

*Before the Historic Resources Review Board in and for the  
County of Monterey, State of California*

Resolution No. 1201

Resolution by the Monterey County Historic Resources Review Board (HRRB) to recommend approval to the Board of Supervisors for the application from Greg and Sally Garrett to add the William T. Beatty House to the County's Local Official Register of Historic Resources.

WHEREAS, this matter was heard by the Historic Resources Review Board (HRRB) of the County of Monterey on November 1, 2012, pursuant to the application procedure for designation as contained in Chapter 18.25.060 of the Monterey County Code; and

WHEREAS, the William T. Beatty House is located at 25825 Hatton Road in Carmel and is considered to be historically significant as a good example of early (1926) residential design in Hatton Fields.

WHEREAS, at the conclusion of the hearing, the matter was submitted to the HRRB for a recommendation. Having considered all the written and documentary information submitted, oral testimony, and other evidence presented before the HRRB, the HRRB rendered its decision to adopt findings and evidence to recommend approval of the application for historic designation, subject to the following findings:

Finding: The proposed designation of the William T. Beatty House meets one or more of the review criteria set forth in Chapter 18.25.070 of the Monterey County Code specifically:

1. The resource proposed for designation exemplifies a particular architectural style or way of life important to the County.

Evidence:

1. Application and other materials in file 1201 (William T. Beatty House).
2. Historic Resource designation criteria as found in Chapter 18.25 of the Monterey County Code.
3. Oral testimony and HRRB discussion during the public hearing and the administrative record.

THEREFORE, it is the decision of the Monterey County Historic Resources Review Board to recommend approval to the Board of Supervisors for the designation of the William T. Beatty House as a historic resource.


Passed and adopted on this 1st day of November, 2012, upon motion of Barbara Rainer, seconded by Judy MacClelland, by the following vote:

AYES: John Scourkes, Sheila Lee Prader, Salvador Munoz, Kellie Morgantini, Barbara Rainer, and Judy MacClelland

NOES: None

ABSENT: None

ABSTAIN: None

  
Attest  
Meg Clovis, Secretary HRRB  
November 1, 2012

Meg Clovis  
Cultural Affairs Manager  
Monterey County Parks Department  
P.O. Box 5249  
Salinas, CA 93915

Re: Garrett Residence at 25825 Hatton Road, Carmel, CA, 93921

Dear Ms. Clovis,

By this letter, we seek to have our property, located at 25825 Hatton Road in Carmel, California to be added to the Monterey County's Register of Historic Resources.

The DPR for our property is already on file with you.

If possible, we would like to have our property on the November Historic Resources Board agenda, currently set for November 1, 2012.

Please let us, or our architect Robert Carver, know if you require any further information from us.

Thank you.

Very truly yours,



Greg and Sally Garrett  
25825 Hatton Road  
Carmel, California 93921  
(949) 413-3555 (cell)

Mailing address:  
1278 Glennyre Street #273  
Laguna Beach, California 92651

**PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 5S2  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

Resource Name or #: (Assigned by recorder) *William T. Beatty House*

P1. Other Identifier:

P2. Location:  Not for Publication  Unrestricted a. County *Monterey*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad \_\_\_\_\_ Date T \_\_\_\_\_ ; R \_\_\_\_\_ ; 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_ ; B.M. \_\_\_\_\_

c. Address: *25825 Hatton Road* City *Carmel* Zip *93923*

d. UTM: (Give more than one for large and/linear resources) \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *009-251-006*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

*A one-story, stone masonry and wood-framed vernacular residence, irregular in plan, resting on a concrete foundation. The exterior wall cladding is a combination of granitic rock in a random rubble bonding pattern, and smooth cement stucco on the various additions over time. The low-pitched roof system is complex with intersecting gables and a conical shaped element capping a stone drum on the south side-elevation. There are overhanging eaves with exposed rafter-tails with a wood bracketed door hood over the principal entry. There are two stone chimneys present on the main house. The original chimney is immediately north of the principal entry, which is on the south side of the west facing facade. It is integral with the exterior wall. The second chimney appears to be part of an addition that may date to the 1983 remodel. It is located at the NE corner of the main building envelope and is characterized by a rounded random rubble base, capped by a square used brick stack, reminiscent of those seen in medieval Italian hill towns. The roof covering is wood shakes.*

*Fenestration is irregular consisting of single and paired multi-paned metal casement type and fixed single arched windows on the original building envelope. The fixed arched windows wrap around the upper level of the stone drum on the south-side elevation. Paired casement windows are found below this feature in further arched stone openings.*

P3b. Resource Attributes: (List attributes and codes) *HP2 - Single Family Property*

P4. Resources Present  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)  
*Looking east at the west facing facade, Kent Seavey, 7, 12, 2012*

P6. Date Constructed/Age and Sources

Prehistoric  Historic  Both

*1926-Monterey Co. Deeds, Vol. 96 P. 36*

P7. Owner and Address

*Gary & Sally Garrett  
1278 Glenneffe St.  
273 Laguna Beach, CA 92651*

P8. Recorded by: (Name, affiliation, and address)

*Kent L. Seavey  
Preservation Consultant  
310 Lighthouse Ave.  
Pacific Grove, CA 93950*

P9. Date Recorded: *8/2/2012*

P10. Survey Type: (Describe)

*Intensive-owner requested*

P11. Report Citation: (Cite survey report and other sources, or enter "none")

*None*

Attachments  NONE  Continuation Sheet  District Record  Rock Art Record  Other: (List)  
 Location Map  Building, Structure, and Object Record  Linear Feature Record  Artifact Record  
 Sketch Map  Archaeological Record  Milling Station Record  Photograph Record

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Resource Name or #: (Assigned by recorder) *William T. Beatty House*

- B1. Historic Name:  
B2. Common Name:  
B3. Original Use: *residential* B4. Present Use: *residential*  
B5. Architectural Style: *Vernacular (Southern European sources)*  
B6. Construction History: (Construction date, alterations, and date of alterations)  
*Constructed 1926 (Mo. Co. Deeds); room addition c. 1946 (?) (Mo. Co. Assessor's records; kitchen/family room add. undated; remodel and guest house additions 1983 (James Pruitt & Assoc.).*  
B7. Moved?  No  Yes  Unknown Date: Original Location:  
B8. Related Features: *Detached guest house to NE of residence; wood-framed guest room/garage NW of guest house. (not part of study).*  
B9a. Architect: *1926 Unknown/1983 James B. Pruitt* b. Builder: *1926 Unknown/ 1983 James B. Pruitt*

B10. Significance: Theme: *residential development* Area: *Carmel-by-the-Sea*  
Period of Significance: *1926* Property Type: *single family residence* Applicable Criteria: *CR 3*  
(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

*The subject property is significant under California Register criterion 3, in the area of architecture as an early example of architectural design associated with the development of Hatton Fields, a large housing subdivision adjacent to Carmel (1925-1926). Hatton Fields Tract No 1 was developed by the Carmel Land Company, under the leadership of Paul Flanders. The tract ran east from the Carmel City Limits, along the south side of Ocean Ave. to the county road (Highway 1), then south to the intersection of the county road and Hatton Road, then west along the south side of Hatton and Martin Roads to Forest Road. The tract numbered ninety-nine lots of record, ranging in size from one-third of an acre to three acres. Flanders and his company marketed the lots "with the express purpose in mind of affording to and preserving for home owners a degree of seclusion which Carmel proper enjoyed in the beginning, but is in danger of losing because of the small size of some building lots." The Hatton Fields sales contracts restricted the subdivision of lots, and made provisions to protect against "architectural monstrosities". More than half the tract was forested, with a number of the remaining platted to provide fine views of the ocean, Pt. Lobos and Carmel Valley. The quality of these viewsheds is clearly illustrated in the c.1927 photo of the subject property and its setting (see photo continuation sheet).*

B11. Additional Resource Attributes: (List attributes and codes) *HP2 - Single Family Property*

B12. References:

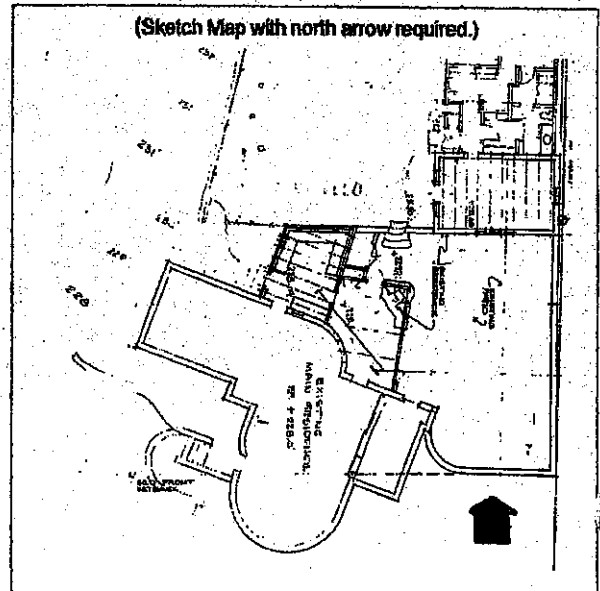
- Carmel Cymbal, 2/6/1926.*
- Monterey County Assessor's records, Mo. Co. Assessor's office, Salinas.*
- Monterey Co. Deeds.*
- Monterey Peninsula Herald, 4/17/08 (Obit. for Richard Marcus).*

B13. Remarks: *Zoning MDR-2-D*

B14. Evaluator: *Kent Seavey*

Date of Evaluation: *8/2/2012*

(This space reserved for official comments.)



## CONTINUATION SHEET

Page 3 of 4

Resource Name or #: (Assigned by recorder) *William T. Beatty House*

Recorded by: *Kent L. Seavey*

Date *8/2/2012*

Continuation  Update

*P3 (cont.) Single multi-paned metal windows appear on the gabled portion of the main building envelope. Fenestration on the wood-framed additions to the residence are multi-paned metal and wood casement type, having a stone veneer below their aprons. Multi-paned wood French doors open onto a tiled patio with stone fencing off the rear (east) elevation. Entry doors to the original building envelope and the additions are otherwise vertical hardwood planked types, with flattened arched tops.*

*Based on physical evidence and available plans and drawings, the current wood-framed kitchen and family room off the NE portion of the original building envelope, and an office/bedroom space off the south end of the rear (east) elevation are undated additions, possibly from c. 1946 for the office/bedroom, and c. 1950s for the kitchen/family room.*

*A detached guest house is located NE off the main residence. The southern portion of the guest house was constructed at the time of the original residence, as it features the same type and style of stone construction. The front-gabled west facing facade is characterized by a wide, flattened arched entry with a central door, and flanking multi-paned wood casement windows. An integral stone chimney rises out of the building envelope on the NW corner. It too is capped by brickwork, including a niche containing a polychrome Madonna. It is clearly the model for the later feature on the main building envelope. The south side-elevation has a bank of three small multi-paned wood casement windows, with a similar single window in the rear (east) wall. A former window or door opening near the NW corner of the north side-elevation opens into a wood-framed 1983 addition to the guest house. The addition has an exterior wall cladding of vertical board-and-batten wood siding and has a hipped roof. It is accessed through a recessed entry adjacent to the north side of the original stone chimney.*

*All roof covering is wood shakes.*

*Character-defining features of the subject property include the the stone masonry exterior wall cladding, especially where rounded walls occur, low-pitched gabled roof system, arched windows and doors, multi-paned metal casement windows, and detailing of the existing chimney stacks.*

*A wood-framed guest room/garage NW of the guest house is not part of this analysis as no change is proposed for this feature.*

*The property is sited on a finger of land well above Hatton Road, masked from view by mature trees and shrubbery. It is located in the Hatton Fields Tract #1, a rural residential neighborhood of one and two-story residences of varying ages, sizes and styles.*

*B10 (cont.) According to Monterey County Deeds the original owners were William T. and Valerie L. Beatty. Beatty was a retired Chicago manufacturing magnate living in San Francisco at the time of purchase of the subject property from the Carmel Land Co., in October, 1926. The record is still mute on Beatty's architect and builder, however, the high artistic expression of the design and the quality of the materials is clear evidence of a considerable investment in the project. It appears that the house was a vacation retreat for the couple, who also held property in Pebble Beach at the time.*

*The stone masonry is of the highest order and in excellent condition. The original exterior walls are all intact, although on the east (rear) and north elevations portions are now encased in additions, and function as interior walls. The original metal casement windows appear to be bronze, and the exterior doors appear to be mahogany, with hand wrought metal latches and hinges. The original footprint of the residence, clearly seen in the Pruitt plans for the 1983 remodel, suggest a loose V, or right angle, with the open end facing SW. A stone entry path is framed by a low, serpentine stone wall ending near the front door, with its wood bracketed shed roofed door hood. At its terminus near the entry the serpentine wall forms one side of a closed stone rail for a set of steps leading down the hillside from the house to a living space in the base of the stone drum component, entered from the exterior through a wood planked door, where the drum connects with the entry steps wall. The drum, or short tower perhaps, encloses a great room on the upper level, with its banded arched windows providing 360 degree views from the sea to the Carmel Valley. The enclosed exterior stone wall, now inside the kitchen area is also rounded, with its own band of three metal casement windows that originally looked directly into the rear (east) stone walled patio and garden areas. The eclectic form seems to reference Southern European vernacular sources.*

*Mr. Beatty passed away about 1933, and the property was held by his widow, Valerie Beatty until 1940 when it was purchased by local photographer Robert E. O'Brien, who in turn sold it to Murie F. & Evelyn M. Ogden in 1946. Monterey County Assessor's records show an estimated date of construction for the property as 1946. This suggests the Ogdens may have made the first addition to the building envelope. Again, the record is mute. Existing materials, especially the metal casement windows on the single room off the south end of the rear (east) elevation are consistent with those available during that post-war time frame.*

*No records for the larger addition, encompassing the kitchen and family found toward the north side-elevation have been found. They occurred sometime between the Ogden ownership and that of Richard & Barbara Marcus in 1983, who commissioned James B. Pruitt & Associates to remodel the property into its current configuration, including the kitchen chimney that evokes the character of the original on the c. 1927 guest house. Richard Marcus was a former Ohio businessman who retired to the Carmel area with his wife Barbara in 1972.*

*The changes to the Beatty residence and guest house have been respectful of the original design of the subject property. Especially through the retention of the original exterior walls by their incorporation into the additions over time. These additions did not destroy historic materials, features or spatial relationships that characterized the original building. They differentiated the old from the new by using compatible materials consistent with the historic materials, features, size, scale and proportions to protect the original integrity of the property and its environment. Clearly, if removed in the future the original form and integrity of the c. 1927 residence will be unimpaired.*

**CONTINUATION SHEET**

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

Page 4 of 4

Resource Name or #: (Assigned by recorder) *William T. Beatty House*

Recorded by: *Kent L. Seavey*

Date *8/2/2012*

Continuation  Update

B10 (cont.) In spite of the lack of information on an architect or builder, the high artistic value of the subject property's design and the quality of its construction, as well as the fact that it was one of the first residential homes constructed in the Hatton Fields Tract #1, an early residential development in Monterey County, adjacent to Carmel-by-the-Sea, should clearly qualify it for listing in the Monterey County Historic Resources Inventory in the context of residential development, at the local level of significance. Those changes that have occurred over time appear to be consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

B12 (Cont.)

*Oakland tribune, 2/7/ 1933 (Obit. for William T. Beatty).*

*Polk business directories for Monterey Peninsula, 1926, 1928, 1930, 1937, 1941, 1954-55, 1985.*

*Thomas Bros. Block Book for Carmel, c. 1948.*

**Supplemental Photograph or Drawing**



Description of Photo: (View, date, accession#)

*Looking east at the west facing facade and south side-elevation, c. 1927, Photographer unknown.*