

## Exhibit B

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## **DRAFT RESOLUTION**

### **Before the Zoning Administrator in and for the County of Monterey, State of California**

In the matter of the application of:

**SCOTT LINDA SUE & TAGG TERRY M TRUST (PLN220271)**

#### **RESOLUTION NO. 23--**

Resolution by the Monterey County Zoning  
Administrator:

1. Finding that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303; and
2. Approving a Combined Development Permit consisting of:
  - a. Administrative Permit and Design Approval to allow construction of a 1,514 square foot detached garage and associated site improvements including the removal of one Coast live oak tree; and
  - b. Use Permit to allow development on slopes in excess of 25%.

[PLN220271 SCOTT LINDA SUE & TAGG  
TERRY M TRUST, 6 OAK MEADOW LANE,  
CARMEL VALLEY, CARMEL VALLEY  
MASTER PLAN (APN: 187-031-027-000)]

**The SCOTT LINDA SUE & TAGG TERRY M TRUST application (PLN220271) came on for an administrative decision hearing before the Zoning Administrator on December 14, 2023. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Monterey County Zoning Administrator finds and decides as follows:**

### **FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:**
  - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
    - the 2010 Monterey County General Plan;
    - Carmel Valley Master Plan; and
    - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
  - b) The property is located at 6 Oak Meadow Lane, Carmel Valley (Assessor's Parcel Number 187-031-027-000), Carmel Valley Master

Plan. The parcel is zoned Low Density Residential with a Building Site 6, Design Control, Site Plan Review, and Residential Allocation zoning district overlays or "LDR/B-6-D-S-RAZ." The construction of an accessory structure is a principally allowed use within the LDR zoning district pursuant to Monterey County Zoning Ordinance (Title 21) Chapter 21.14 (Low Density Residential). However, Title 21 Chapters 21.45 (Site Plan Review) and 21.44 (Design Control) require the granting of an Administrative Permit and Design Approval for the construction of any structure which is not classified as minor development. The proposed project involves the construction of a 1,485 square foot detached garage, inclusive of a 190 square foot storage room and a 68 square foot powder room, and associated site improvements including the removal of 1 Coast live oak trees. Therefore, the project is an allowed land use for this site, subject to the granting of an Administrative Permit and Design Approval.

- c) Lot Legality. The subject property (3.028 acres), APN 187-031-027-000, is identified as Lot 3 of the Rancho Los Laureles, in a part of that certain 15.394 acre tract of land conveyed from Frank B. Porter, et al, to Harry J. Powers, et ux. By Deed dated September 11, 1946, and recorded in Volume 935 of Official Records, page 237. Therefore, the County recognizes the subject property as a legal lot of record.
- d) Design/Neighborhood and Community Character. Design Control or "D" overlay requires design review of structures to assure protection of the public viewshed, neighborhood characteristic, and to assure the visual integrity of certain developments without imposing undue restrictions on private property, as specified in Title 21 Chapter 21.44. The proposed project will include the same colors and materials as the existing structures on site. The proposed exterior colors and materials are consistent with the area's setting and surrounding residences. Proposed colors of the structure include off white stucco walls to match the existing structures, metal frame glass doors and windows with silver finishes, glass railing, a green roof, and an exposed aggregate driveway to match the existing. As proposed, the detached garage is comparable to the bulk and mass of other dwellings in the surrounding neighborhood.
- e) Development Standards. The project is consistent with the development standards of LDR/B-6-D-S-RAZ. Pursuant to Title 21 Section 21.14.060, the LDR zoning district establishes non-habitable accessory structure setbacks of 50 feet for the front, two side setbacks that include 6 feet for the front one-half of the property and 1 foot for the rear one-half of the property, and a 6 foot setback for the rear. As proposed, the detached garage is sited so that it is set back approximately 69 feet 7 inches from the front, 11 feet 10 inches from the side, and over 180 feet from the rear. LDR zoning district establishes a 15 foot height limit for non-habitable accessory structures. As proposed, the height of the detached garage is 6 feet 8.5 inches from the average natural grade. The total building site coverage for the proposed project is 6%, which is below the limit of 25%. The project size, height, and setbacks are all within the allowed limits of the development standards of LDR zoning



district. Therefore, as proposed, the project meets all required development standards of Title 21 Section 21.14.060.

- f) Tree Removal. The proposed project includes the removal of 1 Coast live oaks. Pursuant to Title 21 Section 21.64.260.D.2, this Administrative Permit entitlement serve as a Tree Removal Permit. (See Finding No. 5)
- g) Development on Slopes. The proposed project includes approximately 940 cubic yards of cut and 25 cubic yards of fill which include approximately 1,316 square feet of development on slopes in excess of 25%. Pursuant to General Plan Policy OS-3.5 development on slopes in excess of 25% may be allowed pursuant to a Use Permit. Title 21 Chapter 21.64.230 requires a Use Permit for all development on slopes of 30% or more. In accordance with Title 21 Section 21.02.060 – Consistency with Adopted Plans, the General Plan prevails. Therefore, and in this case, the grading is subject to the granting of a Use Permit. The project meets the required finding to allow development on slopes in excess of 25% as demonstrated in Finding No. 6 and supporting evidence.
- h) Cultural Resources. According to Monterey County Geographical Information System, the property is located in an area of high archaeological sensitivity and within 750 feet of a known archaeological resource. A Phase I Archaeological Assessment was prepared by Susan Morley in July 2023 (Monterey County Document No. LIB230241). Although the subject parcel lies within 750 feet of known resources, the results of the Phase I (pedestrian survey) assessment were negative for archaeological resources, and historic and precontact site indicators. The potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County’s standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction. Thus, as proposed, designed, and conditioned, the proposed project minimizes and avoids potential impacts to archaeological resources.
- i) Land Use Advisory Committee (LUAC) Review. The project was referred to the Carmel Valley Land Use Advisory Committee, at which the LUAC on September 18, 2023, voted unanimously to support the project as proposed.
- j) The project planner conducted a site inspection on October 23, 2023, to verify that the project on the subject parcel conforms to the plans listed above.
- k) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220271.

**2. FINDING: SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

**EVIDENCE:** a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. County staff reviewed the application materials and plans to verify that the project on

the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

- b) Staff identified potential impacts to soils/slope stability, cultural resources, and native trees. The following reports have been prepared:
  - Geotechnical Report (LIB230127) prepared by Earth Systems Pacific, Salinas, CA, December 5, 2022.
  - Phase I Archaeological Assessment (LIB230241) prepared by Susan Morely, Marina, CA, July 2023.
  - Tree Assessment Report (LIB230126) prepared by Justin Ono, Pacific Grove, CA, March 26, 2023.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on October 23, 2023, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220271.

**3. FINDING: HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary utilities will be provided. Water service will be provided by MPWMD. As proposed, the project will be served by an existing onsite septic system. The Environmental Health Bureau reviewed the application and found it acceptable with no conditions.
  - c) Staff conducted a site inspection on October 23, 2023, to verify that the site is suitable for this use.
  - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220271.

**4. FINDING: NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
  - b) Staff conducted a site inspection on October 23, 2023, and researched County records to assess if any violation exists on the subject property.
  - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220271.

**5. FINDING: TREE REMOVAL** – The tree removal is the minimum required under the circumstances and will not involve risk of adverse environmental impact.

- EVIDENCE:**
- a) Carmel Valley Master Plan Policy CV-3.11 indicates removal of healthy, native oak, madrone, and redwood trees in the planning area shall be discouraged. Title 21 Section 21.64.260 – Preservation of Oak and Other Protected Trees provides implementing regulations for this policy.
  - b) The applicant submitted an Arborist Report (Monterey County Document No. LIB230126) which provided tree assessments detailing the overall general health, vigor, and condition of protected trees and habitat. Protected trees were assessed within 15 feet of the proposed development. The condition of the assessed trees was fair except tree #115 was observed to be growing through a fence and determined to be in fair/poor condition. Based on the project design, the arborist recommended the removal of one Coast live oak tree, #114, because it is located within the proposed building footprint.
  - c) The project includes removal of one protected tree, #114, a 15 inch diameter at breast height (DBH) Coast live oak. Per Title 21 Section 21.64.260.D.2, removal of less than 3 protected trees in a one year period may be approved administratively. To approve the removal, the appropriate authority must find that the removal is the minimum required under the circumstances, and that the removal will not involve risk of adverse environmental impact.
  - d) The proposed tree removal is the minimum required under the circumstances. The one tree being removed is within the building footprint of the detached accessory structure. The existing condition of the subject parcel is on a hillside with terraced flats. More than half of the property includes slopes in excess of 25%. As proposed, the siting of the detached garage is in an area that minimizes development. Relocating the proposed detached garage would involve more development for access resulting in more tree removal. Locating the detached garage elsewhere on the site to avoid tree removal would further impact slopes or locate the structure within a conservation scenic easement area.
  - e) Existing trees not being removed shall be protected for the duration of all construction activities. The County's tree protection condition has been applied to the project as Condition No. 4, requiring the applicant to retain and protect trees not proposed for removal during construction. The condition shall also require that the applicant follow the best management practice recommendations of the arborist from the Tree

Resources Assessment prepared for the project. Additionally, the County's tree replacement condition has been applied to the project as Condition No. 6, indicating a replacement ratio of one to one for non-landmark trees and two to one for landmark trees.

- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220271.

**6. FINDING: DEVELOPMENT ON SLOPES IN EXCESS OF 25% – Policy OS – 3.5 prohibits development on slopes in excess of 25 percent unless one or both of the following findings can be made, based on substantial evidence.**

- 1) There is no feasible alternative which would allow development to occur on slopes of less than 25%; or
- 2) The proposed development better achieves the resource protection objectives and policies contained in the Monterey County General Plan, accompanying Area Plans, and all applicable master plans.

- EVIDENCE:**
- a) The project consists of grading approximately 940 cubic yards of cut and 25 cubic yards of fill to accommodate the construction of a 1,485 square foot detached garage and associated site improvements. The development includes 1,316 square feet of grading will occur on slopes in excess of 25%.
  - b) As proposed there is no feasible alternative for the detached garage to the proposed site to occur on slopes less than 25%, because more than half of the parcel includes slopes in excess of 25%. The 3 acres property is located on the edge of a hill with steep descending slopes to the east of the existing structures (a 5,908 square foot single family house and 762 caretaker's unit). The proposed detached garage is sited on slopes currently used as an orchard. The owner is a local artist who wanted to build a fire-resistant structure away from the main dwelling to store their paintings. Moving the proposed structure will either involve being entirely on slopes in excess of 25% or locating it behind the house which would require a new driveway on slopes in excess of 25% with a new fire truck turnaround, and removing more trees.
  - c) A geotechnical engineering report (Monterey County Document No. LIB230127) was prepared for the project. The report noted that the project site includes native soils that have a low to moderate expansion potential. The report concluded that based on the results of the field investigation and laboratory testing, found the subject site to be suitable for the proposed development.
  - d) Staff conducted a site inspection on October 23, 2023 to verify that the site is suitable for this use.
  - e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN220271.

**7. FINDING: CEQA (Exempt) – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.**

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15303 categorically exempts new construction of one single family residence, second dwelling unit, and accessory structures within residential zoned areas.
  - b) The proposed project involves the construction of a detached garage within a residential zoned area.
  - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect, or development that would result in a cumulative significant impact.
  - d) No adverse environmental effects were identified during staff review of the development application during a site visit on October 23, 2023.
  - e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220271.

**8. FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.

**EVIDENCE:** Pursuant to Title 21 Section 21.80.040.A, the decision of this project may be appealed to the Planning Commission.

## **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303; and
2. Approve a Combined Development Permit consisting of:
  - a. Administrative Permit and Design Approval to allow construction of a 1,514 square foot detached garage and associated site improvements including the removal of one Coast live oak tree; and
  - b. Use Permit to allow development on slopes in excess of 25%.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 14<sup>th</sup> day of December, 2023.

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Mike Novo, AICP  
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE \_\_\_\_\_.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

### **NOTES**

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

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# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220271

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Combination Development Permit (PLN220271) allows construction of a 1,514 square foot detached garage and associated site improvements including the removal of 1 Coast live oak tree including development on slopes in excess of 25%. The property is located at 6 Oak Meadow Lane, Carmel Valley (Assessor's Parcel Number 187-031-027-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Combined Development Permit (Resolution Number \_\_\_\_\_) was approved by the Zoning Administrator for Assessor's Parcel Number 187-031-027-000 on December 14, 2023. The permit was granted subject to 7 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

### 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

### 4. PD011 - TREE AND ROOT PROTECTION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

## 5. PD011(A) - TREE REMOVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

**Compliance or Monitoring Action to be Performed:** Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

## 6. PD048 - TREE REPLACEMENT/RELOCATION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 1:1
- Replacement ratio recommended by arborist: 1:1

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

## 7. PD006(A) - CONDITION COMPLIANCE FEE

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

**Compliance or Monitoring Action to be Performed:** Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

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8/28/2023 3:17:17 PM C:\Users\ericm\OneDrive\Work Files\Scott\Scott\_Consultation04.rvt The use of these drawings and specifications is solely restricted to the original site for which they were prepared. Reproduction or publication in any form, in whole or in part, is strictly prohibited. Title to these drawings and specifications remains with the architect without prejudice. Visual contact with these drawings & specifications shall constitute prima facie evidence of acceptance of these restrictions.

SCOTT GARAGE

6 Oak Meadow Ln.

Carmel Valley, CA 93924

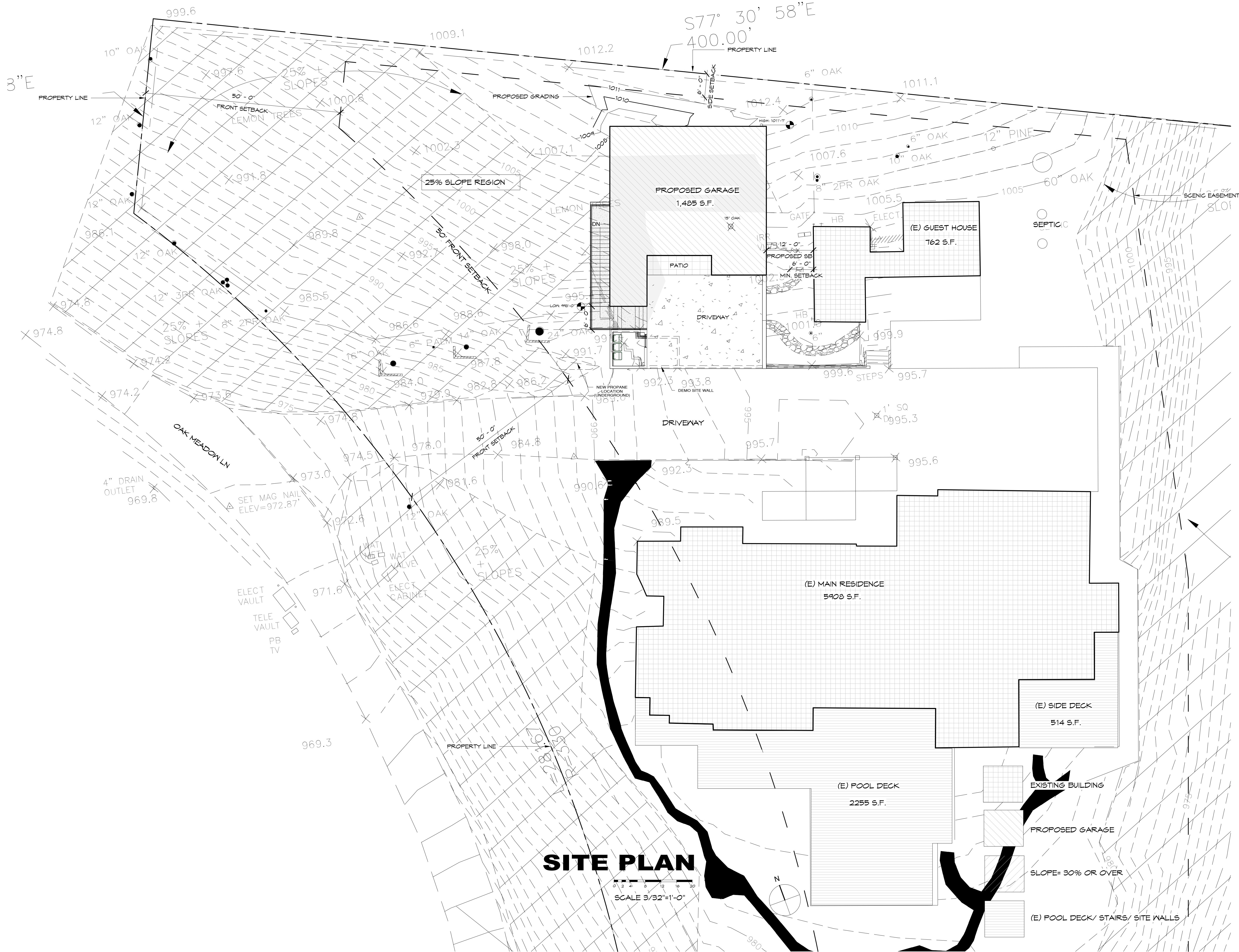
GENERAL NOTES		PROJECT DATA		PROJECT TEAM																																												
<div><div>1. CONTRACTOR LICENSE: THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.</div><div>2. SCOPE: THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.</div><div>3. QUALITY CONTROL: IT IS THE DIRECT INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE OWNER AND ARCHITECT SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.</div><div>4. WARRANTY: THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.</div><div>5. PERMITS: UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.</div><div>6. LEGAL/NOTICE/CODE COMPLIANCE: THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (2019 C.B.C.)</div><div>7. CONSTRUCTION RESPONSIBILITY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.</div><div>8. JOB SITE SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.</div><div>9. INSURANCE: LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY, INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRE CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.</div><div>10. INDEMNIFICATION: THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT FROM AND AGAINST ALL CLAIMS/ DAMAGES/ LOSSES/ AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.</div><div>11. CLEANING UP: THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.</div><div>12. EXISTING CONDITIONS: CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS, CONDITION AND EXISTING, AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.</div><div>13. CONSTRUCTION NOTES: ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.</div><div>14. BUILDING CODES: THIS PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA FIRE CODE (CFC), CALIFORNIA GREEN BUILDING CODE (CGBC) AND CALIFORNIA TITLE-24 ENERGY CODE.</div></div>		<div>ADDRESS: 6 OAK MEADOW LANE CARMEL VALLEY, CA 93924</div> <div>LOT DATA</div> <div>LOT SIZE: 3.028 ACRES (131,900 S.F.) ZONING: LDR/B-6-D-S-RAZ A.P.N.: 187-031-02T-000 BUILDING HEIGHT: 15 FT. MAX OCCUPANCY GROUP: GROUP U TYPE OF CONSTRUCTION: (I-B)</div> <div>SETBACKS</div> <div><div><div>LDR/B-6-D-S-RAZ</div><div>REQUIRED</div><div>PROPOSED</div></div><div>FRONT 50' 6'-9"-T'</div><div>REAR 6' N/A</div><div>SIDE 6' 11'-10"</div><div>ACCESSORY/ ACCESSORY 6' 12'</div></div> <div><div><div>BUILDING HEIGHT</div><div>REQUIRED</div><div>PROPOSED</div></div><div>(E) LOW GRADE 15' MAX 6'-8 1/2"</div><div>(E) HIGH GRADE 9'-9"-0" 10'-11"-T"</div><div>(E) AVERAGE NATURAL GRADE 10'-0'-4 1/2" 10'-0'-4 1/2"</div><div>MAXIMUM BUILDING HEIGHT 10'-1'-9 1/2" 10'-11'-6"</div></div> <div>ZONING</div> <div><div><div>LDR/B-6-D-S-RAZ</div><div>ALLOWED</div><div>PROPOSED</div></div><div>BUILDING SITE COVERAGE 32,388 S.F. (25%) 8,155 (6%)</div><div>FLOOR AREA RATIO N/A 8,155 (6%)</div></div> <div>SITE COVERAGE</div> <div><div><div>BUILDING SITE COVERAGE</div><div>EXISTING FLOOR AREA 6,670 S.F. (5%)</div><div>PROPOSED: 8,155 S.F. (6%)</div></div><div><div>PROPOSED FLOOR AREA</div><div>EXISTING MAIN HOUSE FLOOR AREA 5,908 S.F.</div><div>EXISTING GUEST HOUSE FLOOR AREA 762 S.F.</div><div>PROPOSED GARAGE FLOOR AREA 1,485 S.F.</div></div><div><div>SITE COVERAGE- IMPERVIOUS</div><div>BUILDING SITE COVERAGE 8,184 S.F.</div><div>PATIOS &amp; STAIRS 940 S.F.</div><div>DRIVEWAYS 5,545 S.F.</div><div>POOL DECK &amp; STAIRS 2,255 S.F.</div><div>SIDE DECK &amp; STAIRS 514 S.F.</div><div>SITE WALLS 71 S.F.</div><div>TOTAL IMPERVIOUS COVERAGE 17,509 S.F.</div></div><div><div>SITE COVERAGE- PERVIOUS</div><div>PATHS &amp; WALKWAYS 2,073 S.F.</div><div>TOTAL PERVIOUS COVERAGE 2,073 S.F.</div></div><div>TOTAL SITE COVERAGE 19,581 S.F.</div></div>	<div>OWNER: LINDA SUE SCOTT &amp; TERRY M. TAGG LINDA SUE SCOTT &amp; TERRY M. TAGG REV. TRUST 6 OAK MEADOW LANE CARMEL VALLEY, CA, 93924 PH: 415-254-6435</div> <div>ARCHITECT: ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVE. MONTEREY, CA 93940 PH: 831-372-0410 CONTACT: CRISTO STAEDLER</div> <div>SURVEYOR: NEAL DICKEY LAND SURVEYING 9610 Pollock Lane Fremont, CA 94507 PH: 831-320-1864 CONTACT: NEAL DICKEY</div> <div>PROJECT DESCRIPTION:</div> <div>DEMOLITION OF EXISTING SITE WALLS.</div> <div>CONSTRUCTION OF A NEW 1,485 S.F. DETACHED GARAGE CONSISTING OF 1,221 S.F. OF GARAGE, 190 S.F. STORAGE ROOM, AND ONE 68 S.F. POWDER ROOM (1/2 BATH).</div> <div>RELOCATION OF PROPANE TANK UNDERGROUND AND MODIFICATION OF WALLED TRASH ENCLOSURE.</div> <div>UTILITIES</div> <div><div>GAS PROPANE</div><div>ELECTRIC PACIFIC GAS &amp; ELECTRIC</div><div>WATER CALIFORNIA AMERICAN WATER</div><div>SEWER PRIVATE SEPTIC</div></div>	<div>SHEET INDEX</div> <table><tr><th>SHEET NUMBER</th><th>SHEET NAME</th><th>SCALE</th></tr><tr><td>A-0.1</td><td>COVER SHEET</td><td></td></tr><tr><td>A-0.2</td><td>TOPOGRAPHIC MAP</td><td></td></tr><tr><td>A-1.1</td><td>PROPOSED SITE PLAN</td><td>3/32"=1'-0"</td></tr><tr><td>A-1.2</td><td>SITE DEMO PLAN</td><td></td></tr><tr><td>A-2.1</td><td>MAIN LEVEL FLOORPLAN</td><td>1/4"=1'-0"</td></tr><tr><td>A-2.2</td><td>ROOF PLAN</td><td>1/4"=1'-0"</td></tr><tr><td>A-3.1</td><td>SOUTH / WEST ELEVATIONS</td><td>1/4"=1'-0"</td></tr><tr><td>A-3.2</td><td>NORTH / EAST ELEVATION</td><td>1/4"=1'-0"</td></tr><tr><td>A-7.1</td><td>MATERIAL SAMPLES</td><td></td></tr><tr><td>A-7.2</td><td>RENDERINGS</td><td></td></tr><tr><td>A-8.1</td><td>SLOPE REGION DIAGRAM</td><td></td></tr><tr><td>A-9</td><td>FIRE PROTECTION AGENCY</td><td></td></tr><tr><td>A-10</td><td>PARKING PLAN</td><td></td></tr></table>	SHEET NUMBER	SHEET NAME	SCALE	A-0.1	COVER SHEET		A-0.2	TOPOGRAPHIC MAP		A-1.1	PROPOSED SITE PLAN	3/32"=1'-0"	A-1.2	SITE DEMO PLAN		A-2.1	MAIN LEVEL FLOORPLAN	1/4"=1'-0"	A-2.2	ROOF PLAN	1/4"=1'-0"	A-3.1	SOUTH / WEST ELEVATIONS	1/4"=1'-0"	A-3.2	NORTH / EAST ELEVATION	1/4"=1'-0"	A-7.1	MATERIAL SAMPLES		A-7.2	RENDERINGS		A-8.1	SLOPE REGION DIAGRAM		A-9	FIRE PROTECTION AGENCY		A-10	PARKING PLAN			
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<div>OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:</div> <div>1. TITLE AND ALL "COPYRIGHT" PRIVELEDGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED</div> <div>2. THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.</div> <div>3. THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHER FOR ANOTHER SITE.</div> <div>4. IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.</div>																																																
TREE REMOVAL																																																
ONE (1) TREE TO BE REMOVED: 15" OAK TREE																																																
EXTERIOR LIGHTING NOTE																																																
ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING SHALL BE NO HIGHER THAN 10 FEET ABOVE GROUND AND NOT EXCEED 25 WATTS (INCANDESCANT EQUIVALENT) IN POWER PER FIXTURE.																																																
				LOCATION MAP		VICINITY MAP																																										





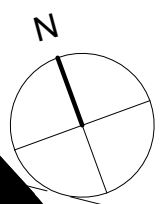


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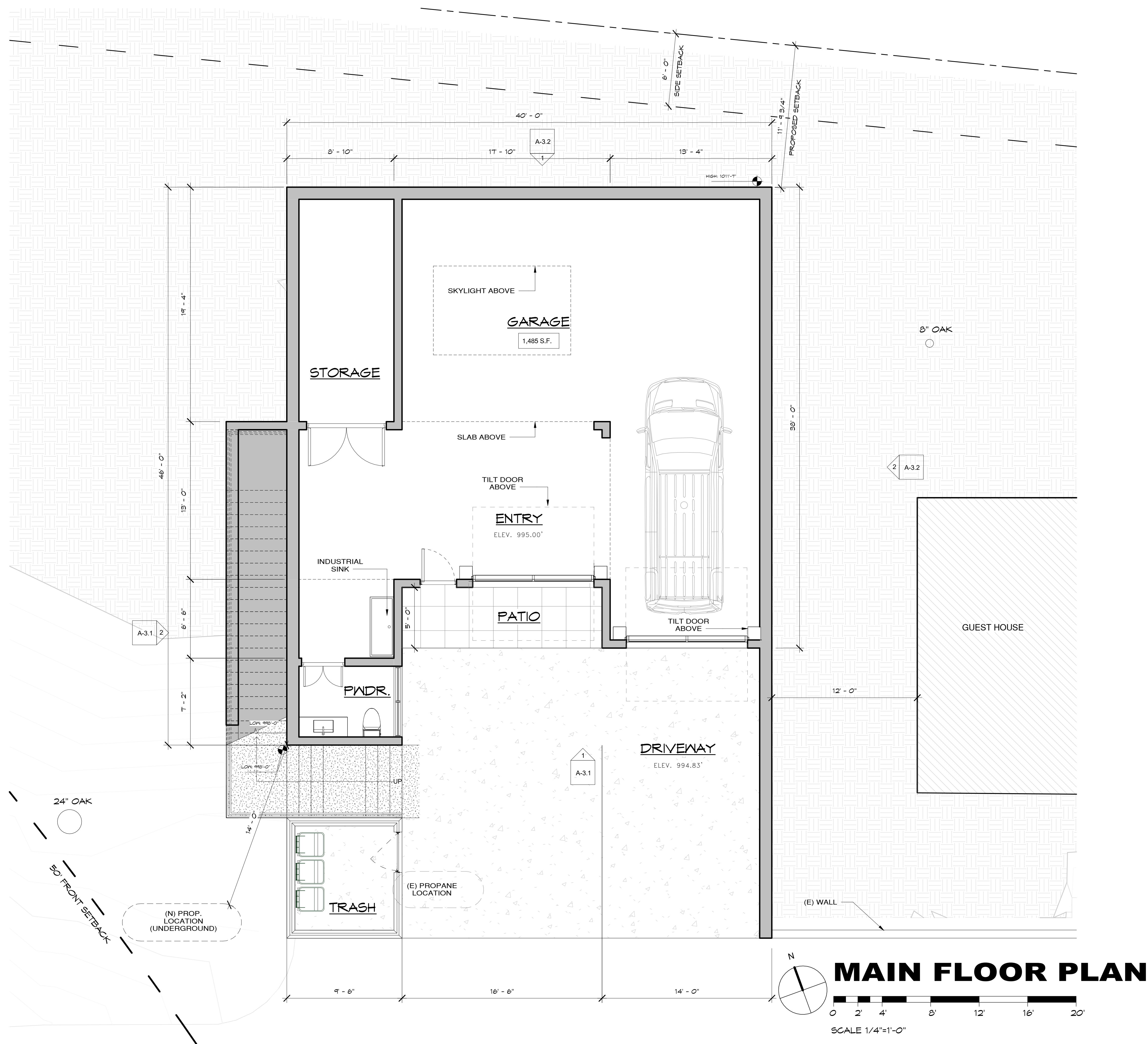
# SITE PLAN

SCALE 3/32"=1'-0"



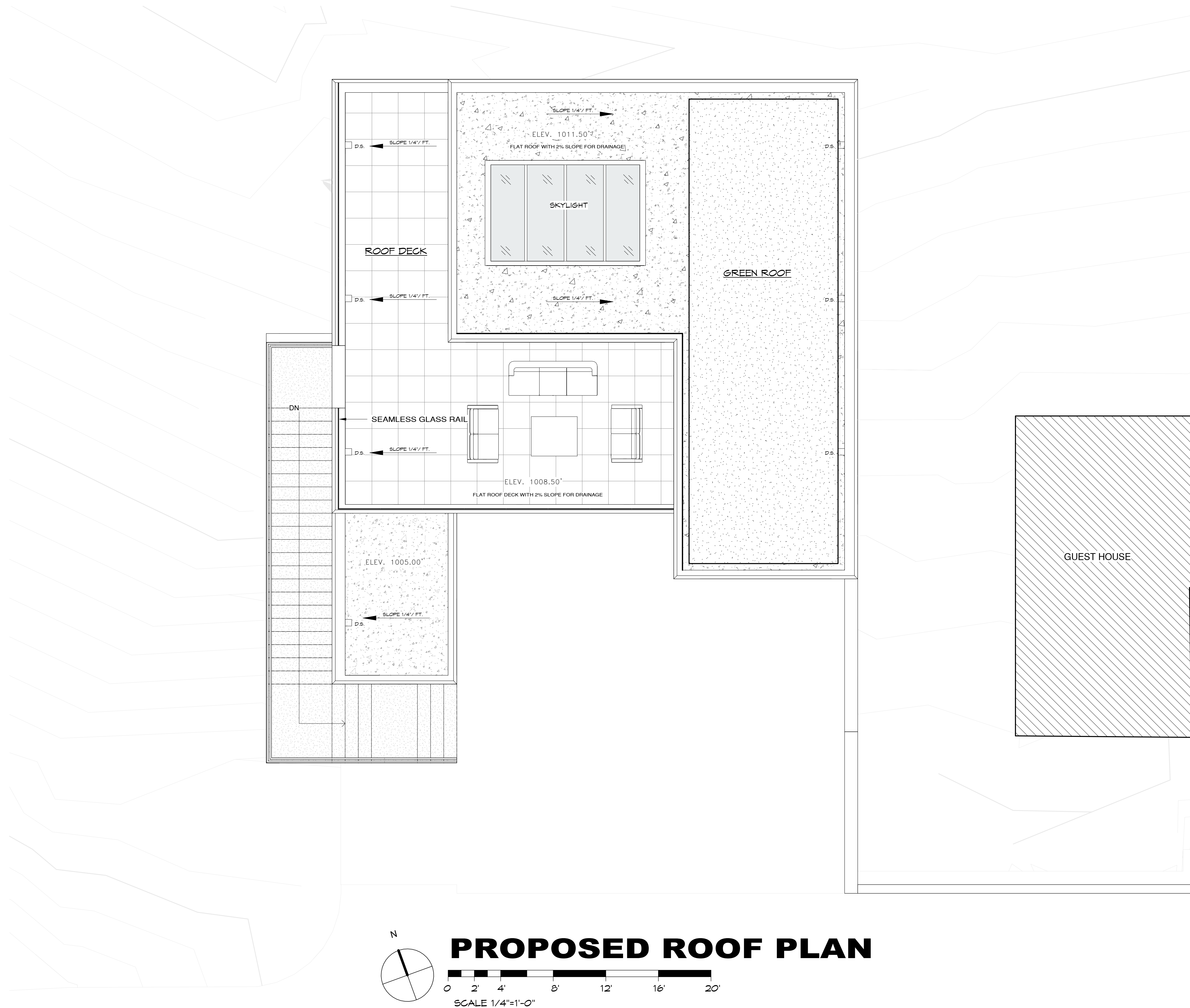
REVISION		No.	
CONSULTANT:			
ARCHITECT: <b>ERIC MILLER ARCHITECTS, INC.</b>			
211 HOFFMAN AVENUE MONTEREY, CA 93940			
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com			
PROPOSED SITE PLAN			
DATE: 8/28/2023		Job Name: <b>SCOTT GARAGE</b>	
SCALE: 3/32" = 1'-0"		6 Oak Meadow Lane	
DRAWN: CS		Carmel Valley, CA 93924	
JOB NO.: 22.09		A.P.N. 187-031-027-000	
<b>A-1.1</b>			
SHEET OF			



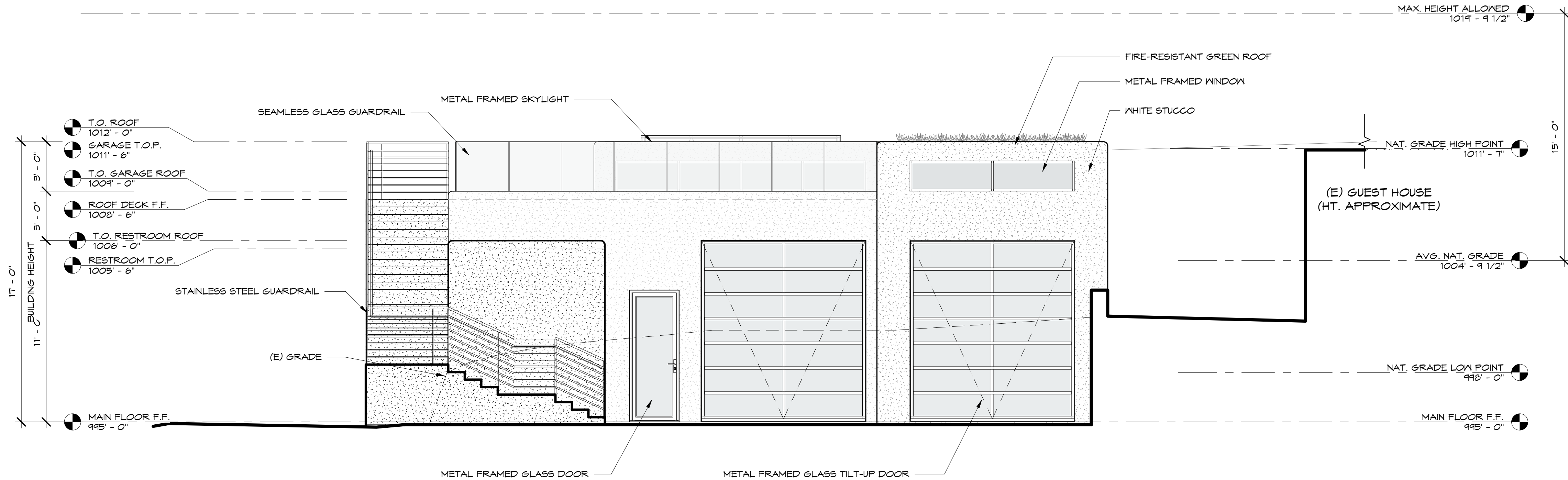


REVISION		No.
CONSULTANT:		
<div>ARCHITECT: <b>ERIC MILLER ARCHITECTS, INC.</b> 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com</div>		
<div>MAIN LEVEL FLOORPLAN Job Name: <b>SCOTT GARAGE</b> 6 Oak Meadow Lane Carmie Valley, CA 93924 A.P.N. 187-031-027-000</div>		
DATE:		8/28/2023
SCALE:		1/4" = 1'-0"
DRAWN		CS
JOB NO.		22.09
<div>A-2.1</div> <div>SHEET OF</div>		



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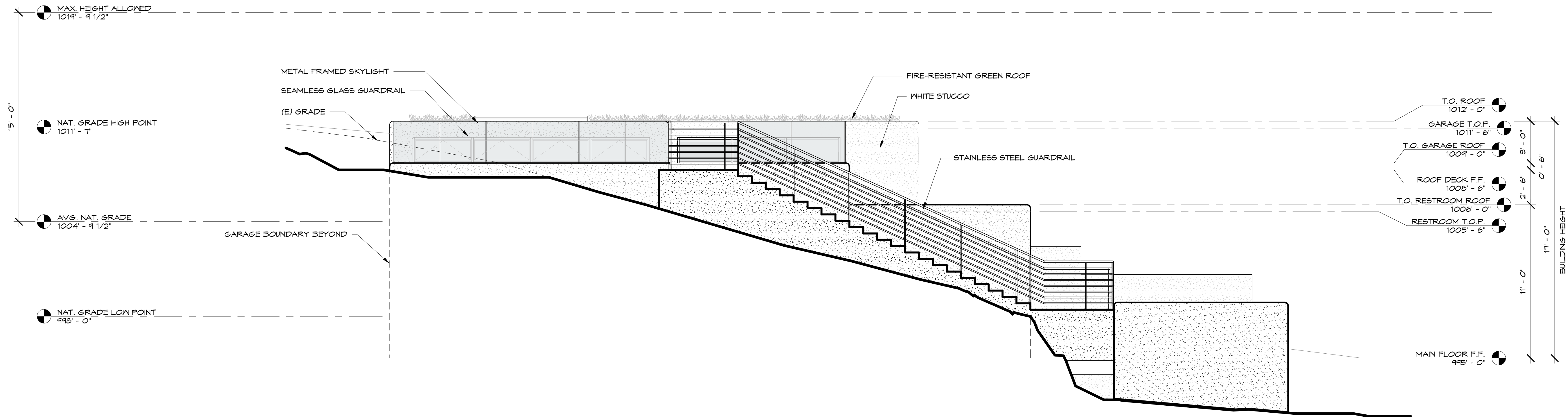
8/28/2023 3:14:49 PM C:\Users\erico\OneDrive\Work Files\Scott\Scott\resubmission1.rvt  
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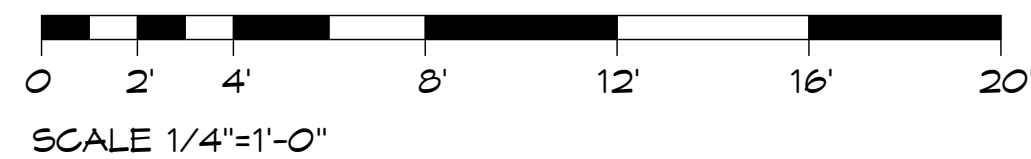
## PROPOSED SOUTH ELEVATION



SCALE 1/4"=1'-0"

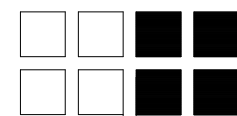


## PROPOSED WEST ELEVATION



SCALE 1/4"=1'-0"

CONSULTANT:



ARCHITECT:  
**ERIC MILLER ARCHITECTS, INC.**

211 HOFFMAN AVENUE  
MONTEREY, CA 93940  
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

SOUTH / WEST ELEVATIONS

Job Name: **SCOTT GARAGE**

6 Oak Meadow Lane  
Carmel Valley, CA 93924

A.P.N. 187-031-027-000

DATE: 8/28/2023

SCALE: 1/4" = 1'-0"

DRAWN: CS

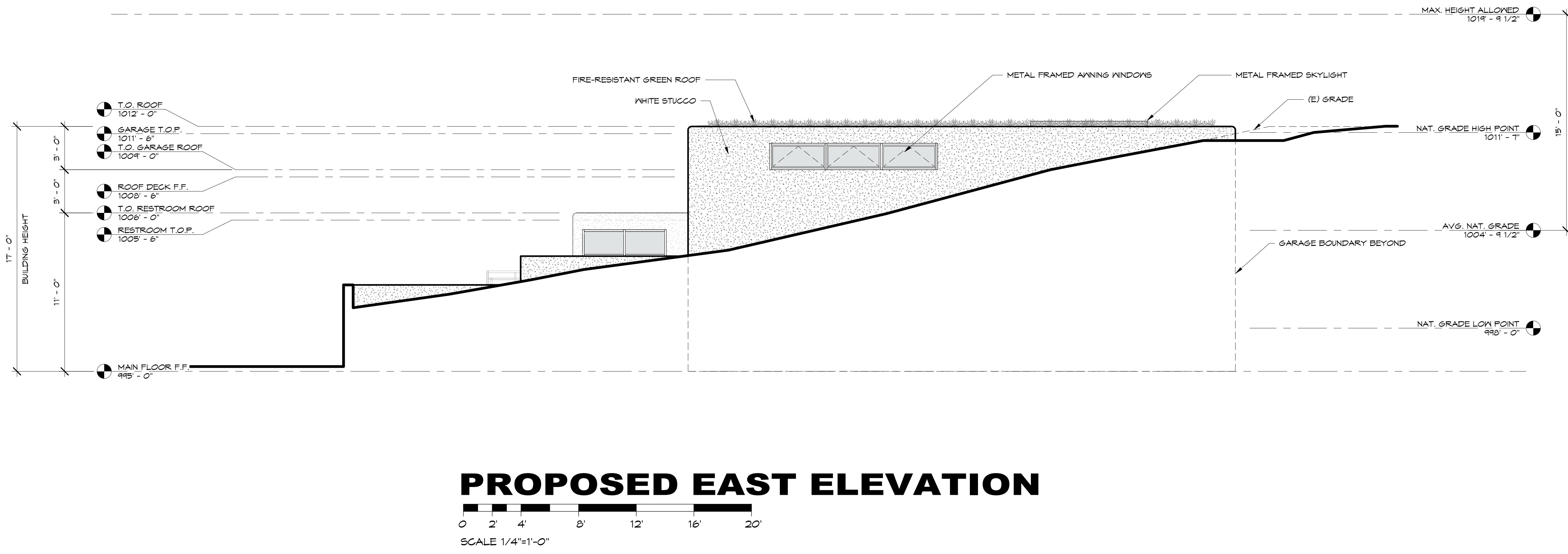
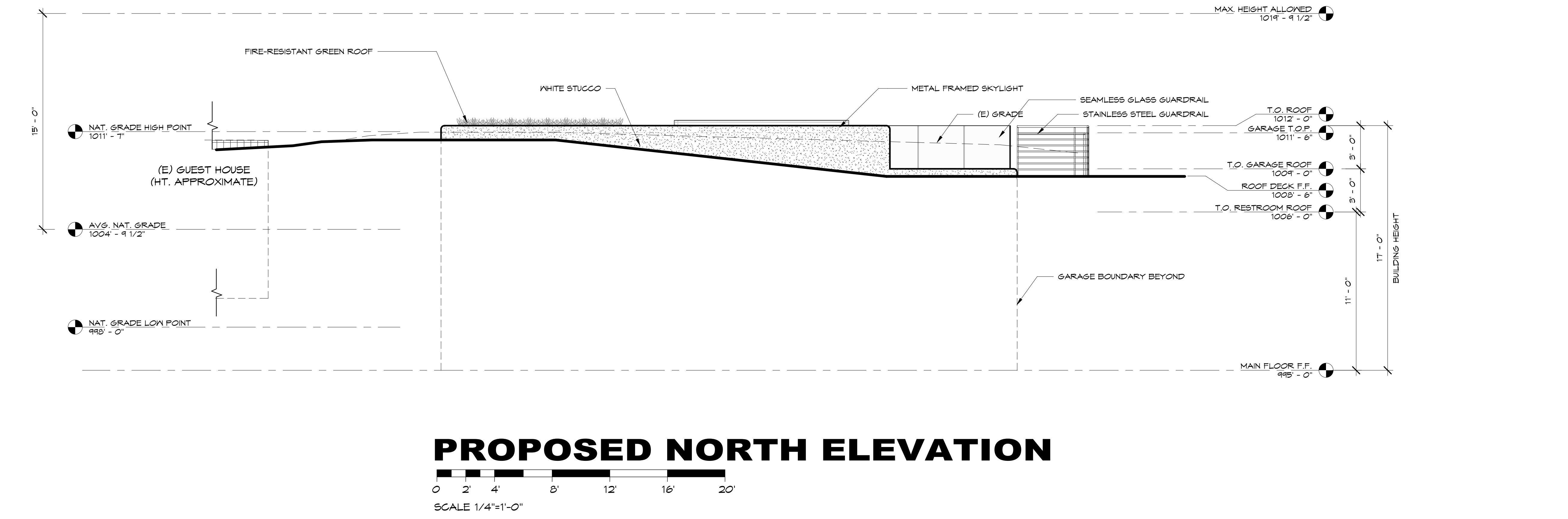
JOB NO. 22.09

**A-3.1**

SHEET OF



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PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com			

NORTH / EAST ELEVATION	
Job Name:	SCOTT GARAGE
6 Oak Meadow Lane Carmel Valley, CA 93924 A.P.N. 1871-031-02T-000	
DATE:	8/28/2023
SCALE:	1/4" = 1'-0"
DRAWN	CS
JOB NO.	22.09

A-3.2

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ALUMILUX SATIN ALUMINUM CUBE LIGHT - 2 LED AT 3 WATTS EACH

10 EXTERIOR LIGHTING

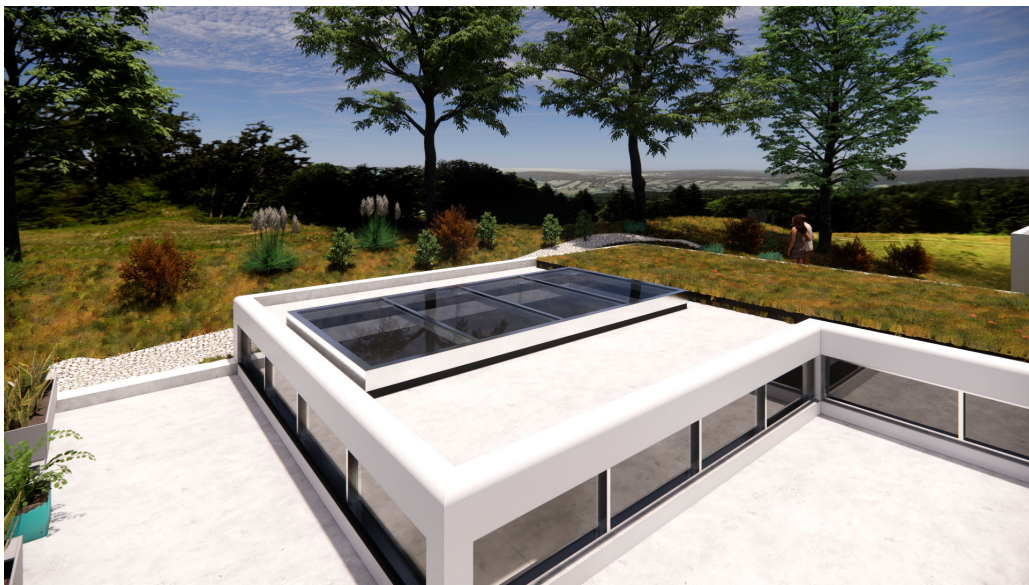


11 DRAIN COVERS



STAINLESS STEEL HORIZONTAL RAILING FOR STAIRWAY

12 STEEL RAILING



LOW-PROFILE FLAT SKYLIGHT WITH SILVER FINISH

7 SKYLIGHT



SEAMLESS GLASS RAILING ANCHORED IN PARAPET



8 GLASS RAILING



GREEN ROOF PLANTING TRAYS

9 GREEN ROOF



EXISTING WHITE PLASTER



PROPOSED WHITE STUCCO TO MATCH EXISTING

4 STUCCO (MATCH EXISTING)



ENTRY PATIO



WHITE TEXTURED STONE-LOOK OR CONCRETE-LOOK FINISH

5 PATIO FINISH



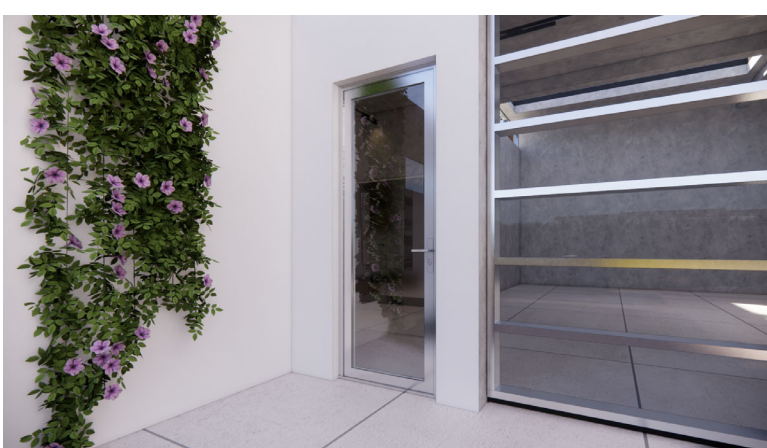
METAL FRAME TILT-UP GARAGE DOORS WITH SILVER FINISH



6 GARAGE DOORS



METAL FRAME GLASS DOOR WITH SILVER FINISH



1 FRONT ENTRY DOOR



METAL FRAMED WINDOWS WITH SILVER FINISH

2 FRAMED GLASS/ WINDOWS



PROPOSED EXPOSED AGGREGATE

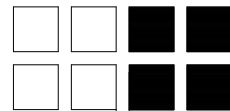


EXISTING EXPOSED AGGREGATE DRIVEWAY

3 DRIVEWAY (MATCH EXISTING)

REVISION	No.

CONSULTANT:



ARCHITECT:  
ERIC MILLER ARCHITECTS, INC.

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MONTEREY, CA 93940  
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

MATERIAL SAMPLES

Job Name: SCOTT GARAGE

6 Oak Meadow Lane  
Carmel Valley, CA 93924

A.P.N. 187-031-027-000

DATE: 8/28/2023

SCALE: N.T.S.

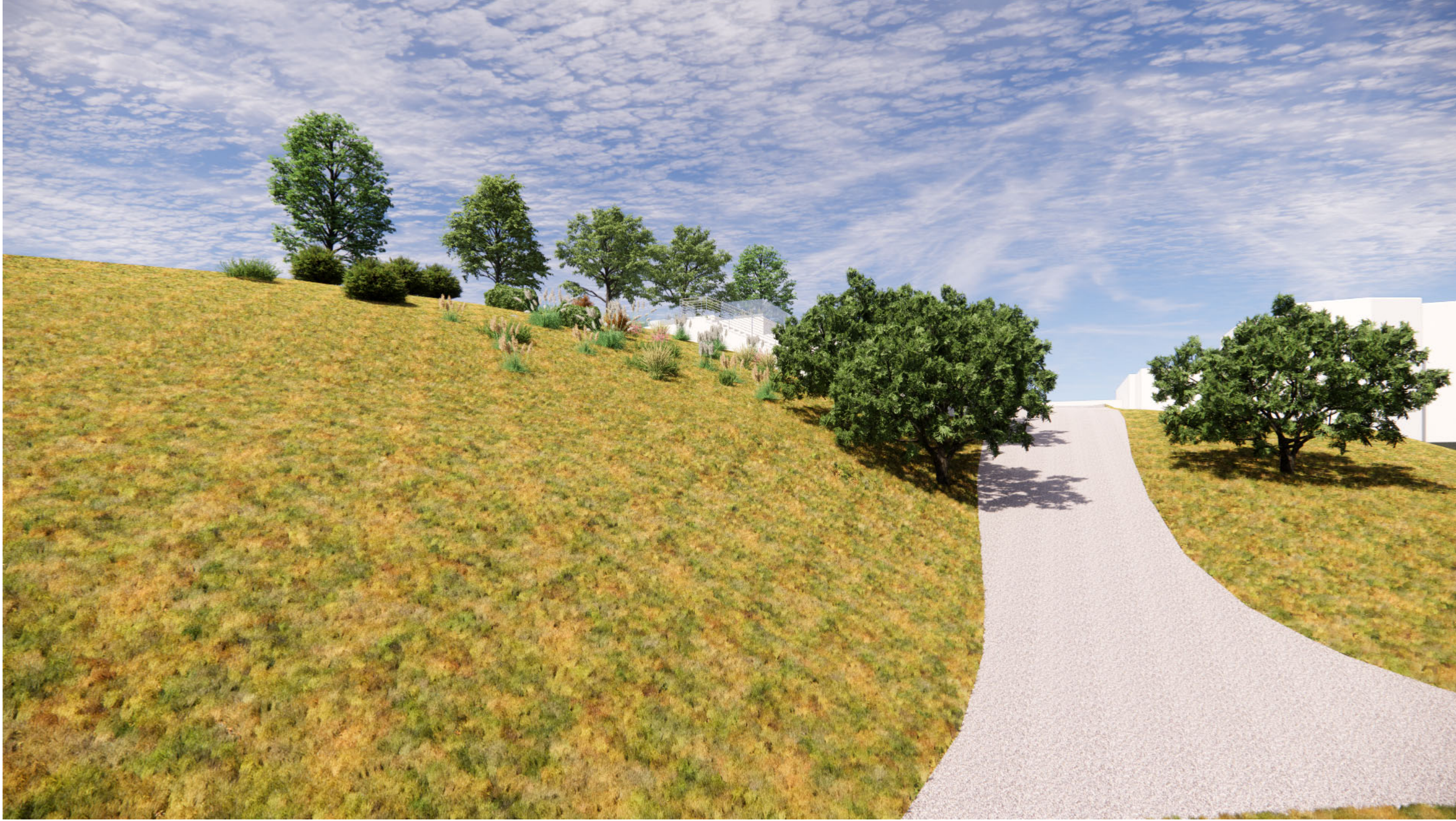
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JOB NO. 22.09

A-7.1  
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VIEW FROM OAK MEADOW LANE



PERSPECTIVE



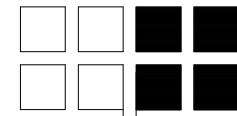
FRONT ENTRY PERSPECTIVE



BIRD'S EYE PERSPECTIVE

REVISION	No.

CONSULTANT:



ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**

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MONTEREY, CA 93940  
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RENDERINGS

Job Name: **SCOTT GARAGE**

6 Oak Meadow Lane  
Carmel Valley, CA 93924

A.P.N. 187-031-027-000

DATE: 8/28/2023

SCALE: N.T.S.

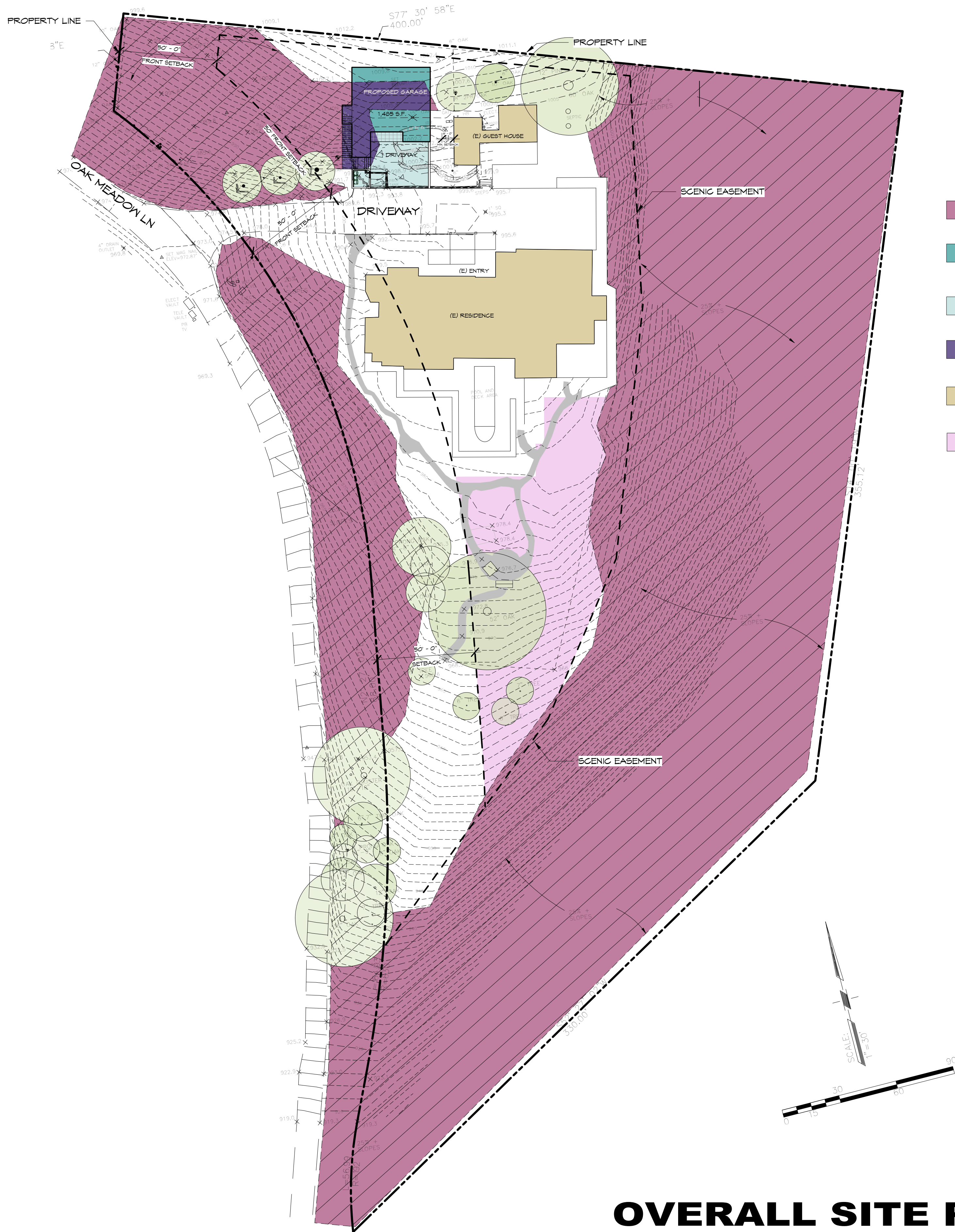
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**A-7.2**  
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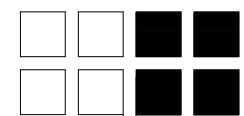


- SLOPE= 25% OR OVER (Marked by Qualified Surveyor)
- PROPOSED GARAGE
- PROPOSED GARAGE DRIVEWAY
- 1,071 S.F. OF DEVELOPMENT IN 25% SLOPE
- EXISTING BUILDINGS
- BUILDABLE AREA (NOT FEASIBLE)  
WOULD REQUIRE
  - BUILDING NEW DRIVEWAY (UP SLOPE)
  - BUILDING NEW FIRE TRUCK TURNAROUND
  - REMOVING MORE TREES
  - NO DIRECT PROXIMITY TO MAIN HOUSE ENTRY
  - DESTRUCTION OF NATIVE VEGETATION (AS OPPOSED TO REMOVAL/RELOCATION OF PLANTED LEMON TREES)
  - BLOCKING THE VIEW FROM MAIN HOUSE / POOL DECK

## OVERALL SITE PLAN W/ SLOPE REGIONS

① Slope Plan Copy 1  
1/32" = 1'-0"

CONSULTANT:



ARCHITECT:  
**ERIC MILLER ARCHITECTS, INC.**

211 HOFFMAN AVENUE MONTEREY, CA 93940  
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

SLOPE REGION DIAGRAM

Job Name: **SCOTT GARAGE**

6 Oak Meadow Lane  
Carmel Valley, CA 93924

A.P.N. 187-031-027-000

DATE: 8/28/2023

SCALE: 1/32" = 1'-0"

DRAWN: CS

JOB NO. 22.09

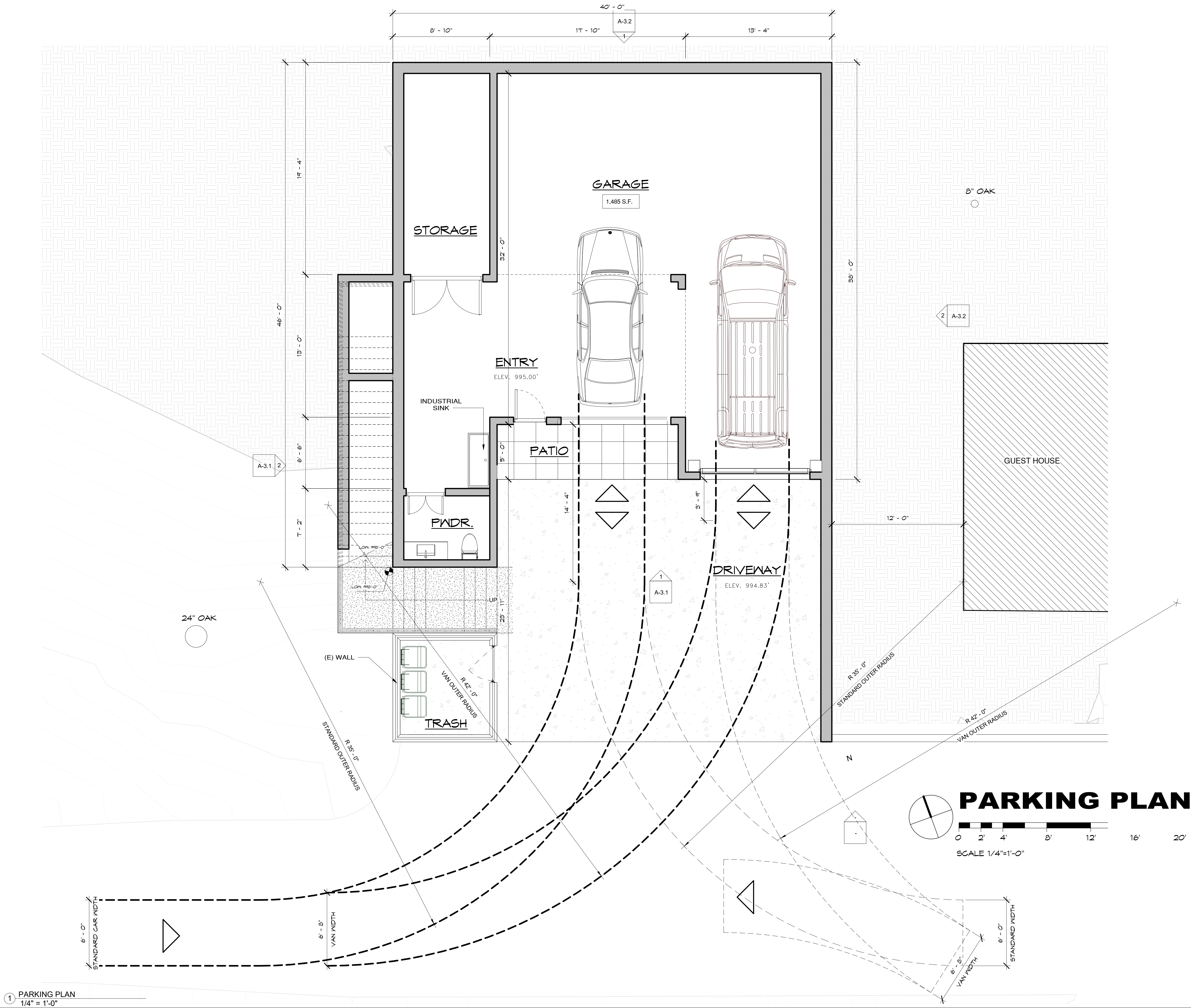
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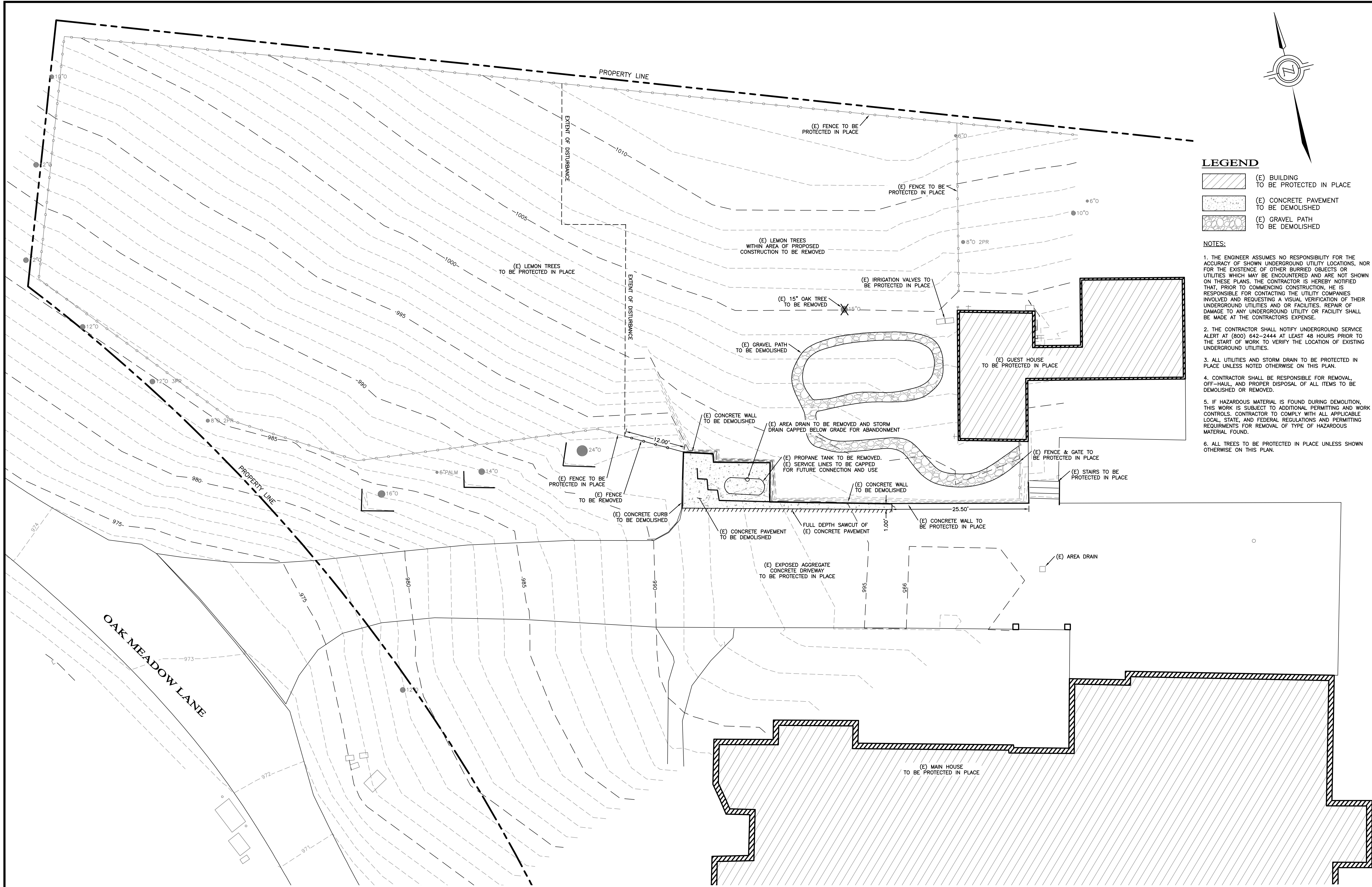


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PARKING PLAN		
Job Name: SCOTT GARAGE		
6 Oak Meadow Lane Carme Valley, CA 93924		
A.P.N. 187-031-027-000		
DATE: 8/28/2023		
SCALE: 1/4" = 1'-0"		
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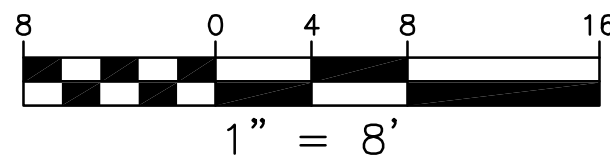


- LEGEND**
- (E) BUILDING TO BE PROTECTED IN PLACE
  - (E) CONCRETE PAVEMENT TO BE DEMOLISHED
  - (E) GRAVEL PATH TO BE DEMOLISHED
- NOTES:**
1. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SHOWN UNDERGROUND UTILITY LOCATIONS, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED AND ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS HEREBY NOTIFIED THAT, PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THEIR UNDERGROUND UTILITIES AND OR FACILITIES. REPAIR OF DAMAGE TO ANY UNDERGROUND UTILITY OR FACILITY SHALL BE MADE AT THE CONTRACTORS EXPENSE.
  2. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
  3. ALL UTILITIES AND STORM DRAIN TO BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE ON THIS PLAN.
  4. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL, AND PROPER DISPOSAL OF ALL ITEMS TO BE DEMOLISHED OR REMOVED.
  5. IF HAZARDOUS MATERIAL IS FOUND DURING DEMOLITION, THIS WORK IS SUBJECT TO ADDITIONAL PERMITTING AND WORK CONTROLS. CONTRACTOR TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND PERMITTING REQUIREMENTS FOR REMOVAL OF TYPE OF HAZARDOUS MATERIAL FOUND.
  6. ALL TREES TO BE PROTECTED IN PLACE UNLESS SHOWN OTHERWISE ON THIS PLAN.

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C1

SITE DEMOLITION PLAN

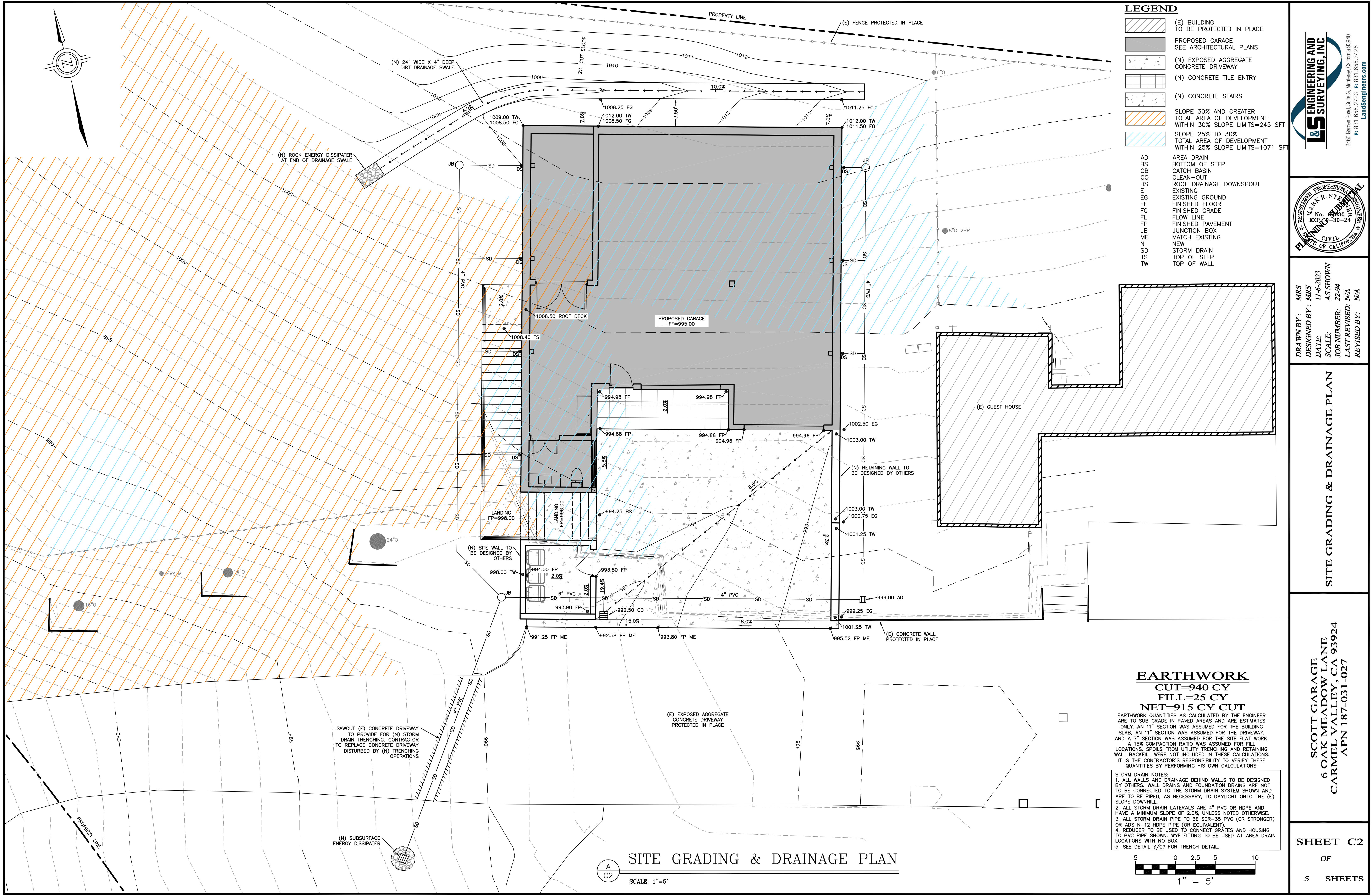
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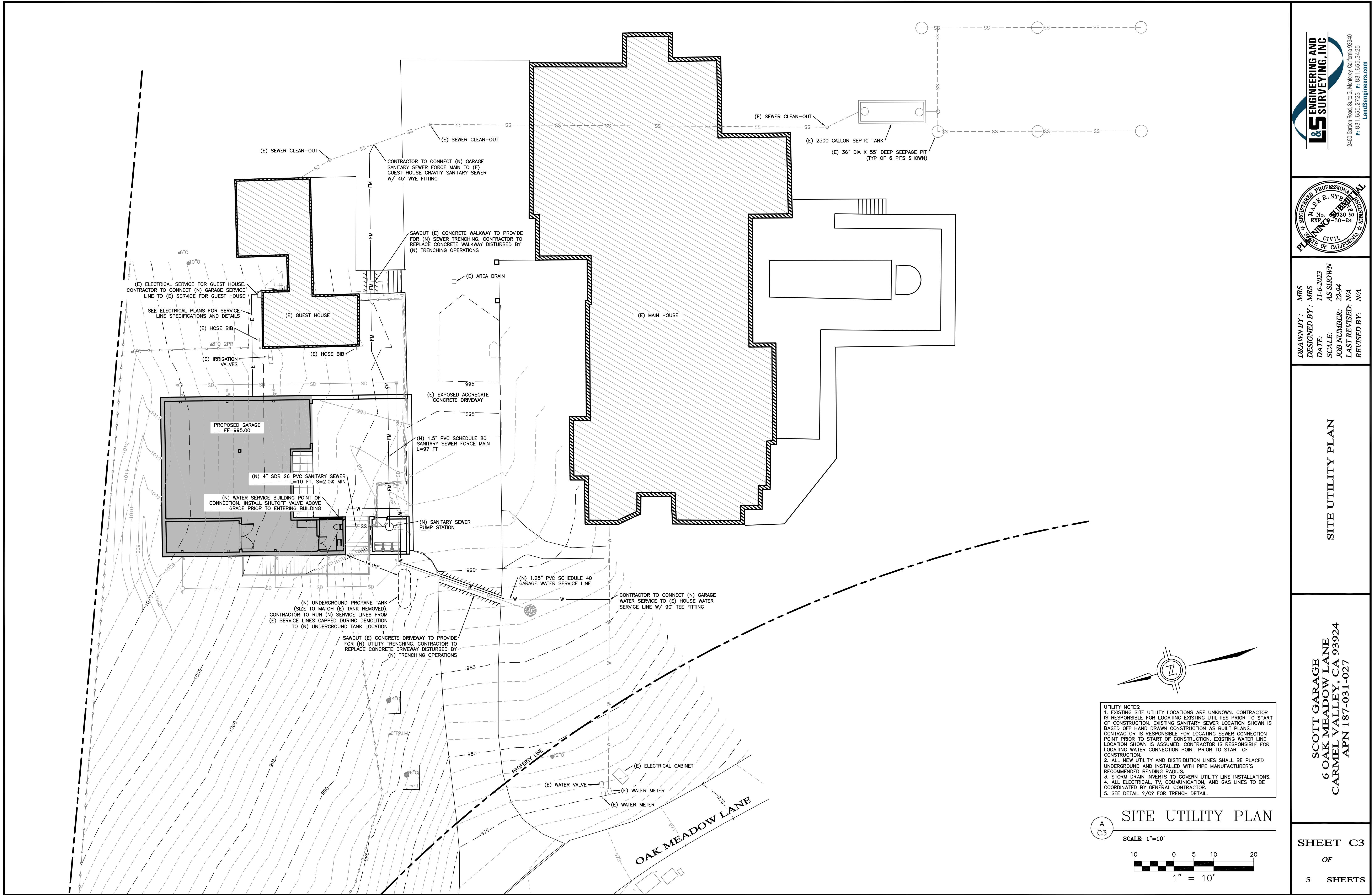
SITE DEMOLITION PLAN

SCOTT GARAGE  
6 OAK MEADOW LANE  
CARMEL VALLEY, CA 93924  
APN 187-031-027









**SITE UTILITY PLAN**

**SCOTT GARAGE**  
**6 OAK MEADOW LANE**  
**CARMEL VALLEY, CA 93924**  
**APN 187-031-027**



## EROSION AND SEDIMENT CONTROL GENERAL NOTES

1. VEGETATION REMOVAL BETWEEN OCTOBER 15th AND APRIL 15th SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE.
2. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
  - A) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
  - B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
  - C) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT.
3. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
4. ALL CUT AND FILL SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEEDED, OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING SUBJECT TO THE APPROVAL OF THE DIRECTOR OF PLANNING AND BUILDING SERVICES. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
6. THE DIRECTOR OF THE BUILDING INSPECTION DEPARTMENT MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
7. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
  - A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.
  - B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
  - C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
  - D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
8. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE. THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
9. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE EROSION AND PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM. ACCEPTABLE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: INSTALLATION OF SILT FENCES, FIBER ROLLS, INSTALLATION OF STORM DRAIN INLET PROTECTION, AND INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCES. AT THE CONTRACTOR'S DISCRETION, ANY ONE OR A COMBINATION OF THESE MEASURES MAY BE USED ABOVE AND BEYOND WHAT IS SHOWN ON THE PLANS.
10. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
11. DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
12. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

### CONCRETE WASHOUT

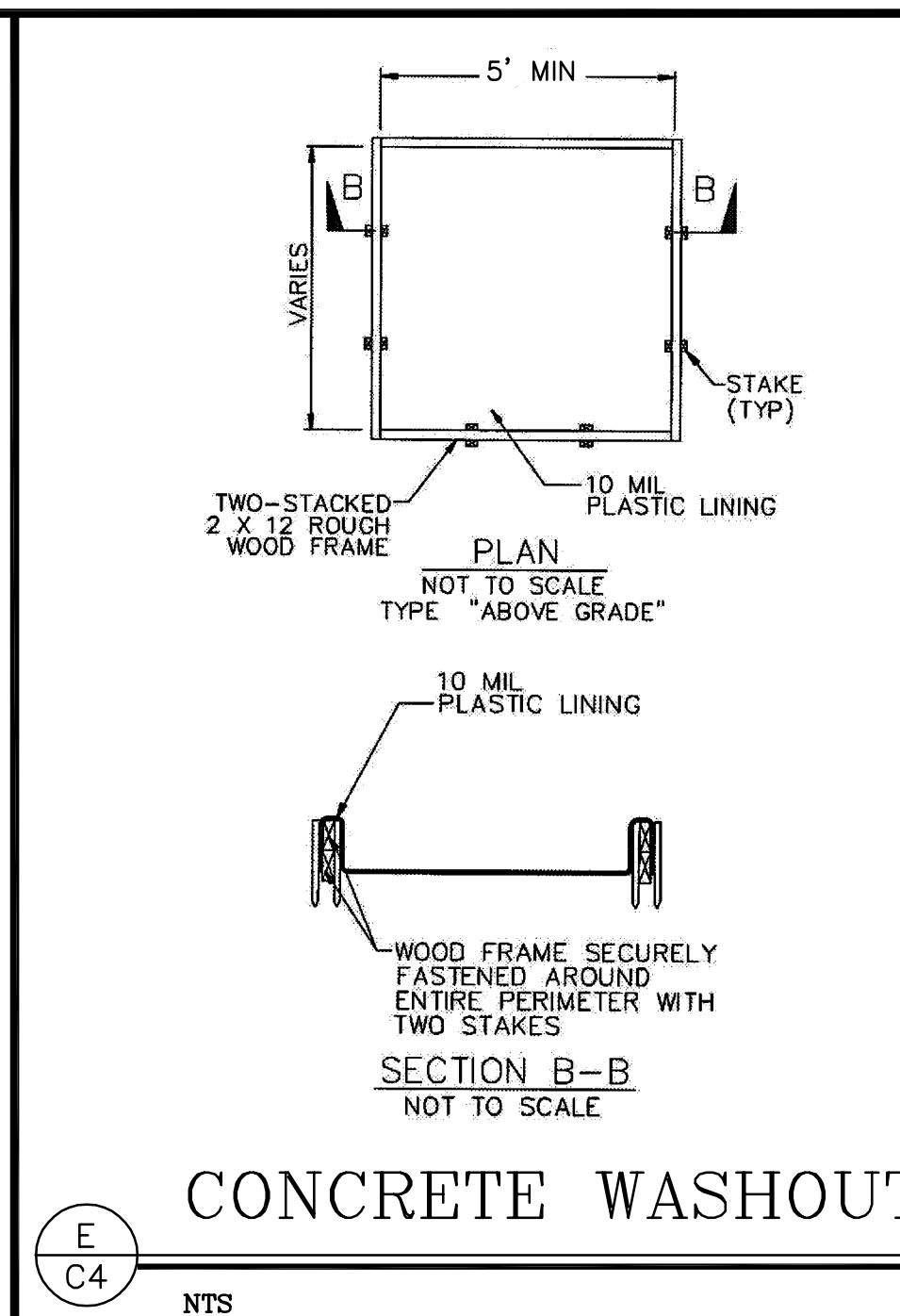
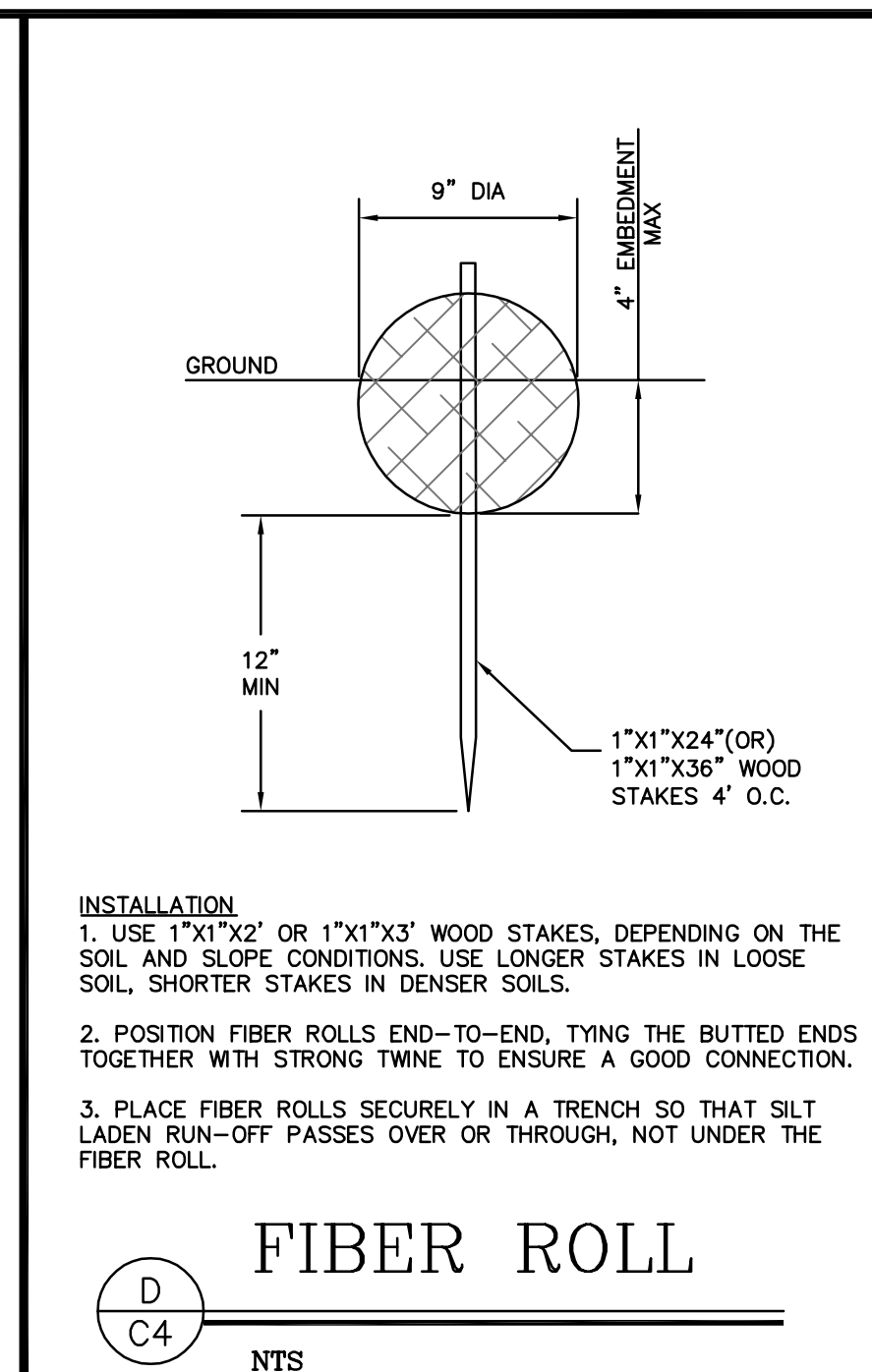
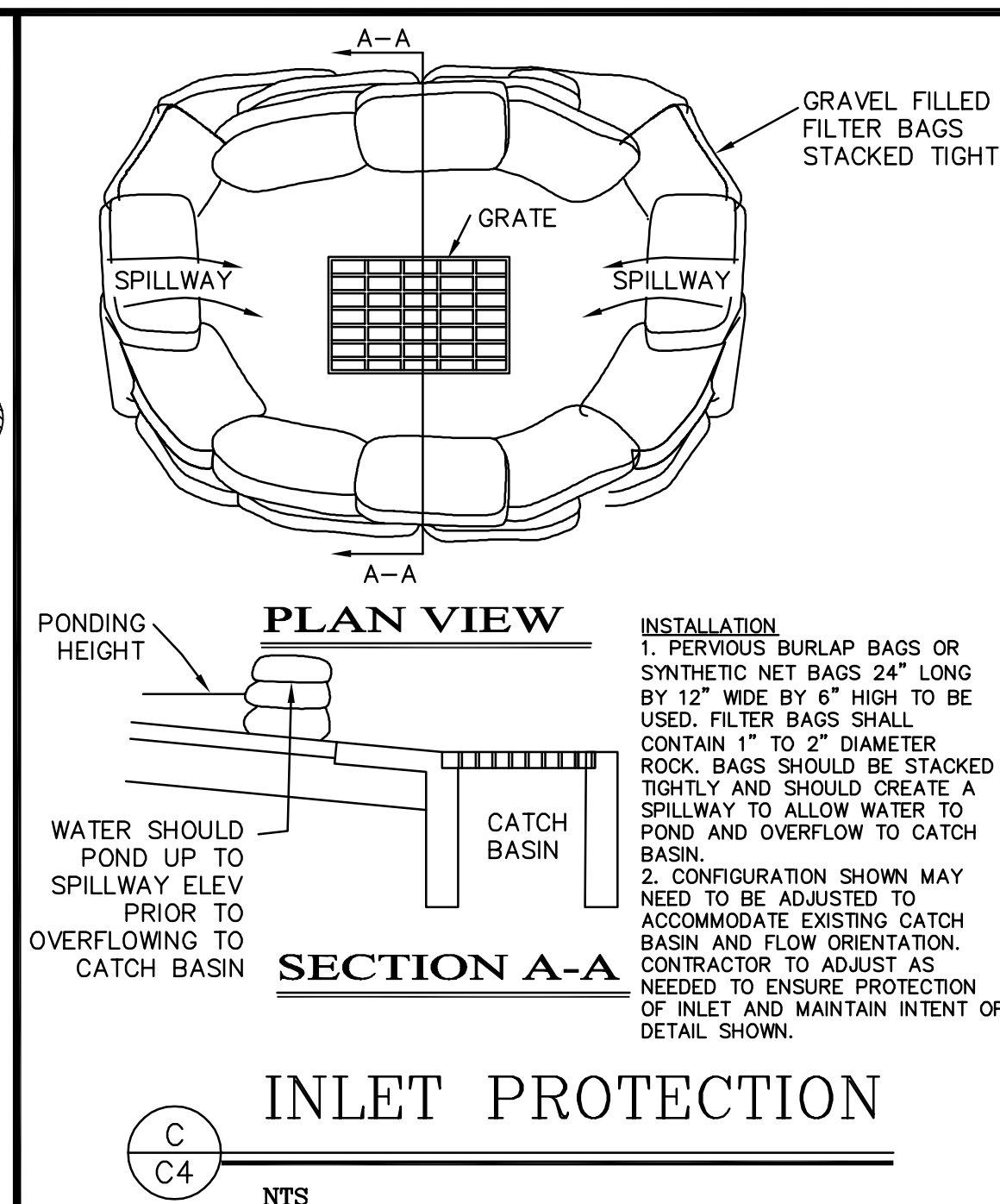
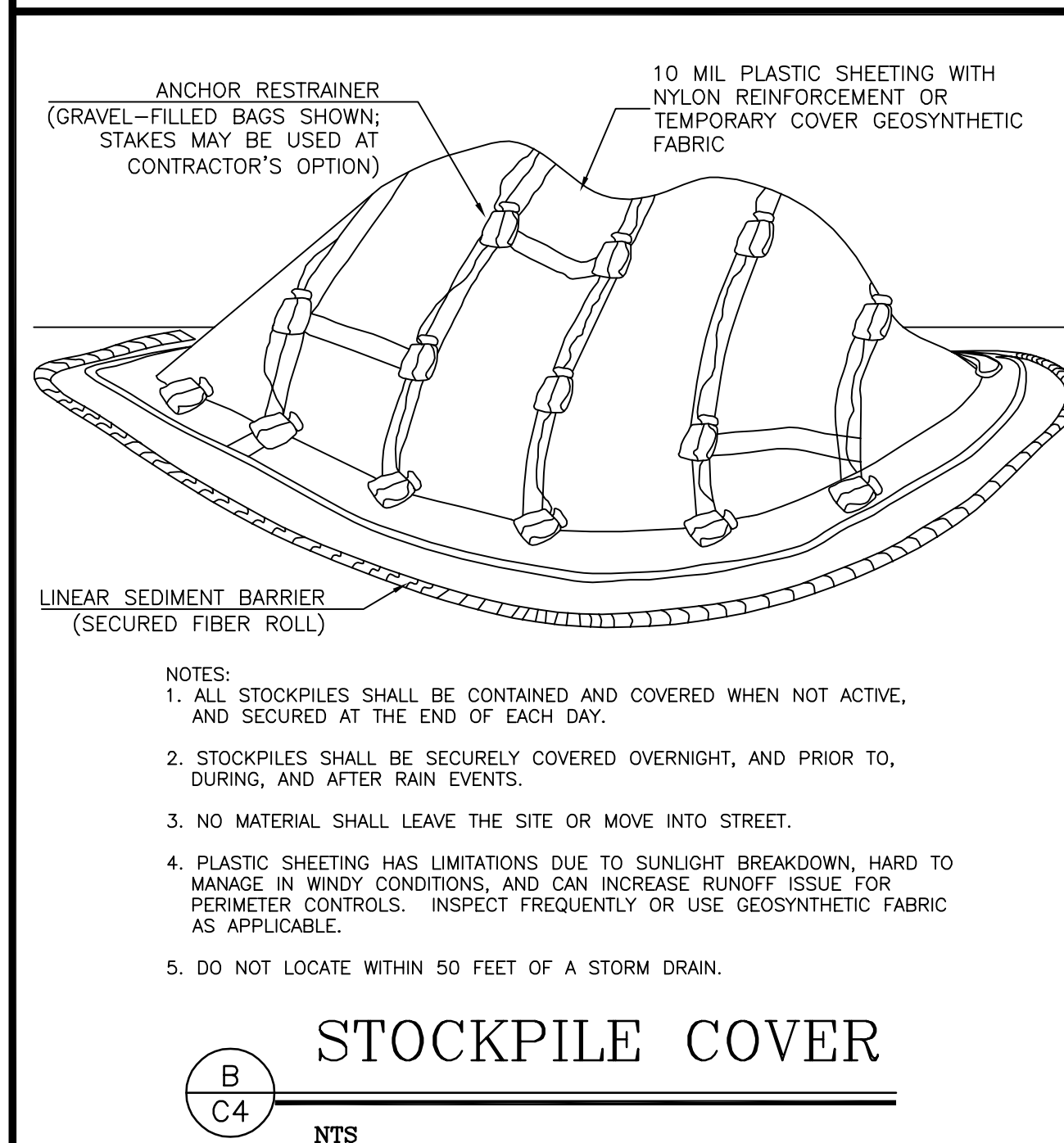
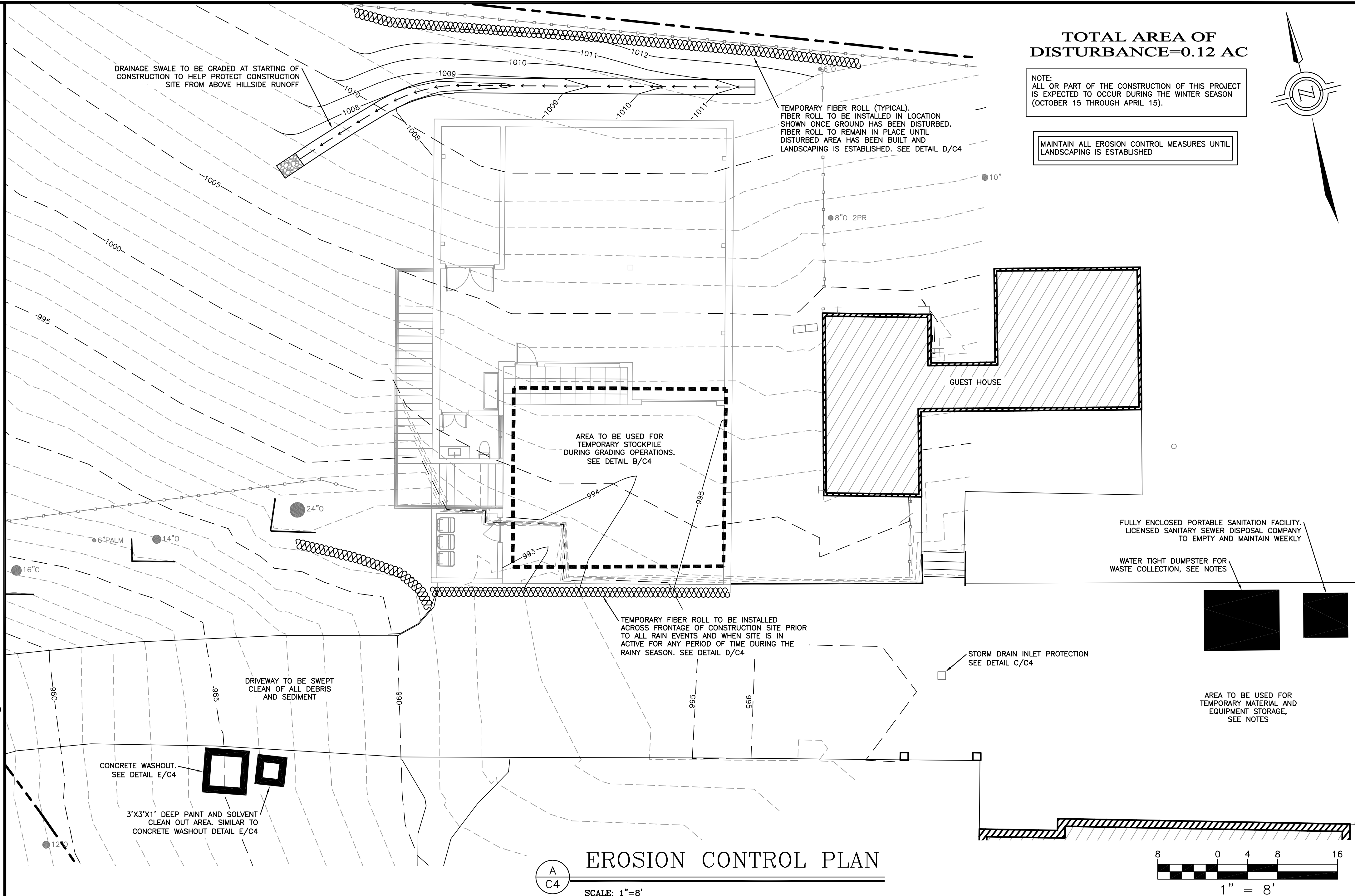
1. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
2. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
3. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
4. TEMPORARY WASHOUT FACILITIES SHOULD HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
5. WASHOUT OF CONCRETE TRUCKS SHOULD BE PERFORMED IN DESIGNATED AREAS ONLY.
6. ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT.
7. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFFSITE.
8. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF PER PROPER WASTE MANAGEMENT PROCEDURES. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.

### MATERIAL DELIVERY AND STORAGE

1. LIQUIDS, PETROLEUM PRODUCTS, AND SUBSTANCES LISTED IN 40 CFR PARTS 110, 117, OR 302 SHOULD BE STORED IN APPROVED CONTAINERS AND DRUMS AND SHOULD NOT BE OVERFILLED. CONTAINERS AND DRUMS SHOULD BE PLACED IN TEMPORARY CONTAINMENT FACILITIES FOR STORAGE.
2. TEMPORARY CONTAINMENT FACILITY SHOULD PROVIDE FOR A SPILL CONTAINMENT VOLUME ABLE TO CONTAIN PRECIPITATION FROM A 25 YEAR STORM EVENT, PLUS THE AGGREGATE VOLUME OF ALL CONTAINERS OR 100% OF THE CAPACITY OF THE LARGEST CONTAINER WITHIN ITS BOUNDARY, WHICHEVER IS GREATER.
3. A TEMPORARY CONTAINMENT FACILITY SHOULD BE IMPERVIOUS TO THE MATERIALS STORED THEREIN FOR A MINIMUM CONTACT TIME OF 72 HOURS.
4. A TEMPORARY CONTAINMENT FACILITY SHOULD BE MAINTAINED FREE OF ACCUMULATED RAINWATER AND SPILLS. IN THE EVENT OF SPILLS OR LEAKS, ACCUMULATED RAINWATER SHOULD BE COLLECTED AND PLACED INTO DRUMS. THESE LIQUIDS SHOULD BE HANDLED AS A HAZARDOUS WASTE UNLESS TESTING DETERMINES THEM TO BE NON-HAZARDOUS. ALL COLLECTED LIQUIDS OR NON-HAZARDOUS LIQUIDS SHOULD BE SENT TO AN APPROVED DISPOSAL SITE.
5. SUFFICIENT SEPARATION SHOULD BE PROVIDED BETWEEN STORED CONTAINERS TO ALLOW FOR SPILL CLEANUP AND EMERGENCY RESPONSE ACCESS.
6. INCOMPATIBLE MATERIALS, SUCH AS CHLORINE AND AMMONIA, SHOULD NOT BE STORED IN THE SAME TEMPORARY CONTAINMENT FACILITY.
7. THROUGHOUT THE RAINY SEASON, EACH TEMPORARY CONTAINMENT FACILITY SHOULD BE COVERED DURING NON-WORKING DAYS, PRIOR TO, AND DURING RAIN EVENTS.
8. MATERIALS SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS AND THE ORIGINAL PRODUCT LABELS SHOULD BE MAINTAINED IN PLACE IN A LEGIBLE CONDITION. DAMAGED OR OTHERWISE ILLEGIBLE LABELS SHOULD BE REPLACED IMMEDIATELY.
9. BAGGED AND BOXED MATERIALS SHOULD BE STORED ON PALLETS AND SHOULD NOT BE ALLOWED TO ACCUMULATE ON THE GROUND. TO PROVIDE PROTECTION FROM WIND AND RAIN THROUGHOUT THE RAINY SEASON, BAGGED AND BOXED MATERIALS SHOULD BE COVERED DURING NON-WORKING DAYS AND PRIOR TO AND DURING RAIN EVENTS.
10. STOCKPILES SHOULD BE PROTECTED IN ACCORDANCE WITH CALIFORNIA STORM WATER QUALITY HANDBOOK CONSTRUCTION PRACTICES WM-3, STOCKPILE MANAGEMENT.
11. MATERIALS SHOULD BE STORED INDOORS WITHIN EXISTING STRUCTURES OR SHEDS WHEN AVAILABLE.
12. PROPER STORAGE INSTRUCTIONS SHOULD BE POSTED AT ALL TIMES IN AN OPEN AND CONSPICUOUS LOCATIONS.
13. AN AMPLE SUPPLY OF APPROPRIATE SPILL CLEAN MATERIAL SHOULD BE KEPT NEAR STORAGE AREAS.
14. KEEP AN ACCURATE, UP-TO-DATE INVENTORY OF MATERIAL DELIVERED AND STORED ONSITE.
15. ARRANGE FOR EMPLOYEES TRAINED IN EMERGENCY SPILL CLEANUP PROCEDURES TO BE PRESENT WHEN DANGEROUS MATERIALS OR LIQUID CHEMICALS ARE UNLOADED.

### WASTE COLLECTION AREA

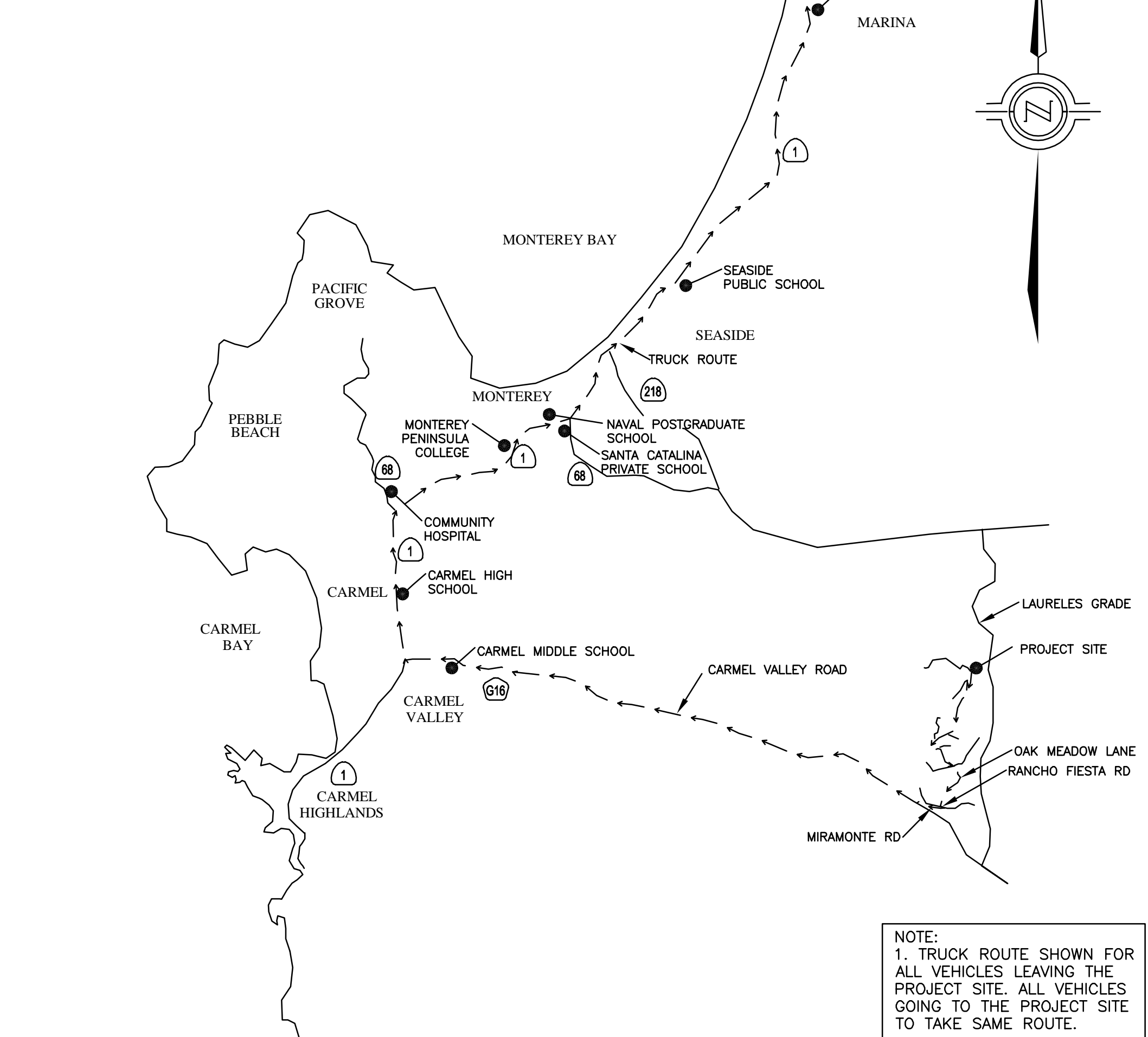
1. WATER TIGHT DUMPSTERS OF SUFFICIENT SIZE AND NUMBER SHALL BE PROVIDED TO CONTAIN THE SOLID WASTE GENERATED BY THE PROJECT AND SHALL BE PROPERLY SERVICED.
2. LITTERING ON THE PROJECT SITE SHALL BE PROHIBITED.
3. TRASH RECEPTACLES SHALL BE PROVIDED IN FIELD TRAILER AREAS AND IN LOCATIONS WHERE WORKERS CONGREGATE FOR LUNCH AND BREAK PERIODS.
4. CONSTRUCTION DEBRIS AND LITTER FROM WORK AREAS WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT SITE SHALL BE COLLECTED AND PLACED IN WATER TIGHT DUMPSTERS AT LEAST WEEKLY. COLLECTED LITTER OR DEBRIS SHALL NOT BE PLACED IN OR NEXT TO DRAIN INLETS, STORM WATER DRAINAGE SYSTEMS OR WATERCOURSES.
5. FULL DUMPSTERS SHALL BE REMOVED FROM THE PROJECT SITE AND THE CONTENTS SHALL BE DISPOSED OF AT A LEGALLY APPROVED LAND FILL LOCATION.
6. ALL DUMPSTERS SHALL BE HANDLED AND DISPOSED OF BY TRASH HAULING CONTRACTOR.
7. CONSTRUCTION DEBRIS AND WASTE SHALL BE REMOVED FROM THE SITE EVERY TWO WEEKS OR SOONER IF NEEDED.
8. STORM WATER RUN ON SHALL BE PREVENTED FROM CONTACTING STOCKPILED SOLID WASTE THROUGH THE USE OF BERMS OR OTHER TEMPORARY DIVERSION STRUCTURES OR THROUGH THE USE OF MEASURES TO ELEVATE WASTE FROM SURFACE.
9. WASTE STORED IN STOCKPILES SHALL BE SECURELY COVERED FROM WIND AND RAIN BY COVERING WASTE WITH TARPS OR PLASTIC SHEETING WHILE WAITING FOR OFF-HAUL OR TRANSFER TO DUMPSTERS.
10. SEGREGATE HAZARDOUS WASTE FROM NON-HAZARDOUS WASTE. FOR DISPOSAL OF HAZARDOUS WASTE SEE BMP WM-6. HAVE HAZARDOUS WASTE HAULED TO AN APPROPRIATE DISPOSAL FACILITY IMMEDIATELY AFTER DEMOLITION OR USE.
11. MAKE SURE THAT TOXIC LIQUID WASTES AND CHEMICALS ARE NOT DISPOSED OF IN DUMPSTERS BUT ARE REMOVED OFF SITE APPROPRIATELY.





CONSTRUCTION COORDINATOR

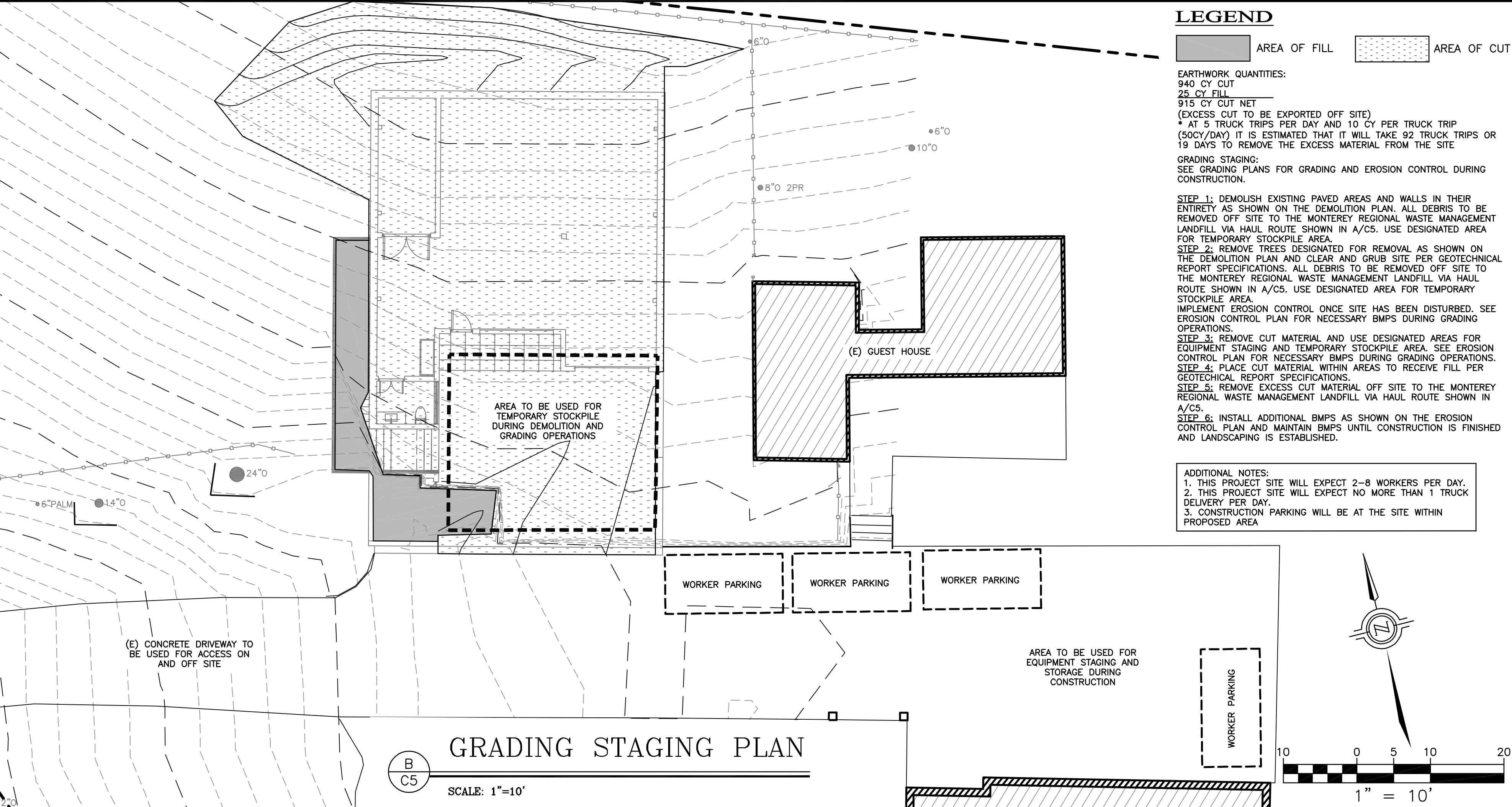
CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION, SHOULD QUESTIONS ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES), THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBER) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF ALL COMPLAINTS (IF ANY) RECEIVED DURING CONSTRUCTION, AND SHALL INVESTIGATE COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24-HOURS OF RECEIPT OF THE COMPLAINT OR INQUIRY.



VICINITY MAP/OVERALL TRUCK ROUTING PLAN  
1"=8000'

CONSTRUCTION NOTES

- ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY – SATURDAY, 8AM TO 6PM (EXCLUDING NATIONAL HOLIDAYS)
- THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES, AND THAT SUCH COPIES ARE AVAILABLE FOR AGENCY REVIEW ON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE MONTEREY COUNTY HISTORIC PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST (AN ARCHAEOLOGIST REGISTERED WITH THE SOCIETY OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE, WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.
- EQUIPMENT WASHING, REFUELING AND SERVICING SHALL TAKE PLACE ONLY ON-SITE. APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES. SEE BMP HANDOUT ON THIS SHEET.
- THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES (E.G. CLEANUP ALL LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY; KEEP MATERIALS COVERED AND OUT OF THE RAIN, INCLUDING COVERING EXPOSED PILES OF SOIL AND WASTES; DISPOSE OF ALL WASTES PROPERLY, PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER). SEE BMP HANDOUT ON THIS SHEET.
- ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION-RELATED RUNOFF AND/OR SEDIMENT FROM LEAVING THE SITE.
- THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING MEASURES TO CONTROL FUGITIVE DUST EMISSIONS DURING CONSTRUCTION (MM AQ C1 – DUST CONTROL):
  - WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. FREQUENCY SHOULD BE BASED ON THE TYPE OF OPERATION, SOIL, AND WIND EXPOSURE. – NOT APPLICABLE TO SITE
  - PROHIBIT ALL GRADING ACTIVITIES DURING PERIODS OF HIGH WIND MORE THAN 15 MILES PER HOUR.
  - APPLY CHEMICAL SOIL STABILIZERS ON INACTIVE CONSTRUCTION AREAS SUCH AS DISTURBED LANDS WITHIN CONSTRUCTION PROJECTS THAT ARE UNUSED FOR AT LEAST FOUR CONSECUTIVE DAYS. – NOT APPLICABLE TO SITE
  - APPLY NON-TOXIC BINDERS LIKE LATEX ACRYLIC COPOLYMER TO EXPOSED AREAS AFTER CUT AND FILL OPERATIONS AND HYDROSEED AREA. – NOT APPLICABLE TO SITE
  - MAINTAIN AT LEAST 2 FEET OF FREEBOARD ON HAUL TRUCKS.
  - COVER ALL TRUCKS HAULING DIRT, SAND, OR LOOSE MATERIALS.
  - PLANT TREE WINDBREAKS ON THE WINDWARD PERIMETER OF CONSTRUCTION PROJECTS IF ADJACENT TO OPEN LAND, PRIOR TO CONSTRUCTION. – NOT APPLICABLE TO SITE
  - PLANT VEGETATIVE GROUND COVER IN DISTURBED AREAS AS SOON AS POSSIBLE.
  - COVER INACTIVE STORAGE PILES
  - INSTALL WHEEL WASHERS AT THE ENTRANCE TO CONSTRUCTION SITES FOR ALL EXITING TRUCKS – NOT APPLICABLE TO SITE
  - PAVE ALL ROADS ON CONSTRUCTION SITES PRIOR TO USE BY CONSTRUCTION EQUIPMENT – NOT APPLICABLE TO SITE
  - SWEEP STREETS IF VISIBLE SOIL MATERIAL IS CARRIED OUT FROM THE CONSTRUCTION SITE.
  - POST A PUBLICLY VISIBLE SIGN THAT SPECIFIES THE TELEPHONE NUMBER AND PERSON TO CONTACT REGARDING DUST COMPLAINTS. THIS PERSON WILL RESPOND TO COMPLAINTS AND TAKE CORRECTIVE ACTION WITHIN 48 HOURS. THE PHONE NUMBER OF THE MBUAPCD WILL BE VISIBLE TO ENSURE COMPLIANCE WITH RULE 402 NUISANCE.
  - LIMIT THE AREA UNDER CONSTRUCTION AT ANY ONE TIME.
- THE CONSTRUCTION CONTRACTOR WILL ENSURE THESE MEASURES ARE IMPLEMENTED DURING CONSTRUCTION AS VERIFIABLE UPON COUNTY INSPECTION.
- THE CONTRACTOR WILL ENSURE THAT ALL STATIONARY NOISE GENERATING EQUIPMENT, SUCH AS PUMPS AND GENERATORS ARE LOCATED AS FAR AS POSSIBLE FROM NEARBY NOISE SENSITIVE RECEPTORS. WHERE POSSIBLE, NOISE GENERATING EQUIPMENT WILL BE SHIELDED FROM NEARBY NOISE SENSITIVE RECEPTORS BY NOISE ATTENUATING BUFFERS SUCH AS STRUCTURES OR HAUL TRUCK TRAILERS. STATIONARY NOISE SOURCES LOCATED CLOSER THAN 500 FEET FROM NOISE SENSITIVE RECEPTORS WILL BE EQUIPPED WITH NOISE REDUCING ENGINE HOUSINGS. PORTABLE ACOUSTIC BARRIERS WILL BE PLACED AROUND NOISE GENERATING EQUIPMENT LOCATED WITHIN 200 FEET OF RESIDENCES. WATER TANKS AND EQUIPMENT STORAGE, STAGING, AND WARM-UP AREAS WILL BE LOCATED AS FAR FROM NOISE SENSITIVE RECEPTORS AS POSSIBLE.
- THE CONTRACTOR WILL ENSURE ALL CONSTRUCTION EQUIPMENT POWERED BY GASOLINE OR DIESEL ENGINES HAS SOUND CONTROL DEVICES AT LEAST AS EFFECTIVE AS THOSE ORIGINALLY PROVIDED BY THE MANUFACTURER. NO EQUIPMENT WILL BE PERMITTED TO HAVE AN UNMUFFLED EXHAUST.
- THE APPLICANT WILL ENSURE THE CONSTRUCTION SPECIFICATIONS SPECIFY THAT ANY MOBILE NOISE-GENERATING EQUIPMENT OR MACHINERY IS SHUT OFF WHEN NOT IN USE. THESE REQUIREMENTS WILL BE INCLUDED IN ALL RELEVANT CONSTRUCTION CONTRACTS AND SHOWN ON CONSTRUCTION PLANS, AND WILL BE IMPLEMENTED DURING CONSTRUCTION.
- THE CONTRACTOR TO ENSURE THAT CONSTRUCTION VEHICLES ACCESSING THE SITE USE THE SHORTEST POSSIBLE ROUTE TO AND FROM LOCAL FREEWAYS, PROVIDED THE ROUTES DO NOT EXPOSE ADDITIONAL RECEPTORS TO NOISE. SEE APPROVED TRUCK ROUTE ON THIS SHEET.
- THE APPLICANT AND THE CONTRACTOR WILL ENSURE THAT RESIDENTS WITHIN 500 FEET OF THE CONSTRUCTION AREA ARE NOTIFIED OF THE CONSTRUCTION SCHEDULE IN WRITING BEFORE CONSTRUCTION BEGINS.



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

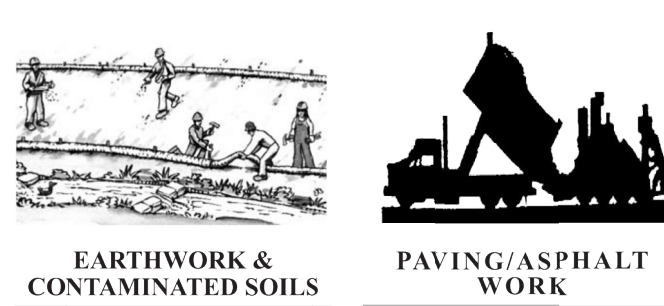
Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long



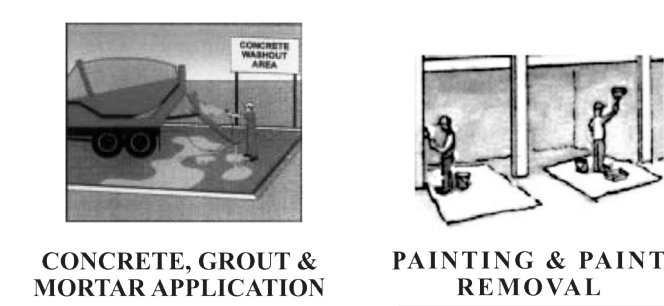
- MATERIALS & WASTE MANAGEMENT**
- Non-Hazardous Materials**
- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
  - Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
  - Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast within 24 hours.
  - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
  - Arrange for appropriate disposal of all hazardous wastes.
- Waste Management**
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
  - Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
  - Clean or replace portable toilets, and inspect them frequently for leaks and spills.
  - Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
  - Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Construction Entrances and Perimeter**
- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
  - Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.



- EQUIPMENT MANAGEMENT & SPILL CONTROL**
- Maintenance and Parking**
- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
  - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
  - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
  - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
  - Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- Spill Prevention and Control**
- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
  - Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
  - Clean up spills or leaks immediately and dispose of cleanup materials properly.
  - Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
  - Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
  - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
  - Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).
- Erosion Control**
- Schedule grading and excavation work for dry weather only.
  - Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
  - Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Sediment Control**
- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
  - Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
  - Keep excavated soil on the site where it will not collect into the street.
  - Transfer excavated materials to dump trucks on the site, not in the street.
  - Contaminated Soils
  - If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
    - Unusual soil conditions, discoloration, or odor.
    - Abandoned underground tanks
    - Abandoned wells
    - Buried barrels, debris, or trash.



- EARTHWORK & CONTAMINATED SOILS**
- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
  - Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
  - Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
  - Do not use water to wash down fresh asphalt concrete pavement.
- Sawcutting & Asphalt/Concrete Removal**
- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
  - Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
  - If sawcut slurry enters a catch basin, clean it up immediately.



- CONCRETE, GROUT & MORTAR APPLICATION**
- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
  - Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
  - Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.
- Painting & Paint Removal**
- Painting cleanup
    - Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
    - For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
    - For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.
  - Paint Removal
    - Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
    - Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

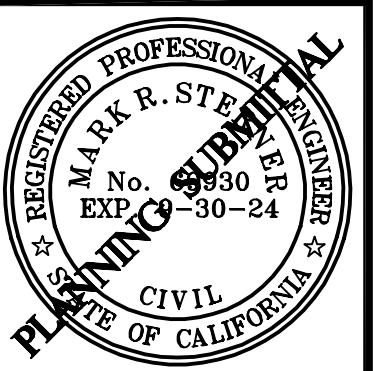


- DEWATERING**
- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
  - When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
  - In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

To Report a Spill: Call 911 or (831) 394-6811  
If you see paint, cement, motor oil, antifreeze or other hazardous materials flowing into or being dumped into a storm drain, immediately call 911 to report it.

Additional Contact Numbers (Non-Emergency):	
City of Carmel-by-the-Sea:	(831) 420-2000
City of Del Rey Oaks:	(831) 394-8511
City of Monterey:	(831) 646-3921
City of Pacific Grove:	(831) 646-5722
City of San Jose:	(831) 394-3054
City of Seaside:	(831) 899-6825
County of Monterey:	(831) 755-4800

v3 Oct 2015



DRAWN BY: MRS  
DESIGNED BY: MRS  
DATE: 11-6-2023  
SCALE: AS SHOWN  
JOB NUMBER: 22-94  
LAST REVISED: N/A  
REVISED BY: N/A

CONSTRUCTION MANAGEMENT PLAN

SCOTT GARAGE  
6 OAK MEADOW LANE  
CARMEL VALLEY, CA 93924  
APN 187-031-027



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