

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

RIVERA STEVEN A & JUNE M TRS (PLN220327)

RESOLUTION NO. 24-014

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding the project exempt from CEQA pursuant to section 15303, new structures, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Combined Development Permit consisting of a:
 - a. Coastal Administrative Permit and Design Approval to allow construction of an 856 square foot accessory dwelling unit; and
 - b. Coastal Development Permit to allow the removal of two protected trees, one 10-inch Coast live oak and one 33-inch landmark Monterey pine.

[PLN220327, Rivera Steven A & June M Trs, 4161 Sunridge Rd, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone (APNs: 008-071-012-000 & 008-071-011-000)]

The Rivera Steven A & June M Trs application (PLN220327) came on for hearing before the Monterey County Zoning Administrator on March 28, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, written testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan (DMF LUP);
 - Monterey County Coastal Implementation Plan, Part 1, Zoning Ordinance (Title 20); and
 - Monterey County Coastal Implementation Plan, Part 5, Regulations for Development in the Del Monte Forest Land Use Plan Area (DMF CIP).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Scope. The project consists of construction of an 856 square foot accessory dwelling unit, removal of two protected trees and approximately 75 cubic yards of cut.
- c) Allowed Use. The project is located at 4161 Sunridge Rd, Pebble Beach, (APN: 008-071-012-000 & 008-071-011-000) within the Del Monte Forest Land Use Plan area. The existing main dwelling was built in 1948 and extends across two legal lots of record. Although the proposed ADU will be located on APN: 008-071-011-000, it is accessory to the main structure. Therefore, this Combined Development Permit (PLN220327) will be associated with both legal lots. The parcels are zoned Medium Density Residential with a density of 4 units per acre with Design Control overlay district in the Coastal Zone or “MDR/4-D (CZ)”, which allows one accessory dwelling unit per main dwelling on a lot pursuant to a Coastal Administrative Permit and Design Approval (Title 20 sections 20.12.040.S and 20.44.020.C.3) and removal of protected trees pursuant to a Coastal Development Permit (DMF CIP section 20.147.050.A). Therefore, the project is an allowed use for this site.
- d) Lot Legality. Both lots are shown in their current size and configuration on page 95 of volume 4, Cities and Towns on a map titled Del Monte Forest Subdivision No. 1, Being a Portion of El Pescadero Rancho. The lots are identified as lots 19 and 18 within block 6. Therefore, the County recognizes them as legal lots of record.
- e) Design/Neighborhood and Community Character. The property is subject to the Design Control “D” overlay zoning district regulations which requires design review of proposed development to assure protection of the public viewshed and neighborhood character. Consistent with Title 20, Chapter 20.44, a Design Approval Application was submitted. The proposed colors and materials for the ADU include vertical panel siding painted to match the existing main structure, copper painted aluminum fascia, metal framed glass sliding doors, off-white stucco for the exterior staircase, black metal cable railing, metal framed windows with a white finish, with decorative black posts and a stacked stone chimney to match the existing single family dwelling. The ADU will blend in with the existing main structure and overall neighborhood character. It will not block views of the ocean or be visible from any scenic highways.
- f) Development Standards. Development standards for the Medium Density Residential zoning district can be found in Title 20 section 20.12.060. The proposed development conforms with all regulated site development standards. As mentioned above, there are two lots associated with this project. To remain consistent with the construction of the existing main structure of the property, the lot sizes of both lots have been combined for the sake of lot coverage and floor area ratio. If the main dwelling was ever demolished in the future, the lots would be considered separated, and any new development would need to follow the current regulations. The allowed site coverage for the subject zoning district is 35% (9,099 square feet), the proposed site coverage, including the ADU, is 20% (5,133 square feet). The proposed ADU will have a total floor area ratio (FAR) of 3.3% (856 square feet) bringing the total

FAR of the property to 16% (4,232 square feet). This is below the maximum allowed FAR, 35% (9,099 square feet). The proposed development will be within all required setbacks. California State ADU Law requires ADUs to have a four foot rear and side setback. Title 20 requires habitable accessory structures to have a six foot setback from main structures on the property. The proposed ADU will be over 10 feet from both side property lines, as well as the rear property line. It will be located over 12 feet away from the main structure as well. California State ADU Law does not require a front setback; however, the ADU will be over 97 feet from the front property line and will be placed behind the main residence. The allowed height for ADUs is 16 feet; the proposed ADU will have a height of 15 feet 10 inches from the average natural grade. Therefore, the proposed project is in conformance with all applicable development standards.

- g) Pescadero Watershed. Both parcels are within the Pescadero Watershed area. Pursuant to Policy 77 of the DMF LUP and DMF CIP section 20.147.030.A.1.b, each parcel has an allowance of 9,000 square feet of impervious coverage. Consistent with the policies and regulations, the applicants have proposed a total impervious coverage of 7,084 square feet across both parcels.
- h) Tree Removal. As demonstrated in Finding 5 and supporting evidence, the required finding to allow tree removal have been made.
- i) Historical Resources. The existing single family dwelling on the lot is listed on the Monterey County Register of Historical Resources as the “Ferris Bagely House”. This structure is an example of post WWII Second Bay Region architectural design and received a Mills Act Contract in 2023. Due to the proposed ADU’s proximity to the historical structure, a historical report (LIB240046) was prepared to evaluate any potential impacts. This historical report concluded that the proposed ADU, as designed and sited, would not have any impact on the historical integrity of the Ferris Bagely House. The review process of the application followed the regulations within Monterey County Code section 18.25.150 regarding preservation of historical resources. The proposed development is also in compliance with the Secretary of the Interior's Standards for the treatment of Historic Properties, including Rehabilitation Standards #9 and #10.
- j) Historical Resources Review Board. The proposal for the ADU was brought before the Historical Resources Review Board (HRRB) on March 7, 2023. The HRRB reviewed the proposed plans and adopted a resolution recommending the Zoning Administrator approve the project as proposed. No public comment was made at this meeting.
- k) Land Use Advisory Committee. The project was brought before the Del Monte Forest Land Use Advisory Committee on December 7, 2023. The committee unanimously recommended support of the application as proposed. No comments were made by the public or the committee at this meeting.
- l) The application, project plans, staking & flagging photos and related support materials submitted by the project applicants to Monterey

County HCD- Planning for the proposed development are found in Project File PLN220327.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.
- EVIDENCE:** a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, Pebble Beach Community Services District (CSD), HCD-Environmental Services and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Recommended conditions have been incorporated.
- b) Staff identified potential impacts to historic resources, soils and protected trees. The following reports have been prepared:
- “Geotechnical Investigation” (LIB230299) prepared by Belinda Taluban, Salinas, California, October 4, 2023.
 - “Tree Assessment and Forest Management Plan” (LIB230298) prepared by Frank Ono, Pacific Grove, California, August 10, 2023.
 - “Phase I Historical Assessment” (LIB230300) prepared by Kent Seavey, Pacific Grove, California, September 1, 2014.
 - “Phase II Historical Assessment” (LIB240046) prepared by Kent Seavey, Pacific Grove, California, January 17, 2024.
- The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions. All development shall be in accordance with these reports.
- c) Staff reviewed aerial imagery and site photos and determined the project site to be suitable for the proposed ADU.
- d) The application, project plans, and related support materials submitted by the project applicants to the Monterey County HCD- Planning for the proposed development are found in Project File PLN220327.
3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.
- EVIDENCE:** a) The project was reviewed by HCD-Planning, HCD-Engineering Services, Pebble Beach CSD, HCD-Environmental Services and Environmental Health Bureau. Conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Necessary public utilities will be provided. Water will be served by Cal Am and the applicant submitted a Monterey Peninsula Water Management District residential water release form indicating they will

be increasing the site's fixture counts. The existing fixture count is 25.7, the proposed is 29. They have 29.4 fixture counts available, so they are still under their allotted amount. Sewage services by Pebble Beach CSD and ultimately conveyed to the Carmel Area Wastewater District. Necessary public utilities including water and sewage services will be provided by Pebble Beach CSD.

- c) The Pebble Beach CSD reviewed the site plans and application materials for compliance with the fire safety regulations and found the project consistent.
- d) The application, project plans, and related support materials submitted by the project applicants to the Monterey County HCD- Planning for the proposed development are found in Project File PLN220327.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No known violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff reviewed aerial imagery and photos of the project site and researched County records to assess if any violation exists on the subject property.
 - c) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN220327.

5. **FINDING:** **TREE REMOVAL** – The tree removal is the minimum required under the circumstances and will not involve risk of adverse environmental impact.

- EVIDENCE:**
- a) Consistent with section 20.147.050.B.1 of the DMF CIP, a Tree Assessment and Forest Management Plan (LIB230298) was submitted to evaluate the proposed tree removal and address potential impacts.
 - b) The project includes removal of two protected trees included one 10 inch Coast live oak and one 33 inch landmark Monterey Pine. Pursuant to section 20.147.050.A, a Coastal Development Permit has been applied to this project for the proposed tree removal.
 - c) The Tree Assessment states the removal of these protected trees is necessary for the development to occur. The Coast live oak tree is within the proposed footprint of the ADU and the landmark pine is within 4 feet of the structure and will be impacted by the required grading.
 - d) The applicants discussed moving the ADU closer to the middle of the back yard, further from the pine tree to possibly retain it. The existing landscaped yard is an important component of the house's historic context and is therefore being preserved. The project arborist stated the existing pine tree is in fair condition with evidence of some pine pitch canker and some canopy loss due to engraver beetle. Removing this tree and replanting two Monterey pines would benefit the health of the forest on the property.

- e) If the ADU was moved towards the middle of the backyard, further from the landmark Pine, it would potentially interfere with the “indoor-outdoor living” design aspect that contributes to the historical integrity of the Ferris Bagely House (see Finding 1, Evidence “i”). Currently, the ADU is sited as far from the view of the large living room windows of the main structure. If the view from the living room was obstructed, it may diminish the historical setting as a whole.
- f) The arborist report determined short term impacts may include additional pruning and reduced root systems for surrounding trees within the construction envelope. However, no additional removal of protected trees is anticipated. There will be no significant long term impacts on the forest ecosystem.
- g) The arborist has recommended a 1:1 replacement ratio for the oak trees and a 2:1 replacement ratio for the landmark pine tree. Therefore, the project has been conditioned (Condition No. 8) to replant three trees following the construction. The project arborist shall approve the replanting plan and monitor the trees over the course of two years to ensure a 100% success rate.
- h) Existing trees within the vicinity of the project site that are not being removed will be protected throughout construction. Protective fencing will be installed around the drip line of the protected trees to ensure no development occurs within the critical root zone. This measure has been implemented as a condition of approval, Condition No. 4.
- i) To avoid potential impacts to nesting birds, a raptor survey shall be completed prior to any tree removal. This requirement has been implemented as a condition of approval, Condition No. 9.
- j) The application, project plans, and related support materials submitted by the project applicants to Monterey County HCD-Planning are found in Project File PLN220327.

6. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Article 19 Section 15303 categorically exempts the construction of new structures including small habitable accessory structures.
 - b) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project:
 - The location of a project site is not located within an environmentally sensitive area;
 - Successive projects of the same type and in the same place would not contribute to a significant cumulative impact;
 - There are no unusual circumstances regarding this project that would cause a significant effect to the environment (see Findings 1, 2, 5 and 6);
 - The project site is not visible from any scenic highways, and the proposed development would not result in damages to scenic resources; and

- The project site is not located on or near any hazardous waste sites listed in Section 65962.5 of the Government Code.
- c) Staff reviewed aerial imagery and photos of the project site to verify that the site and proposed project meet the criteria for an exemption.
- d) See supporting Finding Nos. 1, 2, 5 and 6. The application, project plans, and related support materials submitted by the project applicants to Monterey County HCD-Planning for the proposed development are found in Project File PLN220327.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to/by the Board of Supervisors and the California Coastal Commission (CCC).
- EVIDENCE:**
- a) Pursuant to Title 20 section 20.86.030, an aggrieved party may appeal a decision of the Zoning Administrator to the Board of Supervisors.
 - b) Title 20 section 20.86.080 states an applicant or any aggrieved person who has exhausted all County appeals, or any two (2) members of the California Coastal Commission, may appeal any approved project located between the sea and the first public road paralleling the sea to the CCC. The project parcel is between the sea and the first public road, that road being Highway 1.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Find the project exempt from CEQA pursuant to section 15303, new structures; and
- 2) Approve a Combined Development Permit consisting of a:
 - a) Coastal Administrative Permit and Design Approval to allow construction of an 856 square foot accessory dwelling unit; and
 - b) Coastal Development Permit to allow the removal of two protected trees, one 10-inch Coast live oak and one 33-inch landmark Monterey pine.

Said decision is to be in substantial conformance with the attached plan and subject to the attached conditions which are incorporated herein by reference.

PASSED AND ADOPTED this 28th day of March, 2024:

DocuSigned by:

Mike Novo

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Mike Novo AICP,
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON **APRIL 3, 2024.**

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **APRIL 15, 2024.**

Rivera Steven A & June M Trs (PLN220327)

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD- Planning and HCD- Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220327

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN220327) allows construction of an 856 square foot accessory dwelling unit and the removal of two (2) protected trees [10 inch Coast Live Oak and a 33 inch landmark Monterey Pine]. The property is located at 4161 Sunridge Rd, Pebble Beach (Assessor's Parcel Numbers 008-071-012-000 & 008-071-011-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number 24-014) was approved by the Zoning Administrator for Assessor's Parcel Numbers 008-071-012-000 & 008-071-011-000 on March 28, 2024. The permit was granted subject to 12 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

5. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

6. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

8. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to final, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 1:1 for Coast live oak, 2:1 for landmark Monterey Pine
- Replacement ratio recommended by arborist: 1:1 for Coast live oak, 2:1 for landmark Monterey Pine
- Other:

Replacement tree(s) shall be located within the same general location as the tree being removed.

For this application, the project arborist shall approve the replanting and landscaping plan, prior to submittal for review by Planning. The arborist shall monitor the trees for two years after planting to ensure a 100 percent success rate. If not 100%, the arborist shall monitor the subsequent replacement trees for two years from their planting. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

At one year and two years after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

The arborist shall monitor the trees for two years after planting to ensure a 100 percent success rate. If not 100% successful, the arborist shall monitor the subsequent replacement trees for two years from their planting

9. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepare by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

10. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

11. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

12. PD016 - NOTICE OF REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:
"A Tree Assessment and Forest Management Plan (LIB230298), was prepared by Frank Ono on August 10, 2023, and is on file in Monterey County HCD - Planning. All development shall be in accordance with this report."
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

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RIVERA A.D.U.

4161 Sunridge Rd.

Pebble Beach, CA 93953

GENERAL NOTES

1. CONTRACTOR LICENSE: THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.

2. SCOPE: THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.

3. QUALITY CONTROL: IT IS THE DIRECT INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE OWNER AND ARCHITECT SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.

4. WARRANTY: THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.

5. PERMITS: UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.

6. LEGAL/NOTICE/CODE COMPLIANCE: THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (2019 C.B.C.)

7. CONSTRUCTION RESPONSIBILITY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.

8. JOB SITE SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PREGAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

9. INSURANCE: LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY, INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRE CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.

10. INDEMNIFICATION: THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT FROM AND AGAINST ALL CLAIMS/ DAMAGES/ LOSSES/ AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.

11. CLEANING UP: THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.

12. EXISTING CONDITIONS: CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS, CONDITION AND EXISTING, AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.

13. CONSTRUCTION NOTES: ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.

14. BUILDING CODES: THIS PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA RESIDENTIAL CODE (C.R.C), CALIFORNIA BUILDING CODE (C.B.C), CALIFORNIA MECHANICAL CODE (C.M.C), CALIFORNIA PLUMBING CODE (C.P.C), CALIFORNIA ELECTRICAL CODE (C.E.C), CALIFORNIA ENERGY CODE (C.R.E.C), CALIFORNIA FIRE CODE (C.F.C), CALIFORNIA GREEN BUILDING CODE (C.G.B.C) AND CALIFORNIA TITLE-24 ENERGY CODE.

PROJECT DATA

ADDRESS:
4161 Sunridge Rd.
Pebble Beach, CA 93953

LOT DATA

LOT SIZE:
APN 012= 0.27822942 (12,120 S.F.)
APN 011=0.31855458 (13,876 S.F.)

TOTAL= 25.996 S.F.

ZONING:
A.P.N.:
BUILDING HEIGHT:
OCCUPANCY GROUP:
TYPE OF CONSTRUCTION:

SETBACKS

MDR/4-D(CZ)
FRONT
REAR
SIDE
ACCESSORY/ MAIN STRUCTURE

REQUIRED
50'
10'
10'
10'

PROPOSED
97'-3 1/2"
11'-5 1/2"
10'-1/2"
12'-10 3/4"

BUILDING HEIGHT
(E) LOW GRADE
(E) HIGH GRADE
(E) AVERAGE NATURAL GRADE
MAXIMUM BUILDING HEIGHT

REQUIRED
16' MAX
606'-5"
607'-5"
606'-11"

PROPOSED
15'-10"
606'-11"
622'-9"

ZONING

MDR/4-D(CZ)
BUILDING SITE COVERAGE

ALLOWED
9,099 S.F. (35%)

PROPOSED
5,133 (20%)

LOT COVERAGE

BUILDING LOT COVERAGE

EXISTING MAIN RESIDENCE
EXISTING EAVES OVER 30"
PROPOSED A.D.U.
PROPOSED A.D.U. EXTERIOR STAIRS

3,376 S.F. (13%)
837 S.F. (3.2%)
856 S.F. (3.3%)
64 S.F. (0.002%)

TOTAL BUILDING SITE COVERAGE
PROPOSED FLOOR AREA

EXISTING MAIN HOUSE FLOOR AREA
PROPOSED A.D.U. FLOOR AREA
TOTAL BUILDING FLOOR AREA

3,376 S.F.
856 S.F.
4,232 S.F.

SITE COVERAGE- IMPERVIOUS

ALLOWED
9,000 S.F.

BUILDING SITE COVERAGE
PATIOS & STAIRS
DRIVEWAY
SITE WALLS

5,002 S.F.
1,351 S.F.
669 S.F.
62 S.F.

TOTAL IMPERVIOUS COVERAGE

7,084 S.F.

SITE COVERAGE- PERVIOUS

2,081 S.F.
2,482 S.F.
4,563 S.F.

TOTAL SITE COVERAGE

11,647 S.F.

PROJECT TEAM

OWNER:
STEVEN RIVERA
4161 SUNRIDGE RD.
PEBBLE BEACH, CA, 93953
PH: 925-922-5563

ARCHITECT:
ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVE.
MONTEREY, CA 93940
PH: 831-372-0410
CONTACT: CRISTO STAEDLER

SURVEYOR:
NEAL DICKEY LAND SURVEYING
9670 Pollock Lane
Punedale, CA 93907
PH: 831-320-1864
CONTACT: NEAL DICKEY

PROJECT DESCRIPTION:

CONSTRUCTION OF A NEW 856 S.F. ACCESSORY DWELLING UNIT, CONSISTING OF A LIVING ROOM, KITCHEN, TWO BEDROOMS, ONE BATHROOM, MECHANICAL ROOM AND ROOF DECK.

CUT AND FILL CALCULATIONS

CUT:
FILL:
NET:

75 CY
0 CY
-75 CY

WATERSHED

PESCADERO WATERSHED

UTILITIES

GAS
ELECTRIC
WATER
SEWER

PACIFIC GAS & ELECTRIC
PACIFIC GAS & ELECTRIC
CALIFORNIA AMERICAN WATER
PEBBLE BEACH COMMUNITY SERVICES

SHEET INDEX

SHEET NUMBER

SHEET NAME

SCALE

A-0.1
A-0.2
A-1.1
A-2.1
A-3.1
A-3.2
A-4.1
A-7.1
A-7.2
A-7.3
A-7.4
EL-1.1

COVER SHEET
TOPOGRAPHIC MAP
SITE PLAN
FLOOR PLANS
SOUTH / WEST ELEVATIONS
NORTH / EAST ELEVATION
WALL SECTION
MATERIAL SAMPLES
RENDERINGS
REVISION DIAGRAMS
CONTEXT PHOTOS
EXTERIOR LIGHTING

N.T.S.
1/8"=1'-0"
1/4"=1'-0"
1/4"=1'-0"
1/4"=1'-0"
1"=1'-0"

1/4"=1'-0"

OWNERSHIP NOTES

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

1. TITLE AND ALL "COPYRIGHT" PRIVELEDGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED

2. THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.

3. THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHER FOR ANOTHER SITE.

4. IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

TREE REMOVAL

FIVE (5) TREES TO BE REMOVED: THREE (2) 4" TREES, ONE (1) 6" TREE, ONE (1) 4" OAK, ONE (1) 26" PINE TREE

EXTERIOR LIGHTING NOTE

ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING SHALL BE NO HIGHER THAN 10 FEET ABOVE GROUND AND NOT EXCEED 25 WATTS (INCANDESCANT EQUIVALENT) IN POWER PER FIXTURE.

LOCATION MAP

VICINITY MAP

COVER SHEET

Rivera A.D.U.
4161 Sunridge Rd.
Pebble Beach, CA 93953
A.P.N. 008-071-011 & 012-000

DATE:
SCALE:
DRAWN
JOB NO.

9/11/23
C.S.
22.08

A-0.1

SHEET OF

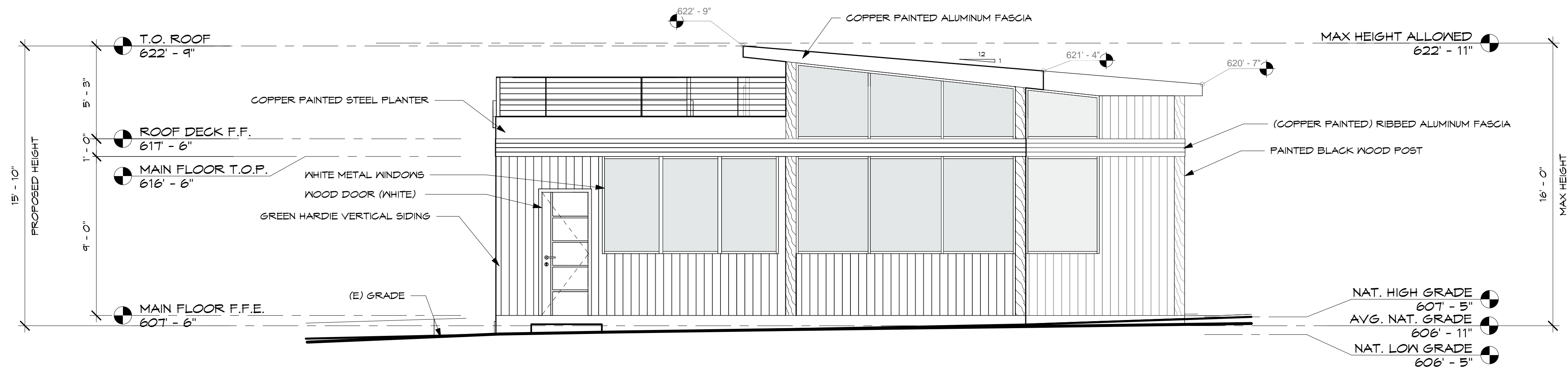
ARCHITECT:
ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

CONSULTANT:

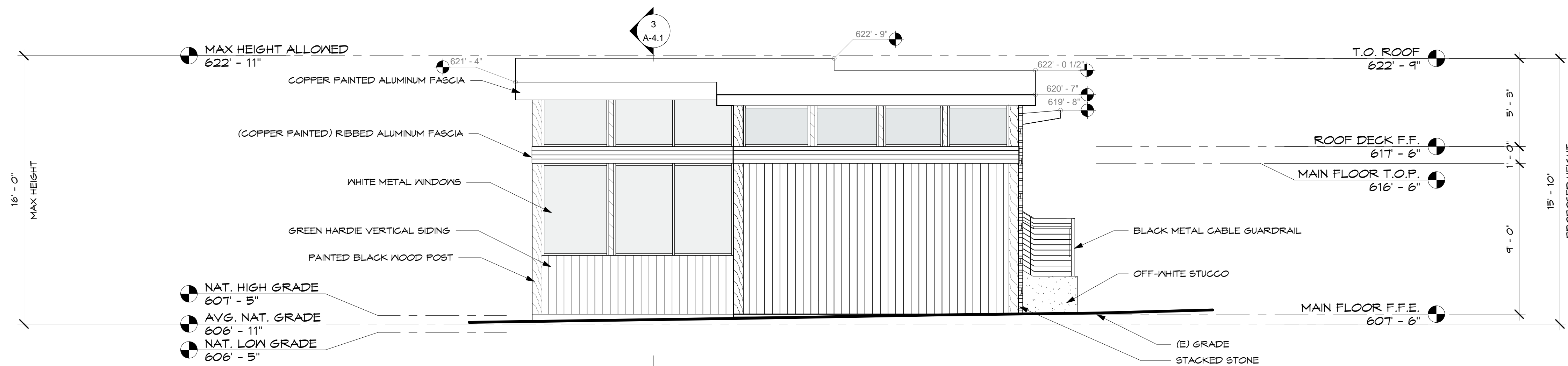


MAIN FLOOR AREA	856 SF
PATIO	163 SF
ROOF DECK (USABLE AREA)	240 SF

REVISION		No.
CONSULTANT:		
ARCHITECT: ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com		
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FLOOR PLANS Job Name: Rivera A.D.U. 4161 Sunridge Rd. Pebble Beach, CA 95553 A.P.N. 008-011-011 & 012-000		
DATE:	9/11/23	
SCALE:	1/4" = 1'-0"	
DRAWN	C.S.	
JOB NO.	2208	
A-2.1 SHEET OF		



1 PROPOSED EAST ELEVATION



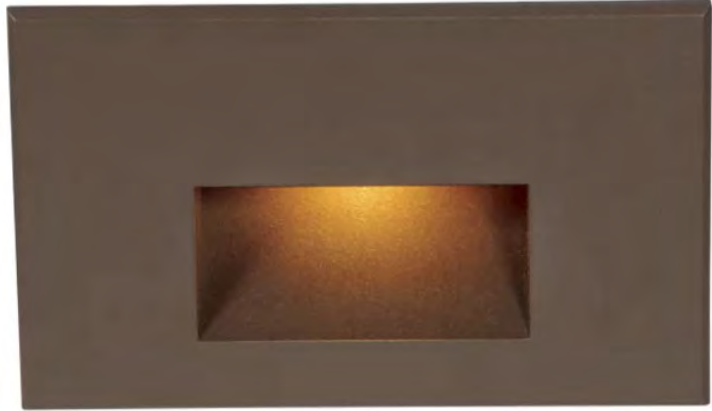
2 PROPOSED NORTH ELEVATION

0 2' 4' 8' 12' 16' 20'

SCALE 1/4"=1'-0"

[illegible]

9/11/2023 10:45:53 AM C:\Users\erica\OneDrive\Work Files\Green\Green 24 submittal.rvt
THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN ANY MANNER, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED - TITLE TO THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



WAC LED STEP LIGHT-2 WATTS

TAPER LED WALL SCONCE BY HINKLEY LIGHTING-8 AND 11 WATTS



COPPER PAINTED ALUMINUM FASCIA TO MATCH EXISTING

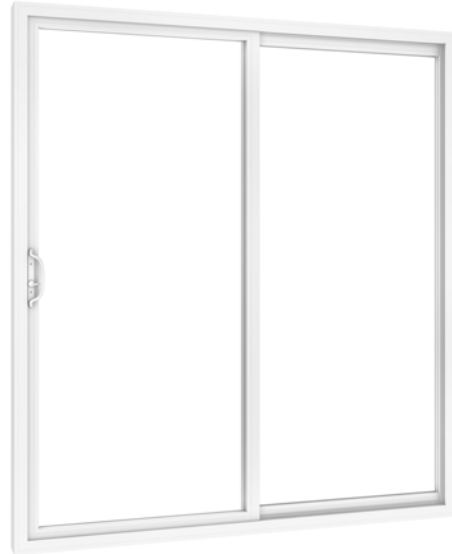


PAINT TO MATCH EXISTING MAIN HOUSE



HARDIE® PANEL VERTICAL SIDING
SIERRA 8

This combination of texture and linear detail adds dimension without getting too fussy.



METAL FRAME GLASS SLIDING DOOR WITH WHITE FINISH

10 EXTERIOR LIGHTING



OFF-WHITE STUCCO

7 FASCIA (MATCH EXISTING)



BLACK METAL CABLE RAILING

4 EXTERIOR SIDING



MATCH EXISTING SLATE PAVERS



1 FRONT ENTRY DOOR



MATCH COLOR OF EXISTING WHITE TRIM WINDOWS AND DOORS



METAL FRAME WINDOWS WITH WHITE FINISH

11 SMOOTH PLASTER



FLUTED WOOD SLAT PANEL CEILING AND SOFFIT

8 RAILING

DURO-LAST® 50-MIL MEMBRANE

Advantages:
Duro-Last® 50-Mil (DL50) is an excellent choice for projects requiring a long lasting, energy efficient roofing membrane. The membrane is available in custom-fabricated sections or as roll goods. A complete line of custom-fabricated accessories and parapets are available for use with DL50.

Description:
DL50 is composed of PVC film laminated to both sides of a reinforcement fabric (well-inserted scrim).

Duro-Last membranes must not be used with Duro-Last EV membranes.

PVC Film - Proprietary thermoplastic PVC formulation of resins, plasticizers, stabilizers, biocides, flame retardants, and U.V. absorbers.

- PVC film above well-inserted scrim - 28 mil, nominal

Well-Inserted Scrim - An 18 x 14 polyester fabric construction with well insertion, composed of 840 x 1000 denser threads, provides superior tear and puncture resistance. The polyester thread is treated to prevent wicking.

Total Thickness - 50 mil, nominal.



Cool Roof Rating Council (CRRC)						
	CRRC ID	Solar Reflectance	Thermal Emittance	Solar Reflective Index (SRI)		
White	0610-0001a	Initial	3-yr	Initial	3-yr	3-yr
		0.86	0.74	0.89	0.89	108
Tan	0610-0005	Initial	3-yr	Initial	3-yr	3-yr
		0.39	0.33	0.89	0.89	43
Gray	0610-0004	Initial	3-yr	Initial	3-yr	3-yr
		0.47	0.40	0.89	0.89	54
Dark Gray	0610-0006	Initial	3-yr	Initial	3-yr	3-yr
		0.28	0.25	0.87	0.89	25
Terra Cotta	0610-0000	Initial	3-yr	Initial	3-yr	3-yr
		0.26	0.24	0.89	0.88	26



PAINTED BLACK POSTS TO MATCH EXISTING BLACK ACCENTS ON MAIN RESIDENCE



EXISTING BLACK ACCENTS ON MAIN RESIDENCE

6 POSTS

2 FRAMED GLASS/ WINDOWS



STACKED STONE TO MATCH EXISTING CHIMNEY

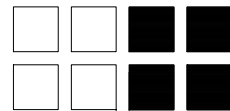


3 STONE (MATCH EXISTING)

12 SOFFIT

9 ROOFING

CONSULTANT:



ARCHITECT:

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

MATERIAL SAMPLES

Job Name:

Rivera A.D.U.

4161 Sunridge Rd.

Pebble Beach, CA 94953

A.P.N. 008-071-011 & 012-000

DATE: 9/11/23

SCALE:

DRAWN: C.S.

JOB NO. 22.08

A-7.1

SHEET OF



REVISION		No.
CONSULTANT:		
ARCHITECT: ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com		
<div>□ □ □ □</div> <div>■ ■ ■ ■</div>		
CONTEXT PHOTOS Job Name: Rivera A.D.U. 4161 Sunridge Rd. Pebble Beach, CA 92053 A.P.N. 008-071-011 & 012-000		
DATE:		9/11/23
SCALE:		
DRAWN		C.S.
JOB NO.		2208
A-7.4 SHEET OF		

PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA















- 1) PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE RIVERA RESIDENCE (SHEET A-1 PREPARED BY ERIC MILLER ARCHITECTS) & THE BASE TOPOGRAPHIC INFORMATION PREPARED BY NEAL DICKEY LAND SURVEYING, DATED JUNE 2022.
- 2) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUBSURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM AN APPROPRIATE UTILITY COMPANY OR PUBLIC AGENCY. OWNER'S AS-BUILT RECORDS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- 3) THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- 4) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

- 1) ALL GRADING SHALL CONFORM TO THE LATEST MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE; THE RECOMMENDATIONS FOUND IN THE PROJECT'S SOIL ENGINEERING INVESTIGATION PREPARED BY THE SOIL ENGINEER; THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS; THE GOVERNING PUBLIC AGENCIES; THE LATEST REVISION OF THE CALIFORNIA BUILDING CODE (CBC); AND THESE PLANS.
- 2) SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL. MATERIAL ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- 3) NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- 4) THERE ARE APPROXIMATELY 75 CUBIC YARDS OF CUT AND 6 CUBIC YARDS OF FILL TOTAL WITH A NET EXCESS OF 75 CUBIC YARDS. EXCAVATION SHALL BE USED FOR EMBANKMENT OF CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HARD OFF-SITE. ADDITIONAL ON-SITE SOLIDS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. ARE NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOILS REPORT AND BE APPROVED BY THE SOIL ENGINEER PRIOR TO PLACEMENT.
- 5) EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE FILLS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION. ALL BASECOURSE AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION.
- 6) ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL ENGINEER.
- 7) PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10' PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- 8) DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO DO SO AND FOR USE IN GRADING OPERATIONS.
- 9) A COPY OF ALL COMPACTION TESTS AND THE FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- 10) THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10'. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10' OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 2% WHERE LOCATED WITHIN 5' OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- 11) ROOF DRAINAGE SHALL BE ACCOMPLISHED BY THE USE OF GUTTERS AND DOWNSPOUTS. THE UPPER DECK SHALL BE SLOPED AT A MINIMUM OF 1% AND AREA DRAINS SHALL BE INSTALLED AT THE LOW POINTS. THESE AREA DRAINS SHALL THEN CONNECT TO DOWNSPOUTS (SEE ARCHITECTURAL PLANS FOR DETAILS). THE DOWNSPOUTS SHALL BE CONNECTED TO RAINWATER LEADERS AND TIED INTO THE STORM DRAIN SYSTEM AS SHOWN ON THE SITE UTILITY PLAN. DOWNSPOUTS THAT ARE NOT CONNECTED TO A RAINWATER LEADER SHALL OUTLET ONTO SPLASH BLOCKS. RAINWATER LEADERS SHALL BE INSTALLED WITH A MINIMUM OF 1% SLOPE. LEADERS NOT CONNECTED TO A RAINWATER LEADER SHALL BE INSTALLED WITH A MINIMUM OF 2% SLOPE.
- 12) SURFACE RUNOFF SHALL BE COLLECTED BY THE SYSTEM OF SWALES AND DRAINS. CAPTURED STORMWATER SHALL BE PIPED TO A DRY WELL AS SHOWN ON THE SITE UTILITY PLAN. STORM DRAIN LINES SHALL DRAIN BY GRAVITY AND BE SLOPED AT A MINIMUM OF 2% TO AN OUTLET, WHERE A 2% SLOPE IS IMPRACTICAL, PIPES SHALL BE SLOPED AT NO LESS THAN 1% STORM DRAIN LINES SHALL HAVE A MINIMUM COVER OF 12" AND SHALL BE CONSTRUCTED WITH SDR35 PVC PIPE, SIZED AS INDICATED.
- 13) TRENCH DRAINS SHALL BE NDS CHANNEL DRAINS, SIZED AS INDICATED ON THE SITE UTILITY PLAN. FLAT-BOTTOMED CHANNELS SHOULD BE SLOPED AT A MINIMUM OF 0.5% TO AN OUTLET IN ORDER TO ENSURE PROPER DRAINAGE AND PREVENT STANDING WATER IN THE TRENCH. ANY CHANNEL SLOPED AT LESS THAN 0.5% SHALL HAVE OUTLETS SPACED AT NO MORE THAN 12' GRATES AND CHANNELS SHALL HAVE A LOAD RATING GREATER THAN OR EQUAL TO THE EXPECTED LOADING IN THE INSTALLATION AREA. ALL TRENCH DRAINS SHALL BE SURROUNDED BY A MINIMUM OF 4" OF CONCRETE. TRENCH DRAINS SHOULD BE SIZED TO HANDLE THE PEAK RUNOFF RATE PRODUCED BY A 10-YEAR DESIGN STORM.
- 14) SUBSURFACE WATER BEHIND ANY RETAINING WALLS SHALL BE CONTROLLED BY THE INSTALLATION OF SUBDRAINS. SUBDRAIN LINES SHALL BE CONSTRUCTED WITH PERFORATED 4" SDR35 PVC PIPE PLACED WITH THE HOLES FACING DOWNWARD. COLLECTED WATER SHALL DRAIN TO DAYLIGHT AT A MINIMUM SLOPE OF 1% AS SHOWN ON THE SITE UTILITY PLAN. PIPES CARRYING SURFACE WATER OR ROOF WATER SHALL NOT UNDER ANY CIRCUMSTANCES OUTLET INTO A SUBDRAIN LINE. THE SYSTEM OF SUBDRAINS SHOULD REMAIN INDEPENDENT OF THE SURFACE STORM DRAIN SYSTEM.
- 15) UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 90% MINIMUM RELATIVE COMPACTION. RELATIVE COMPACTION SHALL BE CAPTURED WITH NATIVE SOIL. IN NON-PAVED AREAS, NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION.
- 16) ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- 17) SPECIAL INSPECTIONS BY A SPECIAL INSPECTOR ARE REQUIRED DURING FILL PLACEMENT TO ENSURE PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- 18) THE LOCATION, HEIGHT, AND PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- 19) STOP WORK WITHIN 50 METERS (165') OF UNCOVERED RESOURCE AND CONTACT THE MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

PROJECT DATA:

----	PROPERTY BOUNDARY
.....	SETBACK
=====	MAJOR CONTOUR (5' INTERVAL)
-----	MINOR CONTOUR (1' INTERVAL)
■ ■ ■ ■ ■	RETAINING WALL
-> -> -> ->	SWALE FLOW LINE
— 30 — 30 —	STORM DRAIN PIPE
=====	RAINWATER LEADER

	EXISTING RESIDENCE FOOTPRINT
	PROPOSED BUILDING FOOTPRINT
	ASPHALT CONCRETE
	PORTLAND CEMENT CONCRETE
	GRAVEL
	IMPERVIOUS PAVERS

 CATCH BASIN
 AREA DRAIN
 ENERGY DISSIPATOR
 DRY WELL
 TREE
 TREE TO BE REMOVED

AB	=	DIAMETER	EX	=	EXISTING
AB	=	AGGREGATE BASE	FC	=	FLUSH CURB
ABAN	=	ABANDON	FD	=	FIRE DEPARTMENT
AC	=	ASPHALT CONCRETE	FF	=	FISHED FLOOR
AD	=	AREA DRAIN	FG	=	FINISHED GRADE
ADD	=	ADDITION	FL	=	FLOWLINE
ADU	=	ACCESSORY DWELLING UNIT	FM	=	FORCE MAIN
BC	=	BEGINNING OF CURVE	FP	=	FIRE FIGHTER PAD
B	=	BUILDING ENVELOPE	GA	=	GARAGE
BLDG	=	BUILDING	GB	=	GRADE BREAK
BOT	=	BOTTOM	GR	=	GRATE
BSMT	=	BASEMENT	HDPE	=	HIGH-DENSITY POLYETHYLENE
BVC	=	BEGINNING OF VERTICAL CURVE	HP	=	HIGH POINT
CB	=	CATCH BASIN	HT	=	HEIGHT
CF	=	CUBIC FEET	INV	=	PIPE INVERT
CL	=	CENTERLINE	JB	=	JUNCTION BOX
CO	=	CLEANOUT	JT	=	JOINT TRENCH
CONC	=	CONCRETE	LF	=	LINEAR FEET
CY	=	CUBIC YARDS	LP	=	LOW POINT
DG	=	DECOMPOSED GRANITE	MAX	=	MAXIMUM
DK	=	DECK	MIN	=	MINIMUM
DS	=	DOWNSPOUT	OC	=	OPEN CENTER
DWY	=	DRIVEWAY	OUT	=	OUTLET
EC	=	END OF CURVE	PCC	=	PORTLAND CEMENT CONCRETE
EG	=	EXISTING GROUND	PERF	=	PERFORATED
ESMT	=	EASEMENT	PERM	=	PERMEABLE
EVC	=	END OF VERTICAL CURVE	PL	=	PROPERTY LINE
EW	=	EACH WAY	POC	=	POINT OF CONNECTION

PVC	=	POLYVINYL CHLORIDE
RC	=	RELATIVE COMPACTION
RES	=	RESIDENCE
RM	=	ROOM
RND	=	ROUND
RW	=	RETAINING WALL
RWL	=	RANKER LEADER
SD	=	STORM DRAIN
SF	=	SQUARE FEET
SG	=	SUBGRADE
SQ	=	SQUARE
SS	=	SANITARY SEWER
STA	=	STATION
STN	=	STONE
STP	=	STEP
SUBD	=	SUBDRAIN
TBR	=	TO BE REMOVED
TD	=	TRENCH DRAIN
TDW	=	TOP OF WALL
TYP	=	TYPICAL
U.N.O.	=	UNLESS NOTED OTHERWISE
VC	=	VERTICAL CURB
VIF	=	VERIFY IN FIELD
W/	=	WITH
W/O	=	WITHOUT
WD	=	WOOD

SHEET C1	COVER SHEET
SHEET C2	GRADING & DRAINAGE PLAN
SHEET C3	CONSTRUCTION DETAILS
SHEET C4	EROSION & SOURCE CONTROL PLAN
SHEET C5	CONSTRUCTION MANAGEMENT PLAN

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION

Inspection item:	Who will conduct the inspection:	When the inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	SOIL ENGINEER	Beginning of Project		
Subexcavation, fill placement, and subcompaction	SOIL ENGINEER	Throughout grading operations		
Foundation Excavations	SOIL ENGINEER	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	SOIL ENGINEER	Prior to trench backfill		
Utility trench compaction	SOIL ENGINEER	During backfill operations		
Retaining wall backfill compaction	SOIL ENGINEER	During backfill operations		
Baseroack subgrade compaction	SOIL ENGINEER	Prior to pavement installation		

THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2013-00011-DWG; THEREFORE, THE POST=CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COSTA REGION DO NOT APPLY.

2) THE PROJECT SHALL IMPLEMENT THE FOLLOWING STRATEGIES: MINIMIZE COMPACTION OF HIGHLY PERMEABLE SOILS; LIMIT CLEARING AND GRADING OF NATIVE VEGETATION; MINIMIZE IMPERVIOUS SURFACES AND LEAVE THE REMAINING LAND IN A NATURAL UNDISTURBED STATE; MINIMIZE STORMWATER RUNOFF BY DIRECTING RUNOFF FROM PATIOS, PORCHES, AND DRIVEWAYS ONTO VEGETATED AREAS AND DIRECTING ROOF RUNOFF INTO AN INFILTRATION SYSTEM SAFELY AWAY FROM BUILDING FOUNDATIONS AND FOOTINGS, CONSISTENT WITH THE CALIFORNIA BUILDING CODE

OWNER:
STEVEN RIVERA
4161 SUNRIDGE RD
PEBBLE BEACH, CA 93953

ARCHITECT:
CRISTO STAEDLER
ERIC MILLER ARCHITECTS
211 HOFFMAN AVE
MONTEREY, CA 93940

SITE LOCATION:
4161 SUNRIDGE RD
PEBBLE BEACH, CA 93953

	07/27/23	JAN	RELEASED TO CLIENT
No.	DATE	BY	REVISION

GRADING, DRAINAGE, & EROSION CONTROL PLAN

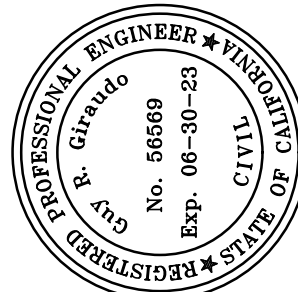
OF
THE RIVERA RESIDENCE
A.P.N.: 008-071-012
PEBBLE BEACH, CALIFORNIA

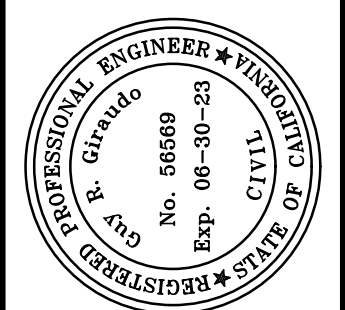
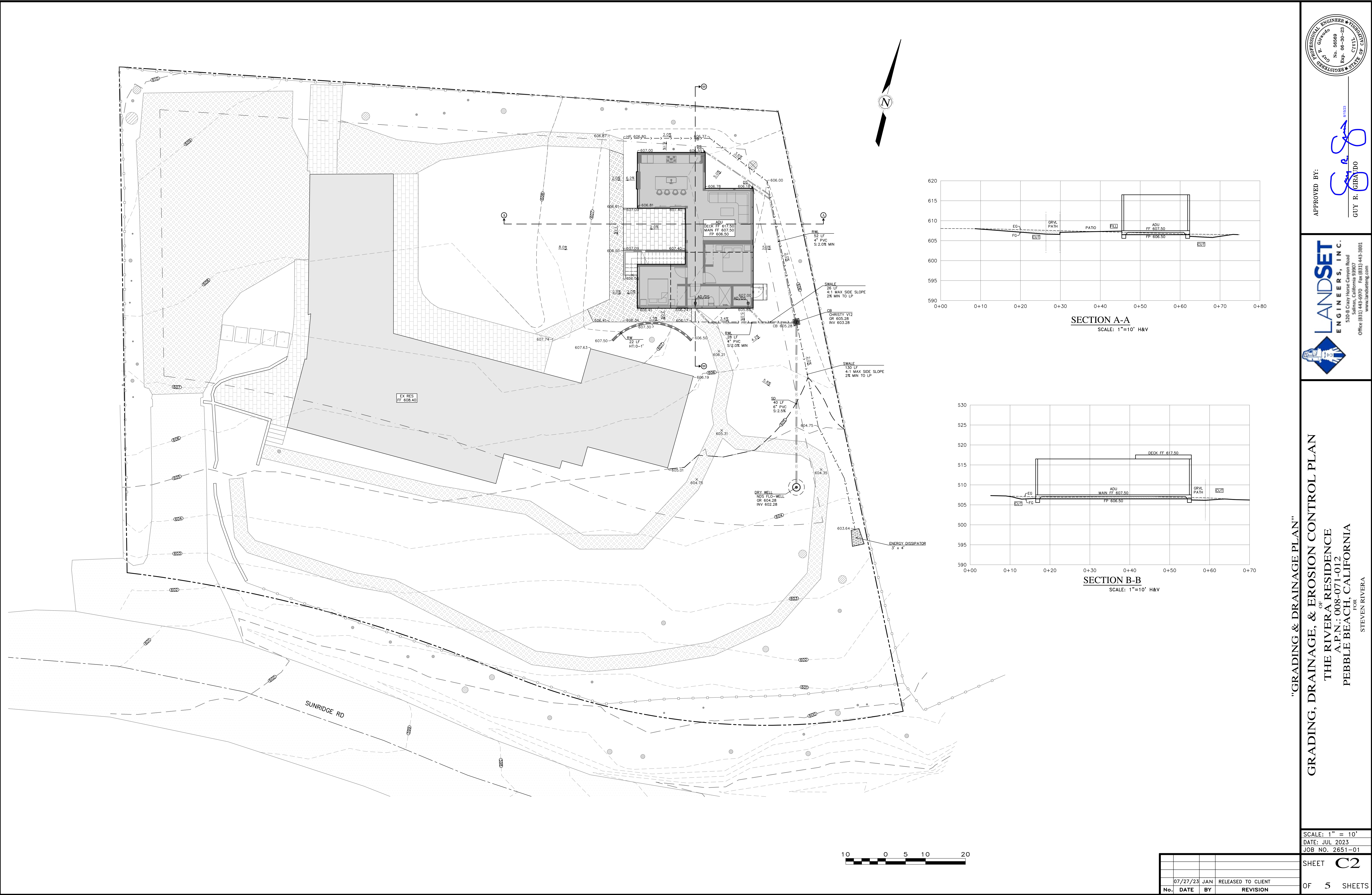
STEVEN RIVERA



APPROVED BY:

GUY R. GIRAUDO





APPROVED BY:

GUY R. GIRARDO

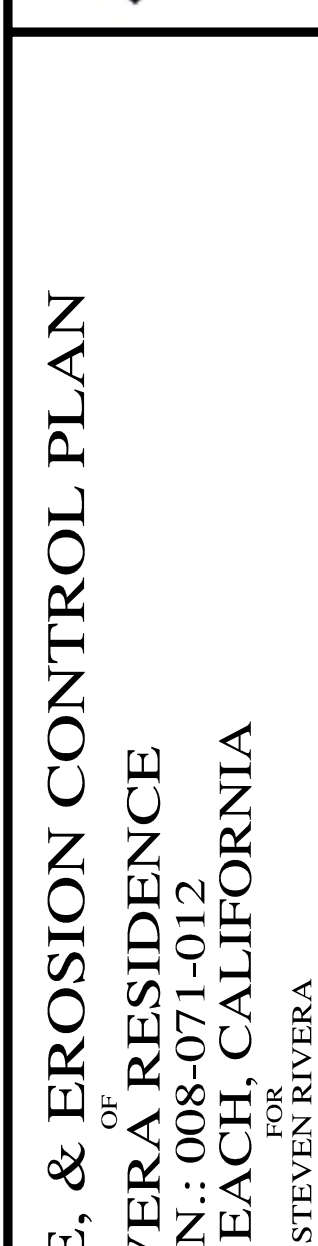
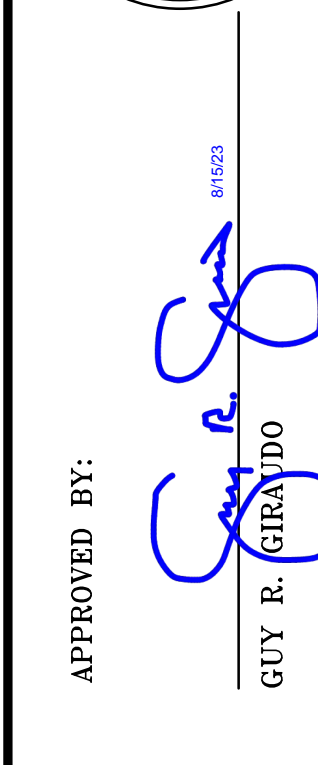
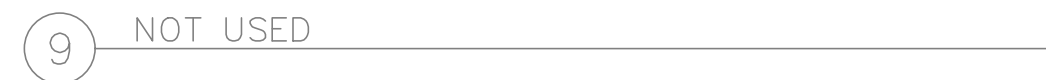
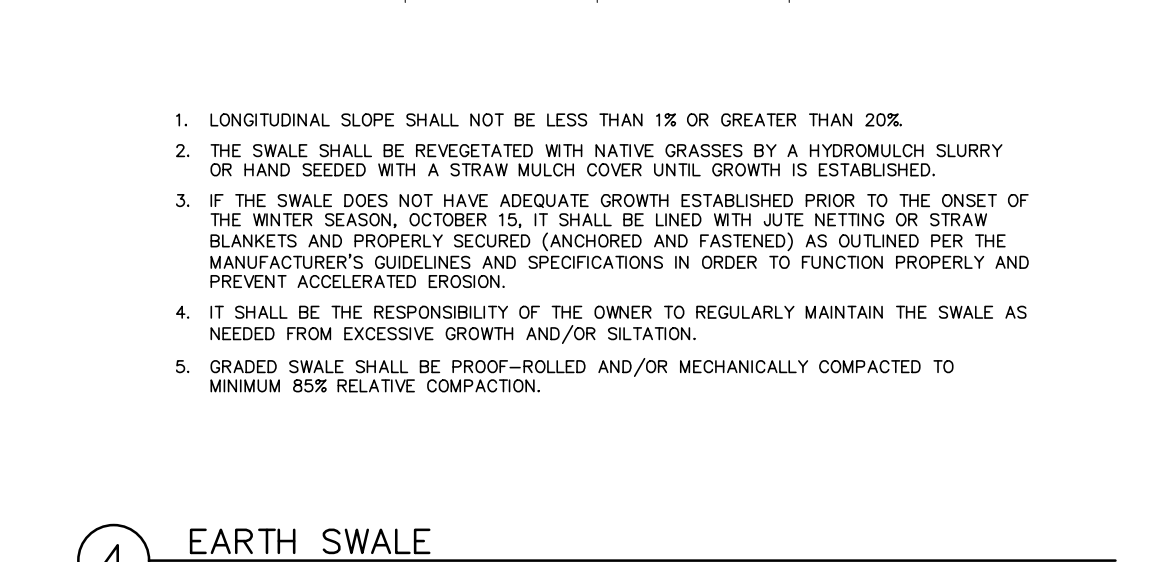
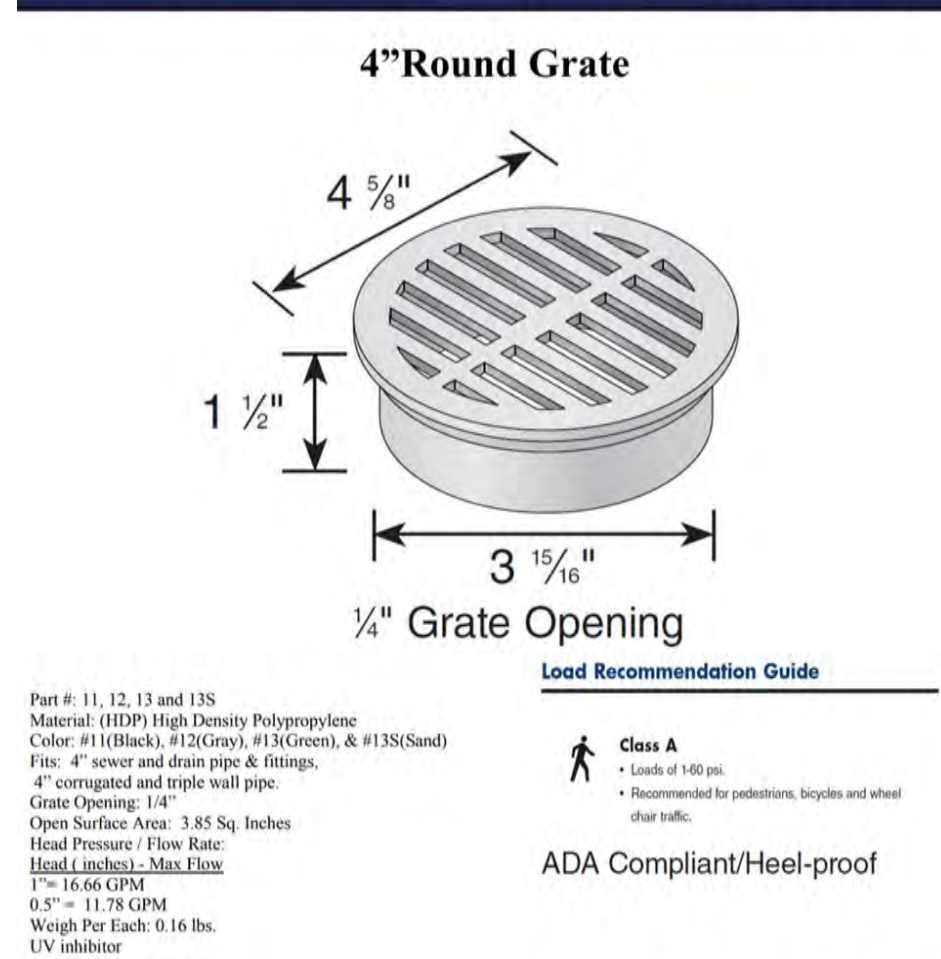


"GRADING & DRAINAGE PLAN"
GRADING, DRAINAGE, & EROSION CONTROL PLAN
OF
THE RIVERA RESIDENCE
A.P.N.: 008-071-012
PEBBLE BEACH, CALIFORNIA
FOR
STEVEN RIVERA

SCALE: 1" = 10'
DATE: JUL 2023
JOB NO. 2651-01

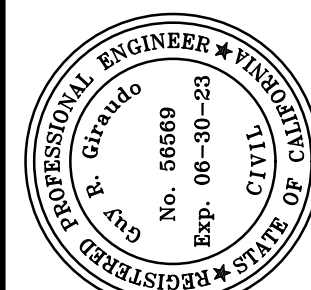
SHEET **C2**
OF 5 SHEETS

No.	DATE	BY	REVISION
	07/27/23	JAN	RELEASED TO CLIENT



SCALE: AS SHOWN
DATE: JUL 2023
JOB NO. 2651-01

OF 5 SHEET



APPROVED BY:

#19283

GUY R. GIRARDO



"EROSION & SOURCE CONTROL PLAN"

GRADING, DRAINAGE, & EROSION CONTROL PLAN

OF
THE RIVERA RESIDENCE
A.P.N.: 008-071-012

PEBBLE BEACH, CALIFORNIA

STEVEN RIVERA

SCALE: AS SHOWN
DATE: JUL 2023
JOB NO. 2651-01

SHEET **C4**

OF 5 SHEETS

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 3) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 4) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK. ACCESS ROADS SHALL BE CLEANED DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN EVENT.
- 5) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 6) CONTRACTOR SHALL PROVIDE WATERING FOR DUST CONTROL DURING ALL GROUND DISTURBANCE OPERATIONS.
- 7) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 8) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 9) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (MUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 10) SEEDING AREAS SHALL BE RETAINED ON-SITE AND SHALL BE PREVENTED FROM FLOWING INTO THE STORM DRAINAGE SYSTEM. SEDIMENT CATCHMENT BARRIERS SHALL BE INSPECTED BY THE APPLICANT IMMEDIATELY AFTER ANY SIGNIFICANT RAINFALL AND AT LEAST DAILY DURING ANY PERIOD OF PROLONGED RAINFALL.
- 11) PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- 12) DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- 13) PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION. COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE. ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- 14) THE APPLICANT SHALL SCHEDULE WEEKLY INSPECTIONS WITH RMA-ENVIRONMENTAL SERVICES DURING THE RAINY SEASON, OCTOBER 15th TO APRIL 15th, TO ENSURE CONTAMINANTS ARE NOT DISCHARGED INTO THE AREAS OF SPECIAL BIOLOGICAL SIGNIFICANCE.

BMP LEGEND:

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FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER), SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.

DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.

STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (IF NECESSARY FOR THIS APPLICATION, SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.

STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.

CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.

CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.

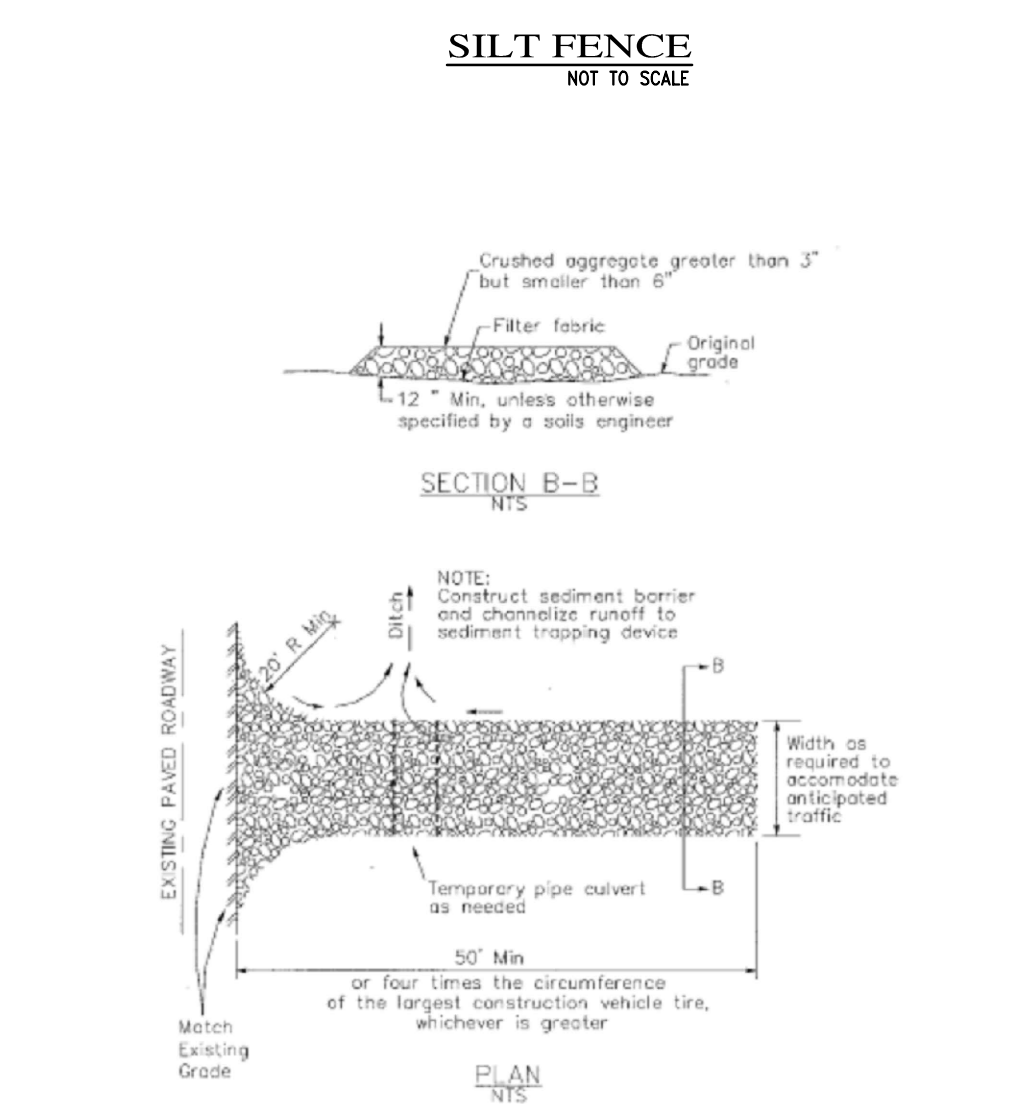
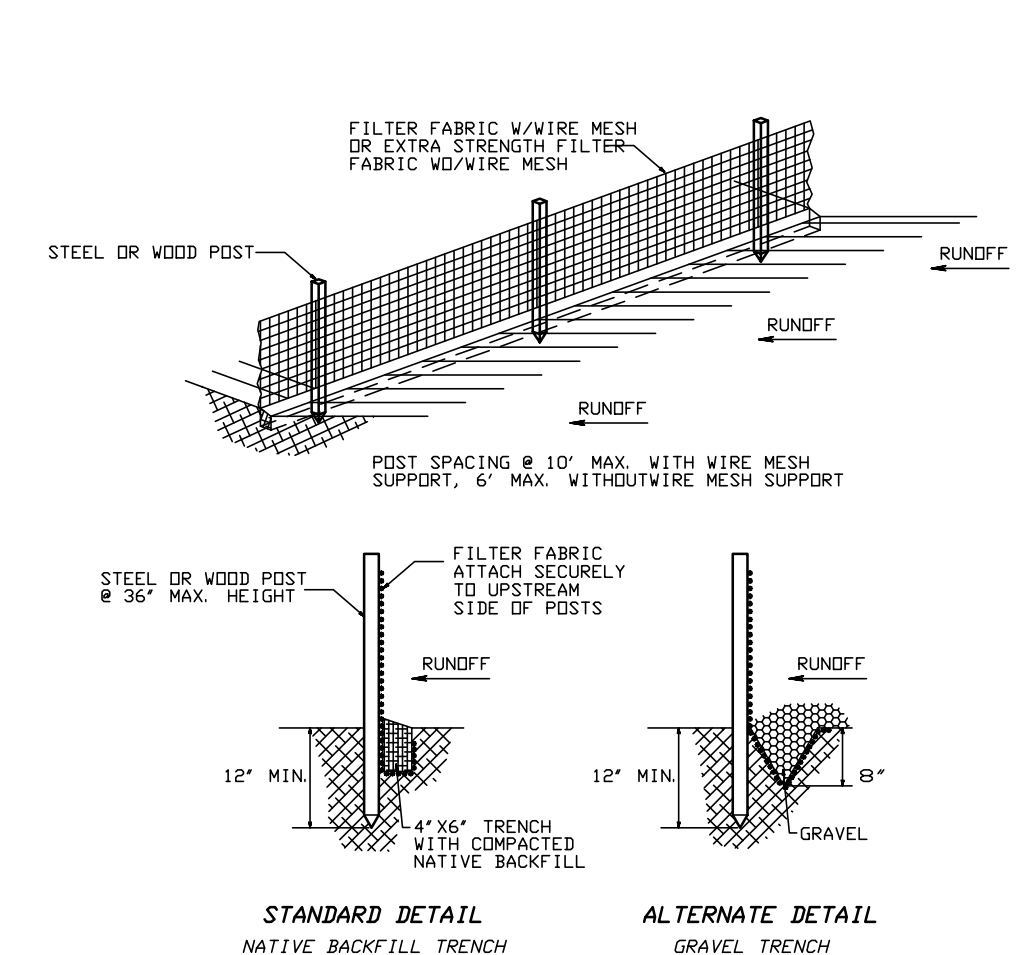
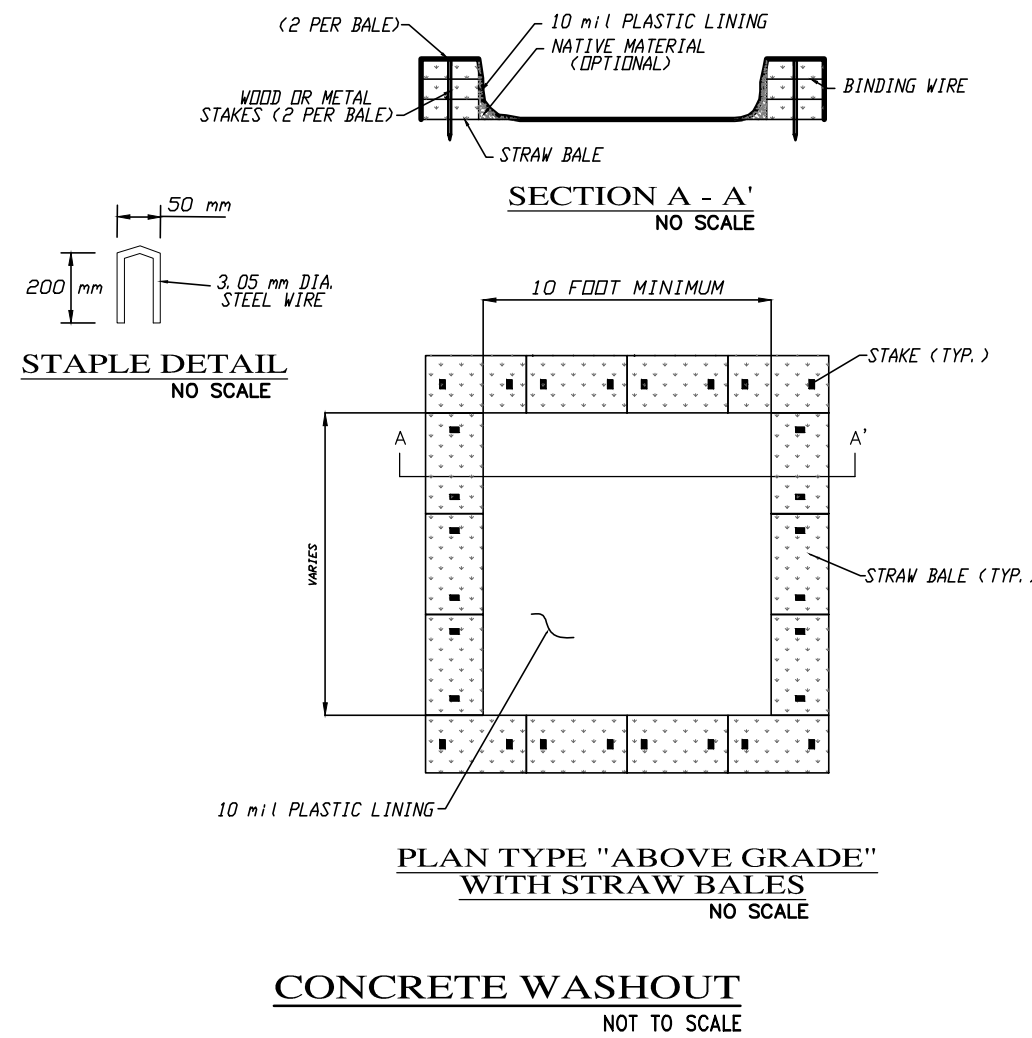
TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.

SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEVED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

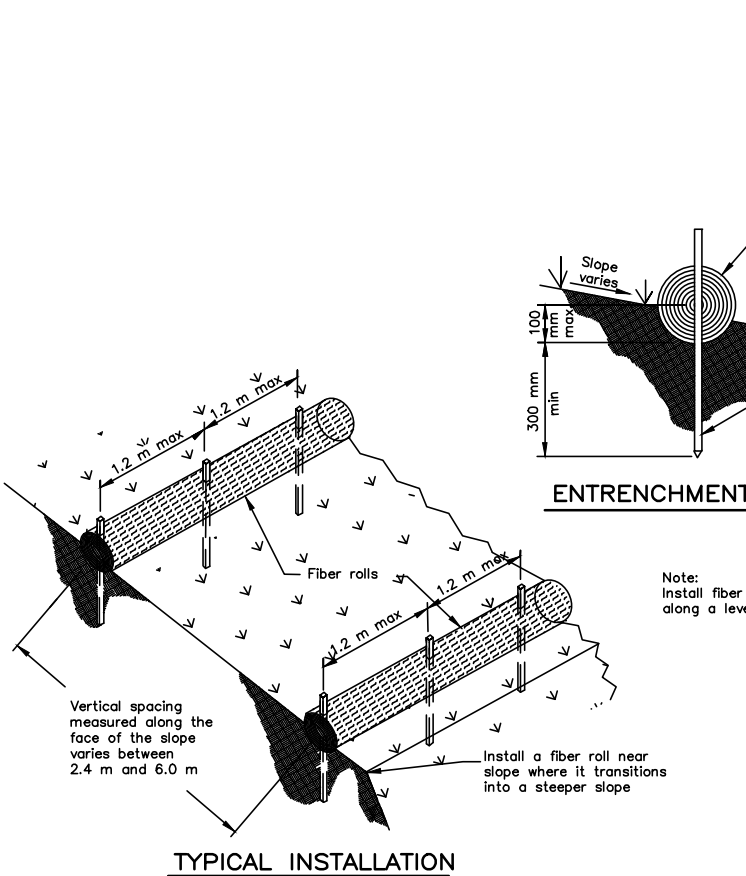
GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 0.5" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.

WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ON-SITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.

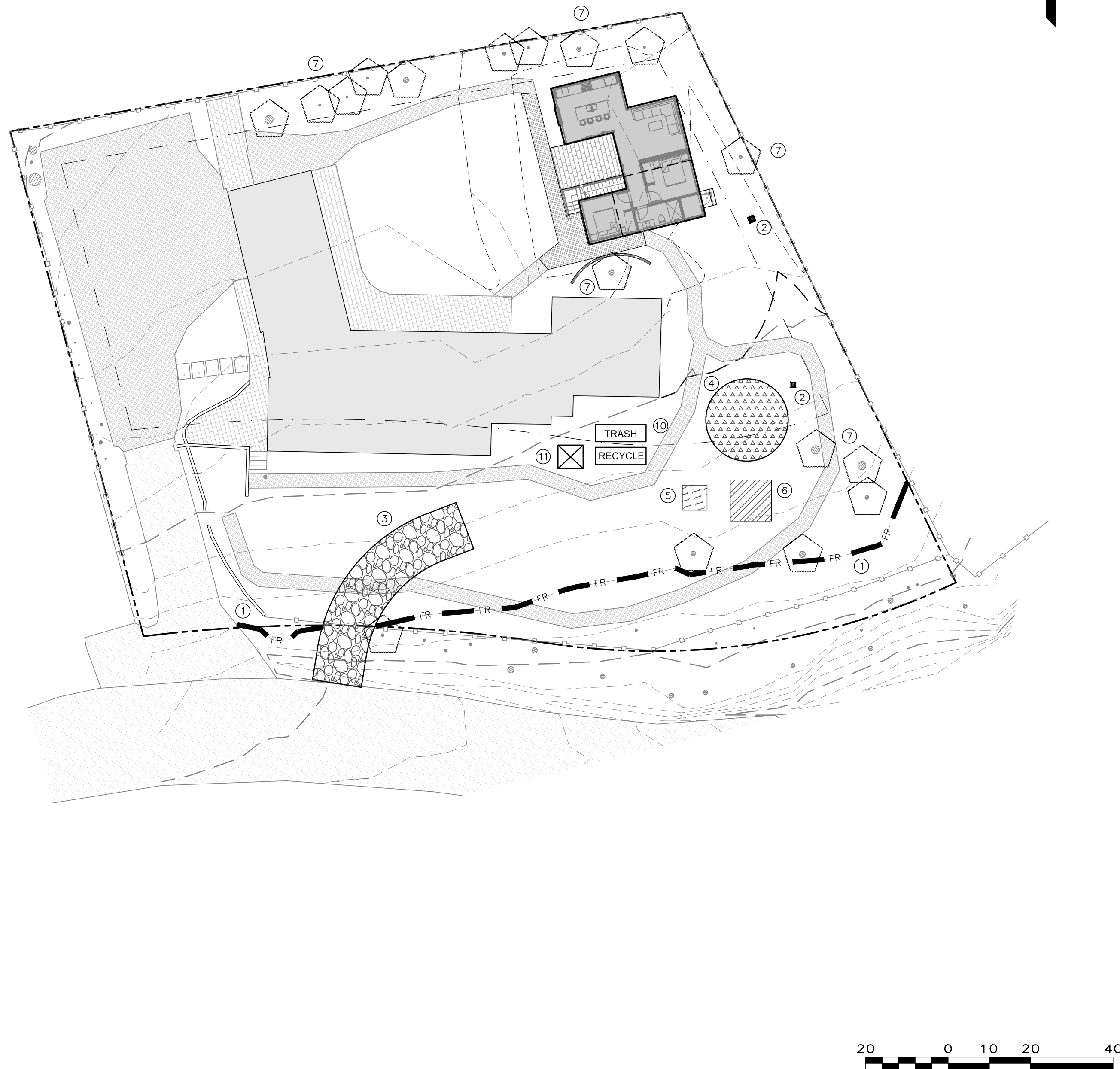
SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

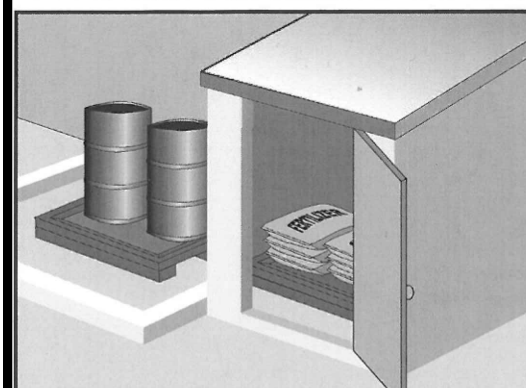


FIBER ROLL
NOT TO SCALE



DETAILS
NOT TO SCALE

Material Delivery and Storage WM-1



Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control

Legend:
Primary Category
Secondary Category

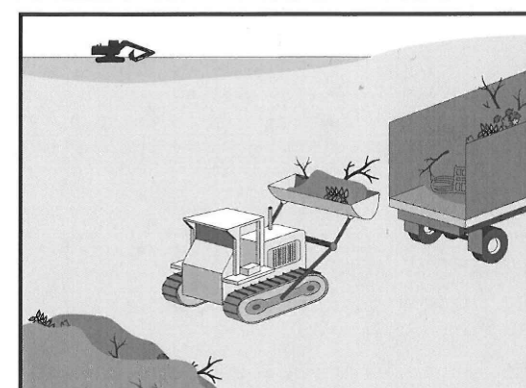
Targeted Constituents

Sediment	☑
Nutrients	☑
Trash	☑
Metals	☑
Bacteria	☑
Oil and Grease	☑
Organics	☑

Potential Alternatives

None

Solid Waste Management WM-5



Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control

Legend:
Primary Objective
Secondary Objective

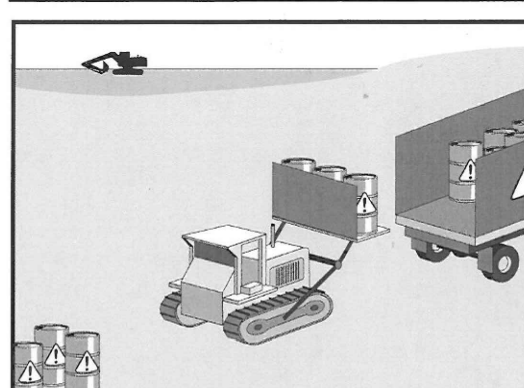
Targeted Constituents

Sediment	☑
Nutrients	☑
Trash	☑
Metals	☑
Bacteria	☑
Oil and Grease	☑
Organics	☑

Potential Alternatives

None

Hazardous Waste Management WM-6



Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control

Legend:
Primary Objective
Secondary Objective

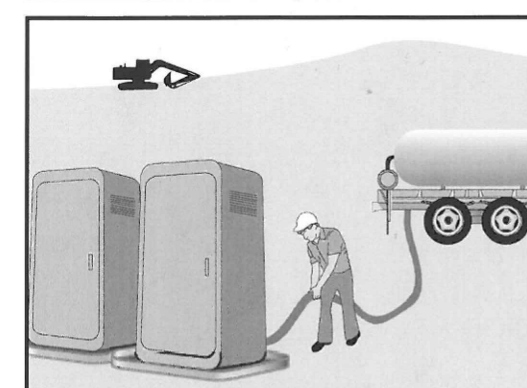
Targeted Constituents

Sediment	☑
Nutrients	☑
Trash	☑
Metals	☑
Bacteria	☑
Oil and Grease	☑
Organics	☑

Potential Alternatives

None

Sanitary/Septic Waste Management WM-9



Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control

Legend:
Primary Category
Secondary Category

Targeted Constituents

Sediment	☑
Nutrients	☑
Trash	☑
Metals	☑
Bacteria	☑
Oil and Grease	☑
Organics	☑

Potential Alternatives

None

SITE GRADING:
THE PROPOSED GRADING INCLUDES APPROXIMATELY 75 CY OF CUT & 0 CY OF FILL.

CONSTRUCTION STAGING:
A. MOBILIZE, CLEAR AND GRUB

- B. SITE GRADING
C. UTILITY INSTALLATION
D. CONSTRUCT STRUCTURE
E. INSTALL PAVERS AND LANDSCAPING
F. SITE CLEANING, PUNCH LIST

MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY. SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

HAUL ROUTES:
HAUL TRUCKS SHALL BACK ONTO THE SITE FROM SUNRIDGE RD USING A TEMPORARY CONSTRUCTION ENTRANCE. HAUL TRUCKS WILL EXIT THE SITE, HEADING SOUTHEAST ON SUNRIDGE RD. THEY WILL THEN FOLLOW THE ROUTE SHOWN IN DETAIL B, FROM SUNRIDGE RD TO 1.7 MILE DR TO CA HWY 68 TO CA HWY 1. FLAGGERS SHALL BE STATIONED ON SUNRIDGE RD AS TRUCKS BACK FROM THE PUBLIC RIGHT-OF-WAY ONTO THE SITE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE EASEMENT/DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

TRUCK STAGING AREA:
VEHICLES OR TRUCKS SHALL NOT QUEUE ON SUNRIDGE RD. TRUCKS SHALL QUEUE ON SITE.

EMPLOYEE PARKING:
EMPLOYEES SHALL PARK ON SITE WHENEVER POSSIBLE. EMPLOYEES SHALL CARPOOL WHENEVER POSSIBLE. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL. A TEMPORARY CONSTRUCTION PARKING AREA MAY BE CREATED IN THE FRONT YARD OF THE RESIDENCE PROVIDED THAT THE AREA IS PROPERLY COMPACTED/STABILIZED BEFOREHAND.

LIMITS OF CONSTRUCTION:
ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

NUMBER OF EMPLOYEES ONSITE PER DAY: APPROXIMATELY 10-20

NUMBER OF TRUCK TRIPS/DAY: 4

AMOUNT OF GRADING/DAY: 80 C.Y.

HOURS OF OPERATION/DAY: 8

DAYS OF OPERATION: MONDAY THROUGH FRIDAY

TIME OF OPERATION: 8:00 AM - 4:30 PM

PROJECT SCHEDULING: PROJECTED START DATE IS OCTOBER 1, 2023. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

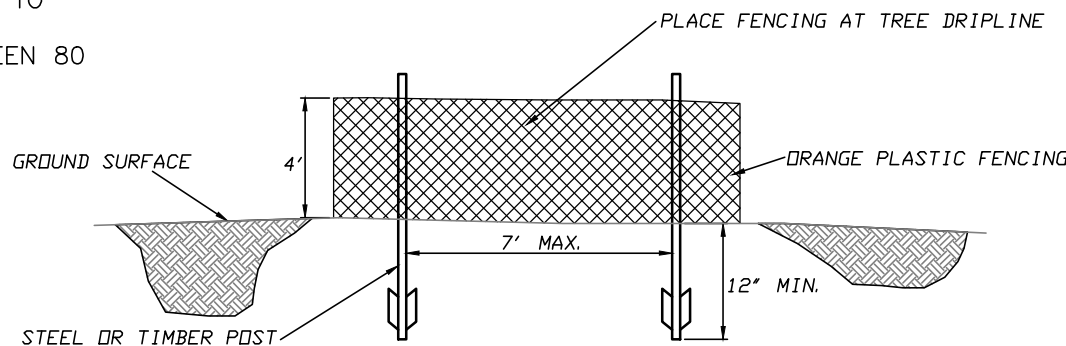
A PLAN
SCALE: 1" = 20'

TRUCK TRIP GENERATION CHART:

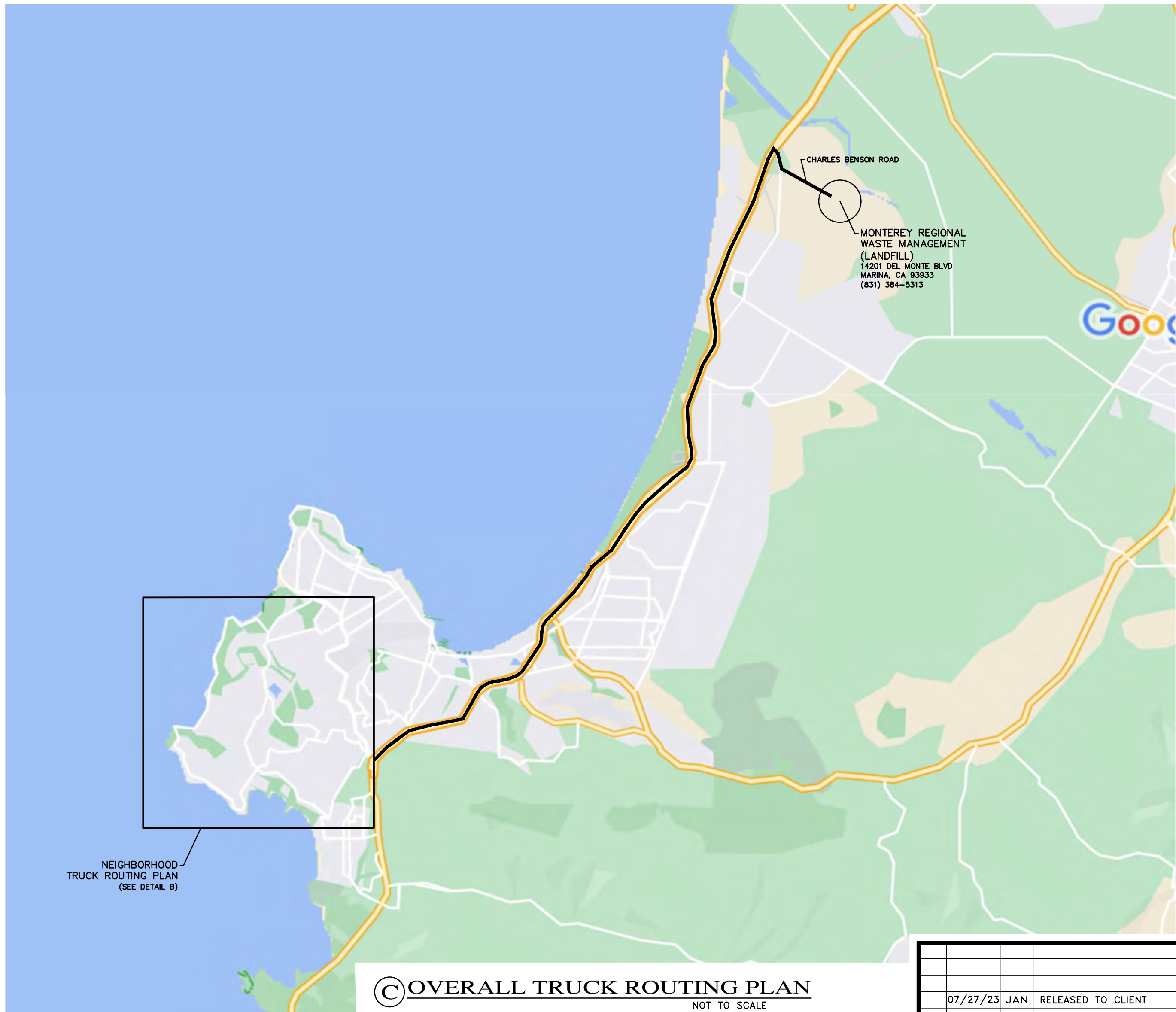
CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	4	5
GRADING & SOIL REMOVAL (EXPORT)	4	1
ENGINEERING MATERIALS (IMPORT)	-	-
TOTALS	8	6

TRUCK TRIP GENERATION NOTES:

- TRUCK TRIPS FOR THE GRADING/SOIL IMPORT IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 4 TRUCK LOADS PER DAY.
- THERE ARE APPROXIMATELY 75 CUBIC YARDS OF SOIL MATERIAL TO BE EXPORTED FROM THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 6 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 100 CUBIC YARDS.



ESA FENCING
NOT TO SCALE



"CONSTRUCTION MANAGEMENT PLAN"

GRADING, DRAINAGE, & EROSION CONTROL PLAN

OF

THE RIVERA RESIDENCE

A.P.N.: 008-071-012

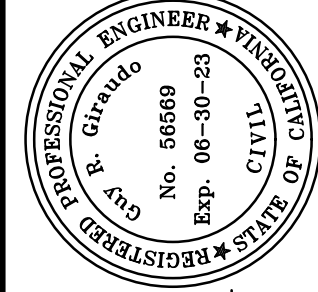
PEBBLE BEACH, CALIFORNIA

STEVEN RIVERA

SCALE: AS SHOWN
DATE: JUL 2023
JOB NO. 2651-01

SHEET **C5**

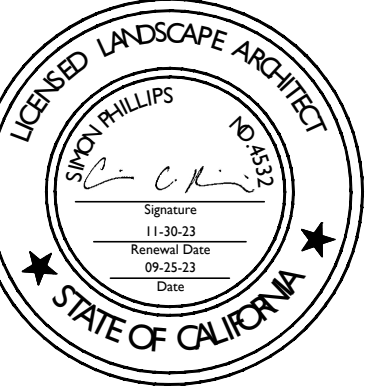
OF 5 SHEETS



APPROVED BY:

GUY R. GIRARDO





PROJECT NAME:

4161 SUNRIDGE RD.
RESIDENCE

PROJECT ADDRESS:

161 SUNRIDGE RD.
CARMEL, CA 93921

APN: 008-071-012-000

ISSUANCE:

PLANNING SUBMITTAL

PROJECT NO: 2023-18

DATE: 09/29/2023

REVISIONS:

DATE	DESCRIPTION
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SHEET NAME:

FUEL MANAGEMENT PLAN

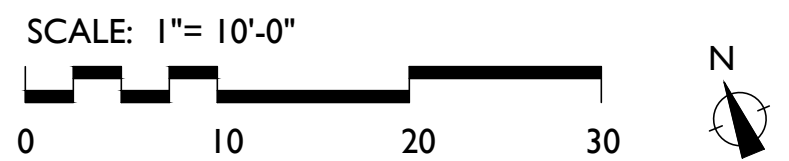
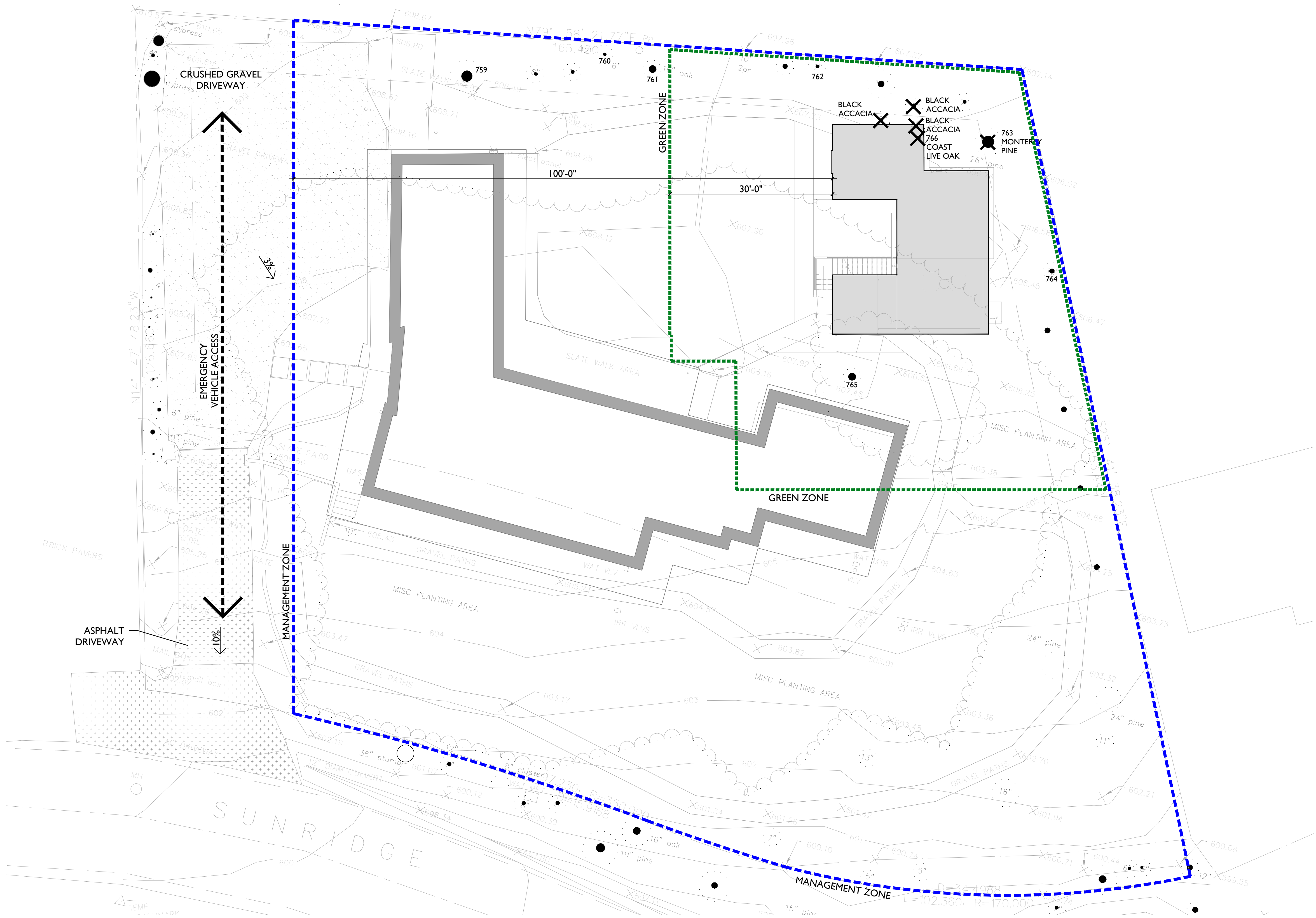
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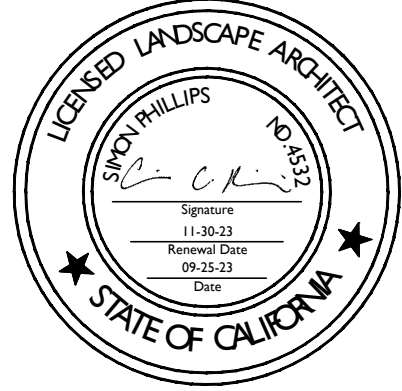
SHEET NO: CONTENTS:

L-1.0	FUEL MANAGEMENT PLAN
L-2.0	PLANTING PLAN
L-3.0	IRRIGATION PLAN

LEGEND

- GREEN ZONE: ZONE EXTENDS 0 - 30' FROM BUILDINGS, STRUCTURES DECKS, ETC. OR TO THE PROPERTY LINE, WHICHEVER IS GREATER.
 - REMOVE ALL DEAD AND DYING TWIGS, GRASS, PLANT, SHRUBS, TREES, BRANCHES AND VEGETATIVE DEBRIS (LEAVES, NEEDLES, CONES, BARK, ETC.); CHECK YOUR ROOFS, GUTTERS, DECKS, PORCHES, STAIRWAYS, ETC.
 - REMOVE ALL BRANCHES WITHIN 10 FEET OF ANY CHIMNEY OR STOVEPIPE OUTLET.
 - RELOCATE FIREWOOD AND LUMBER TO OUTSIDE THIS ZONE.
 - CONSIDER RELOCATING GARBAGE AND RECYCLING CONTAINERS OUTSIDE THIS ZONE.
 - CONSIDER RELOCATING BOATS, RVs, VEHICLES AND OTHER COMBUSTIBLE ITEMS OUTSIDE THIS ZONE.
 - REGULARLY CLEAN ALL ROOF GUTTERS.
- — MANAGEMENT ZONE: ZONE EXTENDS 100' FEET FROM ALL SIDES OF BUILDINGS, STRUCTURES, DECKS, ETC. OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. WITHIN THIS ZONE, THE FOLLOWING CONDITIONS SHALL BE MAINTAINED:
 - REMOVE ALL DEAD PLANTS, GRASS, AND WEEDS (VEGETATION)
 - REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES FROM YARD, ROOF, AND RAIN GUTTERS.
 - TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10 FEET FROM OTHER TREES.
 - REMOVE BRANCHES THAT HANG OVER ROOFS AND KEEP DEAD BRANCHES A MINIMUM OF 10 FEET AWAY FROM CHIMNEYS AND STOVEPIPES.
 - REMOVE VEGETATION AND ITEMS THAT COULD CATCH FIRE FROM AROUND AND UNDER DECKS, BALCONIES, AND STAIRS.
 - CREATE A SEPARATION BETWEEN TREES, SHRUBS, AND ITEMS THAT COULD CATCH FIRE, SUCH AS PATIO FURNITURE, WOODEN LENSES, SWING SETS, ETC.
 - MAINTAIN A TREE, SHRUB OR OTHER PLANT ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.
 - MAINTAIN THE ROOF OF A STRUCTURE FREE OF LEAVES, NEEDLES OR OTHER VEGETATIVE MATERIALS.
 - CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
 - REMOVE ALL DEAD TREES.
 - REMOVE FALLEN LEAVES, NEEDLES, TWIGGS, BARK, CONES AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF 3 INCHES.





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DATE DESCRIPTION

SHEET NAME:
PLANTING PLAN

SHEET NO:

PLANT LEGEND

*WUC CODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
TREES				
L Co	CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL	
L Pr	PINUS RADIATA	MONTEREY PINE	5 GAL	
L Qa	QUERCUS AGRIFOLIA	COAST LIVE OAK	5 GAL	
SHRUBS				
M Ah	ANEMONE 'HONORINE JOBERT'	JAPANESE ANEMONE	1 GAL	
L Ap	ARCTOSTAPHYLOS 'PACIFIC MIST'	PACIFIC MIST MANZANITA	1 GAL	
L Cs	CALANDRINIA SPECTABILIS	ROCK PURSLANE	1 GAL	
L Cf	CALAMAGROSTIS FOLIOSA	MENDOCINO REED GRASS	1 GAL	
Jp	JUNCUS PATENS	CALIFORNIA GREY RUSH		
L Lp	LOMANDRA 'PLATINUM BEAUTY'	PLATINUM BEAUTY LOMANDRA	1 GAL	
M Po	PODOCARPUS GRACILIOR	FERN PINE	24" BOX 15' TALL - MIN.	
MISCELLANEOUS				
		MULCH		
		CRUSHED GRAVEL: FOR PEDESTRIAN AREAS 2" OVER 4" COMPACTED CLASS II BASE.		
		MTL METAL EDGING: WELD ALL JOINTS AND PRIME AND PAINT ONCE WELDED.		

* WATER USE CATEGORY (WUC) KEY

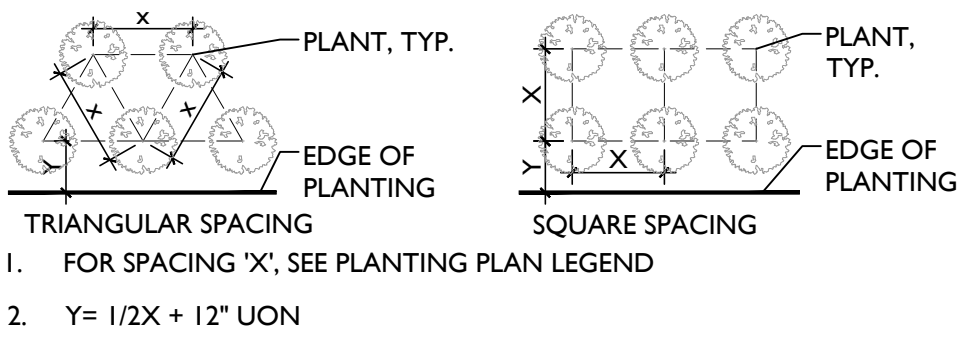
GENERAL NOTES

- ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
- CONTRACTOR TO TAKE SAMPLES OF PLANTING AREA SOIL, FROM 0"-12" DEEP FROM AT LEAST THREE SEPARATE LOCATIONS FROM PLANTING AREAS ON THE SITE, MIXED TO FORM A SINGLE COMPOSITE SAMPLE. COMBINED VOLUME OF COMPOSITE SAMPLE SHALL BE AT LEAST 1-QUART. SAMPLE LOCATIONS SHALL BE MARKED ON THE PLANTING PLAN AND SHALL BE REPRESENTATIVE OF SITE CONDITIONS AND PROPOSED PLANTING TYPES.
- FORWARD THE COMPOSITE SAMPLES TO THE TESTING LABORATORY FOR TESTING AND THEIR RECOMMENDATIONS AS TO EXACT FERTILIZERS AND SOIL AMENDMENTS TO BE USED IN PLANTING. WAYPOINT ANALYTICAL A05-2 COMPLETE ANALYSIS.
LAB REPORT TO INCLUDE RECOMMENDATION LETTER AND TESTING RESULTS.
LAB REPORT TO INCLUDE AN ESTIMATED INFILTRATION RATE FOR SOIL TESTED.
LAB REPORT TO NOTE THE PROPOSED PLANTING TYPES SPECIFIC TO THE PROJECT, GROUNDCOVERS, NATIVE GRASSES AND TREES.
- AMENDMENT AND FERTILIZER RECOMMENDATIONS BY THE TESTING LAB SHALL BE SPECIFIC TO THE PROPOSED AMENDMENTS TO BE USED AND INCLUDE THE AMENDMENT LAB TEST / SAMPLE ID NUMBER AND TESTING DATE AS REFERENCE. GENERIC RECOMMENDATIONS WILL BE REJECTED AND WILL REQUIRE SPECIFIC RECOMMENDATIONS TO BE OBTAINED FROM THE TESTING LAB.
FOR BIDDING PURPOSES ASSUME SOIL AMENDMENT FERTILIZER TO BE COMMERCIAL FERTILIZER, 16-6-8 (N-P-K) UNIFORM PELLET, EXACT FERTILIZER TO BE DETERMINED BY TESTING LAB ANALYSIS.
- INSTALL COMMERCIAL PLANT FERTILIZER PACKETS / TABLETS, TWO-YEAR CONTROLLED -RELEASE 20-10-05 (N-P-K), BEST TABS BY SIMPLOT PROFESSIONAL PRODUCTS, AGRIFORM BY THE SCOTTS COMPANY.
- SOIL AMENDMENTS TO BE MINERALIZED AND NITRIFIED BARK OR SAWDUST, WITH WETTING AGENT AND PROPERLY PULVERIZED, CONTAINING A MINIMUM OF 270LBS. PER CUBIC YARD OF ORGANIC MATTER. SUBMIT SAMPLE ANALYSIS FOR APPROVAL.
- AMENDMENT CHEMISTRY - SUITABILITY CONSIDERATIONS
1. NITROGEN (DRY WEIGHT BASIS): 0.4 TO 0.6%
2. IRON (MINIMUM): 0.08%
3. ORGANIC CONTENT: ABOVE 17%
4. CARBON-NITROGEN RATIO: BELOW 25
5. PH: BELOW 8.0
6. SALINITY (ECE): A VALUE SUCH THAT WHEN COMBINED WITH THE EXISTING SITE SOIL AT A USE RATE DETERMINED BY THE TESTING LAB ANALYSIS, THE SALINITY OF THE AMENDED SOIL SHALL NOT EXCEED 4.0 DSM (MMHOS/CM).
- GYPSUM (IF REQUIRED BY EXISTING SOILS TEST): AGRICULTURAL GRADE, OMRI LISTED.
1. CAL-SUL PELLETTIZED GYPSUM BY NORTH PACIFIC, PORTLAND OR
2. ULTRA FINE AG GYPSUM BY WESTERN MINING & MINERALS
3. APPROVED EQUAL.
- SULFUR (IF REQUIRED BY EXISTING SOILS TEST): GRANULAR DEGRADABLE SULFUR PRODUCT, TIGER 90CR ORGANIC 0-0-0-90 SULFUR BY TIGERSUL.COM, OR APPROVED EQUAL.
- ALL PLANTING AREAS TO BE CULTIVATED TO A MINIMUM DEPTH OF 10". SOIL AMENDMENTS AND COMMERCIAL FERTILIZERS TO BE APPLIED AT THE RATES SPECIFIED IN THE TESTING LAB ANALYSIS.
CROSS-RIP OR CULTIVATE SUB-GRADE TO THE 10" MINIMUM DEPTH, ADD WATER IF NECESSARY AND CONTINUE RIPPING OR CULTIVATION UNTIL THE ENTIRE SPECIFIED DEPTH IS LOOSE AND FRABLE. CROSS RIPPING SHALL INCLUDE AREAS IN BETWEEN TREE AND PLANT PITS. UPON COMPLETION OF CROSS RIPPING APPLY THE AMENDMENTS AS SPECIFIED IN THE TESTING LAB ANALYSIS. SETTLE THE SOIL WITH WATER AS NEEDED AND REGRADE HIGH/LOW AREAS TO CREATE A SMOOTH FINISH GRADE.
UNIFORMLY SPREAD AND INCORPORATED THE MATERIALS TO OBTAIN A HOMOGENEOUSLY BLENDED SOIL, 6-INCHES IN DEPTH. IF GYPSUM AND/OR SULFUR ARE REQUIRED TO BE ADDED AS PART OF AMENDMENTS PER SOILS REPORT FROM THE TESTING LAB, MANUALLY WATER THE AMENDED SOILS USING IMPACT SPRINKLERS OR HOSE-END SPRINKLERS - TO APPLY 1/2-INCH OF WATER OVER ALL PLANTING AREAS. EXISTING SOILS WITH HIGH ALKALINITY AS DETERMINED BY THE SOILS REPORT FROM THE TESTING LAB WILL BE REQUIRED TO BE SIMILARLY MANUALLY WATERED TO LEACH THE SALTS DEEPER INTO THE SOIL. AMOUNT OF WATER TO BE DETERMINED BY THE TESTING LAB.
- PRE-MIX AMENDMENTS INTO SOIL BEFORE BACKFILLING PLANT PITS - DO NOT MIX INSIDE PITS. BREAK LARGE CLOUDS INTO SMALL PIECES. ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
- INSTALL 3" MULCH TO ALL PLANTING AREAS. MULCH TO BE SHREDDED CEDAR BARK OR SIMILAR. SUBMIT A SAMPLE OF MULCH FOR OWNER & LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION.
- COMPOST: COMPOST MINIMUM OF 4 CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA TILLED TO A DEPTH OF 6".

REFERENCE NOTES

- INSTALL METAL HEADER AT EDGE OF EXISTING LAWN AT LINE OF CONSTRUCTION ACCESS IMPACT.
- EXISTING PLANTING: TO REMAIN
- EXISTING TREE: TO REMAIN, PRESERVE AND PROTECT.
- EXISTING TRASH ENCLOSURE: TO REMAIN.

PLANT SPACING AND PLANTING SETBACK DIAGRAM



MWELO COMPLIANCE STATEMENT

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

Signed *Simon Phillips* Simon Phillips 4532 09-22-2023
Name CLA# Date

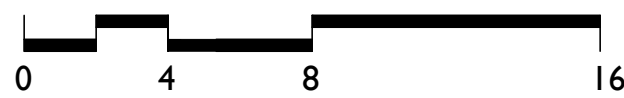
MONTEREY COUNTY COMPLIANCE STATEMENT

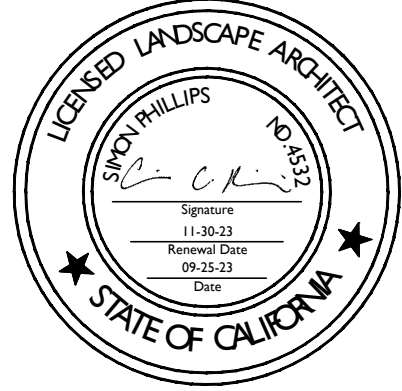
I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES, LIMITED TURF, AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

Signed *Simon Phillips* Simon Phillips 4532 09-22-2023
Name CLA# Date

SEE ARCHITECTURAL DRAWINGS
FOR PROPOSED TREE REMOVAL.

SCALE: 3/16"= 1'-0"





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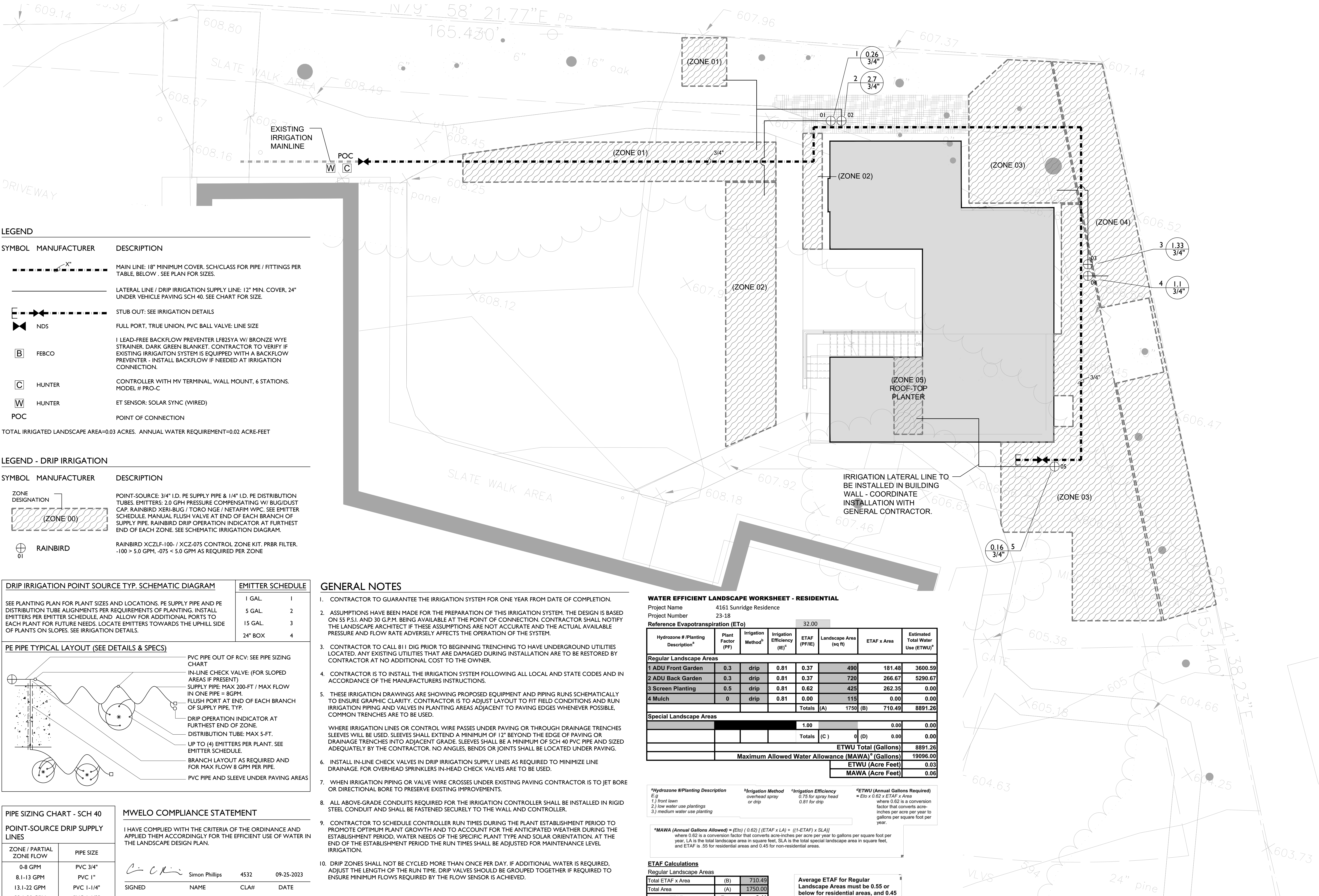
ISSUANCE:
PLANNING SUBMITTAL

PROJECT NO: 2023-18
DATE: 09/29/2023

REVISIONS:
DATE DESCRIPTION

SHEET NAME:
IRRIGATION PLAN

SHEET NO:



SCALE: 3/16"= 1'-0"

0 4 8 16

