

**Before the Zoning Administrator
in and for the County of Monterey, State of California**

In the matter of the application of:

DEL SANTO (PLN180551)

RESOLUTION NO. 19-025

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2 were found; and
- 2) Approve a Design Approval to allow the demolition of an existing 3,408 square foot single-family dwelling and construct a 2,789 square foot above ground two story single-family dwelling with a 1,200 square foot subterranean basement and 273 square foot attached garage.

1000 Rodeo Road, Pebble Beach, Greater Monterey Peninsula Area Plan (APN: 007-312-001-000)

The Del Santo application (PLN180551) came on for a public hearing before the Monterey County Zoning Administrator on August 8, 2019. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY / HEALTH AND SAFETY / NO VIOLATIONS / SITE SUITABILITY** - The proposed project and/or use, as conditioned, is consistent with the policies of the Monterey County 2010 General Plan, Greater Monterey Peninsula Area Plan, Monterey County Zoning Ordinance (Title 21), and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the development proposed, and no violations exist on the property.
EVIDENCE:
 - a) The proposed project involves the demolition of an existing 3,408 square foot single-family dwelling and construction a 2,789 square foot two story single-family dwelling with a 1,200 square foot basement and 273 square foot attached garage.
 - b) The property is located at 1000 Rodeo Road in Pebble Beach (Assessor's Parcel Number 007-312-001-000), Greater Monterey Peninsula Area Plan. The parcel is zoned Medium Density Residential, with a Building Site, Design Control, and Parking & Use of Major Recreational Equipment Storage in Seaward zoning

overlays (MDR/B-6-D-RES). Development of single-family dwellings is an allowed uses pursuant to MCC Sections 21.12.030.A. The Design Control zoning overlay requires the granting of a Design Approval for the proposed development (see Finding No. 2 below).

- c) The project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Greater Monterey Peninsula; and
 - Monterey County Zoning Ordinance (Title 21)
- d) No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in the applicable documents.
- e) Review of Development Standards. The development standards for the MDR zoning district in the Del Monte Forest are identified in MCC Section 21.12.070. Special required setbacks in the MDR district for main dwelling units are 20 feet (front), and 10 feet first story and 20 feet second story (sides). The proposed dwelling has a 20 feet (front), and 10 feet first story and 20 feet second story (side) setbacks. Corresponding maximum structure height is 27 feet. The proposed height for the single-family dwelling is 27 feet. The allowed maximum floor area coverage in the MDR district is 35 percent. The property is 9,745.15 square feet, which would allow floor area coverage of approximately 3,360 square feet. The proposed single-family dwelling and garage would result in site coverage of approximately 3,062 square feet or 31.4 percent. The building site coverage allowance for the MDR zoning district is also 35 percent. The proposed dwelling and garage would result in building site coverage of approximately 2,994 square feet or 30.7 percent. The 1,200 square feet basement is not calculated in the floor area since it is constructed below ground. Therefore, as proposed, the project meets all required development standards.
- f) The project has been reviewed for site suitability by RMA-Planning. The project planner reviewed the application materials and plans along with the County's GIS database to verify that the proposed project on the subject site conforms to the applicable plans, and that the site is suitable for the proposed development. The project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- g) The following technical reports has been prepared:
 - *Historic Report (LIB190198) prepared by Anthony Kirk, Inc., Los Gatos, California, June 2019.*
 - *Preliminary Cultural Resources Reconnaissance of APN 007-312-001-000 (LIB190191) prepared by Susan Morley, Marina, California, February 2019.*County staff has independently reviewed these reports and concur with their conclusions.
- h) Necessary public facilities are available. The sewer for the site will be served by Pebble Beach Community Services District and water will be served by Cal-Am.
- i) Design. See Finding No. 2.

- j) Archaeology. The project is in an area mapped as being high in archaeological sensitivity. Because the site is within an area of high archeological sensitivity, a report (LIB190191) was prepared for this property. The report found no surface evidence or previously recorded information that the site contains potentially significant archaeological resources. Because the project includes a basement and because it cannot be determined with certainty what lies beneath the soil, a standard condition has been included in the project that requires work to stop and notification of the County and a qualified archaeologist if previously unidentified resources are discovered during construction. Currently there is an existing single family dwelling with a mechanical basement. Proposed construction of the new single family dwelling would be over the building footprint of the existing house with a full basement. Estimated quantities are 1,500 cubic yards of cut and five cubic yards of fill.
- k) Monterey County RMA-Planning and RMA-Building Services records were reviewed, and the County is not aware of any violations existing on subject property.
- l) The project planner conducted a site inspection on March 7, 2019 to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC.
- m) The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application warranted referral to the LUAC because the project is a Design Approval subject to review by the Zoning Administrator. The LUAC, at a duly-noticed public meeting on March 7, 2019 voted 4 – 0 to support the project as proposed with 2 absent.
- n) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN180551.

2. **FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

- EVIDENCE:**
- a) The applicant proposes a single-family dwelling and an attached garage on an existing residential lot. The proposed dwelling incorporates architectural aesthetics Colonial modern style.
 - b) Pursuant to Chapter 21.44, Title 21 (Zoning Ordinance) of the Monterey County Code (MCC), the proposed project site and surrounding area are designated as a Design Control Combining District (D District), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
 - c) Material and Color Finishes. The applicant proposes exterior colors and materials that are consistent with the residential setting. The primary colors and materials include gray cedar shingle siding, white wood trims and molding, stone veneer and white metal clad wood doors and windows. The proposed exterior finishes would blend with the surrounding environment, are consistent with the surrounding

residential neighborhood character, and are consistent with other dwellings in the neighborhood.

- d) The proposed development is not visible from a common public viewing area; therefore, the proposed dwelling would not have an impact on a public viewshed and would not create a substantially adverse visual impact when viewed from a common public viewing area. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.
- f) Based on the evidence described above, the proposed structures and uses are consistent with the surrounding residential neighborhood character (i.e., structural design features, colors, and material finishes). As proposed, the project is consistent with neighborhood character, and assures visual integrity.
- g) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN180551.

3. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a) categorically exempts the construction of new, small facilities or structures, including habitable and non-habitable structures accessory to a single-family dwelling or residential use.
 - b) The subject project consists of the construction of a single-family dwellings with an attached garage. Therefore, the proposed development is consistent with the exemption parameters of CEQA Guidelines Section 15303(a).
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because there is no feature or condition of the project that distinguishes the project from the exempt class. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway. There is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.
 - d) No adverse environmental effects were identified during staff review of the development application.

4. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Monterey County Planning Commission.

EVIDENCE: Pursuant to Section 21.80.040.B of the Monterey County Zoning Ordinance (Title 21), the Planning Commission shall consider appeals from the discretionary decisions of the Zoning Administrator. The decision of the Planning Commission would be final and may not be appealed.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find that the project is a single-family dwelling which qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- B. Approve a Design Approval to allow the demolition of an existing 3,408 square foot single-family dwelling and construct a 2,789 square foot above ground two story single-family dwelling with a 1,200 square foot subterranean basement and 273 square foot attached garage.

In general conformance with the attached plans and subject to the attached condition, which are incorporated herein by reference.

PASSED AND ADOPTED this 8th day of August, 2019.



Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON AUG 08 2019.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE AUG 19 2019.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

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Monterey County RMA Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN180551

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Design Approval (PLN180551) allows the demolition of an existing 3,408 square foot single family dwelling and construction of a 2,789 square foot two story single family dwelling with a 1,200 square foot basement and 273 square foot attached garage and appurtenant structures and fence. Outdoor fireplace height shall be no taller than adjacent fence. The property is located at 1000 Rodeo Road in Pebble Beach (Assessor's Parcel Number 007-312-001-000), Greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the RMA Chief of Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Design Approval (Resolution Number 19-025) was approved by the Zoning Administrator for Assessor's Parcel Number 007-312-001-000 on August 8, 2019. The permit was granted subject to six (6) conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be Performed: shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources)
work shall be halted immediately within 50 meters (165 feet) of the find until a qualified
professional archaeologist can evaluate it. Monterey County RMA - Planning and a
qualified archaeologist (i.e., an archaeologist registered with the Register of
Professional Archaeologists) shall be immediately contacted by the responsible
individual present on-site. When contacted, the project planner and the archaeologist
shall immediately visit the site to determine the extent of the resources and to develop
proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or The Owner/Applicant shall adhere to this condition on an on-going basis.
Monitoring

Action to be Performed: Prior to the issuance of grading or building permits and/or prior to the recordation of
the final/parcel map, whichever occurs first, the Owner/Applicant shall include
requirements of this condition as a note on all grading and building plans. The note
shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact
Monterey County RMA - Planning and a qualified archaeologist immediately if cultural,
archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the
site to determine the extent of the resources and to develop proper mitigation
measures required for the discovery.

4. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to RMA-Planning and RMA - Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the RMA-Planning Department and the Department of Public Works for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

5. PD041 - HEIGHT VERIFICATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of RMA - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project, and shall be at a maximum of 27 feet. (RMA - Planning and RMA - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

6. PW031- BOUNDARY SURVEY

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Owner/Applicant shall have a professional land surveyor perform a boundary survey of the boundary lines of the subject parcel and have said lines monumented. (Public Works).

Compliance or Monitoring Action to be Performed: Prior to foundation inspection, Owner/Applicant shall have a professional land surveyor survey and monument the boundary lines of the subject parcel and provide evidence to the County Surveyor of conformance to the setbacks shown on the approved Site Plan. The surveyor shall be responsible for compliance with the requirements of Section 8762 of the California Business and Professions Code (PLS Act).

DD THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SET FOR WHICH THEY WERE PREPARED. NO PART OF THESE DRAWINGS OR SPECIFICATIONS IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, IN WHOLE OR IN PART, WITHOUT PERMISSION IN WRITING FROM THE ARCHITECT. ANY REUSE, REPRODUCTION OR PUBLICATION OF THIS DOCUMENT IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION OF THIS DOCUMENT IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION OF THIS DOCUMENT IS EXPRESSLY LIMITED TO SUCH USE.

Del SANTO RESIDENCE

1000 RODEO ROAD

PEBBLE BEACH, CA 93953

REVISION

No.

CONSULTANT:

ARCHITECT

TITLE SHEET

JOB NAME: **DelSanto Residence**
1000 Rodeo Road
Pebble Beach, CA
A.P.N. 007-312-001

DATE: 10/26/18

SCALE: N.T.S.

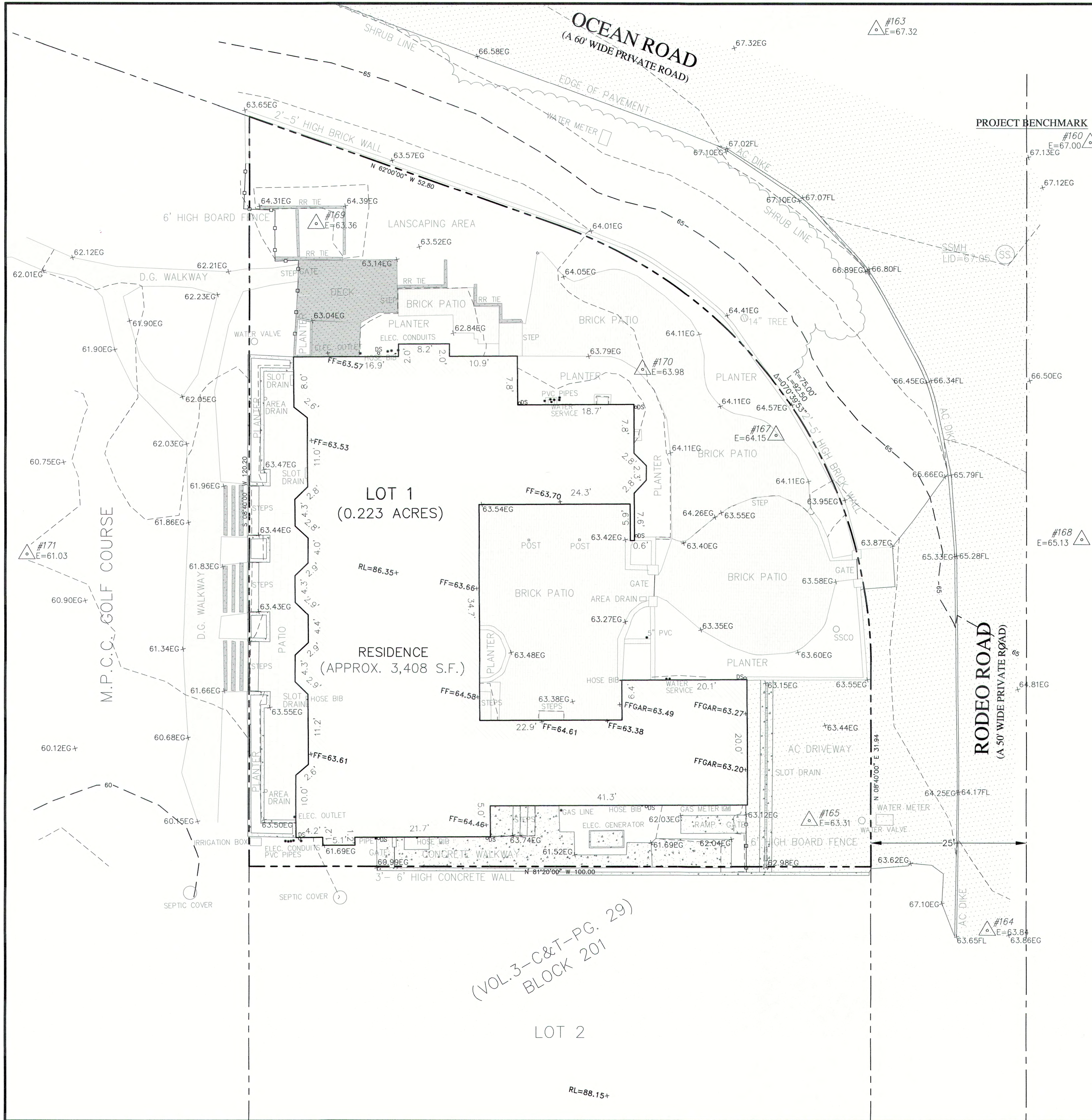
DRAWN: SSH

JOB NUMBER: 18.11

A-0.1

SHEET OF

PROJECT DATA			PROJECT INFORMATION			SHEET INDEX																																																																												
<div>SETBACKS</div> <table><tr><td>MDR/B-6-D-RES</td><td>REQUIRED</td><td>PROPOSED</td></tr><tr><td>FRONT (NORTH)</td><td>..... 20'-0"</td><td>..... 20'-0"</td></tr><tr><td>SIDE (1ST FLOOR)</td><td>..... 10'-0"</td><td>..... 10'-0"</td></tr><tr><td>SIDE (2ND FLOOR)</td><td>..... 20'-0"</td><td>..... 20'-0"</td></tr></table> <table><tr><td>BUILDING HEIGHT</td><td>27 FT. MAX.</td><td>27.0 FT.</td></tr></table>			MDR/B-6-D-RES	REQUIRED	PROPOSED	FRONT (NORTH) 20'-0" 20'-0"	SIDE (1ST FLOOR) 10'-0" 10'-0"	SIDE (2ND FLOOR) 20'-0" 20'-0"	BUILDING HEIGHT	27 FT. MAX.	27.0 FT.	<div>LOT DATA :</div> <div>LOT SIZE : 9,745.15 SQ. FT.</div> <div>A.P.N. : 007-312-001-000</div> <div>ZONING : MDR/B-6-D-RES</div> <table><tr><td>ZONING</td><td>MDR/B-6-D-RES</td></tr><tr><td>FLOOR AREA RATIO :</td><td>35%</td></tr><tr><td>MAXIMUM AREA ALLOWED :</td><td>3,360 SQ. FT.</td></tr></table> <div>EXISTING FLOOR AREA:</div> <table><tr><td>FIRST FLOOR:</td><td>3,000 S.F.</td></tr><tr><td>GARAGE:</td><td>408 S.F.</td></tr><tr><td>EXISTING FLOOR AREA RATIO :</td><td>3,408 S.F.</td></tr></table> <div>36.25%</div> <div>PROPOSED FLOOR AREA:</div> <table><tr><td>FIRST FLOOR:</td><td>2,072 S.F.</td></tr><tr><td>SECOND FLOOR:</td><td>717 S.F.</td></tr><tr><td>GARAGE:</td><td>278 S.F.</td></tr></table> <div>PROPOSED FLOOR AREA RATIO :</div> <div>3,062 S.F.</div> <div>31.4%</div> <div>PROPOSED SITE COVERAGE:</div> <table><tr><td>BUILDING SITE COVERAGE</td><td>2,944 S.F.</td></tr><tr><td>DRIVEWAY</td><td>412 S.F.</td></tr><tr><td>SUNKEN FIRE PIT & SPA</td><td>241 S.F.</td></tr><tr><td>STAIR/LIGHT WELLS</td><td>208 S.F.</td></tr><tr><td>SITE WALLS UNDER 6 FT.</td><td>202'-6" L.F. 124 S.F.</td></tr><tr><td>PAVING - PATHS, PATIOS</td><td>1,042 S.F.</td></tr></table> <div>TOTAL PROPOSED SITE COVERAGE :</div> <div>5,631 S.F.</div> <div>57.8%</div> <div>MAXIMUM ALLOWABLE SITE COVERAGE :</div> <div>9,000 S.F.</div> <table><tr><td>ZONING</td><td>MDR/B-6-D-RES</td></tr><tr><td>BUILDING SITE COVERAGE:</td><td>35%</td></tr><tr><td>MAXIMUM AREA ALLOWED :</td><td>3,360 SQ. 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WATER : CALIFORNIA AMERICAN WATER CO.</div> <div>2. ELECTRICAL AND GAS : PACIFIC GAS & ELECTRIC</div> <div>3. SANITARY SEWER SYSTEM : PEBBLE BEACH COMMUNITY SERVICES DISTRICT</div> <div>GRADING QUANTITIES:</div> <div>CUT/FILL :</div> <div>CUT: 1,500 C.Y./ FILL: 5 C.Y. = NET: 1,495 C.Y. EXPORT</div> <div>TREE REMOVAL:</div> <div>1. NO TREES TO BE REMOVED.</div>			ZONING	MDR/B-6-D-RES	FLOOR AREA RATIO :	35%	MAXIMUM AREA ALLOWED :	3,360 SQ. FT.	FIRST FLOOR:	3,000 S.F.	GARAGE:	408 S.F.	EXISTING FLOOR AREA RATIO :	3,408 S.F.	FIRST FLOOR:	2,072 S.F.	SECOND FLOOR:	717 S.F.	GARAGE:	278 S.F.	BUILDING SITE COVERAGE	2,944 S.F.	DRIVEWAY	412 S.F.	SUNKEN FIRE PIT & SPA	241 S.F.	STAIR/LIGHT WELLS	208 S.F.	SITE WALLS UNDER 6 FT.	202'-6" L.F. 124 S.F.	PAVING - PATHS, PATIOS	1,042 S.F.	ZONING	MDR/B-6-D-RES	BUILDING SITE COVERAGE:	35%	MAXIMUM AREA ALLOWED :	3,360 SQ. FT.	INTERIOR - 1ST FLOOR	2,072 S.F.	GARAGE	278 S.F.	EXTERIOR COVERED PATIOS	644 S.F.	INTERIOR - 1ST FLOOR	2,072 S.F.	GARAGE	278 S.F.	EXTERIOR COVERED PATIOS	644 S.F.	INTERIOR - 2ND FLOOR	717 S.F.	EXTERIOR COVERED PATIO	575 S.F.	INTERIOR HABITABLE - BASEMENT	1,200 S.F.	INTERIOR UTILITY - BASEMENT	657 S.F.	<div>OWNER: MR. & MRS. JOHN AND MAUREEN DEL SANTO 730 BREWER DRIVE HILLSBOROUGH, CA 93953</div> <div>ADDRESS: 1000 RODEO ROAD PEBBLE BEACH, CA 93953</div> <div>ARCHITECT: ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PH: 831-372-0410</div> <div>LAND SURVEYOR: LANDSET ENGINEERS, INC 520-B CRAZY HORSE CANYON ROAD SALINAS, CA 93907 PH: 831-443-6970</div> <div>CIVIL ENGINEER: LANDSET ENGINEERS, INC 520-B CRAZY HORSE CANYON ROAD SALINAS, CA 93907 PH: 831-443-6970</div> <div>PROJECT DESCRIPTION:</div> <div>PROPOSE DEMOLITION OF EXISTING 3,000 S.F. SFD AND ATTACHED 408 S.F. GARAGE. PROPOSE NEW SINGLE FAMILY DWELLING HAVING 4 BEDROOMS, 4 BATHS, AND 1 HALF BATH. A 1-CAR ATTACHED GARAGE WITH CAR LIFT, FULL BASEMENT, COVERED PATIOS, ENCLOSED COURTYARDS, SUNKEN FIREPIT, AND AN IN-GROUND SPA.</div>			<div>ARCHITECTURAL</div> <div>A-0.1 TITLE SHEET</div> <div>1 of 1 TOPOGRAPHIC SURVEY</div> <div>A-1.1 PROPOSED SITE PLAN</div> <div>A-1.2 CONSTRUCTION MANAGEMENT PLAN</div> <div>A-1.3 SITE DETAILS</div> <div>A-2.0 PROPOSED BASEMENT FLOOR PLAN</div> <div>A-2.1 PROPOSED FIRST FLOOR PLAN</div> <div>A-2.2 PROPOSED SECOND FLOOR PLAN</div> <div>A-2.3 PROPOSED ROOF PLAN</div> <div>A-3.1 PROPOSED EXTERIOR ELEVATIONS</div> <div>A-3.2 PROPOSED EXTERIOR ELEVATIONS</div> <div>A-3.3 PROPOSED EXTERIOR ELEVATIONS</div> <div>A-3.4 PROPOSED EXTERIOR ELEVATIONS</div> <div>A-7.1 COLOR RENDERING</div> <div>A-7.2 MATERIAL COLOR SAMPLES</div> <div>A-8.0 DETAILS</div> <div>CIVIL</div> <div>C1 COVER SHEET</div> <div>C2 TOPOGRAPHIC MAP/EXISTING CONDITIONS</div> <div>C3 GRADING, DRAINAGE & UTILITY PLAN</div> <div>C4 GRADING SECTIONS & CONSTRUCTION DETAILS</div> <div>C5 EROSION & SEDIMENT CONTROL PLAN</div>		
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FLOOR AREA RATIO :	35%																																																																																	
MAXIMUM AREA ALLOWED :	3,360 SQ. FT.																																																																																	
FIRST FLOOR:	3,000 S.F.																																																																																	
GARAGE:	408 S.F.																																																																																	
EXISTING FLOOR AREA RATIO :	3,408 S.F.																																																																																	
FIRST FLOOR:	2,072 S.F.																																																																																	
SECOND FLOOR:	717 S.F.																																																																																	
GARAGE:	278 S.F.																																																																																	
BUILDING SITE COVERAGE	2,944 S.F.																																																																																	
DRIVEWAY	412 S.F.																																																																																	
SUNKEN FIRE PIT & SPA	241 S.F.																																																																																	
STAIR/LIGHT WELLS	208 S.F.																																																																																	
SITE WALLS UNDER 6 FT.	202'-6" L.F. 124 S.F.																																																																																	
PAVING - PATHS, PATIOS	1,042 S.F.																																																																																	
ZONING	MDR/B-6-D-RES																																																																																	
BUILDING SITE COVERAGE:	35%																																																																																	
MAXIMUM AREA ALLOWED :	3,360 SQ. FT.																																																																																	
INTERIOR - 1ST FLOOR	2,072 S.F.																																																																																	
GARAGE	278 S.F.																																																																																	
EXTERIOR COVERED PATIOS	644 S.F.																																																																																	
INTERIOR - 1ST FLOOR	2,072 S.F.																																																																																	
GARAGE	278 S.F.																																																																																	
EXTERIOR COVERED PATIOS	644 S.F.																																																																																	
INTERIOR - 2ND FLOOR	717 S.F.																																																																																	
EXTERIOR COVERED PATIO	575 S.F.																																																																																	
INTERIOR HABITABLE - BASEMENT	1,200 S.F.																																																																																	
INTERIOR UTILITY - BASEMENT	657 S.F.																																																																																	
			LOCATION MAP			VICINITY MAP																																																																												



GENERAL NOTES:

- 1) ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS A MAG NAIL LOCATED AT THE EDGE OF PAVEMENT AT THE NORTHEAST CORNER OF THE INTERSECTION OF RODEO ROAD & OCEAN ROAD. CONTROL POINT #160, ELEVATION=67.00', AS SHOWN.
- 2) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- 3) TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN. TREE CANOPIES ARE NOT SHOWN OR LOCATED.
- 4) THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (12/11/17) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- 5) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.
- 6) BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.

LEGEND:

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- MAJOR CONTOUR LINE (5' INTERVAL)
- MINOR CONTOUR LINE (1' INTERVAL)
- FENCE (TYPE AS MARKED)
- ASPHALT CONCRETE SURFACE
- PORTLAND CEMENT CONCRETE SURFACE
- BRICK SURFACE
- DECOMPOSED GRANITE SURFACE
- WOOD SURFACE
- SPOT ELEVATION
- FLOWLINE
- SURVEY H&V CONTROL POINT
- TREE (TYPE AND SIZE AS MARKED)
CENTER OF SYMBOL IS APPROX.
CENTER OF TREE
- SANITARY SEWER MANHOLE/CLEANOUT
- DSO
- FF, FFGAR
- RL

CONTACT INFORMATION:

PRIMARY: OWNER
MR. & MRS. JOHN & MAUREN DEL SANTO
730 BREWER DRIVE
HILLSBOROUGH, CA 93953

SITE LOCATION:
1000 RODEO ROAD
PEBBLE BEACH, CA

A.P.N.: 007-312-001

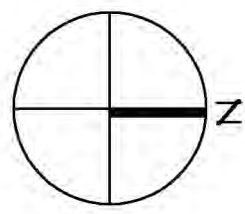
TOPOGRAPHIC MAP
OF
THE CERTAIN PARCEL DESCRIBED IN GRANT
DEED DOCUMENT #2015036043
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. JOHN & MAUREN DEL SANTO

SCALE: 1"=8'
DATE: DECEMBER 2017
JOB NO. 1746-01

SHEET 1			
OF 1 SHEETS			
No.	DATE	BY	REVISION
	12/18/17	FR	RELEASED TO CLIENT

LANDSET
ENGINEERS, INC.
520-B Cray Horse Canyon Road
Salinas, California 93807
Office (831) 443-6970 Fax (831) 443-3801
www.landseteng.com

APPROVED BY:
GUY R. GIRAUDO
P.L.S. No. 8703
Professional Land Surveyor - State of California
Exp. 12-31-17



SCALE: 1/8" = 1'-0"

SHEET OF



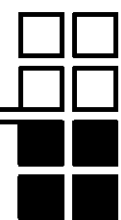
CONSTRUCTION NOTES:

1. CONSTRUCTION VEHICLES SHALL NOT PARK ON OCEAN ROAD OR RODEO ROAD. OFF SITE PARKING SHALL BE PROVIDED FOR CONSTRUCTION WORKERS.
2. LIMITED PARKING SHALL BE AVAILABLE ON THE SITE FOR TEMPORARY ACCESSIBILITY TO THE SITE.
3. NO CONSTRUCTION SHALL OCCUR DURING MAJOR EVENTS SPECIFIED BY PEBBLE BEACH SUCH AS THE ATT AND CONCOURSE IN ADDITION TO THE STANDARD PEBBLE BEACH REQUIREMENTS FOR CONSTRUCTION DAYS AND HOURS.
4. GENERAL CONTRACTOR SHALL WORK WITH NEIGHBORS ON A DAILY BASIS, OR AS REQUIRED.

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com



CONSULTANT:

REVISION

No.

CONSTRUCTION MANAGEMENT PLAN

JOB NAME:

Delsanto Residence
1000 Rodeo Road
Pebble Beach, CA
A.P.N. 007-312-001

DATE:

10/18/18

SCALE:

1/8" = 1'-0"

DRAWN:

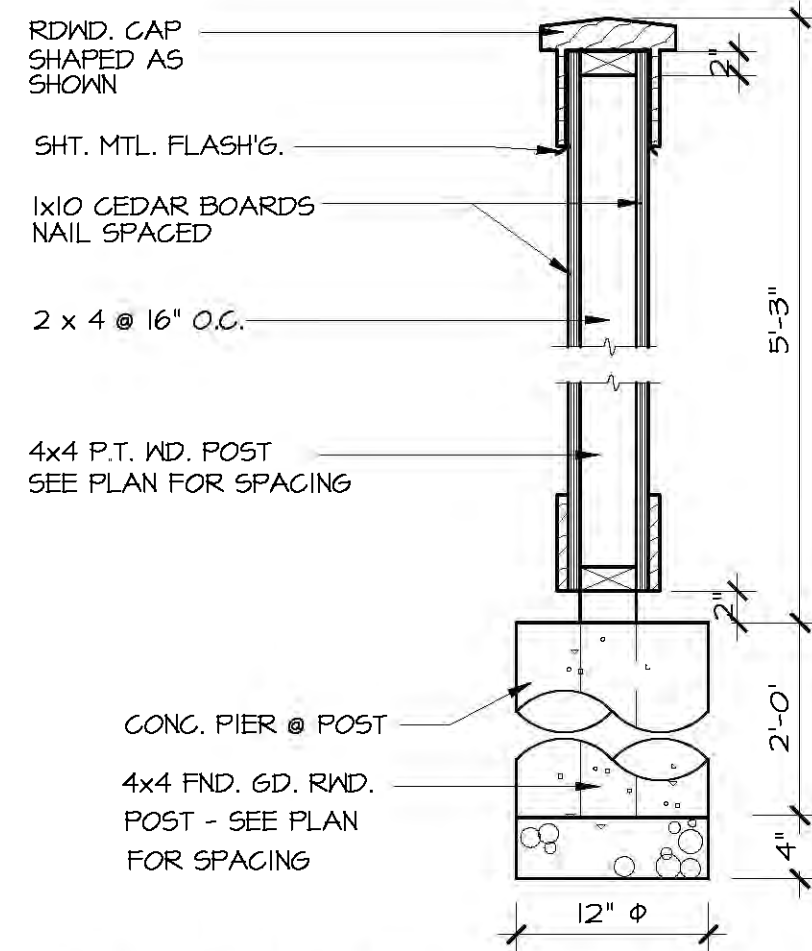
SSH

JOB NUMBER:

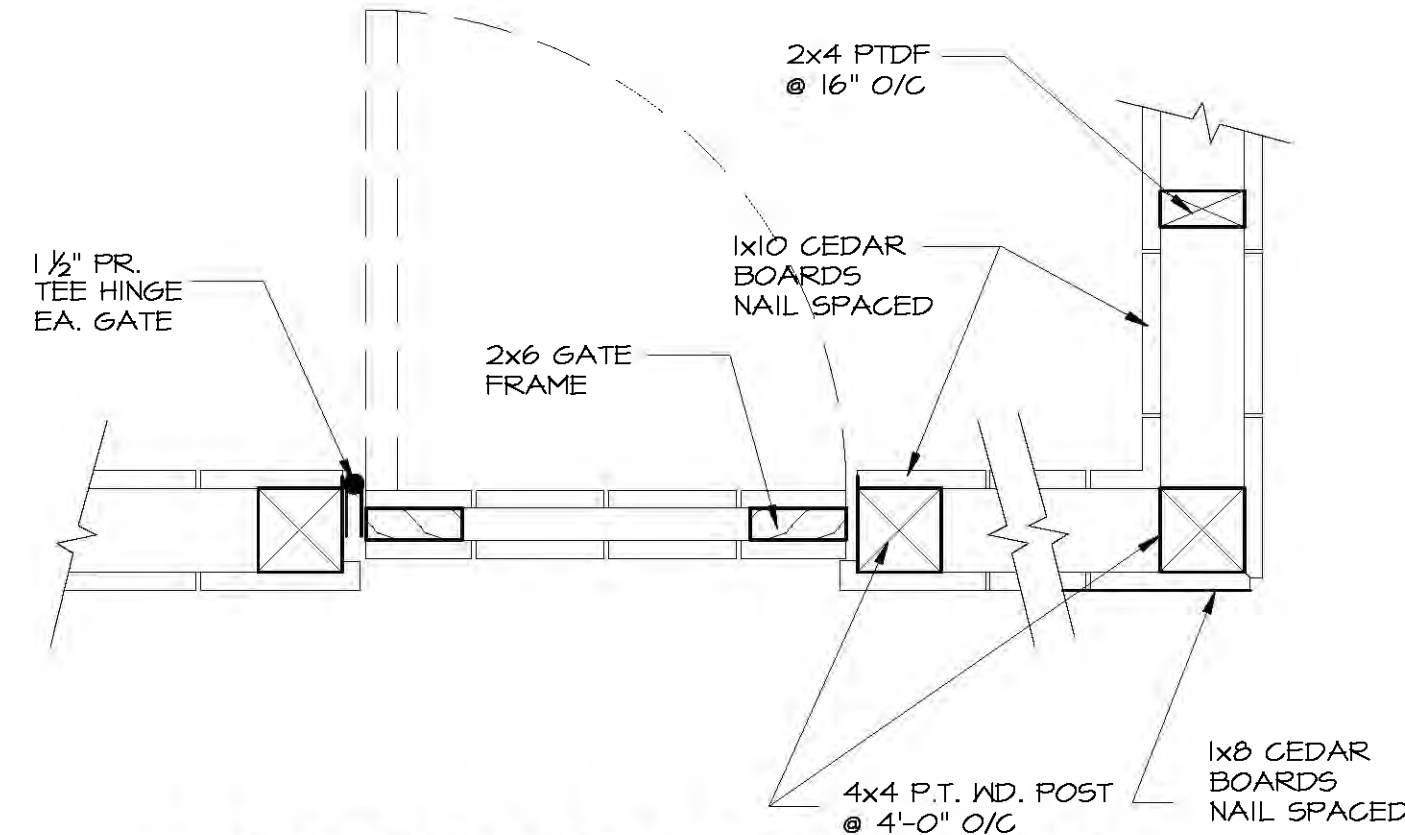
1811

A-1.2

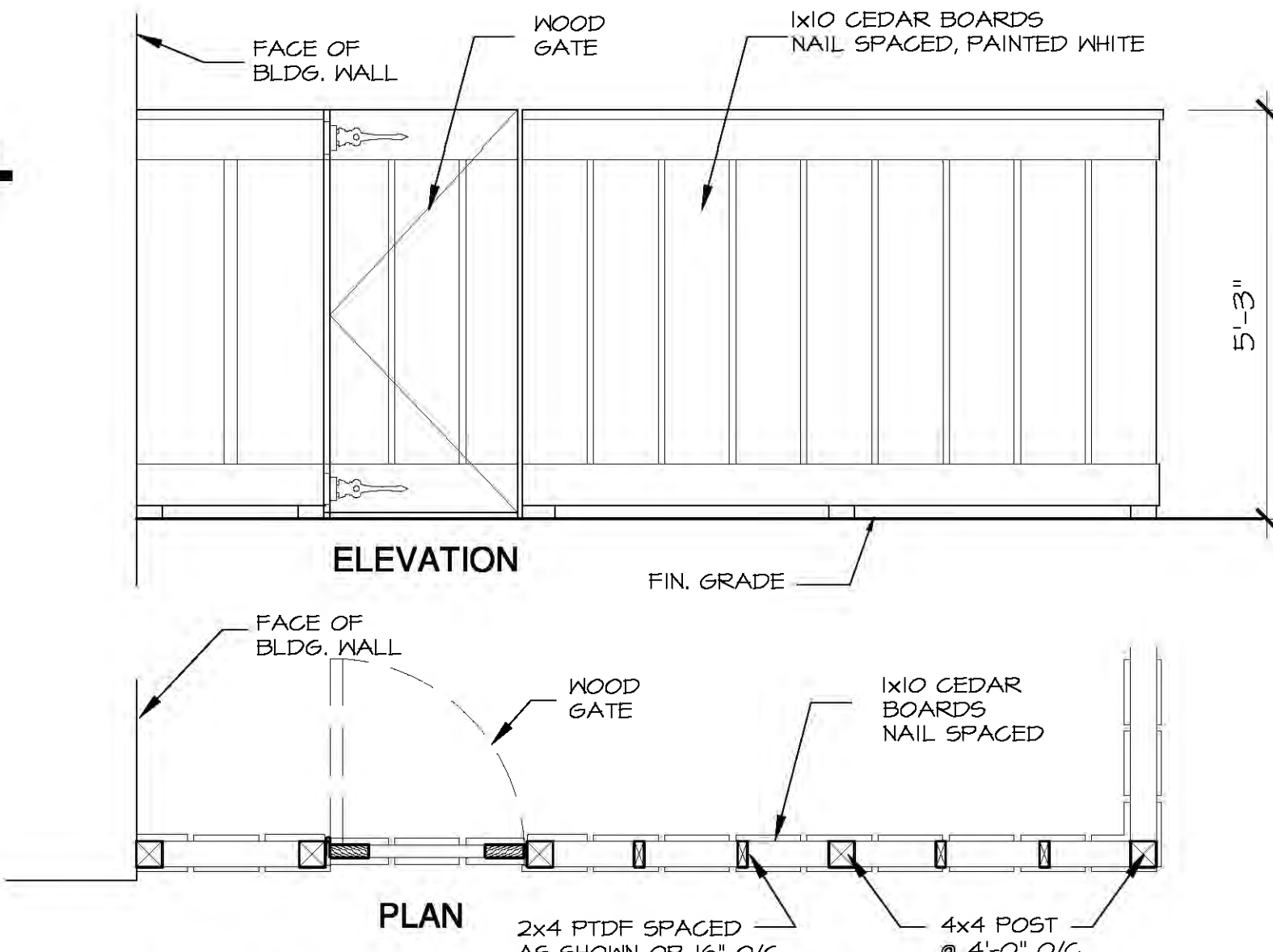
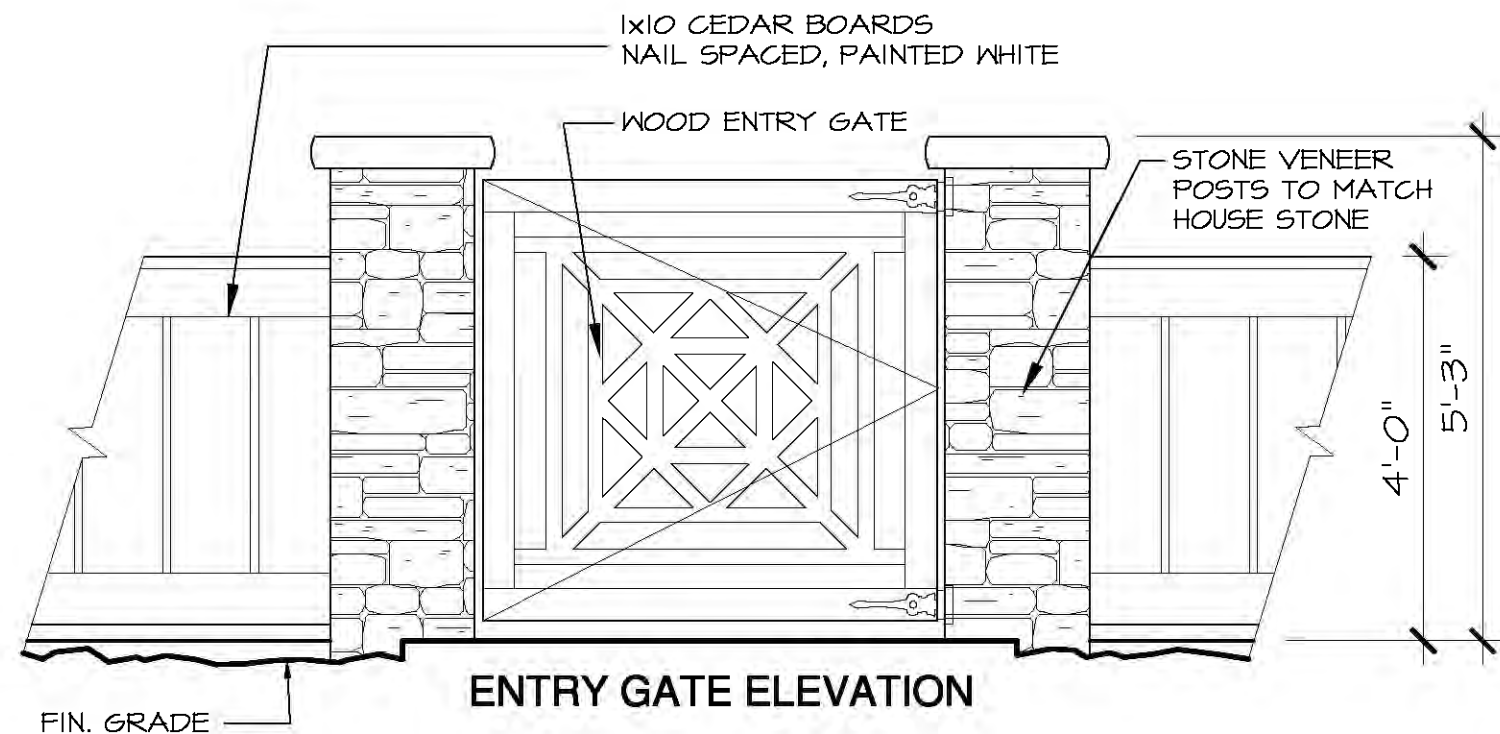
SHEET OF



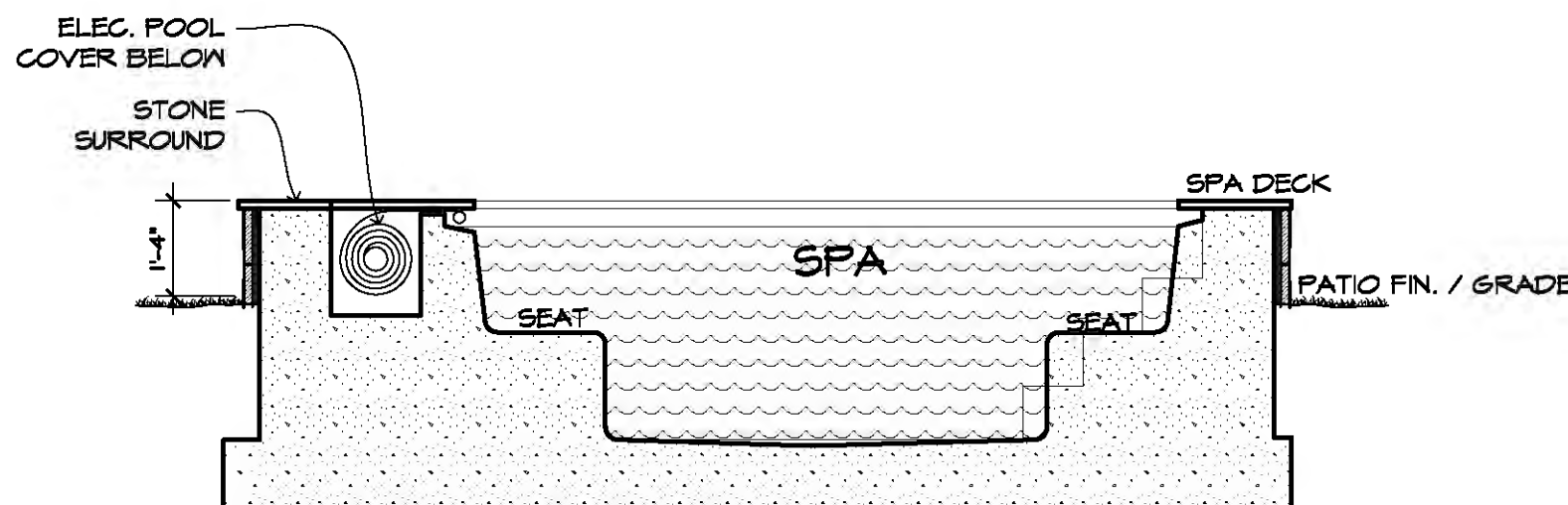
8 **TYP. FENCE SECTION/DETAIL**
SCALE: 1" = 1'-0"



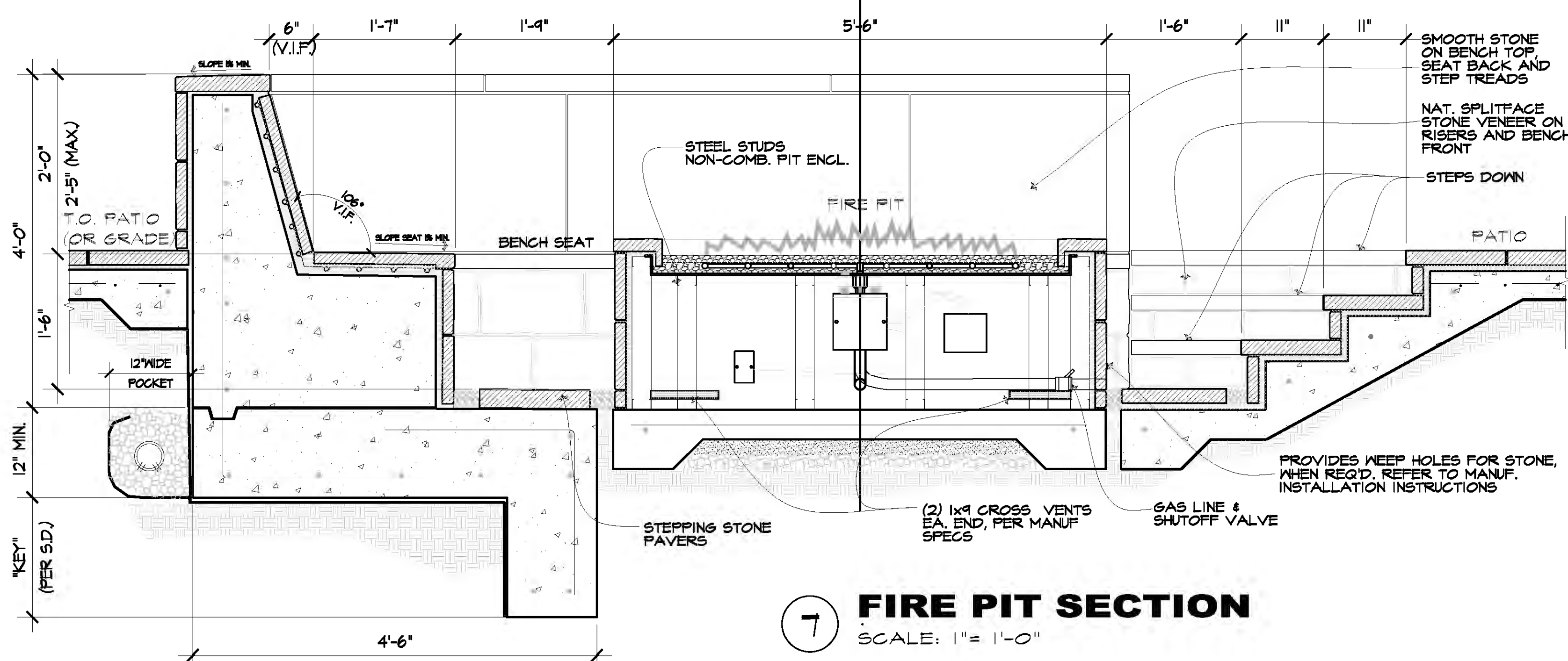
9 **FENCE PLAN DETAIL**
SCALE: 1" = 1'-0"



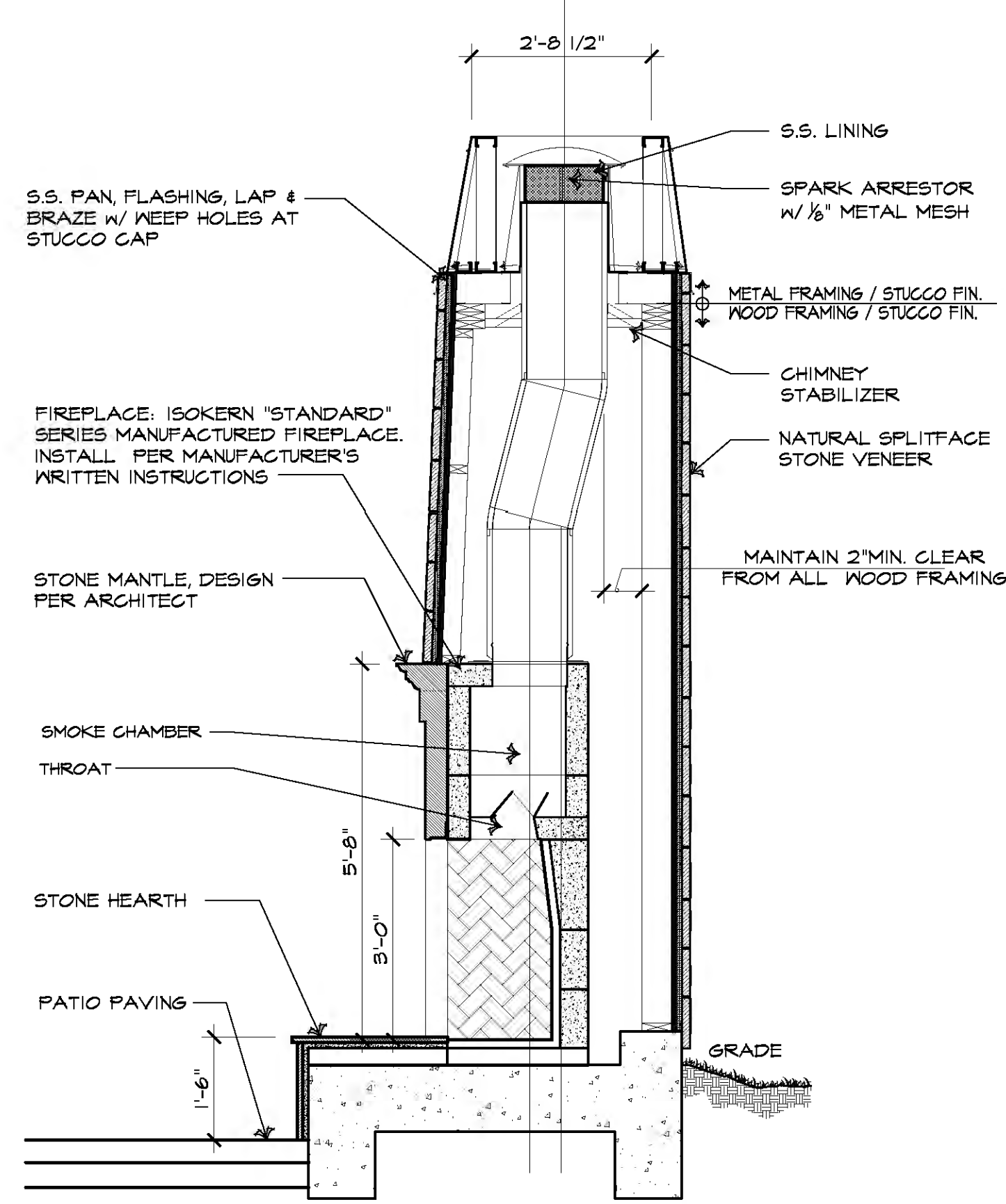
5 **FENCE PLAN & ELEV.**
SCALE: 1/2" = 1'-0"



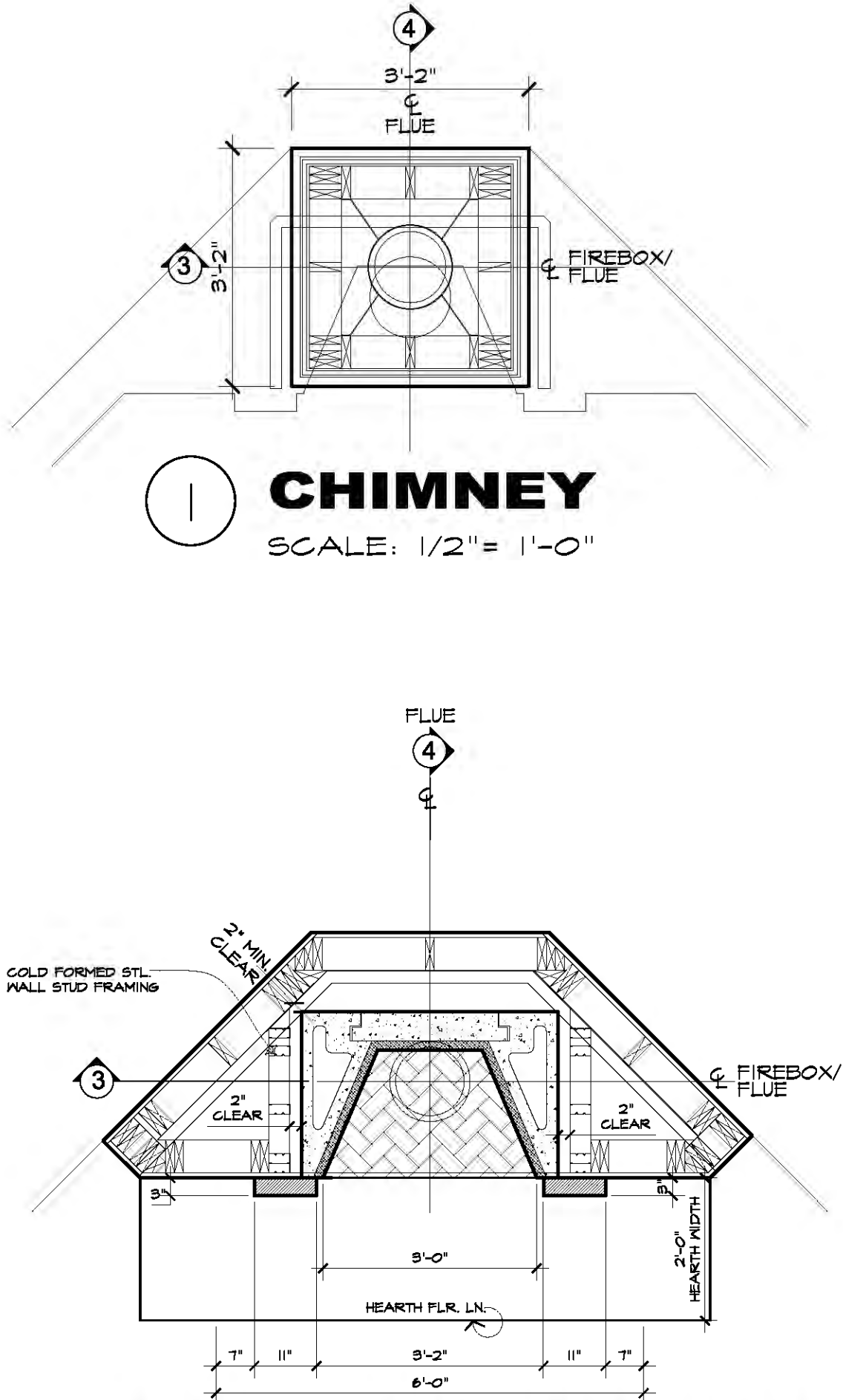
6 **SPA SECTION**
SCALE: 3/8" = 1'-0"



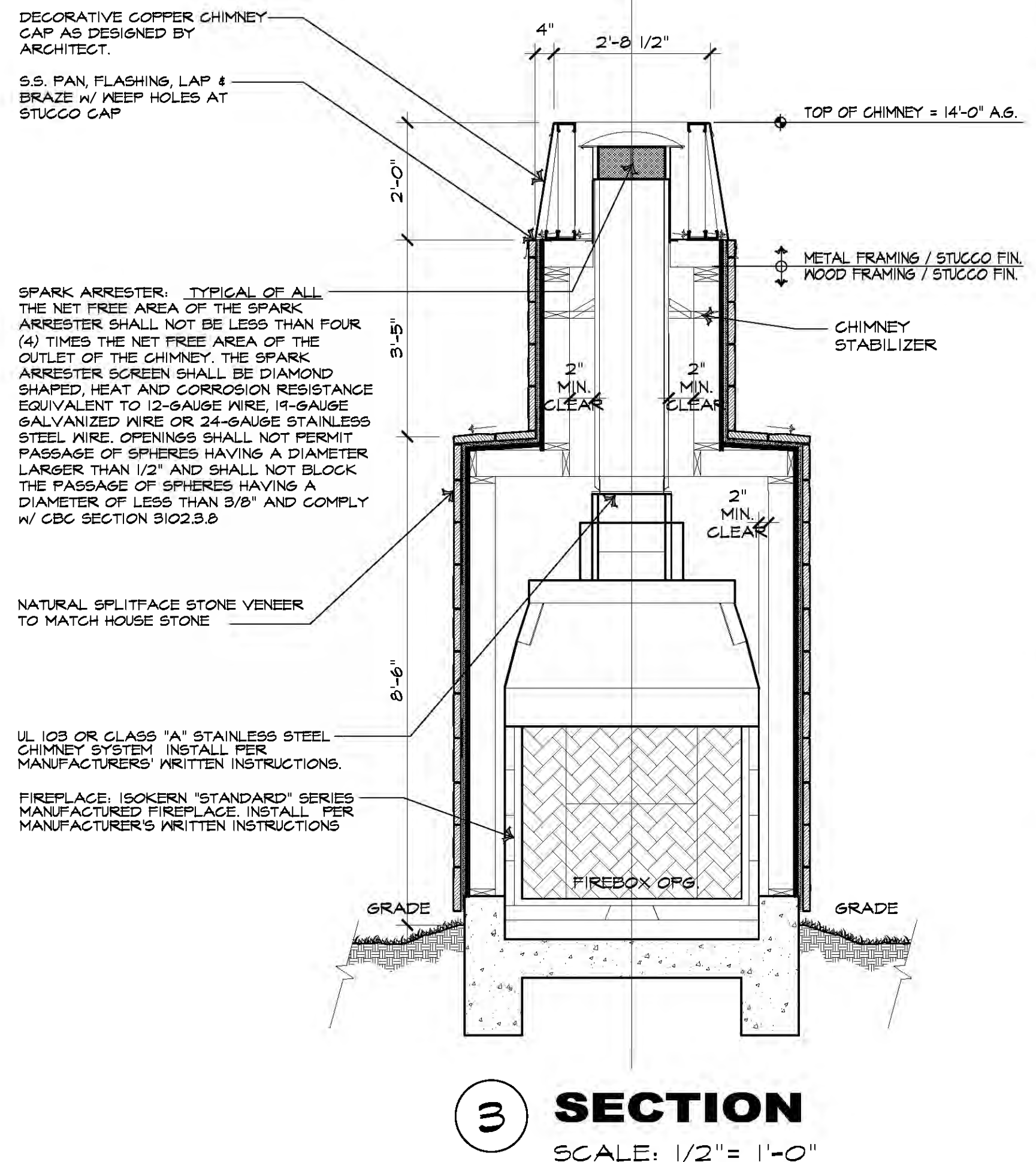
7 **FIRE PIT SECTION**
SCALE: 1" = 1'-0"



4 **SECTION**
SCALE: 1/2" = 1'-0"



2 **FRONT COURT FIREPLACE**
SCALE: 1/2" = 1'-0"



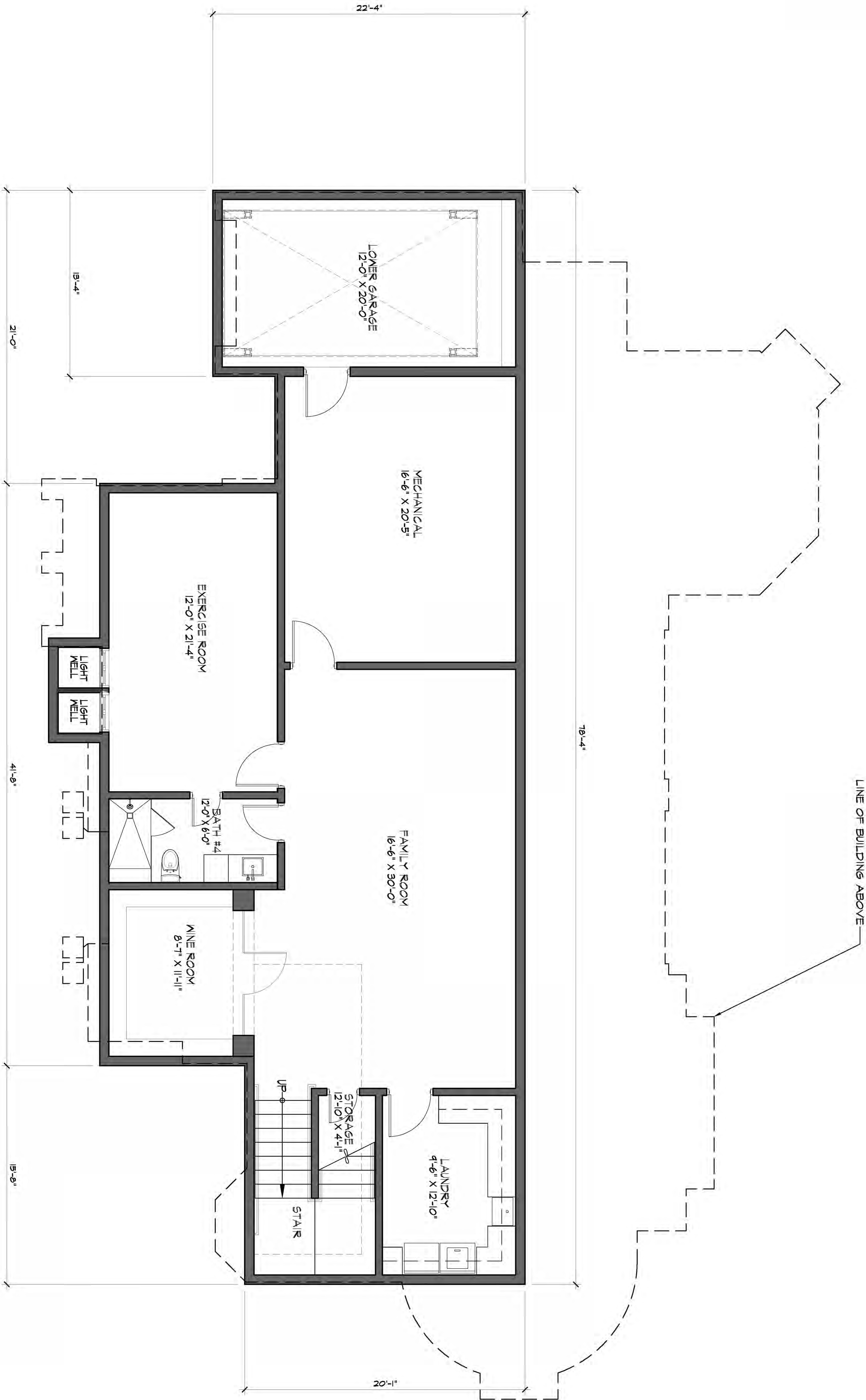
3 **SECTION**
SCALE: 1/2" = 1'-0"

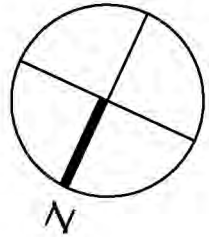
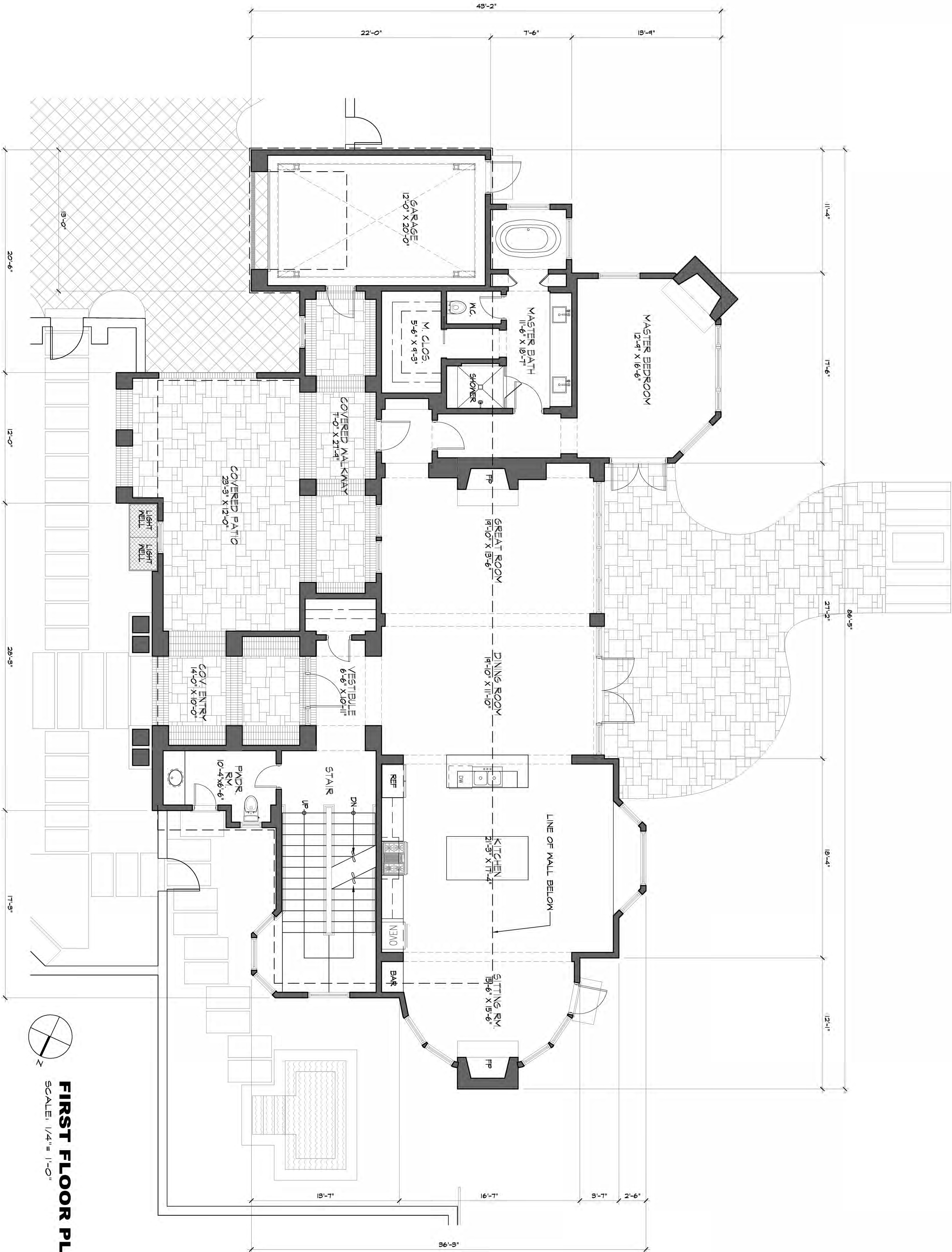
REVISION		No.

CONSULTANT:	
ARCHITECT	
ERIC MILLER ARCHITECTS, INC.	
211 HOFFMAN AVENUE MONTEREY, CA 93940	
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com	

SITE DETAILS	
JOB NAME:	DeSanto Residence
DATE:	10/26/18
SCALE:	AS NOTED
DRAWN:	SSH
JOB NUMBER:	18.11

A-1.3	
SHEET OF	





FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

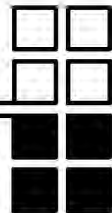
FIRST FLOOR PLAN

JOB NAME:
DeSanto Residence
1000 Rodeo Road
Pebble Beach, CA
A.P.N. 007-312-001

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com



CONSULTANT:

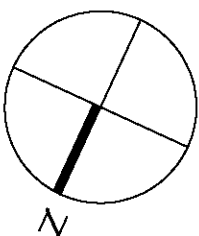
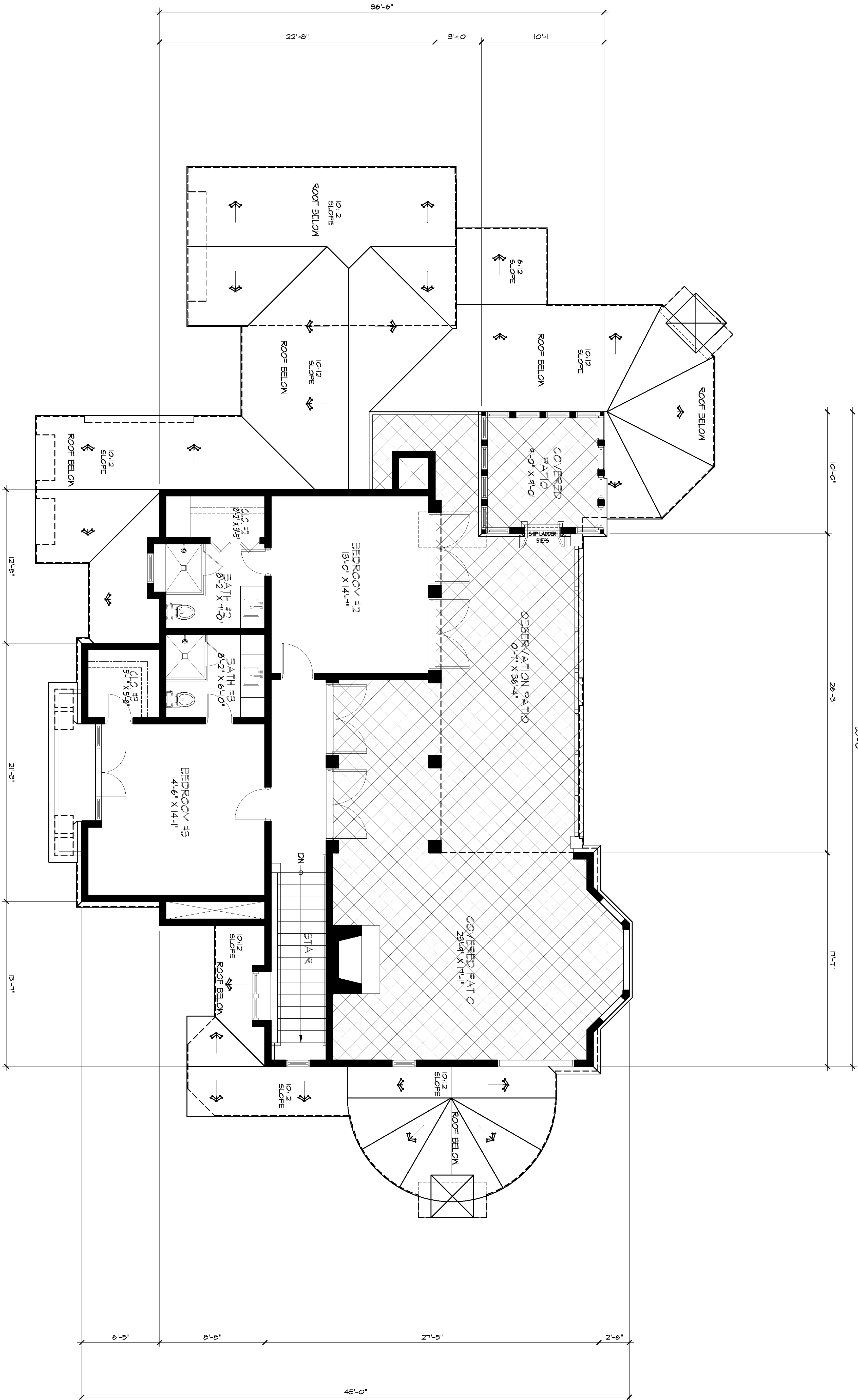
REVISION

No.

A-2.1

SHEET OF

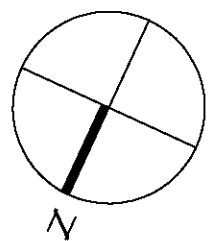
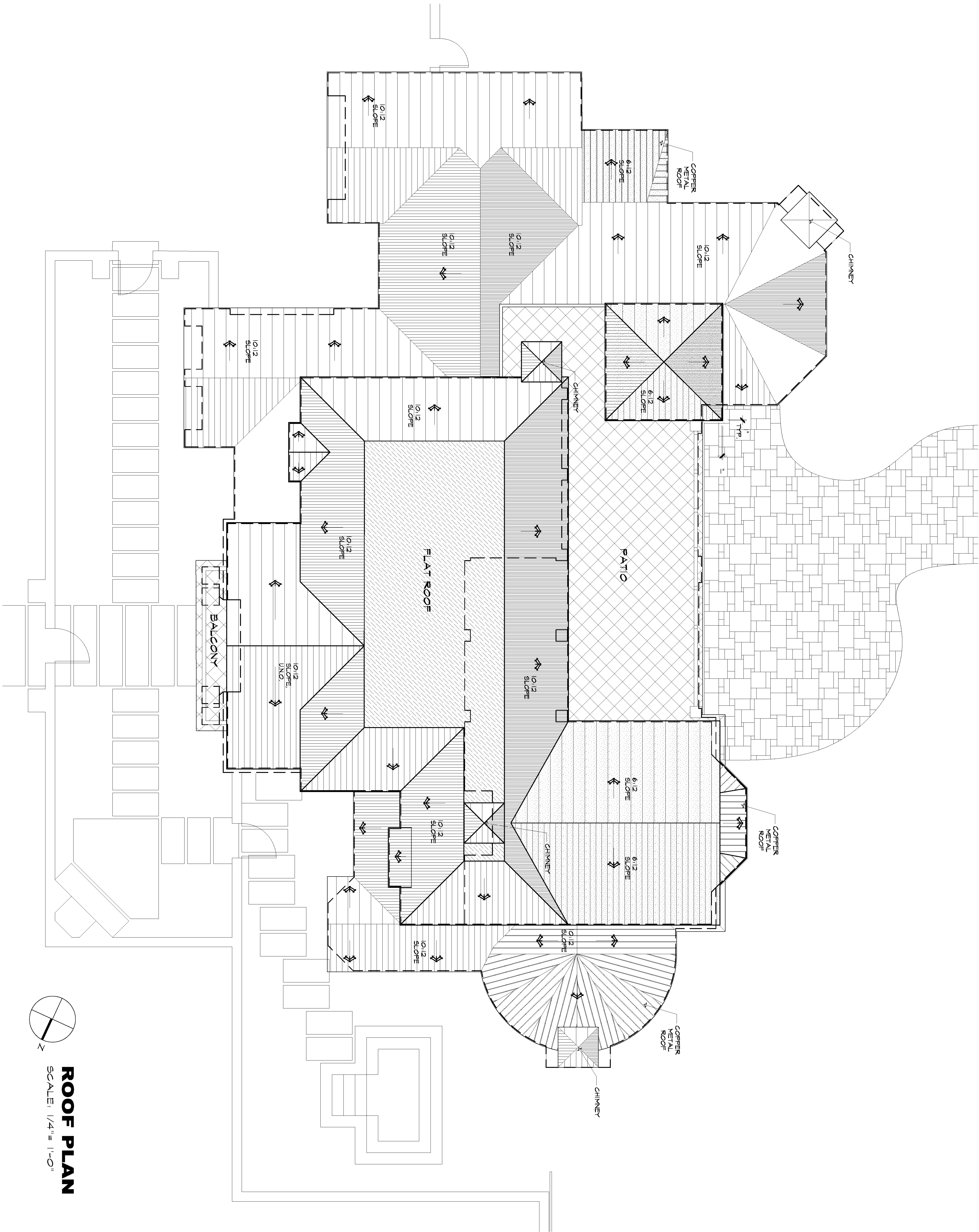
DATE: 10/18/18
SCALE: 1/4"=1'-0"
DRAWN: SSH
JOB NUMBER: 18.11



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

A-2.2 SHEET OF	DATE: 10/18/18		ARCHITECT		CONSULTANT:		REVISION	No.
	SCALE: 1/4"=1'-0"		ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com					
	DRAWN: SSH							
	JOB NUMBER: 18.11							
	JOB NAME: DelSanto Residence 1000 Rodeo Road Pebble Beach, CA A.P.N. 007-312-001							



ROOF PLAN

SCALE: 1/4" = 1'-0"

ROOF PLAN

JOB NAME:
DeSanto Residence
1000 Rodeo Road
Pebble Beach, CA
A.P.N. 007-312-001

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

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CONSULTANT:

REVISION

No.

A-2.3

SHEET OF



FRONT ELEVATION

SCALE: 1/4"= 1'-0"

REVISION	No.

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

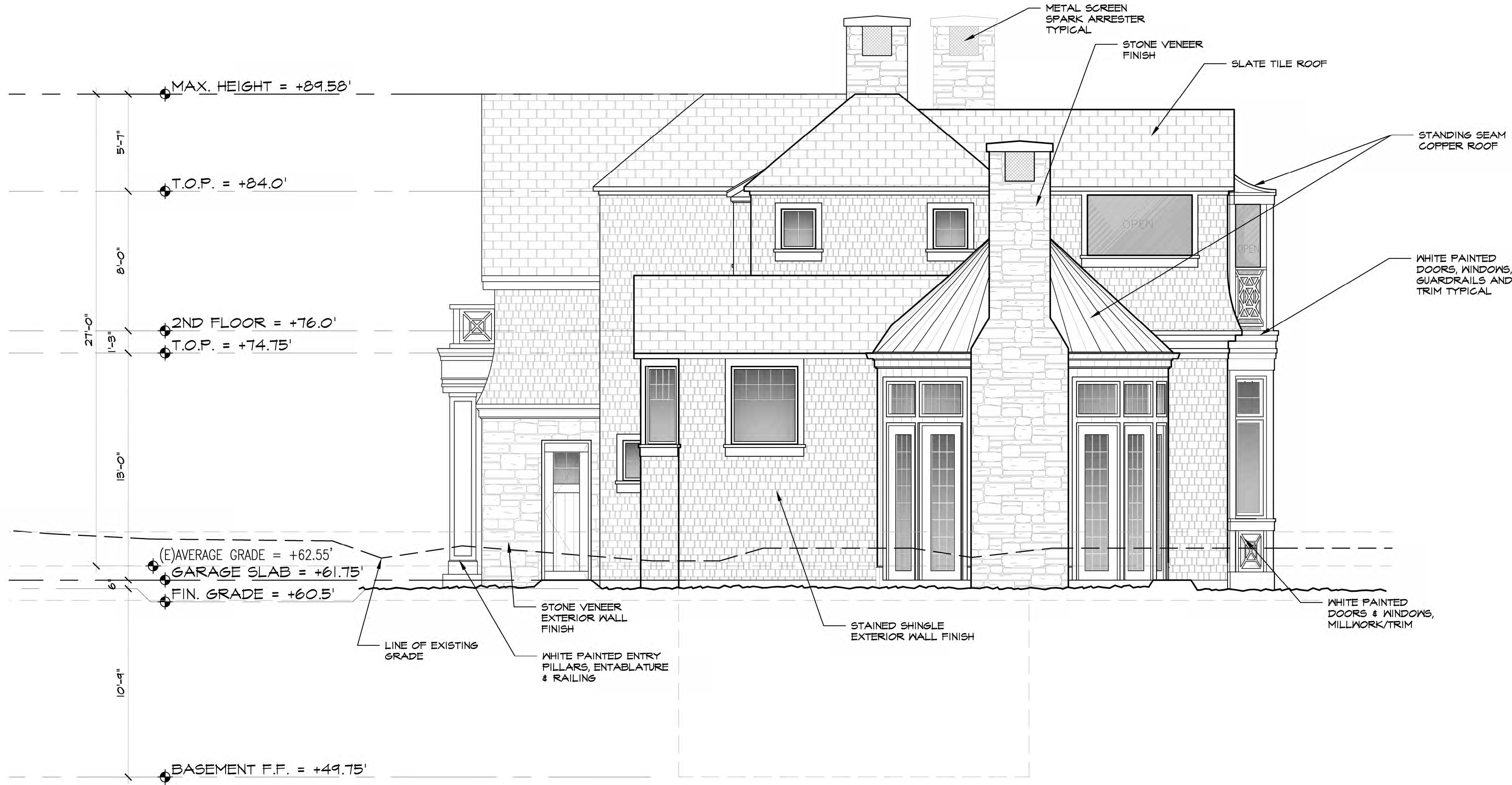
211 HOFFMAN AVENUE
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

MONTEREY, CA 93940

PROPOSED EXTERIOR ELEVATION

DATE:	10/18/18
SCALE:	1/4"=1'-0"
DRAWN:	SSH
JOB NUMBER:	18.11

A-3.1
SHEET OF



NORTH ELEVATION
SCALE: 1/4"= 1'-0"

REVISION	No.

CONSULTANT:

ARCHITECT

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MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

PROPOSED EXTERIOR ELEVATION

JOB NAME:

Delsanto Residence
1000 Kadeo Road
Pebble Beach, CA
A.P.N. 007-312-001

DATE:

10/18/18

SCALE:

1/4"=1'-0"

DRAWN:

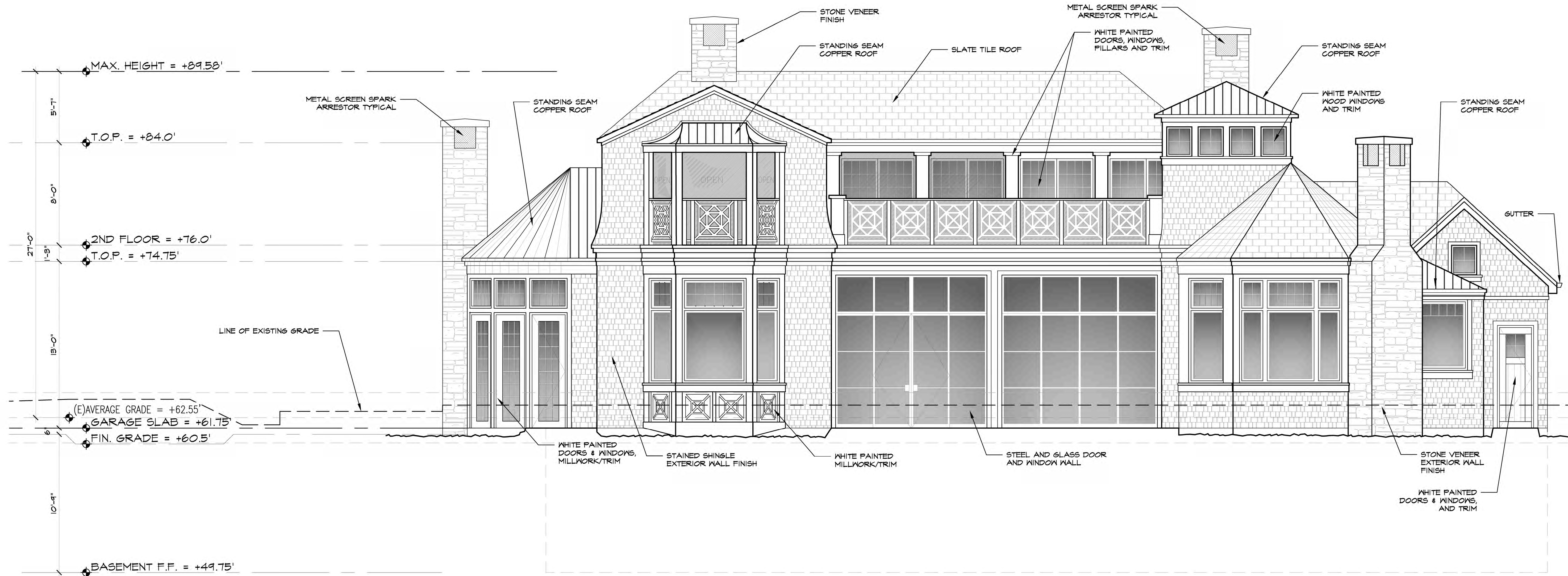
SSH

JOB NUMBER:

18.11

A-3.2

SHEET OF



WEST ELEVATION
SCALE: 1/4" = 1'-0"

REVISION	No.

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

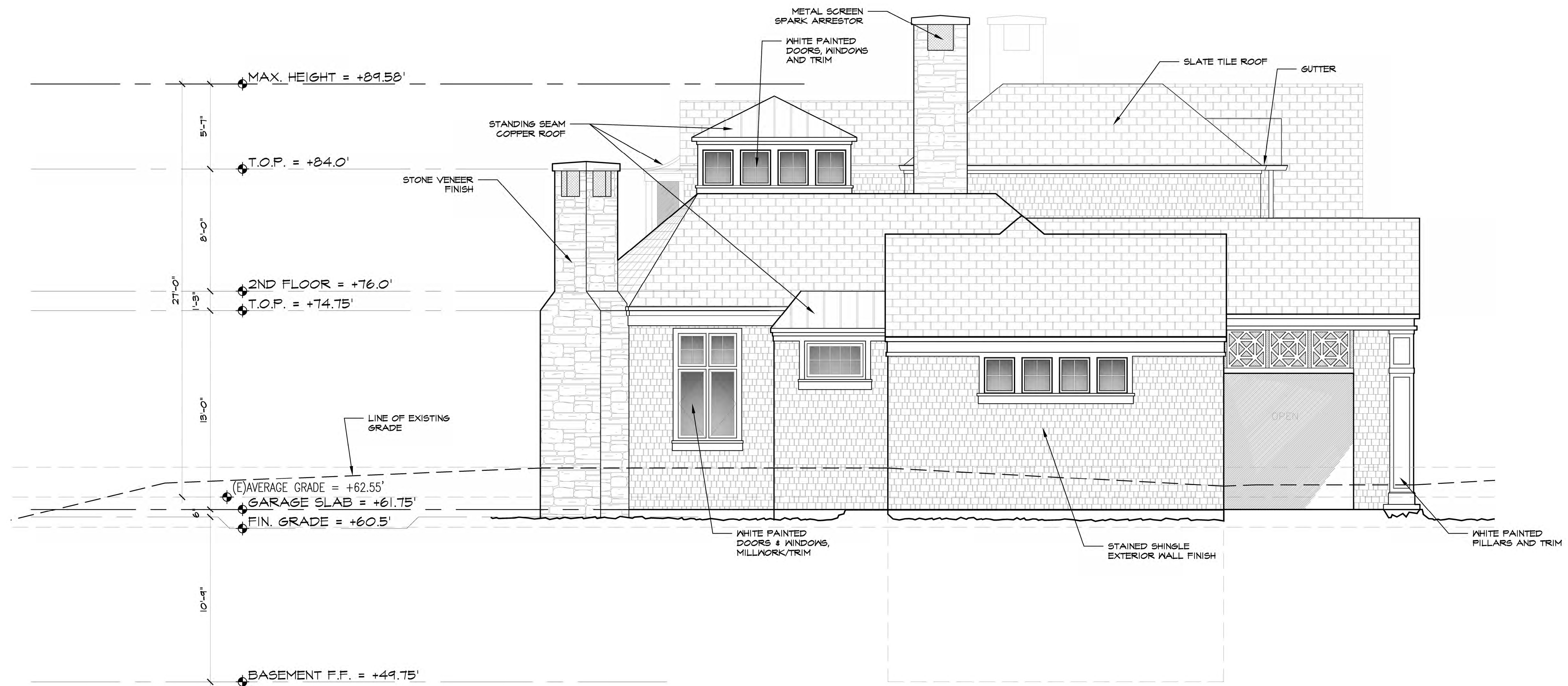
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

PROPOSED EXTERIOR ELEVATION

JOB NAME: **Delsanto Residence**
1000 Rodeo Road
Pebble Beach, CA
A.P.N. 007-312-001

DATE:	10/18/18
SCALE:	1/4"=1'-0"
DRAWN:	SSH
JOB NUMBER:	18.11

A-3.3
SHEET OF



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

REVISION	No.

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: www.ericmillerarchitects.com

PROPOSED EXTERIOR ELEVATION

DOB NAME: DeSanto Residence

1000 Rodeo Road
Pebble Beach, CA

A.P.N. 007-3|2-00|

DATE: 10/18/18

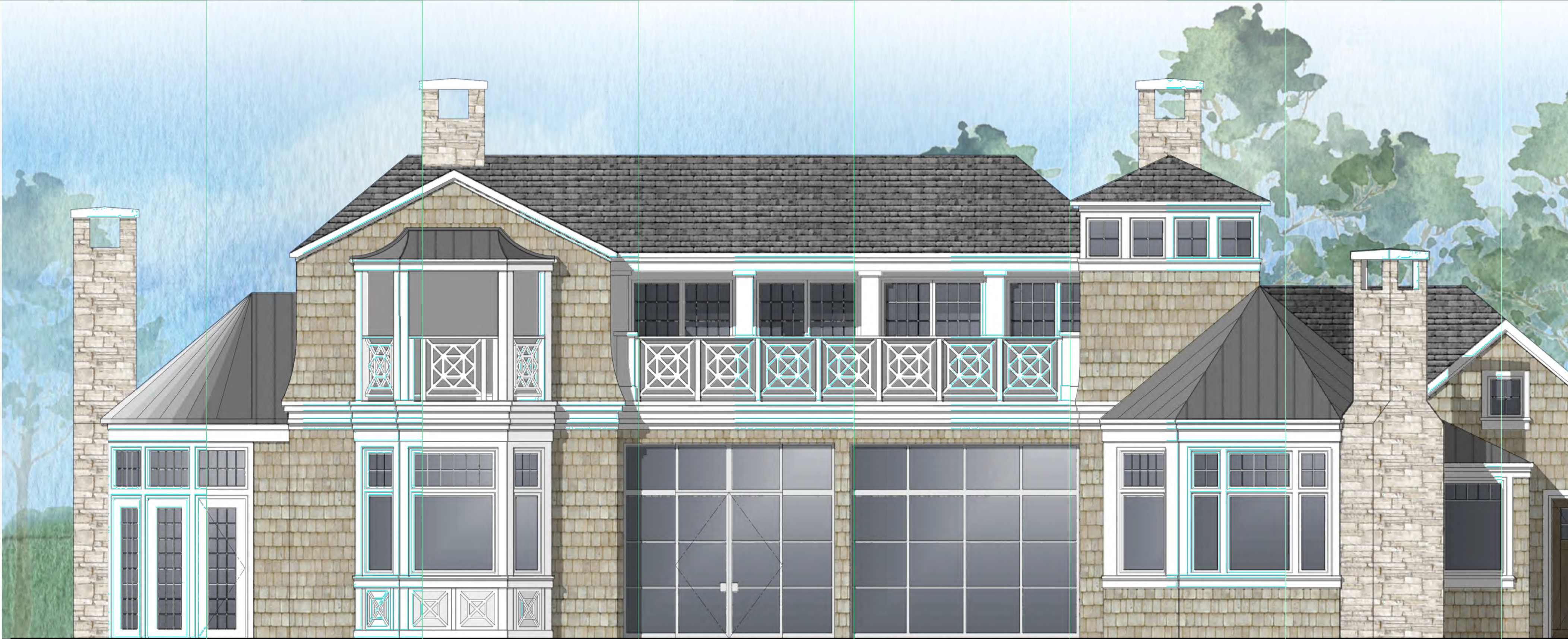
SCALE: 1/4"=1'-0"

DRAWN: SSH

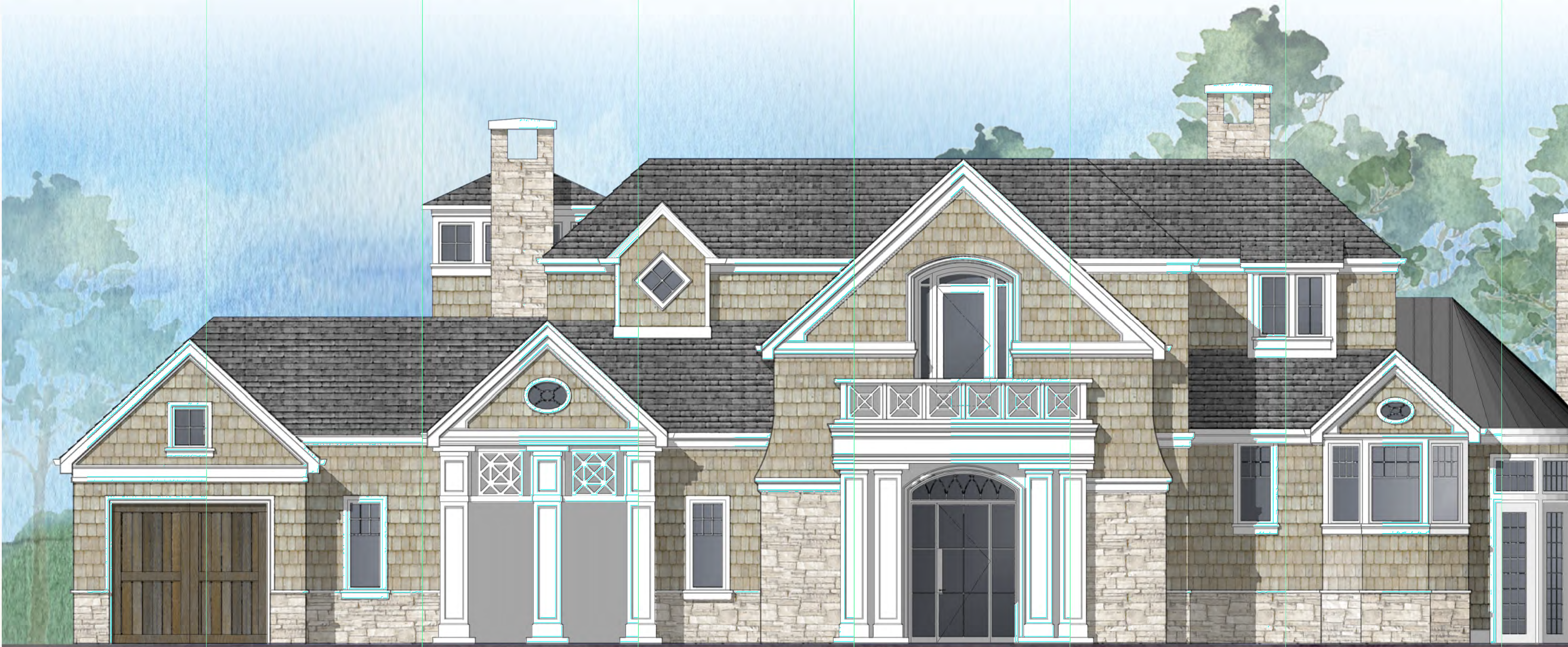
OB NUMBER: 18.11

A-3.4

SHEET OF



NORTH ELEVATION
SCALE: 1/4"= 1'-0"



SOUTH ELEVATION
SCALE: 1/4"= 1'-0"

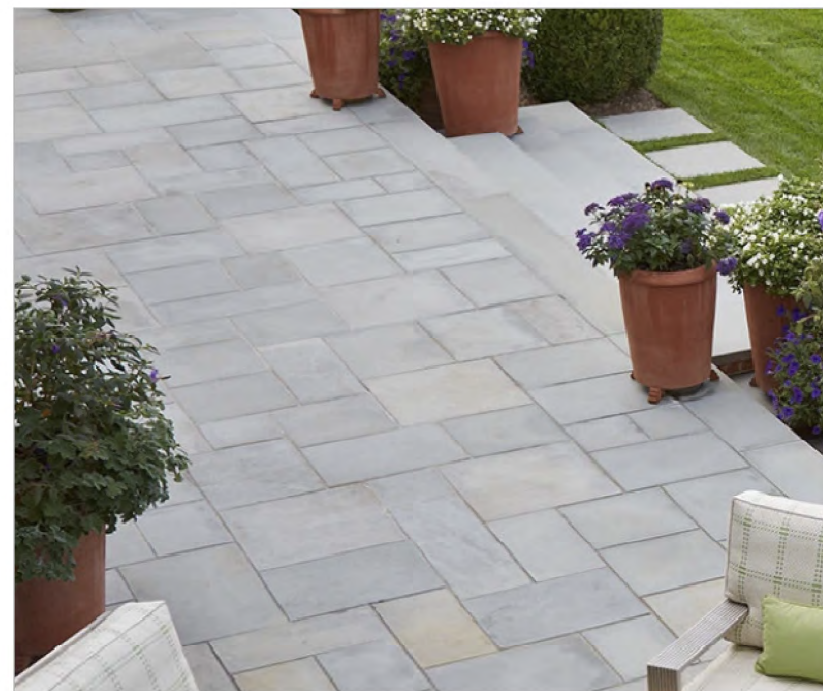
THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY FOR THE PURPOSES OF THE DESIGN AND CONSTRUCTION OF THE PROJECT. ANY OTHER USE, REPRODUCTION OR MODIFICATION OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF ERIC MILLER ARCHITECTS, INC. IS PROHIBITED. ERIC MILLER ARCHITECTS, INC. ASSUMES NO LIABILITY FOR ANY DAMAGE, IN WHOLE OR IN PART, TO ANY PERSON OR ENTITY, ARISING FROM THE USE OF THESE DRAWINGS OR SPECIFICATIONS. CONSULT WITH YOUR ARCHITECT FOR ANY QUESTIONS OR CONCERNS. THESE DRAWINGS AND SPECIFICATIONS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECT'S GENERAL NOTES AND CONDITIONS OF CONTRACT. CONSULT WITH YOUR ARCHITECT FOR ANY QUESTIONS OR CONCERNS.



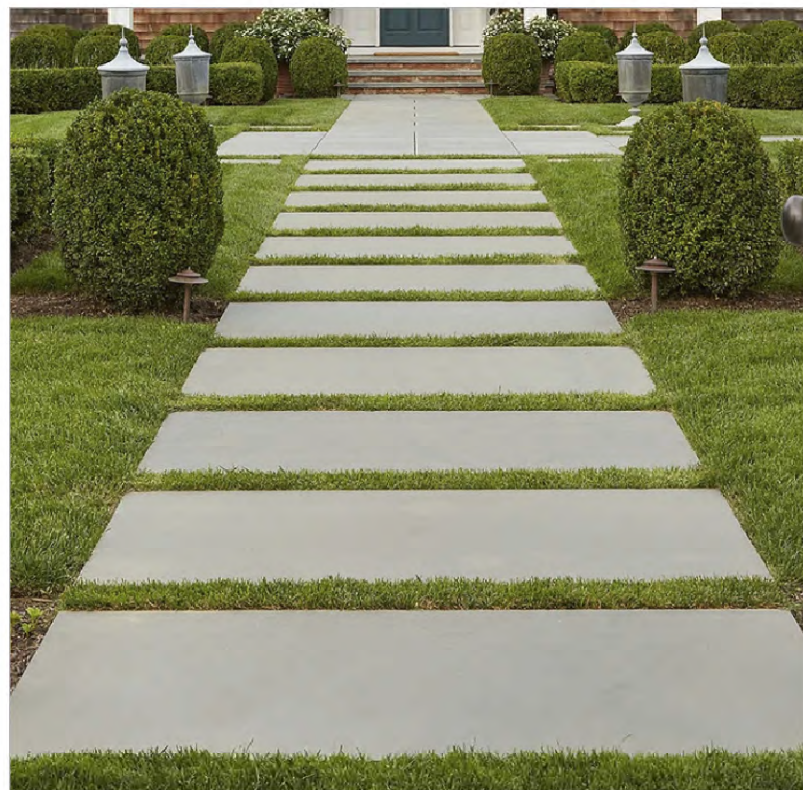
12 **CHIMNEY CAP**
WITH METAL SPARK
ARRESTOR



13 **COLUMN STYLE**



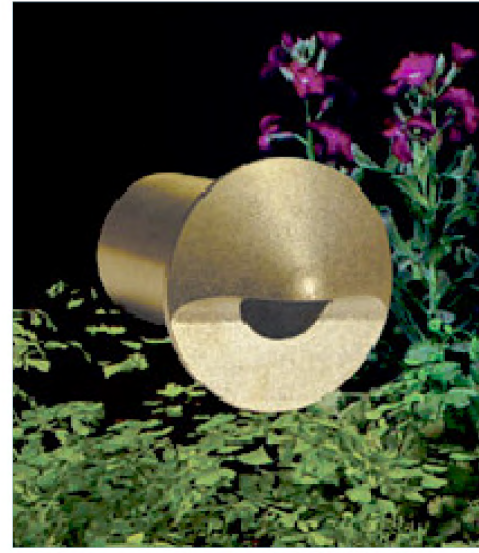
14 **PATIO PAVING**



15 **FRONT WALK PAVING**



PATH LIGHT - 25W
COPPER FINISH



SIDE WALL LIGHT - 25W
COPPER FINISH

8 **LANDSCAPE LIGHTING**



TRENCH GRATE



9 **DRAIN COVER**
URBAN ACCESSORIES-OT
DRAINAGE GRATES



10 **WOOD GATE**



11 **STEEL WINDOW WALL**



5 **WOOD WINDOWS
& DOORS**



6 **WOOD - BROWN STAIN
GARAGE DOOR**



LAMP - LED-25 WATT EQUIVALENT
FINISH - BLACK MATT
GLAZING - HEAVY SEEDY

7 **EXTERIOR WALL SCENCE**



SLATE TILE



COPPER STANDING SEAM

1 **ROOFING**



WHITE POWDER COAT

2 **GUTTER &
DOWNSPOUT**



SHINGLE SIDING

3 **EXTERIOR COLORS**



4 **STONE VENEER**

FOR REFERENCE ONLY

REVISION	No.

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

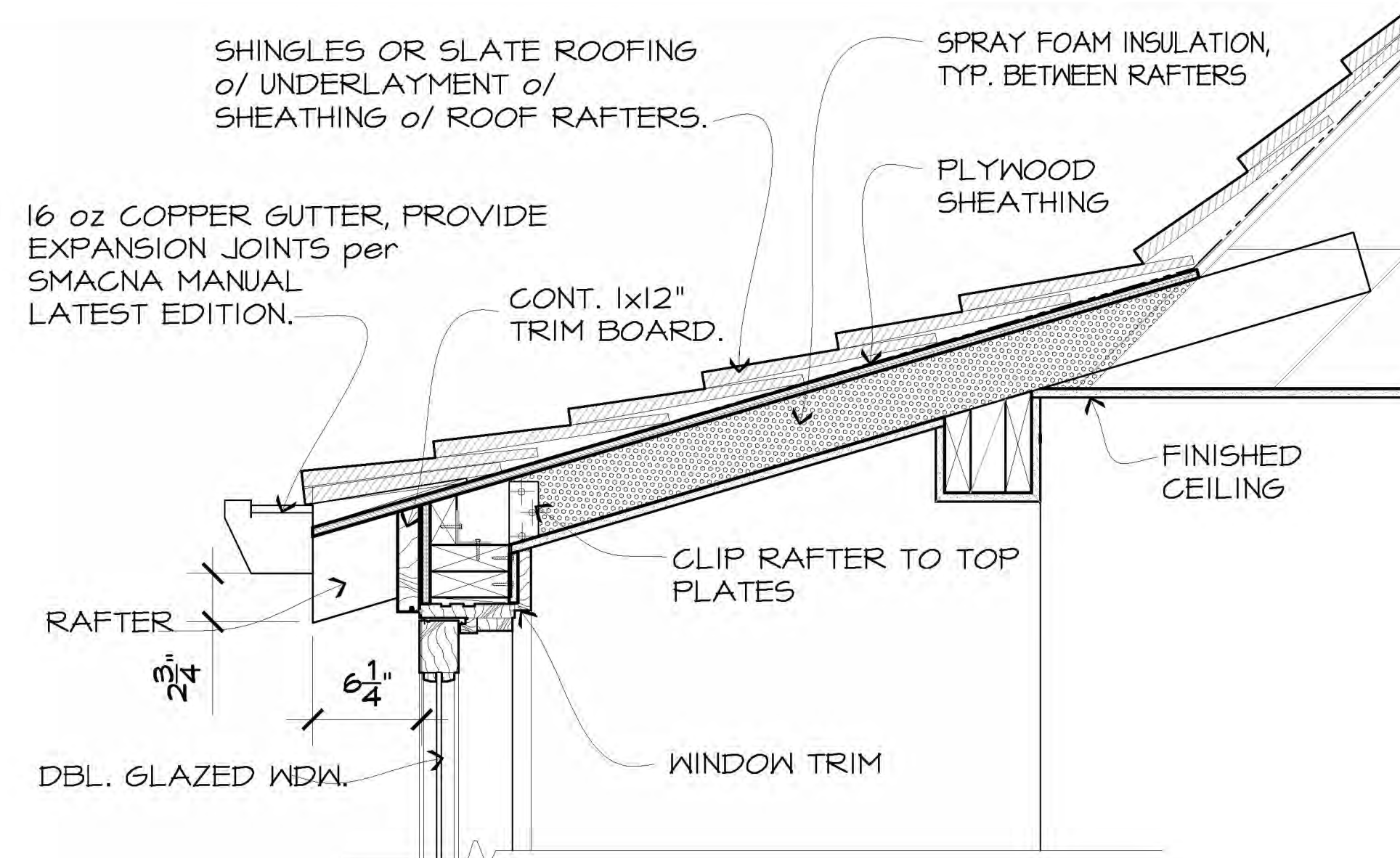
MONTEREY, CA 93940

MATERIAL SAMPLES

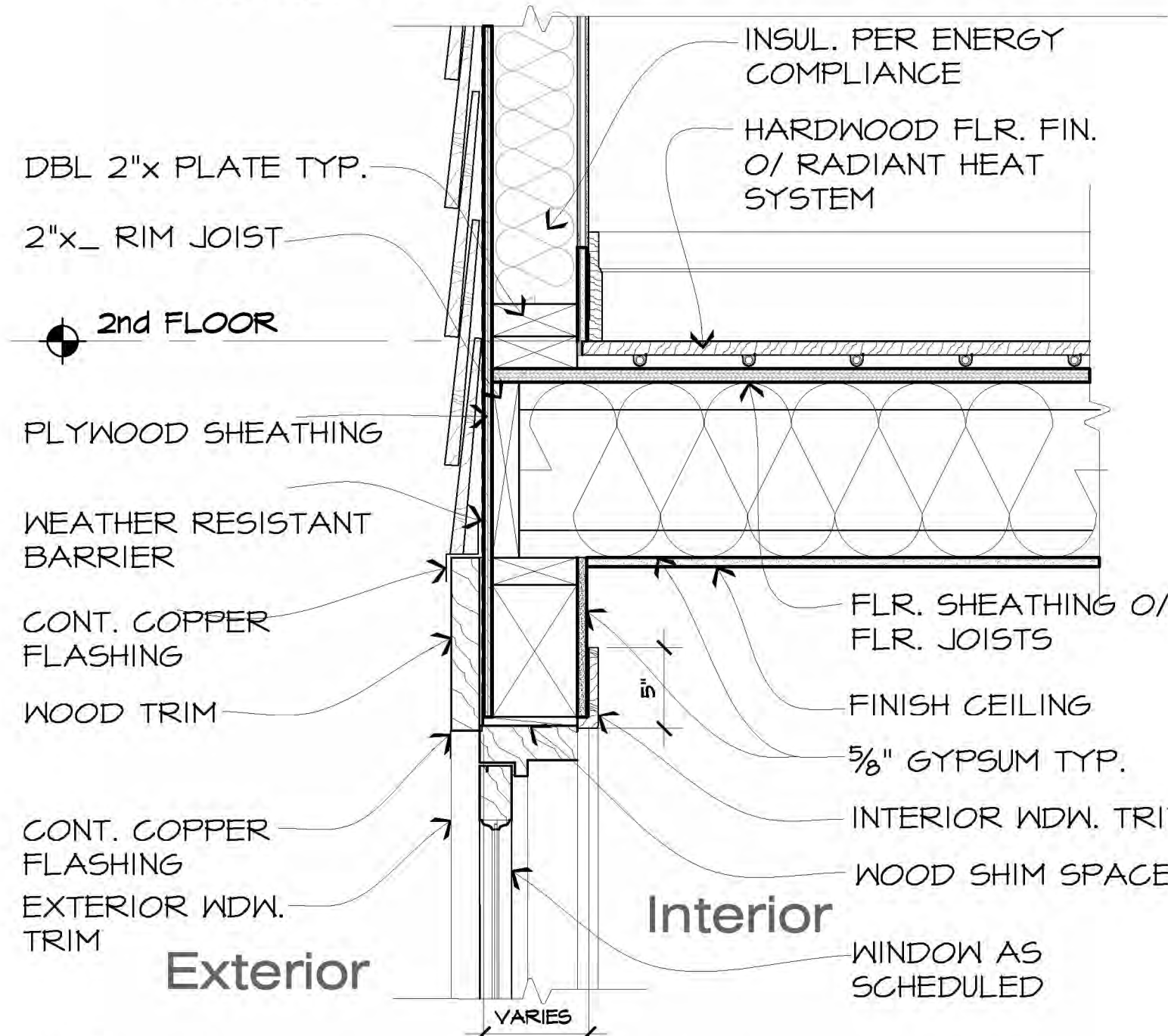
JOB NAME: **DeSanto Residence**
1000 Rodeo Road
Pebble Beach, CA
A.P.N. 007-312-001

DATE:	10/18/18
SCALE:	N.T.S.
DRAWN:	SSH
JOB NUMBER:	18.11

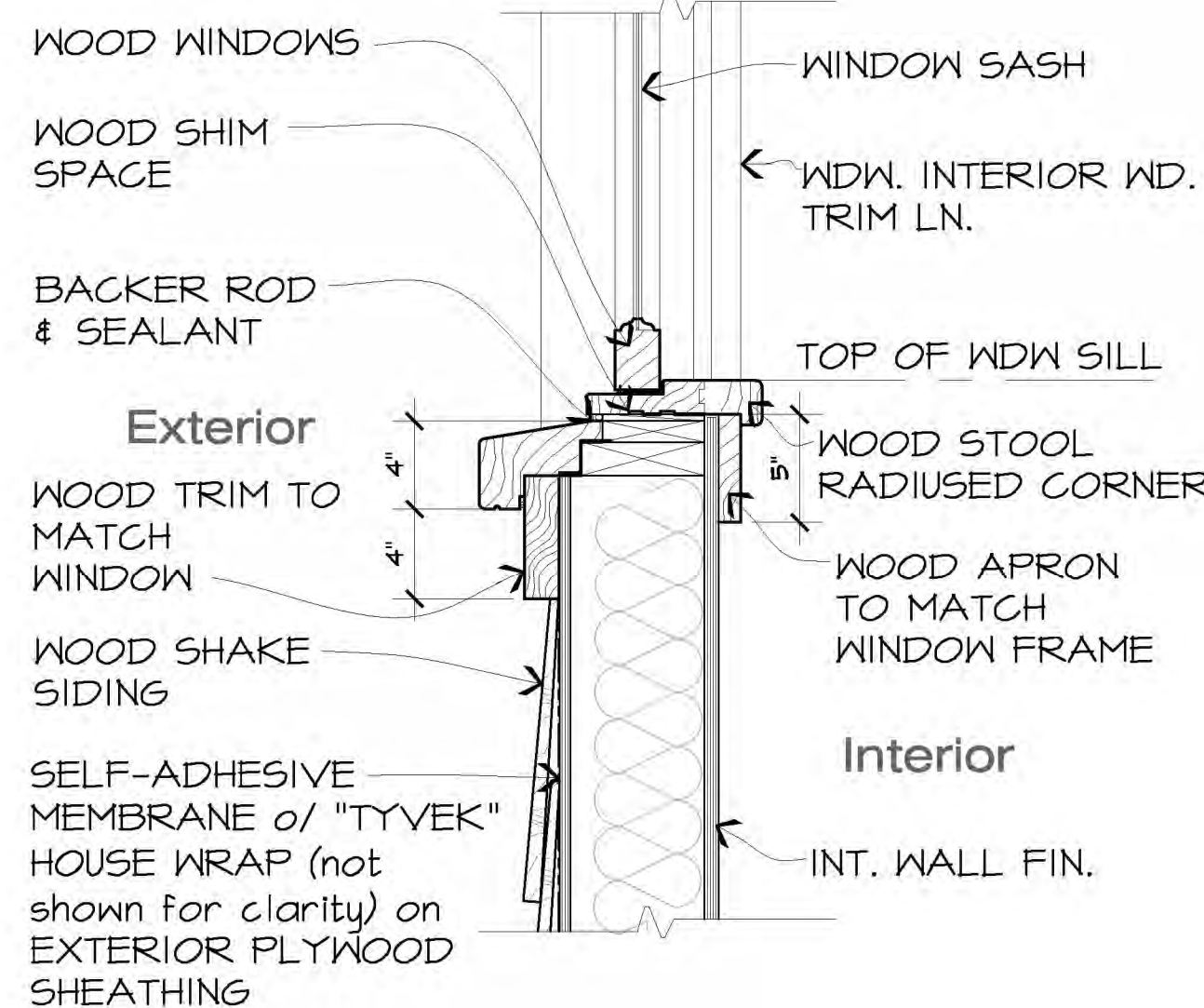
A-7.2
SHEET OF



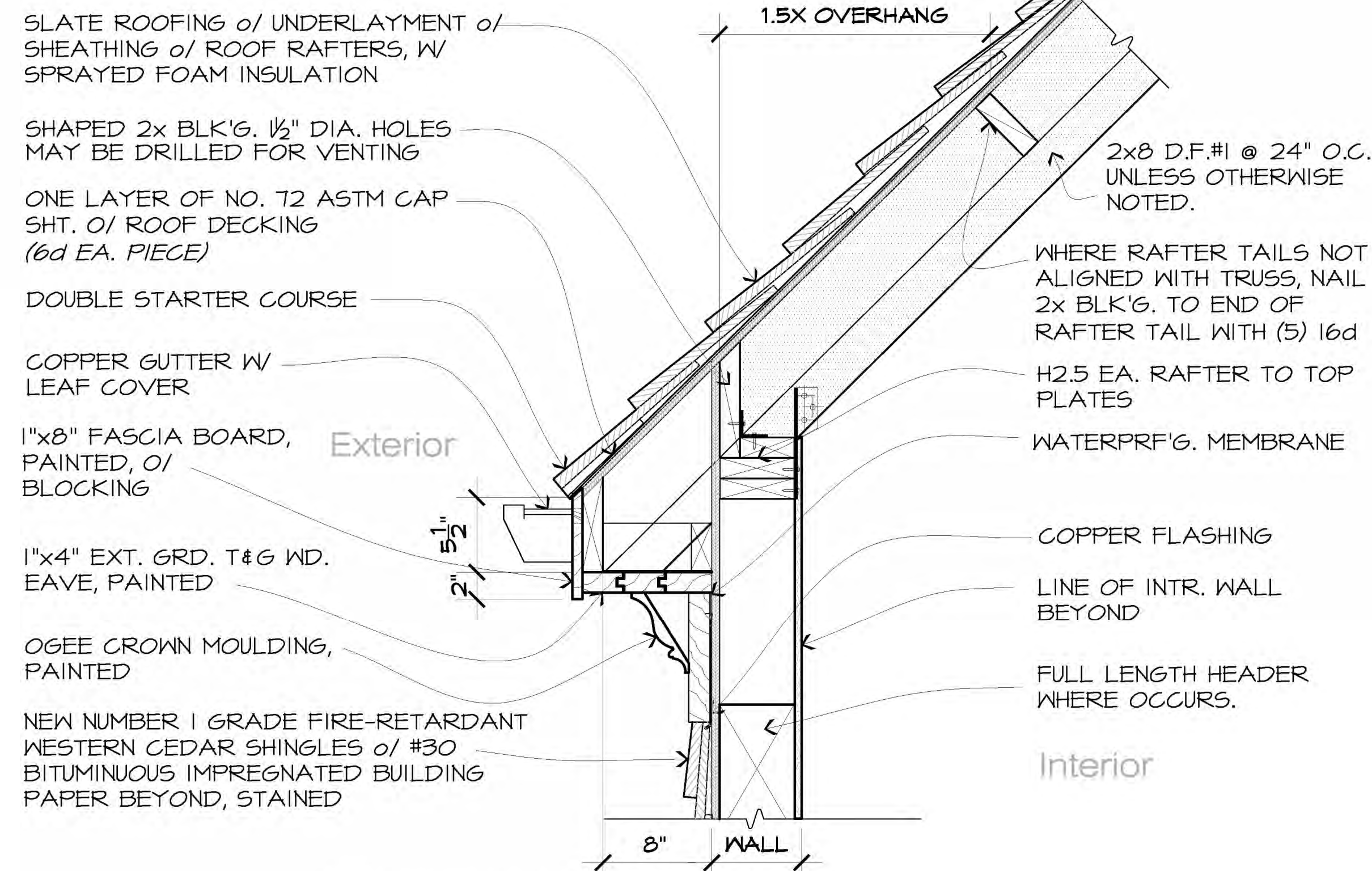
4 PROJECTED EAVE W/SHALLOW SLOPE
SCALE: 1 1/2" = 1'-0"



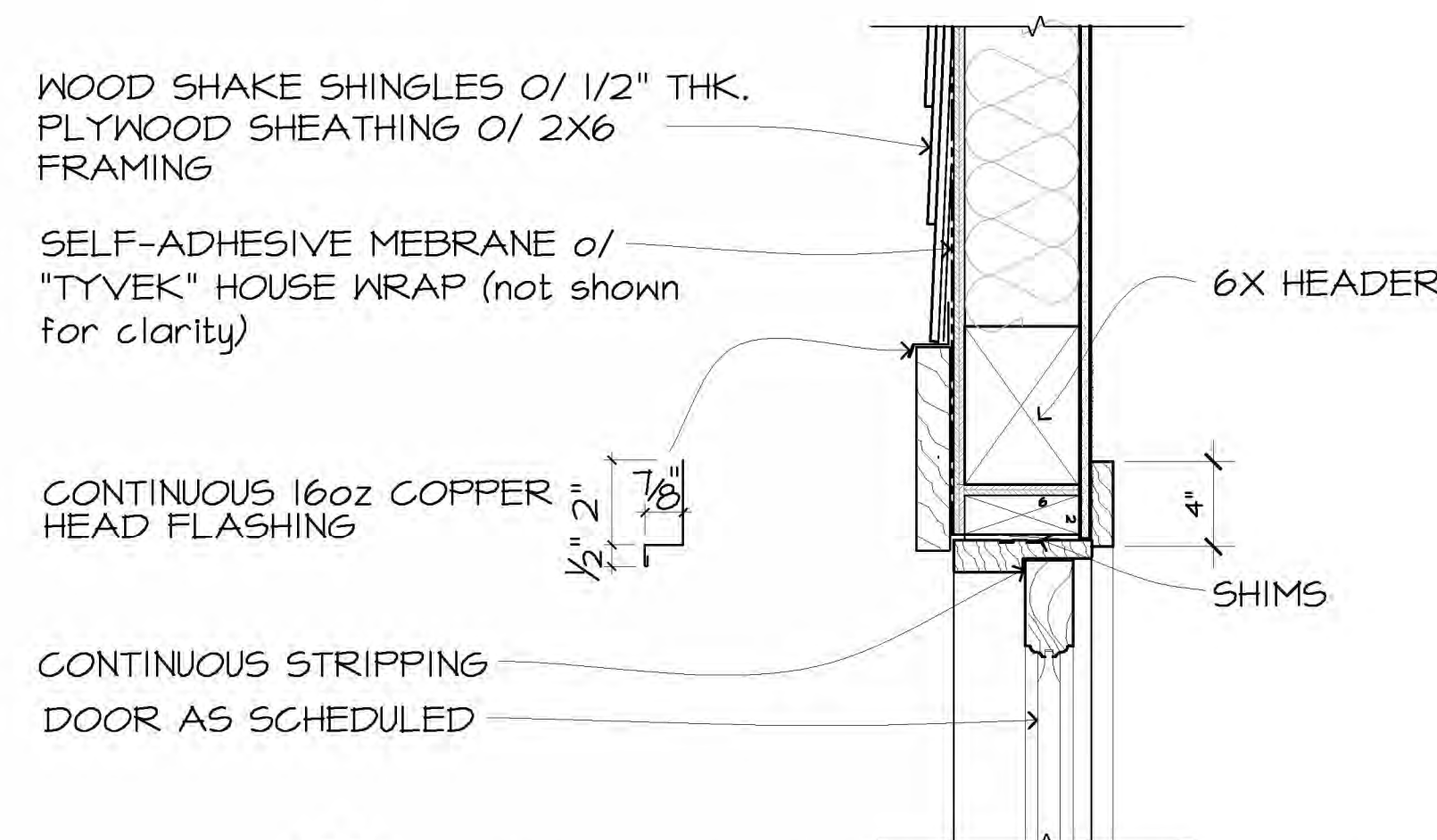
5 EXTERIOR WINDOW HEAD
SCALE: 1 1/2" = 1'-0"



6 EXTERIOR WINDOW SILL
SCALE: 1 1/2" = 1'-0"



1 TYPICAL EAVE DETAIL
SCALE: 1-1/2" = 1'-0"



2 TYP. EXTERIOR DOOR HEAD
SCALE: 1 1/2" = 1'-0"

Notes:

*THRESHOLD SHALL NOT EXCEED 0.75" FOR ALL DOORS

INTERLOCKING THRESHOLD W/ "J" HOOK

STONE FLR. FIN. ON 3/4" THK. BITUMINOUS SETTING BED

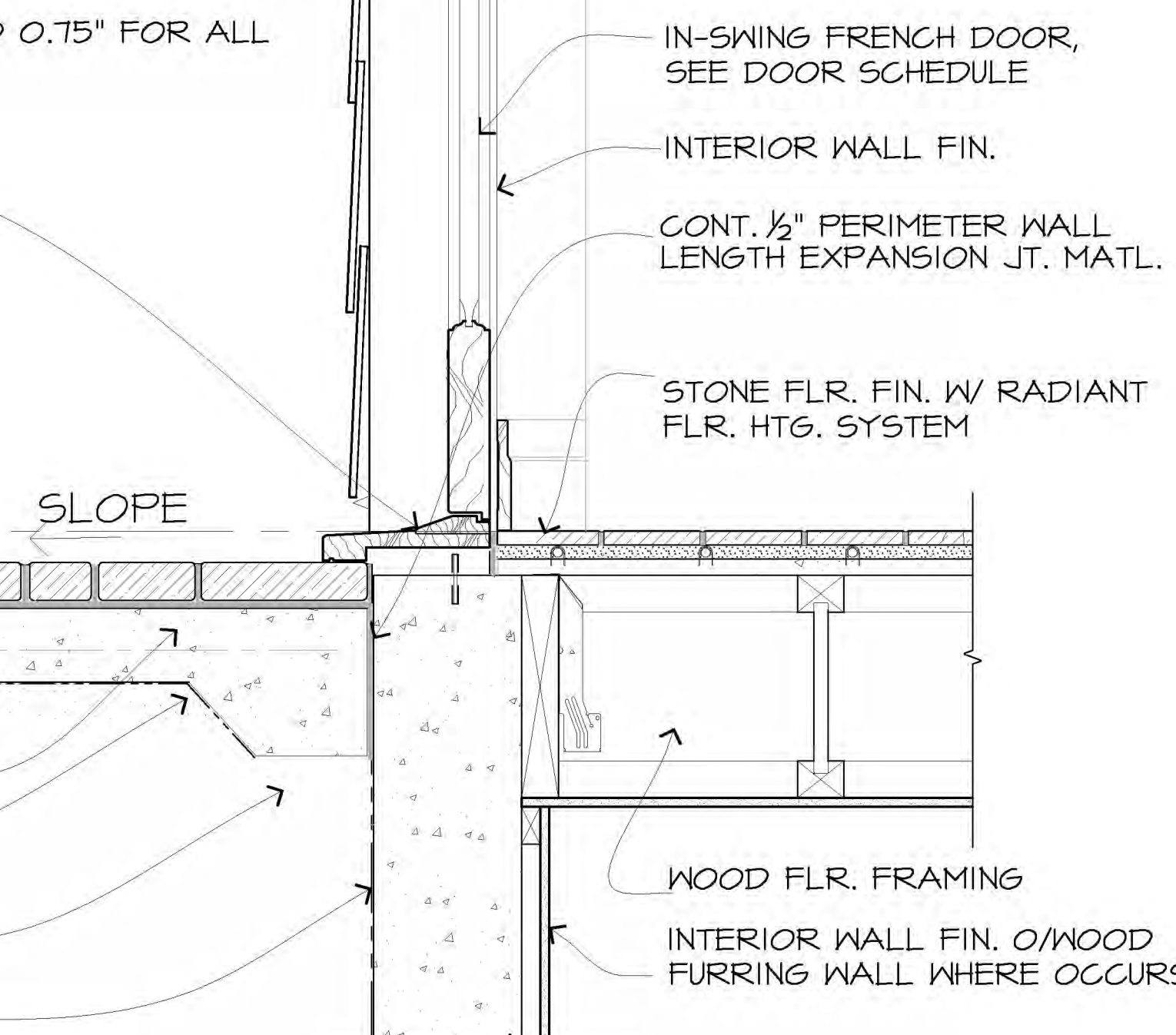
ENTRY PORCH FLR. LN.

4" THK. RC. SLAB W/ "XYPEX"

2" THK. SANDBED

4" THK. SUB-BASE GRAVEL BED

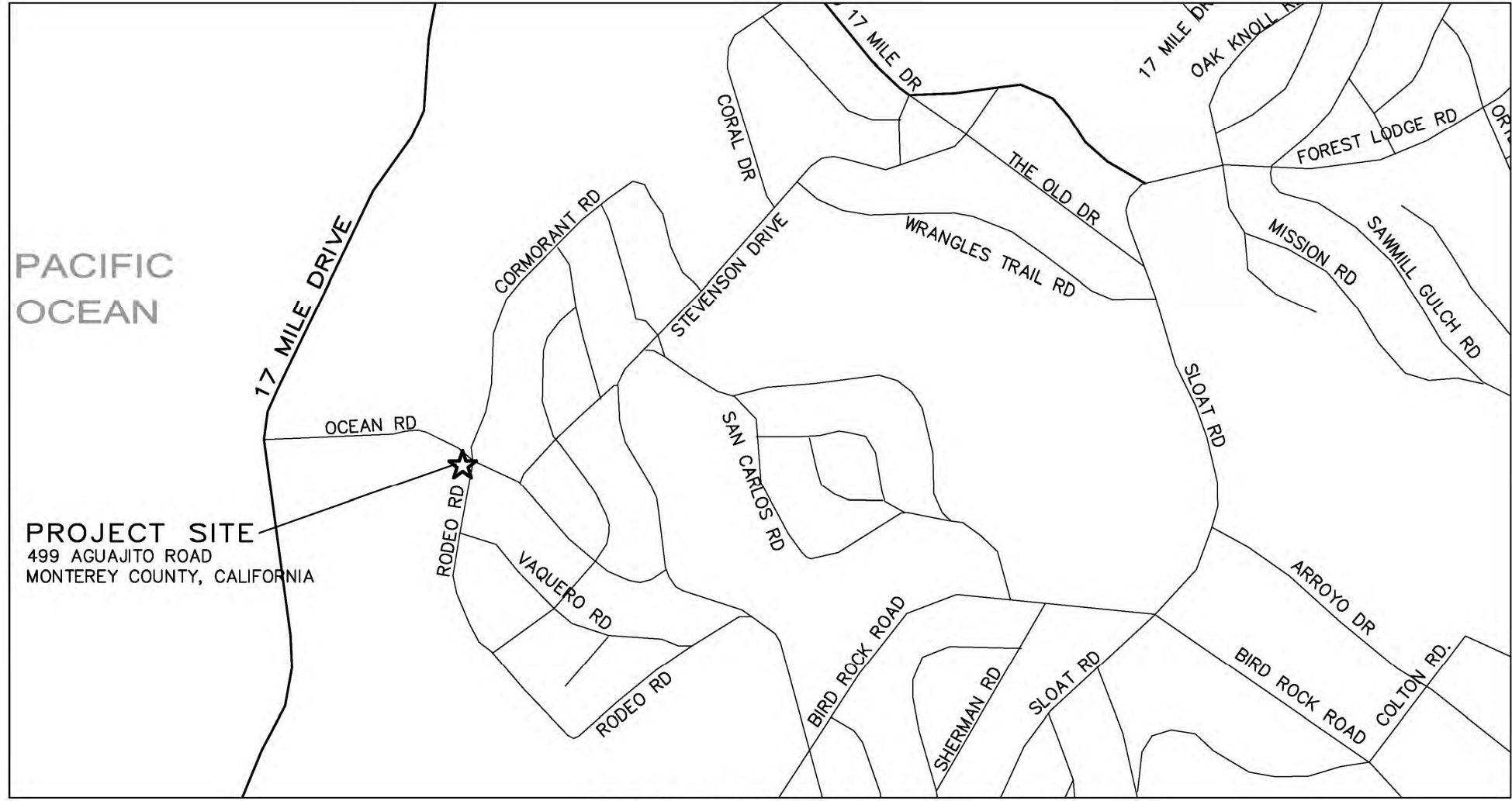
WATERPROOFING MEMBRANE



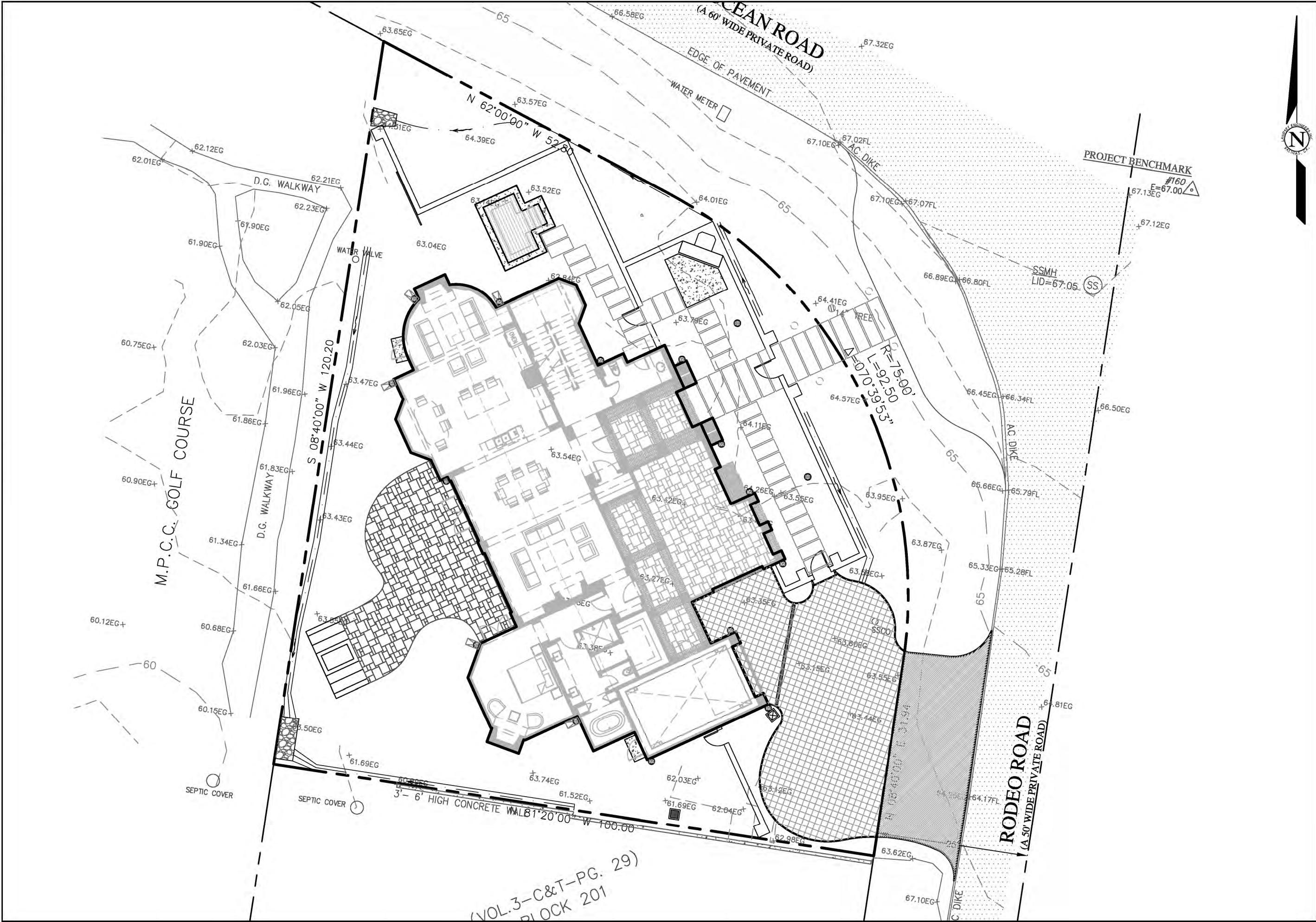
3 TYP. EXT. DOOR THRESHOLD
SCALE: 3/4" = 1'-0"

REVISION		No.
CONSULTANT:		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
DETAILS		
JOB NAME: DeSanto Residence		
1000 Rodeo Road		
Pebble Beach, CA		
A.P.N. 007-312-001		
DATE: 10/18/18		
SCALE: 1/4" = 1'-0"		
DRAWN: SSH		
JOB NUMBER: 18.11		
A-8.0		
SHEET OF		

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
DEL SANTO RESIDENCE
APN: 007-312-001
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA



VICINITY MAP
NOT TO SCALE

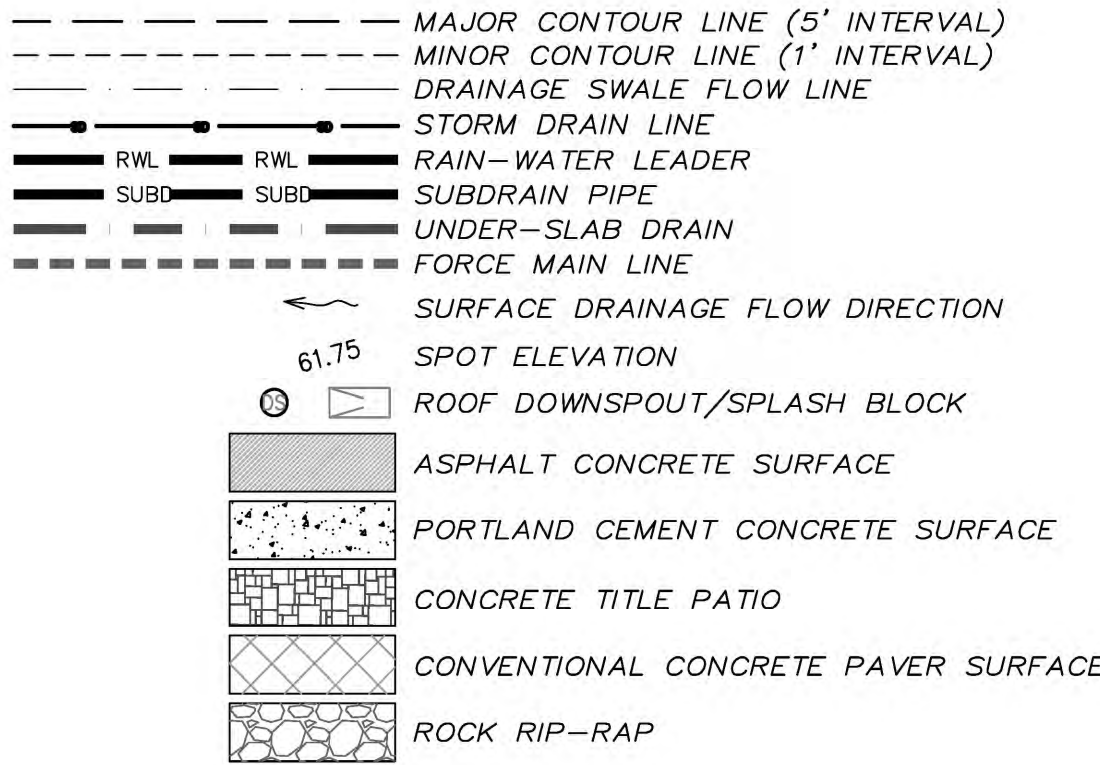


LOT OVERVIEW
SCALE: 1"=10'

LEGEND:

EXISTING: SEE SHEET C2 - TOPO MAP

NEW:



NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection item:	Who will conduct the inspection:	When the inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	LandSet Engineers, Inc.	Beginning of Project		
Subexcavation, fill placement, and compaction	LandSet Engineers, Inc.	Throughout grading operations		
Foundation Excavations	LandSet Engineers, Inc.	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	LandSet Engineers, Inc.	Prior to trench backfill		
Utility trench compaction	LandSet Engineers, Inc.	During backfill operations		
Retaining wall backfill compaction	LandSet Engineers, Inc.	During backfill operations		
Base rock subgrade compaction	LandSet Engineers, Inc.	Prior to pavement installation		

TOTAL IMPERVIOUS AREA = 5,277 SQ.FT.

TOTAL AREA OF DISTURBANCE = 9,745 SQ.FT.

GENERAL NOTES:

- PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE DEL SANTO RESIDENCE, AND THE BASE TOPOGRAPHIC INFORMATION PREPARED BY LANDSET ENGINEERS, INC. ON DECEMBER 18, 2017.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE. THE RECOMMENDATIONS FOUND IN THE PROJECT SOILS ENGINEERING INVESTIGATION PREPARED BY LANDSET ENGINEERS, INC. PROJECT No. XXX, DATED JAN. XX, 2017, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE 2016 CALIFORNIA BUILDING CODE (CBC) AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 1500 C.Y. OF CUT AND 5 C.Y. OF FILL WITH AN EXPORT OF 1495 C.Y. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. IS NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MIN. REL. COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL'S ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST DURING AND FOR GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FOOT OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 1% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE CONTROLLED BY GUTTER AND DOWN SPOUTS WITH SPLASH BLOCKS WHICH OUTLET INTO LANDSCAPE AREAS AND/OR PERVIOUS PAVERS OR CONNECTED INTO THE SITE STORM DRAIN SYSTEM AS SHOWN. RAIN WATER LEADERS SHALL BE 4" PVC-SDR 35 PIPE, HAVE A MINIMUM SLOPE OF 1% AND A MINIMUM COVER OF 12". THE RAIN WATER LEADER TRENCHES SHOULD HAVE THEIR BEARING SURFACES FOUNDED BELOW AN IMAGINARY 1:1 (HORIZONTAL-VERTICAL) LANE PROJECTED UPWARD FROM THE BOTTOM EDGE OF THE BUILDING FOOTINGS.
- ROOF DRAINAGE (SURFACE RUNOFF) SHALL BE COLLECTED BY A COMBINATION OF AREA DRAINS AND DRAINAGE SWALES OUTLETTING ONTO DISSIPATORS AS SHOWN ON THE SITE DRAINAGE PLAN.
- SUBSURFACE DRAINAGE FOR FOUNDATIONS & UNDERSLAB IS REQUIRED AND WILL BE COLLECTED AND PIPED TO A SUMP (CHRISTY BOX U32) LOCATED IN THE MECHANICAL ROOM AND PUMPED UP TO EXISTING STREET LEVEL (GOLF COURSE) AND SHALL REMAIN INDEPENDENT OF THE SURFACE RUNOFF.
- THE STORM DRAIN FACILITIES SHALL BE AS SHOWN ON THE PLANS. CATCH BASIN SHALL BE CHRISTY PRODUCTS V5 & V12 WITH CAST IRON GRATE OR APPROVED EQUAL, AND TRENCH DRAIN SHALL BE Z-886 PERMA-TRENCH. THE STORM DRAIN PIPE SHALL BE P.V.C. MIN. SDR 35.

- ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN, IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MIN. REL. COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- NO LAND DISTURBING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF RMA - BUILDING SERVICES.
- SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT AND THE PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	TOPOGRAPHIC MAP/EXISTING CONDITIONS
SHEET C3	GRADING, DRAINAGE & UTILITY PLAN
SHEET C4	GRADING SECTIONS & CONSTRUCTION DETAILS
SHEET C5	EROSION & SEDIMENT CONTROL PLAN

EROSION & SEDIMENT CONTROL NOTES:

- ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE CITY OF CARMEL-BY-THE-SEA EROSION CONTROL ORDINANCE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRUMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO THE CITY OF CARMEL-BY-THE-SEA PRIOR TO BEG. WORK.

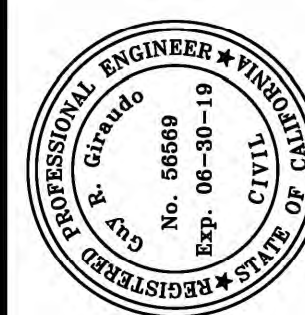
CONTACT INFORMATION:

PRIMARY: OWNER
MR. & MRS. JOHN & MAUREEN DEL SANTO
730 BREWER DRIVE
HILLSBOROUGH, CA 93953

SECONDARY: ARCHITECT
ERIC MILLER ARCHITECTS, INC.
ATTN: MR. DADO MARQUEZ
211 HOFFMAN AVE.
MONTEREY, CA 93940
PH (831)372-0410

SITE LOCATION:
1000 RODEO ROAD
PEBBLE BEACH, CA 93953

No.	DATE	BY	REVISION
10/15/18	AMS		RELEASED TO CLIENT



APPROVED BY:

GUY R. GIRAUDO

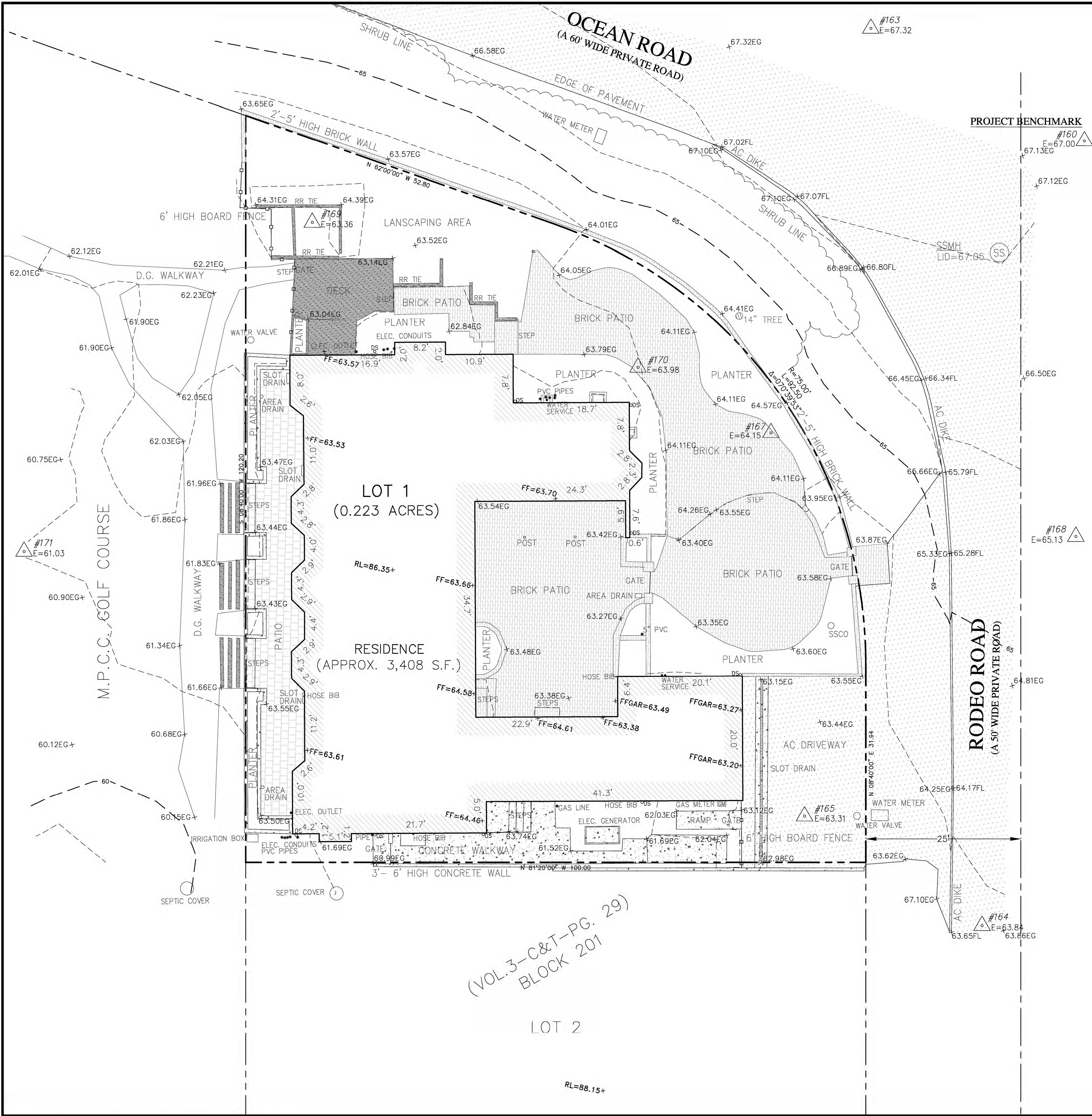


GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
DEL SANTO RESIDENCE
A.P.N.: 007-312-001
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. JOHN AND MAUREEN DEL SANTO

SCALE: AS SHOWN
DATE: OCTOBER 2018
JOB NO. 1746-02

SHEET C1

OF 5 SHEETS



- GENERAL NOTES:**
- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS A MAG NAIL LOCATED AT THE EDGE OF PAVEMENT AT THE NORTHEAST CORNER OF THE INTERSECTION OF RODEO ROAD & OCEAN ROAD, CONTROL POINT #160, ELEVATION=67.00', AS SHOWN.
 - NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
 - TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN. TREE CANOPIES ARE NOT SHOWN OR LOCATED.
 - THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (12/11/17) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
 - THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.
 - BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.

- LEGEND:**
- PROPERTY BOUNDARY LINE
 - ADJACENT PROPERTY BOUNDARY LINE
 - MAJOR CONTOUR LINE (5' INTERVAL)
 - MINOR CONTOUR LINE (1' INTERVAL)
 - FENCE (TYPE AS MARKED)
 - ASPHALT CONCRETE SURFACE
 - PORTLAND CEMENT CONCRETE SURFACE
 - BRICK SURFACE
 - DECOMPOSED GRANITE SURFACE
 - WOOD SURFACE
 - SPOT ELEVATION
 - FLOWLINE
 - SURVEY H&V CONTROL POINT
 - TREE (TYPE AND SIZE AS MARKED)
 - CENTER OF SYMBOL IS APPROX. CENTER OF TREE
 - SSCO @ SANITARY SEWER MANHOLE/CLEANOUT
 - DSO DOWNSPOUT
 - FF, FFGAR FINISH FLOOR, FINISH FLOOR GARAGE
 - RL RIDGELINE

APPROVED BY:
GUY R. GIRAUDO
P.L.S. No. 8703

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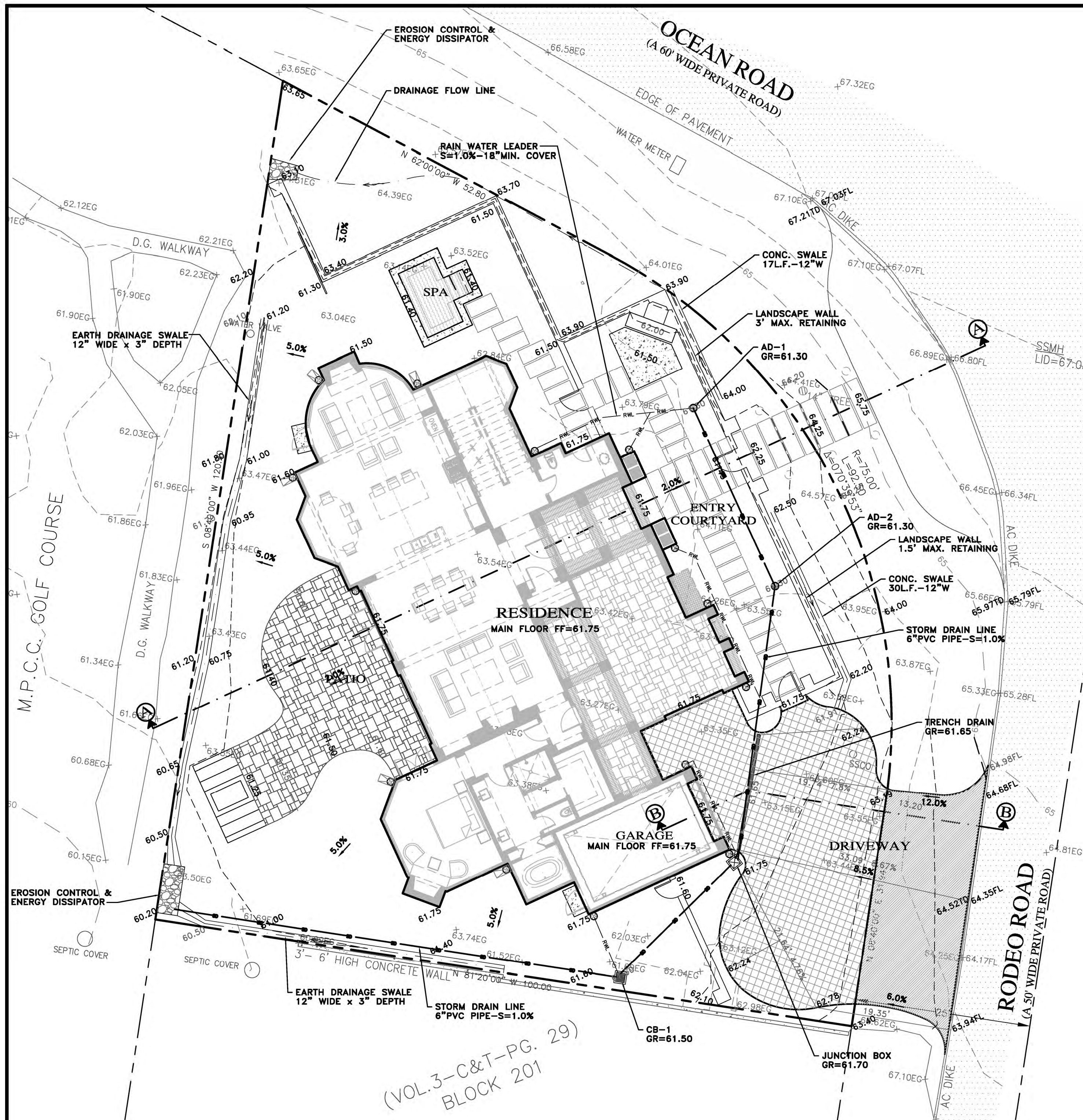
TOPOGRAPHIC MAP/EXISTING CONDITION

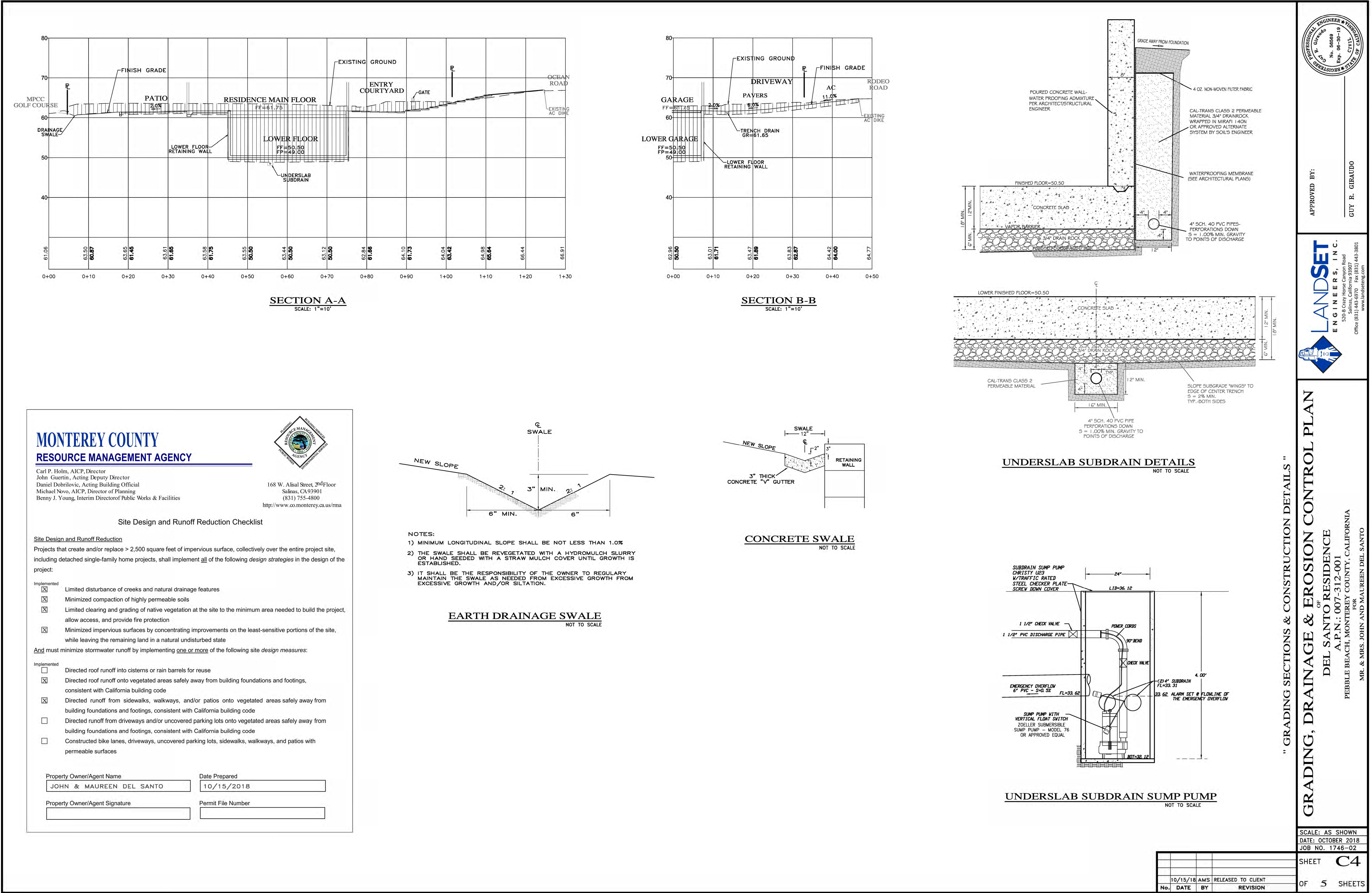
GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
DEL SANTO RESIDENCE
A.P.N.: 007-312-001
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. JOHN & MAUREEN DEL SANTO

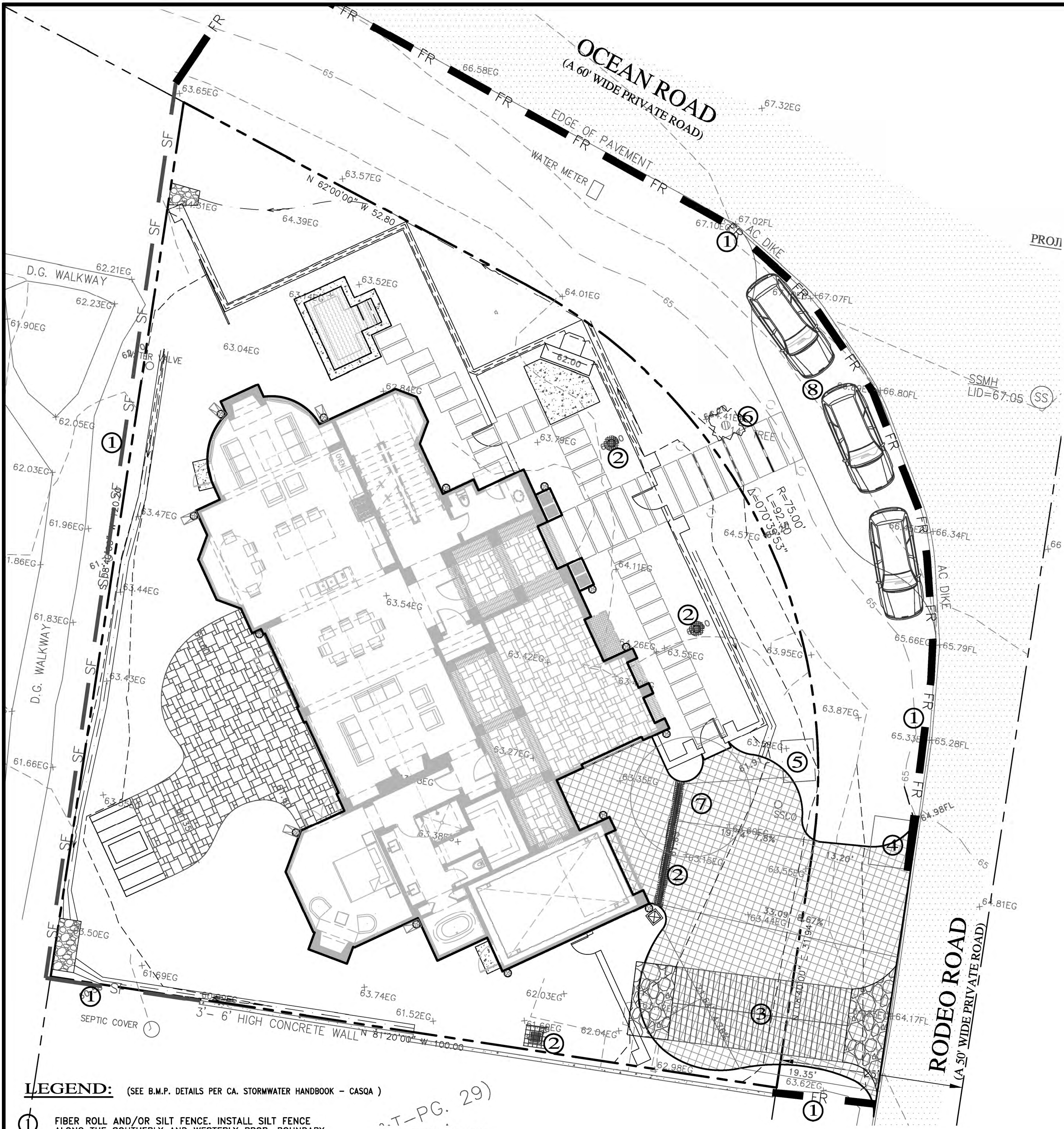
SCALE: 1"=8'
DATE: OCTOBER 2018
JOB NO. 1746-02

SHEET C2
OF 5 SHEETS

No.	DATE	BY	REVISION
10/15/18	AMS	RELEASED TO CLIENT	







LEGEND: (SEE B.M.P. DETAILS PER CA. STORMWATER HANDBOOK - CASQA)

- ① FIBER ROLL AND/OR SILT FENCE. INSTALL SILT FENCE ALONG THE SOUTHERLY AND WESTERLY PROP. BOUNDARY
- ② INLET PROTECTION. USE GRAVEL/SAND BAGS.
- ③ STABILIZED CONSTRUCTION ENTRANCE.
- ④ CONCRETE WASHOUT FACILITY.
- ⑤ PORTABLE SANITATION FACILITY
- ⑥ TREE PROTECTION
- ⑦ TEMPORARY STOCKPILE AREA
- ⑧ EMPLOYEE PARKING AREA

PLAN
SCALE: 1"=10'

NOTES

- A- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- B- DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION. COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

CONSTRUCTION MANAGEMENT NOTES:

PAINTING:

1. MINIMIZE USE OF OIL-BASED PAINTS
2. STORE SOLVENTS AND PAINTS IN ORIGINAL CONTAINERS AND KEEP THEM OUT OF THE WIND.
3. SPENT SOLVENTS ARE HAZARDOUS WASTES. STORE SPENT SOLVENTS IN APPROVED CONTAINERS. REUSE SOLVENTS AS MUCH AS POSSIBLE AND USE PAINTS AS MUCH AS POSSIBLE RATHER THAN DISPOSING OF THEM. DISPOSE OF AS REGULAR REFUSE.
4. NEVER CLEAN PAINT EQUIPMENT WHERE SOLVENTS, PAINT OR CONTAMINATED RINSE WATER CAN ENTER THE STORM DRAIN SYSTEM.
5. CASQA BMP HANDBOOK - HAZARDOUS WASTE MANAGEMENT WM-6

PLASTERING/STUCCO/TILING/SITE-MIXED CONCRETE:

1. STORE PLASTER AND CEMENT IN COVERED AREAS AND KEEP THEM OUT OF THE WIND.
2. CONSERVE MATERIALS. DO NOT MIX MORE PRODUCT THAN CAN BE USED BEFORE IT HARDENS.
3. IF THERE IS LEFT OVER PRODUCT, PLACE THE EXCESS IN AN EARTHEN DEPRESSION. LET THE PRODUCT CURE AND DISPOSE OF AS REGULAR REFUSE.
4. ALL RINSE WATER IS TO BE PLACED IN AN EARTHEN DEPRESSION CAPABLE OF HOLDING THE RINSE WATER AS WELL AS ANY RAIN WATER THAT WOULD FALL/RUN INTO THE DEPRESSION.
5. CASQA BMP HANDBOOK - CONCRETE WASTE MANAGEMENT WM-8

READY-MIXED CONCRETE:

1. HAVE AN EARTHEN DEPRESSION DUG PRIOR TO THE ARRIVAL OF THE READY-MIX TRUCK.
2. IF A PUMP IS USED, PLACE THE ENTIRE PUMP PRIMING FLUID AND REJECT CONCRETE IN THE DEPRESSION.
3. PLACE ALL SPILLED CONCRETE AND CHUTE WASH WATER IN THE DEPRESSION.
4. ALL TRUCK AND PUMP RINSE WATER IS TO BE TAKEN BACK TO THE READY-MIX BACH PLANT FOR TREATMENT/RECYCLING
5. BEFORE CREATING AN EXPOSED AGGREGATE FINISH, CAREFULLY PLAN AND PREPARE TO PREVENT THE SLURRY THAT IS WASHED OFF FROM ENTERING THE STORM DRAIN SYSTEM AND GUTTERS.
6. CASQA BMP HANDBOOK - CONCRETE WASTE MANAGEMENT WM-8

EARTH MOVING/GRADING:

1. REMOVE EXISTING VEGETATION ONLY WHEN NECESSARY.
2. PLANT TEMPORARY VEGETATION WHEN SLOPE HAVE BEEN DISTURBED BUT CONSTRUCTION IS STILL ONGOING DURING PERIODS OF RAIN.
3. PROTECT DOWN SLOPE DRAINAGE COURSES BY RECOGNIZED METHODS SUCH AS THOSE IN THE CASQA HANDBOOK.
4. USE CHECK DAMS OR DITCHES TO DIVERT WATER AROUND EXCAVATIONS.
5. COVER STOCKPILES OF EXCAVATED SOIL WITH ROPS.
6. SCHEDULE GRADING ACTIVITIES DURING DRY PERIODS.
7. CASQA BMP HANDBOOK - EROSION CONTROL

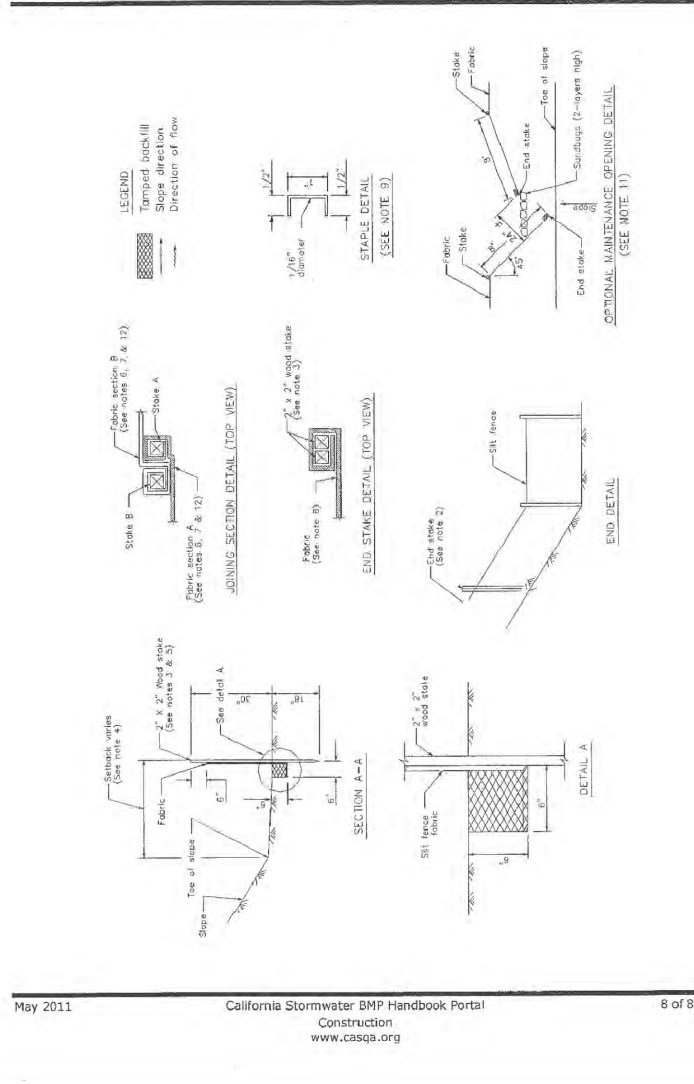
PORTABLE SANITATION FACILITY:

1. LOCATE AWAY FROM DRAINAGE FACILITIES, WATERCOURSES, AND FROM TRAFFIC CIRCULATION.
2. MUST BE EQUIPPED WITH CONTAINMENT TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORM DRAINAGE SYSTEM.
3. WASTEWATER SHOULD NOT BE DISCHARGED OR BURIED WITHIN THE PROJECT SITE.
4. TEMPORARY SANITARY FACILITIES THAT DISCHARGE TO THE SANITARY SEWER SYSTEM SHOULD BE PROPERLY CONNECTED TO AVOID ILLICIT DISCHARGES.
5. SANITARY & SEPTIC FACILITIES SHOULD BE MAINTAINED IN GOOD WORKING ORDER BY A LICENSED SERVICE.
6. ONLY REPUTABLE, LICENSED SANITARY AND SEPTIC WASTE HAULERS SHOULD BE USED.
7. CASQA BMP HANDBOOK - SANITARY/SEPTIC WASTE MANAGEMENT WM-9

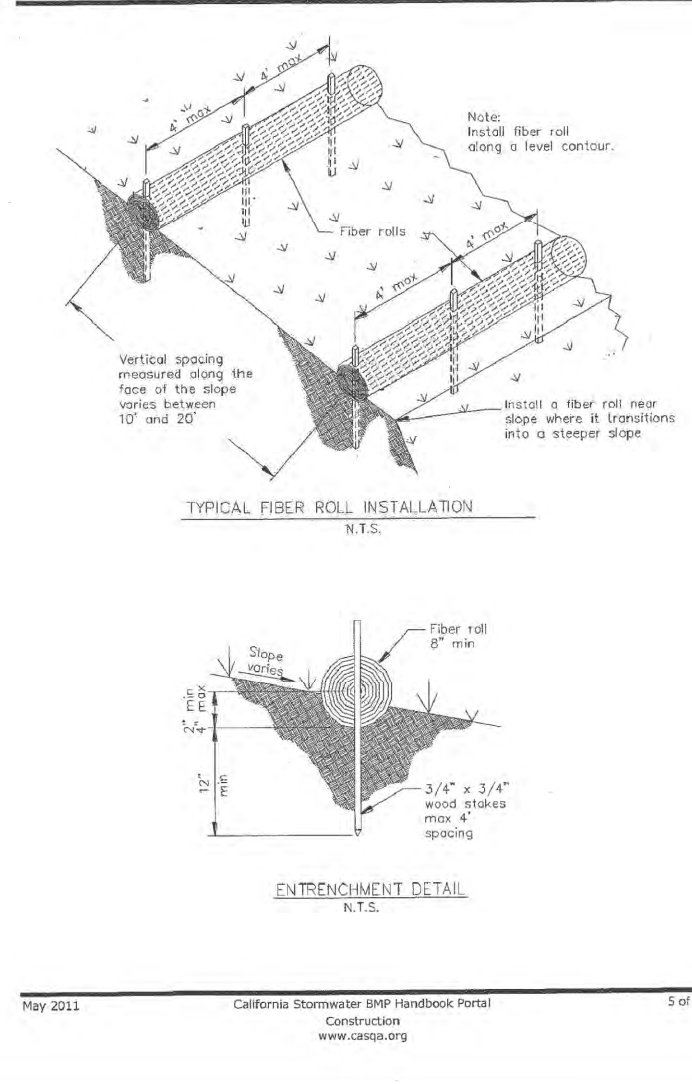
NOTES:

1. CONTRACTORS STAGING AREA DESIGNATED FOR FOLLOWING STORM WATER BEST MANAGEMENT PRACTICES: SCHEDULING, WATER CONSERVATION PRACTICES, VEHICLE AND EQUIPMENT CLEANING, VEHICLE AND EQUIPMENT MAINTENANCE, MATERIAL DELIVERY & STORAGE, STOCKPILE MANAGEMENT, SPILL PREVENTION AND CONTROL, SOLID WASTE MANAGEMENT, HAZARDOUS WASTE MANAGEMENT, CONCRETE WASTE MANAGEMENT, SANITARY WASTE MANAGEMENT.
2. REFER TO THE CASQA BMP HANDBOOK FOR BMP FACT SHEETS.

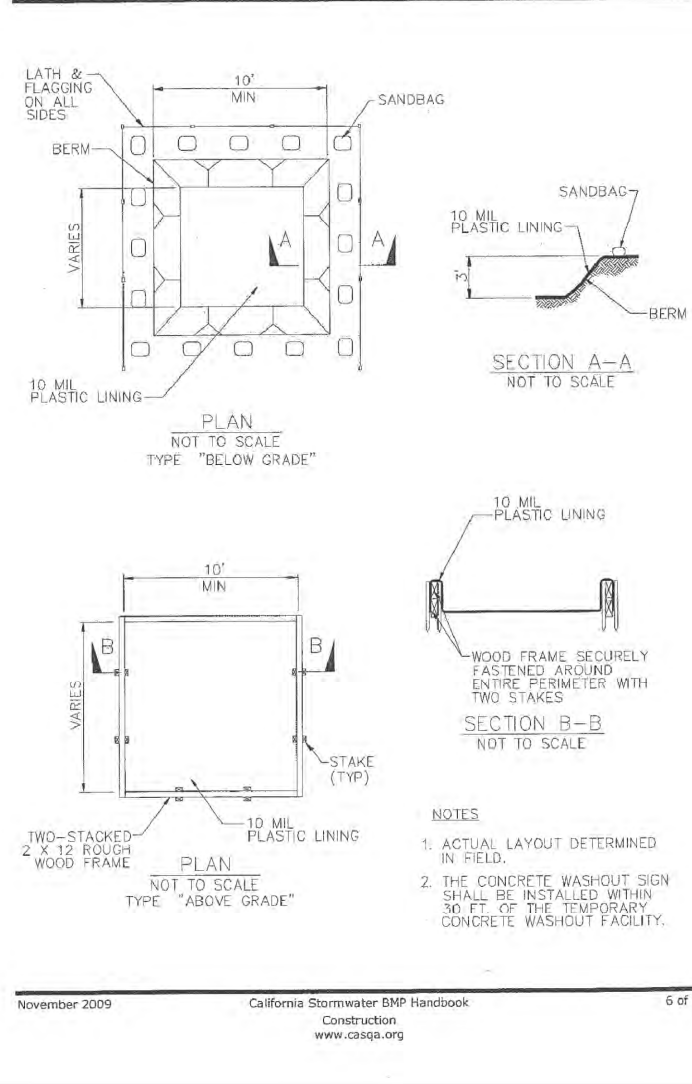
Silt Fence SE-1



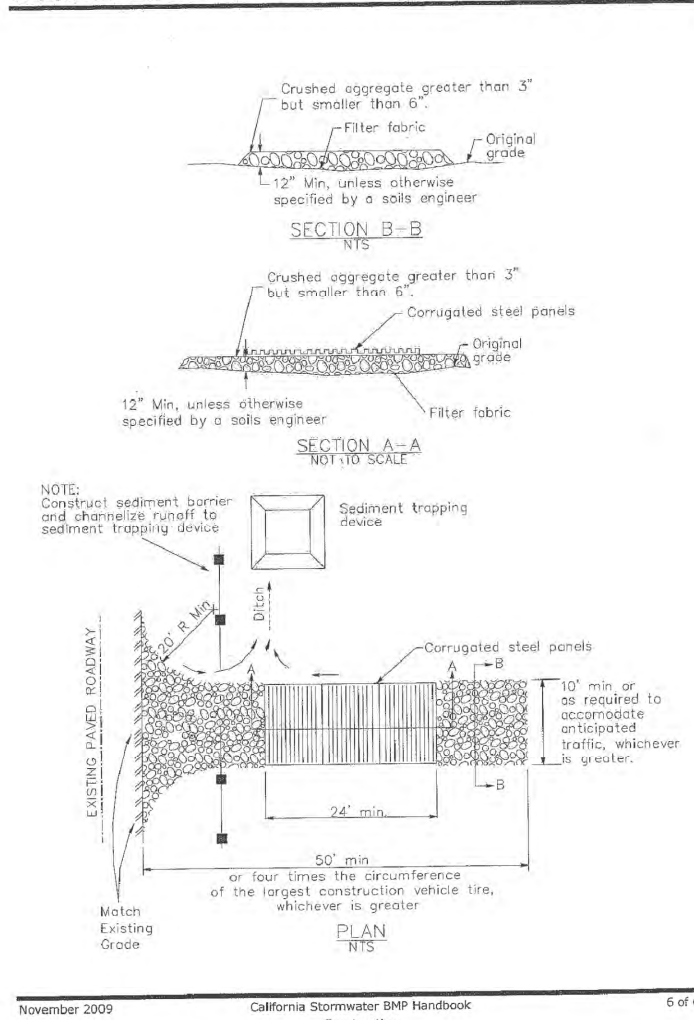
Fiber Rolls SE-5



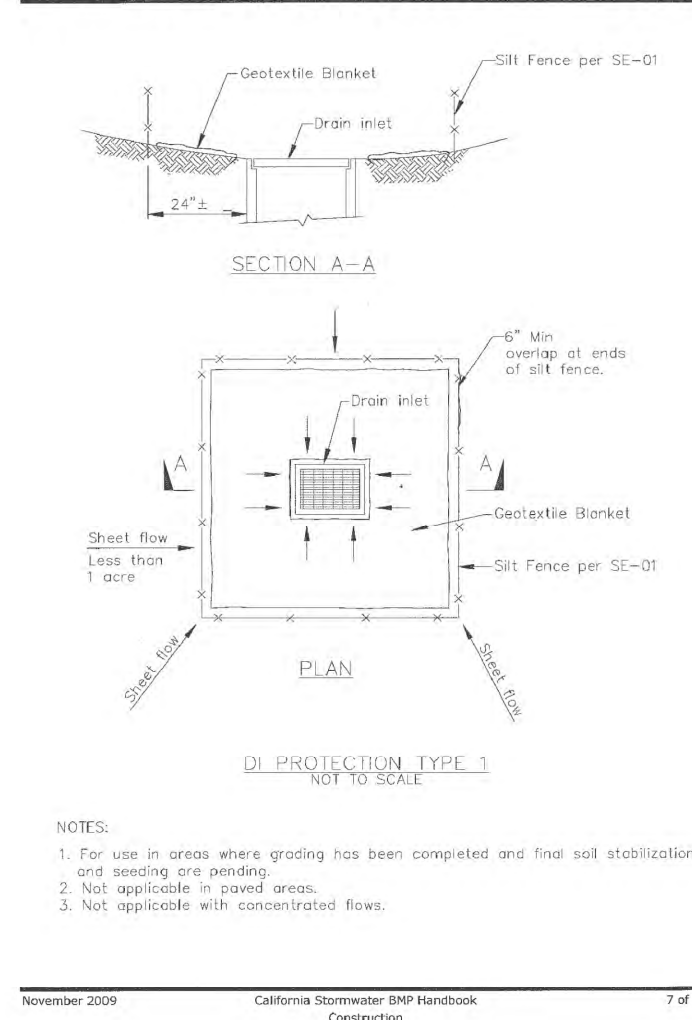
Concrete Waste Management WM-8



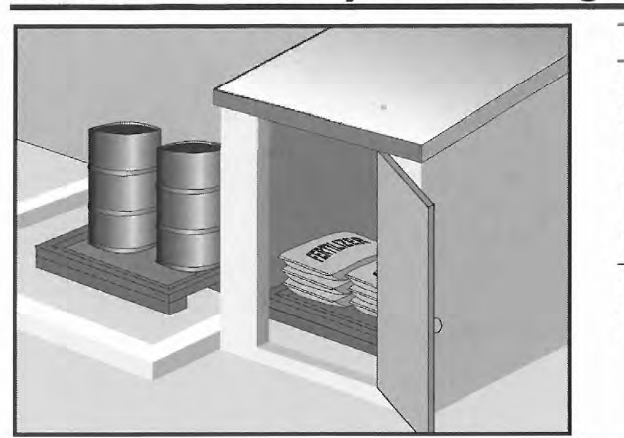
Stabilized Construction Entrance/Exit TC-1



Storm Drain Inlet Protection SE-10



Material Delivery and Storage WM-1



Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

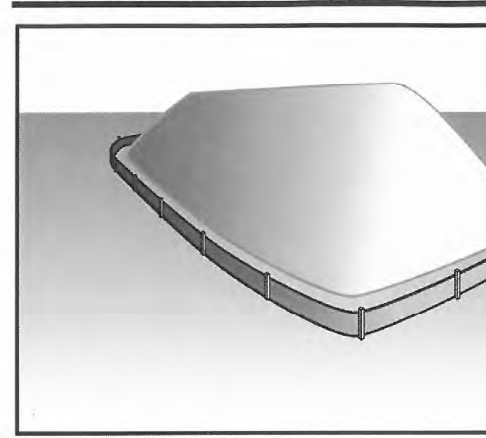
Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

Legend:
<input checked="" type="checkbox"/> Primary Category
<input checked="" type="checkbox"/> Secondary Category

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics

Potential Alternatives
None

Stockpile Management WM-3



Description and Purpose
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt binder (so called "cold mix" asphalt), and pressure treated wood.

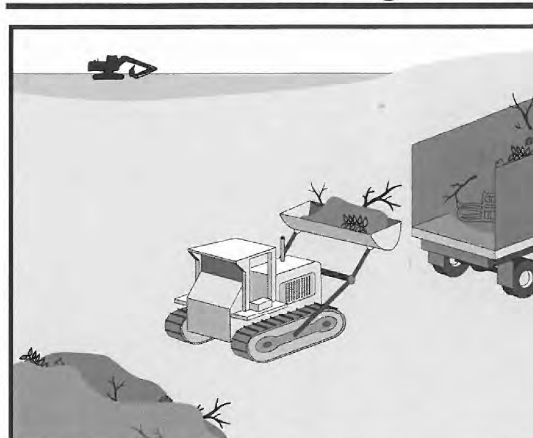
Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

Legend:
<input checked="" type="checkbox"/> Primary Category
<input checked="" type="checkbox"/> Secondary Category

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics

Potential Alternatives
None

Solid Waste Management WM-5



Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

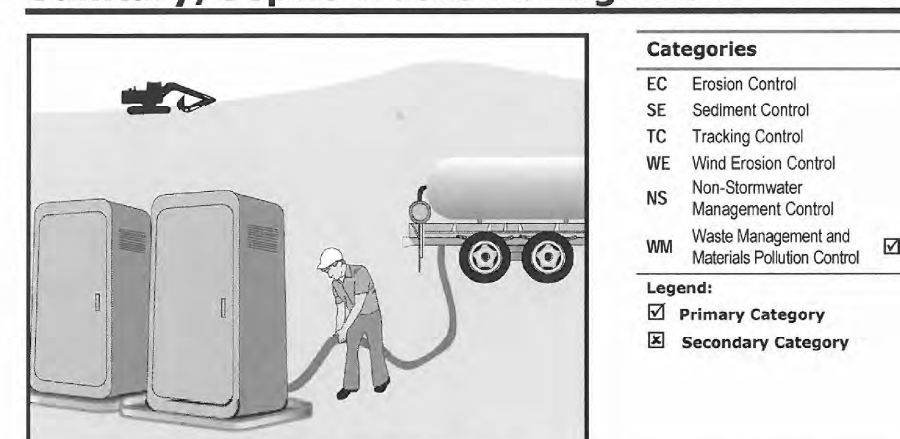
Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

Legend:
<input checked="" type="checkbox"/> Primary Objective
<input checked="" type="checkbox"/> Secondary Objective

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics

Potential Alternatives
None

Sanitary/Septic Waste Management WM-9



Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

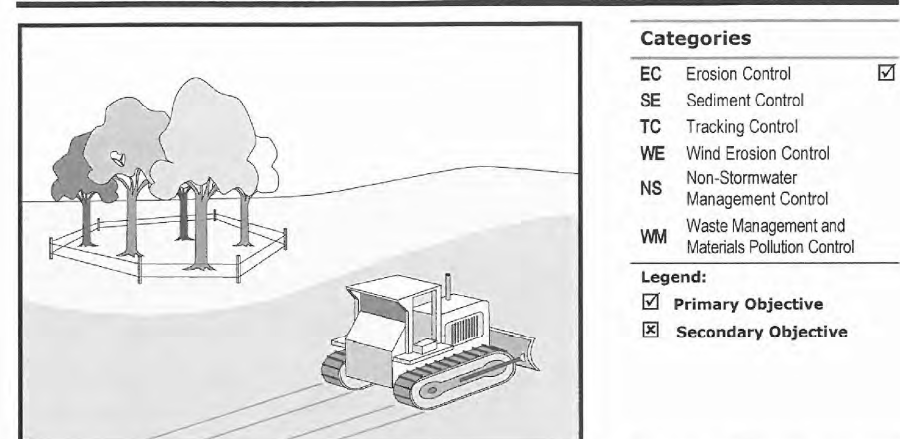
Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

Legend:
<input checked="" type="checkbox"/> Primary Category
<input checked="" type="checkbox"/> Secondary Category

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics

Potential Alternatives
None

Preservation Of Existing Vegetation EC-2



Description and Purpose
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

Legend:
<input checked="" type="checkbox"/> Primary Objective
<input checked="" type="checkbox"/> Secondary Objective

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics

Potential Alternatives
None

" EROSION & SEDIMENT CONTROL PLAN "

GRADING, DRAINAGE & EROSION CONTROL PLAN

DEL SANTO RESIDENCE
A.P.N.: 007-312-001
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. JOHN AND MAUREN DEL SANTO



APPROVED BY:
GUY R. GIRAUDO
PROFESSIONAL ENGINEER #10000
CALIFORNIA
No. 66669
Exp. 08-30-19

SCALE: AS SHOWN
DATE: OCTOBER 2018
JOB NO. 1746-02
SHEET C5
OF 5 SHEETS

No.	DATE	BY	REVISION
10/15/18	AMS	RELEASED TO CLIENT	