERIAL
	MAX.	MAXIMUM
	MECH.	MECHANICAL
	MEMB.	MEMBRANE
	MEZZ.	MEZZANINE
	MFR.	MANUFACTURER
	MID.	MIDDLE
	MIN.	MINIMUM/MINUTE
	MIRR.	MIRROR
	MISC.	MISCELLANEOUS
	M.P.	METAL PANEL
	M.S.	MOTION SENSOR
	MTD.	MOUNTED
	MTG.	MOUNTING
	MTL.	METAL
	MUL.	MULLION
	MW.	MICROWAVE
N	(N)	NEW
	N	NORTH
	N.I.C.	NOT IN CONTRACT
	NO.	NUMBER
	NOM.	NOMINAL
	N.T.S.	NOT TO SCALE
O	O/	OVER
	OA.	OVERALL
	O.C.	ON CENTER
	O.D.	OUTSIDE DIMENSION
	OH.	OVERHEAD
	OPG.	OPENING
	OPP.	OPPOSITE
P	PERF.	PERFORATED
	PERP.	PERPENDICULAR
	P.L.	PROPERTY LINE
	P.LAM.	PLASTIC LAMINATE
	PLAS.	PLASTER
	PLYWD.	PLYWOOD
	PNT.	PAINT
	PT'D	PAINTED
	PR.	PAIR
	PT.	POINT/PRESSURE TREATED
	PWR.	POWER
Q	QTY.	QUANTITY
R	(R)	REMODELED
	R.	RISER
	RAD.	RADIUS
	RCP	REFLECTED CEILING PLAN
	R.D.	ROOF DRAIN
	RECEP.	RECEPTACLE
	RECT.	RECTANGULAR
	REF.	REFERENCE
	REFR.	REFRIGERATOR
	REINF.	REINFORCED
	REQ'D.	REQUIRED
	RESIL.	RESILIENT
	RETG.	RETAINING
	REV.	REVISION
	RM	ROOM
	RND.	ROUND
	R.O.	ROUGH OPENING
	RWL	RAINWATER LEADER
S	S	SOUTH
	S.C.	SOLID CORE
	S.C.D.	SEE CIVIL DRAWINGS
	SCHED	SCHEDULE
	SCR.	SCREEN
	SCWD.	SOLID CORE WOOD DOOR
	SECT.	SECTION
	S.F.	SQUARE FOOT
	SHT.	SHEET
	SHTHG.	SHEATHING
	SHWR.	SHOWER
	SIM.	SIMILAR
	SKYLT.	SKYLIGHT
	S.L.D.	SEE LANDSCAPE DRAWINGS
	S.M.D.	SEE MECHANICAL DRAWINGS
	SMS.	SHEET METAL SCREW
	S.M.W.P.	SHEET MEMBRANE WATERPROOFING
	SPEC.	SPECIFICATION
	S.R.	SUPPLY REGISTER
	SQ.	SQUARE
	S.S.	STAINLESS STEEL
	S.S.D.	SEE STRUCTURAL DRAWINGS
	STD.	STANDARD
	STL.	STEEL
	STOR.	STORAGE
	STRUC.	STRUCTURAL
	SUR.	SURFACE
	SUSP.	SUSPENDED
	SVC.	SERVICE
	SVY.	SURVEY
	SYM.	SYMMETRICAL
T	TR	TREAD
	T&B	TOP AND BOTTOM
	T&G	TONGUE AND GROOVE
	T.B.	TOWEL BAR
	T.C.	TRASH CAN
	T.D.	TRENCH DRAIN
	TEMP.	TEMPERED
	TER.	TERRAZZO
	TG.	TEMPERED GLAZING
	THK.	THICK
	THRES.	THRESHOLD
	T.O.C.	TOP OF CONCRETE
	T.O.P.	TOP OF PAVEMENT
	TOPO.	TOPOGRAPHY
	T.O.R.	TOP OF ROOF
	T.O.S.	TOP OF STEEL
	T.O.W.	TOP OF WALL
	TPO	THERMOPLASTIC OLEFIN
	TYP.	TYPICAL
U	UNF.	UNFINISHED
	UON	UNLESS OTHERWISE NOTED
V	VCT.	VINYL COMPOSITION TILE
	VER.	VERIFY
	VERT.	VERTICAL
	VG.	VERTICAL GRAIN
	V.I.F.	VERIFY IN FIELD
W	W	WEST/WIDE/WIDTH
	W/	WITH
	W.C.	WATER CLOSET
	WD.	WOOD
	W.H.	WATER HEATER
	WN.	WINDOW
	W/O	WITHOUT
	WP.	WATERPROOFING
	W.R.	WATER RESISTANT
	WT.	WEIGHT
	W.V.	WOOD VENEER

GENERAL NOTES

1. ALL CONSTRUCTION AND INSTALLATION SHALL CONFORM TO THE FOLLOWING CODES: 2019 CALIFORNIA BUILDING, RESIDENTIAL, PLUMBING, MECHANICAL, ELECTRICAL CODE, STATE ENERGY STANDARDS, AND ANY OTHER GOVERNING CODES AND ORDINANCES.
2. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS OF BUILDING AND SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
3. THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, LANDSCAPE, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH SAME DISCIPLINES.
5. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
6. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.
7. WHEN SHOWN IN PLAN, ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, CENTERLINE OF COLUMNS, OR CENTERLINE OF STUD WITHIN WALL ASSEMBLIES, UNLESS OTHERWISE NOTED.
8. WHEN SHOWN IN SECTION OR ELEVATION, ALL DIMENSIONS ARE TO TOP OF PLATE OR TOP OF CONCRETE UNLESS OTHERWISE NOTED.
9. DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.
11. PROVIDE AND INSTALL 2x FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
12. ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
13. INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
14. VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, FIREPLACES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
15. PROVIDE FIRE-BLOCKING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL). AS PER 2019 CBC 718.2 & CRC R302.11, FIRE-BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
    - A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT MAX. 10 FOOT INTERVALS.
    - B. IN CONCEALED INTERCONNECTIONS SUCH AS SOFFITS, DROP CEILINGS, COVE CEILINGS.
    - C. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
    - D. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT CEILING & FLR. LEVEL W/ AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME & PRODUCTS OF COMBUSTION.
16. PROVIDE DRAFT-STOPPING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL). AS PER 2019 CBC 718.3-4 & CRC R302.12 DRAFT-STOPS SHALL BE INSTALLED SO THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ. FT. AND IS BELOW, DRAFT-STOPPING SHOULD BE PROVIDED IN THE FOLLOWING CIRCUMSTANCES:
    - A. SUSPENDED CEILING UNDER FLOOR FRAMING
    - B. OPEN WEB TRUSS OR PERFORATED FLOOR FRAMING MEMBERS.
17. PRESSURE TREATED LUMBER TO BE USED IF IN DIRECT CONTACT WITH CONCRETE WALLS IF THERE IS NO PROVIDED AIR GAP.
18. ALL EARTHWORK AND SITE DRAINAGE INCLUDING BASEMENT AND PIER EXCAVATION, PREPARATION OF THE SUBGRADE BENEATH HARDSCAPE, PLACEMENT AND COMPACTION OF ENGINEERED FILL BENEATH HARDSCAPE, BASEMENT RETAINING WALL BACKFILL, AND FINAL SURFACE DRAINAGE INSTALLATION SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. THE GEOTECHNICAL ENGINEER SHOULD BE PRESENT TO OBSERVE AND TEST, AS NECESSARY, THE EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.
19. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN 2019 CALGREEN TABLES 4.504.1-4.504.3.
20. STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.

APPLICABLE CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ENERGY CODE (TITLE-24)
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA GREEN BUILDING CODE
ALL OTHER APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.

IN THE EVENT OF CONFLICTS IN CODE REQUIREMENTS, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. ANY CONFLICTS BETWEEN THE CONSTRUCTION DOCUMENTS AND THE ABOVE LISTED CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR RESOLUTION BEFORE COMMENCING WITH THE WORK.

PROJECT DATA

WORK DESCRIPTION: CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE, ACCESSORY STRUCTURES, LANDSCAPE IMPROVEMENTS, AND A NEW SEPTIC SYSTEM.

APN: 239-111-013

OCCUPANCY GROUP: R-3
CONSTRUCTION TYPE: VB
ZONING DISTRICT: RC/40-D-S

SQUARE FOOTAGE:

MAIN RESIDENCE:	**4,678 SF**
LEVEL 1:	3,876 SF
BASEMENT:	802 SF
COVERED PORCH:	416 SF
POOL HOUSE:	**1,188 SF**
COVERED PATIO:	404 SF
DETACHED OFFICE:	**544 SF**
COVERED PORCH:	348
TOTAL HABITABLE:	**6,410 SF**
TOTAL COVERED OUTDOOR:	1,168 SF
GARAGE:	**999 SF**

BUILDING HEIGHT:
PERMITTED: 18' - 0"
PROPOSED: 17' - 11"
PERMITTED # OF STORIES: 1
PROPOSED # OF STORIES: 1

SETBACKS:
FRONT SETBACK: 30 FT
REAR SETBACK: 20 FT
SIDE SETBACK: 20 FT

BUILDING SITE COVERAGE/ FAR:
ALLOWED: 25% MAX
PROPOSED: .036**%**

IMPERVIOUS AREA:
STRUCTURES TOTAL: 6,661 SF (0.36%)
SURFACES TOTAL: 14,419 SF (0.78%)
SITE TOTAL: 21,080 SF (1.15%)

CUT + FILL CALCULATIONS
CUT: 3,920 CY
FILL: 2,000 CY
NET: 1,920 CY CUT
AREA OF DISTURBANCE: 1.58 AC

*SEE GRADING & DRAINAGE PLAN

LOT SIZE:
NET LOT SIZE: 42.22 AC; 3.26 AC HOMELAND

PROPOSED TREE REMOVAL:
NUMBER: 6
TYPE: 12" OAK; 7" OAK; 28" OAK; 11" OAK; 12" OAK; 6" OAK

*SEE LANDSCAPE PLAN & ARBORIST REPORT

PROPOSED PARKING:
2 COVERED PARKING SPACES IN GARAGE
2 GUEST PARKING SPACES AT AUTOCOURT
TOTAL: 4

SPECIAL INSPECTIONS

GEOTECHNICAL OBSERVATIONS & TESTING:
THE GEOTECHNICAL ASPECTS OF THE CONSTRUCTIONS, INCLUDING FOUNDATION EXCAVATIONS, SUBGRADE PREPARATION BENEATH HARDSCAPE, PLACEMENT AND COMPACTION OF ENGINEERED FILL BENEATH HARDSCAPE, AND THE INSTALLATION SURFACE DRAINAGE CONTROL SYSTEMS SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS PRESENTED IN THE GEOTECHNICAL REPORT PREPARED BY MURRAY ENGINEERS DATED 02-06-14. MURRAY ENGINEERS SHOULD BE PRESENT TO OBSERVE AND TEST, AS NECESSARY, THE EARTHWORK, FOUNDATION, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT.

STRUCTURAL OBSERVATIONS:
REFER TO STRUCTURAL DRAWINGS, SHEET S0.1

SPECIAL INSPECTIONS:
THE FOLLOWING WORK REQUIRE SPECIAL INSPECTION PER CBC SECTION 1701:

STRUCTURAL STEEL/WELDING
SHEAR WALL NAILING
REINFORCED CONCRETE
DRILLED PIERS

ROOF:
FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION.

SHOP DRAWING SUBMITTALS

SEE PROJECT MANUEL FOR ADDITIONAL SUBMITTALS.

1.

DEFERRED SUBMITTALS

DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND APPROVED BY THE ARCHITECT AND BUILDING OFFICIAL.

1. RESIDENTIAL FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE TO NFPA 13D & STATE & LOCAL REQUIREMENTS.
2.

FELDMAN ARCHITECTURE
1648 Pacific Avenue, Suite B
San Francisco, California 94109
415 252 1441
www.feldmanarch.com

LICENSED ARCHITECT
JONATHAN FELDMAN
C-28459
11/30/2021
RENEWAL DATE
STATE OF CALIFORNIA

PROJECT NAME
ROSENBERG RESIDENCE

PROJECT ADDRESS
33 POTRERO TRAIL
SANTA LUCIA PRESERVE
CARMEL, CA 93923

APN #
239-111-013

CLIENT
BRENDA & STEVE ROSENBERG

FA JOB NO.
21-024

ISSUE
PLANNING APPLICATION

DATE
6/15/22

HISTORY

△	DESC.	DATE

TITLE
PROJECT INFO

A0.01
SHEET

6/15/2022 4:39:37 PM

VIEW AT TOP OF KNOLL

VIEW FROM PROPOSED OFFICE

6/15/2022 4:39:41 PM

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TITLE
SITE PHOTOGRAPHS

A0.03
SHEET

SITE AERIAL LOOKING SOUTH

SITE AERIAL LOOKING EAST

VIEW FROM CHAMISAL PASS

VIEW UP KNOLL AT SITE ENTRY

VIEW SOUTH TOWARDS PROPOSED OFFICE

VIEW FROM CHAMISAL PASS

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SITE PHOTOGRAPHS

A0.04
SHEET

6/15/2022 4:39:42 PM

FLAT ROOF FINISH - ROCK BALLAST

WINDOWS AND DOORS - STAINED WOOD

EXTERIOR WALL CLADDING - PETERSEN COVER BRICK C-48

EXTEIOR FRAMING, TRIM & TRELLIS - STAINED NATURAL WOOD

FOUNDATION CLADDING; CHIMNEYS; GARAGE - PETERSEN KOLUMBA BRICK K-58

METAIL RAILINGS - BRONZE METAL RODS

PITCHED ROOFS - TESLA SOLAR ROOF TILES

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TITLE
EXTERIOR MATERIAL REFERENCES

A0.30
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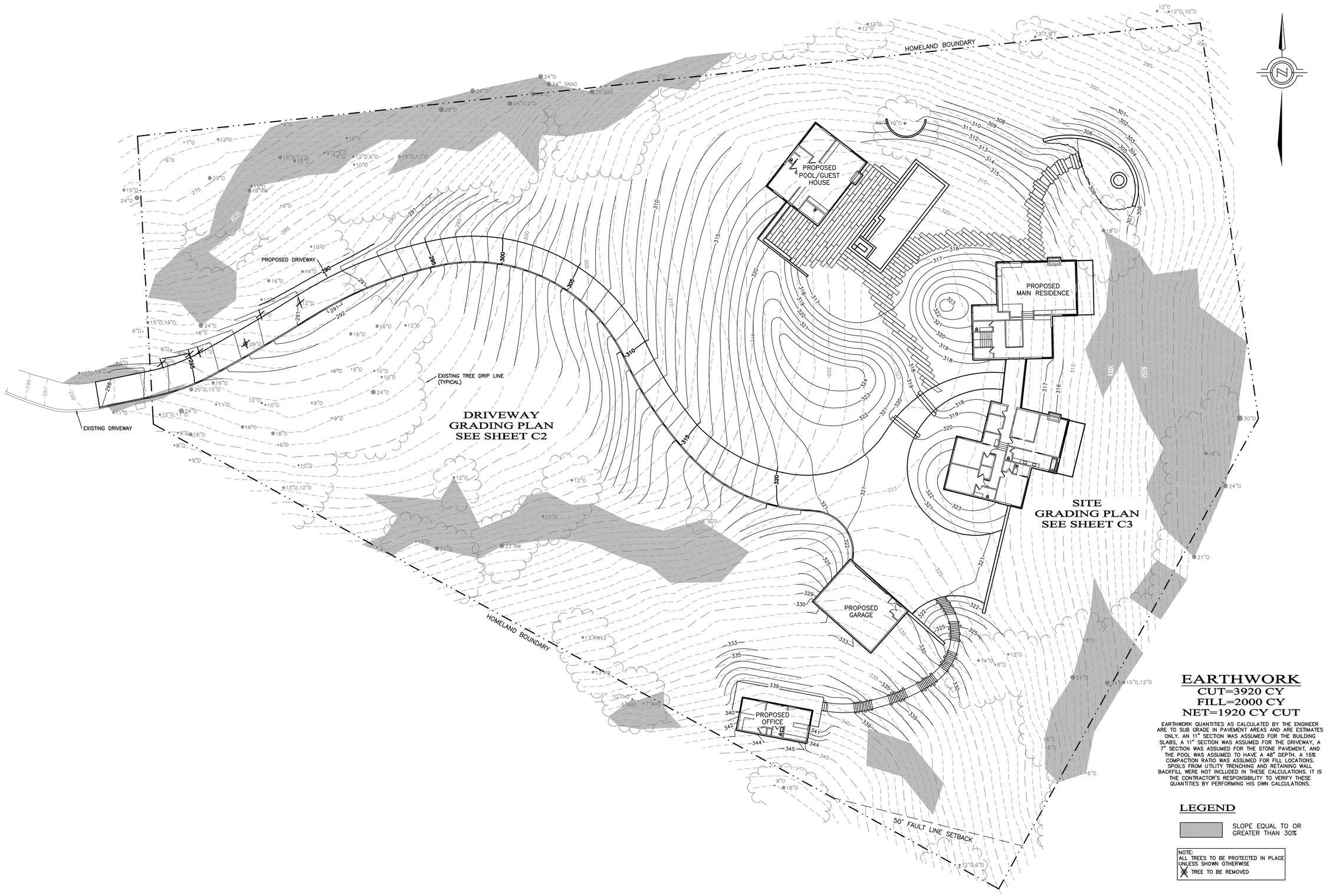


EARTHWORK

CUT=3920 CY
FILL=2000 CY
NET=1920 CY CUT

EARTHWORK QUANTITIES AS CALCULATED BY THE ENGINEER ARE TO SUB GRADE IN PAVEMENT AREAS AND ARE ESTIMATES ONLY. AN 11" SECTION WAS ASSUMED FOR THE BUILDING SLABS, A 11" SECTION WAS ASSUMED FOR THE DRIVEWAY, A 7" SECTION WAS ASSUMED FOR THE STONE PAVEMENT, AND THE POOL WAS ASSUMED TO HAVE A 48" DEPTH. A 15% COMPACTION RATIO WAS ASSUMED FOR FILL LOCATIONS. SPOILS FROM UTILITY TRENCHING AND RETAINING WALL BACKFILL WERE NOT INCLUDED IN THESE CALCULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE QUANTITIES BY PERFORMING HIS OWN CALCULATIONS.

LEGEND

SLOPE EQUAL TO OR GREATER THAN 30%

NOTE:
ALL TREES TO BE PROTECTED IN PLACE UNLESS SHOWN OTHERWISE
X TREE TO BE REMOVED

20 0 10 20 40
1" = 20'

A / C1 OVERALL GRADING PLAN

SCALE: 1"=20'

L&S ENGINEERING AND SURVEYING, INC
2460 Garden Road, Suite G, Monterey, California 93940
P: 831.655.2722 F: 831.655.3425
LandSengineers.com

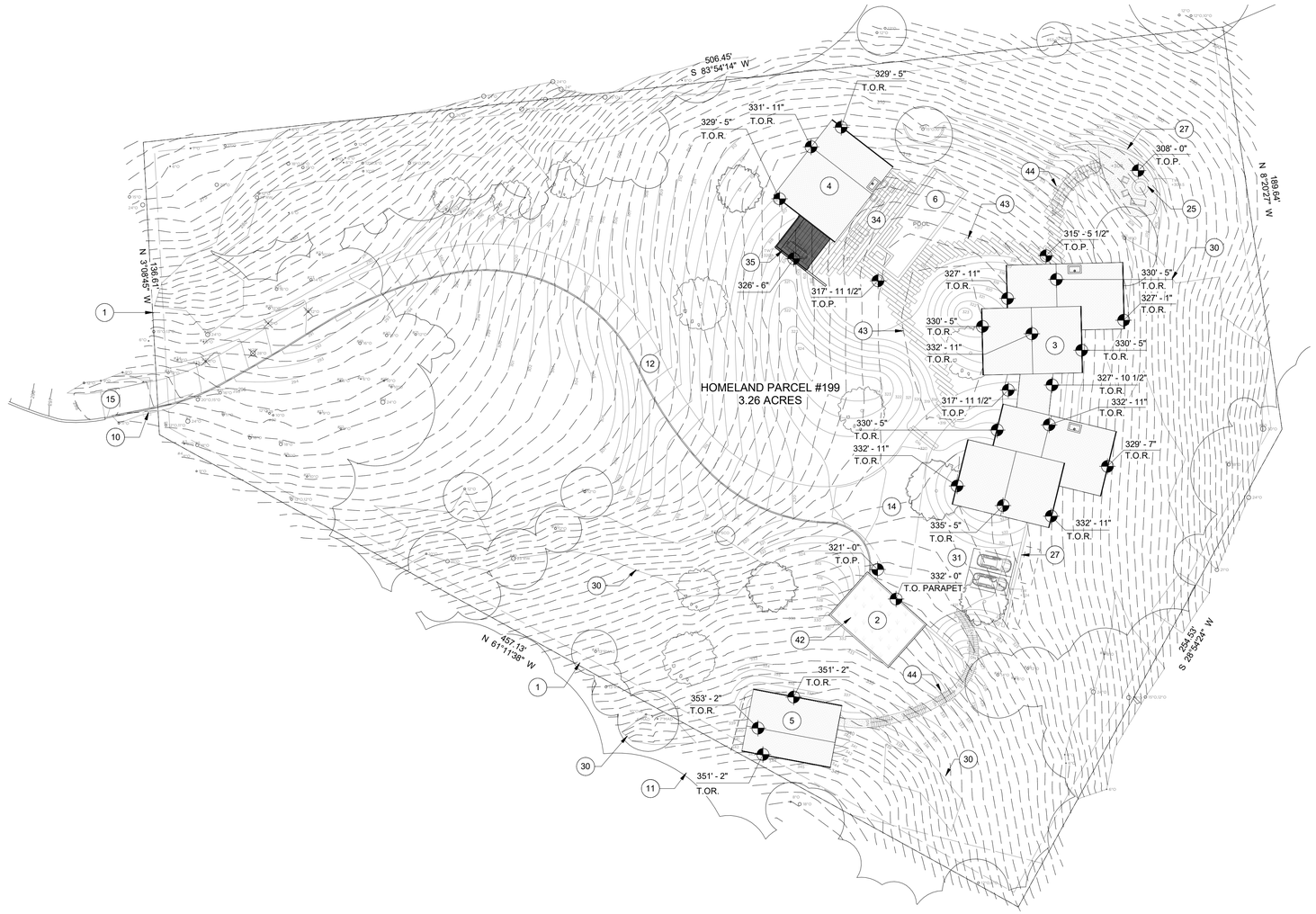
REGISTERED PROFESSIONAL ENGINEER
MARK R. STERNER
No. 69930
EXP. 9-30-22
CIVIL
STATE OF CALIFORNIA

DRAWN BY: MRS
DESIGNED BY: MRS
DATE: 6-10-2022
SCALE: AS SHOWN
JOB NUMBER: 22-11
LAST REVISED: N/A
REVISED BY: N/A

OVERALL GRADING PLAN

ROSENBERG RESIDENCE
SANTA LUCIA PRESERVE LOT 199
33 POTRERO TRAIL
CARMEL, CA 93923
APN 239-111-013

SHEET C1
OF
5 SHEETS



1 SITE PLAN

1" = 30'-0"

LEGEND

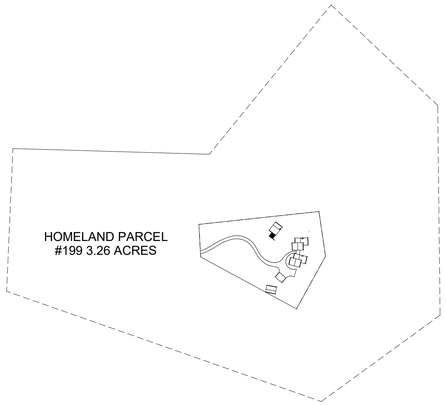
- PROPERTY LINE
- SETBACK LINE
- (E) GRADE
- (N) GRADE
- (E) FENCE
- SS (E) SEPTIC LEACH FIELDS
- (E) TREE TO REMAIN
- (E) TREE TO BE REMOVED

KEYNOTE LEGEND

1	HOMELAND BOUNDARY
2	DETACHED GARAGE
3	MAIN RESIDENCE
4	POOL HOUSE
5	DETACHED OFFICE
6	SWIMMING POOL & SPA, S.L.D.
10	WATER VAULT
11	(E) TREE DRIPLINE, TYP.
12	(N) DRIVEWAY
14	FIRE TRUCK TURNAROUND
15	(E) ASPHALT DRIVEWAY
25	GAS FIRE FEATURE, SEE LANDSCAPE SHEETS
27	BRICK LANDSCAPE WALLS, S.L.D
30	BOUNDARY OF +30% GRADE
31	GUEST PARKING
34	PAVED PATIO, S.L.D.

KEYNOTE LEGEND

35	COVERED OUTDOOR COOKING & DINING, S.L.D.
42	VEGETATED ROOF
43	PAVED LANDSCAPE PATHWAY, S.L.D.
44	LANDSCAPE PATHWAY & STAIRS, S.L.D.



PARCEL MAP

6/16/2022 10:13:12 AM

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TITLE
SITE PLAN

A1.20
SHEET

1 KEY PLAN - MAIN HOUSE
1/8" = 1'-0"

LEGEND

NEW WALL

KEYNOTE LEGEND

FLOOR PLAN GENERAL NOTES

1. PROVIDE MIN 36" x 36" LEVEL LANDINGS OUTSIDE AT EXTERIOR DOORS PER CBC SECTION 1008.1.5, WITH LANDINGS NOT MORE THAN 7.75" BELOW INSIDE FINISHED FLOORS AT INWARD SWINGING (OR SLIDING) DOORS AND .75" AT OUTWARD SWINGING PER CBC SECTION 1008.1.6. LANDINGS SHALL SLOPE 1/4"/FT MIN. AWAY FROM DOORS.
2. PROVIDE SOUND ATTENUATION INSULATION AT INTERIOR WALLS AND FLOORS.
3. GLASS DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES & ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE OR DRAIN INLET SHALL BE TEMPERED SAFETY GLASS, AS PER CBC SECTION 2406.3 #5.
4. PROVIDE SKID-RESISTANT SURFACE ON BATHROOM FLOORS.
5. BASE MATERIAL BENEATH SHOWER PAN SLOPED TO DRAIN AS PER CPC SECTION 411.4.
6. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH.
7. SEPARATION BETWEEN GARAGE AND MAIN RESIDENCE AS PER CBC SECTION 406.3.4.1 SHALL BE SEPARATED BY 1/2" MIN. GYP BD. ON WALLS & 5/8" TYPE "X" GYP BD. OR EQUIVALENT ON CEILINGS WHEN A GARAGE IS BELOW A HABITABLE ROOM.
8. PER CRC R307.2 AND R702.4.2, BATHTUB/SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
9. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
10. PROVIDE MIN 30" CLR WIDTH @ W.C. AND 24" CLR. FLOOR AREA AT FRONT OF BOWL.
11. ANNULAR SPACE AROUND PIPES, ELECTRIC OUTLETS, CONDUITS OR OTHER OPENINGS IN THE BUILDING'S ENVELOPE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS (CALGREEN 4.406.1)
12. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 75 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 4.408.1 TIER 2.
13. ALL DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.

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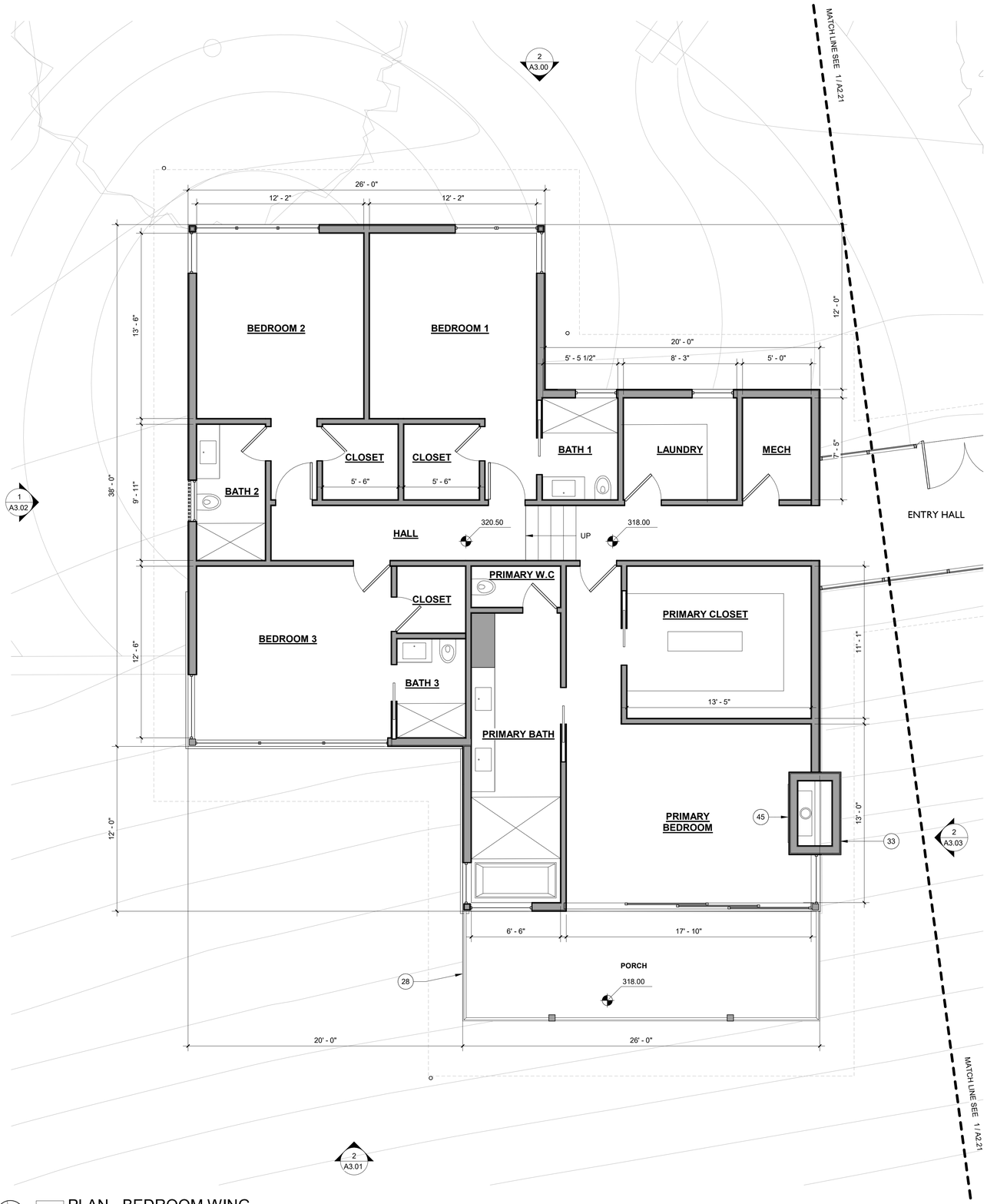
HISTORY
△ DESC. DATE

0' 4' 8' 16'

TITLE
MAIN HOUSE KEY PLAN

A2.00
SHEET

6/16/2022 10:13:14 AM



1 PLAN - BEDROOM WING
1/4" = 1'-0"

LEGEND

NEW WALL

KEYNOTE LEGEND

28 42" HIGH METAL ROD GUARDRAIL
33 BRICK CHIMNEY
45 DIRECT-VENT GAS FIREPLACE

FLOOR PLAN GENERAL NOTES

1. PROVIDE MIN 36" x 36" LEVEL LANDINGS OUTSIDE AT EXTERIOR DOORS PER CBC SECTION 1008.1.5, WITH LANDINGS NOT MORE THAN 7.75" BELOW INSIDE FINISHED FLOORS AT INWARD SWINGING (OR SLIDING) DOORS AND .75" AT OUTWARD SWINGING PER CBC SECTION 1008.1.6. LANDINGS SHALL SLOPE 1/4"/FT MIN. AWAY FROM DOORS.
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KEYPLAN DIAGRAM - BEDROOM WING

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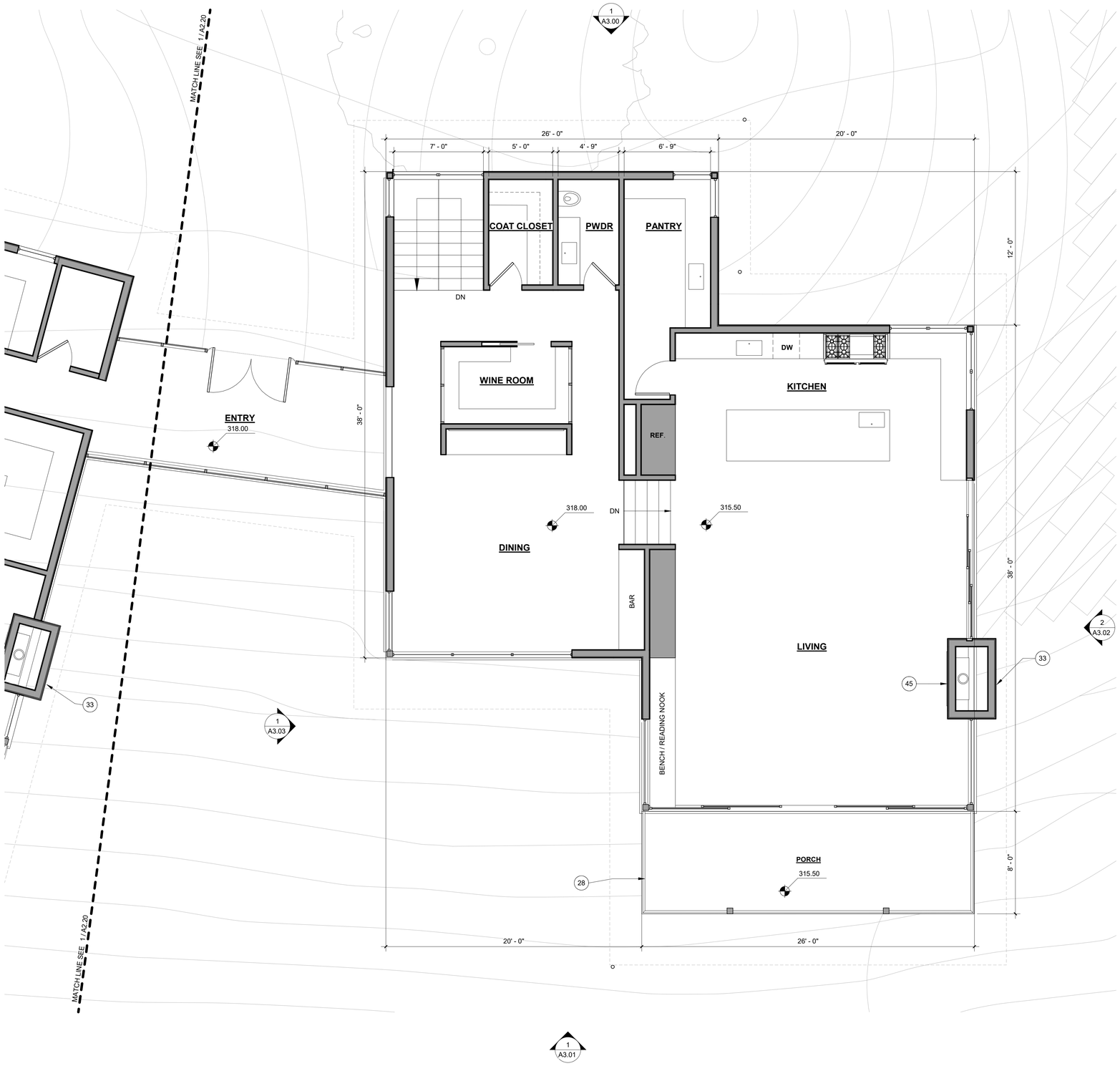
0' 2' 4' 8'

TITLE
FLOOR PLAN - MAIN HOUSE - BEDROOM WING

A2.20
SHEET

6/16/2022 10:13:15 AM



1 PLAN - LIVING WING
1/4" = 1'-0"

LEGEND

NEW WALL

KEYNOTE LEGEND

28 42" HIGH METAL ROD GUARDRAIL
33 BRICK CHIMNEY
45 DIRECT-VENT GAS FIREPLACE

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KEYPLAN DIAGRAM - LIVING WING

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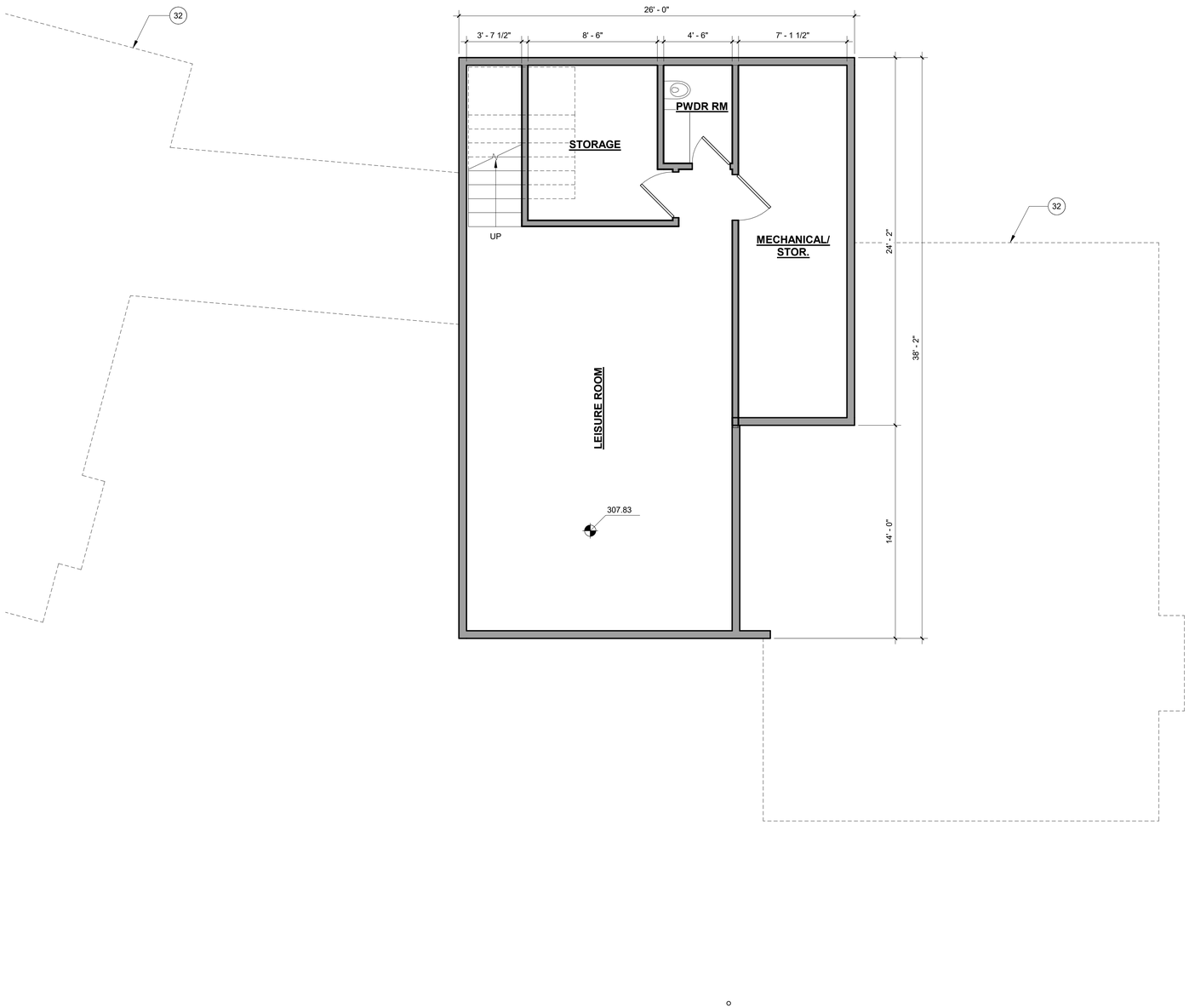
△	DESC.	DATE

0' 2' 4' 8'

TITLE
FLOOR PLAN - MAIN HOUSE - LIVING WING

A2.21
SHEET

6/16/2022 10:13:17 AM



1 BASEMENT FLOOR PLAN
1/4" = 1'-0"

LEGEND

NEW WALL

KEYNOTE LEGEND

32 LINE OF BUILDING FOOTPRINT ABOVE

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ROSENBERG RESIDENCE

PROJECT ADDRESS
33 POTRERO TRAIL
SANTA LUCIA PRESERVE
CARMEL, CA 93923

APN #
239-111-013

CLIENT
BRENDA & STEVE ROSENBERG

FA JOB NO.
21-024

ISSUE
PLANNING APPLICATION

DATE
6/15/22

HISTORY

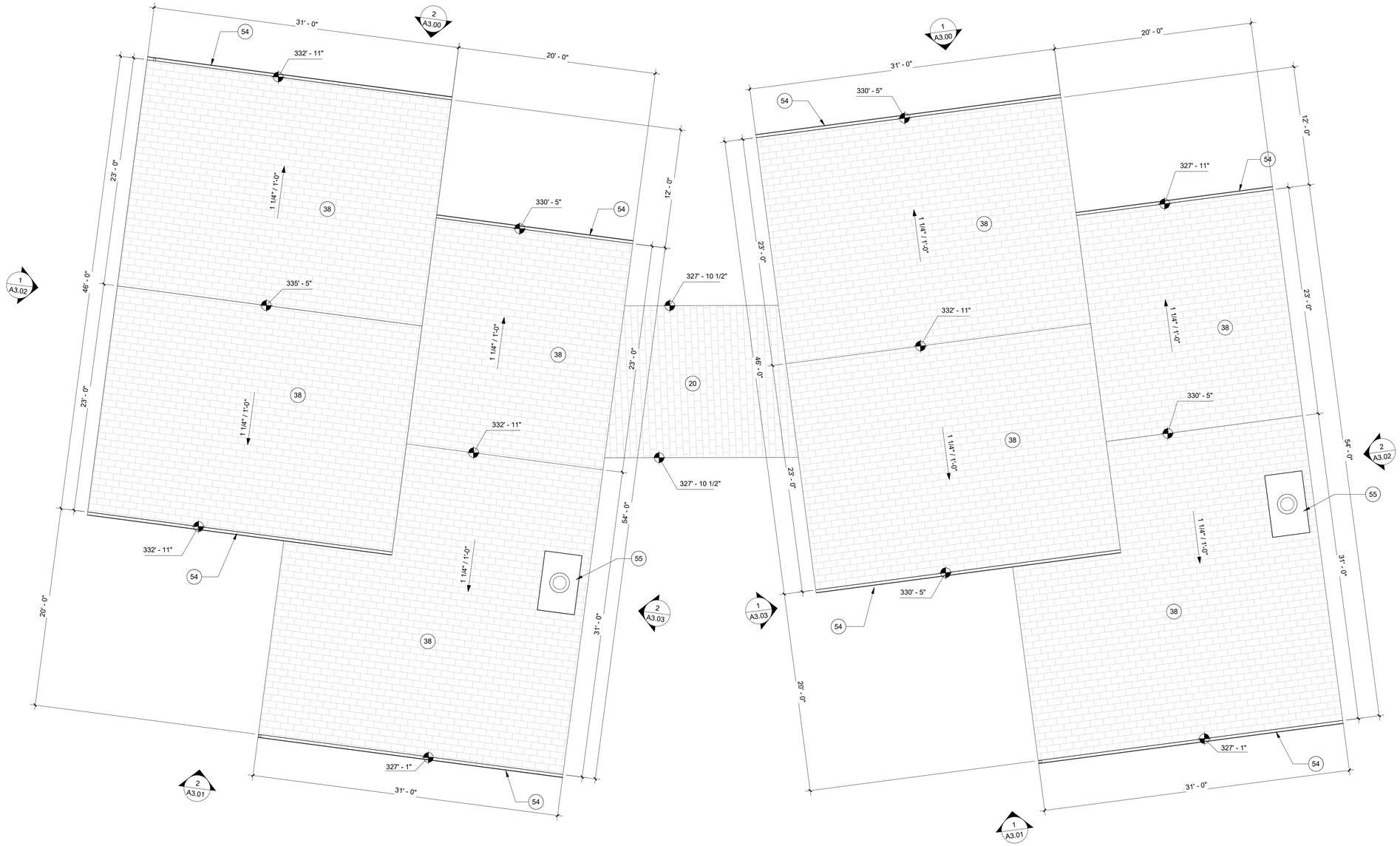
△	DESC.	DATE

0' 2' 4' 8'

TITLE
FLOOR PLAN - BASEMENT

A2.22
SHEET

6/16/2022 10:13:18 AM



1 ROOF PLAN - MAIN HOUSE

3/16" = 1'-0"

LEGEND

ROOF DRAIN

DIRECTION OF SLOPE

0' - 0" TOP OF ROOF ELEVATION

KEYNOTE LEGEND

38 PV ROOF SHINGLES
54 DARK ANODIZED ALUMINIUM GUTTERS
55 DARK ANODIZED ALUMINUM CHIMNEY CAP & VENT

ROOF PLAN GENERAL NOTES

1. REFER TO FLOOR PLANS FOR ROOF DRAINAGE AT LOWER LEVEL ROOFS
2. ROOFING SHALL MAINTAIN A CLASS 'A' FIRE RATING AND COMPLY WITH THE PROVISIONS OF CRC SECTION R902.1.3.
3. ROOF AND DECK SURFACES SHALL SLOPE AT 1/4" PER FOOT MINIMUM, U.O.N. VERIFY ALL SLOPES IN FIELD WITH ARCHITECT.
4. PROVIDE CRICKETS AT SKYLIGHTS, CHIMNEYS, MECHANICAL EQUIPMENT, AND OTHER LOCATIONS AS REQUIRED FOR POSITIVE DRAINAGE TOWARD DRAINS.
5. THE CONTRACTORS SHALL HAVE A COPY OF THE ROOFING SYSTEM I.C.B.O.REPORT PRESENT AT INSPECTIONS.
6. PROVIDE INDEPENDENTLY PIPED OVERFLOW DRAINS AT ROOF DRAIN LOCATIONS OR OVERFLOW SCUPPERS AS NOTED/REQUIRED.
7. PROVIDE CLEANOUTS AS REQUIRED.
8. PROVIDE BASKET DEBRIS SCREENS AT ROOF DRAINS.
9. FLASH AND SEAL ROOF PENETRATIONS SUCH AS VENTS, FANS, HOODS, ETC. AS REQUIRED FOR A WATER-TIGHT INSTALLATION.
10. SHEET METAL FLASHING AND TRIM SHALL BE G.S.M. TO THE MINIMUM GAUGES SPECIFIED IN THE PROJECT MANUAL, U.O.N.
11. STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.
12. ROOF CAVITIES ARE FILLED WITH INSULATION IN LIEU OF VENTILATION. SPRAY-IN-PLACE FOAM INSULATION IS USED AS A VAPOR BARRIER (2" MIN. APPLICATION) AS PRESCRIBED BY INDUSTRY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
    A. ROOF OVER CONDITIONED SPACES:
       (3" THK (R-19) SPRAY APPLIED FOAM-IN-PLACE INSULATION APPLIED TO ROOF DECK W/ R-19 BATT INSULATION, TYP.
    B. ROOF OVER UNCONDITIONED SPACES:
       NO INSULATION, TYP.
    C. PARAPETS:
       FILL CAVITIES W/ SPRAY APPLIED FOAM-IN-PLACE INSULATION, TYP.
    D. FREE-STANDING WALLS:
       FILL CAVITIES W/ SPRAY APPLIED FOAM-IN-PLACE INSULATION, TYP.

6/16/2022 10:13:21 AM

FELDMAN ARCHITECTURE
1648 Pacific Avenue, Suite B
San Francisco, California 94109
415 252 1441
www.feldmanarch.com

LICENSED ARCHITECT
JONATHAN FELDMAN
C-28459
11/30/2021
RENEWAL DATE
STATE OF CALIFORNIA

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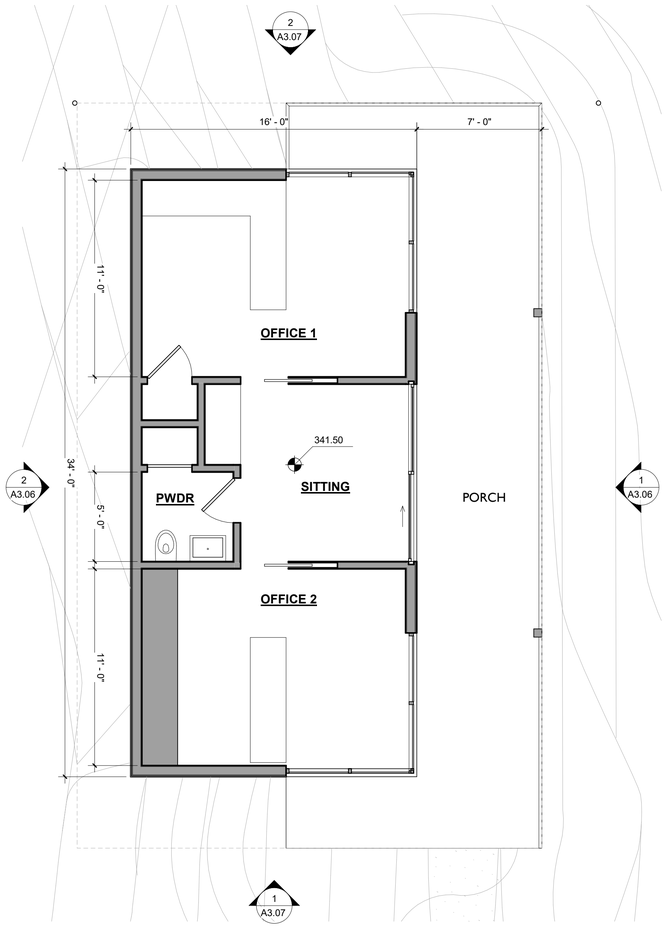
0' 2' 4' 8'

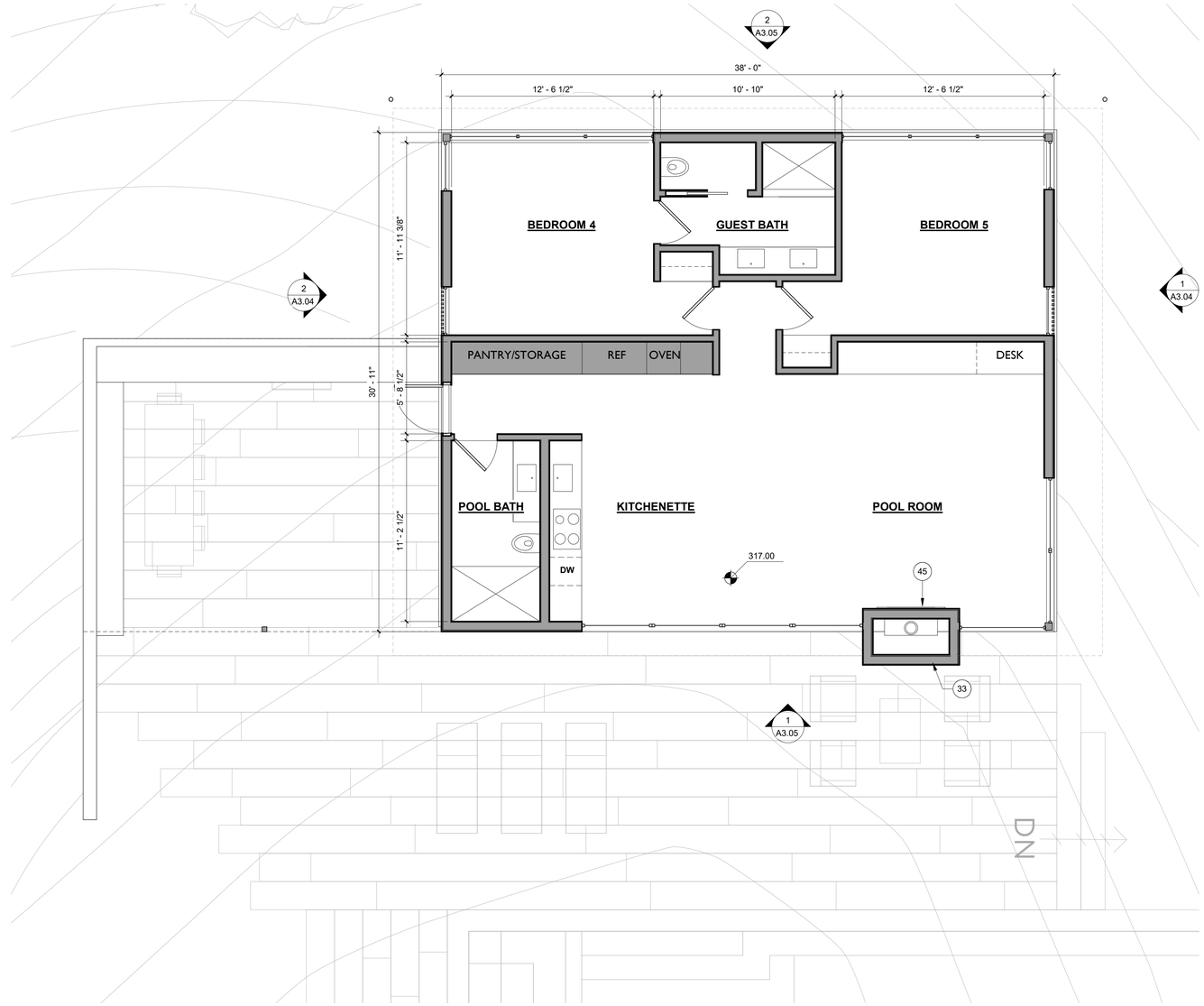
TITLE
ROOF PLAN - MAIN HOUSE

A2.23
SHEET



2 OFFICE FLOOR PLAN

1/4" : 1'-0"



1 POOL HOUSE FLOOR PLAN

1/4" = 1'-0"

LEGEND

NEW WALL

KEYNOTE LEGEND

33 BRICK CHIMNEY
45 DIRECT-VENT GAS FIREPLACE

FLOOR PLAN GENERAL NOTES

1. PROVIDE MIN 36" x 36" LEVEL LANDINGS OUTSIDE AT EXTERIOR DOORS PER CBC SECTION 1008.1.5, WITH LANDINGS NOT MORE THAN 7.75" BELOW INSIDE FINISHED FLOORS AT INWARD SWINGING (OR SLIDING) DOORS AND .75" AT OUTWARD SWINGING PER CBC SECTION 1008.1.6. LANDINGS SHALL SLOPE 1/4"/FT MIN. AWAY FROM DOORS.
2. PROVIDE SOUND ATTENUATION INSULATION AT INTERIOR WALLS AND FLOORS.
3. GLASS DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES & ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE OR DRAIN INLET SHALL BE TEMPERED SAFETY GLASS, AS PER CBC SECTION 2406.3 #5.
4. PROVIDE SKID-RESISTANT SURFACE ON BATHROOM FLOORS.
5. BASE MATERIAL BENEATH SHOWER PAN SLOPED TO DRAIN AS PER CPC SECTION 411.4.
6. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH.
7. SEPARATION BETWEEN GARAGE AND MAIN RESIDENCE AS PER CBC SECTION 406.3.4.1 SHALL BE SEPARATED BY 1/2" MIN. GYP BD. ON WALLS & 5/8" TYPE "X" GYP BD. OR EQUIVALENT ON CEILINGS WHEN A GARAGE IS BELOW A HABITABLE ROOM.
8. PER CRC R307.2 AND R702.4.2, BATHTUB/SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
9. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
10. PROVIDE MIN 30" CLR WIDTH @ W.C. AND 24" CLR. FLOOR AREA AT FRONT OF BOWL.
11. ANNULAR SPACE AROUND PIPES, ELECTRIC OUTLETS, CONDUITS OR OTHER OPENINGS IN THE BUILDING'S ENVELOPE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS (CALGREEN 4.406.1)
12. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 75 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 4.408.1 TIER 2.
13. ALL DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.

KEYPLAN DIAGRAM - GARAGE

6/16/2022 10:13:24 AM

FELDMAN
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LICENSED ARCHITECT
JONATHAN FELDMAN
C-28459
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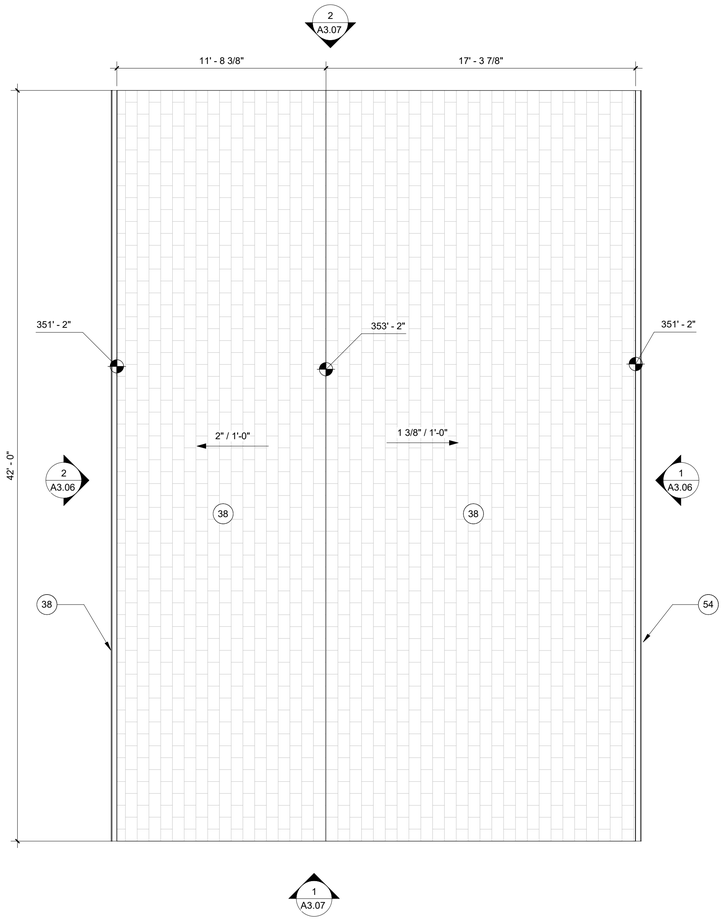
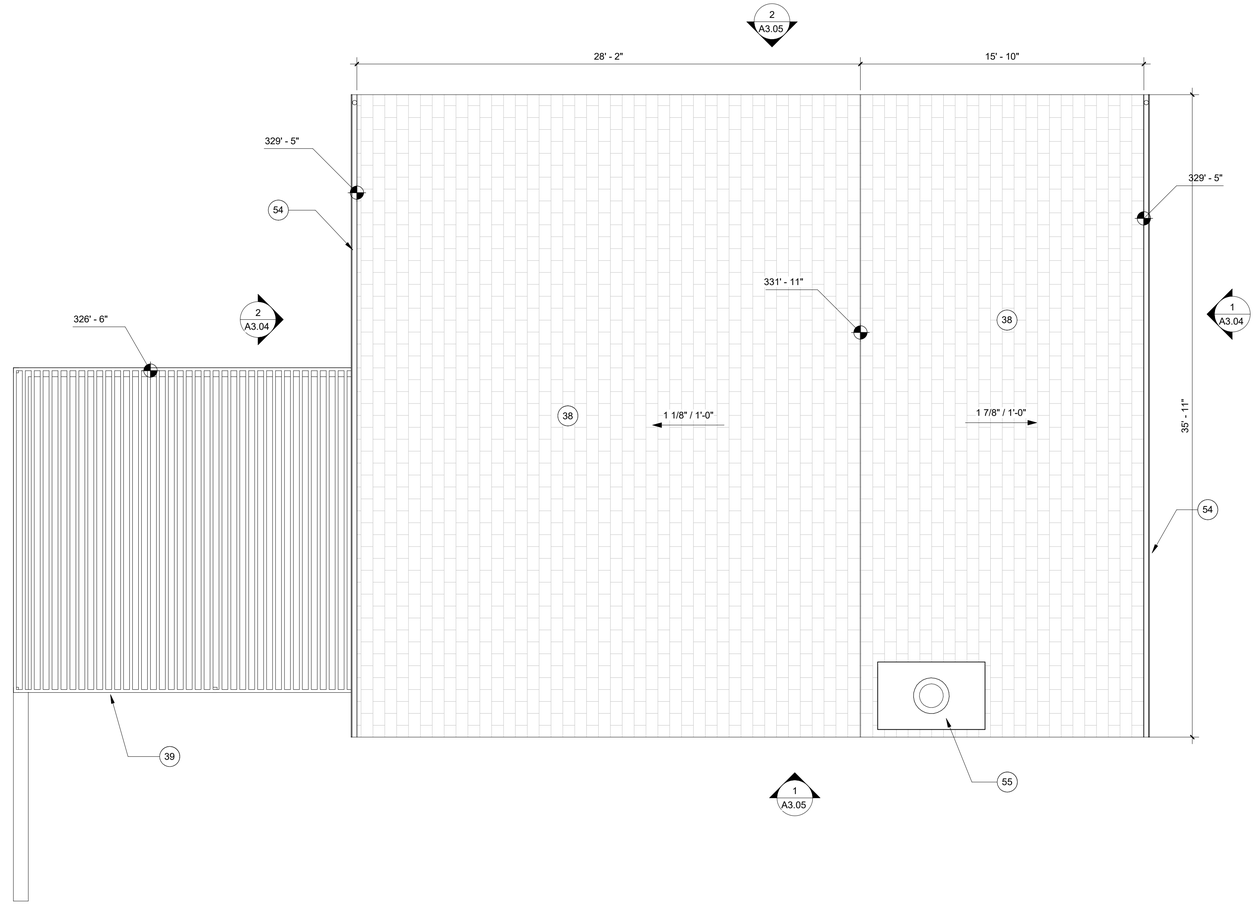
△ DESC. DATE

TITLE
FLOOR PLAN - OFFICE + POOL HOUSE

A2.24
SHEET



2 ROOF PLAN - OFFICE
1/4" = 1'-0"



1 ROOF PLAN - POOL
1/4" = 1'-0"

LEGEND

ROOF DRAIN

DIRECTION OF SLOPE

0' - 0" TOP OF ROOF ELEVATION

KEYNOTE LEGEND

38 PV ROOF SHINGLES
54 DARK ANODIZED ALUMINIUM GUTTERS
55 DARK ANODIZED ALUMINUM CHIMNEY CAP & VENT

ROOF PLAN GENERAL NOTES

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       FILL CAVITIES W/ SPRAY APPLIED FOAM-IN-PLACE INSULATION, TYP.
    D. FREE-STANDING WALLS:
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6/16/2022 10:13:26 AM

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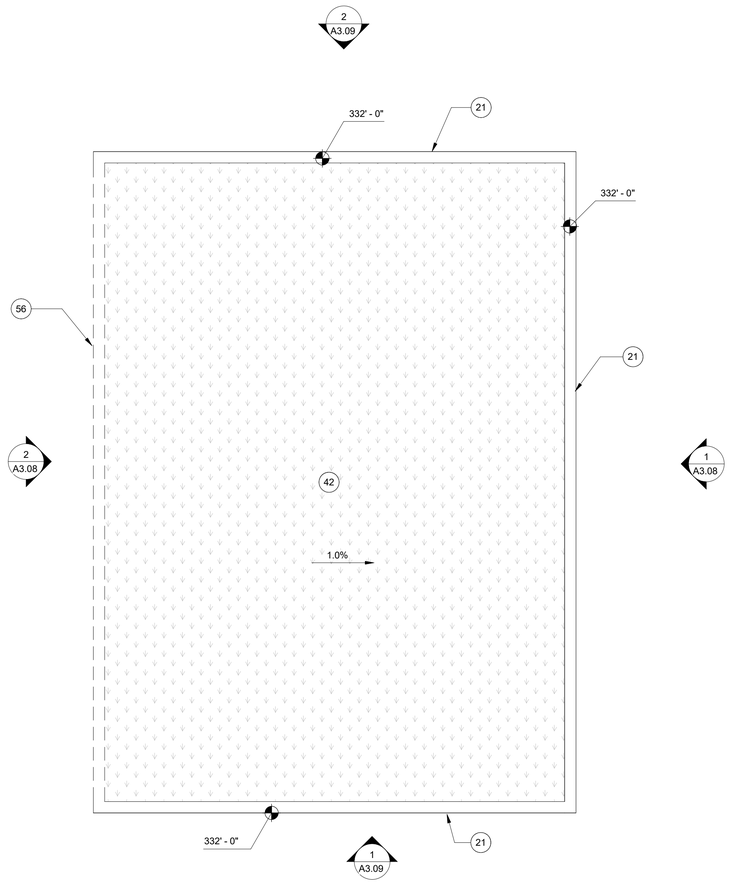
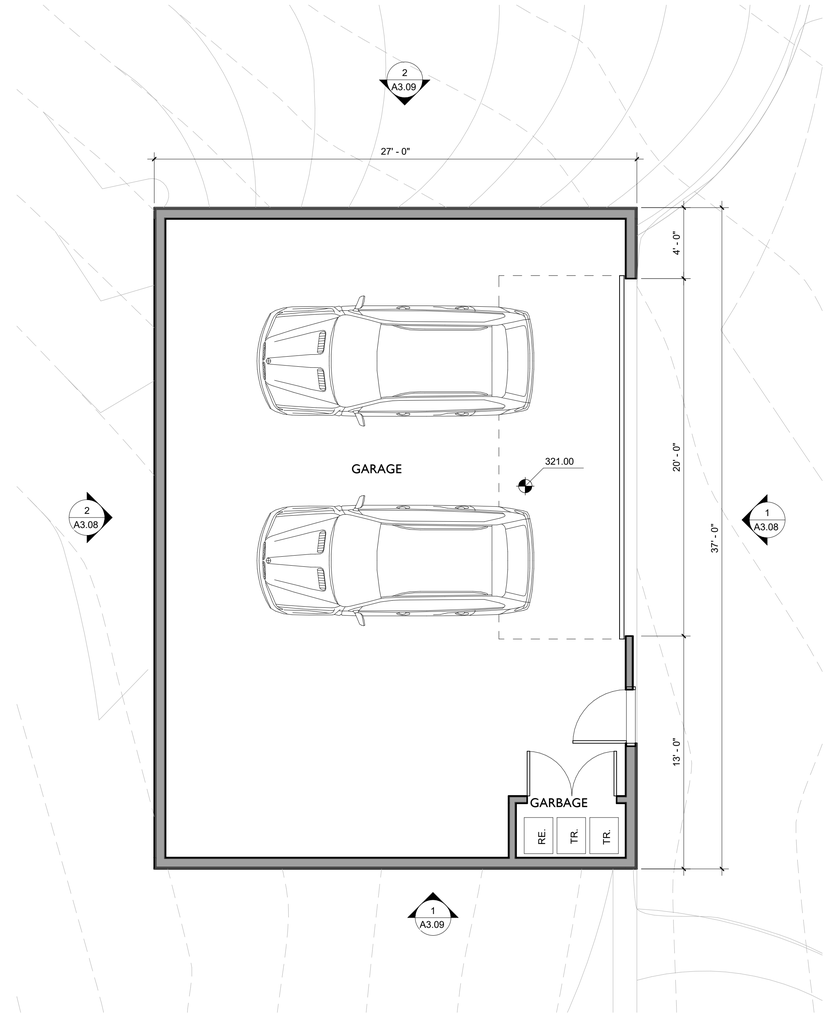
TITLE
ROOF PLANS - OFFICE + POOL HOUSE

A2.25
SHEET



2 ROOF PLAN - GARAGE

1/4" = 1'-0"



1 FLOOR PLAN - GARAGE

1/4" = 1'-0"

LEGEND

- NEW WALL
- ROOF DRAIN
- DIRECTION OF SLOPE
- 0' - 0" TOP OF ROOF ELEVATION

KEYNOTE LEGEND

FLOOR PLAN GENERAL NOTES

1. PROVIDE MIN 36" x 36" LEVEL LANDINGS OUTSIDE AT EXTERIOR DOORS PER CBC SECTION 1008.1.5, WITH LANDINGS NOT MORE THAN 7.75" BELOW INSIDE FINISHED FLOORS AT INWARD SWINGING (OR SLIDING) DOORS AND .75" AT OUTWARD SWINGING PER CBC SECTION 1008.1.6. LANDINGS SHALL SLOPE 1/4"/FT MIN. AWAY FROM DOORS.
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10. PROVIDE MIN 30" CLR WIDTH @ W.C. AND 24" CLR. FLOOR AREA AT FRONT OF BOWL.
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KEYPLAN DIAGRAM - GARAGE

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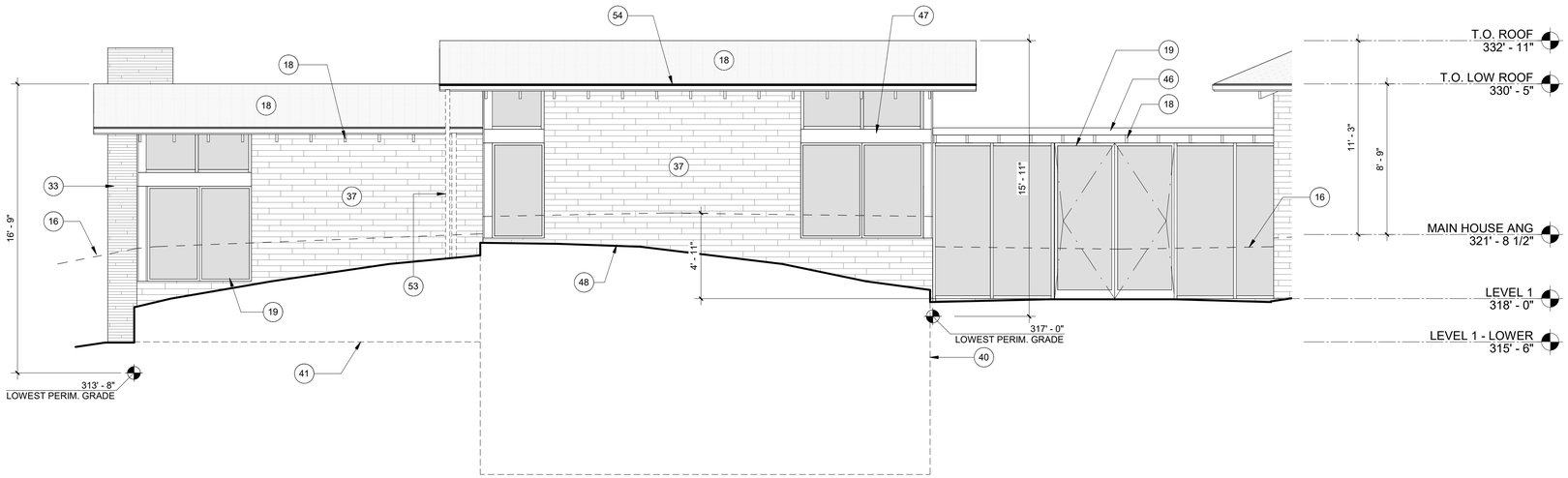
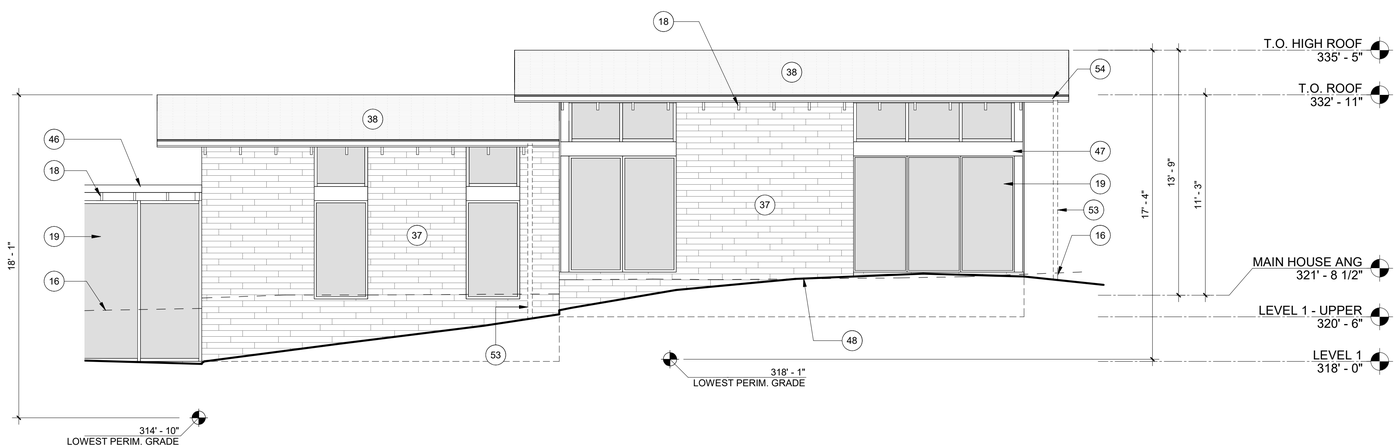
TITLE
FLOOR & ROOF PLAN - GARAGE

A2.26
SHEET

6/16/2022 10:13:28 AM



1 EAST ELEVATION - MAIN HOUSE - LIVING WING
1/4" = 1'-0"



2 EAST ELEVATION - MAIN HOUSE - BEDROOM WING
1/4" = 1'-0"

LEGEND

- BRICK SHINGLE SIDING
- STACKED BRICK
- GLASS
- PV ROOF SHINGLES

KEYNOTE LEGEND

16	LINE OF (E) GRADE SHOWN DASHED, TYP.
18	STAINED WOOD ROOF FRAMING MEMBERS, TYP.; WUI COMPLIANT
19	STAINED WOOD WINDOWS & DOORS, TYP.; WUI COMPLIANT
33	BRICK CHIMNEY
37	BRICK SHINGLE SIDING
38	PV ROOF SHINGLES
40	LINE OF BASEMENT BELOW GRADE
41	LINE OF BUILDING BELOW GRADE
46	STAINED WOOD FASCIA, TYP.; WUI COMPLIANT
47	STAINED WOOD HEADER, TYP.; WUI COMPLIANT
48	LINE OF NEW GRADE @ BUILDING PERIMETER
53	RAIN CHAIN
54	DARK ANODIZED ALUMINIUM GUTTERS

ELEVATION GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
2. GRADE FOR ESTABLISHING DAYLIGHT PLANE SHALL BE AN AVERAGE OF THE GRADE AT THE MIDPOINT OF THE BUILDING AND GRADE AT THE CLOSEST POINT ON THE ADJACENT LOT.

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8/11/22

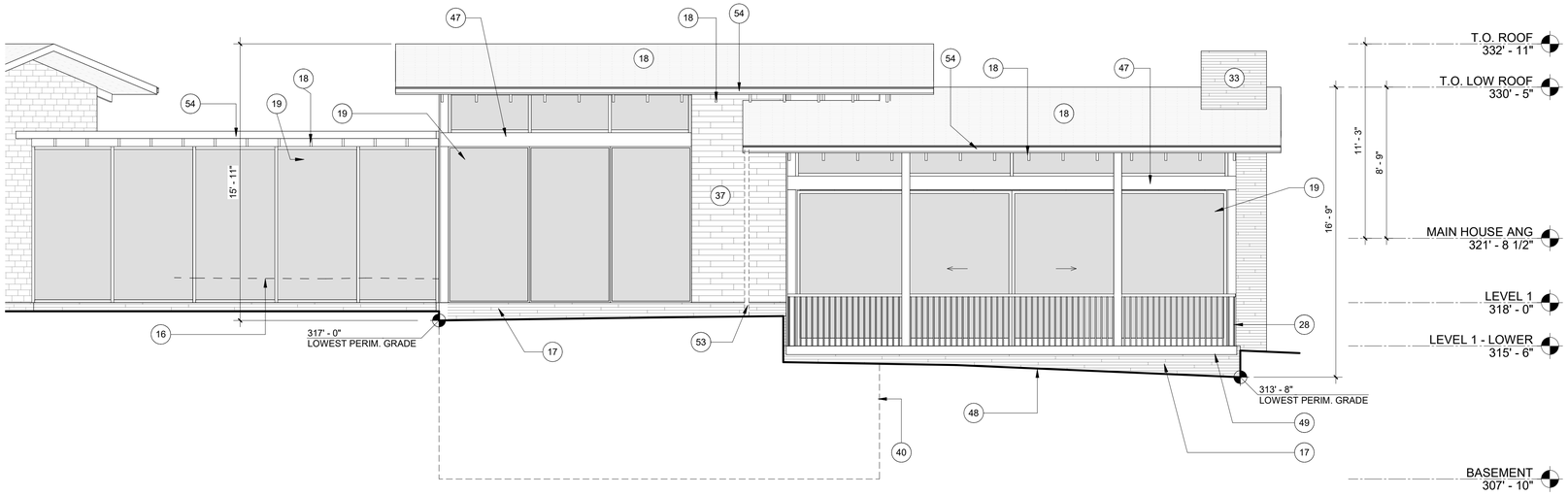
HISTORY

△	DESC.	DATE

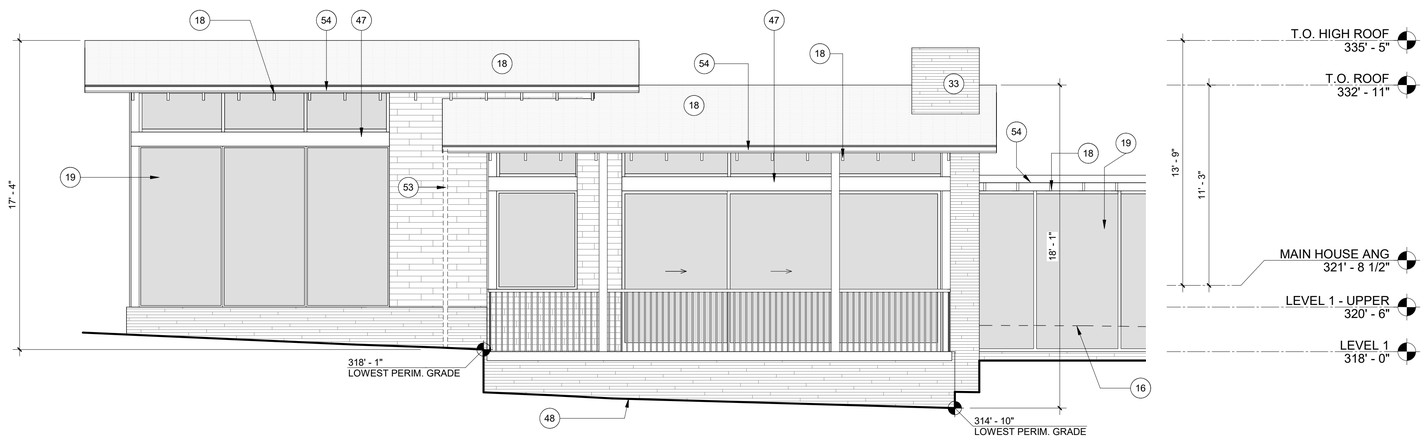
TITLE
EXTERIOR ELEVATIONS - EAST - LIVING WING + BEDROOM WING

A3.00
SHEET

8/2/2022 12:27:58 PM



1 WEST ELEVATION - MAIN HOUSE - LIVING WING
1/4" = 1'-0"



2 WEST ELEVATION - MAIN HOUSE- BEDROOM WING
1/4" = 1'-0"

LEGEND

- BRICK SHINGLE SIDING
- STACKED BRICK
- GLASS
- PV ROOF SHINGLES

KEYNOTE LEGEND

16	LINE OF (E) GRADE SHOWN DASHED, TYP.
17	BRICK CLADDING
18	STAINED WOOD ROOF FRAMING MEMBERS, TYP.; WUI COMPLIANT
19	STAINED WOOD WINDOWS & DOORS, TYP.; WUI COMPLIANT
28	42" HIGH METAL ROD GUARDRAIL
33	BRICK CHIMNEY
37	BRICK SHINGLE SIDING
40	LINE OF BASEMENT BELOW GRADE
47	STAINED WOOD HEADER, TYP.; WUI COMPLIANT
48	LINE OF NEW GRADE @ BUILDING PERIMETER
49	STAINED WOOD DECK FRAMING; WUI COMPLIANT
53	RAIN CHAIN
54	DARK ANODIZED ALUMINIUM GUTTERS

ELEVATION GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
2. GRADE FOR ESTABLISHING DAYLIGHT PLANE SHALL BE AN AVERAGE OF THE GRADE AT THE MIDPOINT OF THE BUILDING AND GRADE AT THE CLOSEST POINT ON THE ADJACENT LOT.

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8/11/22

HISTORY

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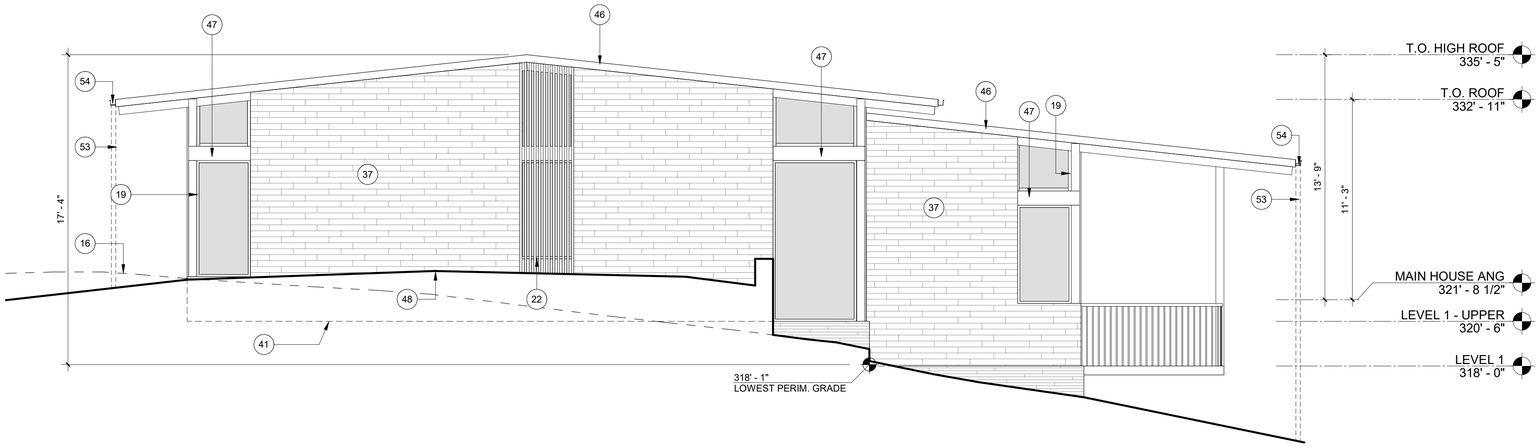
TITLE
EXTERIOR ELEVATIONS - WEST - LIVING WING + BEDROOM WING

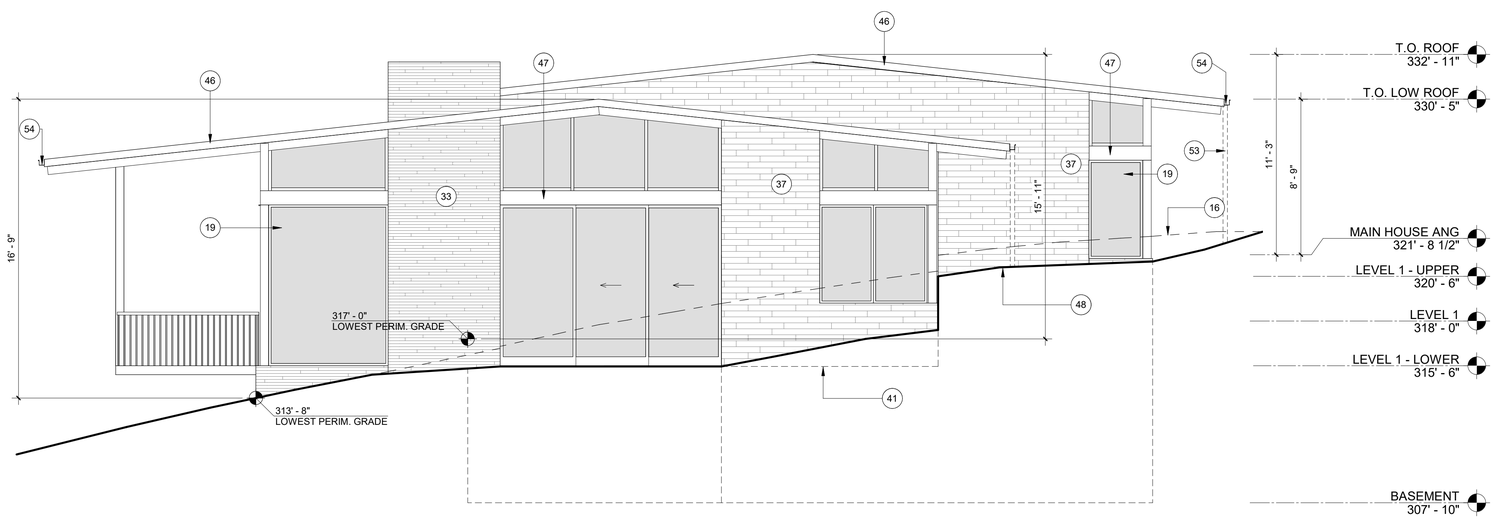
A3.01
SHEET

8/2/2022 12:27:59 PM



1 NORTH ELEVATION - MAIN HOUSE - BEDROOM WING

1/4" = 1'-0"



2 SOUTH ELEVATION - MIAN HOUSE - LIVING WING

1/4" = 1'-0"

LEGEND

- BRICK SHINGLE SIDING
- STACKED BRICK
- GLASS
- PV ROOF SHINGLES

KEYNOTE LEGEND

16	LINE OF (E) GRADE SHOWN DASHED, TYP.
19	STAINED WOOD WINDOWS & DOORS, TYP.; WUI COMPLIANT
22	STAINED WOOD SCREEN
33	BRICK CHIMNEY
37	BRICK SHINGLE SIDING
41	LINE OF BUILDING BELOW GRADE
46	STAINED WOOD FASCIA, TYP.; WUI COMPLIANT
47	STAINED WOOD HEADER, TYP.; WUI COMPLIANT
48	LINE OF NEW GRADE @ BUILDING PERIMETER
53	RAIN CHAIN
54	DARK ANODIZED ALUMINIUM GUTTERS

ELEVATION GENERAL NOTES

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LICENSED ARCHITECT
JONATHAN FELDMAN
C-28459
11/30/2021
RENEWAL DATE
STATE OF CALIFORNIA

PROJECT NAME
ROSENBERG RESIDENCE

PROJECT ADDRESS
33 POTRERO TRAIL
SANTA LUCIA PRESERVE
CARMEL, CA 93923

APN #
239-111-013

CLIENT
BRENDA & STEVE ROSENBERG

FA JOB NO.
21-024

ISSUE
PLANNING REVISION

DATE
8/11/22

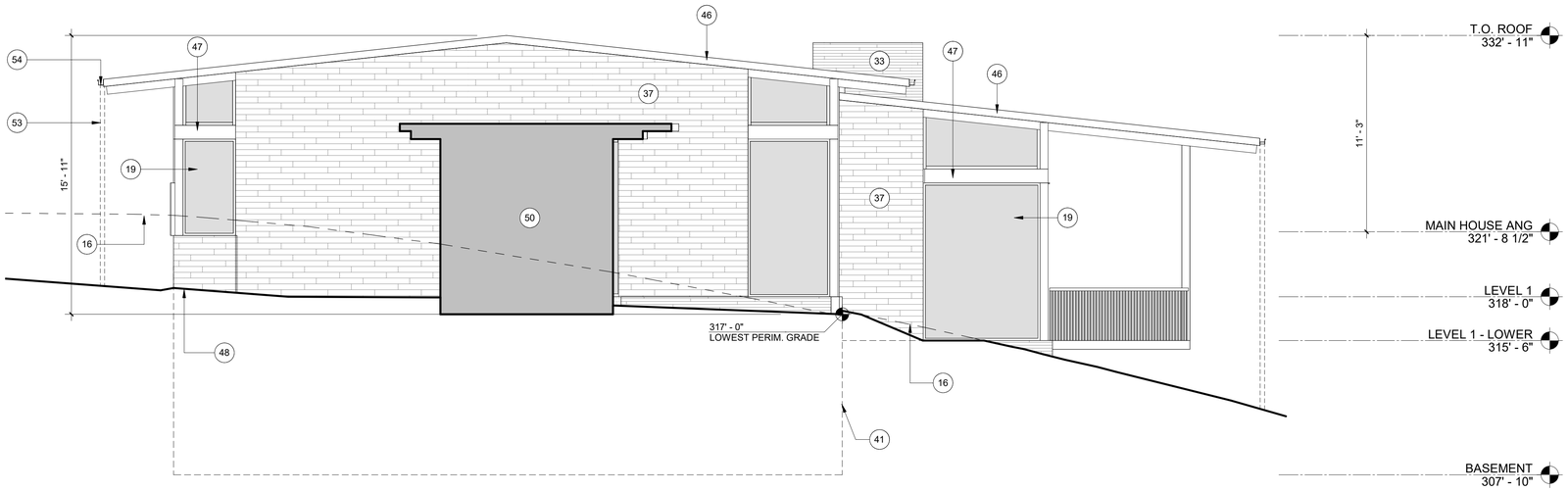
HISTORY

△	DESC.	DATE

TITLE
EXTERIOR ELEVATIONS - NORTH AND SOUTH - BEDROOM WING + LIVING WING

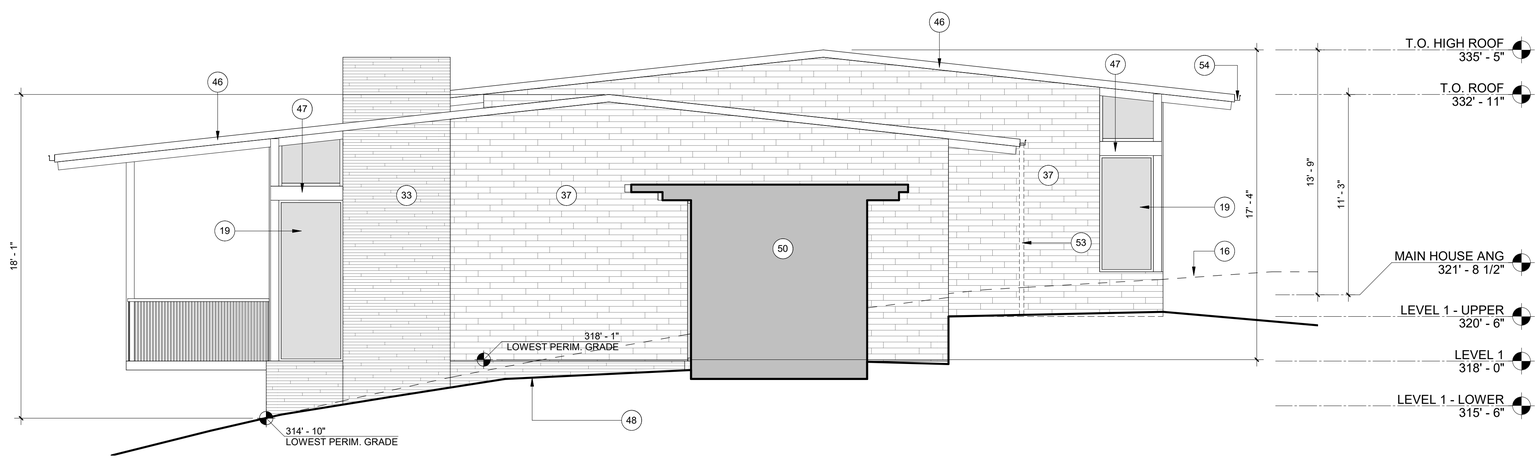
A3.02
SHEET

8/2/2022 12:28:00 PM



1 NORTH ELEVATION - MAIN HOUSE - LIVING WING

1/4" = 1'-0"



2 SOUTH ELEVATION - MAIN HOUSE - BEDROOM WING

1/4" = 1'-0"

LEGEND

- BRICK SHINGLE SIDING
- STACKED BRICK
- GLASS
- PV ROOF SHINGLES

KEYNOTE LEGEND

16	LINE OF (E) GRADE SHOWN DASHED, TYP.
19	STAINED WOOD WINDOWS & DOORS, TYP.; WUI COMPLIANT
33	BRICK CHIMNEY
37	BRICK SHINGLE SIDING
41	LINE OF BUILDING BELOW GRADE
46	STAINED WOOD FASCIA, TYP.; WUI COMPLIANT
47	STAINED WOOD HEADER, TYP.; WUI COMPLIANT
48	LINE OF NEW GRADE @ BUILDING PERIMETER
50	SECTION THRU ENTRY SHOWN POCHED FOR CLARITY
53	RAIN CHAIN
54	DARK ANODIZED ALUMINIUM GUTTERS

ELEVATION GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
2. GRADE FOR ESTABLISHING DAYLIGHT PLANE SHALL BE AN AVERAGE OF THE GRADE AT THE MIDPOINT OF THE BUILDING AND GRADE AT THE CLOSEST POINT ON THE ADJACENT LOT.

FELDMAN ARCHITECTURE

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A3.03
SHEET

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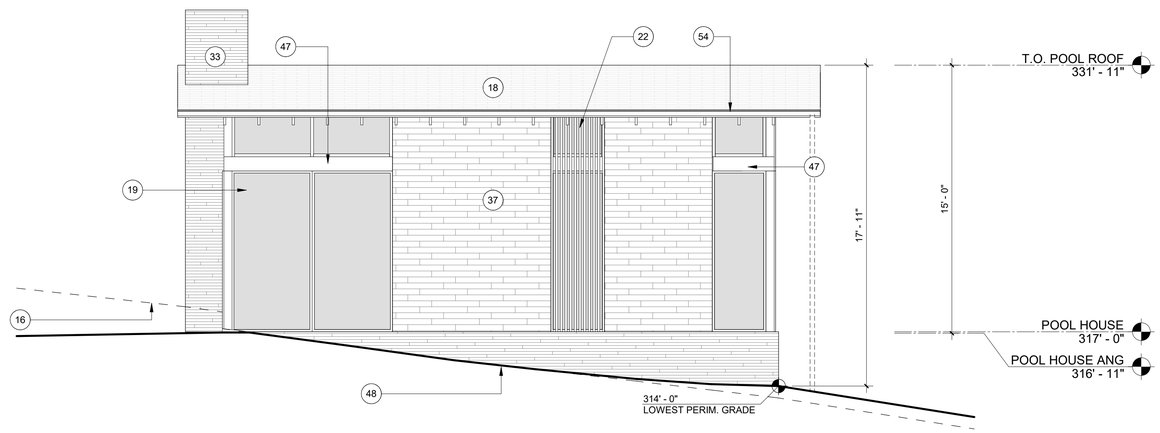
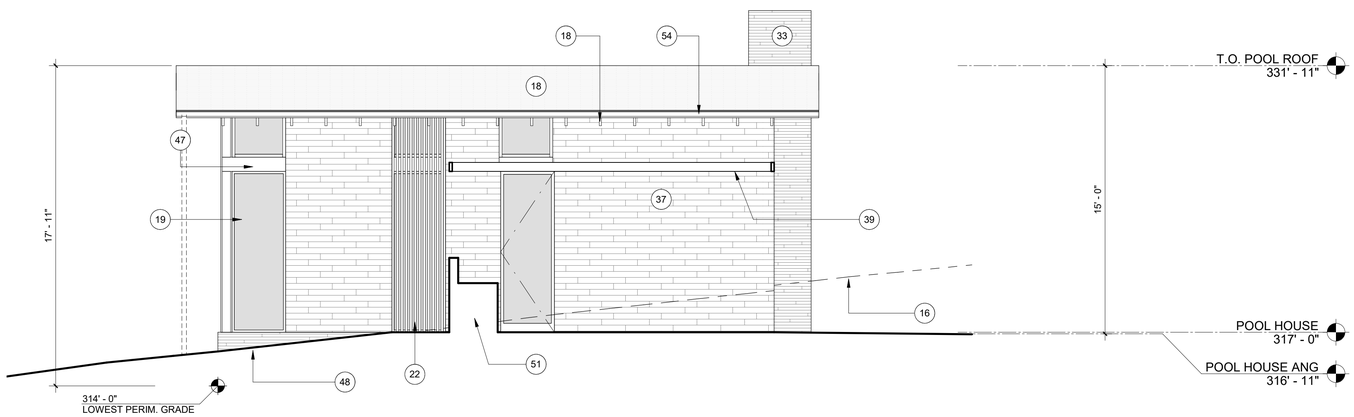


1 SOUTH ELEVATION - POOL HOUSE
1/4" = 1'-0"



2 NORTH ELEVATION - POOL HOUSE
1/4" = 1'-0"

LEGEND

- BRICK SHINGLE SIDING
- STACKED BRICK
- GLASS
- PV ROOF SHINGLES

KEYNOTE LEGEND

16	LINE OF (E) GRADE SHOWN DASHED, TYP.
18	STAINED WOOD ROOF FRAMING MEMBERS, TYP.; WUI COMPLIANT
19	STAINED WOOD WINDOWS & DOORS, TYP.; WUI COMPLIANT
22	STAINED WOOD SCREEN
33	BRICK CHIMNEY
37	BRICK SHINGLE SIDING
39	STAINED WOOD TRELLIS; WUI COMPLIANT
47	STAINED WOOD HEADER, TYP.; WUI COMPLIANT
48	LINE OF NEW GRADE @ BUILDING PERIMETER
51	OUTDOOR KITCHEN, S.L.D.
54	DARK ANODIZED ALUMINIUM GUTTERS

ELEVATION GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
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TITLE
EXTERIOR ELEVATIONS - NORTH AND SOUTH - POOL HOUSE

A3.04
SHEET

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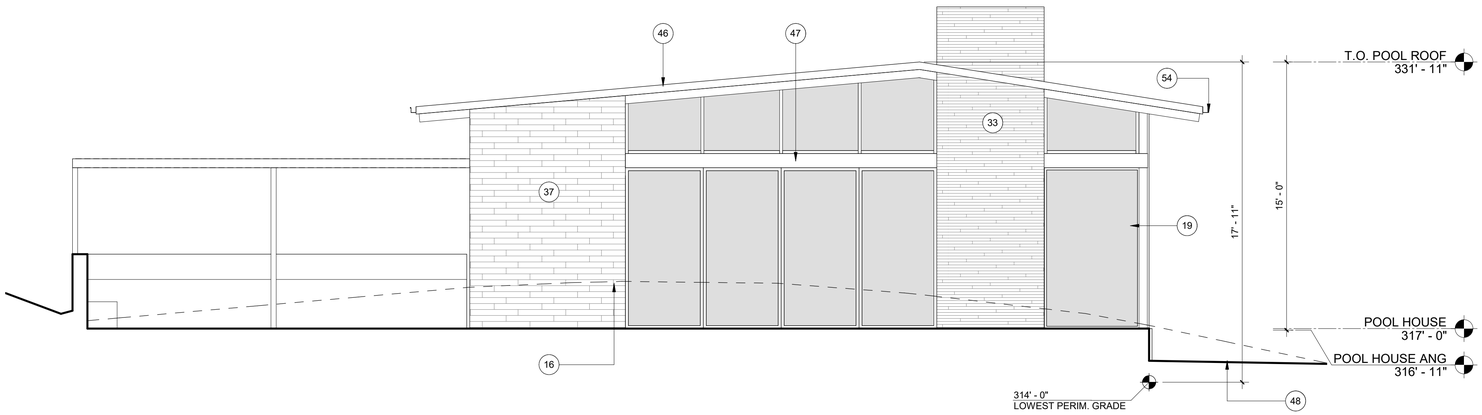
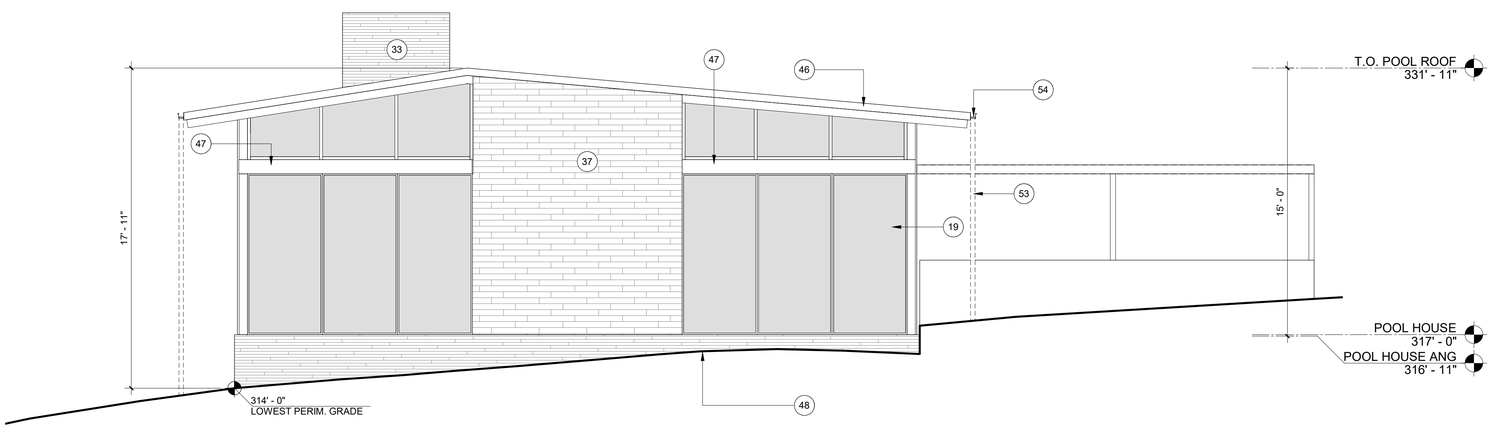


1 WEST ELEVATION - POOL HOUSE
1/4" = 1'-0"



2 EAST ELEVATION - POOL HOUSE
1/4" = 1'-0"

LEGEND

- BRICK SHINGLE SIDING
- STACKED BRICK
- GLASS
- PV ROOF SHINGLES

KEYNOTE LEGEND

16	LINE OF (E) GRADE SHOWN DASHED, TYP.
19	STAINED WOOD WINDOWS & DOORS, TYP.; WUI COMPLIANT
33	BRICK CHIMNEY
37	BRICK SHINGLE SIDING
46	STAINED WOOD FASCIA, TYP.; WUI COMPLIANT
47	STAINED WOOD HEADER, TYP.; WUI COMPLIANT
48	LINE OF NEW GRADE @ BUILDING PERIMETER
53	RAIN CHAIN
54	DARK ANODIZED ALUMINIUM GUTTERS

ELEVATION GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
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DATE
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TITLE
EXTERIOR ELEVATIONS - EAST AND WEST - POOL HOUSE

A3.05
SHEET

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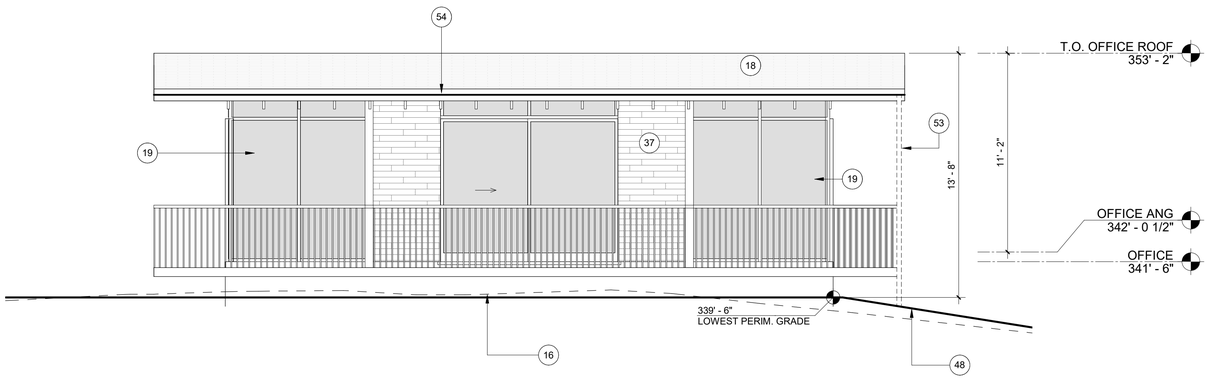
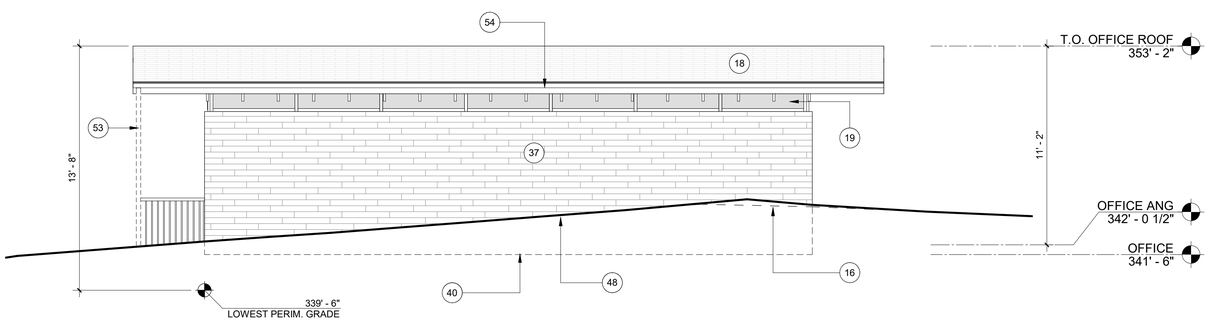


1 SOUTH ELEVATION - OFFICE

1/4" = 1'-0"



2 NORTH ELEVATION - OFFICE

1/4" = 1'-0"

LEGEND

- BRICK SHINGLE SIDING
- STACKED BRICK
- GLASS
- PV ROOF SHINGLES

KEYNOTE LEGEND

16	LINE OF (E) GRADE SHOWN DASHED, TYP.
18	STAINED WOOD ROOF FRAMING MEMBERS, TYP.; WUI COMPLIANT
19	STAINED WOOD WINDOWS & DOORS, TYP.; WUI COMPLIANT
37	BRICK SHINGLE SIDING
40	LINE OF BASEMENT BELOW GRADE
48	LINE OF NEW GRADE @ BUILDING PERIMETER
53	RAIN CHAIN
54	DARK ANODIZED ALUMINIUM GUTTERS

ELEVATION GENERAL NOTES

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TITLE
EXTERIOR ELEVATIONS - NORTH AND SOUTH - OFFICE

A3.06
SHEET

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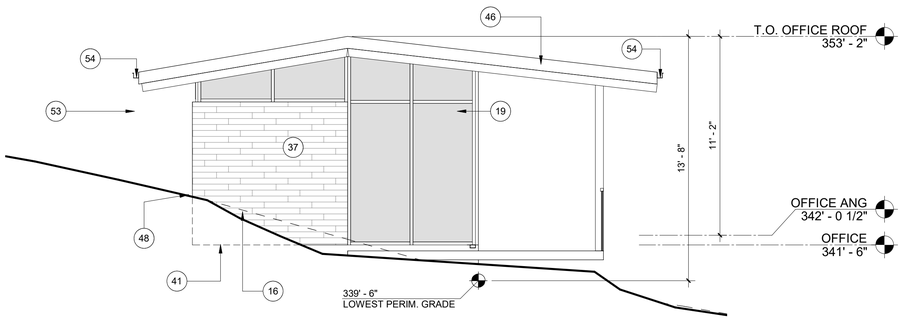
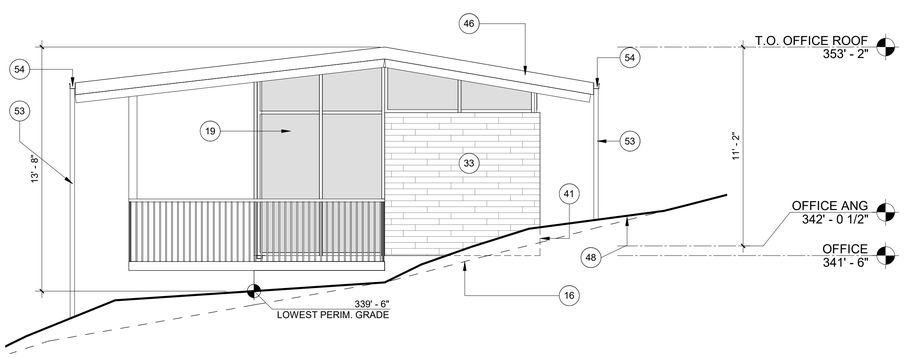


1 WEST ELEVATION - OFFICE

1/4" = 1'-0"



2 EAST ELEVATION - OFFICE

1/4" = 1'-0"

LEGEND

- BRICK SHINGLE SIDING
- STACKED BRICK
- GLASS
- PV ROOF SHINGLES

KEYNOTE LEGEND

16	LINE OF (E) GRADE SHOWN DASHED, TYP.
19	STAINED WOOD WINDOWS & DOORS, TYP.; WUI COMPLIANT
33	BRICK CHIMNEY
37	BRICK SHINGLE SIDING
41	LINE OF BUILDING BELOW GRADE
46	STAINED WOOD FASCIA, TYP.; WUI COMPLIANT
48	LINE OF NEW GRADE @ BUILDING PERIMETER
53	RAIN CHAIN
54	DARK ANODIZED ALUMINIUM GUTTERS

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DATE
8/11/22

HISTORY

△	DESC.	DATE

TITLE
EXTERIOR ELEVATIONS - EAST AND WEST - OFFICE

A3.07
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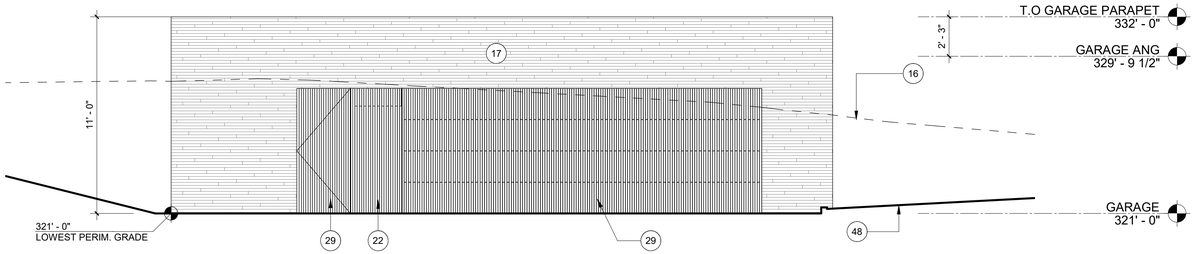
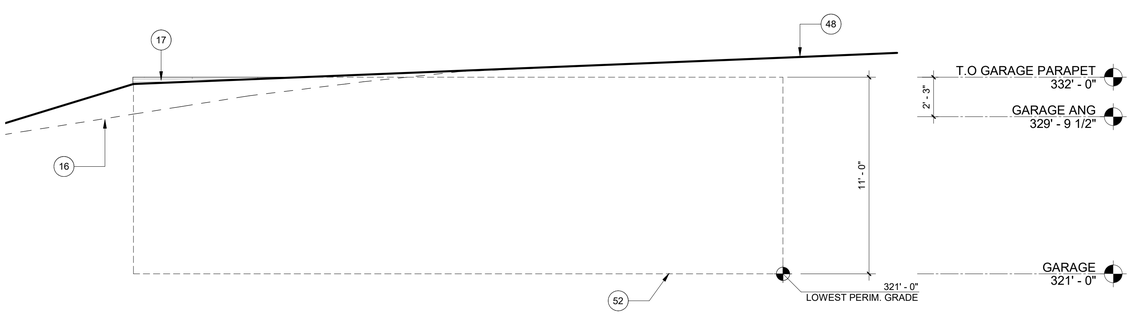


1 SOUTH ELEVATION - GARAGE
1/4" = 1'-0"



2 NORTH ELEVATION - GARAGE
1/4" = 1'-0"

LEGEND

- BRICK SHINGLE SIDING
- STACKED BRICK
- GLASS
- PV ROOF SHINGLES

KEYNOTE LEGEND

16	LINE OF (E) GRADE SHOWN DASHED, TYP.
17	BRICK CLADDING
22	STAINED WOOD SCREEN
29	STAINED WOOD CLAD & GLASS GARAGE DOORS
48	LINE OF NEW GRADE @ BUILDING PERIMETER
52	LINE OF GARAGE BELOW GRADE BEYOND

ELEVATION GENERAL NOTES

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HISTORY

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TITLE
EXTERIOR ELEVATIONS - NORTH AND SOUTH - GARAGE

A3.08
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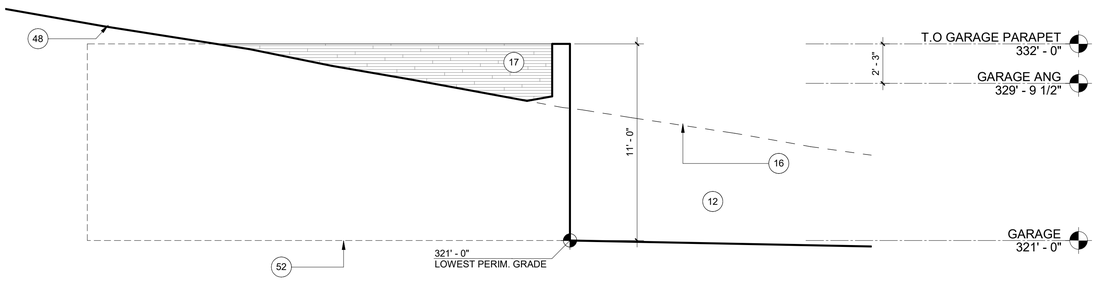
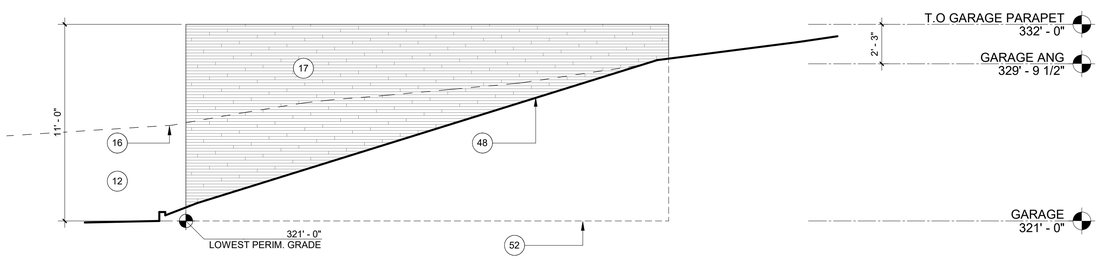


1 WEST ELEVATION - GARAGE
1/4" = 1'-0"



2 EAST ELEVATION - GARAGE
1/4" = 1'-0"

LEGEND

- BRICK SHINGLE SIDING
- STACKED BRICK
- GLASS
- PV ROOF SHINGLES

KEYNOTE LEGEND

12	(N) DRIVEWAY
16	LINE OF (E) GRADE SHOWN DASHED, TYP.
17	BRICK CLADDING
48	LINE OF NEW GRADE @ BUILDING PERIMETER
52	LINE OF GARAGE BELOW GRADE BEYOND

ELEVATION GENERAL NOTES

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EXTERIOR ELEVATIONS - EAST AND WEST - GARAGE

A3.09
SHEET

8/2/2022 12:28:04 PM

FUEL MANAGEMENT NOTES:

DRIVEWAY ZONE
a. Grassland, and the understory of all Oak Savanna, and Oak Woodland vegetation should be mowed within 15 feet from the pavement edges, according to the recommendations in the Grassland Zone.
b. All Chaparral, Coastal Scrub, and Oak/Shrub Woodland vegetation should be treated to 30 feet from the pavement edge, according to their respective recommendations.
c. All tree branches extending over driveway surfaces should be pruned to ensure 15 feet of vertical clearance. Whenever possible, healthy overhanging branches higher than 15 feet should be left in place to shade driveway areas and thereby reduce weed and understory growth.
d. Every residential structure shall have a dedicated fire hydrant and a hammerhead or other safe turnaround for fire equipment access as detailed in the Santa Lucia Preserve Design Guidelines. Vegetation around these facilities must be maintained as needed to ensure visibility and access, vegetation must be cleared three feet around fire hydrant.

GRASSLAND ZONE
a. Within 30 feet from structures, all annual grassland areas should be mowed in early summer to maintain a minimum height of 4 inches during the summer.
b. Native perennial grasses and wildflower stands should not be mowed more frequently than 60 days, ideally shortly after they have set seed. This may require a delayed mowing schedule in wetter years to maintain their density. Consult with the Conservancy staff as needed.
c. Trees growing within the Grassland Zone should be treated according to the recommendations made in the Oak Woodland Zone.
d. Coyote bush, and a number of other shrub species, growing within the grassland zone, may be removed to maintain open herbaceous grasslands as part of an approved Lot-Specific Plan.

OAK WOODLAND ZONE
Understory plants must be kept short, and small lower tree branches must be removed.
a. Within 30 feet from structures, at the beginning of each summer, ensure that the herbaceous understory is maintained at a maximum height of 4 inches.
b. Selectively remove flammable species like coyote bush, and prune-back and remove dead branches from less-flammable desirable species such as coffee berry, currant and wild rose.
c. Native understory shrubs are to be kept free of dead branches and no more than 2.5 feet in height.
d. Leaf litter depth should be kept to no greater than 4 inches.
e. As an exception to the fuel management standards, the distance between the understory in the 150 to 200-foot should be treated every 5 years and allowed to re-grow to 2.5 feet.

Prescriptions for tree pruning:
a. All branches, living or dead, less than 3 inches diameter in width and less than either 8 feet from the ground or three times the height of any understory shrubs whichever is greater, shall be removed (Figure 15).
b. Living branches that are greater than 3 inches in diameter but lower than 8 feet in height can be retained, provided that the area within the drip-line of trees is maintained Oaks with live limbs resting on the ground need not be removed, but all ground debris around and beneath the limbs must be removed to reduce fire risk.
c. Dead limbs less than 8 feet in height shall be removed.
d. In landscaped areas, healthy tree branches less than 3 inches in diameter or 8 inches diameter if split or diseased, should be removed to provide vertical clearance of 3 times the height of the understory plants, or 8 feet above understory plants, whichever is greater.
e. For trees shorter than 24 inches in height, remove lower 1/3 of branches smaller than 3 inches in diameter, or alternatively, treat as a shrub grouping.
f. Once initial pruning is accomplished, tree pruning is likely to be needed infrequently, on an interval of about once every 3 to 5 years.
g. Do not thin or prune the tree canopy, as this will promote more understory shrub growth as well as lower parts of the tree, and will result in increased risk that fire will spread to the tree canopy.
h. Sometimes small trees may need to be cut to the ground in order to achieve the separation of the ground level from the tree canopy, or because mowing equipment cannot avoid the small trees. In all circumstances, removal of seedlings and saplings of black oak, valley oak, or blue oak in the Openlands requires prior approval from the Santa Lucia Conservancy.

COASTAL SCRUB ZONE
All shrubs within coastal scrub must be thinned or mowed within 200 feet of structures.
a. In open areas away from trees, within 200 feet of structures, change the pattern into discontinuous groups of shorter, younger, more succulent shrubs and ensure the distance between groups of shrubs is at least 2 times the height of the shrub patch (see Figure 31).
b. In coyote brush dominated stands, if other shrub species are present, retain them at the expense of coyote brush. Retain less-flammable desirable shrubs, such as ceanothus, currant, coffee berry, native rose, and sticky monkey flower.
c. It is not necessary to eliminate coyote brush within the fuel management zone. Instead, change the pattern into discontinuous groups of shorter, younger, more succulent shrubs. If native bunch grasses are present, consult with the Conservancy regarding restoring grassland conditions through permanent removal of encroaching brush species.
d. Remove all dead branches from less-flammable desirable shrubs, such as ceanothus, currant, coffee berry, native rose, and sticky monkey flower.
e. All healthy trees within the 200-foot Coastal Scrub Zone should be retained. As trees increase within the chaparral, they provide a long-term reduction in shrub cover and fire hazard.
f. Trees growing within coastal scrub zones should be encouraged by removing shrubs from within an area around the tree as shown below (Figure 32):
- When the tree is shorter than 6 feet high, all shrubs should be removed from within a distance of 3 feet from the tree's drip line.
- When a tree is taller than 6 feet high, all shrubs should be removed from within a distance of 6 feet from tree crown edge.

GROUND STUDIO
LANDSCAPE ARCHITECTURE

O/831.655.1414
F/831.655.3462
537 Houston Street
Monterey, CA 93940
GROUNDSTUDIO.COM

LICENSED LANDSCAPE ARCHITECT
BENJAMIN D. LANGFORD No. 5131
Signature
1/31/23
06.14.22
Date
STATE OF CALIFORNIA

Rosenberg Residence

33 Potrero Trail
Carmel, CA

APN: 239-111-013

Issue set: Planning Application
Issue date: 06.15.22

Revisions:

REV.	DESCRIPTION	DATE

Fuel Management Plan

Scale: 1" = 30'-0"
Drawn by: DP

L0.01

ANG CALCULATION:

MAIN HOUSE RESIDENCE
High Point: 329'-9"
Low Point: 313'-8"

ANG = 321'-8 1/2"

POOL HOUSE
High Point: 319'-10"
Low Point: 314'-0"

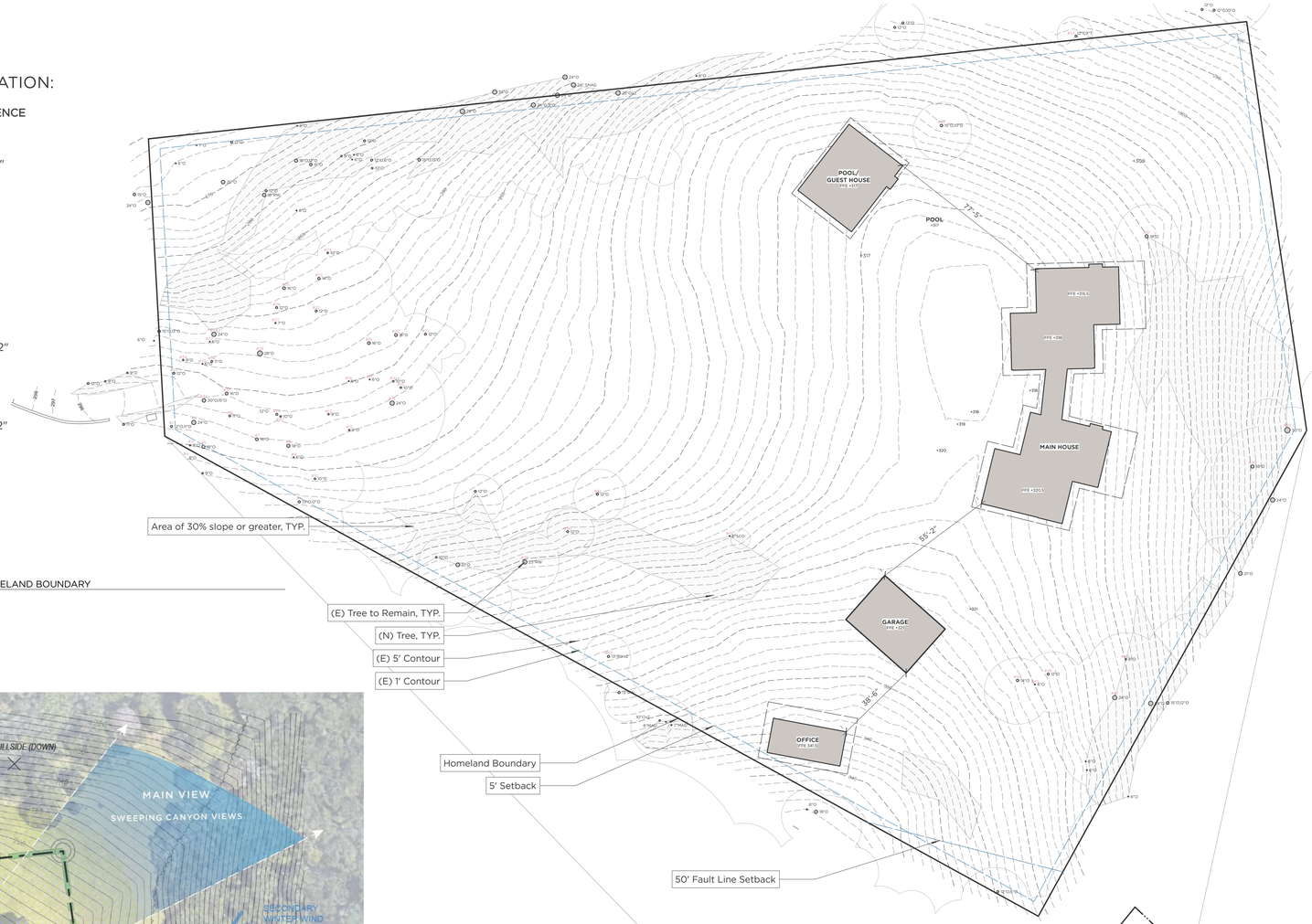
ANG = 316'-11"

OFFICE
High Point: 344'-7"
Low Point: 339'-6"

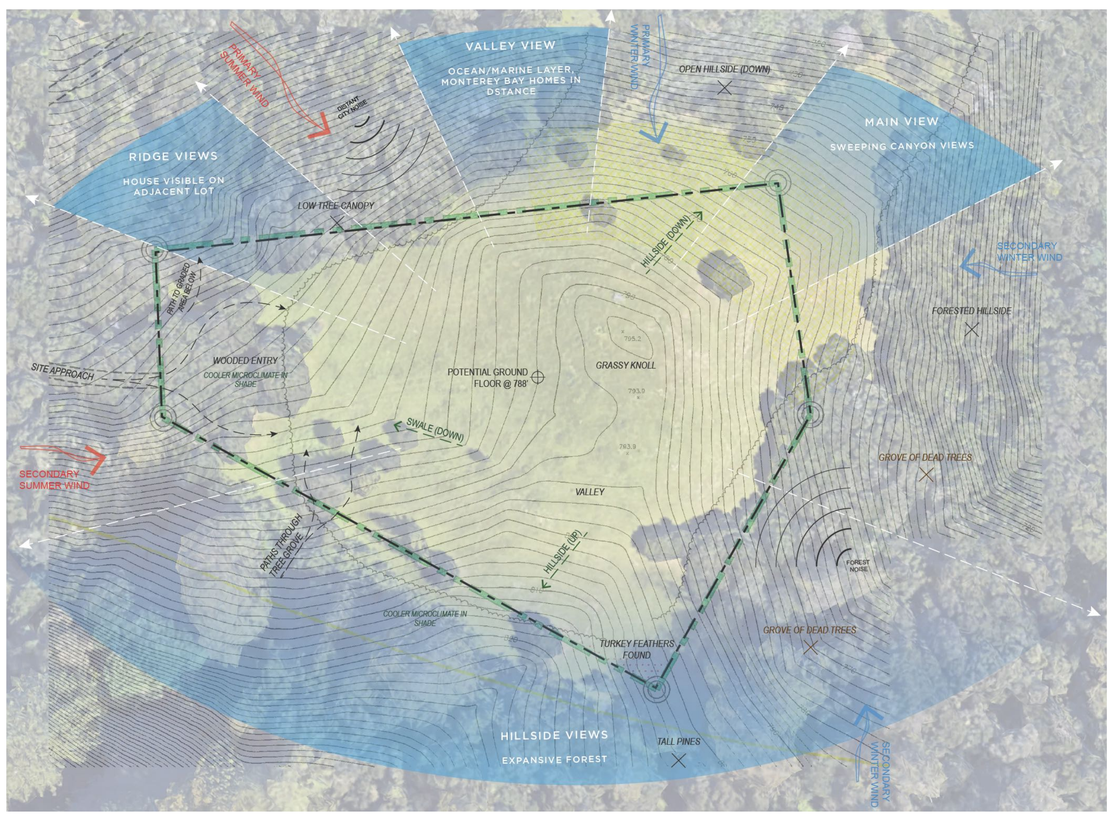
ANG = 342'-0 1/2"

GARAGE
High Point: 332'-0"
Low Point: 321'-0"

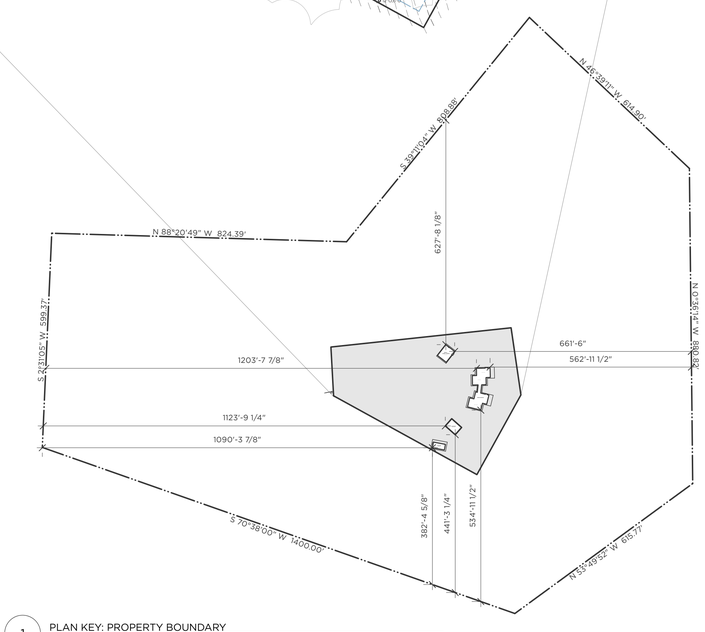
ANG = 329'-9 1/2"



2 PLAN KEY: HOMELAND BOUNDARY
SCALE: 1"=30'-0"



3 DRB SITE ANALYSIS
SCALE: NTS



1 PLAN KEY: PROPERTY BOUNDARY
SCALE: 1"=200'-0"

GROUND STUDIO
LANDSCAPE ARCHITECTURE

O / 831.655.1414
F / 831.655.3462
537 Houston Street
Monterey, CA 93940
GROUNDSTUDIO.COM

06.14.22

Rosenberg Residence

33 Potrero Trail
Carmel, CA

APN: 239-111-013

Issue set: Planning Revision
Issue date: 08.11.22

Revisions:

REV.	DESCRIPTION	DATE

Survey and Site Analysis

Scale: SEE PLAN
Drawn by: DP

L0.04

3 SITE SECTION- VIEW FROM EAST
SCALE: NTS

2 PERSPECTIVE VIEW- GARDEN PATH
SCALE: NTS

1 PERSPECTIVE VIEW- ARRIVAL
SCALE: NTS

GROUND STUDIO
LANDSCAPE ARCHITECTURE

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F/831.655.3462
537 Houston Street
Monterey, CA 93940
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LICENSED LANDSCAPE ARCHITECT
BENJAMIN D. LANGFORD No. 5131
Signature
1/31/09
Date Expires
06.14.22
Date
STATE OF CALIFORNIA

Rosenberg Residence

33 Potrero Trail
Carmel, CA

APN: 239-111-013

Issue set: Planning Application
Issue date: 06.15.22

Revisions:

REV.	DESCRIPTION	DATE

Site Perspectives

Scale: N/A
Drawn by: DP

L0.05

PLANT LEGEND

Symbol	Quantity	Botanical Name	Common Name	Container Size	Spacing
PLANTS					
	101	Artemisia californica	California Sage Brush	1 gal + 5 gal	36" OC
	231	Baccharis 'Twin Peaks'	'Twin Peaks' Coyote Brush	1 gal + 5 gal	36" OC
	274	Carex remota	Remote Sedge	1 gal	24" OC
	229	Elymus glaucus	Blue Wildrye	1 gal	36" OC
	169	Eschscholzia californica	California Poppy	1 gal	As Shown
	209	Fragaria 'Montana del Oro'	Woodland Strawberry	1 gal	24" OC
	109	Iris douglasiana	Douglas Iris	1 gal + 5 gal	36" OC
	219	Juncus patens 'Elk Blue'	Elk Blue California Gray Rush	1 gal	As Shown
	41	Rhodocoma arida	Restio	5 gal + 15 gal	46" OC
	184	Salvia 'Point Sal'	Point Sal Sage	5 gal	36"-48" OC
MEADOW RESTORATION MIX					
	49,161 SF	Danthonia californica	California Oatgrass	seed	
		Festuca idahoensis	Idaho Fescue	seed	
		Festuca microstachys	Pacific Fescue	seed	
		Festuca rubra 'Molate'	Molate Red Fescue	seed	
		Koeleria macrantha	Praire Junegrass	seed	
		Lupinus nanus	Sky Lupine	seed	
	2,260 SF	Koeleria macrantha	Praire Junegrass	seed	

GROUND STUDIO
LANDSCAPE ARCHITECTURE

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F / 831.655.3462
537 Houston Street
Monterey, CA 93940
GROUNDSTUDIO.COM

LICENSED LANDSCAPE ARCHITECT
BENJAMIN D. LANGFORD No. 5131
Signature
1/31/23
06.14.22
Date
STATE OF CALIFORNIA

Rosenberg Residence

33 Potrero Trail
Carmel, CA

APN: 239-111-013

Issue set: Planning Application
Issue date: 06.15.22

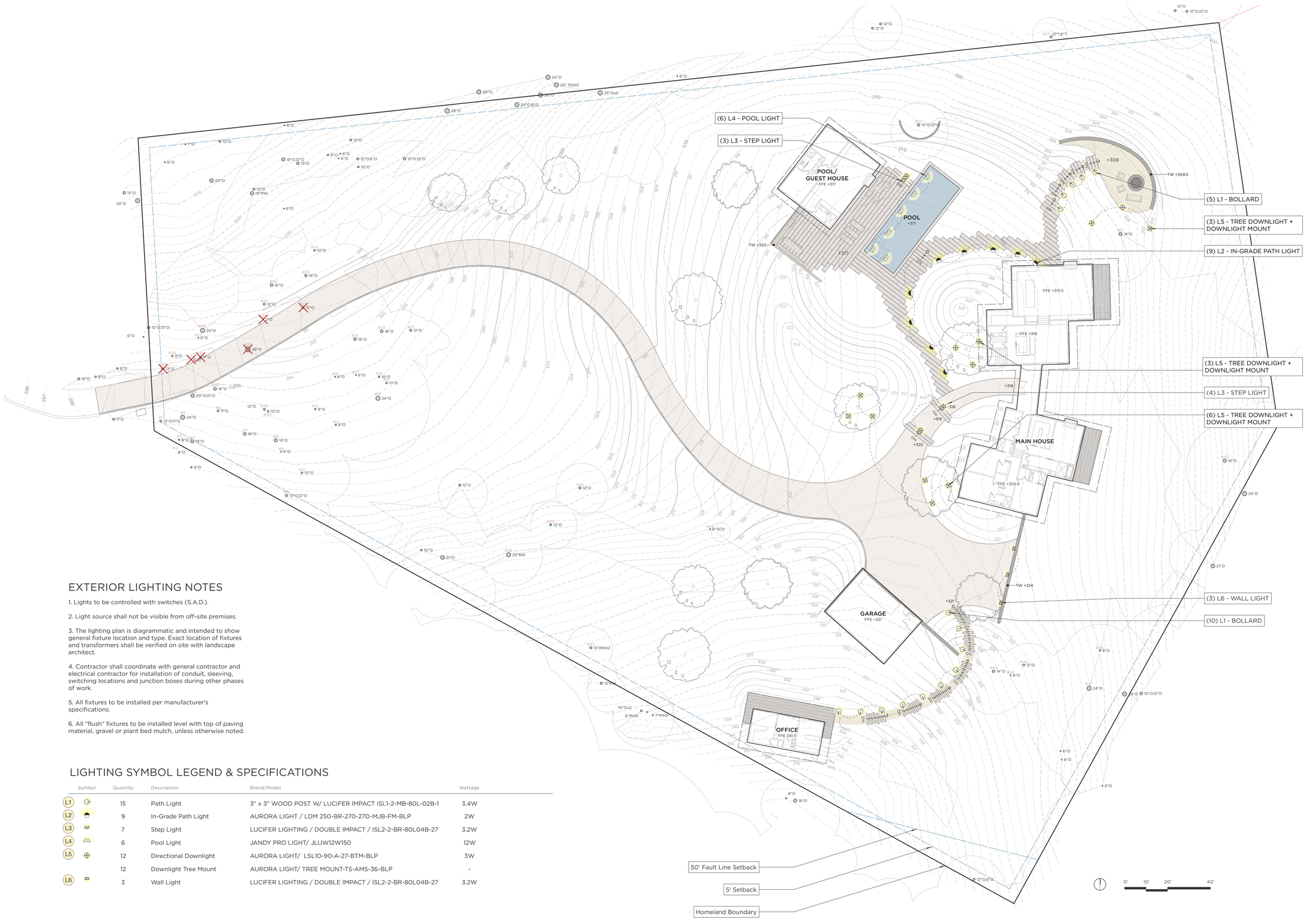
Revisions:

REV.	DESCRIPTION	DATE

Overall Planting Plan

Scale: 1" = 20'-0"
Drawn by: DP

L6.00



EXTERIOR LIGHTING NOTES

1. Lights to be controlled with switches (S.A.D.).

2. Light source shall not be visible from off-site premises.

3. The lighting plan is diagrammatic and intended to show general fixture location and type. Exact location of fixtures and transformers shall be verified on site with landscape architect.

4. Contractor shall coordinate with general contractor and electrical contractor for installation of conduit, sleeving, switching locations and junction boxes during other phases of work.

5. All fixtures to be installed per manufacturer's specifications.

6. All "flush" fixtures to be installed level with top of paving material, gravel or plant bed mulch, unless otherwise noted.

LIGHTING SYMBOL LEGEND & SPECIFICATIONS

	Symbol	Quantity	Description	Brand/Model	Wattage
L1		15	Path Light	3" x 3" WOOD POST W/ LUCIFER IMPACT ISL1-2-MB-80L-02B-1	3.4W
L2		9	In-Grade Path Light	AURORA LIGHT / LDM 250-BR-270-27D-MJB-FM-BLP	2W
L3		7	Step Light	LUCIFER LIGHTING / DOUBLE IMPACT / ISL2-2-BR-80L04B-27	3.2W
L4		6	Pool Light	JANDY PRO LIGHT/ JLUW12W150	12W
L5		12	Directional Downlight	AURORA LIGHT/ LSL10-90-A-27-BTM-BLP	3W
		12	Downlight Tree Mount	AURORA LIGHT/ TREE MOUNT-TS-AMS-36-BLP	-
L6		3	Wall Light	LUCIFER LIGHTING / DOUBLE IMPACT / ISL2-2-BR-80L04B-27	3.2W

GROUND STUDIO
LANDSCAPE ARCHITECTURE

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537 Houston Street
Monterey, CA 93940
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LICENSED LANDSCAPE ARCHITECT
BENJAMIN D. LANGFORD No. 2531
Signature
1/31/23
06.14.22
Date
STATE OF CALIFORNIA

Rosenberg Residence

33 Potrero Trail
Carmel, CA

APN: 239-111-013

Issue set: Planning Application
Issue date: 06.15.22

Revisions:

REV.	DESCRIPTION	DATE

Preliminary Lighting Plan

Scale: 1" = 20'-0"
Drawn by: DP

L8.00

GROUND STUDIO
LANDSCAPE ARCHITECTURE

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Rosenberg Residence

33 Potrero Trail
Carmel, CA

APN: 239-111-013

Issue set: Planning Application
Issue date: 06.15.22

Revisions:

REV.	DESCRIPTION	DATE

Preliminary Lighting Specifications

Scale: N/A
Drawn by: DP

L8.01

L5 — (12) TREE DOWNLIGHT MOUNTS- AURORALIGHT TREE MOUNT:

BTM-AMS-BLP

auroralight™ auroralight lifetime WARRANTY

TYPE:
CAT. #: T-S-

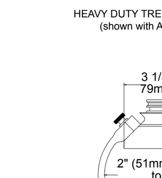
T-S TREE STRAP

HEAVY DUTY TREE STRAP MOUNT
(shown with AMS adapter)

Auroralight's Tree Mounts are machined from solid brass for durability and feature a nylon base with multiple wire exit ports. For use with 12V lighting systems.

The **Tree Strap Mount** is totally passive making it ideal for protection of valuable specimen trees. Supports up to 5lb fixture weight. It is supplied with two, UV stabilized EPDM rubber straps to firmly hold the fixture while the highly elastic material allows for uninhibited tree growth. Up to three straps can be connected in a series which can be cut to length to accommodate 2 to 18" caliper branches.

For easy and safe installation, you can pre-wire luminaires on the ground, and use the supplied stainless steel retention clip to hold connectors inside each brass fitting.



ORDERING GUIDE: Prefix **T/S** T/S T (TREE) S (STRAP)

INDICATES REQUIRED FIELD / INDICATES OPTIONAL FIELD

AMS — 36 — BLP

FIXTURE ATTACHMENT
[1/2] 1/2" NPS Female Threaded Hole
Fits 1/2" Universal fixtures
[AMS] Auroralight Mount System
Adds 1/2" Brass Adapter to fit SL, LSL and HSL series directional luminaires

STRAP LENGTH
[22] Heavy Duty Tree Strap (22" in 5" increments)*
[36] Heavy Duty Tree Strap (36" in 6" increments)*

* Up to 5lb fixture weight
** Up to 2lb fixture weight

FINISH
[NAT] Natural
[BLP] Bronze Living Patina
[BLP-XD] BLP Extra Dark
[NI] Nickel PVD

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L4 — (6) POOL LIGHTS- JANDY / PRO SERIES NICHELESS LED

JLUW6W150

LIGHTING / LED

White Only Nicheless LED Lights

Jandy® Pro Series White Only Nicheless LED Lights with HydroCool™ Technology

- Thermally Conductive Plastic (TCP) exterior allows heat to escape
- Unibody construction eliminates common leak-paths
- Diffuser lens for a more even glow
- Only 4 1/2" (6W) and 5 1/2" (12W/24W) long to fit into the narrowest walls
- Available in Daylight White (5000K) or Warm White (2700K) which complies with Dark Sky Community Requirements
- Three power levels for ultimate flexibility
- Low voltage (12VAC) and 100% non-metallic, no bonding required
- Mounts directly to 1 1/2" return fitting

Part No.	Color Temp.	Max. Watts	Cord Length	List Price
White Only				
JLUW12W150	Daylight White	12W	150'	

Nicheless LED Lights Wattage Size Guide

Use the chart below as a guide for the wattage size recommended to best illuminate the distance across the pool.

Pool Finish	Illumination Distance		Recommended Power
	Color Lights	White Lights	Watts
Light Finish	up to 12 ft	up to 16 ft	6
	12-20 ft	16-24 ft	12
	20+ ft	24+ ft	24
Medium Finish	up to 10 ft	up to 12 ft	6
	10-16 ft	14-22 ft	12
	16+ ft	22+ ft	24
Dark Finish	up to 8 ft	up to 12 ft	6
	8-12 ft	12-20 ft	12
	12+ ft	20+ ft	24

L2 — (9) IN-GRADE PATH LIGHTS- AURORALIGHT / SONOMA /

LDM 250-BR-270-27D-MJB-FM-BLP

auroralight™ auroralight lifetime WARRANTY

TYPE:
CAT. #: LDM250

LDM250 SONOMA

90-R-BLP

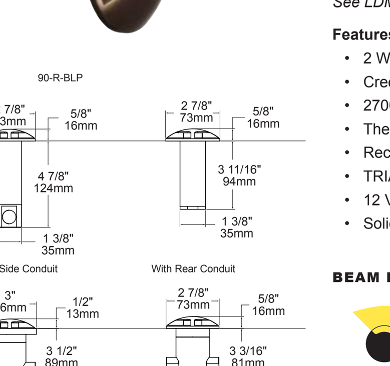
The **LDM250** directional marker is a high flux, low wattage LED luminaire. Coupled to a brass body, our Thermally Integrated™ LED Module provides superior heat dissipation, longer life and higher performance. With five different illumination patterns you are provided great versatility and although designed as a small scale in-grade, it can also be mounted horizontally as a step light or wall-washer for artistic flair.

See LDM350 for additional size and wattage options.

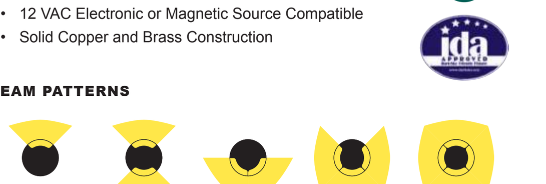
Features include:

- 2 Watts
- Cree XLAMP® High Intensity (XP-L) LED
- 2700, 3000 or 4500K (CRI 80 typ.)
- Thermally Integrated™, Field Serviceable LED Module
- Recommended Spacing 10–15' O.C.
- TRIAC Dimming to <10% typ.
- 12 VAC Electronic or Magnetic Source Compatible
- Solid Copper and Brass Construction

Powered by CREE LEDs · LED · 12V · ida APPROVED



BEAM PATTERNS



ORDERING GUIDE LDM250: L (LED) DM (DIRECTIONAL MARKER) 250 (MODEL)

BR — 270 — 27D — MJB-FM — BLP

MATERIAL
[BR] Brass
[CU] Copper

BEAM PATTERN
[90] Single 90° Opening
[90-2] Opposing 90° Openings
[180] 180° Opening
[270] 270° Opening
[360] 360° Opening

LED
[27D] 2700K
[30D] 3000K
[45D] 4500K
[AMBD] Amber
[D] = Dimmable

MOUNTING OPTIONS
[R] Rear Conduit Entry
[S] Side Conduit Entry
[MJB] Micro J-Box
[MJB-FM] Micro J-Box w/ Flush Mount

FINISH
[NAT] Natural
[BLP] Bronze Living Patina
[BLP-XD] BLP Extra Dark
[NI] Nickel PVD
[PC] Powder Coat- Specify Color

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L6 — (3) WALL LIGHTS- LUCIFER LIGHTING / DOUBLE IMPACT /

ISL-ALED-3K-BR-L

PATHLIGHTS INTERNATIONAL

PROJECT NAME:	TYPE:

DOUBLE IMPACT®

Low glare path lights lead the way through the out of doors, as built-ins or from freestanding bollards.

ORDERING INFORMATION AND DRAWINGS - FITTING

FITTING	RATING	FLANGE FINISH	LUMEN PACKAGE	CCT
ISL2				
ISL2 Double Impact Steplight	1 IP54 Dry / Damp (Non-Locking) 2 IP65 Wet (Locking)	POWDER COAT FINISH: WH White, BK Black, AG Satin Silver, AB Architectural Bronze, CF Custom Finish* *(Consult Factory) NATURAL FINISH: IG Industrial Gray, SS Brushed Stainless Steel, BR Brushed Bronze, NB Natural Bronze PLATED FINISH: CH Chrome* *(Increased lead time); PB Polished Oil-Rubbed Bronze* *(Increased lead time, not available for IP65 wet location); MB Matte Oil-Rubbed Bronze* *(Increased lead time, not available for IP65 wet location)	80L04B 80+ CRI, 400 Source Lumens ISL2 Delivered Lumens - 150	27 2700K 30 3000K 35 3500K 40 4000K CC Custom Color (gel)* Color Temp: ____K *(Custom gels assigned unique suffix upon receipt of order. Contact Product Support for guidance.)

A LED
Regressed LED with slot aperture for glare-free, energy-efficient path and step lighting; suitable for IP54 dry / damp or IP65 wet applications. 6.5W DC LED (dimming by power supply).

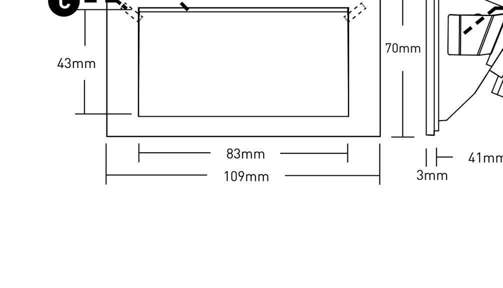
B EFFECTS DEVICES
Provided with sealed polycarbonate linear diffusion lens; consult factory for availability of color gels, which may achieve custom color temperatures.

C LOCKING
Discreetly hidden tamper-resistant set screws. Included with IP65 Wet location luminaire.

D GASKET
Foam gasket provided. Required for IP65 wet location applications only.

E RETENTION
Torsion spring clips secure fitting into back box, mounting plate, or appropriately sized cut-out.

- Available with Bollard mounting, please visit WEBSITE for additional information.
- Stealth SSL1 and Impact ISL1 pathlights available, please visit WEBSITE for additional information.



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[DATE OF REV: 08262020]

L5 — (12) TREE DOWNLIGHTS- AURORALIGHT / AGAVE /

LSL10-90-A-27-BTM-BLP

auroralight™ auroralight lifetime WARRANTY

TYPE:
CAT. #: LSL10-

LSL10 AGAVE

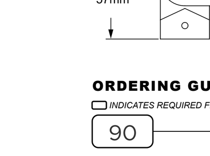
The new **LSL10** micro directional luminaire is a high performance, low energy LED accent light. Machined from solid brass bar, its artistic styling and precise machining make this fixture both attractive and functional. The LSL10 Agave may look small, but it is extremely powerful! Paired with our exclusive **AMS**™ mounting system, there are a plethora of mounting possibilities.

See LSL6 and HSL11 for additional size and wattage options.

Features include:

- 3 Watts and Up to 300 lumens
- Cree XLAMP® (XP-L) LED
- Self-aligning and Self Sealing Optic
- Interchangeable UV & Shock Resistant Silicone TIR Optic (Patent Pending)
- 2700K, 3000K (CRI 80 typ.), or Amber 585-595nm

Powered by CREE LEDs · 12V · AMS AURORA MOUNT SYSTEM



ORDERING GUIDE: Prefix **LSL**

INDICATES REQUIRED FIELD / INDICATES OPTIONAL FIELD

90 — A — 27 — BTM — BLP

GLARE SHIELD
[60] 60°Angled
[90] 90° Straight

OPTIC
[N] 15° Narrow
[M] 25° Medium
[W] 40° Wide
[WF] 60° Wide Flood
[A] All Optics Kit

LED COLOR
[27] 2700K, 80CRI
[30] 3000K, 80CRI
[AMB] Amber (585-595nm)
NOTE: For other CCT and CRI options, contact factory

MOUNT
[1/2] 1/2" Male Thread
[G/S] Ground Stake
[BMS] Brass Micro Spike
[D/S] Deluxe Spike
[T/R-X] Trident Spike (**9**" or **12**")
[JB3-S] J-Box w/ Stake
[P/B-S] Power Box w/ Stake (Inc. 60W 120-12V trans.)
[9x18] Telescopic Riser (Specify **5x10**, **7x14**, **9x18** or **11x22**)
[T/M] Trellis Mount
[S/B] Splice Box
[T/S-L-X] Light Duty Tree Strap (**22**" or **36**")
[BTM] Bolt-on Tree Mount
[X] = Specify Length
NOTE: See AMS Mount Guide for more options

FINISH
[NAT] Natural
[BLP] Bronze Living Patina
[BLP-XD] BLP Extra Dark
[NI] Nickel PVD

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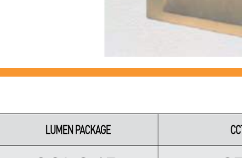
L3 — (7) STEP LIGHTS- LUCIFER LIGHTING / DOUBLE IMPACT /

ISL2-2-BR-80L04B-27

PATHLIGHTS INTERNATIONAL

PROJECT NAME:	TYPE:

DOUBLE IMPACT®



Low glare path lights lead the way through the out of doors, as built-ins or from freestanding bollards.

ORDERING INFORMATION AND DRAWINGS - FITTING

FITTING	RATING	FLANGE FINISH	LUMEN PACKAGE	CCT
ISL2	2	BR	80L04B	27
ISL2 Double Impact Steplight	1 IP54 Dry / Damp (Non-Locking) 2 IP65 Wet (Locking)	POWDER COAT FINISH: WH White, BK Black, AG Satin Silver, AB Architectural Bronze, CF Custom Finish* *(Consult Factory) NATURAL FINISH: IG Industrial Gray, SS Brushed Stainless Steel, BR Brushed Bronze, NB Natural Bronze PLATED FINISH: CH Chrome* *(Increased lead time); PB Polished Oil-Rubbed Bronze* *(Increased lead time, not available for IP65 wet location); MB Matte Oil-Rubbed Bronze* *(Increased lead time, not available for IP65 wet location)	80L04B 80+ CRI, 400 Source Lumens ISL2 Delivered Lumens - 150	27 2700K 30 3000K 35 3500K 40 4000K CC Custom Color (gel)* Color Temp: ____K *(Custom gels assigned unique suffix upon receipt of order. Contact Product Support for guidance.)

A LED
Regressed LED with slot aperture for glare-free, energy-efficient path and step lighting; suitable for IP54 dry / damp or IP65 wet applications. 6.5W DC LED (dimming by power supply).

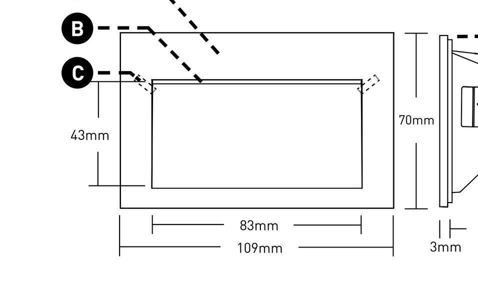
B EFFECTS DEVICES
Provided with sealed polycarbonate linear diffusion lens; consult factory for availability of color gels, which may achieve custom color temperatures.

C LOCKING
Discreetly hidden tamper-resistant set screws. Included with IP65 Wet location luminaire.

D GASKET
Foam gasket provided. Required for IP65 wet location applications only.

E RETENTION
Torsion spring clips secure fitting into back box, mounting plate, or appropriately sized cut-out.

- Available with Bollard mounting, please visit WEBSITE for additional information.
- Stealth SSL1 and Impact ISL1 pathlights available, please visit WEBSITE for additional information.



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L1 — (15) PATH LIGHTS- 3" x 3" WOOD POST W/ LUCIFER IMPACT

ISL1-2-MB-80L-02B-1

IMPACT
ISL1-LED

RECESSED LED LUMINAIRE
PATH & STEPLIGHT

In-wall 3.4-watt DC LED path or step light. Wide low-glare aperture projects light 4' at 4' width delivering minimum 1 fc up to 10 fc. Creating discreet path lighting for residential, commercial and hospitality applications. Durable precision milled 316 stainless steel or brass casting. 80+ CRI, delivering 43 lumens. Available in 2700K, 3000K, 3500K & 4000K color temperatures. Dry / Damp and Wet location.

Designates Quick Ship Product. Add "-QS" at end of model number for quantities up to 100 to ship within 5 days.

PERFORMANCE

LUMINAIRE PERFORMANCE			
LED Configuration	Delivered Lumens lm	Power Consumption W	Luminous Efficacy lm/W
80L-02B	43	3.4	12.6

ORDERING INFORMATION - FIXTURE

ISL1	-		-		-	80L	02B	
IMPACT STEPLIGHT		RATING: 1 Dry / Damp (Non-Locking); 2 Wet (Locking)		POWDER COAT FINISH: WH White, BK Black, AG Satin Silver, AB Architectural Bronze, CF Custom Finish[1]; NATURAL FINISH: IG Industrial Gray, SS Brushed Stainless Steel, BR Brushed Bronze, NB Natural Bronze; PLATED FINISH: CH Chrome, PB Polished Oil-Rubbed Bronze[2], MB Matte Oil-Rubbed Bronze[2]		CRI / LED: 80L 80+ CRI	SOURCE LUMENS: 02B 200lm	CCT: 1 2700K, 2 3000K, 3 3500K, 4 4000K, C Custom Color (gel)[3]

[1] Powder coat only, no plated finishes; custom finishes assigned unique suffix upon receipt of order, consult factory for additional cost
[2] Dry / Damp location only
[3] Custom gels assigned unique suffix upon receipt of order

MOUNTING OPTIONS FOR REMOTE POWER SUPPLY - SELECT ONLY ONE (SEE PAGE 3 FOR MOUNTING PROVISION DETAILS)

WET OR DRY / DAMP LOCATION
☐ **SSL-UMP** Universal Mounting Plate
☐ **SSL-MP-(1.50 / 1.75 / 2.00 / 2.50 / 3.00)** Mounting Plate; specify collar depth
☐ **SSL-BB** Back Box with SSL-UMP mounting plate
☐ **SSL-BB-(1.50 / 1.75 / 2.00 / 2.50 / 3.00)** Back Box with SSL-MP mounting plate; specify collar depth
☐ **SSL-SMB-(finish)** Surface Mount Box; specify finish, powder coat only

DRY / DAMP LOCATION ONLY
☐ **SSL-RM** Remodel-Mount collar (drywall / plasterboard)
☐ **SSL-CC** Cavity Collar
☐ **SSL-SC3** Stud-Mount collar (3")
☐ **SSL-SC6** Stud-Mount collar (6")

Post Material: Clear Cedar
Post Finish: Stain to match Exterior AFM & Cedar
Post Size: 3" x 3" Post
Post Height: 24"

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[DATE OF REV: 051917]

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