

# Exhibit B

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# DRAFT RESOLUTION

## Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

**GEORGE BRETT WILLIAM (PLN220120)**

### **RESOLUTION NO. 24--**

Resolution by the County of Monterey Zoning Administrator:

- 1) Finding that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Sections 15303, and there are no exceptions pursuant to section 15300.2; and
- 2) Approving a Combined Development Permit consisting of:
  - a) Administrative Permit and Design Approval to allow the construction of an expansion of an existing single family dwelling consisting of a 1,029 square foot kitchen and master bathroom addition and a 68 square foot front entry; demolition of an existing 800 square foot detached shed; construction of a new 650 square foot detached garage and a new 2,304 square foot detached barn; and conversion of a 626 square foot non-habitable accessory structure into an accessory dwelling unit; and
  - b) Use Permit to allow development within the floodway fringe of the Carmel Valley River.

[PLN220120 GEORGE BRETT WILLIAM, 26605 BONITA WAY, CARMEL VALLEY, CARMEL VALLEY MASTER PLAN (APN: 015-181-014-000)]

**The GEORGE BRETT WILLIAM application (PLN220120) came on for a public hearing before the Zoning Administrator on October 31, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the County of Monterey Zoning Administrator finds and decides as follows:**

### **FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:**
- a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the 2010 County of Monterey General Plan (General Plan);
  - Carmel Valley Master Plan (CVMP); and
  - County of Monterey Zoning Ordinance (Title 21).

No conflicts were found to exist. Communications were received during the course of review of the project. However, as demonstrated in the evidence below, the project is consistent with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 26605 Bonita Way, Carmel Valley (Assessor's Parcel Number 015-181-014-000), Carmel Valley Master Plan. The parcel is zoned Low Density Residential, 2.5 acres per unit, with a Design, Site Plan, and Residential Allocation zoning district overlays or "LDR/2.5-D-S-RAZ". The project consists of an expansion of an existing single family dwelling which includes the construction of a new kitchen, master bathroom addition, and an extension of the front entry. The project also involves the construction of a new detached garage, a new detached barn, and the conversion of a non-habitable accessory structure into an accessory dwelling unit (ADU). Title 21 Chapter 21.14 establishes the first single family dwelling per lot and accessory structures as a principally allowed use within the LDR zoning district. However, Title 21 sections 21.45 (Site Plan Review) and 21.44 (Design Control) require the granting of an Administrative Permit and Design Approval for the construction of any structure which is not classified as minor development. Therefore, the project is an allowed land use for this site, subject to the granting of a discretionary permit.
- c) Lot Legality. The subject property (1.22 acres), APN 015-181-014-000, is identified as a portion of Lot 6 in its present size and configuration in the "Record of Survey for Paul F. Porter, Division of Lot 6, Rancho Canada Subdivision No. 1" filed August 17, 1960, in Book X-2 of Surveys, Page 120. Therefore, the County recognizes it as a legal lot of record.
- d) Design/Neighborhood and Community Character. Design Control or "D" overlay requires design review of structures to assure protection of the public viewshed, neighborhood characteristic, and to assure the visual integrity of certain developments without imposing undue restrictions on private property. The proposed project would have a comparatively similar layout to other residences in the vicinity. As proposed, the single family dwelling expansion will include a new corrugated metal roof, copper cutters & downspouts, cedar rafter tails, and retain the materials and colors of existing beige board and batt siding. The non-habitable accessory structure will remain comparable to the bulk and mass of other dwellings in the surrounding neighborhood and will have matching colors and material of the main dwelling. The proposed exterior colors and materials are consistent with the area's setting and surrounding residences. The development is designed to maintain the existing traditional style of architecture that is seen throughout the surrounding neighborhood.
- e) Development Standards. The project is consistent with the development standards for Low Density Residential "LDR" zoning districts identified

in Title 21 section 21.14.060 and Carmel Valley Master Plan Policy CV-3.1, which requires a minimum setback of 100 feet from Carmel Valley Road. The subject property abuts two road right of ways, one at the westernmost property line abutting Bonita Way and one at the northernmost property line abutting Carmel Valley Road. As demonstrated in the attached plans, the main dwelling, ADU, garage and barn are located outside of the minimum front setback from Bonita Way and Carmel Valley Road as well as the side and rear setbacks required in the LDR district. As also illustrated on the plans, the detached structures exceed the minimum distance requirements of the LDR district. The main dwelling, approximately 13.5 feet in height, is within the 30 foot height limitation. The detached ADU, approximately 15.25 feet in height, is within the 16 foot height limitation. The detached garage, approximately 13.75 feet in height, is within the 15 foot height limitation. The detached barn, approximately 26.25 feet in height, is within the 30 foot height limitation. The total building site coverage for the project is 14.6%, which is below the LDR coverage limitation of 25%.

- f) Cultural Resources. According to County of Monterey Geographical Information System (GIS), the property is located in an area of high archaeological sensitivity but not within 250 feet of a known archaeological resource. An archaeological report (LIB240244) was prepared for the site and although Abalone shell fragments and a single spire lopped Olivella bead were found in two minor areas of property, the sands in question contained other modern materials and all other native soils were found free of other shell or midden deposits. The report mentioned that the Abalone and Olivella were introduced with the soil amendments spread along the north margin of the parcel. The archaeologist inspected the property identified no significant in-situ culturally sensitive materials. The report did not recommend additional archaeological testing. The potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County's standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction. Thus, as proposed, designed, and conditioned, the proposed project minimizes and avoids potential impacts to archaeological resources.
- g) Land Use Advisory Committee (LUAC) Review. The project was referred to the Carmel Valley Land Use Advisory Committee, at which the LUAC on September 3, 2024, voted 7-0 to support the project as proposed.
- h) The project planner conducted a site inspection on September 18, 2024, to verify that the project on the subject parcel conforms to the plans listed above.
- i) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN220120.

**2. FINDING: SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
  - b) Staff identified potential impacts to biological resources, historical resources, cultural resources, trees, and soil stability. The following reports have been prepared:
    - Biological Assessment (LIB240245) prepared by Pat Regan, Carmel Valley, CA, July 27, 2022.
    - Historic Evaluation Report (LIB230231) prepared by Margaret E. Clovis, Salinas, CA, August 4, 2022.
    - Phase 1 Archaeological Assessment (LIB240244) prepared by Rubén G. Mendoza, Salinas, CA, November 10, 2023.
    - Arborist Report (LIB240179) prepared by Amanda Gates, Carmel Valley, CA, May 21, 2024.
    - Geotechnical Report (LIB240179) prepared by Grice Engineering, INC, Salinas, CA, October 31, 2022.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.
  - c) Staff conducted a site inspection on September 18, 2024, to verify that the site is suitable for this use.
  - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN220120.

**3. FINDING: HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary utilities will be provided. Water service will be provided by California American Water. As proposed, the project will be served by an onsite septic system. The Environmental Health Bureau reviewed the application and found it acceptable with no conditions.

- c) Staff conducted a site inspection on September 18, 2024, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN220120.

**4. FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
  - b) Staff conducted a site inspection on September 18, 2024, and researched County records to assess if any violation exists on the subject property.
  - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN220120.

**5. FINDING:** **DEVELOPMENT WITHIN CARMEL VALLEY RIVER FLOODPLAIN** - The project complies with the applicable policies and regulations found in the Carmel Valley Master Plan and Title 21 to allow development within the Carmel Valley floodway fringe. The project is not located in the mapped floodway or floodway fringe and sufficient setbacks and measures to avoid erosion are proposed.

- EVIDENCE:**
- a) Title 21 section 21.64.130 establishes regulations and standards for which development within the Carmel Valley River floodway fringe may be permitted. A Use Permit has been applied to this project pursuant to section 21.64.030.D.2 to allow construction of an addition to the existing single-family dwelling and accessory structures within the Carmel Valley River floodway fringe (See Finding 1 and supporting evidence).
  - b) The “Floodway Fringe” is defined in Title 21 section 21.64.130.C.4, as the portion of the valley floor outside of the floodway normally required to carry the flow which may on the average occur once every 100 years.
  - c) The location of the proposed development is over 200 feet away from the river’s edge.
  - d) The project site takes place within the 100-year flood level. The base flood elevation is indicated on the site plan as between 64.125 feet and 64.25 feet for areas within the footprint of the proposed structure. All development is designed to be consistent with Title 21 section 21.64.130 and Title 16 Chapter 16.16. The site plans show the ADU is raised over 1.5 feet above the 100-year base flood elevation pursuant to Title 21 section 21.64.130.D.2. Both non-habitable accessory structures are designed with flood openings pursuant to Title 16 section 16.16.050.D.1.
  - e) Title 16 section 16.16.050.C.1 indicates that substantial improvements, improvements that cost or exceed 50 percent of the current market value of the structure, shall adhere to the County’s floodplain regulation requiring the structure to be elevated one foot above base flood

elevation. As proposed the addition to the existing single family dwelling is estimated to cost approximately \$250,000, which is within the 50 percent threshold. Therefore, the addition to the existing single family dwelling is not subject to the elevation requirements of development within the floodplain and can conform with the elevation of the existing single family dwelling.

- f) County of Monterey Environmental Health Bureau reviewed the septic system and confirmed that the 10-year floodway will not encroach on or near the property.
- g) The project complies, to the maximum extent feasible, with the regulations of Title 21 section 21.64.130. The project site is over 200 feet away from the river's edge, the nearby riparian habitat will not be impacted, the natural course of the river will not be altered by the proposed development, and there will be no alteration to the living riparian vegetation. A biological assessment (LIB240245), prepared by Pat Regan, concluded that the property lacks breeding or burrowing habitat for rare, threatened, or endangered species and that the proposed project would result in no impacts to protected plants or animals.
- h) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN220120.

**6. FINDING:** **ACCESSORY DWELLING UNIT** – The project meets the established regulations and standards as identified in Title 21, Section 21.64.030.

- EVIDENCE:**
- a) Title 21 section 21.64.030 establishes regulations and standards for which an accessory dwelling unit (ADU), accessory to the main residence on a lot, may be permitted. Title 21 section 21.64.030.E provides size, height, and setback limitations for ADUs. Section 21.64.030.E.9 restricts ADUs to no more than 1,200 square feet of floor area. The project includes the conversion of an existing 626 square foot detached accessory structure into an 626 square foot detached accessory dwelling unit that includes independent living facilities as show in the attached plans.
  - b) The ADU is below the maximum 1,200 square foot floor area and will be the first ADU on the subject property.
  - c) The ADU meets the required site development standards and design criteria as defined in Title 21 Section 21.64.030.E. See Finding No. 1, Evidence “e” above.
  - d) The application was reviewed by the Environmental Health Bureau to ensure adequate sewage disposal and water supply facilities exist and are readily available to serve the ADU. The Environmental Health Bureau made the determination that the property has adequate public facilities, and no further comments or conditions were provided (see Finding No. 3 above).
  - e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN220120.

7. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:** a) California Environmental Quality Act (CEQA) Guidelines section 15303 categorically exempts new construction of one single family residence, second dwelling unit, and accessory structures within residential zoned areas.
- b) The proposed project involves the construction of a single family residence with an attached garage within a residential zoned area.
- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, unusual circumstances that would result in a significant effect, or development that would result in a cumulative significant impact. Successive projects of the same type and in the same place would not contribute to a significant cumulative impact. Although the project includes development located near or within view of a scenic highway (Carmel Valley Road), the colors and materials incorporated (see Finding 1, Evidence “d”) and maintaining the 100 foot setback (see Finding 1, Evidence “e”) ensure no significant visual impacts would occur. Additionally, there are no unusual circumstances because there is no feature or condition of the project that distinguishes the project from the exempt class. Also see the preceding findings and supporting evidence.
- d) No adverse environmental effects were identified during staff review of the development application during a site visit on September 18, 2024.
- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN220120.
8. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.
- EVIDENCE:** a) Pursuant to Title 21 section 21.80.040.A, the decision of this project may be appealed to the Planning Commission.

### DECISION

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303 and none of the exceptions to the exemption in section 15300.2 can be made; and
2. Approve a Combined Development Permit consisting of:
  - a. Administrative Permit and Design Approval to allow the construction of an expansion of an existing single family dwelling consisting of a 1,029 square foot kitchen and master bathroom addition, 68 square foot front entry, demolition of an existing 800 square foot detached shed, construction of a new 650 square foot detached garage and a new 2,304 square foot detached barn, conversion of a 626 square foot non-habitable

- accessory structure into an accessory dwelling unit, and associated site improvements; and
- b. Use Permit to allow development within the floodway fringe of the Carmel Valley River.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 31<sup>st</sup> day of October 2024.

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Mike Novo, AICP  
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the County of Monterey Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220120

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Combined Development Permit (PLNxxxxxx) allows the construction of an expansion of an existing single family dwelling consisting of a 1,029 square foot kitchen and master bathroom addition, 68 square foot front entry, demolition of an existing 800 square foot detached shed, construction of a new 650 square foot detached garage and a new 2,304 square foot detached barn, conversion of a 626 square foot non-habitable accessory structure into an accessory dwelling unit, and associated site improvements within the Carmel Valley River Floodplain.. The property is located at 26605 Bonita Way, Carmel Valley (Assessor's Parcel Number 015-181-014-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Combined Development Permit (Resolution Number \_\_\_\_\_) was approved by the Zoning Administrator for Assessor's Parcel Number 015-181-014-000 on October 31, 2024. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.  
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. PD016 - NOTICE OF REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:  
"An Arborist Report (Library No. LIB240179), was prepared by Amanda Gates on May 21, 2024 and is on file in Monterey County HCD - Planning. All development shall be in accordance with this report."  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

## 5. PD012(E) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-OTHER)

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The site shall be landscaped. Prior to issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping and shall include an irrigation plan. The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Non-Residential Water Release Form and Water Permit Application" to the Monterey County Water Resources Agency for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be installed and inspected .

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

## 6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

## 7. PD006(A) - CONDITION COMPLIANCE FEE

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

**Compliance or Monitoring Action to be Performed:** Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

## 8. CC01 INDEMNIFICATION AGREEMENT

**Responsible Department:** County Counsel-Risk Management

**Condition/Mitigation Monitoring Measure:** The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel-Risk Management)

**Compliance or Monitoring Action to be Performed:** Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management

**GENERAL NOTES**

- CONTRACTOR LICENSE: THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE: THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL: IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.
- WARRANTY: THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS: UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL/NOTICES/CODE COMPLIANCE: THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. THE CONTRACTOR SHALL OPERATE TO BEST MANAGEMENT PRACTICES.
- RESPONSIBILITY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING & PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.
- INSURANCE: LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRED CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- CLEAN UP: THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- BUILDING CODES: ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE (C.B.C.), 2019 CA-BLDG, MECH, PLUMBING, CFC, 2019 CA ELEC, AND 2019 CALIFORNIA ENERGY CODE AND ANY AMENDMENTS OF PRESIDING CITY OR COUNTY.
- NO LAND CLEARING OR GRADING SHALL OCCUR ON THE PROPERTY BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
- ALL CUT AND/OR FILL OF SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEEDED WITH NATIVE GRASSES OR OTHERWISE TREATED TO CONTROL EROSION.
- SHOP DRAWINGS: PRIOR TO FABRICATION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER FOR APPROVAL. SHOP DRAWINGS FOR ALL STRUCTURAL STEEL, REINFORCING STEEL, GLUE LAMINATED BEAMS AND PREFABRICATED TRUSSES. SHOP DRAWINGS ARE NOT CHANGE ORDERS, BUT RATHER SERVE TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE REQUIREMENTS & DESIGN CONCEPTS OF THE PLAN, DETAILS & SPECIFICATIONS.
- CHANGE ORDERS: NO VERBAL CHANGE ORDERS SHALL BECOME LEGAL AND/OR BINDING.
- CONSTRUCTION, BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- ALL MANUFACTURERS' INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.

**GENERAL NOTES:**

- THE APPROVAL OF THESE PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE, MUNICIPAL ORDINANCES, OR STATE LAWS.
- THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOB SITE DURING ANY INSPECTION ACTIVITY.

**ARCHAEOLOGICAL NOTE:**

- IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 METERS OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED, WITH THE CONCURRENCE OF THE CITY OF PACIFIC GROVE STAFF, AND IMPLEMENTED.

**DEFERRED SUBMITTALS:**

**MECHANICAL/ENERGY COMPLIANCE**

T-1	ENERGY COMPLIANCE
T-2	ENERGY COMPLIANCE
T-3	ENERGY COMPLIANCE

**DRAWING INDEX ARCHITECTURAL**

A-0.1	PROJECT TITLE PAGE
A-0.2	COLOR MATERIAL PHOTOS
A-0.3	BEST MANAGEMENT PRACTICES
A-0.4	CALGREEN RESIDENTIAL MANDATORY MEASURES
A-0.5	CALGREEN RESIDENTIAL MANDATORY MEASURES
TOPO	TOPOGRAPHIC SURVEY
A-1.0	EXISTING SITE PLAN
A-1.1	PROPOSED SITE PLAN SOUTH
A-1.2	PROPOSED SITE PLAN NORTH
A-1.3	FLOOD PLAIN SITE PLAN
A-2.0	EXISTING FLOOR PLAN
A-2.1	PROPOSED FLOOR PLAN
A-2.2	PROPOSED GARAGE FLOOR PLAN
A-2.3	PROPOSED NEW BARN 1ST STORY FLOOR PLAN
A-2.4	PROPOSED NEW BARN 2ND STORY FLOOR PLAN
A-2.5	EXISTING ADU FLOOR PLAN
A-2.6	PROPOSED ADU FLOOR PLAN
A-3.0	EXISTING EXTERIOR ELEVATIONS
A-3.1	PROPOSED EXTERIOR ELEVATIONS
A-3.2	PROPOSED EXTERIOR ELEVATIONS
A-3.3	PROPOSED GARAGE EXTERIOR ELEVATIONS
A-3.4	PROPOSED GARAGE EXTERIOR ELEVATIONS
A-3.5	PROPOSED NEW BARN EXTERIOR ELEVATIONS
A-3.6	PROPOSED NEW BARN EXTERIOR ELEVATIONS
A-3.7	EXISTING ADU ELEVATIONS
A-3.8	PROPOSED ADU ELEVATIONS
A-4.0	BUILDING SECTION VIEWS
A-4.1	BUILDING SECTION VIEWS
A-4.2	BUILDING SECTION VIEWS
A-4.3	BUILDING SECTION VIEWS
A-4.4	BUILDING SECTION VIEWS
A-4.5	BUILDING SECTION VIEWS
A-4.6	BUILDING SECTION VIEWS
A-4.7	BUILDING SECTION VIEWS
A-5.0	DOOR & WINDOW SCHEDULES
A-5.1	DOOR & WINDOW SCHEDULES - GARAGE AND NEW BARN
A-7.0	INTERIOR ELEVATIONS - KITCHEN
A-7.1	INTERIOR ELEVATIONS - KITCHEN ISLAND
A-7.2	INTERIOR ELEVATIONS - MUDROOM
A-7.3	INTERIOR ELEVATIONS - HALF BATH
A-7.4	INTERIOR ELEVATIONS - MASTER BATH
A-7.5	INTERIOR ELEVATIONS - LAUNDRY & BUTLER'S PANTRY
A-8.0	DETAILS
A-8.1	DETAILS
A-8.2	DETAILS
CMP	CONSTRUCTION MANAGEMENT PLAN
E-1.0	ELECTRICAL/LIGHTING PLAN
E-1.1	ELECTRICAL/LIGHTING PLAN - GARAGE
E-1.2	ELECTRICAL/LIGHTING PLAN - NEW BARN

**DRAWING INDEX CIVIL**

T-0	TITLE AND SPECIFICATION SHEET
1 of 1	SURVEY BY POLARIS
C-1.0	IMPROVEMENT PLANS GRADING & DRAINAGE - OVERALL SITE
C-1.1	IMPROVEMENT PLANS GRADING & DRAINAGE - RESIDENCE
C-1.2	IMPROVEMENT PLANS GRADING & DRAINAGE - DETACHED GARAGE
C-1.3	IMPROVEMENT PLANS GRADING & DRAINAGE - BARN
C-2.0	IMPROVEMENT PLANS SECTIONS
C-2.1	IMPROVEMENT PLANS SECTIONS
C-2.2	IMPROVEMENT PLANS SECTIONS
C-5.0	IMPROVEMENT PLANS EROSION CONTROL - SITE PLAN
C-5.1	IMPROVEMENT PLANS EROSION CONTROL DETAILS

**STRUCTURAL**

S-0.1	FOUNDATION PLANS
S-0.2	HOUSE ROOF FRAMING PLANS
S-0.3	BARN FOUNDATION & FRAMING PLANS
S1	DETAILS - MAIN HOUSE
S2	DETAILS - MAIN HOUSE
S3	DETAILS - GARAGE
S4	DETAILS - BARN
S5	DETAILS - BARN
S6	DETAILS
S7	DETAILS
S8	DETAILS

**PROJECT TEAM**

**OWNERS:** BRETT & LIZ GEORGE  
26605 BONITA WAY  
CARMEL, CA 93923

**DESIGNER:** HOMELIFE DESIGN STUDIO - JOSHUA STEWMAN  
PO BOX 7012  
SPRECKELS, CA 93962  
(831) 920-8814 - joshua@homelifedesignstudio.com

**CONTRACTOR:** THOMAS GEORGE CONSTRUCTION  
CARMEL, CA 93924

**STRUCTURAL ENGINEER:** JRT ENGINEERING  
PO BOX 51697  
PACIFIC GROVE, CA 93950  
(831) 372-5890

**GEOTECH ENGINEER:** GRICE ENGINEERING  
561 A BRUNKEN AVE  
SALINAS, CA 93901  
(831) 422-9619

**MECHANICAL ENGINEER:** MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD. #8  
CARMEL, CA 93923  
(831) 372-8328

**PROJECT DATA**

PROPERTY ADDRESS: 26605 BONITA WAY  
CARMEL, CA 93923

ASSESSOR'S PARCEL #: 015-181-014-000

ZONING: LDR/2.5-D-S-RAZ

GENERAL DESIGNATION: R-S

TYPE OF CONSTRUCTION: VB

FIRE SPRINKLED: NO - LESS THAN 50% FOR MAIN HOUSE

LOT SIZE (SQFT): 51,175 SQFT

BUILDING HEIGHT: ALLOWED HEIGHT = 30'-0" PROPOSED HEIGHT = 14'-1"

BUILDING SQFT: ALLOWED BUILDING COVERAGE = 25%

EXISTING BLDG/LIV AREA:	PROPOSED BLDG/LIV AREA:
MAIN HOUSE = 2,237 SQFT	MAIN HOUSE = 3,334 SQFT
GUEST HOUSE = 626 SQFT	ADU = 626 SQFT
SHED = 800 SQFT	BARN = 2,304 SQFT
	GARAGE = 650 SQFT
<b>TOTAL (E) BLDG/LIV AREA = 3,663 SQFT = 7.2%</b>	<b>TOTAL (P) BLDG/LIV AREA = 6,914 SQFT = 13.5%</b>

SITE COVERAGE: ALLOWED SITE COVERAGE = 25%

EXISTING SITE COVERAGE:	PROPOSED SITE COVERAGE:
MAIN HOUSE = 2,237 SQFT	MAIN HOUSE = 3,334 SQFT
GUEST HOUSE = 626 SQFT	ADU = 626 SQFT
SHED = 800 SQFT	BARN = 2,304 SQFT
PATIOS/WALKWAYS = 890 SQFT	GARAGE = 650 SQFT
	PATIOS/WALKWAYS = 543 SQFT
<b>TOTAL (E) SITE COVERAGE = 4,553 SQFT = 8.9%</b>	<b>TOTAL (P) SITE COVERAGE = 7,457 SQFT = 14.6%</b>

GRADING ESTIMATE:  
CUT: 6.24 CY / FILL: 137.13 CY

NO TREE REMOVAL

**PROJECT DESCRIPTION**

THIS PROJECT CONSISTS OF A 1,007 SQFT KITCHEN AND MASTER BATH ADDITION FOR AN EXISTING RESIDENCE. ALSO INCLUDED IS A NEW 650 SQFT GARAGE. A NEW 2,304 SQFT BARN FROM IS ALSO PROPOSED AS PART OF THIS PROJECT. NEW WINDOWS & METAL ROOFING ARE PROPOSED FOR THE MAIN RESIDENCE. FOR THE MAIN HOUSE, A 68 SQFT NEW FRONT ENTRY IS PROPOSED, AS WELL AS A NEW 22 SQFT WINDOW SEAT BUMPOUT. ALSO INCLUDED WITH THIS PROJECT IS THE PERMITTING OF 626 SQFT ADU.

**CODE COMPLIANCE**

CODE EDITIONS:  
2022 CALIFORNIA RESIDENTIAL CODE (CRC) AND 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, AND 2022 CALIFORNIA MECHANICAL, PLUMBING, ELECTRICAL, CFC, & 2022 CALIFORNIA ENERGY CODE.

**SHEET NUMBER:**

**A-0.1**

SHEET 1 OF - SHEETS

**REVISIONS:**

- PLAN CHECK COMMENTS 12/19/2023
- PLAN CHECK COMMENTS 4/10/2024
- PLAN REVISION 7/1/2024

**FILE:** **VIEW:**

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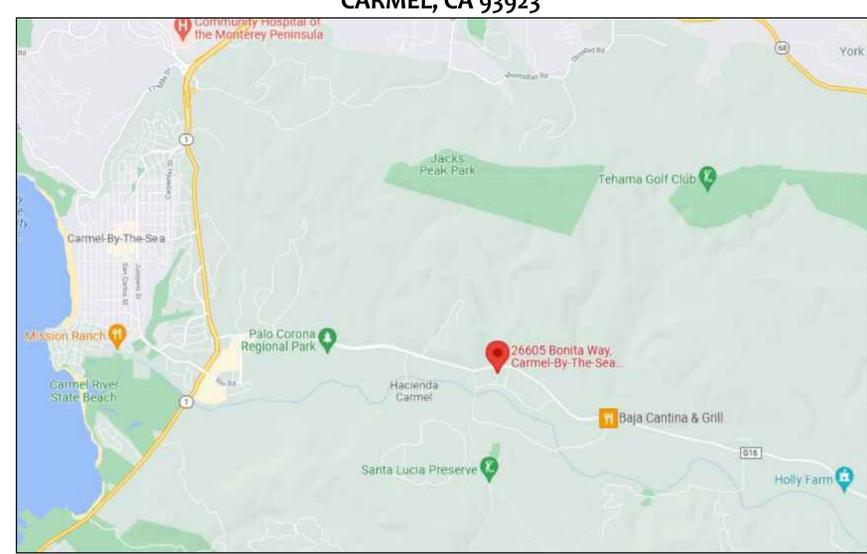
PO BOX 7012 TEL 831-920-8814 SPRECKELS, CALIFORNIA 93962 joshua@homelifedesignstudio.com

# GEORGE RESIDENCE

**FRONT PERSPECTIVE**



**SITE MAP**



HOMELIFE DESIGN STUDIO



**HOMELIFE DESIGN STUDIO**

RESIDENTIAL DESIGN - LEED AP  
PROJECT MANAGEMENT -  
www.homelifedesignstudio.com  
(831) 920-8814

*Joshua Stewman*

PROJECT:

**GEORGE RESIDENCE**

26605 BONITA WAY  
CARMEL, CA 93923

APN: 015-181-014-000

PROJECT NO:

OWNER:

**BRETT AND LIZ GEORGE**  
26605 BONITA WAY  
CARMEL, CA 93923

SHEET TITLE:

**PROJECT TITLE PAGE**

SCALE:

DRAWN BY: TB

PRINT DATE: July 1, 2024

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

REVISIONS:

- PLAN CHECK COMMENTS 12/19/2023
- PLAN CHECK COMMENTS 4/10/2024
- PLAN REVISION 7/1/2024

FILE: VIEW:

SHEET NUMBER:

**A-0.1**

SHEET 1 OF - SHEETS



■ CORRUGATED METAL ROOFING



■ EXISTING BOARD & BATT SIDING TO REMAIN



■ MATCH EXISTING SIDING



■ CEDAR RAFTER TAILS



■ COPPER GUTTERS & DOWNSPOUTS



**GEORGE  
RESIDENCE**

26605 BONITA WAY  
CARMEL, CA 93923

APN: 015-181-014-000

PROJECT NO:

OWNER:  
**BRETT AND LIZ GEORGE**  
26605 BONITA WAY  
CARMEL, CA 93923

SHEET TITLE:  
COLOR MATERIAL PHOTOS

SCALE:

DRAWN BY: TB

PRINT DATE: July 25, 2023

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

REVISIONS:

- △ -
- △ -
- △ -
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- △ -

FILE: VIEW:

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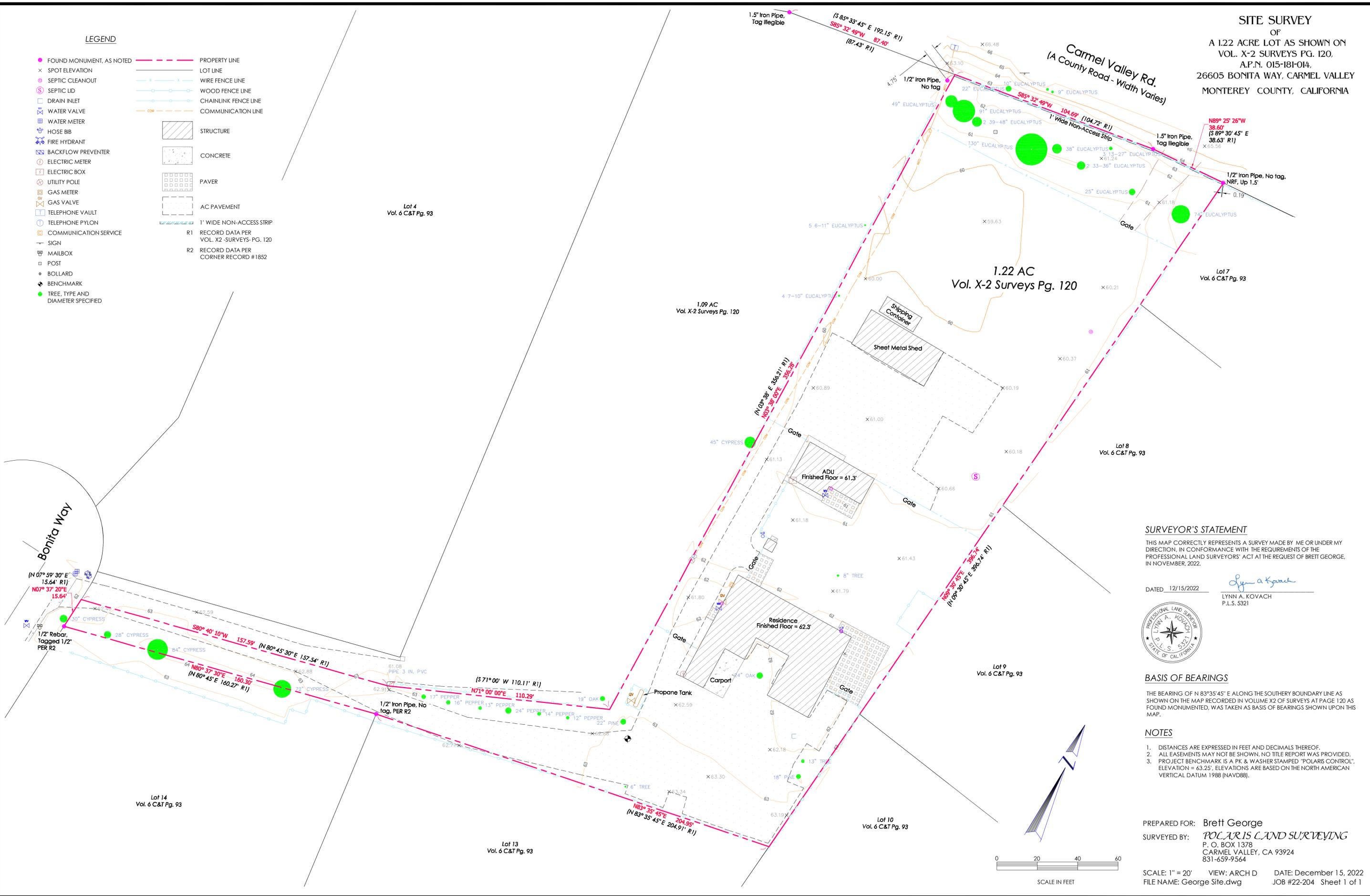
**A-0.2**

SHEET - OF - SHEETS

LEGEND

- |                                     |  |
|-------------------------------------|--|
| ● FOUND MONUMENT, AS NOTED          | --- PROPERTY LINE                          |
| × SPOT ELEVATION                    | --- LOT LINE                               |
| ○ SEPTIC CLEANOUT                   | --- WIRE FENCE LINE                        |
| ○ SEPTIC LID                        | --- WOOD FENCE LINE                        |
| □ DRAIN INLET                       | --- CHAINLINK FENCE LINE                   |
| □ WATER VALVE                       | --- COMMUNICATION LINE                     |
| □ WATER METER                       |  |
| □ HOSE BIB                          | ▨ STRUCTURE                                |
| □ FIRE HYDRANT                      | ▩ CONCRETE                                 |
| □ BACKFLOW PREVENTER                | ▩ PAVER                                    |
| ○ ELECTRIC METER                    | ▩ AC PAVEMENT                              |
| □ ELECTRIC BOX                      | R1 RECORD DATA PER VOL. X2 SURVEYS-PG. 120 |
| □ UTILITY POLE                      | R2 RECORD DATA PER CORNER RECORD #1852     |
| □ GAS METER                         |  |
| □ GAS VALVE                         |  |
| □ TELEPHONE VAULT                   |  |
| ○ TELEPHONE PYLON                   |  |
| ○ COMMUNICATION SERVICE             |  |
| +                                   |  |
| □ MAILBOX                           |  |
| □ POST                              |  |
| ● BOLLARD                           |  |
| ● BENCHMARK                         |  |
| ● TREE, TYPE AND DIAMETER SPECIFIED |  |

SITE SURVEY  
OF  
A 1.22 ACRE LOT AS SHOWN ON  
VOL. X-2 SURVEYS PG. 120,  
A.P.N. 015-181-014,  
26605 BONITA WAY, CARMEL VALLEY  
MONTEREY COUNTY, CALIFORNIA



**SURVEYOR'S STATEMENT**  
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION, IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF BRETT GEORGE, IN NOVEMBER, 2022.

DATED 12/15/2022  
*Lynn A. Kovach*  
LYNN A. KOVACH  
P.L.S. 5321

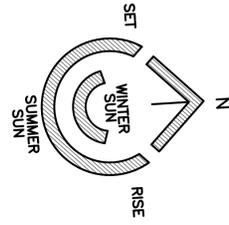
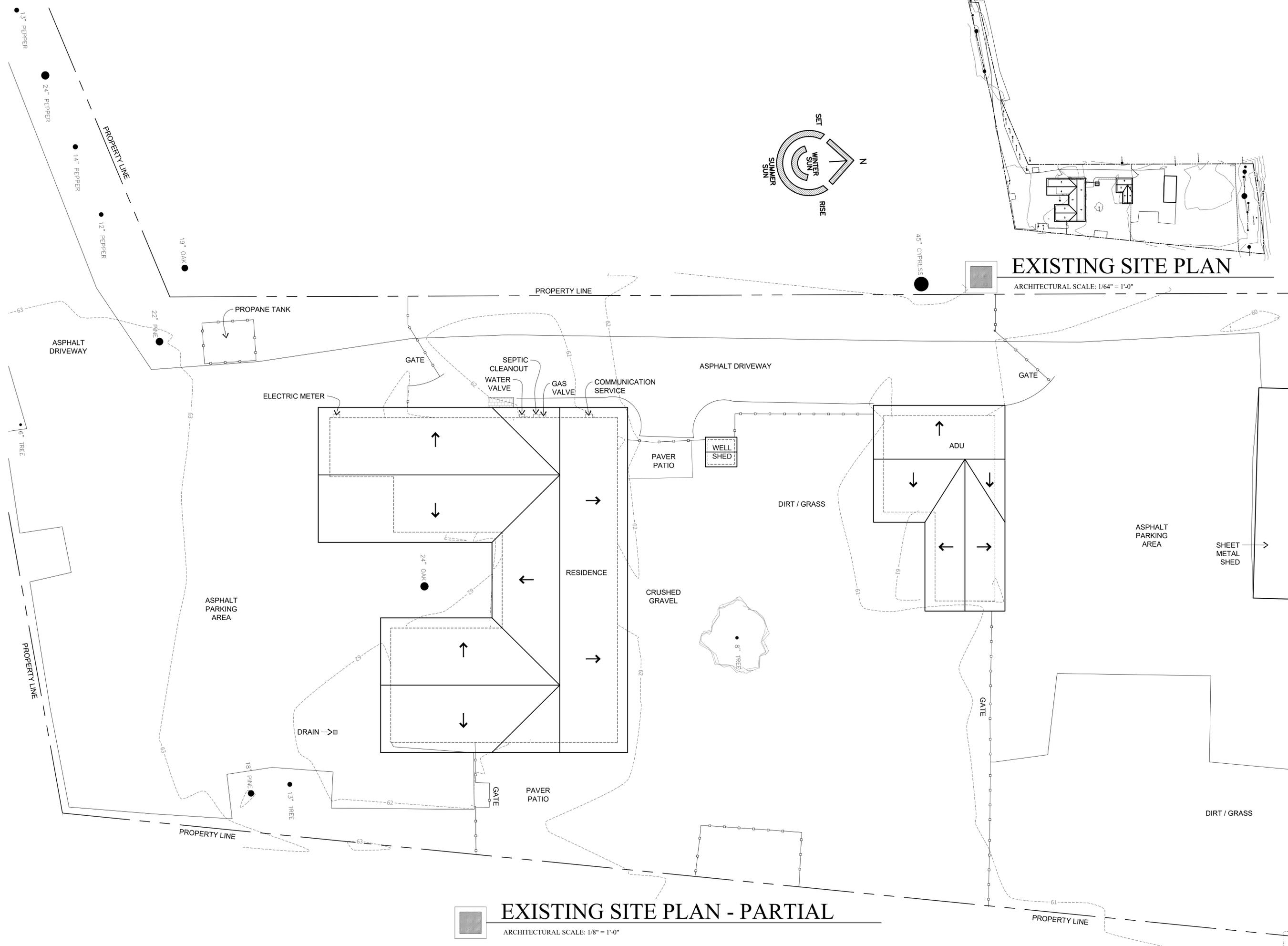


**BASIS OF BEARINGS**  
THE BEARING OF N 83°35'45"E ALONG THE SOUTHERY BOUNDARY LINE AS SHOWN ON THE MAP RECORDED IN VOLUME X2 OF SURVEYS AT PAGE 120 AS FOUND MONUMENTED, WAS TAKEN AS BASIS OF BEARINGS SHOWN UPON THIS MAP.

**NOTES**  
1. DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF.  
2. ALL EASEMENTS MAY NOT BE SHOWN. NO TITLE REPORT WAS PROVIDED.  
3. PROJECT BENCHMARK IS A PK & WASHER STAMPED "POLARIS CONTROL", ELEVATION = 63.25'. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).

PREPARED FOR: Brett George  
SURVEYED BY: POLARIS LAND SURVEYING  
P. O. BOX 1378  
CARMEL VALLEY, CA 93924  
831-659-9564

SCALE: 1" = 20' VIEW: ARCH D DATE: December 15, 2022  
FILE NAME: George Site.dwg JOB #22-204 Sheet 1 of 1



# EXISTING SITE PLAN

ARCHITECTURAL SCALE: 1/64" = 1'-0"

# EXISTING SITE PLAN - PARTIAL

ARCHITECTURAL SCALE: 1/8" = 1'-0"

HOMELIFE DESIGN STUDIO



**HOMELIFE  
DESIGN STUDIO**

RESIDENTIAL DESIGN - LEED AP  
PROJECT MANAGEMENT -  
www.homelifedesignstudio.com  
(831) 920-8814

*Joshua Stawman*

PROJECT:

## GEORGE RESIDENCE

26605 BONITA WAY  
CARMEL, CA 93923

APN: 015-181-014-000

PROJECT NO:

OWNER:  
**BRETT AND LIZ GEORGE**  
26605 BONITA WAY  
CARMEL, CA 93923

SHEET TITLE:  
**EXISTING SITE PLAN**

SCALE: NOTED

DRAWN BY: TS

PRINT DATE: June 5, 2024

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

REVISIONS:

- △ -
- △ -
- △ -
- △ -
- △ -
- △ -

FILE: VIEW:

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SHEET NUMBER:

# A-1.0

SHEET - OF - SHEETS

PO BOX 7012 • SPRECKELS, CALIFORNIA 93962  
TEL 831 - 920 - 8814 • joshua@homelifedesignstudio.com



Joshua Steuerman

PROJECT:

GEORGE RESIDENCE

26605 BONITA WAY  
CARMEL, CA 93923

APN: 015-181-014-000

PROJECT NO:

OWNER:

BRETT AND LIZ GEORGE  
26605 BONITA WAY  
CARMEL, CA 93923

SHEET TITLE:

PROPOSED SITE PLAN  
SOUTH

SCALE: NOTED

DRAWN BY: TB

PRINT DATE: July 3, 2024

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

REVISIONS:



FILE:

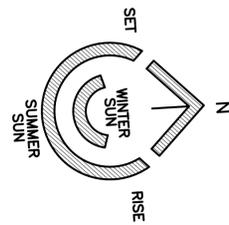
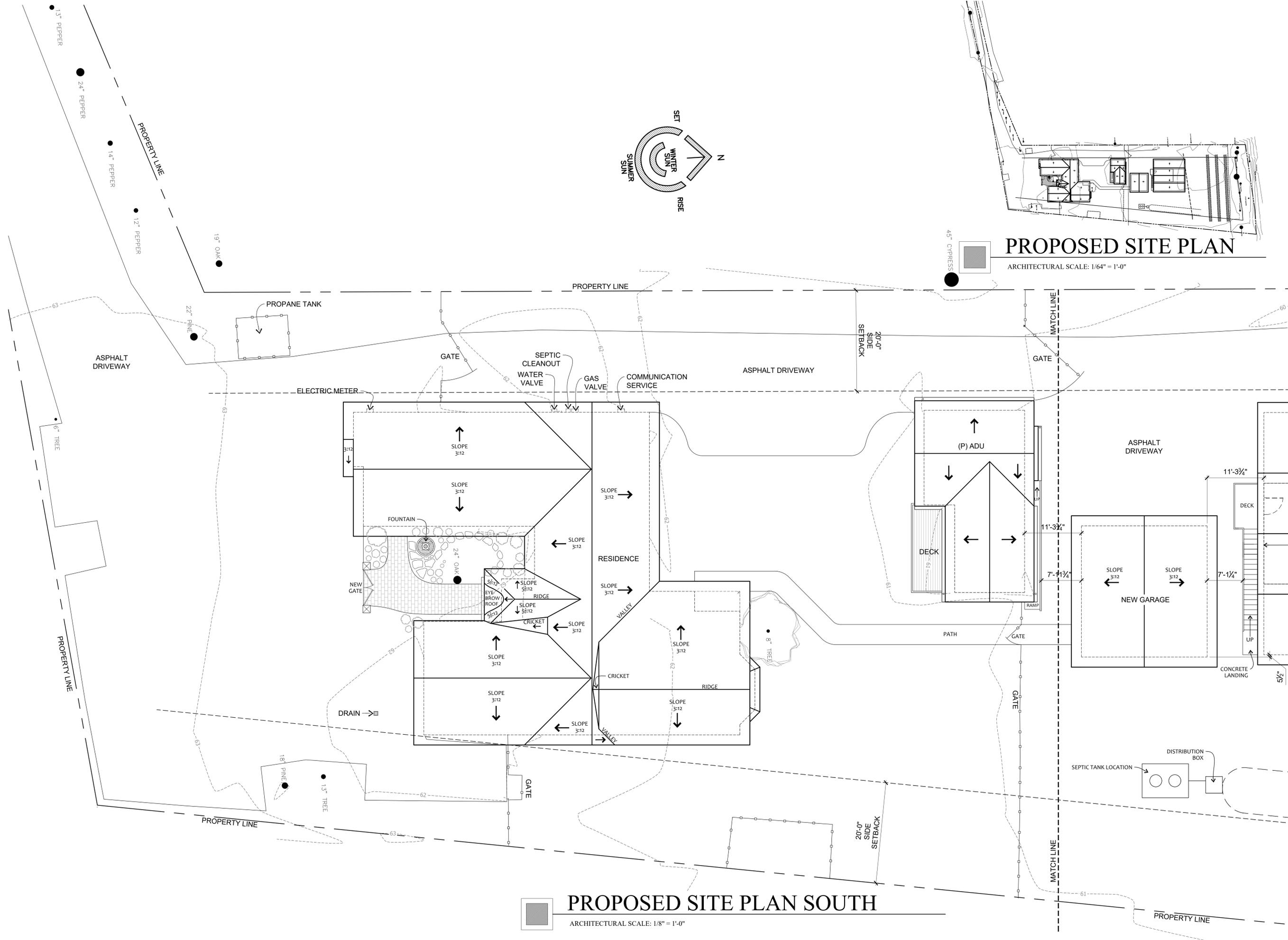
VIEW:

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SHEET NUMBER:

A-1.1

SHEET - OF - SHEETS



PROPOSED SITE PLAN

ARCHITECTURAL SCALE: 1/64" = 1'-0"

PROPOSED SITE PLAN SOUTH

ARCHITECTURAL SCALE: 1/8" = 1'-0"



Joshua Stevman

PROJECT:

GEORGE RESIDENCE

26605 BONITA WAY  
CARMEL, CA 93923

APN: 015-181-014-000

PROJECT NO:

OWNER:

BRETT AND LIZ GEORGE  
26605 BONITA WAY  
CARMEL, CA 93923

SHEET TITLE:

PROPOSED SITE PLAN  
NORTH

SCALE: NOTED

DRAWN BY: TB

PRINT DATE: July 3, 2024

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

REVISIONS:

- 1
- 2
- 3
- 4

FILE:

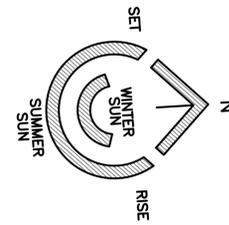
VIEW:

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SHEET NUMBER:

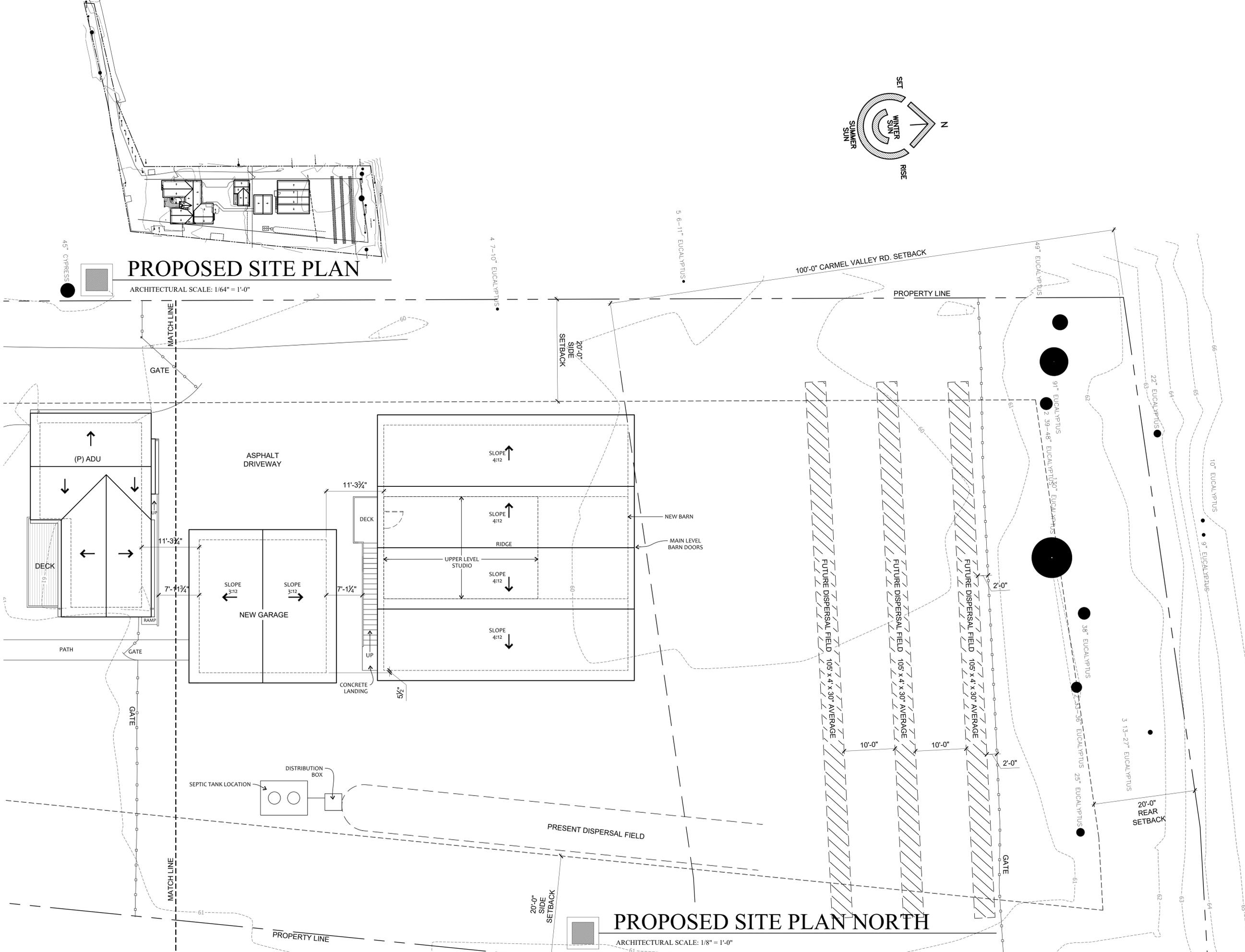
**A-1.2**

SHEET - OF - SHEETS



PROPOSED SITE PLAN

ARCHITECTURAL SCALE: 1/64" = 1'-0"



PROPOSED SITE PLAN NORTH

ARCHITECTURAL SCALE: 1/8" = 1'-0"





Joshua Stovman

PROJECT:

**GEORGE RESIDENCE**

26605 BONITA WAY  
CARMEL, CA 93923

APN: 015-181-014-000

PROJECT NO:

OWNER:

BRETT AND LIZ GEORGE  
26605 BONITA WAY  
CARMEL, CA 93923

SHEET TITLE:  
**EXISTING FLOOR PLAN**

SCALE: 1/4" = 1'-0"

DRAWN BY: TS

PRINT DATE: August 17, 2023

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

REVISIONS:

- △ -
- △ -
- △ -
- △ -
- △ -
- △ -

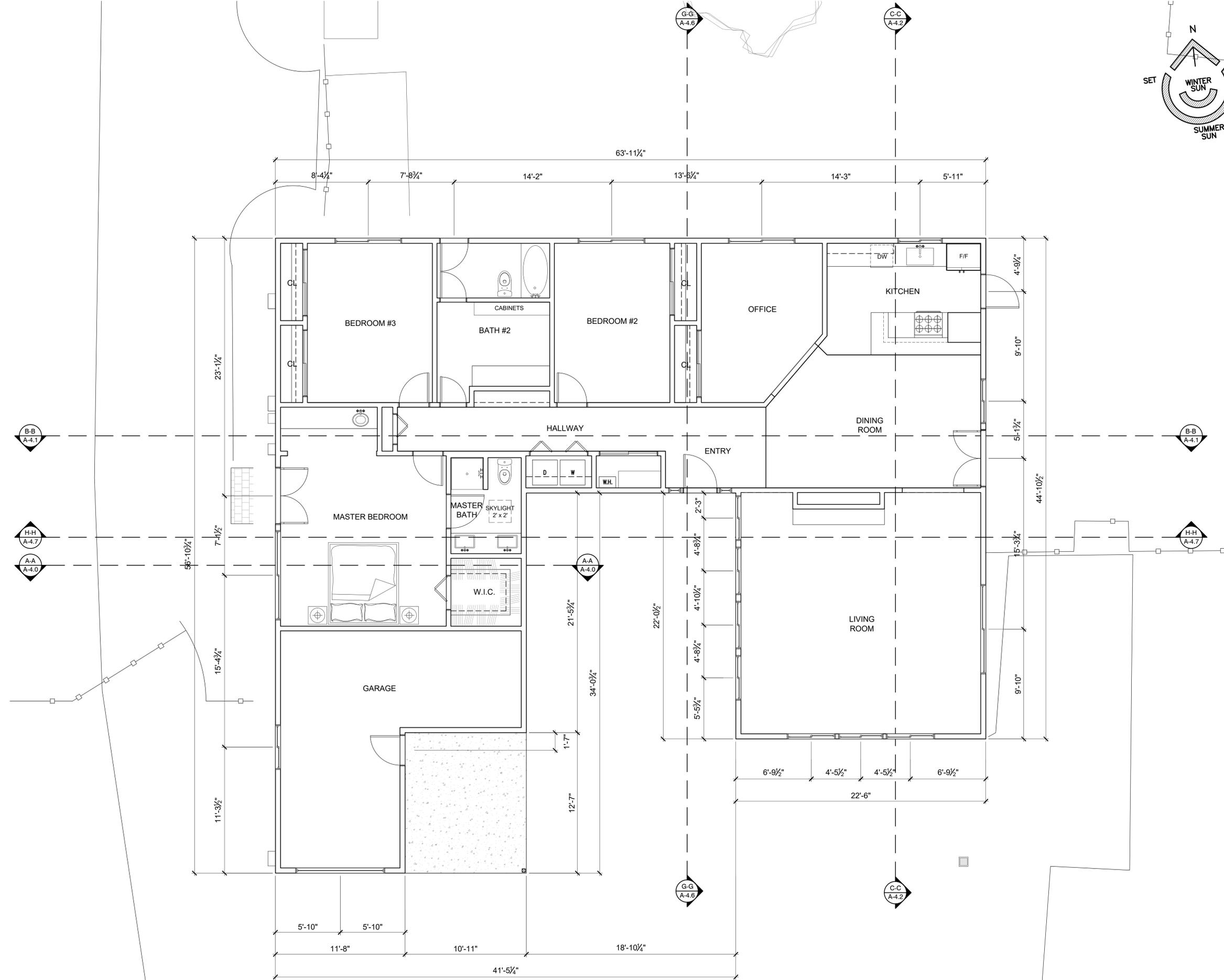
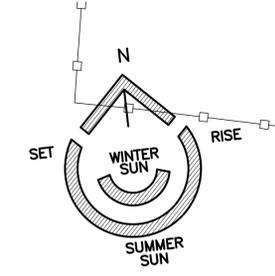
FILE: VIEW:

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SHEET NUMBER:

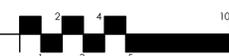
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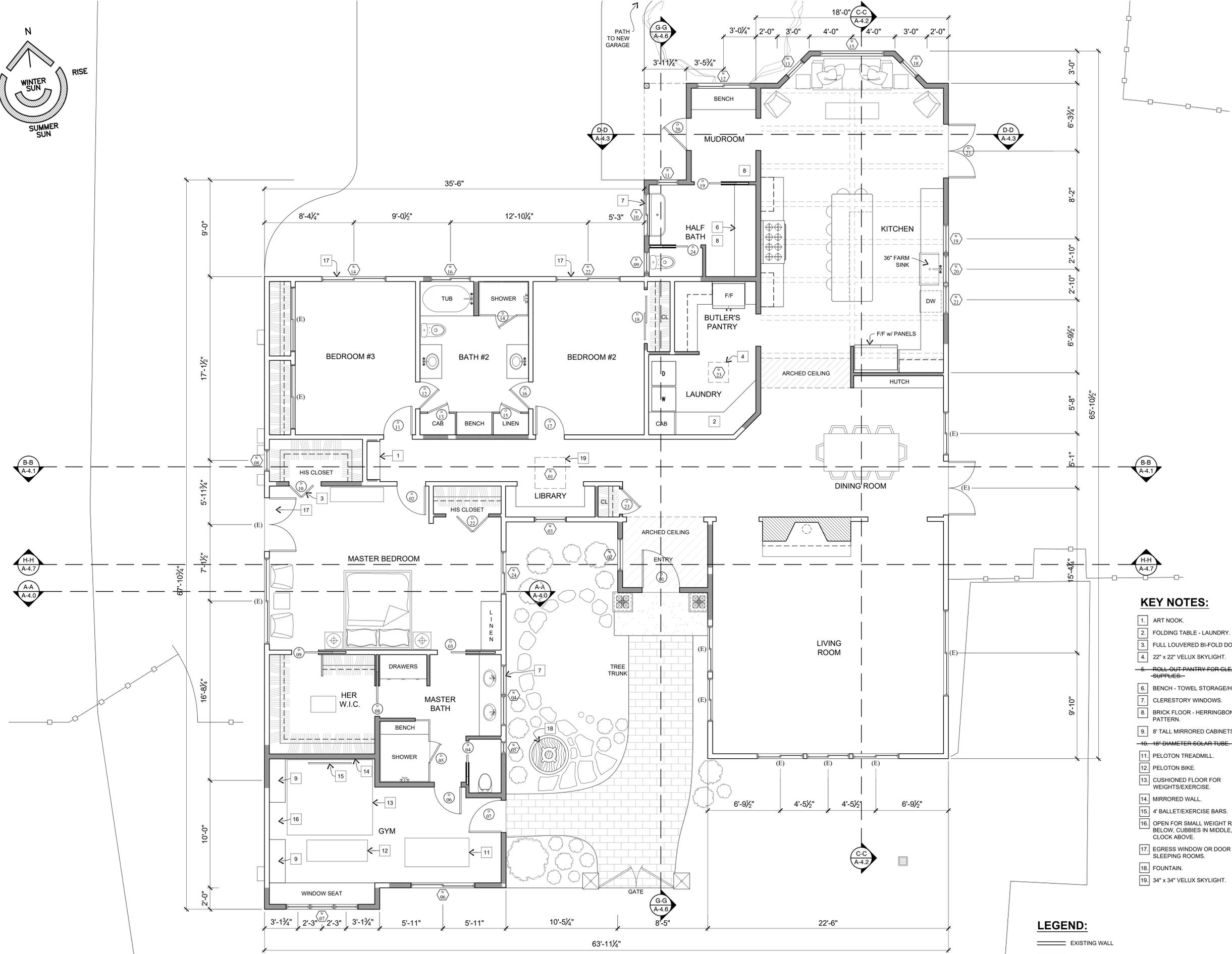
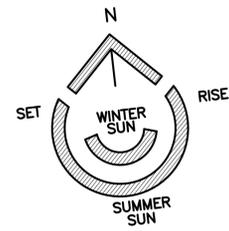
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**EXISTING FLOOR PLAN**

ARCHITECTURAL SCALE: 1/4" = 1'-0"





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PROJECT MANAGEMENT -  
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*Joshua Stawman*

PROJECT:

**GEORGE RESIDENCE**

26605 BONITA WAY  
CARMEL, CA 93923

APN: 015-181-014-000

PROJECT NO:

OWNER:  
**BRETT AND LIZ GEORGE**  
26605 BONITA WAY  
CARMEL, CA 93923

SHEET TITLE:  
**PROPOSED FLOOR PLAN**

SCALE: 1/4" = 1'-0"

DRAWN BY: TB

PRINT DATE: July 5, 2024

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

REVISIONS:

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FILE: VIEW:

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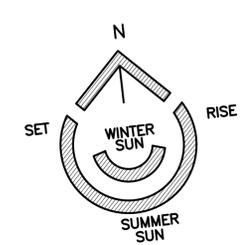
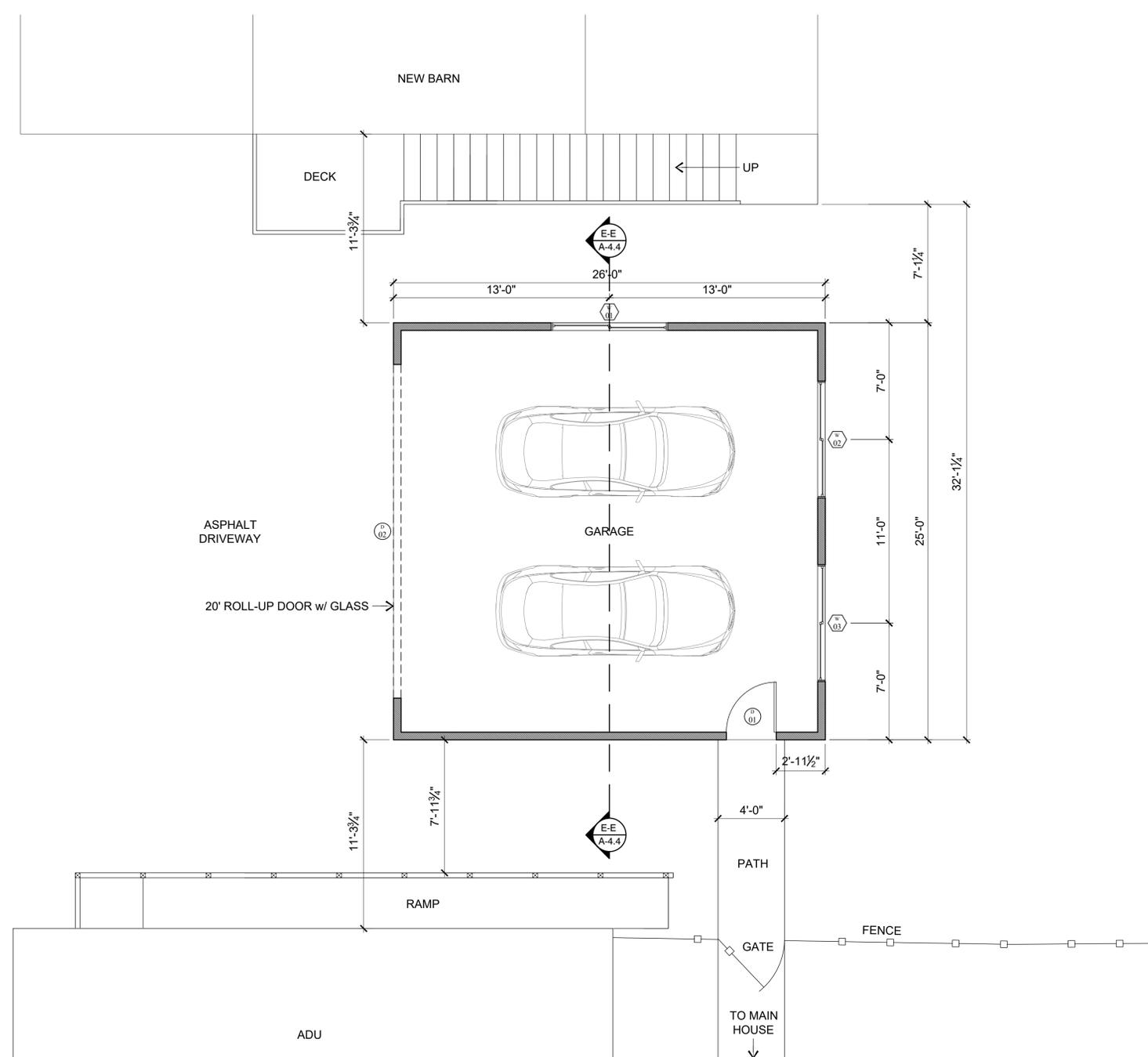
**PROPOSED FLOOR PLAN**

ARCHITECTURAL SCALE: 1/4" = 1'-0"

**LEGEND:**

- EXISTING WALL
- NEW 2x4 WALL
- NEW 2x6 WALL

- KEY NOTES:**
1. ART NOOK.
  2. FOLDING TABLE - LAUNDRY.
  3. FULL LOUVERED BI-FOLD DOORS.
  4. 22" x 22" VELUX SKYLIGHT.
  5. ~~ROLL-OUT PANTRY FOR CLEANING SUPPLIES.~~
  6. BENCH - TOWEL STORAGE/HOOKS.
  7. CLERESTORY WINDOWS.
  8. BRICK FLOOR - HERRINGBONE PATTERN.
  9. 8' TALL MIRRORED CABINETS.
  10. ~~18" DIAMETER SOLAR TUBE.~~
  11. PELOTON TREADMILL.
  12. PELOTON BIKE.
  13. CUSHIONED FLOOR FOR WEIGHTS/EXERCISE.
  14. MIRRORED WALL.
  15. 4' BALLET/EXERCISE BARS.
  16. OPEN FOR SMALL WEIGHT RACK BELOW, CUBBIES IN MIDDLE, AND CLOCK ABOVE.
  17. EGRESS WINDOW OR DOOR FOR SLEEPING ROOMS.
  18. FOUNTAIN.
  19. 34" x 34" VELUX SKYLIGHT.



**PROPOSED FLOOR PLAN - GARAGE**  
 ARCHITECTURAL SCALE: 1/4" = 1'-0"

- LEGEND:**
- EXISTING WALL
  - NEW 2x4 WALL
  - NEW 2x6 WALL

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 APN: 015-181-014-000  
 PROJECT NO:  
 OWNER:  
**BRETT AND LIZ GEORGE**  
 26605 BONITA WAY  
 CARMEL, CA 93923

SHEET TITLE:  
**PROPOSED GARAGE FLOOR PLAN**

SCALE: 1/4" = 1'-0"

DRAWN BY: TB  
 PRINT DATE: July 3, 2024  
 PLANNING PERMIT SUBMITTAL DATE: -  
 BUILDING PERMIT SUBMITTAL DATE: -  
 DATE ISSUED FOR CONSTRUCTION: -

REVISIONS:

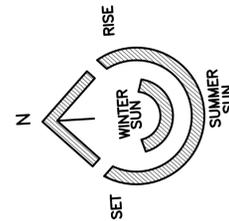
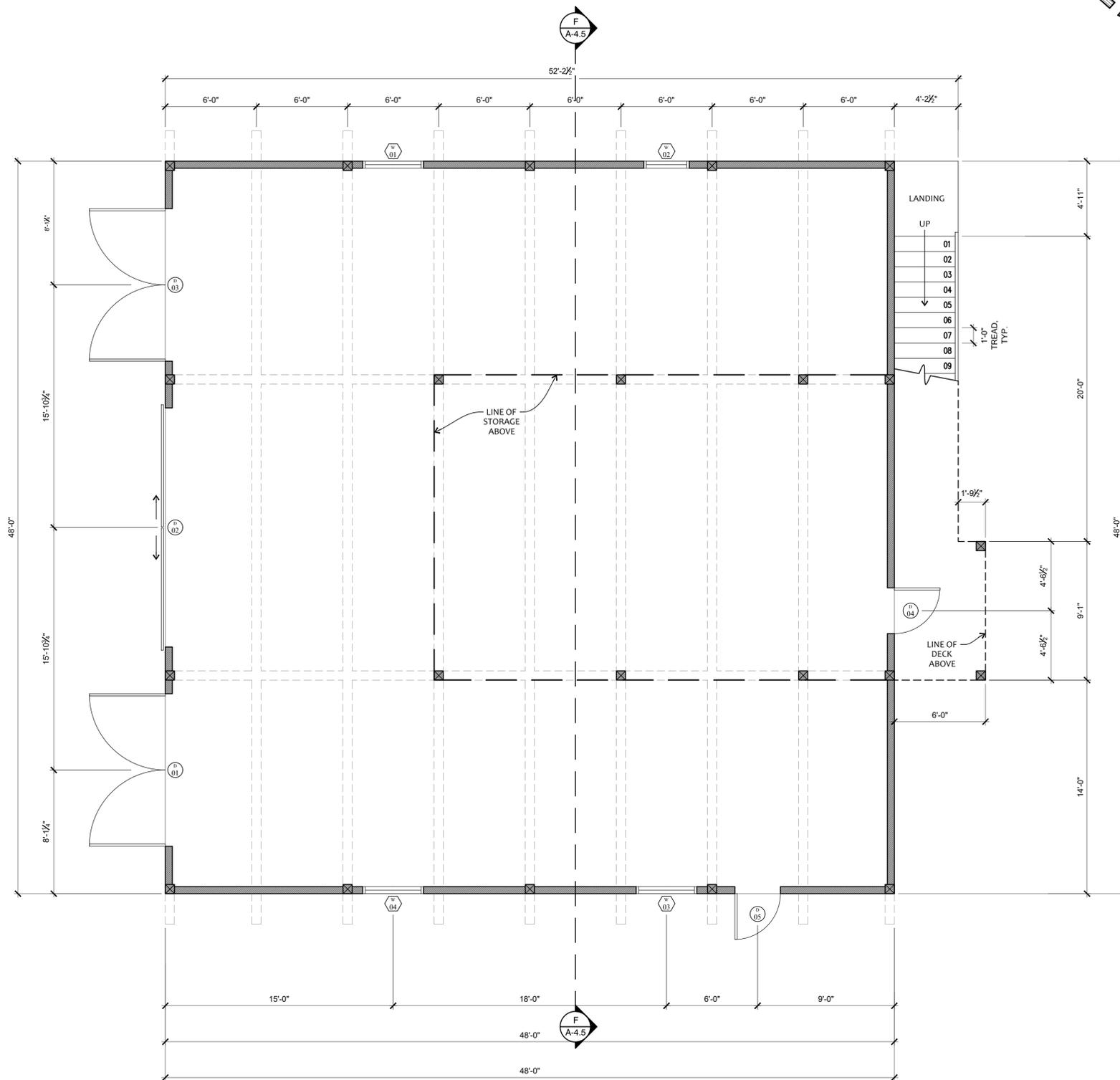
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CARMEL, CA 93923

APN: 015-181-014-000

PROJECT NO:

OWNER:  
BRETT AND LIZ GEORGE  
26605 BONITA WAY  
CARMEL, CA 93923

SHEET TITLE:

PROPOSED NEW BARN 1ST  
STORY FLOOR PLAN

SCALE: 1/4" = 1'-0"

DRAWN BY: TB

PRINT DATE: June 28, 2024

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

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LEGEND:

- NEW 2x4 WALL
- NEW 2x6 WALL

SHEET NUMBER:

**A-2.3**

SHEET - OF - SHEETS



PROPOSED FLOOR PLAN - NEW BARN 1ST STORY

ARCHITECTURAL SCALE: 1/4" = 1'-0"





PROJECT:

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APN: 015-181-014-000

PROJECT NO:

OWNER:

**BRETT AND LIZ GEORGE**  
26605 BONITA WAY  
CARMEL, CA 93923

SHEET TITLE:

**PROPOSED NEW BARN  
2ND STORY FLOOR PLAN**

SCALE: 1/4" = 1'-0"

DRAWN BY: TB

PRINT DATE: June 28, 2024

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

**KEY NOTES:**

- 1. VELUX SKYLIGHT.

**LEGEND:**

- NEW 2x4 WALL
- NEW 2x6 WALL

REVISIONS:



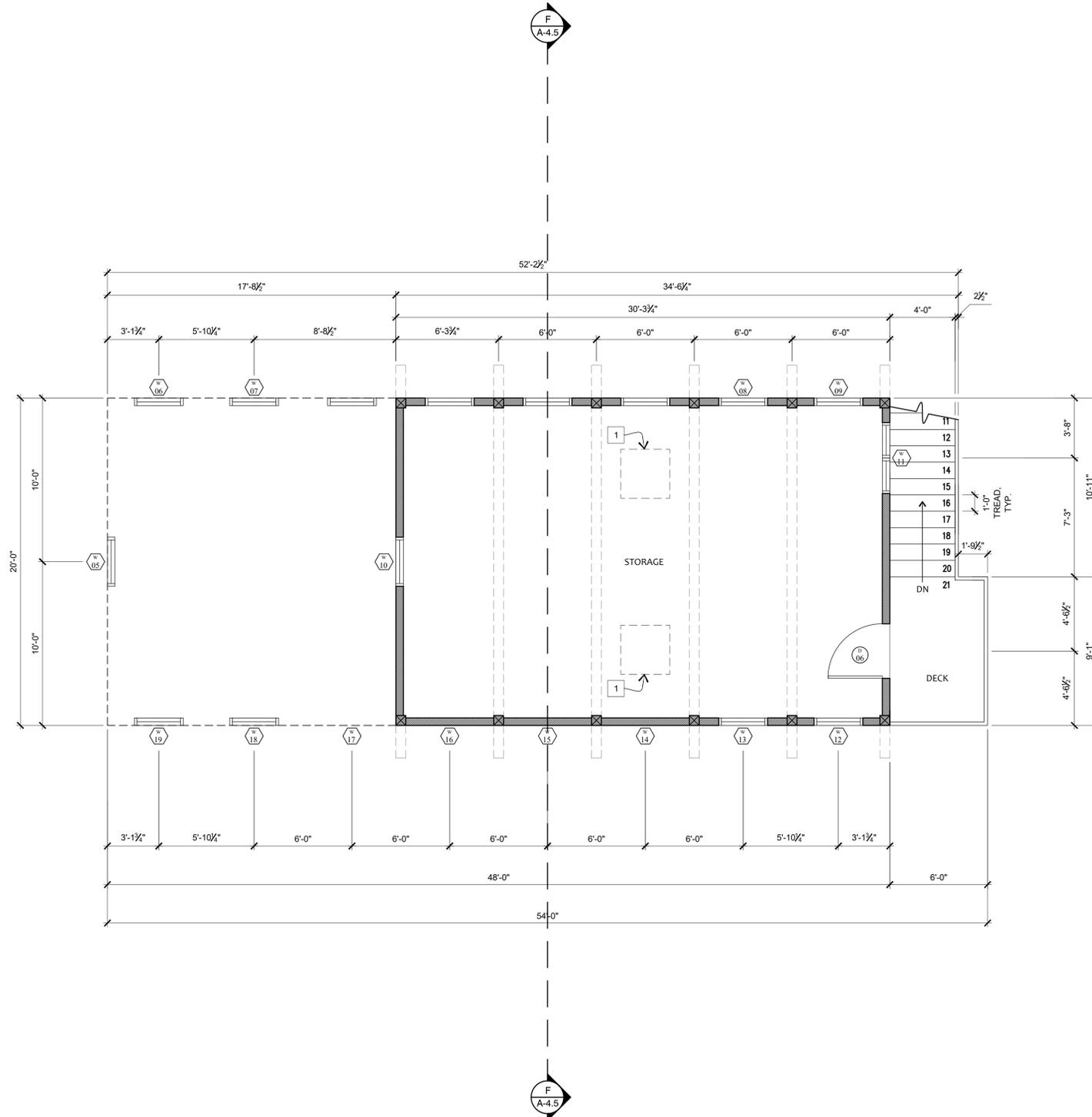
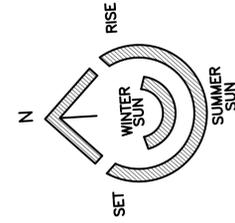
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**A-2.4**

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**PROPOSED FLOOR PLAN - NEW BARN 2ND STORY**

ARCHITECTURAL SCALE: 1/4" = 1'-0"



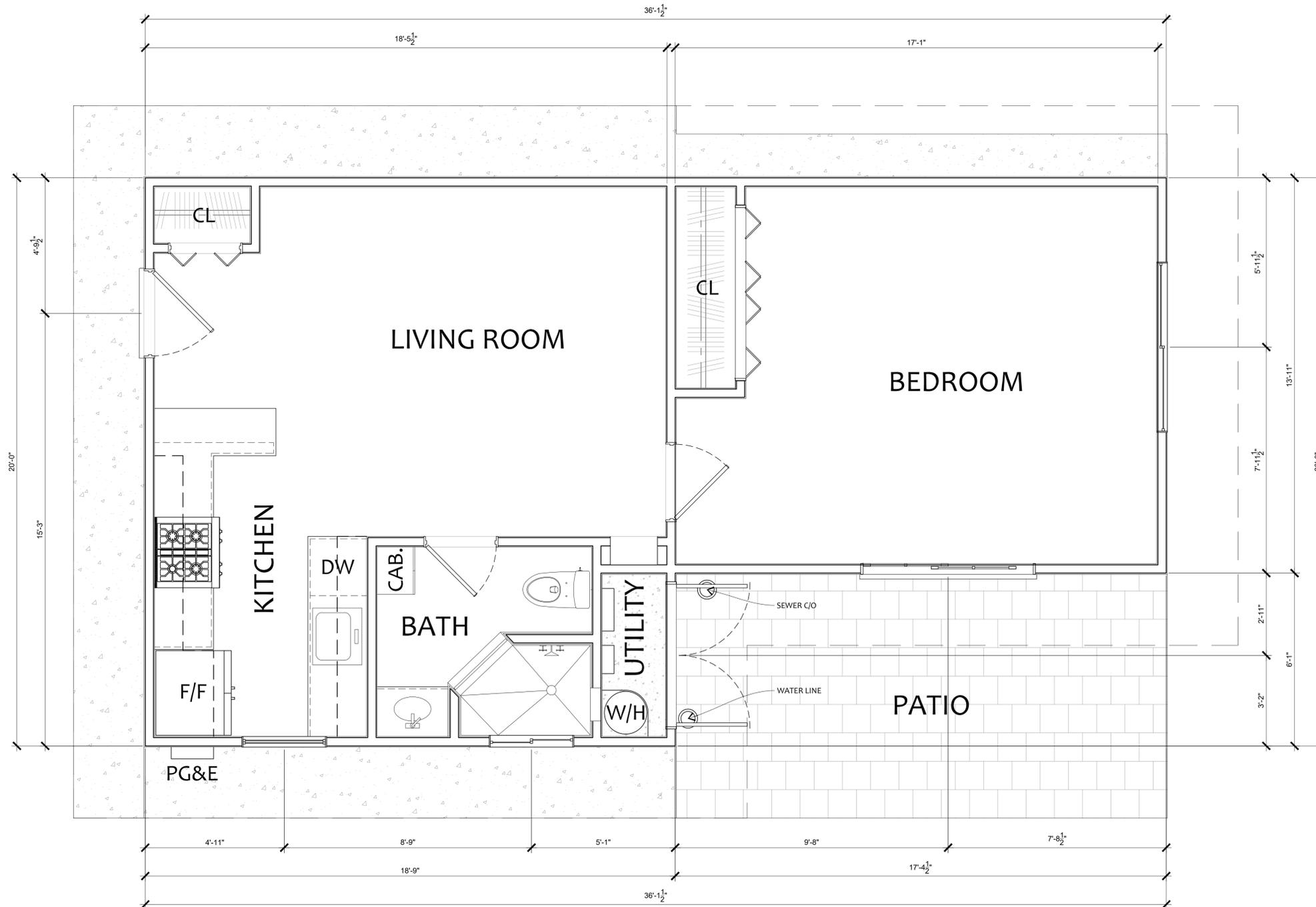
# PLAN NOTES:

SEE SHEET A-0.7 FOR GENERAL NOTES

- EMERGENCY EGRESS FOR SLEEPING ROOMS (CRC R310.1)
  - MINIMUM NET CLEAR OPENING DIM. = 24" HEIGHT
  - MINIMUM NET CLEAR OPENING DIM. = 20" WIDTH
  - MINIMUM NET CLEAR OPENING DIM. = 5.7 SF IN AREA
  - OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR.
- REQUIRED NATURAL VENTILATION OF AN OCCUPIED SPACE SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER OPENINGS TO THE OUTDOORS WITH THE MINIMUM OPEN AREA BEING 4% OF THE FLOOR AREA BEING VENTILATED.
- TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM ANY OPENING INTO THE BUILDING, WHICH MEANS THAT ITEMS SUCH AS DRYERS, BATH FANS, UTILITY FANS, ETC. MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS, OR ATTIC VENTS. [CMC 502.2.1]
- PLUMBING -- PROVIDE A BACKWATER VALVE, APPROVED FRESH AIR INLET AND A "Y" BRANCH OR COMBINATION FITTING INSTALLED IN SEQUENCE IN LINE OF FLOW FROM BUILDING. [PGMC 18.04.010(d)]
- PLUMBING -- ALL PLUMBING FIXTURES IN RESIDENCE WILL HAVE TO BE BROUGHT INTO COMPLIANCE. REPLACEMENT COMPLIANT FIXTURES:  
 WC = 1.28 GALLONS/FLUSH  
 SHOWERHEADS = 1.8 GALLONS/MINUTE  
 KITCHEN FAUCET = 1.8 GALLONS/MINUTE  
 LAVATORY FAUCETS = 1.2 GALLONS/MINUTE
- STAIRS -  
 MIN. CLR. WIDTH OF 36"  
 STAIR RISERS NOT TO EXCEED A RISE OF 7'-3/4"  
 STAIR RISERS NOT TO EXCEED 3/8" DIFFERENCE BETWEEN EACH RISER.  
 STAIR TREADS SHALL NOT BE LESS THAN 10" DEEP WITH 3/4" NOSING; OR MIN. 10-3/4" AND HAVE A MAX. SLOPE OF 1:48 (2%).  
 MIN. HEAD ROOM CLEARANCE OF 6'-8"  
 FIRE-BLOCK CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. [R302.11 #3]  
 APPLY 5/8" TYPE 'X' GYP BD. TO UNDERSIDE OF STAIR FRAMING, TYP.

# KEY NOTES:

- WATER CLOSET (WC) : MINIMUM CLEAR WIDTH OF 36" (15" EACH SIDE FROM CENTER) AND 24" CLEAR FROM FRONT, PER CPC 402.5. EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS PER FLUSH (BSC-CG 4.303.1.1).
- LAVATORY: MAX. FLOW RATE OF LAVATORY FAUCET SHALL NOT EXCEED 1.5 GPM @ 60 PSI. MIN. FLOW RATE SHALL NOT BE LESS THAN 0.8 GPM @ 20 PSI. (BSC-CG 4.303.1.4.1).
- SHOWER: SHOWER AND TUB-SHOWER COMBINATIONS SHALL HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE PER (CPC 418.0)
- SHOWER HEAD: FINISH HT TO BE MIN. 72" ABOVE THE DRAIN INLET. SHOWERHEADS SHALL HAVE A MAX. FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. (BSC-CG 4.303.1.3.1). NOTE: A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINATION FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE, SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT ONE TIME. (BSC-CG 4.303.1.3.2).
- TILE SURROUND: INSTALL TILE OVER 1/2" CONCRETE BACKER BOARD, HARD-BACKER OR EQ. PROVIDE "WR" GYP BOARD AT WALL PANELS. WHERE WOOD FRAMED WALLS ARE SUBJECT TO SPLASH, PROTECT FRAMING WITH AN APPROVED MOISTURE BARRIER PER CBC.
- SHOWER/TUB SURROUND: TEMPERED GLAZING PER (CRC R308.4)
- BATHROOM WINDOW: TO BE TEMPERED IF IT IS LESS THAN 60" HORIZONTAL OR VERTICAL FROM STANDING SURFACE OF THE TUB OR SHOWER (CRC 308.4.5).
- KITCHEN SINK & FAUCET: THE MAX. FLOW RATE SHALL NOT EXCEED 1.8 GPM @ 60 PSI (BSC-CG 4.303.1.4.4).
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- 



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*Joshua Stewman*  
 SIGNATURE:  
 DESIGNER: JOSHUA STEWMAN

PROJECT:

**GEORGE RESIDENCE**

26605 BONITA WAY  
 CARMEL, CA 93923

APN: 015-181-014-000

PROJECT NO: --

OWNER:

**BRET & LIZ GEORGE**  
 26605 BONITA WAY  
 CARMEL, CA 93923

SHEET TITLE:  
**EXISTING ADU FLOOR PLAN**

SCALE: 1/2" = 1'-0"

DRAWN BY: TOM STEWMAN

PRINT DATE: 6/5/2024 3:36 PM

PLANNING PERMIT SUBMITTAL DATE: DATE

BUILDING PERMIT SUBMITTAL DATE: DATE

DATE ISSUED FOR CONSTRUCTION: DATE

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SHEET NUMBER:

**A-2.5**

SHEET \_\_\_ OF \_\_\_ SHEETS

PO BOX 7012 • SPRECKELS, CALIFORNIA 93962  
 TEL 931-920-8814 • joshua@homelifedesignstudio.com

PLOT DATE: 6/5/2024 3:36 PM

# EXISTING FLOOR PLAN

ARCHITECTURAL SCALE: 1/2" = 1'-0"



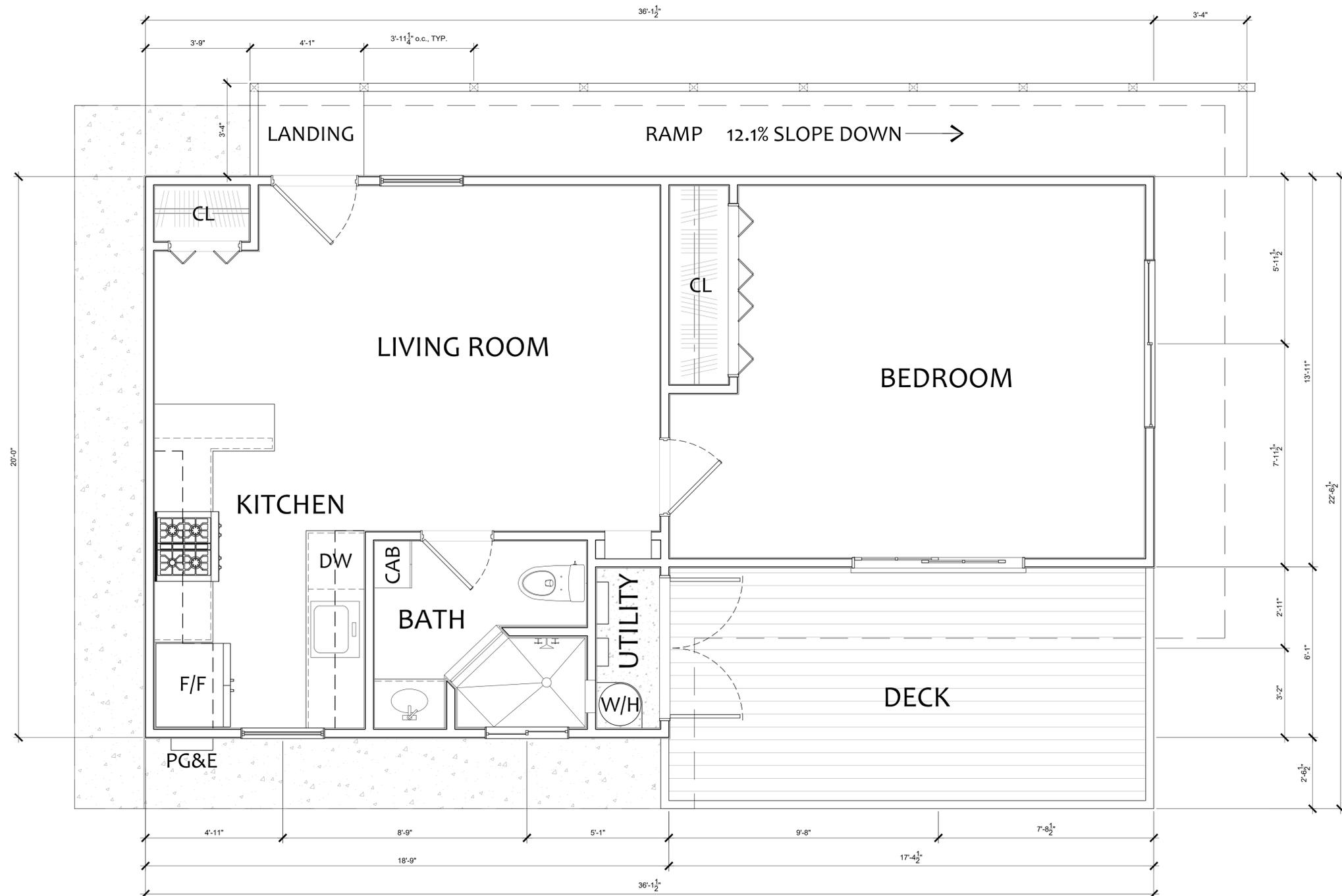
# PLAN NOTES:

SEE SHEET A-0.7 FOR GENERAL NOTES

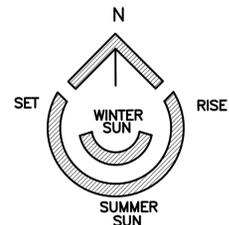
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 STAIR RISERS NOT TO EXCEED 3/8" DIFFERENCE BETWEEN EACH RISER.  
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# KEY NOTES:

- WATER CLOSET (WC) : MINIMUM CLEAR WIDTH OF 36" (15" EACH SIDE FROM CENTER) AND 24" CLEAR FROM FRONT, PER CPC 402.5. EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS PER FLUSH (BSC-CG 4.303.1.1).
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- 



**PROPOSED FLOOR PLAN**  
 ARCHITECTURAL SCALE: 1/2" = 1'-0"



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PROJECT:  
 SIGNATURE: *Joshua Stewman*  
 DESIGNER: JOSHUA STEWMAN

PROJECT:  
**GEORGE RESIDENCE**  
 26605 BONITA WAY  
 CARMEL, CA 93923  
 APN: 015-181-014-000  
 PROJECT NO: --  
 OWNER:  
**BRET & LIZ GEORGE**  
 26605 BONITA WAY  
 CARMEL, CA 93923

SHEET TITLE:  
**PROPOSED ADU FLOOR PLAN**

SCALE: 1/2" = 1'-0"

DRAWN BY: TOM STEWMAN  
 PRINT DATE: 6/28/2024 12:42 PM  
 PLANNING PERMIT SUBMITTAL DATE: DATE  
 BUILDING PERMIT SUBMITTAL DATE: DATE  
 DATE ISSUED FOR CONSTRUCTION: DATE

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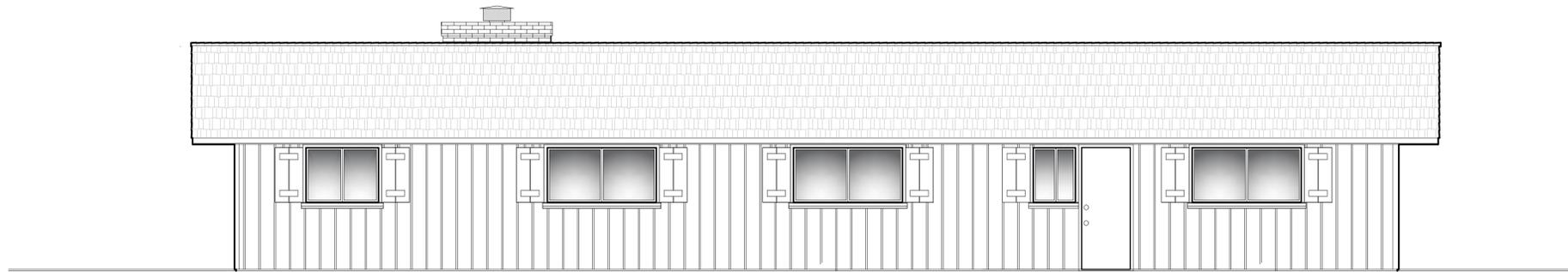
SHEET NUMBER:

**A-2.6**

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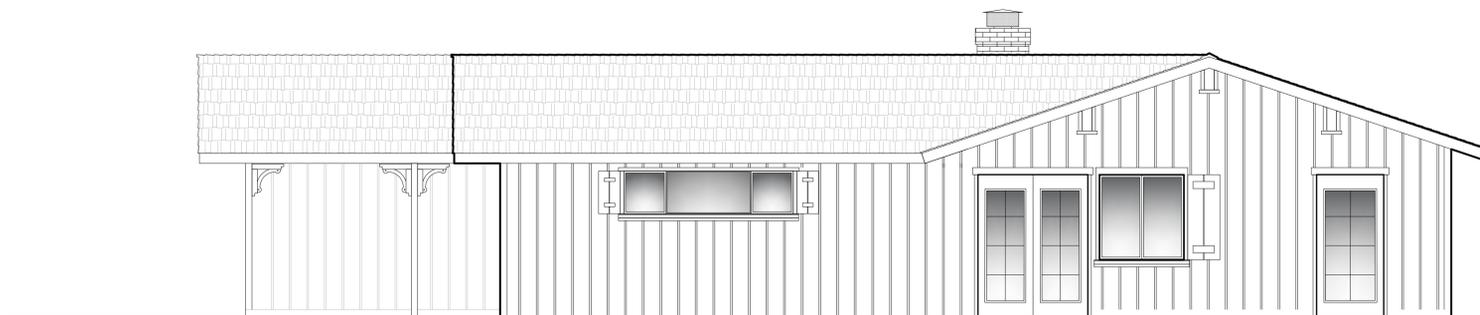
PO BOX 7012 • SPRECKELS, CALIFORNIA 93962  
 TEL 931-920-8814 • joshua@homelifedesignstudio.com

PLOT DATE: 6/28/2024 12:42 PM



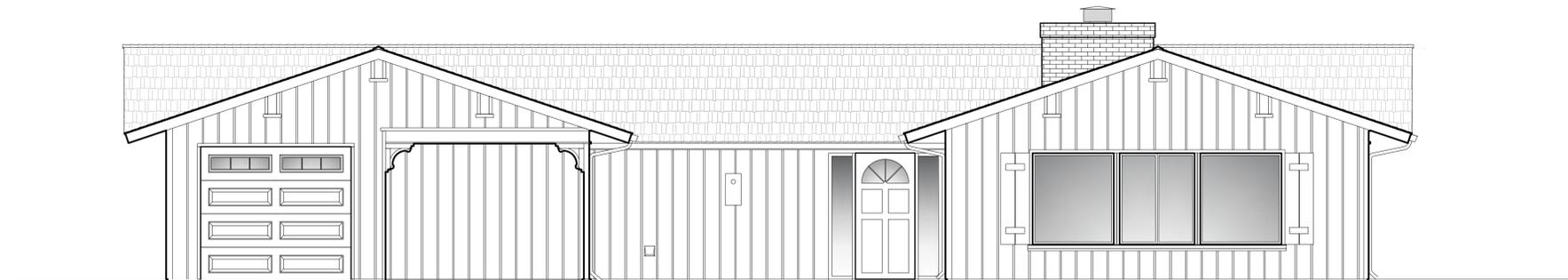
EXISTING NORTH ELEVATION

ARCHITECTURAL SCALE: 1/4" = 1'-0"



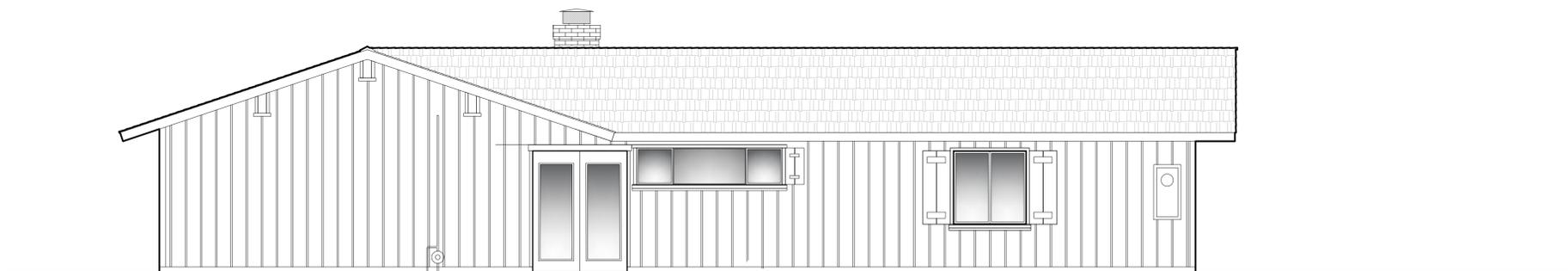
EXISTING EAST ELEVATION

ARCHITECTURAL SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION

ARCHITECTURAL SCALE: 1/4" = 1'-0"



EXISTING WEST ELEVATION

ARCHITECTURAL SCALE: 1/4" = 1'-0"



PROJECT:

**GEORGE RESIDENCE**

26605 BONITA WAY  
CARMEL, CA 93923

APN: 015-181-014-000

PROJECT NO:

OWNER:  
**BRETT AND LIZ GEORGE**  
26605 BONITA WAY  
CARMEL, CA 93923

SHEET TITLE:  
**EXISTING EXTERIOR ELEVATIONS**

SCALE: 1/4" = 1'-0"

DRAWN BY: TS

PRINT DATE: 11-3-2021

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

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**GEORGE RESIDENCE**

26605 BONITA WAY  
CARMEL, CA 93923

APN: 015-181-014-000

PROJECT NO:

OWNER:

**BRETT AND LIZ GEORGE**  
26605 BONITA WAY  
CARMEL, CA 93923

SHEET TITLE:

**PROPOSED EXTERIOR ELEVATIONS**

SCALE: 1/4" = 1'-0"

DRAWN BY: TB

PRINT DATE: January 30, 2024

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

REVISIONS:

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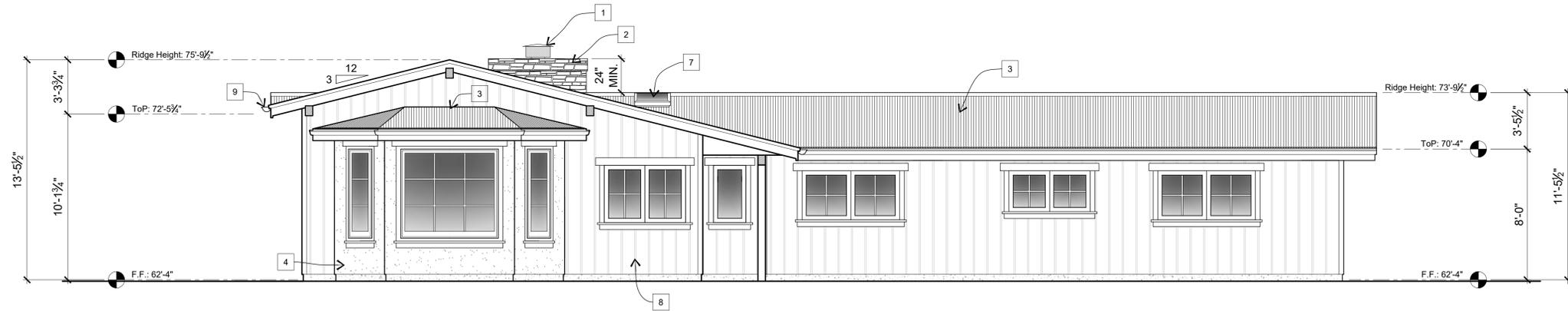
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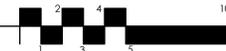
**A-3.1**

SHEET - OF - SHEETS



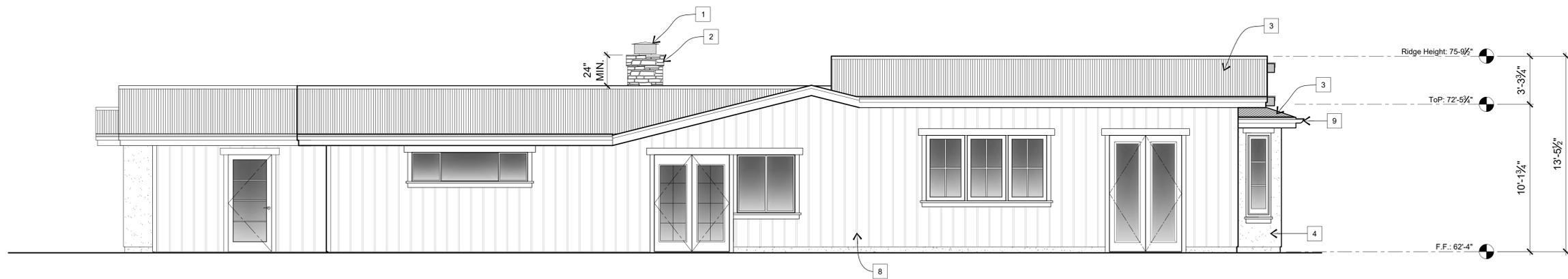
**PROPOSED NORTH ELEVATION**

ARCHITECTURAL SCALE: 1/4" = 1'-0"



**KEY NOTES:**

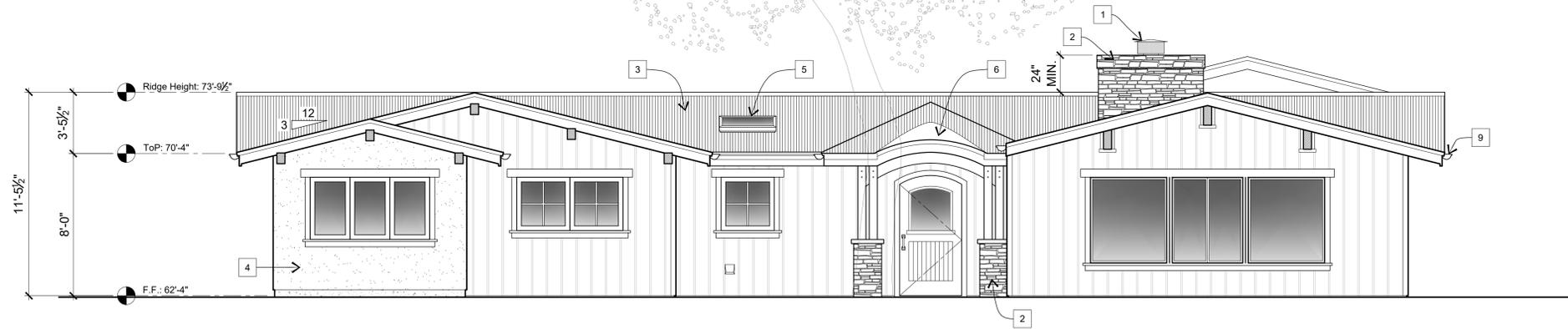
1. CHIMNEY SPARK ARRESTER.
2. NEW FOND DU LAC STONE VENEER.
3. NEW CORRUGATED METAL ROOF - CLASS "A" FIRE RATED.
4. HARD-TROWELLED STUCCO @ BUMP-OUT.
5. 34" x 34" VELUX SKYLIGHT.
6. CURVED EYEBROW ROOF WITH ARCHED INTERIOR CEILING.
7. 22" x 22" VELUX SKYLIGHT.
8. BOARD + BATT SIDING TO MATCH EXISTING SIDING.
9. 6" ROUND COPPER GUTTERS.



**PROPOSED EAST ELEVATION**

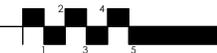
ARCHITECTURAL SCALE: 1/4" = 1'-0"





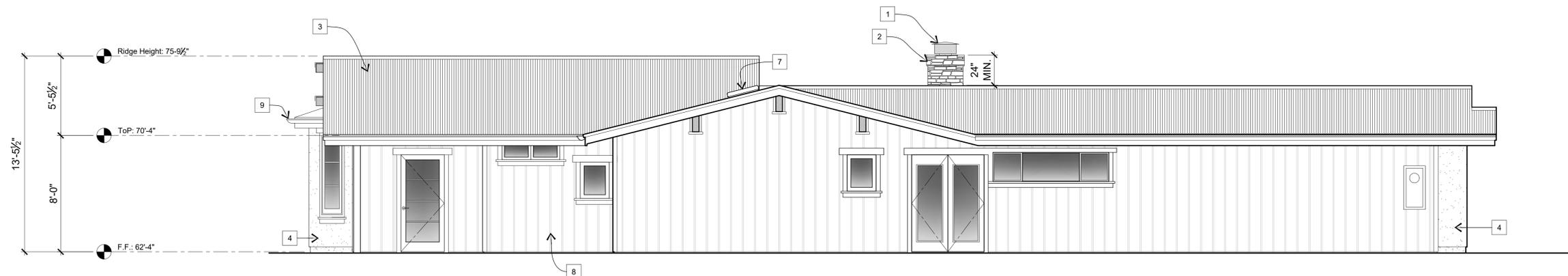
## PROPOSED SOUTH ELEVATION

ARCHITECTURAL SCALE: 1/4" = 1'-0"



### KEY NOTES:

1. CHIMNEY SPARK ARRESTER.
2. NEW FOND DU LAC STONE VENEER.
3. NEW CORRUGATED METAL ROOF - CLASS "A" FIRE RATED.
4. HARD-TROWELLED STUCCO @ BUMPOUT.
5. 34" x 34" VELUX SKYLIGHT.
6. CURVED EYEBROW ROOF WITH ARCHED INTERIOR CEILING.
7. 22" x 22" VELUX SKYLIGHT.
8. BOARD + BATT SIDING TO MATCH EXISTING SIDING.
9. 6" ROUND COPPER GUTTERS.



## PROPOSED WEST ELEVATION

ARCHITECTURAL SCALE: 1/4" = 1'-0"



PROJECT:

## GEORGE RESIDENCE

26605 BONITA WAY  
CARMEL, CA 93923

APN: 015-181-014-000

PROJECT NO:

OWNER:

**BRETT AND LIZ GEORGE**  
26605 BONITA WAY  
CARMEL, CA 93923

SHEET TITLE:

**PROPOSED EXTERIOR  
ELEVATIONS**

SCALE: 1/4" = 1'-0"

DRAWN BY: TB

PRINT DATE: January 30, 2024

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

REVISIONS:



FILE:

VIEW:

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# A-3.2

SHEET - OF - SHEETS



PROJECT:

**GEORGE RESIDENCE**

26605 BONITA WAY  
CARMEL, CA 93923

APN: 015-181-014-000

PROJECT NO:

OWNER:

**BRETT AND LIZ GEORGE**  
26605 BONITA WAY  
CARMEL, CA 93923

SHEET TITLE:

**PROPOSED GARAGE  
EXTERIOR ELEVATIONS**

SCALE: 1/4" = 1'-0"

DRAWN BY: TB

PRINT DATE: August 2, 2024

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

REVISIONS:



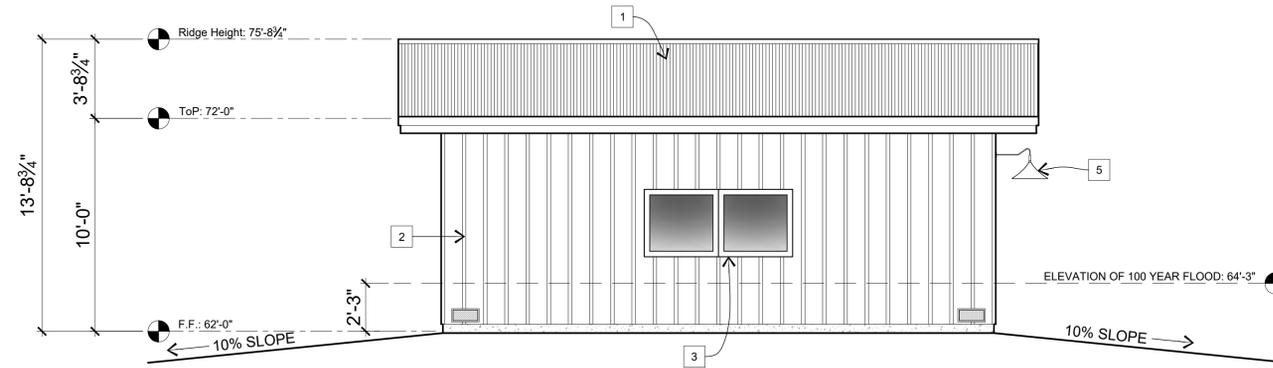
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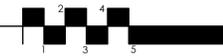
**A-3.3**

SHEET - OF - SHEETS



**PROPOSED NORTH ELEVATION - GARAGE**

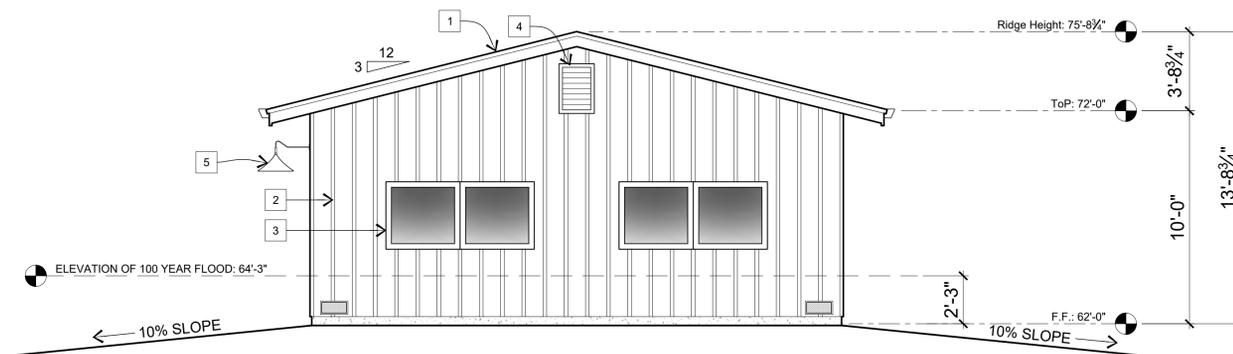
ARCHITECTURAL SCALE: 1/4" = 1'-0"



**KEY NOTES:**

- 1. CORRUGATED METAL ROOFING - CLASS "A" FIRE RATED.
- 2. BOARD & BATT SIDING TO MATCH MAIN HOUSE.
- 3. NEW MILGARD WINDOWS.
- 4. LOUVERED GABLE VENT.
- 5. BARN LIGHTS WITH WP & DARK SKY STANDARDS.

\*ALL CONSTRUCTION TO MEET WUI STANDARDS.



**PROPOSED EAST ELEVATION - GARAGE**

ARCHITECTURAL SCALE: 1/4" = 1'-0"





PROJECT:

**GEORGE RESIDENCE**

26605 BONITA WAY  
CARMEL, CA 93923

APN: 015-181-014-000

PROJECT NO:

OWNER:

**BRETT AND LIZ GEORGE**  
26605 BONITA WAY  
CARMEL, CA 93923

SHEET TITLE:

**PROPOSED GARAGE  
EXTERIOR ELEVATIONS**

SCALE: 1/4" = 1'-0"

DRAWN BY: TB

PRINT DATE: August 2, 2024

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

REVISIONS:

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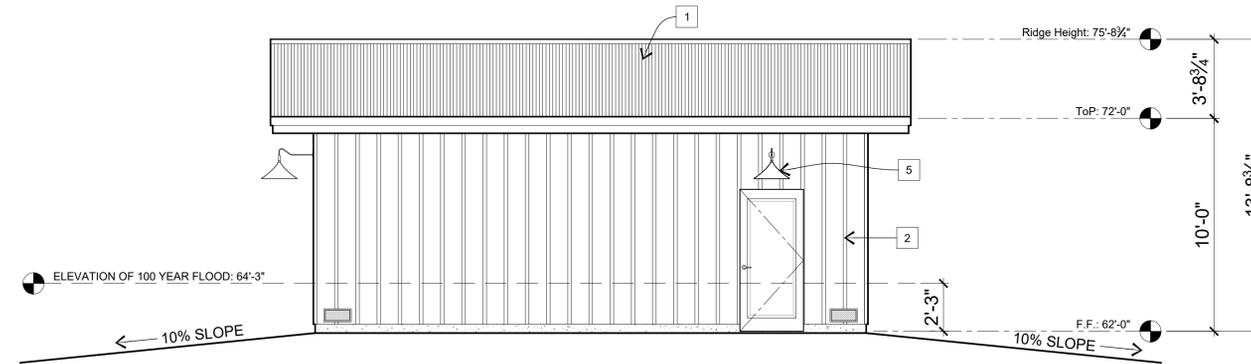
FILE: VIEW:

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SHEET NUMBER:

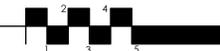
**A-3.4**

SHEET - OF - SHEETS



**PROPOSED SOUTH ELEVATION - GARAGE**

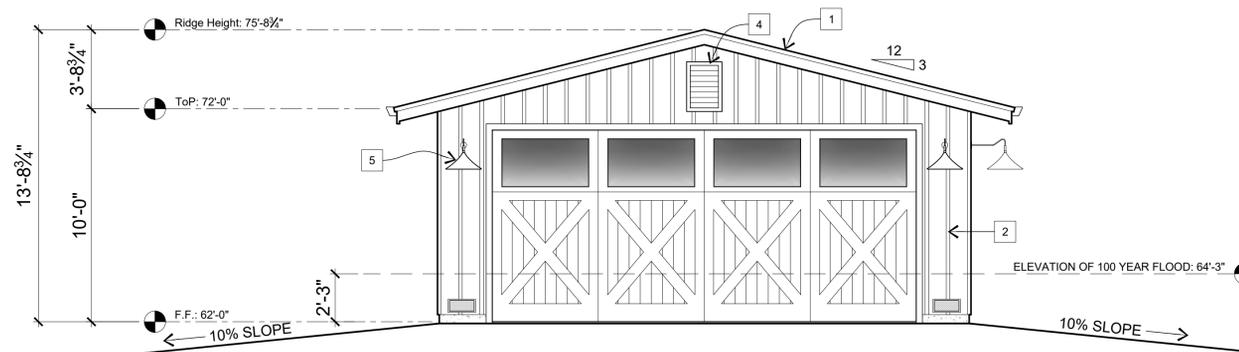
ARCHITECTURAL SCALE: 1/4" = 1'-0"



**KEY NOTES:**

- 1. CORRUGATED METAL ROOFING - CLASS "A" FIRE RATED.
- 2. BOARD & BATT SIDING TO MATCH MAIN HOUSE.
- 3. NEW MILGARD WINDOWS.
- 4. LOUVERED GABLE VENT.
- 5. BARN LIGHTS WITH WP & DARK SKY STANDARDS.

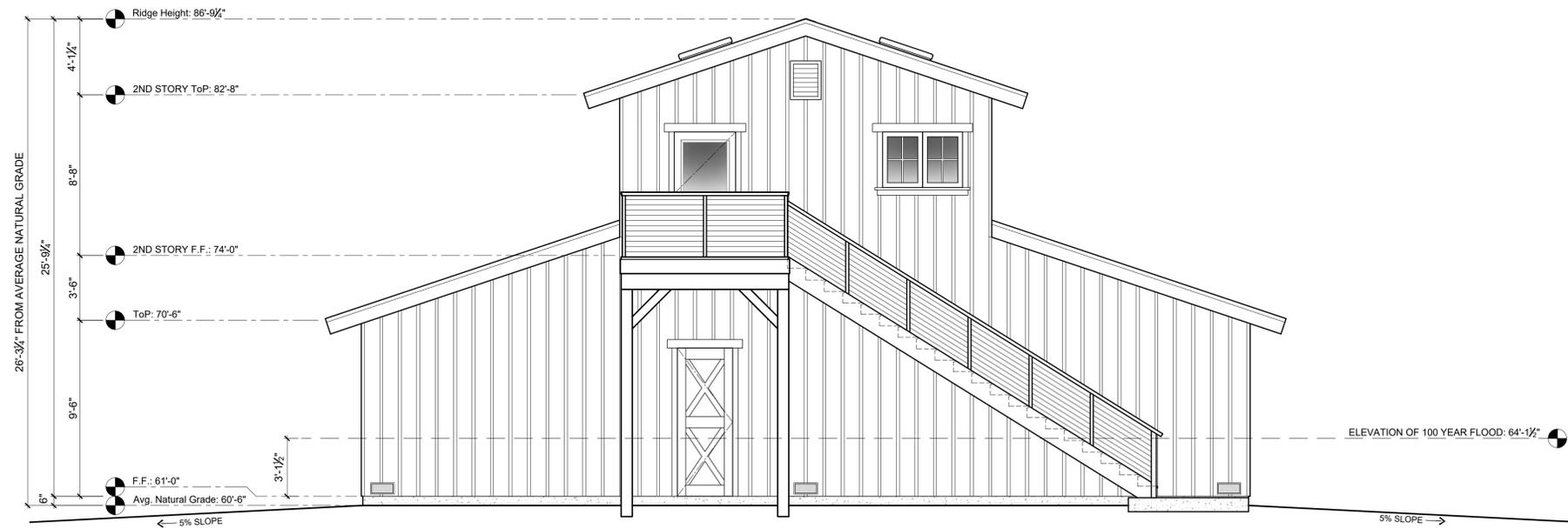
\*ALL CONSTRUCTION TO MEET WUI STANDARDS.



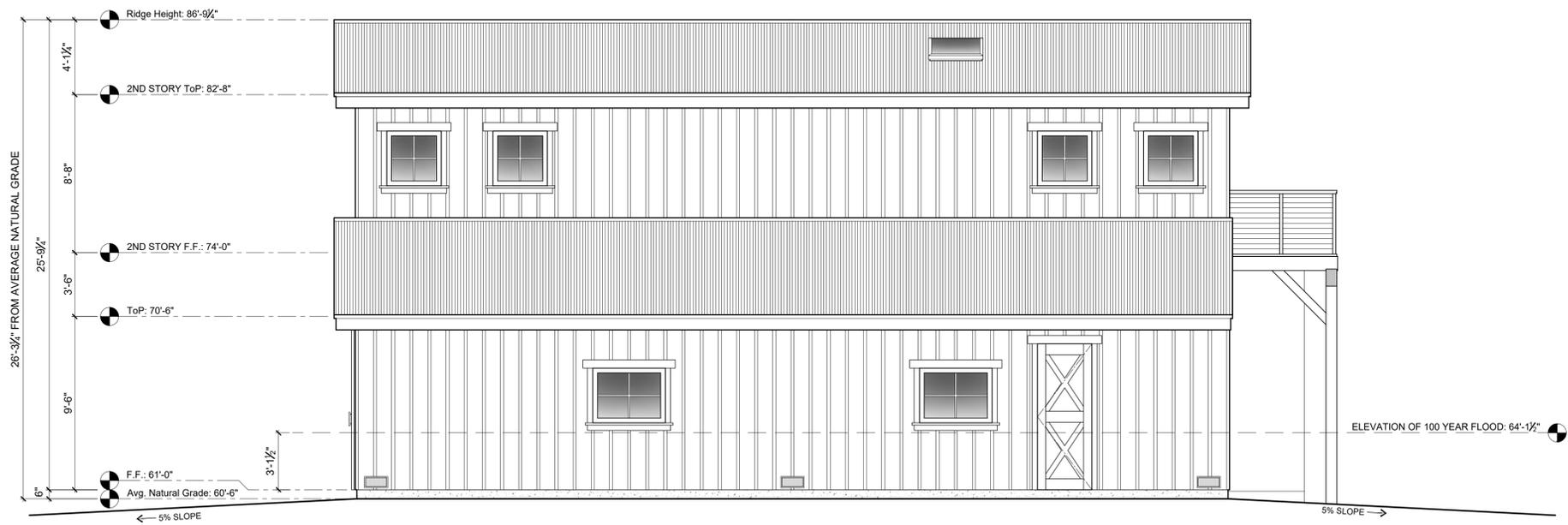
**PROPOSED WEST ELEVATION - GARAGE**

ARCHITECTURAL SCALE: 1/4" = 1'-0"





**PROPOSED SOUTH ELEVATION - NEW BARN**  
 ARCHITECTURAL SCALE: 1/4" = 1'-0"



**PROPOSED WEST ELEVATION - NEW BARN**  
 ARCHITECTURAL SCALE: 1/4" = 1'-0"

**HOMELIFE DESIGN STUDIO**

**HOMELIFE DESIGN STUDIO**  
 RESIDENTIAL DESIGN - LEED AP  
 PROJECT MANAGEMENT -  
 www.homelifedesignstudio.com  
 (831) 920-8814

*Joshua Stewman*

PROJECT:

**GEORGE RESIDENCE**  
 26605 BONITA WAY  
 CARMEL, CA 93923

APN: 015-181-014-000  
 PROJECT NO:  
 OWNER:  
**BRETT AND LIZ GEORGE**  
 26605 BONITA WAY  
 CARMEL, CA 93923

SHEET TITLE:  
**PROPOSED EXTERIOR ELEVATIONS - NEW BARN**

SCALE: 1/4" = 1'-0"

DRAWN BY: TB  
 PRINT DATE: August 2, 2024  
 PLANNING PERMIT SUBMITTAL DATE: -  
 BUILDING PERMIT SUBMITTAL DATE: -  
 DATE ISSUED FOR CONSTRUCTION: -

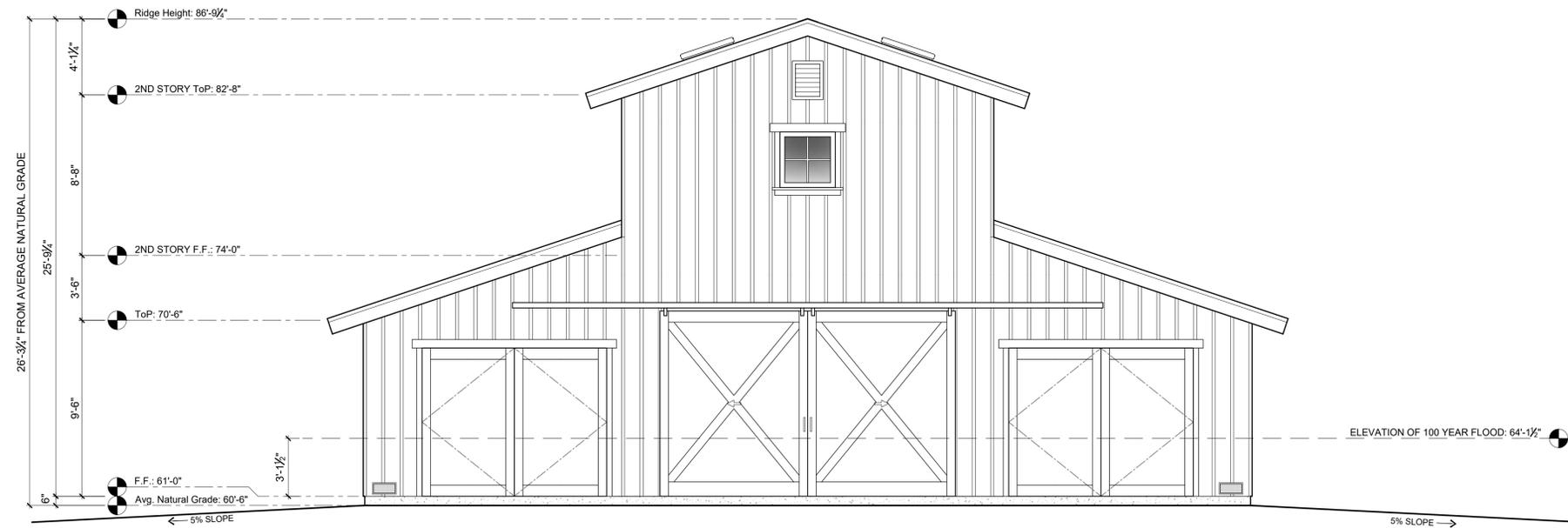
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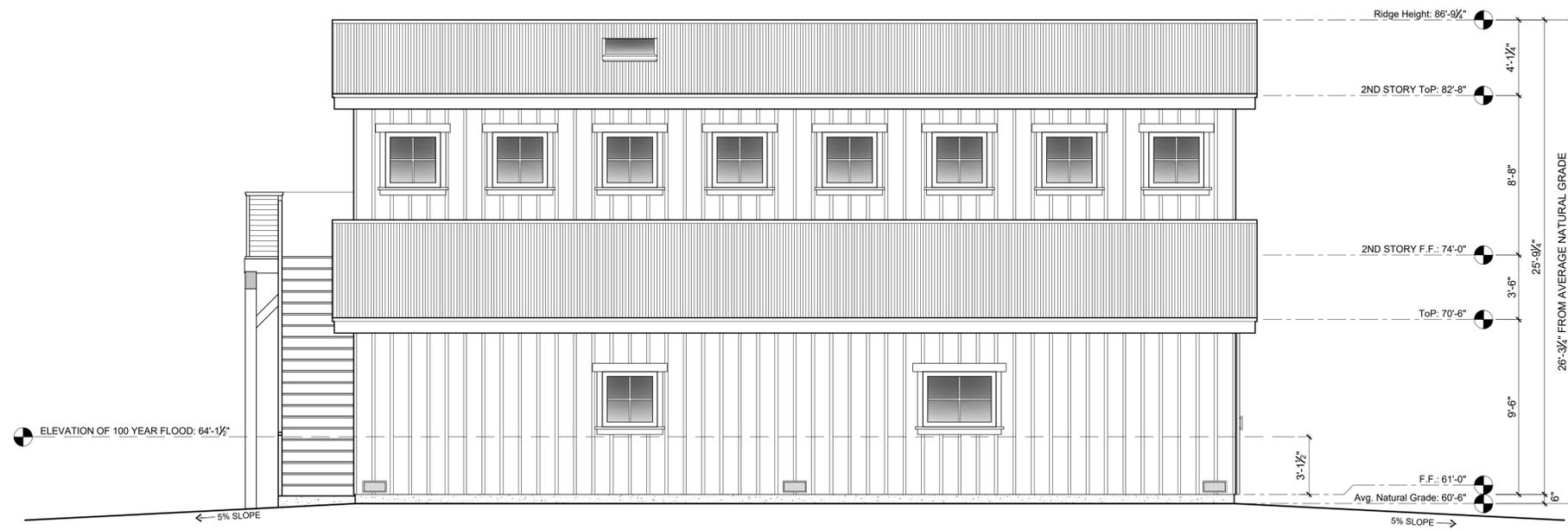
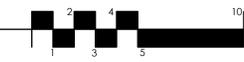
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**A-3.5**  
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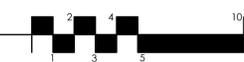
PO BOX 7012 • SPRECKELS, CALIFORNIA 93962  
 TEL 831-920-8814 • joshua@homelifedesignstudio.com



**PROPOSED NORTH ELEVATION - NEW BARN**  
 ARCHITECTURAL SCALE: 1/4" = 1'-0"



**PROPOSED EAST ELEVATION - NEW BARN**  
 ARCHITECTURAL SCALE: 1/4" = 1'-0"



HOMELIFE DESIGN STUDIO



**HOMELIFE DESIGN STUDIO**

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 PROJECT MANAGEMENT -  
 www.homelifedesignstudio.com  
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*Joshua Stewman*

PROJECT:

**GEORGE RESIDENCE**

26605 BONITA WAY  
 CARMEL, CA 93929

APN: 015-181-014-000

PROJECT NO:

OWNER:  
**BRETT AND LIZ GEORGE**  
 26605 BONITA WAY  
 CARMEL, CA 93929

SHEET TITLE:  
**PROPOSED EXTERIOR ELEVATIONS - NEW BARN**

SCALE: 1/4" = 1'-0"

DRAWN BY: TB

PRINT DATE: August 2, 2024

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

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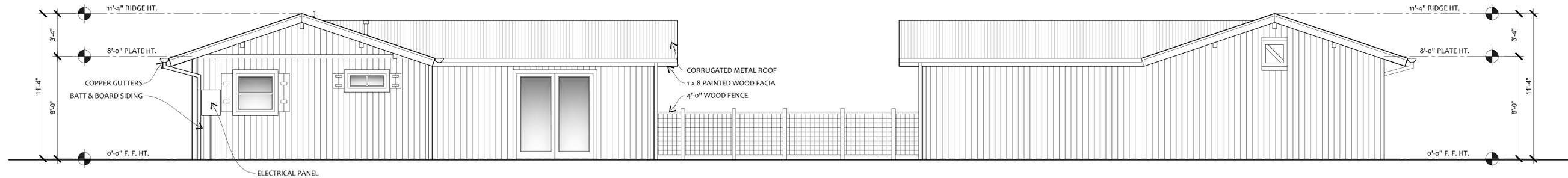
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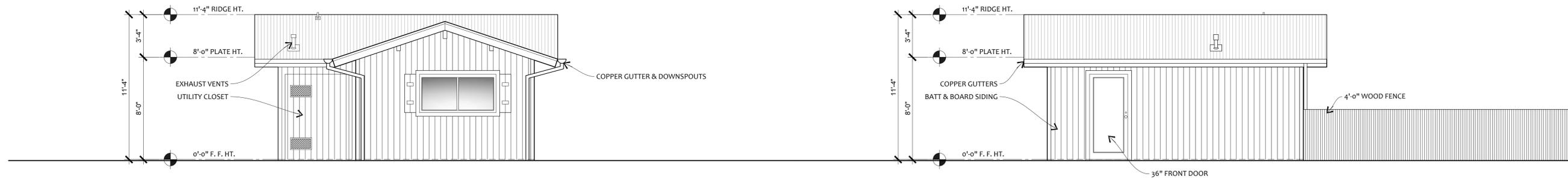
**A-3.6**

SHEET - OF - SHEETS



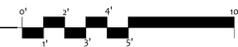
**SOUTH ELEVATION**  
ARCHITECTURAL SCALE : 1/4"=1'-0"

**NORTH ELEVATION**  
ARCHITECTURAL SCALE : 1/4"=1'-0"



**EAST ELEVATION**  
ARCHITECTURAL SCALE : 1/4"=1'-0"

**WEST ELEVATION**  
ARCHITECTURAL SCALE : 1/4"=1'-0"



PROJECT:  
**GEORGE  
RESIDENCE**

26605 BONITA WAY  
CARMEL, CA 93923

APN: 015-181-014-000

PROJECT NO: --

OWNER:

**BRET & LIZ GEORGE**  
26605 BONITA WAY  
CARMEL, CA 93923

SHEET TITLE:  
**EXISTING ADU  
ELEVATIONS**

SCALE: 1/4" = 1'-0"

DRAWN BY: TOM STEWMAN

PRINT DATE: 6/5/2024 11:35 AM

PLANNING PERMIT SUBMITTAL DATE: DATE

BUILDING PERMIT SUBMITTAL DATE: DATE

DATE ISSUED FOR CONSTRUCTION: DATE

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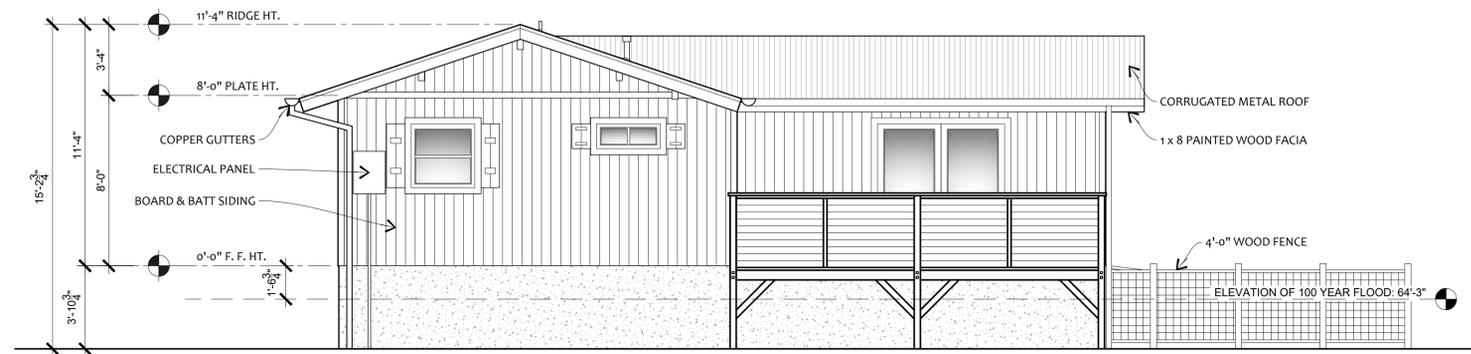
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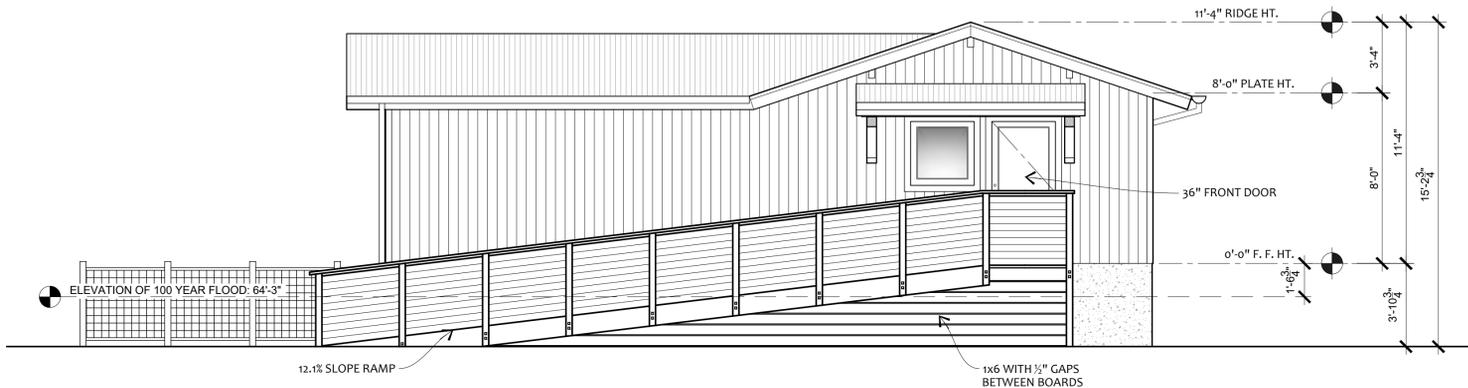
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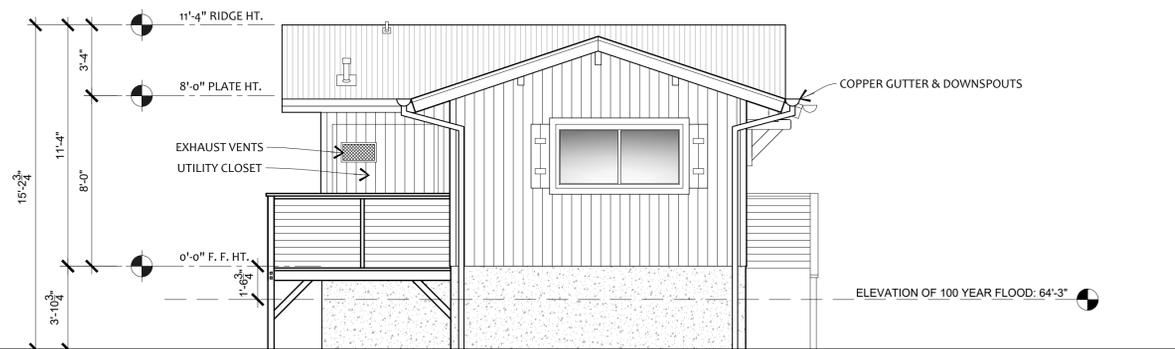
SHEET \_\_\_ OF \_\_\_ SHEETS



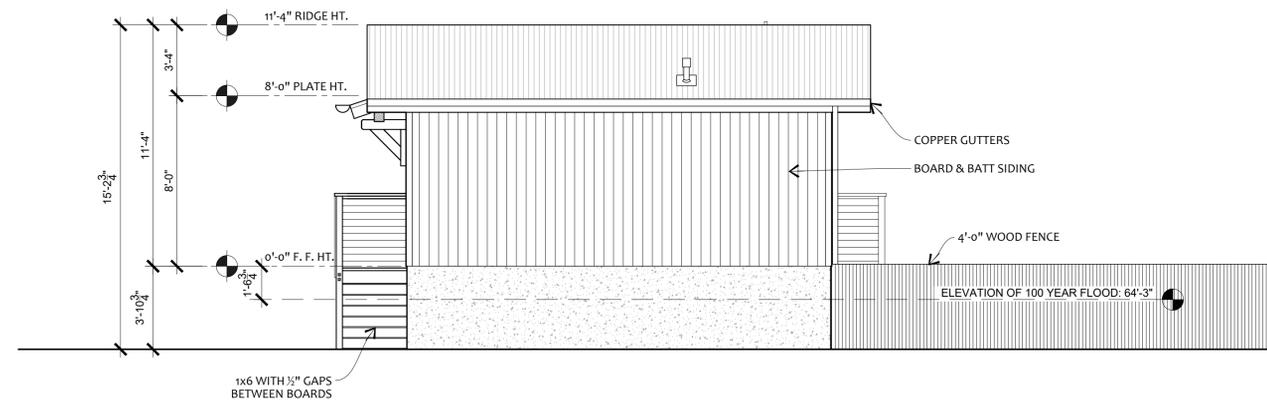
**SOUTH ELEVATION**  
 ARCHITECTURAL SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
 ARCHITECTURAL SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
 ARCHITECTURAL SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
 ARCHITECTURAL SCALE: 1/4" = 1'-0"



PROJECT:  
**GEORGE  
 RESIDENCE**

26605 BONITA WAY  
 CARMEL, CA 93923

APN: 015-181-014-000

PROJECT NO: --

OWNER:

**BRET & LIZ GEORGE**  
 26605 BONITA WAY  
 CARMEL, CA 93923

SHEET TITLE:  
**PROPOSED ADU  
 ELEVATIONS**

SCALE: 1/4" = 1'-0"

DRAWN BY: TOM STEWMAN

PRINT DATE: 8/19/2024 7:10 PM

PLANNING PERMIT SUBMITTAL DATE: DATE

BUILDING PERMIT SUBMITTAL DATE: DATE

DATE ISSUED FOR CONSTRUCTION: DATE

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SHEET NUMBER:

**A-3.8**

SHEET \_\_\_ OF \_\_\_ SHEETS

**CIRCUITS:**

1. KITCHEN AND BATHROOMS: ALL ELECTRICAL OUTLETS SHALL HAVE GFCI PROTECTION.
2. BATHROOMS: ELECTRICAL OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20-AMP BRANCH CIRCUIT. THE CIRCUITS SHALL HAVE NO OTHER OUTLETS PER NEC 210-52(D). IN ADDITION TO OTHER BRANCH CIRCUIT REQUIREMENTS, AT LEAST ONE 20 AMP BRANCH CIRCUIT WILL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS - CEC 210-11(C).
3. LAUNDRY: AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS (210.11(C)(2) CEC).
4. ALL ROOMS: ALL 120-VOLT, SINGLE PHASE, 15 & 20 AMP BRANCH CIRCUITS THAT SUPPLY OUTLETS (INCLUDING LUMINARIES) SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER (AFCI) COMBINATION TYPE. LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT (CEC ARTICLE 210.12(A)(B)).
5. HOMERUN ALL CIRCUITS TO ELECTRICAL PANEL.
6. APPLIANCES: TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE INSTALLED, FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING ROOM, PANTRY OR OTHER SIMILAR AREAS (210.11(C)(1) CEC).
7. ALL 120-VOLT 15 AND 20 AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. PER CEC 406.12
8. 125 AND 250 VOLT, 15 AND 20 AMPERE RECEPTACLES INSTALLED OUTDOORS IN A WE LOCATION SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED PER CEC 406.9(B)(1).

**LIGHTING:**

1. ALL LOW EFFICIENCY LIGHT CONTROLS SHALL BE DIMMABLE OR EQUIPPED WITH MANUAL-ON/AUTOMATIC-OFF OCCUPANCY SENSOR.
2. SURFACE MOUNTED LIGHTING FIXTURES IN CLOSETS SHALL BE 6 INCHES FROM FLUORESCENT FIXTURES. RECESSED FIXTURES MAY BE 6 INCHES AWAY (CEC ARTICLE 410.8(D)(1)-(4)).
3. LIGHTS THAT ARE RECESSED INTO INSULATED CEILINGS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) AND ARE CERTIFIED AIR TIGHT TO ASTM E283 AND LABELED AS AIR TIGHT (AT) TO LESS THAN 2.0 CFM AT 75 PASCALS.
4. KITCHEN: LUMINARIES MUST BE HIGH EFFICIENCY AND THE ONES THAT ARE NOT MUST BE SWITCHED SEPARATELY. BATHROOMS, UTILITY ROOMS, GARAGES AND LAUNDRY ROOMS: ALL LUMINARIES SHALL BE HIGH EFFICIENCY. CLOSETS THAT ARE LESS THAN 70 SQUARE FOOT ARE EXEMPT FROM THESE REQUIREMENTS. OUTDOOR LIGHTING: ALL LUMINARIES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICIENCY LUMINARIES.
5. BATHROOMS: LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES ARE TO BE LABELED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS." (CEC ARTICLE 410.4(A))
6. OUTDOOR LIGHTING MOUNTED TO THE BUILDING SHALL BE HIGH EFFICIENCY LIGHTING CONTROLLED BY A STANDARD SWITCH OR CONTROLLED BY A MOTION SENSOR W/ INTEGRAL PHOTO CONTROL.

**SMOKE & CO DETECTORS:**

1. BEDROOMS: SMOKE DETECTORS (110 VOLT) TO BE INTERCONNECTED TO SOUND ALARM AUDIBLE IN ALL BEDROOMS OF DWELLING.
2. BEDROOMS: CO DETECTORS SHALL BE BATTERY OPERATED AND SHALL BE INSTALLED OUTSIDE EACH SLEEP ROOM, PER CRC 315.3
3. WHERE CONSTRUCTION IS NEW, ALL SMOKE ALARMS SHALL BE "HARD WIRED", SHALL BE EQUIPPED WITH BATTERY BACKUP AND SHALL BE INSTALLED AS INDICATED ON PLANS.
4. WHERE CONSTRUCTION IS EXISTING, ALL SMOKE ALARMS MAY BE BATTERY OPERATED AND SHALL BE INSTALLED, ON THE CEILING OR WALL, INSIDE AND OUTSIDE OF EACH BEDROOM, WITHIN THE IMMEDIATE VICINITY OF THE BEDROOMS.

**ELECTRICAL PANELS:**

1. A 120 VOLT SERVICE RECEPTACLE SHALL BE LOCATED WITHIN 25 FEET OF, AND ON THE SAME LEVEL AS, THE EQUIPMENT FOR MAINTENANCE. THE RECEPTACLE SHALL NOT BE CONNECTED ON THE LOAD SIDE OF THE REQUIRED MEANS OF DISCONNECT.
2. OUTDOORS: 125 AND 250 VOLT RECEPTACLES INSTALLED IN A WET LOCATION SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED (CEC ARTICLE 406.8(B)(1)).
3. WORKING SPACE: AT FRONT SHALL NOT BE USED FOR STORAGE AND SHALL HAVE ILLUMINATION FOR ALL SERVICE EQUIPMENT, SWITCHBOARDS, PANEL BOARDS OR MOTOR CONTROL CENTER INSTALLED DOORS.
4. WORKING SPACE: AT FRONT SHALL HAVE AT LEAST ONE ENTRANCE OF 24 INCHES BY 6 FEET 6 INCHES HIGH, A MINIMUM DEPTH OF 36 INCHES, WIDTH OF 30 INCHES AND A HEIGHT OF 6 FEET 6 INCHES.

**INSTALLATION:**

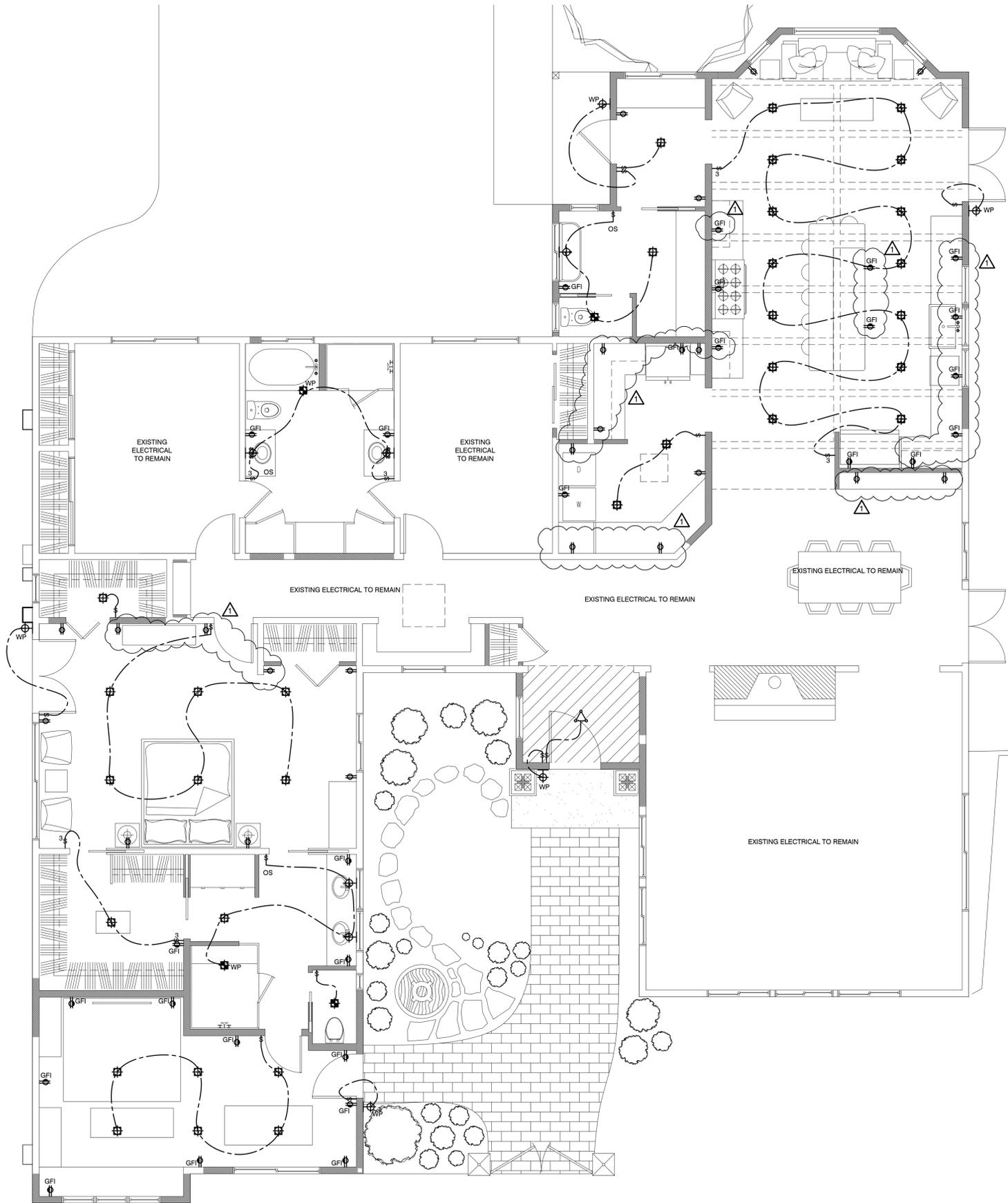
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH NEC AND STATE OF CALIFORNIA TITLE 24 REQUIREMENTS AND LATEST EDITIONS, LOCAL CODES AND REGULATIONS AND ALL OTHER APPLICABLE CODES AND ORDINANCES. INSTALLATION SHALL BE IN A WORKMAN-LIKE MANNER IN ACCORDANCE WITH THE ELECTRICAL CONTRACTORS ASSOCIATION OF INSTALLATION.
2. AN APPROVED MEANS OF DISCONNECT FOR THE ELECTRICAL SUPPLY TO EACH PIECE OF EQUIPMENT (FORCED AIR UNIT, WATER HEATER) SHALL BE PROVIDED IN SIGHT OF THE EQUIPMENT SERVED WHEN THE SUPPLY VOLTAGE EXCEEDS 50 VOLTS.
3. KITCHEN: COORDINATE ALL PLUMBING AND ELECTRICAL WORK WITH FINAL APPLIANCE TYPES, SIZES, LOCATIONS AND REQUIREMENTS AS SELECTED BY OWNER.
4. ALL SITE ELECTRICAL, GAS AND PLUMBING SHALL BE RUN UNDERGROUND. ALL PERMITS AND PRE-DIG REQUIREMENTS SHALL BE MET PRIOR TO INSTALLATION.
5. A MEANS OF DISCONNECT MAY BE REQUIRED FOR THE DETACHED GARAGE.
6. DWELLING UNIT RECEPTACLE OUTLETS. IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, OR SIMILAR ROOM OR AREA OF DWELLING UNITS, RECEPTACLE OUTLETS SHALL BE INSTALLED. RECEPTACLES SHALL BE INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6' FROM A RECEPTACLE OUTLET. ANY SPACE 2' OR MORE IN WIDTH INCLUDING SPACE MEASURED AROUND CORNERS AND UNBROKEN ALONG THE FLOOR LINE BY DOORWAYS, FIREPLACES AND SIMILAR OPENINGS. FLOOR RECEPTACLE SHALL NOT BE COUNTED AS A PART OF THE REQUIRED RECEPTACLES UNLESS WITHIN 18" OF WALL. [210-52 (A)]

**ELECTRICAL LEGEND**

	LOW VOLTAGE WIFI (2 CAT 6 / 2 RG 6 / POWER) BOX
	PENDANT LIGHT FIXTURE - HIGH EFFICACY
	SCONCE - HIGH EFFICACY
	WALL MOUNTED LIGHT FIXTURE - HIGH EFFICACY
	CHANDELIER - HIGH EFFICACY
	L.E.D. BUILT-IN STAIR PUCK LIGHTS
	4\"/>
	HIGH EFFICACY/FLUORESCENT RECESSED CEILING LIGHT
	RECESSED/ADJUSTABLE ART LIGHT; HIGH EFFICACY L.E.D.
	50CFM FAN/LIGHT COMBO - HIGH EFFICACY
	50CFM ULTRA QUIET ENERGY STAR EXHAUST FAN; 5 AC/HR - VENTED TO OUTSIDE
	SINGLE POLE WALL SWITCH AT 44\"/>
	110V AFCI WALL OUTLET
	110V GFCI WALL OUTLET
	SMOKE DETECTOR/ALARM - HARDWIRED W/ BATTERY BACKUP
	CARBON MONOXIDE SENSOR/ALARM
	FL HIGH EFFICACY/FLUORESCENT
	WP WATERPROOF
	MD MOTION DETECTOR
	GARBAGE DISPOSAL
	SUBPANEL
	DA DOOR-ACTIVATED
	D DIMMABLE
	TS TOE SPACE LIGHTING - CABINETS - USE WHITE LIGHT
	F FLOOR OUTLET
	OS MANUAL-ON/AUTOMATIC-OFF OCCUPANT SENSOR SWITCH
	UNDERCABINET LIGHTING
	2\"/>

**KEY NOTES:**

1. ALL LIGHTING NOW REQUIRED TO BE DEDICATED HIGH EFFICACY.



**ELECTRICAL/LIGHTING PLAN**

ARCHITECTURAL SCALE: 1/4" = 1'-0"



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(831) 920-8814

PROJECT:

**GEORGE RESIDENCE**

26605 BONITA WAY  
CARMEL, CA 93923

APN: 015-181-014-000

PROJECT NO:

OWNER:  
**BRETT AND LIZ GEORGE**  
26605 BONITA WAY  
CARMEL, CA 93923

SHEET TITLE:

**ELECTRICAL/LIGHTING PLAN**

SCALE: 1/4" = 1'-0"

DRAWN BY: TB

PRINT DATE: January 18, 2024

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

REVISIONS:

- PLAN CHECK COMMENTS 12/19/2023
- 
- 
- 
- 

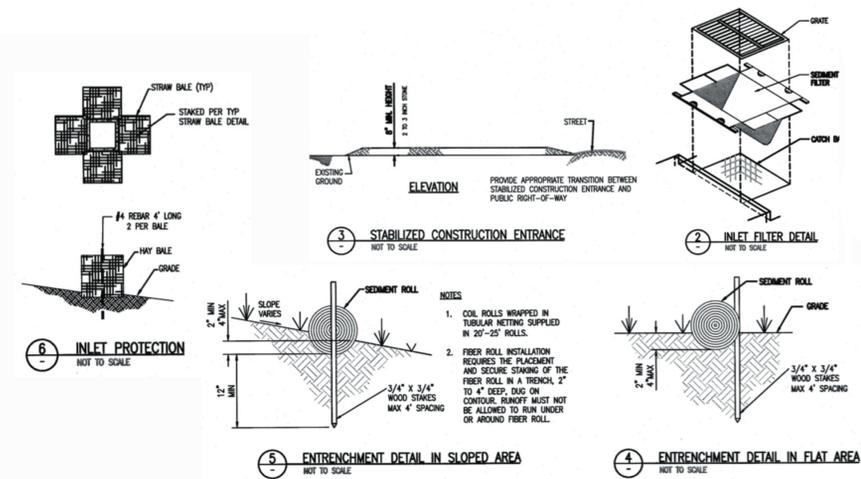
FILE: VIEW:

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SHEET NUMBER:

**E-1.0**

SHEET - OF - SHEETS



**INSPECTION - FOLLOWING ACTIVE CONSTRUCTION**  
PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED & THAT ALL TEMPORARY EROSION & SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

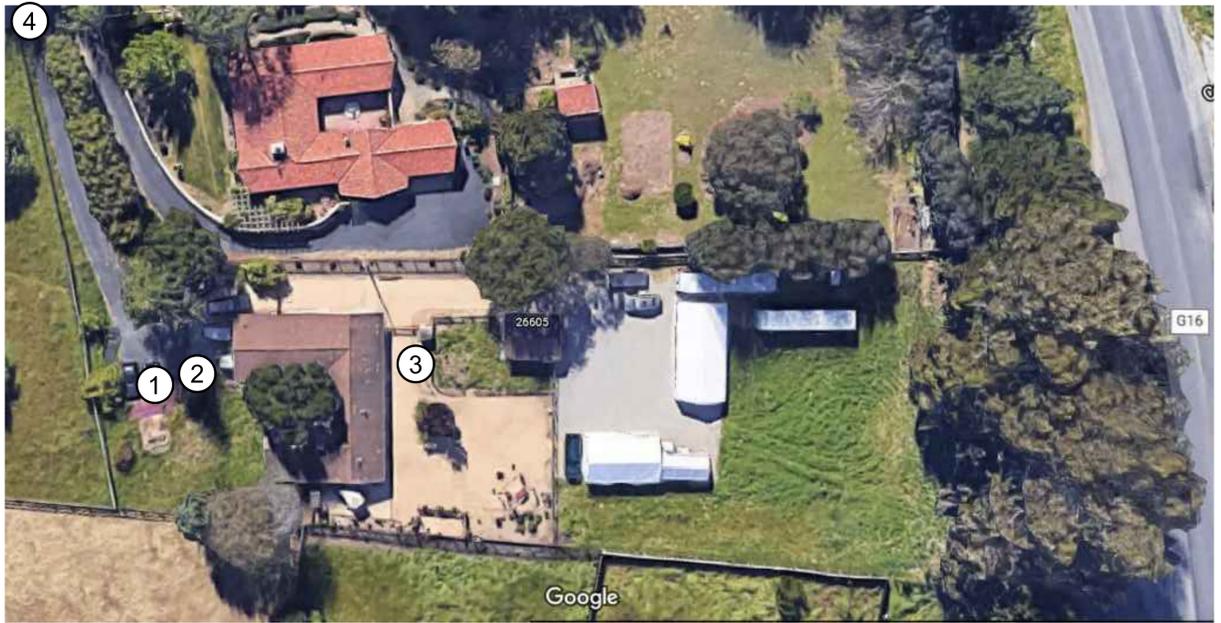
**INSPECTION - PRIOR TO LAND DISTURBANCE**  
PRIOR TO LAND DISTURBANCE, THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROL MEASURES ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.

**INSPECTION DURING ACTIVE CONSTRUCTION**

THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.

- EROSION CONTROL PLAN KEY**
- ① PARKING & WASTE COLLECTION AREA
  - ② MATERIAL STOCKPILE AREA
  - ③ JOB SITE TOOL STORAGE
  - ④ CONSTRUCTION ENTRANCE

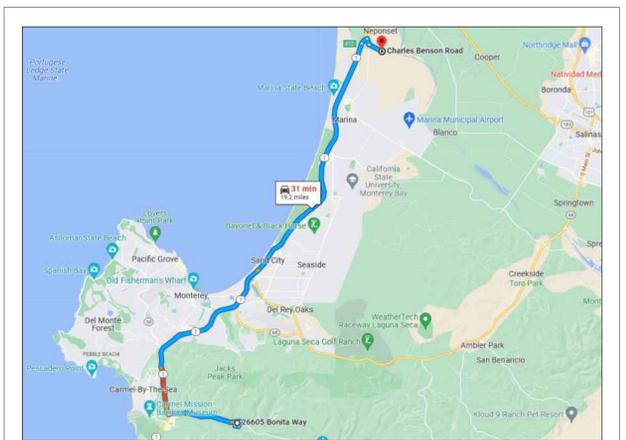
**EROSION CONTROL PLAN**



**26605 BONITA WAY  
CARMEL, CA 93923**



**VICINITY MAP**



**from 26605 BONITA WAY, CARMEL, CA  
to Charles Benson Rd, CA 93908**

**TRUCK  
HAULING  
ROUTE:**

- 26605 Bonita Way  
Carmel-By-The-Sea, CA 93923
- Take Carmel Valley Rd to CA-1 N
- ↑ 1. Head south on Bonita Way toward Brookdale Dr 5 min (2.8 mi)
  - ↶ 2. Turn left onto Brookdale Dr 358 ft
  - ↶ 3. Turn left onto Canada Way 0.1 mi
  - ↶ 4. Turn left onto Carmel Valley Rd 0.2 mi
- 2.5 mi
- Follow CA-1 N to Del Monte Blvd. Take exit 412 from CA-1 N
- ↷ 5. Use any lane to turn right onto CA-1 N 17 min (15.7 mi)
  - ↷ 6. Take exit 412 for Del Monte Blvd 15.4 mi
- 0.3 mi
- Drive to Charles Benson Rd
- ↷ 7. Turn right onto Del Monte Blvd 2 min (0.7 mi)
  - ↶ 8. Turn left onto Charles Benson Rd 0.2 mi
- ▲ Restricted usage road
- 0.5 mi
- Charles Benson Rd  
California 93908

**CONSTRUCTION NOTES**

1. ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY - FRIDAY, 8 AM TO 5PM
2. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE PER DAY, FREQUENCY SHOULD BE BASED UPON THE TYPE OF OPERATION, SOIL, AND WIND EXPOSURE
3. ALL GRADING ACTIVITIES SHALL BE HALTED DURING PERIODS OF HIGH WINDS ( 15 MPH ).
4. HAUL TRUCKS SHALL MAINTAIN 2 - FEET FREEBOARD AND BE COVERED.
5. COVER INACTIVE STORAGE PILES.
6. THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES, AND THAT COPIES ARE AVAILABLE FOR AGENCY REVIEW UPON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. EQUIPMENT WASHING, REFUELING AND SERVICING SHALL TAKE PLACE ONLY ONSITE. APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES. SEE THE EROSION CONTROL PLAN FOR FURTHER SPECIFICATIONS.
8. THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES ( E.G.: CLEANUP ALL LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY; KEEP MATERIALS COVERED AND OUT OF THE RAIN, INCLUDING COVERING EXPOSED PILES OF SOILS AND WASTES, DISPOSE OF ALL WASTES PROPERLY, PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER).
9. ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION-RELATED RUNOFF AND/OR SEDIMENT FROM LEAVING THE SITE.

**CONSTRUCTION COORDINATOR**

CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION, SHOULD QUESTIONS ARISE DURING CONSTRUCTION ( IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THEIR CONTACT INFORMATION ( INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBERS) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION ( IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF ALL COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24 HRS OF RECEIPT OF THE COMPLAINT OR INQUIRY.

**CONSTRUCTION ACTIVITY DESCRIPTION**

DURATION: JUN 2022 - FEB 2024

MONDAY THRU FRIDAY 8AM - 5PM

8 WORKERS  
4 REGULAR PICKUP TRUCKS

80% RECYCLE RATE FOR LUMBER.

TRASH AND UNRECYCLED DEBRIS ARE COLLECTED ON SITE IN A PORTABLE TRAILER AND REMOVED BY TOWING BEHIND A REGULAR PICKUP TRUCK ONCE A MONTH TO THE MARINA LANDFILL.

- AREA 1: PARKING & WASTE COLLECTION AREA
- AREA 2: MATERIAL STOCKPILE AREA
- AREA 3: JOB SITE TOOL STORAGE - IN GARAGE
- AREA 4: CONSTRUCTION ENTRANCE

THE ONLY GRADING TO BE DONE IS TO CUT THE FOOTINGS. THERE IS NO IMPORT OR EXPORT OF DIRT.

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APN: 015-181-014-000

PROJECT NO:

OWNER:  
**BRETT AND LIZ GEORGE**  
26605 BONITA WAY  
CARMEL, CA 93923

SHEET TITLE:

**CONSTRUCTION  
MANAGEMENT PLAN**

SCALE:

DRAWN BY: TB

PRINT DATE: 3-30-2022

PLANNING PERMIT SUBMITTAL DATE: -

BUILDING PERMIT SUBMITTAL DATE: -

DATE ISSUED FOR CONSTRUCTION: -

REVISIONS:

- △ -
- △ -
- △ -
- △ -
- △ -
- △ -

FILE:

VIEW:

SHEET NUMBER:

**CMP**

SHEET - OF - SHEETS

RECOMMENDED GRADING SPECIFICATIONS FOR EARTHWORK

ET:1 GENERAL DESCRIPTION:

1.1 THIS ITEM SHALL CONSIST OF ALL CLEARING AND GRUBBING; PREPARATION OF LAND TO BE FILLED; EXCAVATION AND FILL OF THE LAND; SPREADING, COMPACTION AND CONTROL OF THE FILL; AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADED AREA TO CONFORM WITH THE LINES, GRADES AND SLOPES AS SHOWN ON THE APPROVED PLANS.

1.2 THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT AND LABOR NECESSARY TO COMPLETE THE WORK AS SPECIFIED HEREIN, AS SHOWN ON THE APPROVED PLANS AS STATED IN THE PROJECT SPECIFICATIONS.

1.3 RETAINING WALLS REQUIRE A SEPARATE BUILDING PERMIT.

1.4 STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

ET:2 TESTS:

2.1 THE STANDARD TEST USED TO DEFINE MAXIMUM DENSITIES OF ALL COMPACTION WORK SHALL BE THE A.S.T.M. D-1557, MOISTURE DENSITY OF SOILS, USING A 10-POUND RAM AND 18-INCH DROP. ALL DENSITIES SHALL BE EXPRESSED AS A RELATIVE DENSITY IN TERMS OF THE MAXIMUM DENSITY OBTAINED IN THE LABORATORY BY THE FOREGOING STANDARD PROCEDURE.

2.2 IN-PLACE DENSITY SHALL BE DETERMINED BY TEST METHODS A.S.T.M. D-1556, DENSITY OF SOIL IN-PLACE BY SAND CONE METHOD AND D-2922, DENSITY OF SOIL IN-PLACE BY NUCLEAR METHOD.

2.3 PAD ELEVATIONS SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.

ET:3 CLEARING, GRUBBING AND PREPARING AREAS TO BE EXCAVATED OR FILLED:

3.1 ALL VEGETABLE MATTER, IRREDUCIBLE MATERIAL GREATER THAN 4 INCHES AND OTHER DELETERIOUS MATERIALS SHALL BE REMOVED FROM THE AREAS IN WHICH GRADING IS TO BE DONE. ALL STUMPS AND ROOT MASSES OF REMOVED TREES ARE TO BE CLEARED FROM AREA OF CONSTRUCTION AND FILL PLACEMENT. SUCH MATERIALS NOT SUITABLE FOR REUSE SHALL BE DISPOSED OF AS DIRECTED.

3.2 AFTER THE FOUNDATION FOR FILL HAS BEEN CLEARED, IT SHALL BE BROUGHT TO THE PROPER MOISTURE CONTENT BY ADDING WATER OR AERATING AND COMPACTING TO A RELATIVE DENSITY OF NOT LESS THAN 90% OR AS SPECIFIED. COMPACTION OF FILL PLACED IN LANDSCAPE AREA TO BE COMPACTED TO A RELATIVE DENSITY OF APPROXIMATELY 90% OR AS DIRECTED BY THE OWNER. THE SOILS SHALL BE TESTED TO A DEPTH SUFFICIENT TO DETERMINE QUALITY AND SHALL BE APPROVED BY THE SOILS ENGINEER FOR FOUNDATION PURPOSES PRIOR TO PLACING ENGINEERED FILL.

ET:4 MATERIALS:

4.1 THE MATERIAL FOR ENGINEERED FILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE COMMENCEMENT OF GRADING OPERATIONS. ANY IMPORTED MATERIAL MUST BE APPROVED FOR USE BEFORE BEING BROUGHT TO THE SITE. THE MATERIAL USED SHALL BE FREE FROM VEGETABLE MATTER AND OTHER DELETERIOUS MATERIALS.

4.2 IMPORTED MATERIALS FOR ENGINEERED FILL SHALL CONSIST OF NON-EXPANSIVE SOIL WITH MAXIMUM AGGREGATE SIZE OF 4 INCHES, A PI LESS THAN 15 AND/OR A CU GREATER THAN 4 AND SHALL BE APPROVED BY THE ENGINEER.

ET:5 PLACING, SPREADING AND COMPACTING FILL MATERIAL:

5.1 THE SELECTED FILL MATERIAL SHALL BE PLACED IN LAYERS WHICH, WHEN COMPACTED, SHALL NOT EXCEED 6 INCHES IN THICKNESS. EACH LAYER SHALL BE SPREAD EVENLY AND SHALL BE THOROUGHLY MIXED DURING THE SPREADING TO ENSURE UNIFORMITY OF MATERIAL IN EACH LAYER. FILL SHALL BE PLACED SUCH THAT CROSS FALL DOES NOT EXCEED 1 FOOT IN 20 UNLESS OTHERWISE DIRECTED.

5.2 WHEN FILL MATERIAL INCLUDES ROCK OR CONCRETE RUBBLE, NO IRREDUCIBLE MATERIAL LARGER THAN 4 INCHES IN GREATEST DIMENSION WILL BE ALLOWED EXCEPT UNDER THE DIRECTION OF THE SOILS ENGINEER.

5.3 THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE MAINTAINED IN A SUITABLE RANGE TO PERMIT EFFICIENT COMPACTION. THE SOILS ENGINEER MAY REQUIRE ADDING MOISTURE, AERATING, OR BLENDING OF WET AND DRY SOILS.

5.4 EACH LAYER SHALL BE COMPACTED TO THE SPECIFIED RELATIVE DENSITY. COMPACTION SHALL BE CONTINUOUS OVER THE ENTIRE AREA OF EACH LAYER.

5.5 FIELD DENSITY TEST SHALL BE MADE BY THE SOILS ENGINEER OF EACH COMPACTED LAYER. AT LEAST ONE TEST SHALL BE MADE FOR EACH 500 CUBIC YARDS OR FRACTION THEREOF. PLACED WITH A MINIMUM OF TWO TESTS PER LAYER IN ISOLATED AREAS. WHERE A SHEEP-FOOT ROLLER IS USED, THE SOIL MAY BE DISTURBED TO A DEPTH OF SEVERAL INCHES. DENSITY TESTS SHALL BE TAKEN IN COMPACTED MATERIALS BELOW THE DISTURBED SURFACE. WHEN THESE TESTS INDICATE THAT THE DENSITY OF ANY LAYER OF FILL OR PORTION THEREOF, IS BELOW THE REQUIRED DENSITY, THAT PARTICULAR LAYER OR PORTION SHALL BE REWORKED UNTIL THE REQUIRED DENSITY HAS BEEN OBTAINED.

5.6 ALL EARTH MOVING AND WORK OPERATIONS SHALL BE CONTROLLED TO PREVENT WATER FROM RUNNING INTO EXCAVATED AREAS. ALL SUCH WATER SHALL BE PROMPTLY REMOVED AND THE SITE KEPT DRY.

5.7 CUT AND FILL SLOPES STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL MUST BE APPROVED BY THE SOILS ENGINEER.

ET:6 SEASONAL LIMITS:

6.1 WHEN THE WORK IS INTERRUPTED BY RAIN, FILL OPERATIONS SHALL NOT BE RESUMED UNTIL FIELD TESTS BY THE SOILS ENGINEER INDICATE THAT THE MOISTURE CONTENT AND DENSITY OF THE FILL IS AS PREVIOUSLY SPECIFIED AND SOILS TO BE PLACED ARE IN SUITABLE CONDITION.

ET:7 UNUSUAL CONDITIONS:

7.1 IN THE EVENT THAT ANY UNUSUAL CONDITIONS ARE ENCOUNTERED DURING GRADING OPERATIONS WHICH ARE NOT COVERED BY THE SOIL INVESTIGATION OR THE SPECIFICATIONS, THE SOILS ENGINEER SHALL BE IMMEDIATELY NOTIFIED SUCH THAT ADDITIONAL RECOMMENDATIONS MAY BE MADE.

ET:8 COUNTY

8.1 A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORTS SHALL BE SUBMITTED TO THE COUNTY PRIOR TO SCHEDULING ANY INSPECTIONS.

8.2 ALL GRADING SHALL CONFORM WITH THE MONTEREY COUNTY GRADING ORDINANCE #2535.

8.3 THE SOILS ENGINEER SHALL INSPECT THE BUILDING PAD AND FOUNDATION EXCAVATIONS & SUBMIT WRITTEN APPROVAL TO THE BUILDING INSPECTOR BEFORE REQUESTING FOUNDATION INSPECTION AND POURING OF ANY FOOTINGS. EROSION CONTROL PLANNING

ER:1 GENERAL DESCRIPTION:

1.1 INSTALLATION OF THE EROSION PROTECTION FEATURES CONFORM TO THE EXISTING AND PROPOSED GRADES AND CONSIDER THE TOPOGRAPHIC AND HYDROLOGIC FEATURES OF THE SITE. ALL DISTURBED AREAS ARE TO BE PROVIDED WITH EROSION CONTROL AS GIVE UNDER SECTION ER:3.

1.2 COLLECTED RUNOFF IS TO BE RELEASED IN A CONTROLLED FASHION. COLLECTED RUNOFF FLOWS IS TO BE DIRECTED INTO PIPES AND THEN ONTO AN ENERGY DISSIPATER TO REDUCE THE HYDRAULIC GRADIENT BEFORE DISCHARGING THE RUNOFF TO GRADE.

1.4 DE-SILTATION OF RUNOFF MAY TAKE FORM OF STILLING BASINS, GRAVEL BERM, TURF OR VEGETATION SCREENS, REFORESTATION, ETC..

1.5 FREE FLOWING STORM RUNOFF SHOULD NEVER BE DIRECTED TOWARDS STRUCTURE (ON OR OFF SITE) OR STRUCTURES SENSITIVE TO FREE FLOWING WATER. COLLECTED DRAINAGE ADJACENT TO SENSITIVE STRUCTURES IS TO BE CARRIED IN CLOSED CONDUIT OR LINED SURFACE DRAIN.

1.6 ANY SITE SOILS OR OTHER MATERIALS WHICH ARE DISTURBED SHALL BE ADEQUATELY WATERED TO PREVENT DUST FROM BECOMING AIRBORNE IN ACCORDANCE WITH LOCAL DUST CONTROL ORDINANCES.

ER:1 MATERIALS STORAGE:

2.1 DURING CONSTRUCTION, NEVER STORE CUT AND FILL MATERIAL WHERE IT MAY WASH INTO DRAINAGE WAYS. SHOULD WEATHER THREATEN THE STORED MATERIALS IT SHOULD BE COVERED WITH PLASTIC OR APPROPRIATE RETENTION FACILITIES PROVIDED FOR DESILTATION OF THE STORM WATER PRIOR TO RELEASE.

2.2 KEEP ALL CULVERTS AND DRAINAGE FACILITIES FREE OF SILT AND DEBRIS. KEEP EMERGENCY EROSION CONTROL MATERIALS SUCH AS STRAW MULCH, PLASTIC SHEETING, AND SANDBAGS ON SITE AND INSTALL THESE AT THE END OF EACH DAY AS NECESSARY.

ER:3 RE-VEGETATION AND PLANTING:

3.1 RE-VEGETATE AND PROTECT EXPOSED SOILS BY OCTOBER 15. USE APPROPRIATE GRASS/LEGUME SEED MIXES AND/OR STRAW MULCH FOR TEMPORARY COVER. PLAN PERMANENT VEGETATION TO INCLUDE NATIVE AND DROUGHT TOLERANT PLANTS. SEEDING AND RE-VEGETATION MAY REQUIRE SPECIAL SOIL PREPARATION, FERTILIZING, IRRIGATION, AND MULCHING.

3.1.A RECOMMENDED SEED SCHEDULE IS AS FOLLOWS:  
40 POUNDS PER ACRE OF CALIFORNIA BROME  
15 POUNDS PER ACRE OF BLUE WILD RYE  
4 POUNDS PER ACRE OF ZORRO FESCUE  
6 POUNDS PER ACRE OF RED CREEPING FESCUE

3.2 IN THE ABSENCE OF A DETAILED EROSION CONTROL PLAN, THE WORK WILL BE PROTECTED IN ACCORDANCE WITH THE APPROPRIATE ORDINANCE, REGULATION AND/OR STANDARD PRACTICE WHICH EVER PROVIDES SATISFACTORY EROSION PROTECTION.

3.3 ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.

ER:4 COUNTY

4.1 ALL EROSION CONTROL MEASURES FOR GRADING SHALL BE IN PLACE AT THE END OF EACH WORKING DAY BETWEEN OCTOBER 15 AND APRIL 15.

4.2 ALL EROSION CONTROL MEASURES SHALL CONFORM WITH MONTEREY COUNTY EROSION CONTROL ORDINANCE #2806.

ABBREVIATIONS - USED WITH OR WITHOUT PERIODS (E.G. = EG)

- AC ASPHALTIC PAVEMENT
- ACD FINISH GRADE ASPHALTIC CONCRETE DRIVE
- ACR ACRE
- APN ASSESSORS PARCEL NUMBER
- BCR BEGINNING OF CURB RETURN
- BS BASE OF THE STEP
- BTM BOTTOM
- BWF BASE OF WALL AT FACE (TALLEST FACE)
- BWR BASE OF WALL AT REAR (SHORTEST FACE)
- C\*NUMBER CURVE NUMBER. SEE TABLE
- CB CATCH BASIN
- CD FINISH GRADE CONCRETE DRIVE
- CF FINISH GRADE CONCRETE RESIDENTIAL FLOOR
- CG FINISH GRADE CONCRETE GARAGE FLOOR
- CW FINISH GRADE CONCRETE WALK
- CL CENTER LINE
- CNTR CENTER
- CONST ITEM TO BE CONSTRUCTED
- CPV CONCRETE PAVEMENT
- DI DRAINAGE INLET
- DRTE EXISTING GRADE OF DIRT
- DRTF FINISH GRADE OF DIRT
- E or (E) EAST OR EXISTING
- EX or (EX) EXISTING
- (EC) "EXISTING" INFORMATION COMPUTED FROM A SURVEY OR OTHERWISE NOTED DATA
- EGR END OF CURB RETURN
- EL ELEVATION
- END END
- EOC END OF CURB
- EP EDGE OF PAVEMENT
- FF FINISH FLOOR (STEPPE DOWN EDGE OF THE FOUNDATION SLABS)
- FG FINISH GRADE
- FL FLOW LINE
- FT FEET
- GPV GRAVEL PAVEMENT
- GRT FINISH GRADE OF GRATE OR DRAINAGE INLET
- HDPE HIGH DENSITY POLYETHYLENE
- HPS HIGH PRESSURE SODIUM
- IN IN
- INV ELEVATION OF BOTTOM INSIDE OF PIPE (INVERT)
- J.U. JOINT UTILITIES
- L LEFT
- LAT LATERAL
- LATS MULTIPLE, SEPARATE LATERALS
- LF LINEAR FEET
- LNDS LANDSCAPE OR EARTHER SURFACE
- MAX MAXIMUM
- MH MANHOLE
- MIN MINIMUM
- N or (N) NORTH OR NEW
- NS NOSE OF THE STEP
- NW NEW, TO BE INSTALLED, CONSTRUCTED OR FINISHED TO
- P or (P) PROPOSED
- PAR PARCEL
- PER PURSUANT TO
- P.M. PARCEL MAP
- PV PAVEMENT
- PVC POLY VINYL CHLORIDE
- PVI POINT OF VERTICAL INTERSECTION
- R or (R) RIGHT
- RD RADIUS
- RIMC ELEVATION OF CENTER OF MANHOLE
- RIMN or NRIM ELEVATION OF NORTH EDGE OF MANHOLE
- S SOUTH
- SD STORM DRAIN
- SE SAND EQUIVALENCY
- SHT SHEET
- SL SLOPE
- SOFF ELEVATION OF TOP OF INSIDE OF PIPE (SOFFIT)
- SP STANDARD PLAN
- SS SANITARY SEWER
- STA+ DISTANCE FORWARD ON PROFILE
- STA- DISTANCE BACKWARD ON PROFILE
- TC TOP OF FACE (ROADSIDE) OF CURB
- THR THROUGH
- TP TOP
- V VOLTS
- VOL VOLUME
- W WEST
- WA WATTS
- WYE SEWER LATERAL CONNECTION
- \* SECONDS OF ANGLE OR INCHES
- ' MINUTES OF ANGLE OR FEET
- ° DEGREES OF ANGLE

GRADE ADJACENT TO STRUCTURES

UNLESS OTHERWISE NOTED - THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION OF BUILDINGS SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 1 UNIT VERTICAL IN 20 UNITS HORIZONTAL (5% SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL (FOUNDATION). IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

ITEM / EVENT	INSPECTED BY	WHEN	INSPECTOR NAME	DATE
THE FOLLOWING ITEMS SHALL BE INSPECTED. "SPECIAL INSPECTION" SHALL CONFORM TO 2019 CBC 1704.7. SPECIAL INSPECTION AGENCIES AND/OR INDIVIDUALS SHALL BE RETAINED BY THE OWNER AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO ANY WORK. FOR MATERIAL TESTING REQUIREMENTS, SEE SPECIFICATIONS AND/OR GENERAL NOTES. TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE BUILDING OFFICIAL AND ENGINEER.				
INSPECT AND TEST KEYWAY / OVEREXCAVATION - PROPER DEPTH TO PROPER MATERIAL	GEOTECHNICAL ENGINEER	PRIOR TO BACKFILLING		
INSPECT AND TEST FILL MATERIAL - TEST FOR MATERIAL CLASSIFICATION - LIFT THICKNESSES AND DENSITIES - SITE PROPERLY PREPARED	GEOTECHNICAL ENGINEER	DURING FILL PLACEMENT		
INSPECT AND TEST BUILDING PAD SUBGRADE - ADEQUATE TO ACHIEVE DESIGN BEARING	GEOTECHNICAL ENGINEER	PRIOR TO FOOTING EXCAVATION OR PLACING SLAB MATERIALS		
INSPECT AND TEST KEYWAY / OVEREXCAVATION - PROPER DEPTHS - PROPER DEPTH TO PROPER MATERIAL	GEOTECHNICAL ENGINEER	PRIOR TO STEEL PLACEMENT		
INSPECT SLAB ON GRADE INSTALLATION	GEOTECHNICAL ENGINEER	PRIOR TO CONCRETE PLACEMENT		
INSPECT FOOTING EXCAVATIONS - PROPER DEPTHS - ADEQUATE TO ACHIEVE DESIGN BEARING	GEOTECHNICAL ENGINEER	PRIOR TO STEEL PLACEMENT		
INSPECT AND TEST RETAINING WALL BACKFILL - TEST FOR MATERIAL CLASSIFICATION - LIFT THICKNESSES AND DENSITIES - SITE PROPERLY PREPARED	GEOTECHNICAL ENGINEER	DURING FILL PLACEMENT		
PAVING AND DRIVEWAY CONSTRUCTION	GEOTECHNICAL ENGINEER	DURING FILL PLACEMENT		
		SUBGRADE/PRIOR TO BASEROCK PLACEMENT		
		BASEROCK/PRIOR TO ASPHALT OR CONCRETE PLACEMENT		

GEOTECHNICAL REPORT IS COMPLETED FOR THE PROJECT BY GRICE ENGINEERING, INC., OFFICE TELEPHONE (831) 422-9619, FILE NO. 7574-22.05. REFER TO THE RECOMMENDATIONS IN THE REPORT.

ALL WORK TO BE IN COMPLIANCE WITH GEOTECHNICAL REPORT

THESE PLANS DETAIL GRADING AND DRAINAGE CONTROL FOR THE CONSTRUCTION OF:

1. REMODEL AND ADDITIONS TO A RESIDENCE.
2. DETACHED GARAGE.
3. BARN.
4. IMPROVE EXISTING ADU

NO TREES TO BE REMOVED.

SOIL DISTURBANCE AREA : 16,865 SQ. FT.

GRADING BALANCE:  
GROSS CUT = 0.00 CUBIC YARDS

SHRINKAGE = 0.00 CUBIC YARDS  
SHRINKAGE FACTOR 0%  
NET CUT (LESS SHRINKAGE) = 0.00 CUBIC YARDS

TOTAL FILL = 468 CUBIC YARDS

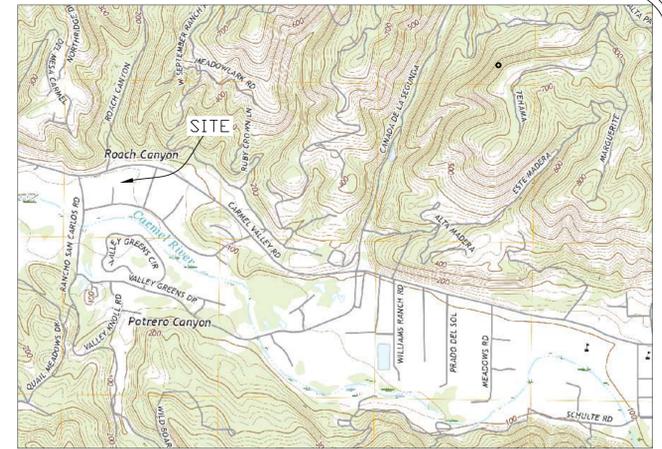
TOTAL IMPORT = 468 CUBIC YARDS

VOLUME CALCS ARE TO FINISH GRADE, FLOOR, OR PAVEMENT. VOLUMES DO NOT CONSIDER SPOILS ( E.G. UNDERGROUND UTILITIES, CULVERTS) OR SECTION THICKNESS (E.G. PAVEMENT, FOUNDATION, FLOORS OR RETAINING WALLS).

RUNOFF FROM ROOFS AND IMPERVIOUS SURFACES RELEASES TO GRADE. SITE SOILS ARE PERMEABLE AS SUCH POOLING IS OF MINIMAL CONCERN.

LEGEND

- EXISTING MAJOR TOPO LINE, 5 FT INTERVAL
- EXISTING MINOR TOPO LINE, 1 FT INTERVAL
- EXISTING PROPERTY LINE
- EXISTING UTILITY EASEMENT LINE
- PROPOSED MAJOR TOPO LINE, 1 FT INTERVAL
- PROPOSED MINOR TOPO LINE, 0.25 FT INTERVAL
- STORM DRAIN LINE  
DRAIN LINE, 4" PVC SDR35
- 26.08 LF, SLOPE 2%
- MATCH LINE BETWEEN EXISTING AND PROPOSED GRADES



LOCATION MAP  
NOT TO SCALE

PARCEL OWNER:  
BRETT & LIZ GEORGE  
26605 BONITA WAY  
CARMEL, CALIFORNIA 93923

PROJECT MANAGER & CONTRACTOR:

BRETT GEORGE  
BRETT GEORGE COMPANY, INC.  
P.O. BOX 22581  
CARMEL, CALIFORNIA 93922  
PHONE (831) 277-3937  
EMAIL:  
BRETT.GEORGE@BRETTGEORGECOMPANY.COM

PROJECT CIVIL AND GEOTECHNICAL ENGINEER:

MR. LAWRENCE E. GRICE  
GRICE ENGINEERING, INC.  
561A BRUNKEN AVENUE  
SALINAS, CALIFORNIA 93901  
OFFICE (831) 422-9619  
EMAIL: SAMGE@SANGEGLOBAL.NET

PROJECT SURVEYOR:

POLARIS CONSULTING  
P. O. BOX 1378  
CARMEL VALLEY, CA 93924  
OFFICE (831) 659-9564

REVISION DATES

PUB 06/24/23

REV 06/27/24

INDEX

- T-0.0 TITLE AND SPECIFICATION SHEET
- SURVEY BY POLARIS, SHEET 1 OF 1
- C-1.0 OVERALL SITE PLAN
- C-1.1 GRADING PLAN @ RESIDENCE
- C-1.2 GRADING PLAN @ GARAGE & ADU
- C-1.3 GRADING PLAN @ GARAGE & BARN
- C-2.0 SECTIONS
- C-2.1 SECTIONS
- C-2.2 SECTIONS
- C-5.0 EROSION CONTROL PLAN
- C-5.1 EROSION CONTROL DETAILS



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LAWRENCE E. GRICE, P.E.; R.C.E. 68857

PREPARED FOR:

BRETT & LIZ GEORGE  
26605 BONITA WAY  
CARMEL, CALIFORNIA 93923

GEORGE RESIDENCE; A.P.N. 015-181-014-000  
26605 BONITA WAY, CARMEL, CALIFORNIA 93923  
IMPROVEMENT PLANS  
GRADING & DRAINAGE

T-0

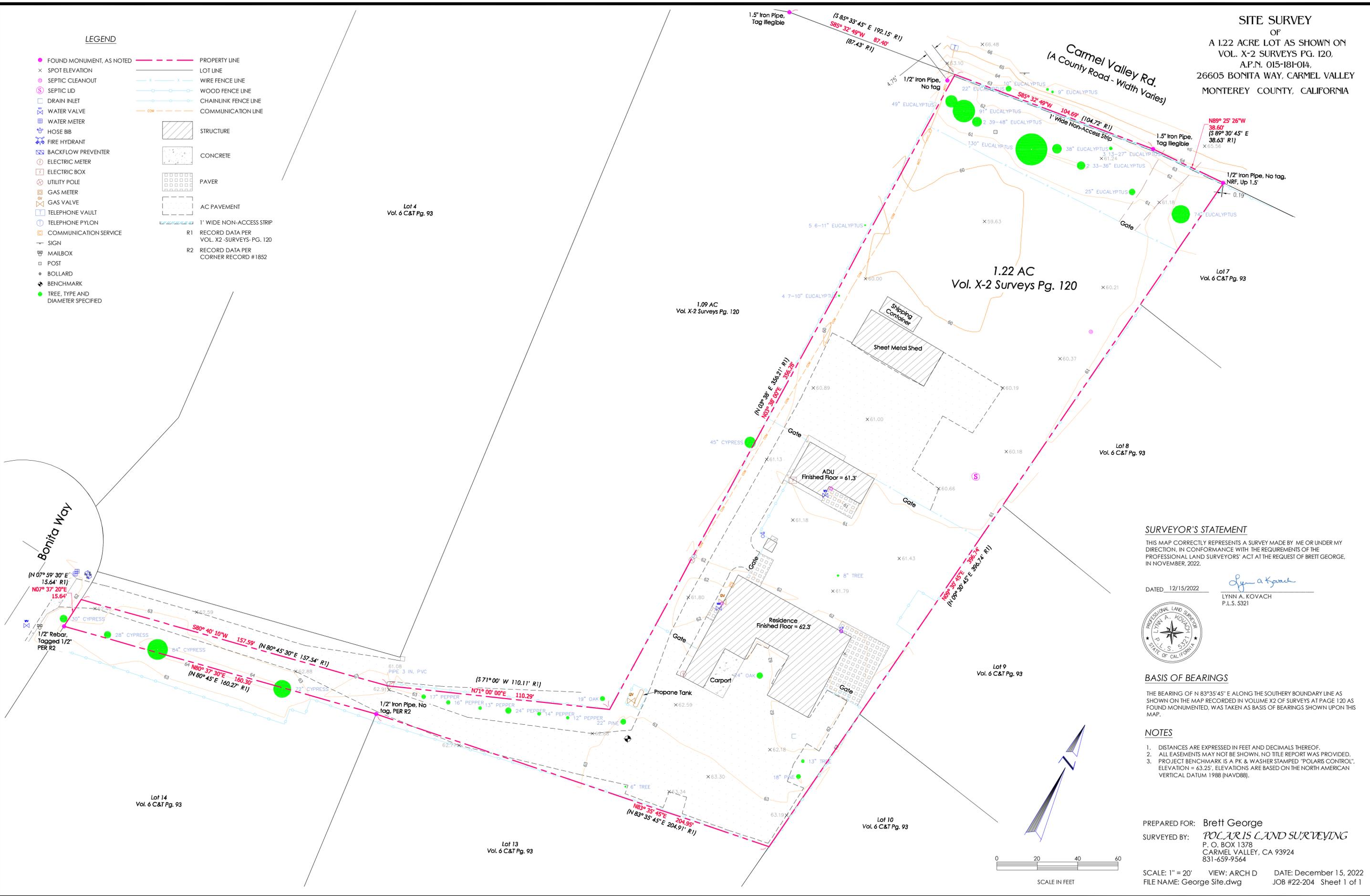
Date Plotted: Jun 27, 2024

GEORGE RESIDENCE  
FILE NO. 7574-22.05

**LEGEND**

- |                                     |  |
|-------------------------------------|--|
| ● FOUND MONUMENT, AS NOTED          | --- PROPERTY LINE                          |
| × SPOT ELEVATION                    | --- LOT LINE                               |
| ○ SEPTIC CLEANOUT                   | --- WIRE FENCE LINE                        |
| ○ SEPTIC LID                        | --- WOOD FENCE LINE                        |
| □ DRAIN INLET                       | --- CHAINLINK FENCE LINE                   |
| □ WATER VALVE                       | --- COMMUNICATION LINE                     |
| □ WATER METER                       |  |
| □ HOSE BIB                          | ▨ STRUCTURE                                |
| □ FIRE HYDRANT                      | ▨ CONCRETE                                 |
| □ BACKFLOW PREVENTER                | ▨ PAVER                                    |
| □ ELECTRIC METER                    | ▨ AC PAVEMENT                              |
| □ ELECTRIC BOX                      | R1 RECORD DATA PER VOL. X2 SURVEYS-PG. 120 |
| □ UTILITY POLE                      | R2 RECORD DATA PER CORNER RECORD #1852     |
| □ GAS METER                         |  |
| □ GAS VALVE                         |  |
| □ TELEPHONE VAULT                   |  |
| □ TELEPHONE PYLON                   |  |
| □ COMMUNICATION SERVICE             |  |
| □ SIGN                              |  |
| □ MAILBOX                           |  |
| □ POST                              |  |
| ● BOLLARD                           |  |
| ● BENCHMARK                         |  |
| ● TREE, TYPE AND DIAMETER SPECIFIED |  |

**SITE SURVEY**  
OF  
A 1.22 ACRE LOT AS SHOWN ON  
VOL. X-2 SURVEYS PG. 120,  
A.P.N. 015-181-014,  
26605 BONITA WAY, CARMEL VALLEY  
MONTEREY COUNTY, CALIFORNIA



**SURVEYOR'S STATEMENT**  
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION, IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF BRETT GEORGE, IN NOVEMBER, 2022.

DATED 12/15/2022  
*Lynn A. Kovach*  
LYNN A. KOVACH  
P.L.S. 5321

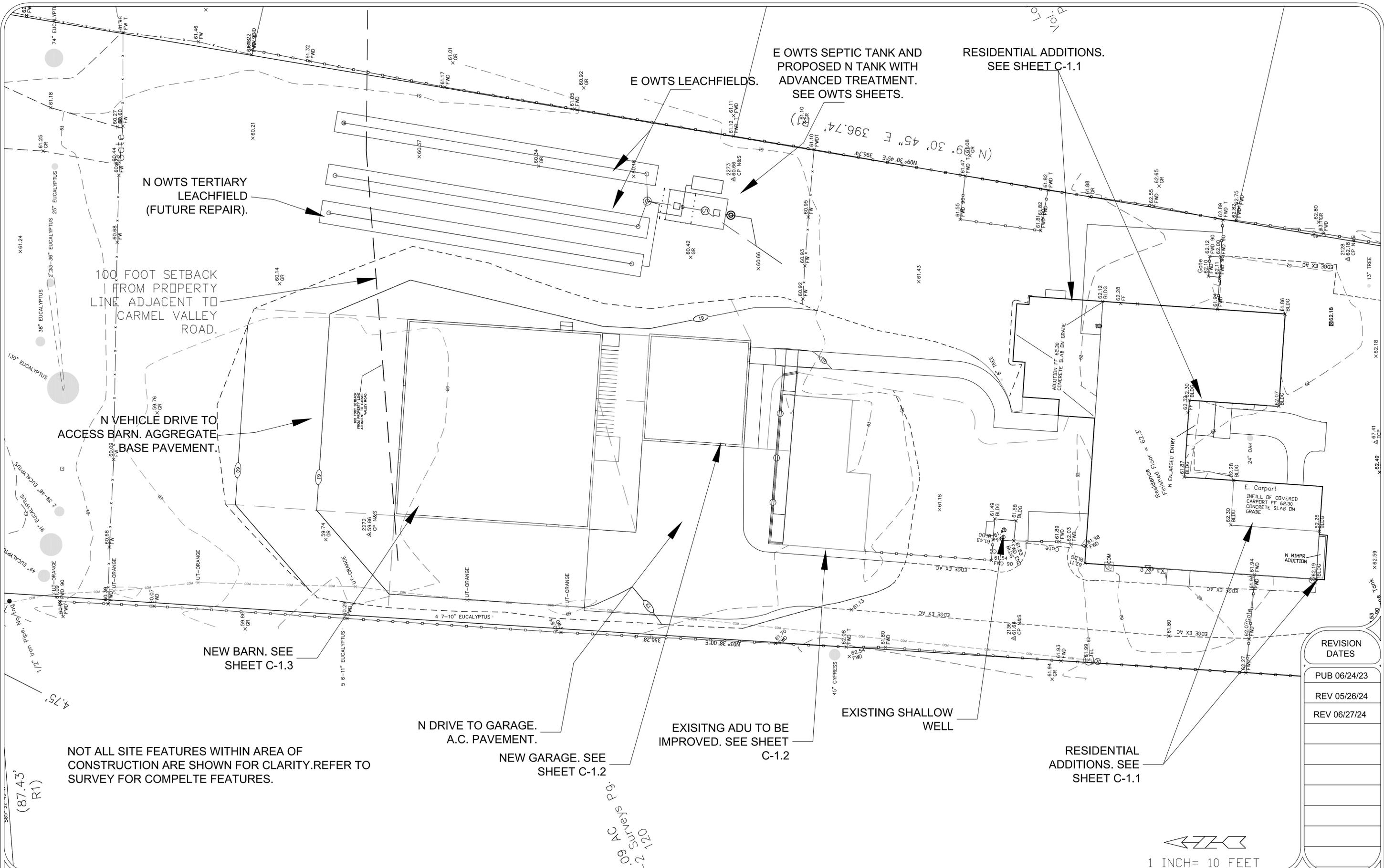


**BASIS OF BEARINGS**  
THE BEARING OF N 83°35'45"E ALONG THE SOUTHERY BOUNDARY LINE AS SHOWN ON THE MAP RECORDED IN VOLUME X2 OF SURVEYS AT PAGE 120 AS FOUND MONUMENTED, WAS TAKEN AS BASIS OF BEARINGS SHOWN UPON THIS MAP.

**NOTES**  
1. DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF.  
2. ALL EASEMENTS MAY NOT BE SHOWN. NO TITLE REPORT WAS PROVIDED.  
3. PROJECT BENCHMARK IS A PK & WASHER STAMPED "POLARIS CONTROL", ELEVATION = 63.25'. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).

PREPARED FOR: Brett George  
SURVEYED BY: POLARIS LAND SURVEYING  
P. O. BOX 1378  
CARMEL VALLEY, CA 93924  
831-659-9564

SCALE: 1" = 20' VIEW: ARCH D DATE: December 15, 2022  
FILE NAME: George Site.dwg JOB #22-204 Sheet 1 of 1



E OWTS SEPTIC TANK AND  
PROPOSED N TANK WITH  
ADVANCED TREATMENT.  
SEE OWTS SHEETS.

RESIDENTIAL ADDITIONS.  
SEE SHEET C-1.1

E OWTS LEACHFIELDS.

N OWTS TERTIARY  
LEACHFIELD  
(FUTURE REPAIR).

100 FOOT SETBACK  
FROM PROPERTY  
LINE ADJACENT TO  
CARMEL VALLEY  
ROAD.

N VEHICLE DRIVE TO  
ACCESS BARN. AGGREGATE  
BASE PAVEMENT.

NEW BARN. SEE  
SHEET C-1.3

N DRIVE TO GARAGE.  
A.C. PAVEMENT.

NEW GARAGE. SEE  
SHEET C-1.2

EXISTING ADU TO BE  
IMPROVED. SEE SHEET  
C-1.2

EXISTING SHALLOW  
WELL

RESIDENTIAL  
ADDITIONS. SEE  
SHEET C-1.1

NOT ALL SITE FEATURES WITHIN AREA OF  
CONSTRUCTION ARE SHOWN FOR CLARITY. REFER TO  
SURVEY FOR COMPLETE FEATURES.

REVISION  
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1 INCH = 10 FEET

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PREPARED FOR:

BRETT & LIZ GEORGE  
26605 BONITA WAY  
CARMEL, CALIFORNIA 93923

GEORGE RESIDENCE; A.P.N. 015-181-014-000  
26605 BONITA WAY, CARMEL, CALIFORNIA 93923  
**IMPROVEMENT PLANS**  
GRADING & DRAINAGE - OVERALL SITE

**C-1.0**  
Date Plotted: Jun 27, 2024

GEORGE RESIDENCE  
FILE NO. 7574-22.05

2.09 AC  
120 Surveys Pg.

(87.43'  
R1)

10.0  
10.0

(N) 30° 45' E 396.74'  
30° 45' E 396.74'

Residence  
Enlarged  
3'-6" = 3'-0"

38" EUCALYPTUS  
2'-33"-36" EUCALYPTUS 25" EUCALYPTUS

49" EUCALYPTUS  
39" EUCALYPTUS  
2'-39"-46" EUCALYPTUS

4'-75"

(87.43'  
R1)

13" TREE

1/2" Iron Pipe No. 100

2.09 AC

120 Surveys Pg.

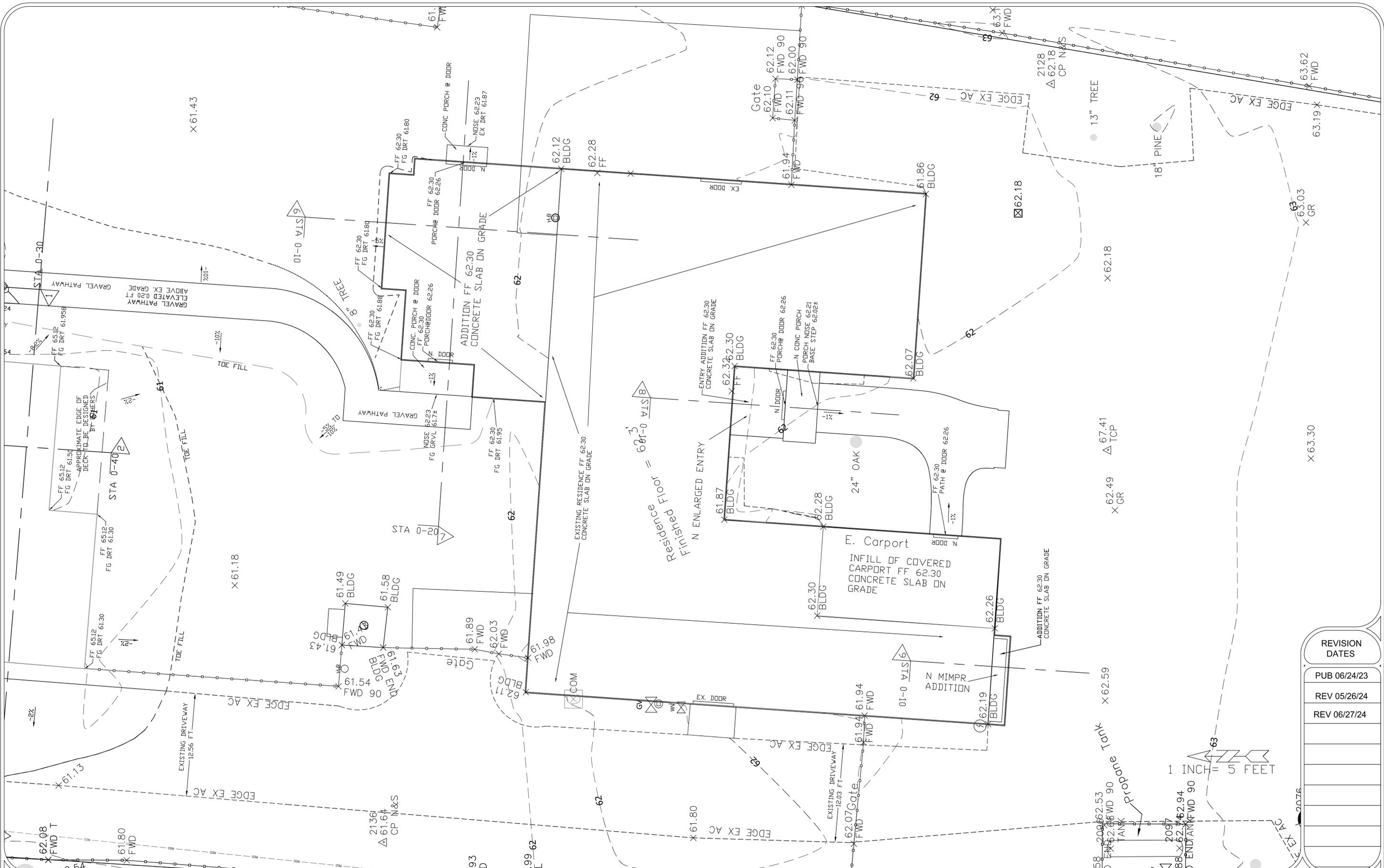
10.0

10.0

13" TREE

1/2" Iron Pipe No. 100

2.09 AC



REVISION DATES
PUB 06/24/23
REV 05/26/24
REV 06/27/24

1 INCH = 5 FEET

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 26605 BONITA WAY  
 CARMEL, CALIFORNIA 93923

GEORGE RESIDENCE; A.P.N. 015-181-014-000  
 26605 BONITA WAY, CARMEL, CALIFORNIA 93923  
**IMPROVEMENT PLANS**  
 GRADING & DRAINAGE - RESIDENCE

**C-1.1**  
 Date Plotted: Jun 27, 2024

GEORGE RESIDENCE  
 FILE NO. 7574-22.05



REVISION DATES

PUB 06/24/23
REV 05/26/24
REV 06/27/24

1 INCH = 5 FEET

C-1.2  
Date Plotted: Jun 27, 2024

GEORGE RESIDENCE  
FILE NO. 7574-22.05

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BRETT & LIZ GEORGE  
26605 BONITA WAY  
CARMEL, CALIFORNIA 93923

GEORGE RESIDENCE; A.P.N. 015-181-014-000  
26605 BONITA WAY, CARMEL, CALIFORNIA 93923  
**IMPROVEMENT PLANS**  
GRADING & DRAINAGE - DETACHED GARAGE



REVISION DATES
PUB 06/24/23
REV 05/26/24
REV 06/27/24

1 INCH = 5 FEET

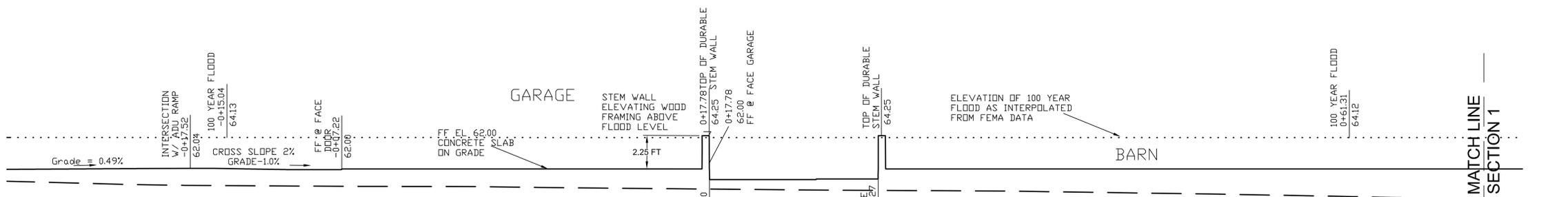
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 LAWRENCE E. GRICE, P.E.; R.C.E. 68857

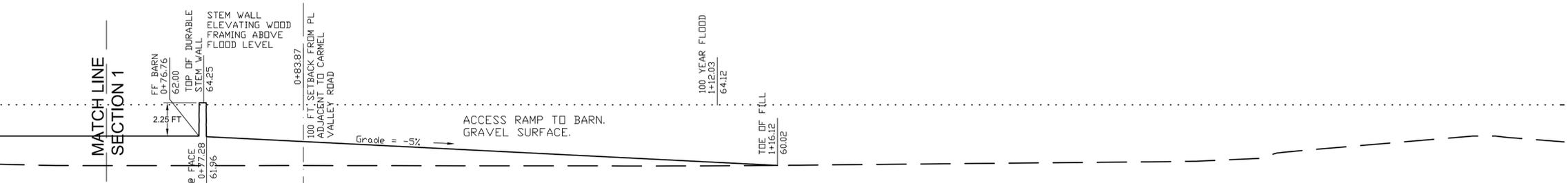
PREPARED FOR:  
**BRETT & LIZ GEORGE**  
 26605 BONITA WAY  
 CARMEL, CALIFORNIA 93923

GEORGE RESIDENCE; A.P.N. 015-181-014-000  
 26605 BONITA WAY, CARMEL, CALIFORNIA 93923  
**IMPROVEMENT PLANS**  
 GRADING & DRAINAGE - BARN

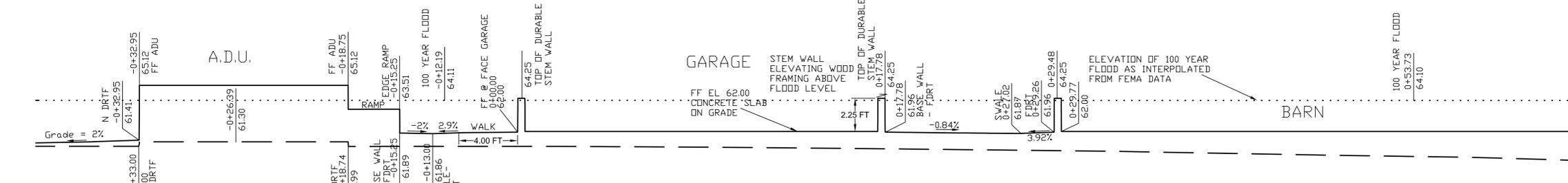
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 Date Plotted: Jun 27, 2024  
 GEORGE RESIDENCE  
 FILE NO. 7574-22.05



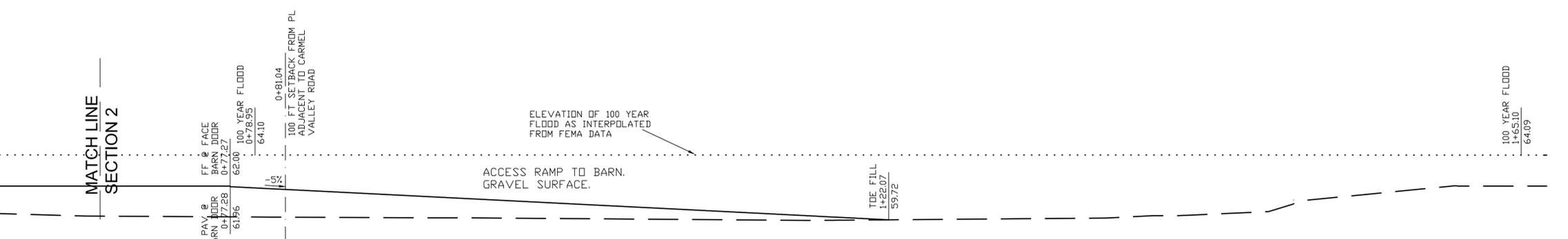
1 SECTION 1 - PART 1  
SCALE 1" = 4'



1 SECTION 1 - PART 2  
SCALE 1" = 4'



2 SECTION 2 - PART 1  
SCALE 1" = 4'

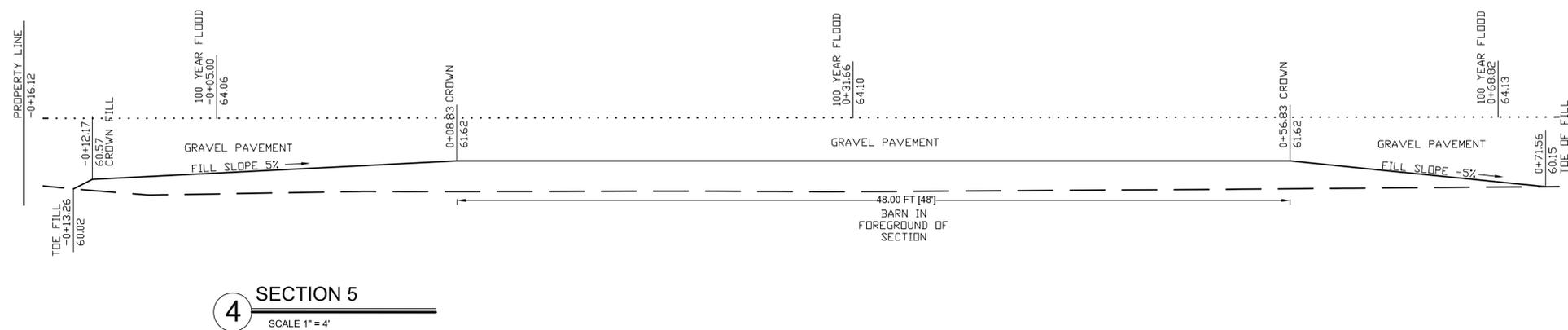
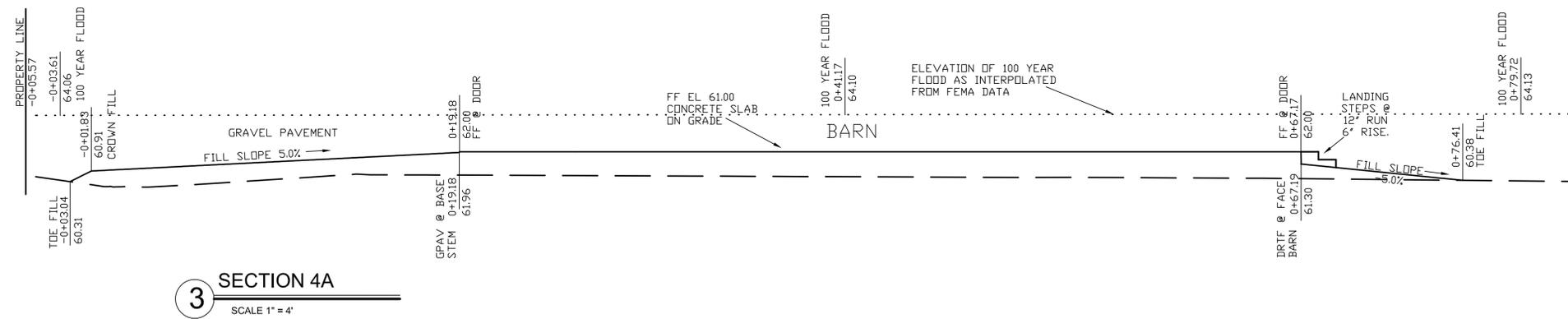
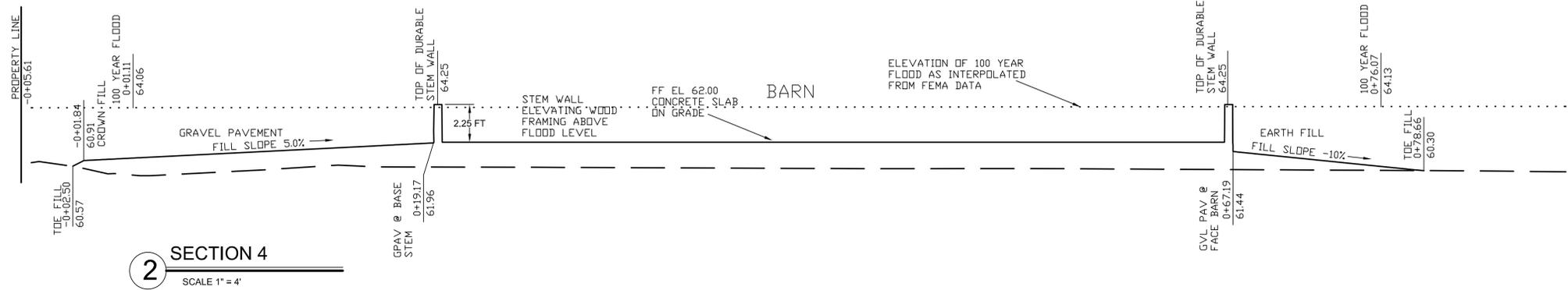
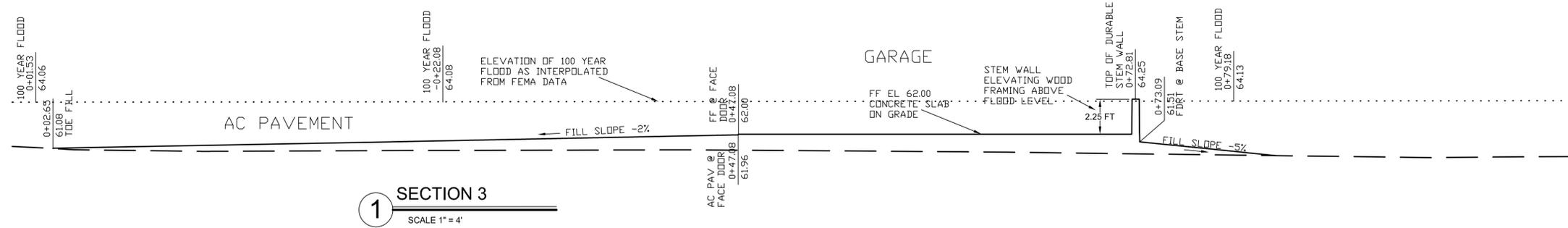


2 SECTION 2 - PART 2  
SCALE 1" = 4'

PROPERTY LINE  
1+84.94

PROPERTY LINE  
1+82.11

REVISION DATES
PUB 06/24/23
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REV 06/27/24



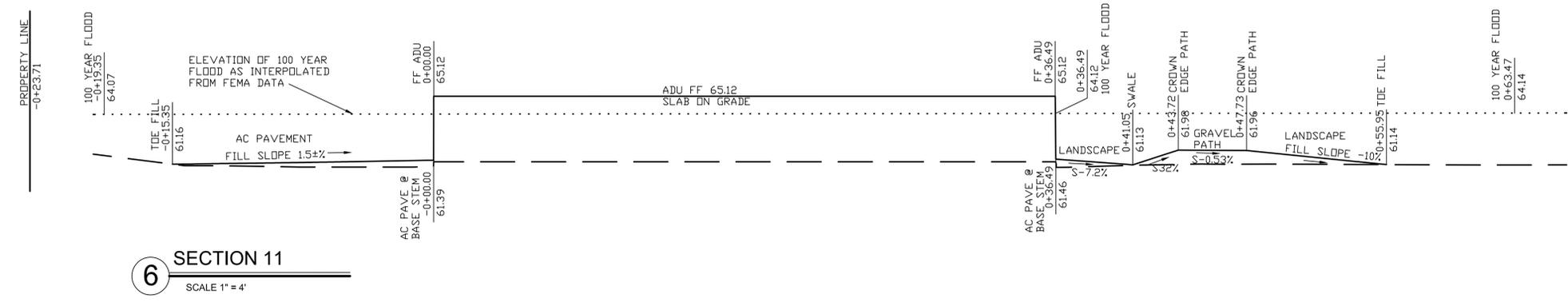
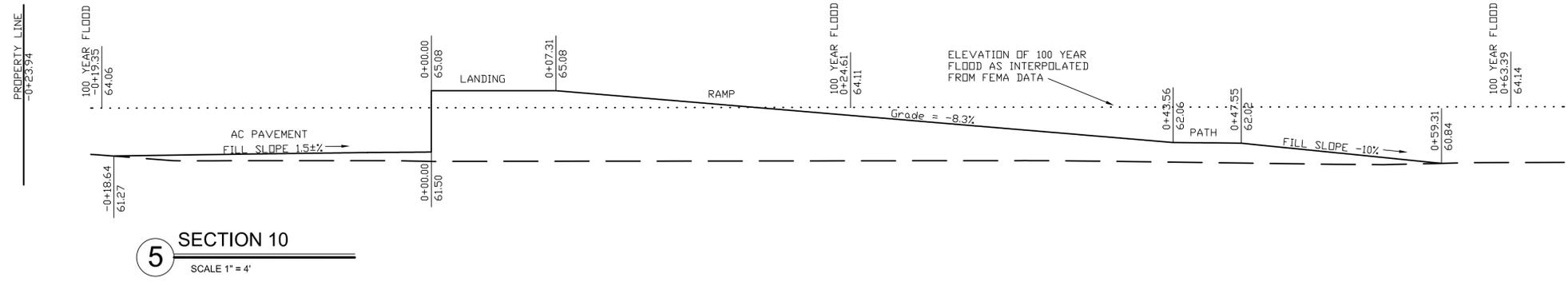
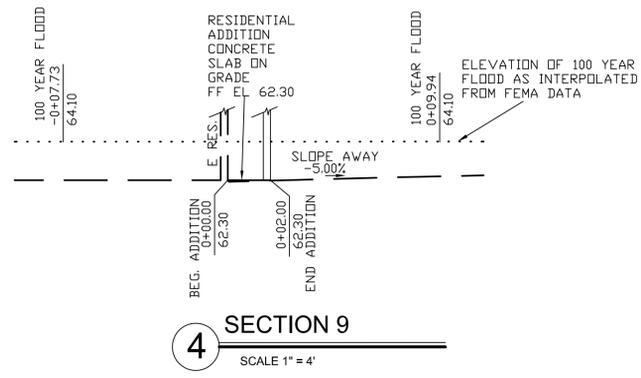
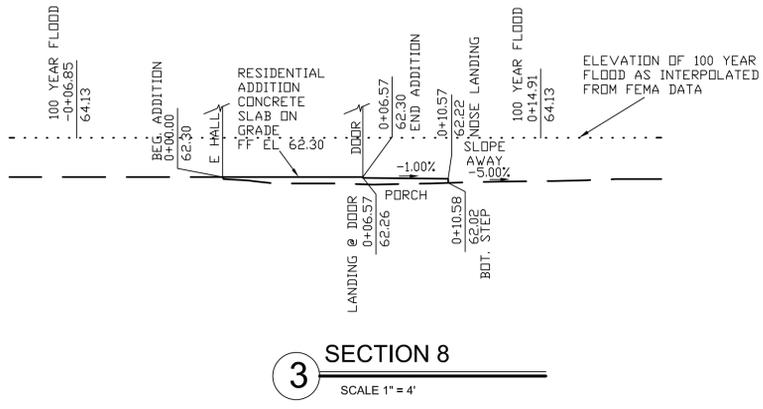
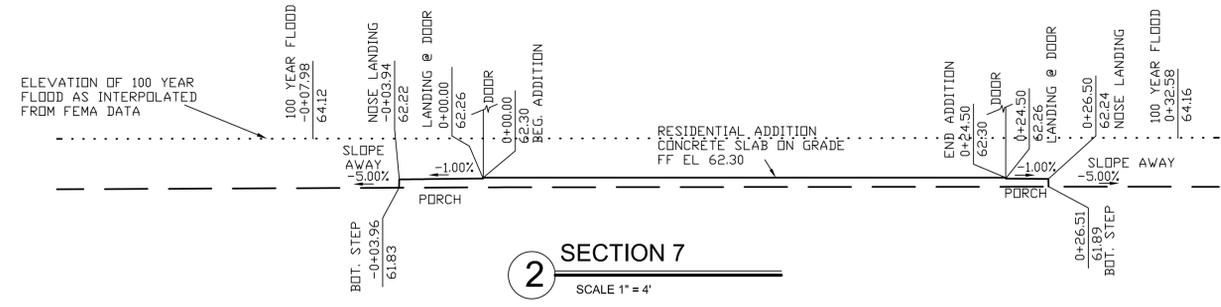
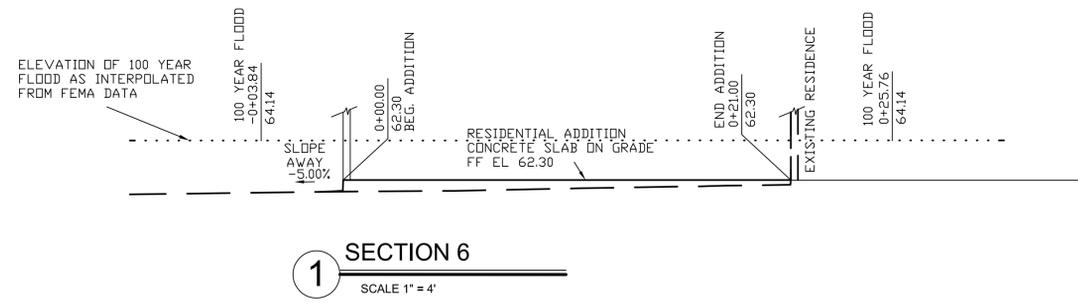
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REV 06/27/24





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LAWRENCE E. GRICE, P.E.; R.C.E. 68857

PREPARED FOR:

BRETT & LIZ GEORGE  
26605 BONITA WAY  
CARMEL, CALIFORNIA 93923

GEORGE RESIDENCE; A.P.N. 015-181-014-000  
26605 BONITA WAY, CARMEL, CALIFORNIA 93923  
**IMPROVEMENT PLANS**  
SECTIONS

**C-2.2**  
Date Plotted: Jun 27, 2024

GEORGE RESIDENCE  
FILE NO. 7574-22.05

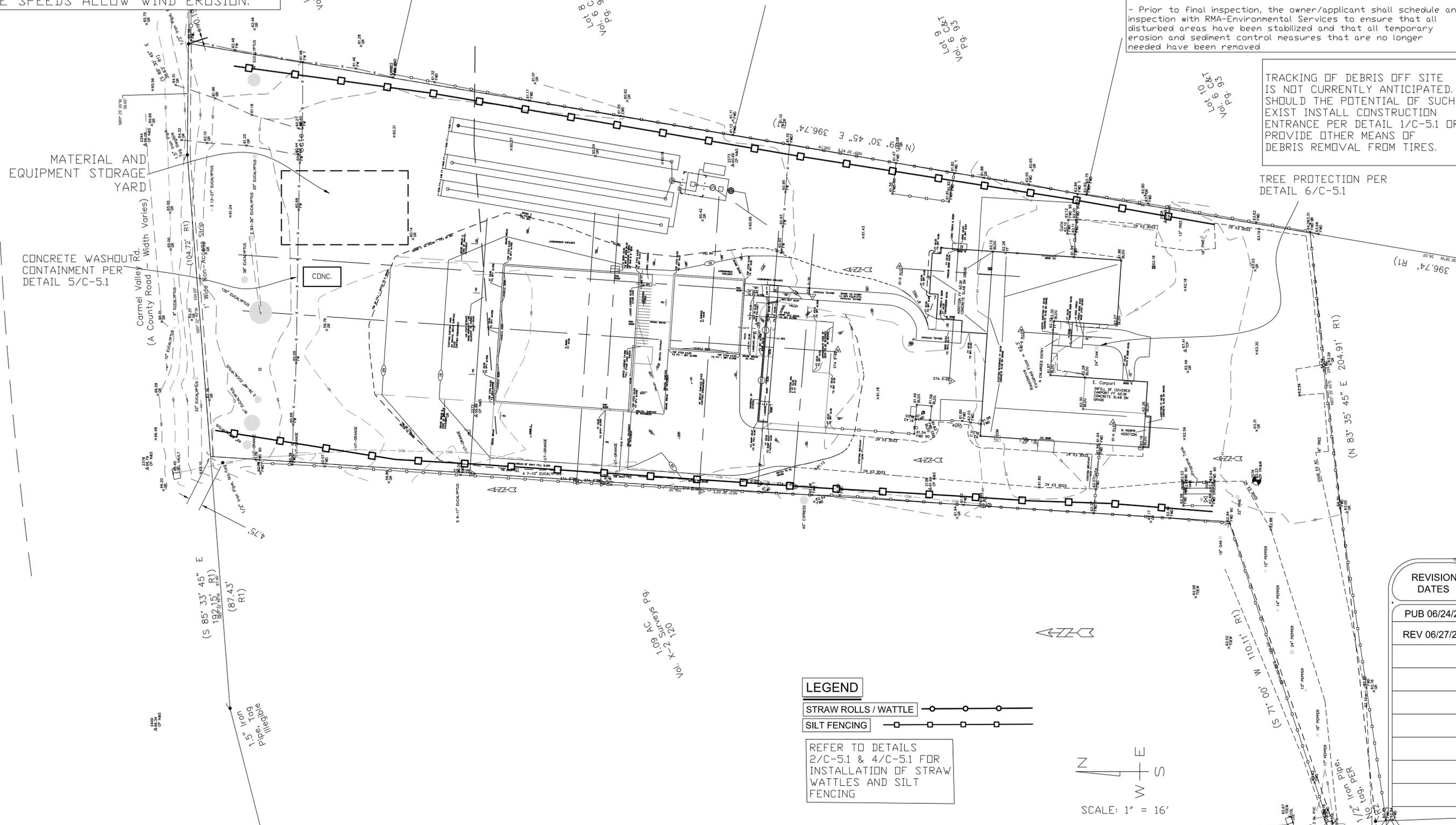
**WIND EROSION CONTROL:**

1. ALL ACTIVE AREAS AND NEW BARE EARTH SURFACES ARE TO BE SPRAY WATERED DAILY OR AS REQUIRED TO ELIMINATE AIRBORNE DUST.
2. CONSTRUCTION TRAFFIC TO BE LIMITED TO A VELOCITY OF 15 MPH OR LESS.
3. HAUL TRUCKS TO UTILIZE COVERS WHEN VEHICLE SPEEDS ALLOW WIND EROSION.

**NOTE:**

- Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations.
- During construction, the owner/applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point.
- Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services to ensure that all disturbed areas have been stabilized and that all temporary erosion and sediment control measures that are no longer needed have been removed.

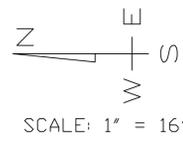
TRACKING OF DEBRIS OFF SITE IS NOT CURRENTLY ANTICIPATED. SHOULD THE POTENTIAL OF SUCH EXIST INSTALL CONSTRUCTION ENTRANCE PER DETAIL 1/C-5.1 OR PROVIDE OTHER MEANS OF DEBRIS REMOVAL FROM TIRES.



**LEGEND**

- STRAW ROLLS / WATTLE
- SILT FENCING

REFER TO DETAILS 2/C-5.1 & 4/C-5.1 FOR INSTALLATION OF STRAW WATTLES AND SILT FENCING



**REVISION DATES**

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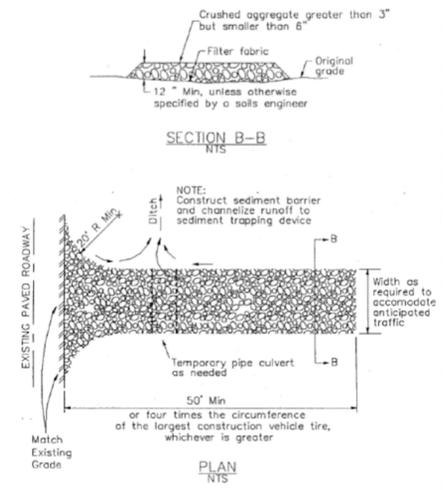
LAWRENCE E. GRICE, P.E.; R.C.E. 66857

PREPARED FOR:  
BRETT & LIZ GEORGE  
26605 BONITA WAY  
CARMEL, CALIFORNIA 93923

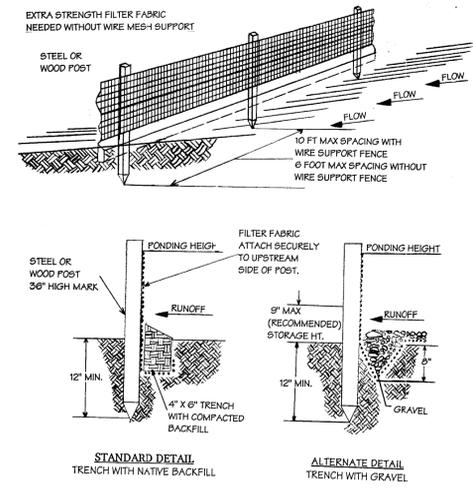
GEORGE RESIDENCE; A.P.N. 129-011-075-000  
26605 BONITA WAY, CARMEL, CALIFORNIA 93923  
**IMPROVEMENT PLANS**  
EROSION CONTROL - SITE PLAN

**C-5.0**  
Date Plotted: Jun 27, 2024

GEORGE RESIDENCE  
FILE NO. 7574-22.05



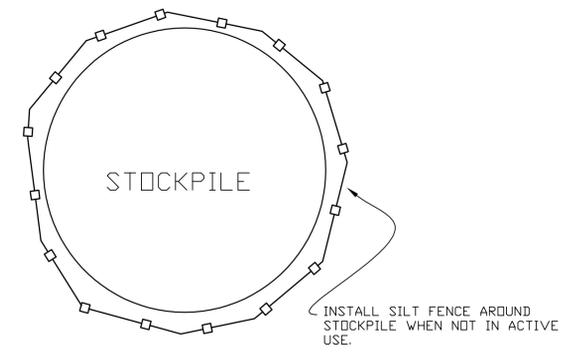
① CONSTRUCTION ENTRANCE



**SILT FENCE**

NOTE:  
 1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.  
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENT STABILIZED.  
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

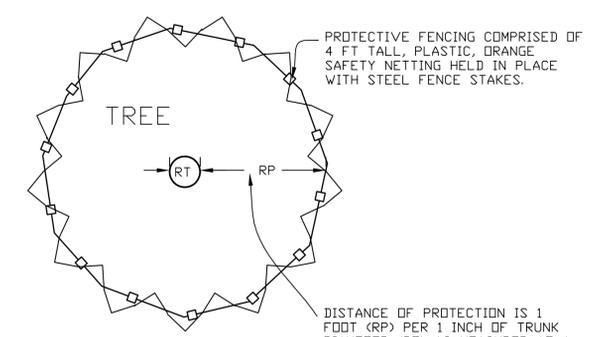
② SILT FENCE INSTALLATION DETAILS NOT TO SCALE



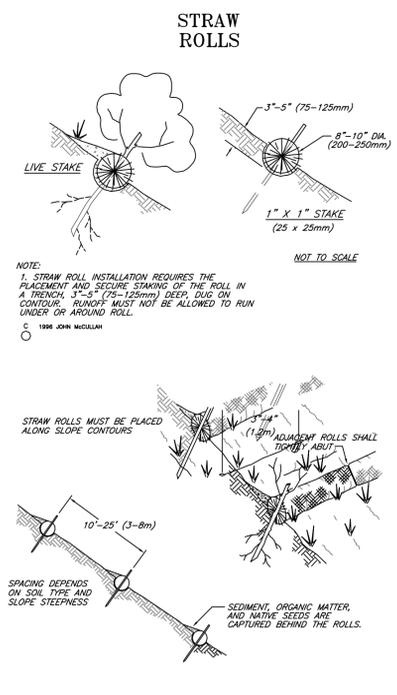
1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CONCENTRATED FLOW OF STORM WATER, DRAINAGE COURSES AND INLETS.
2. PROTECT ALL STOCKPILES FROM STORM WATER RUN-ON USING A TEMPORARY PERIMETER SEDIMENT BARRIER OF SILT FENCING.
3. IMPLEMENT WIND EROSION CONTROL PRACTICES AS APPROPRIATE ON ALL STOCKPILED MATERIAL.

③ TEMPORARY ACTIVE STOCKPILE MANAGEMENT

FILL PLACEMENT WITH THE PROTECTED AREA IS ALLOWED. COMPACTION OF FILL IS TO BE MINIMAL AND ONLY SUFFICIENT TO SETTLE SOILS.  
 CUTTING WITHIN PROTECTED AREA IS TO BE AVOIDED FOR PROTECTED TREE SPECIES OR FOR TREES TO REMAIN.



⑥ TEMPORARY TREE PROTECTION



**STRAW WATTLE INSTALLATION**

Proper installation of the Straw Wattles is essential in order to insure the success of the product. Straw Wattles are designed for low surface flows, not to exceed 1 cfs for small areas. While they work well on stream banks, they should not be placed in the path of high waterflow. On slopes, Wattles should be installed on contour with a slight downward angle at the end of the row in order to prevent pooling at the mid-section. No overall slope preparation is needed prior to installation, however Straw Wattles should always be installed in shallow trenches according to the guidelines given below. Running lengths of Wattles should be abutted firmly to ensure no leakage at the abutments. Guidelines regarding vertical spacing are given below. The Wattles should be pinned securely to the ground according to instructions in order to insure their stability and the success of the installation.

**SPACING - DOWN SLOPE**

Vertical spacing for slope installations should be determined by site conditions: slope gradient and soil type are the main factors. A good rule-of-thumb is:

1:1 slopes = 10 feet apart  
 2:1 slopes = 20 feet apart  
 3:1 slopes = 30 feet apart  
 4:1 slopes = 40 feet apart, etc.

However, adjustments may have to be made for the soil type: For soft, loamy soils - adjust the rows closer together; For hard, rocky soils - adjust the rows further apart.

**TRENCHING**

Use a hand tool such as a maddox or pick to score the ground. Using a shovel, dig the trench to the needed depth. Soil from excavating the trenches can be placed on the uphill, or flow side, of the trench to be used during installation.

For soft, loamy soils dig a 3 - 5 inch trench.  
 For hard, rocky soils dig a 2 - 3 inch trench.

**INSTALLING**

Lay the first Straw Wattle snugly in the trench. No daylight should be seen under the Wattle. Pack soil from trenching against the Wattle on the uphill side. When installing running lengths of Straw Wattles, butt the second Wattle tightly against the first. DO NOT overlap the ends. Stake the Straw Wattles at each end and four foot on center. For example:

A 25 foot Wattle uses 6 stakes  
 A 20 foot Wattle uses 5 stakes  
 A 12 foot Wattle uses 4 stakes

④ STRAW WATTLE DETAILS AND NOTES NOT TO SCALE

Stakes should be driven through the middle of the Wattle, leaving 2 - 3 inches of the stake protruding above the Wattle. A heavy sediment load will tend to pick the Wattle up and could pull it off the stakes if they are driven down too low. It may be necessary to make a hole in the Wattle with the pick end of your maddox in order to get the stake through the straw. When Straw Wattles are used for flat ground applications, drive the stakes straight down; when installing Wattles on slopes, drive the stakes perpendicular to the slope.

Drive the first end stake of the second Wattle at an angle toward the first Wattle in order to help abut them tightly together. If you have difficulty driving the stake into extremely hard or rocky slopes, a pilot bar may be needed to begin the stake hole.

**FLAT GROUND APPLICATIONS**

For installations along sidewalks or behind curbs it may not be necessary to stake the Wattles, however trenches must still be dug. If you have not yet back-filled behind the sidewalk or curb, lay the Wattle snugly against it first, then backfill behind the Wattle; your trench is done! For installations around storm drains and inlets, trenches and staking will be needed.

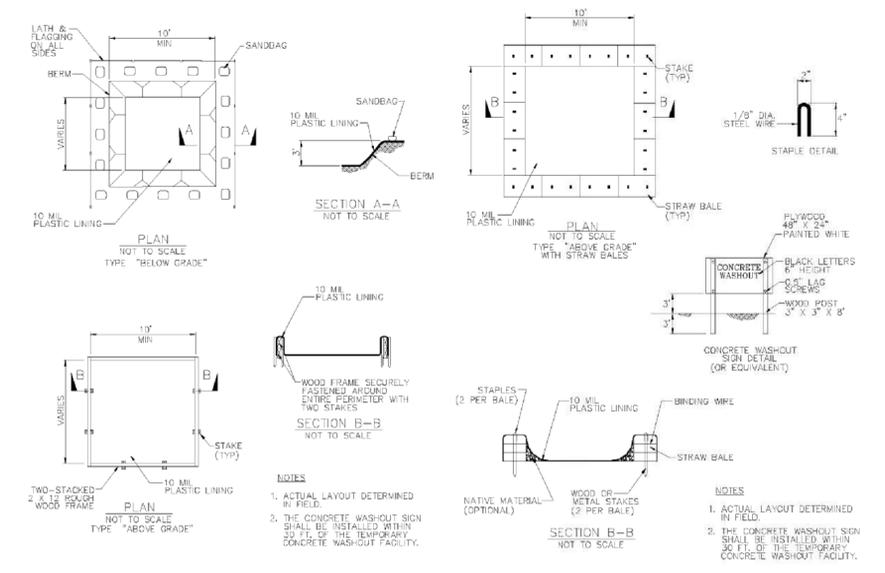
Fit Wattle in trench snugly up against the sidewalk or curb. Around storm drains or inlets, the Wattle should be back 1 - 1 1/2 ft. and should direct water flow toward the angle of drainage. If all drainage angles into the inlet, snake the Wattle all the way around the inlet, using more than one Wattle if needed.

**STAKING**

We recommend using wood stakes or willow cuttings, rather than metal pins, to secure the Straw Wattles. Wood stakes will eventually biodegrade, and willow cuttings will grow and provide extra stabilization. Be sure to use a stake that is long enough to protrude several inches above the Wattle; 18" is a good length for hard, rocky soil. For soft, loamy soil use a 24" stake for greater security. The diameter of the stake should be approximately 1" for ease of driving through the Wattle.

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**WM-8 Concrete Waste Management**



⑤ CONCRETE WASHOUT MANAGEMENT CONTRACTOR TO DETERMINE WHICH BASIN TO USE. ACCEPTABLE ALTERNATIVES INCLUDE PREFABRICATED ITEMS SUCH AS THE OUTPAK SERIES.

REVISION DATES

PUB 06/24/23

REV 06/27/24