

# ASHKAR NEW RESIDENCE

## 2972 Colton Rd, Pebble Beach, CA 93953

### GENERAL NOTES

1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCRENCIES PRIOR TO COMMENCING THEIR WORK.

2. ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF MATERIALS, EQUIPMENT, AND UTILITY CONSTRUCTION SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOWS SUCH STORAGE TO BE PLACED.

3. NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE DESIGN DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.

4. THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OF SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE DESIGNER.

5. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: 2022 CBC, CFC, CMCC, CEC, AND CPC.

6. THE GENERAL CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISPAIR ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAINED IN THEIR PRESENT CONDITION AND ANY ITEMS IN GOOD CONDITION SHALL BE MAINTAINED IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

7. GENERAL CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS OF THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED. HE SHALL NOT BE HELD RESPONSIBLE FOR CONDITIONS AFFECTING THE WORK CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLECT TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.

8. ALL NEW INTERIOR PAINT SHALL USE LOW/NO VOC PAINT. USE LOW/NO VOC ADHESIVES AND USE FSC CERTIFIED MATERIALS FOR INTER. COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.

9. ALL RESIDENTIAL BUILDINGS, NEW & ADDITION, SHALL COMPLETE WITH THE MANDATORY REQUIREMENTS OF 2022 CALIFORNIA GREEN BUILDING CODE.

10. THE BUILDING ADDRESS SHALL BE PLAINLY LEGIBLE AND VISIBLE FROM THE PUBLIC STREET. THERE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.

11. FIRE DEPARTMENT ACCESS ROADWAY MUST BE PROVIDED AND MAINTAINED SERVICABLE PRIOR TO AND DURING CONSTRUCTION.

12. TOPSOIL SHALL BE PROTECTED OR SAVED FOR REUSE AS SPECIFIED. TIER 1. DISPLACED TOPSOIL SHALL BE STOCKPILED FOR REUSE IN A DESIGNATED AREA AND CORRECTLY PROTECTED FROM EROSION. TIER 2. THE CONSTRUCTION AREA SHALL BE DUG OUT AND GRADED TO A SLOPES THAT ARE SUITABLE TO THE CONSTRUCTION AREA.

13. GENERAL CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO EXCAVATION, TRENCHING, OR GRADING OF ANY KIND. GENERAL CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES WHEN REROUTING ELECTRICAL, TELEPHONE, CABLE TV, GAS, WATER, SANITARY SEWER SERVICES, OR ANY OTHER UTILITY. G.C. SHALL MAINTAIN ALL ELECTRICAL AND COMMUNICATION SYSTEMS IN HOUSE AT ALL TIMES.

14. IN CASE OF ANY DISCREPANCY IN THE CONTRACT DOCUMENTS, CONSULT THE DESIGNER BEFORE PROCEEDING.

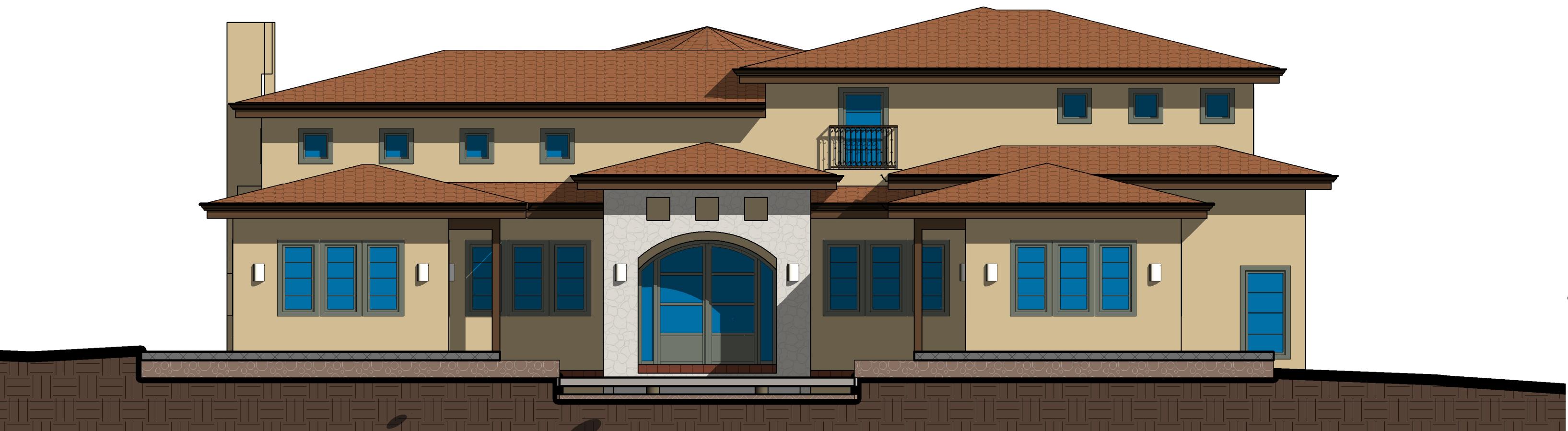
15. GENERAL CONTRACTOR SHALL INSTALL ALL APPLIANCES SPECIFIED AND ALL NEW EQUIPMENT ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

16. WEATHER-STRIPE ALL EXTERIOR DOORS AND WINDOWS.

17. CAULK OR OTHERWISE SEAL AROUND ALL OPENINGS TO LIMIT INFILTRATION, INCLUDING BUT NOT LIMITED TO: EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN SOLE PLATES AND FLOORS AND BETWEEN EXTERIOR WALL PANELS.

18. GENERAL CONTRACTOR SHALL VERIFY THAT ALL WORK ON THE EXTERIOR OF THE PROJECT IS WATERTIGHT. ALL JOINTS EXPOSED TO THE ELEMENTS SHALL BE TESTED FOR WATER TIGHTNESS PRIOR TO SUBSTANTIAL COMPLETION.

### COLOR RENDERING OF STREET ELEVATION



### EXTERIOR LIGHT CUT SHEET



#### PRODUCT DETAILS:

- Suitable for use in wet (outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards.
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky.
- Fixture is ADA compliant and adheres to the standards and guidelines listed by the Americans with Disabilities Act.
- 2 year finish warranty
- Bold lines and a clean, minimalist style complement contemporary architecture.
- Warm rich light bronze tone

#### NOTE TO CONTRACTOR:

THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE PROJECT DESIGNER (KERELATION) AND REQUIRES ASSISTANCE AS SOON AS POSSIBLE. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCRENCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILED TO NOTIFY THE PROJECT DESIGNER (KERELATION) PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK. NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF PROJECT DESIGNER (KERELATION). APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE PROJECT DESIGNER (KERELATION).

### SYMBOL

### ABBREVIATION

SYMBOL	ABBREVIATION
EXTERIOR SECTION:	SECTION NUMBER
A101	SIM SHEET NUMBER
INTERIOR ELEVATION:	1 ELEVATION NUMBER
A-601	2 SHEET NUMBER
ENLARGED PLAN DETAIL:	1 DETAIL NUMBER
A-601	2 SHEET NUMBER
KEYED NOTE:	1
DRAWING REVISIONS:	1
CLOUD INDICATES EXTENT OF REVISION ON SHEET	SEE TITLEBLOCK FOR DATE & ISSUE INFORMATION
REVISION NUMBER:	
CENTERLINE:	C

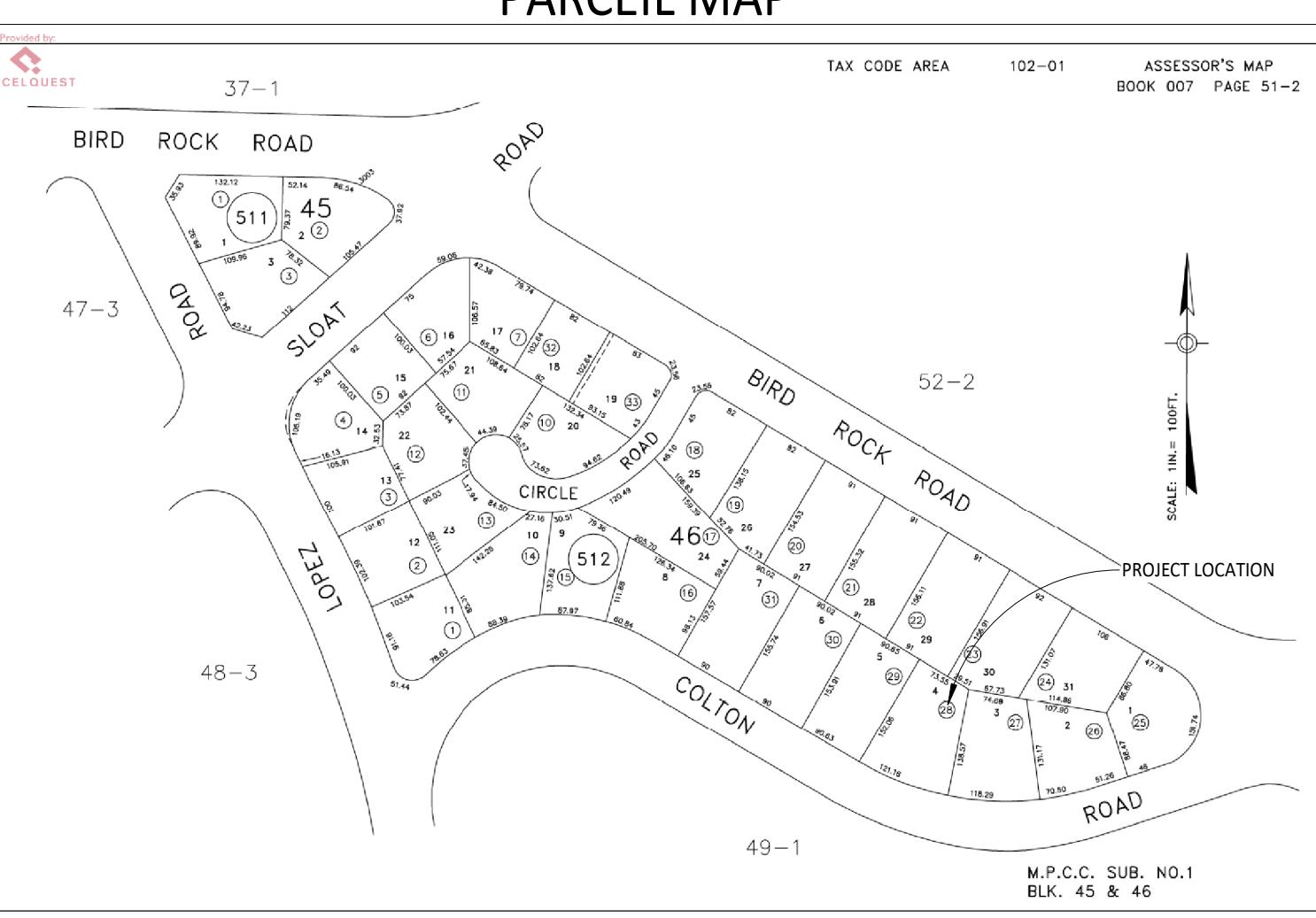
### HINKLEY

### FIRE PROTECTION NOTES

### DEFERRED SUBMITTALS

- THE BUILDING SHALL BE PROTECTED BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH NFPA 13 AND CALIFORNIA FIRE SPRINKLER SYSTEM (AFPS) AMENDMENT. AN APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM (AFES) IS REQUIRED FOR THE ENTIRE BUILDING INCLUDING GARAGE AND ATTACHED ROOM. AUTOMATIC SPRINKLER SYSTEMS IN SINGLE-FAMILY DWELLINGS SHALL BE INSTALLED THROUGHOUT IN ACCORDANCE WITH NFPA 13D.
- APPROVED ADDRESS NUMBERS ON BUILDING ELEVATIONS SHOULD BE PLAINLY LEGIBLE AND VISIBLE FROM THE ADJACENT ACCESS STREET OR ROAD FRONTING THE PROPERTY. EACH NUMERIC CHARACTER SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2", WHERE REQUIRED BY THE FIRE CODE OFFICIAL ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. CBC 501.2
- ROOF COVERINGS TO BE NO LESS THAN CLASS "A" RATED ROOF.

### PARCELMAP



### SCOPE OF WORK

CONSTRUCT A NEW TWO STORY 4 BEDROOMS, 3.5 BATHROOMS TOTAL OF 3750 SF OF SINGLE FAMILY HOUSE, ON A VACANT LOT.

CONSTRUCT A TOTAL OF 777 SF ATTACHED 2 CAR GARAGE.

### PROJECT TEAM

**PROJECT DESIGNER:** Gunapille Sou, P.M. **CIVIL ENGINEER:** RI ENGINEERING, INC. 31500 Verdant Way Santa Cruz 95060  
KERELATION LLC. 303 Patrevo St., Suite 42-202 San Jose, CA 95117 TEL: 408-551-0705 kerelationlc@gmail.com  
CONSTRUCTION TYPE: VB (YES FIRE SPRINKLER)  
BUILDING INSPECTION AREA: PEBBLE BEACH CAL-AM WATER (Y/N): YES WATER MANAGEMENT AGENCY: MPWMD  
COSTAL ZONE (Y/N): NO COMMUNITY: PEBBLE BEACH DEL MONTE FOREST SUB-AREA: CONTRY CLUB EROSION HAZARD: MODERATE  
FLOOD ZONE: (UNSHADE) IMPORTANT FACILITY: URBAN AND BUILT UP LAND LAND USE PLANNING COMMITTEE: DEL MONTE FOREST ADVISORY COMMUNITY: LANDSLIDE HAZARD: LOW LIQUIFICATION HAZARD: LOW PLANNING AREA: GREATER MONTEREY PENINSULA VISUAL SENSITIVITY: NONE

### PROJECT TEAM

**LAND SURVEYOR:** Jack Hanigan, Survey Technician **STRUCTURAL ENGINEER:** TBD  
HANAGAN LAND SURVEYING 309-C Soquel Ave., Santa Cruz, CA 95062 831-469-3428 jack@hanaganurvey.com  
GEOTECH CONSULTANT: Scott Clark, Senior Engineer BUTANO GEOTECHNICAL ENGINEERING, INC. 404 WESTRIDGE DRIVE WATSONVILLE, CA 95076 805-216-9797

### PROJECT TEAM

**ENERGY CONSULTANT:** TBD

### DRAWING INDEX

#### --- ARCHITECTURAL ---

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#### --- SITE SURVEY ---

SU-1 BOUNDARY AND TOPOGRAPHIC SURVEY

#### --- CIVIL ---

C-1	GRADING & DRAINAGE PLAN
C-2	DETAILS
C-3	CROSS SECTIONS
C-4	STORMWATER POLLUTION CONTROL PLAN

#### PARKING PROVIDED:

COVERED PARKING SPACES: 2  
UNCOVERED PARKING SPACES: 3

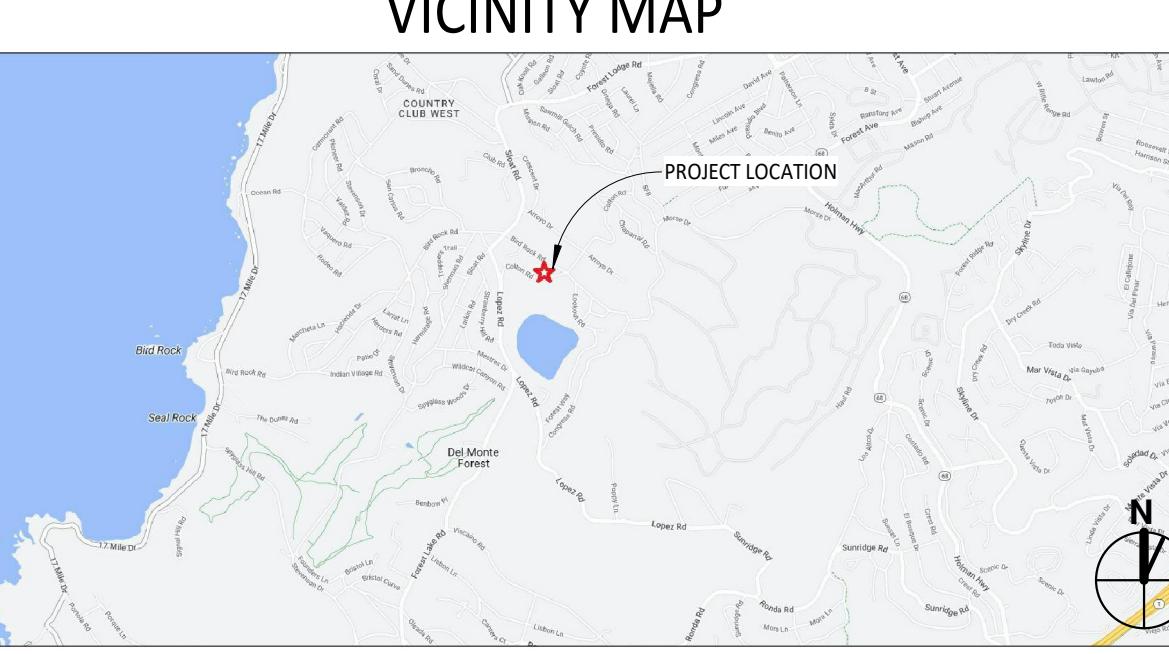
#### BUILDING SETBACKS

SETBACK: REQUIRED: EXISTING/PROPOSED:  
FRONT 20' (E) 20'-0", NO CHANGE  
SIDE 5' (E) LEFT: 5'-0", NO CHANGE  
(E) RIGHT: 5'-1", NO CHANGE  
REAR 20' (E) 35'-0", NO CHANGE

#### BUILDING CODES

THE PROJECT SHALL MEET ALL OF THE FOLLOWING CODE:  
2022 California Building Code  
2022 California Residential Code  
2022 California Mechanical Code  
2022 California Plumbing Code  
2022 California Electrical Code  
2022 California Green Building Code (CalGreen)  
2022 California Fire Code (with local amendments)  
2022 State of California Title 24 Energy Regulations  
County Code of MONTEREY  
(including local amendments to the above adopted codes and local green building requirements)

#### VICINITY MAP



3190 VERDANT WAY, SAN JOSE, CA 95117

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EXPIRED 07/31/2025

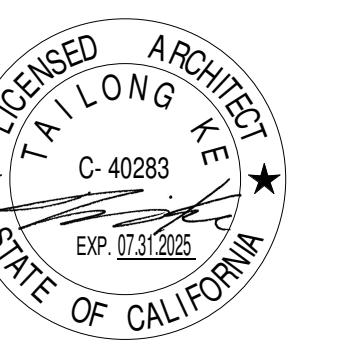
**ASHKAR NEW RESIDENCE**  
2972 Colton Rd, Pebble Beach, CA 93953

Kamran Ashkar

2972 Colton Rd, Pebble Beach, CA 93953

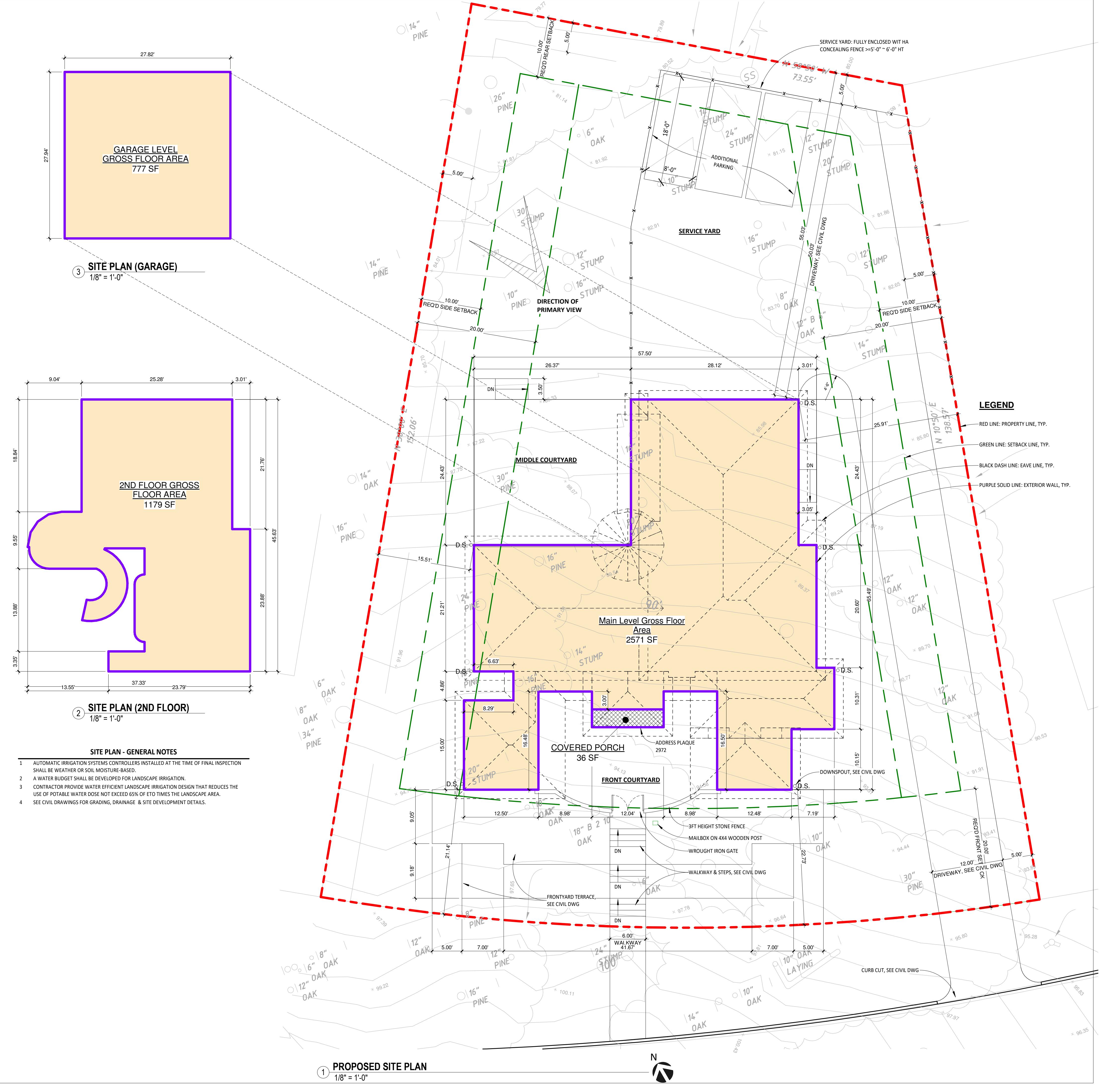
#### COVERSHEET

SCALE	As indicated
PROJECT NO	KD240317
HEET NUMBER	A0.1



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**Kamran Ashkar**  
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# PROPOSED SITE PLAN

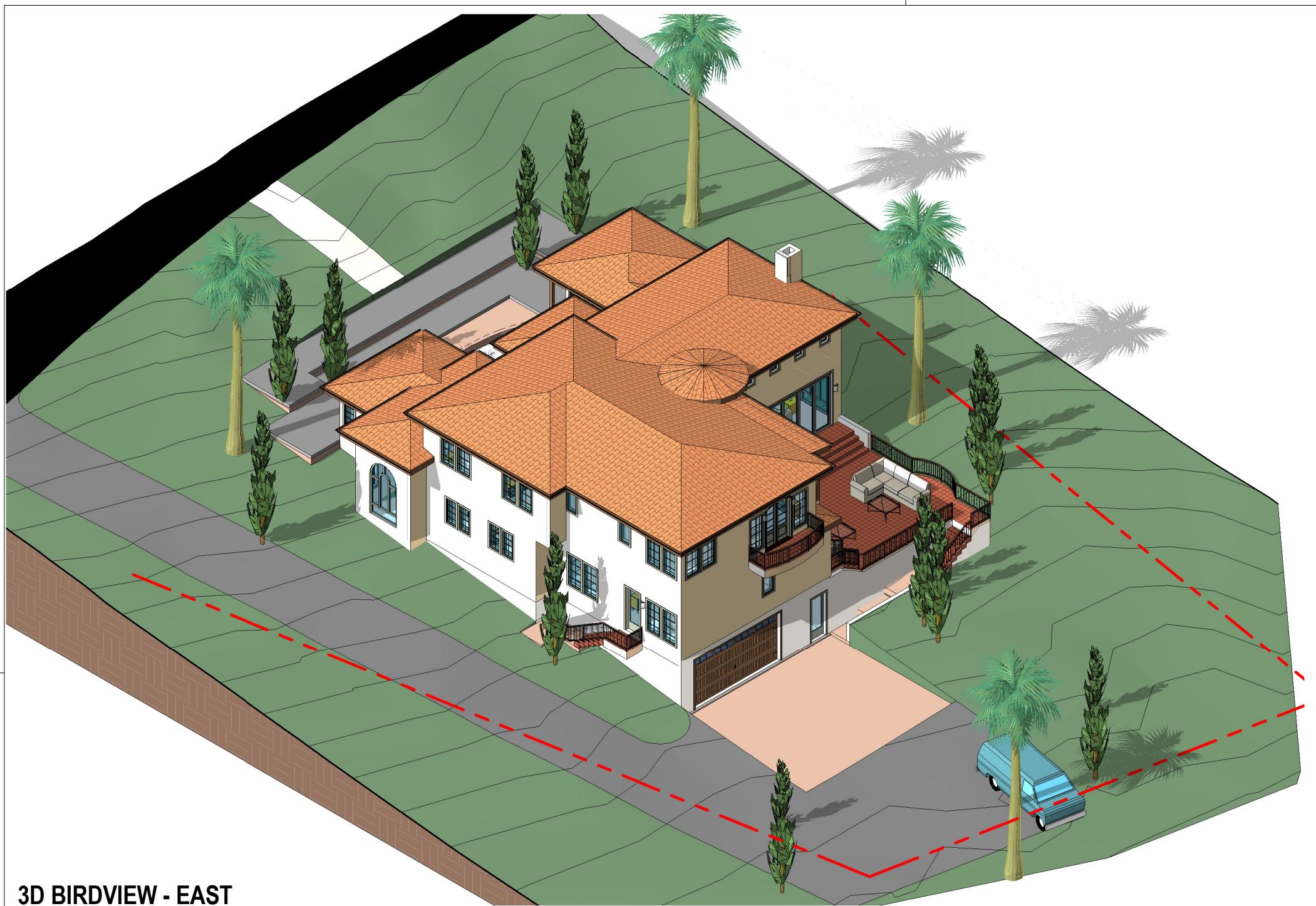
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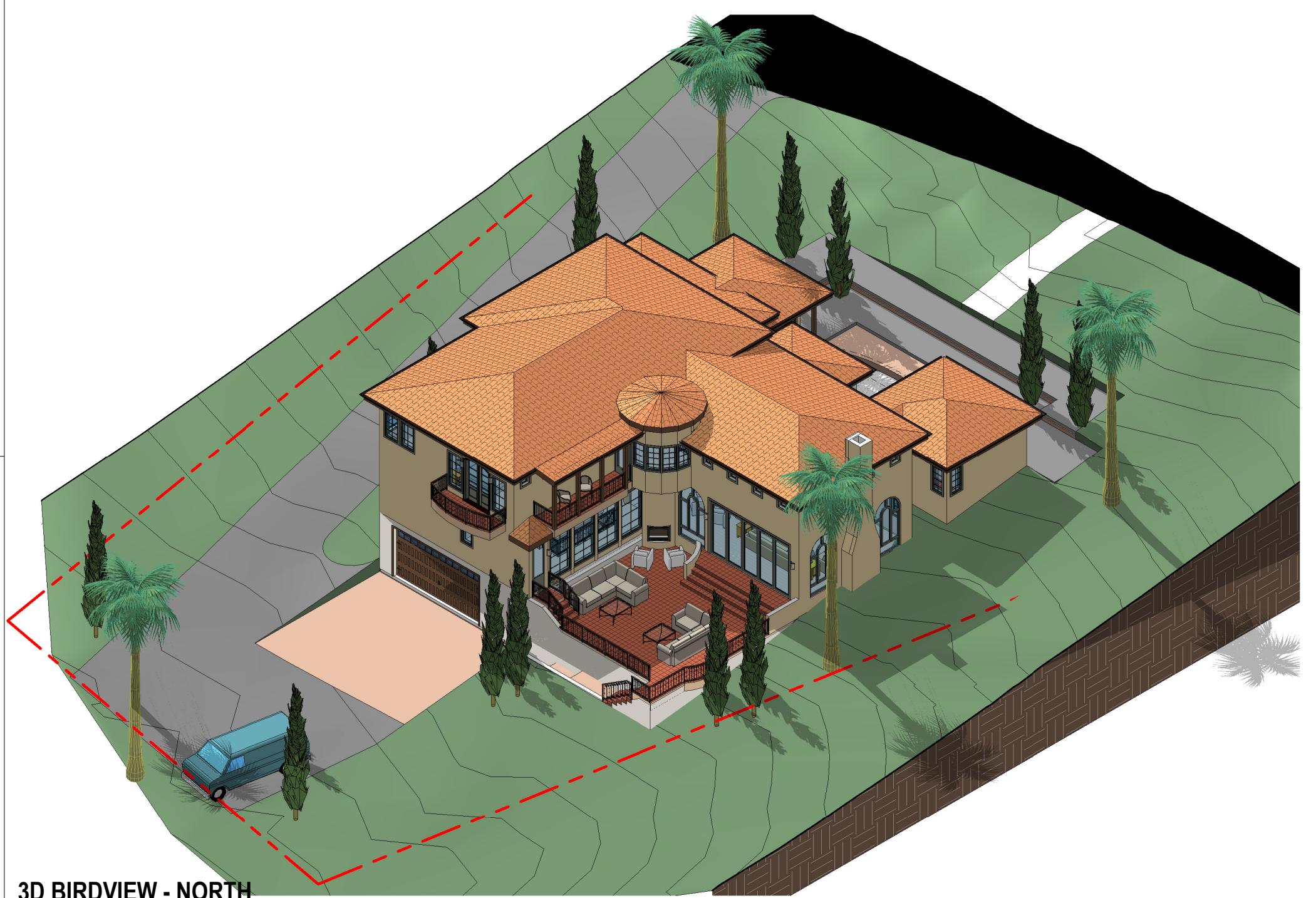


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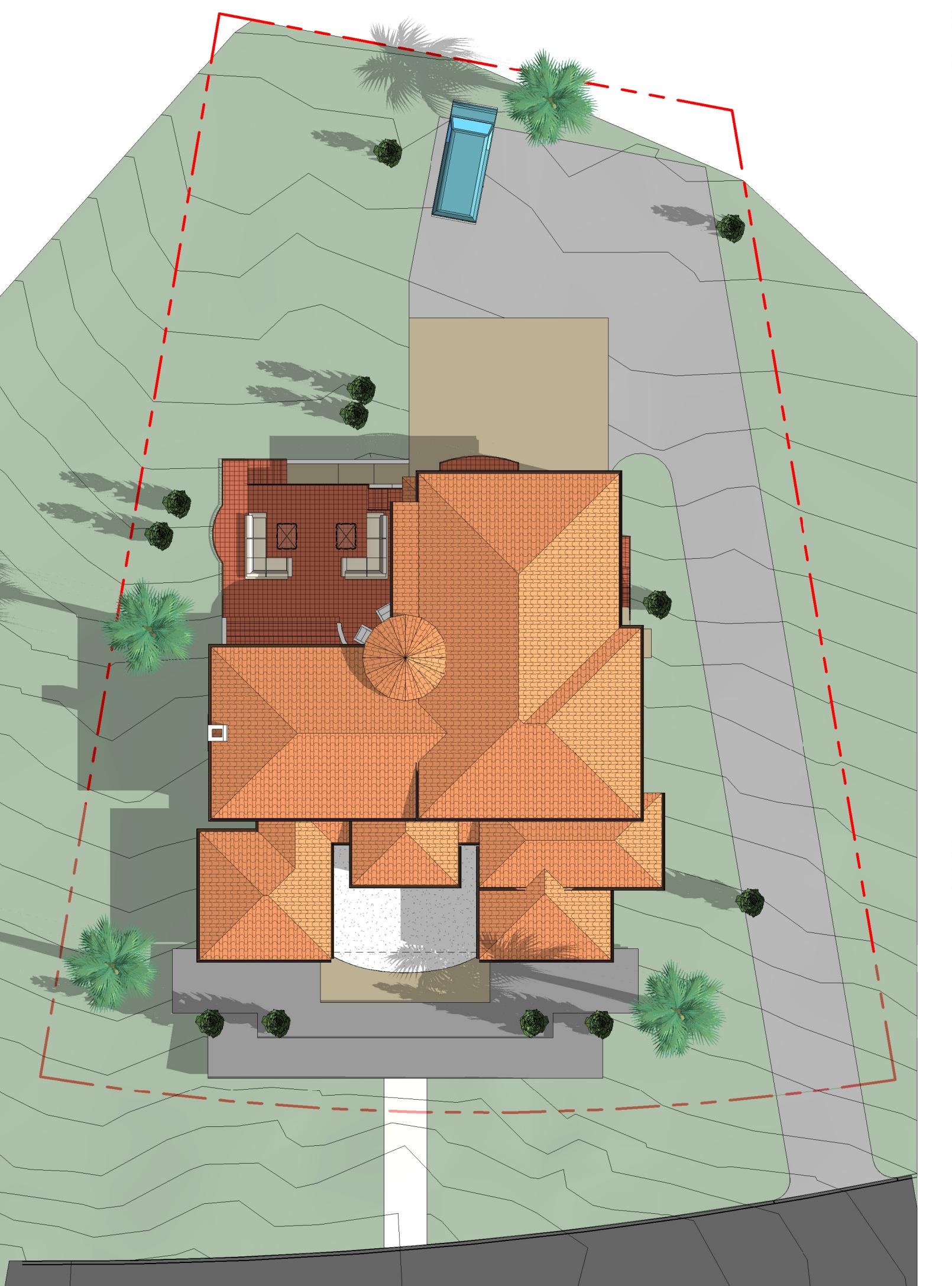
3D BIRDVIEW - EAST



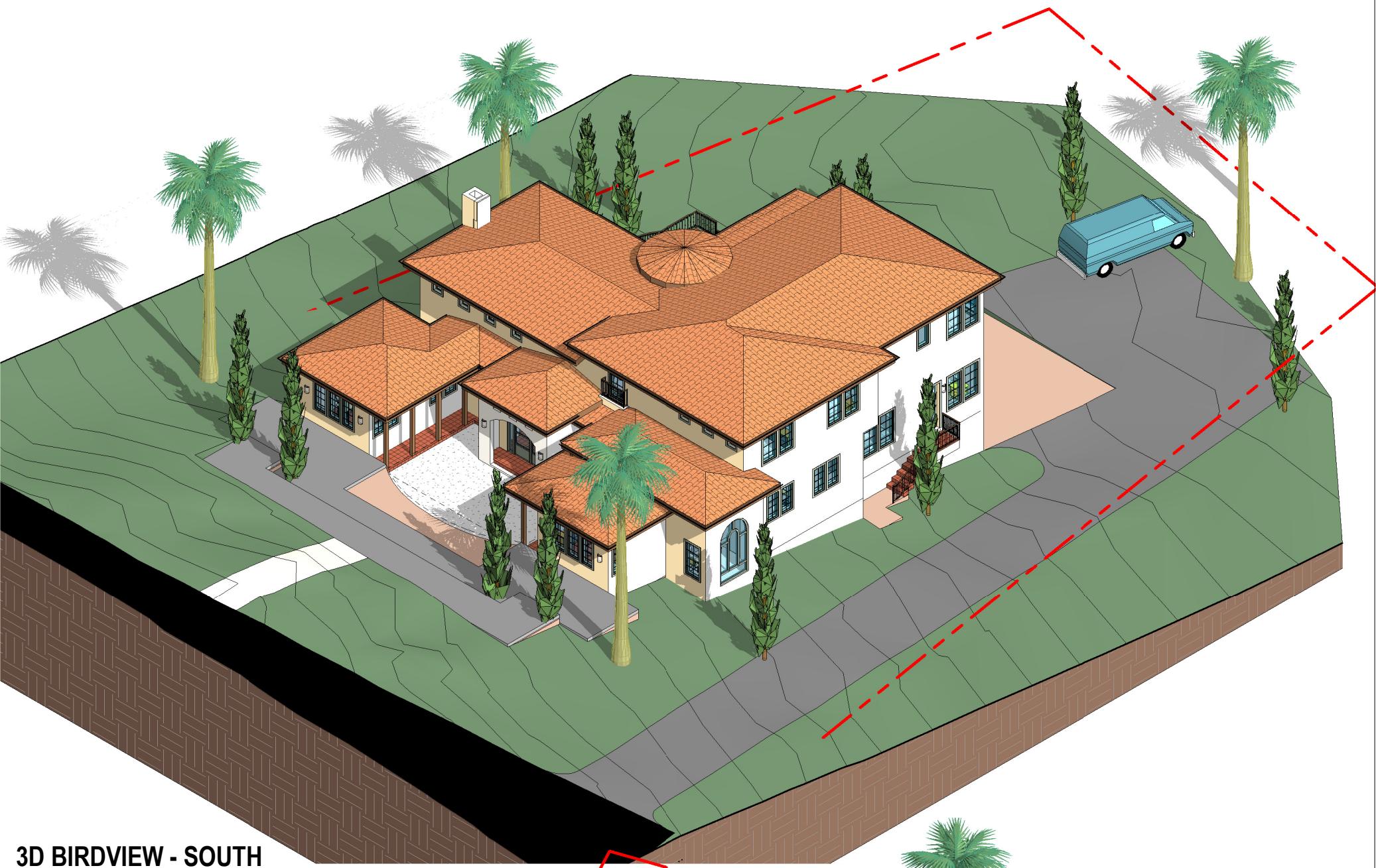
3D BIRDVIEW - NORTH



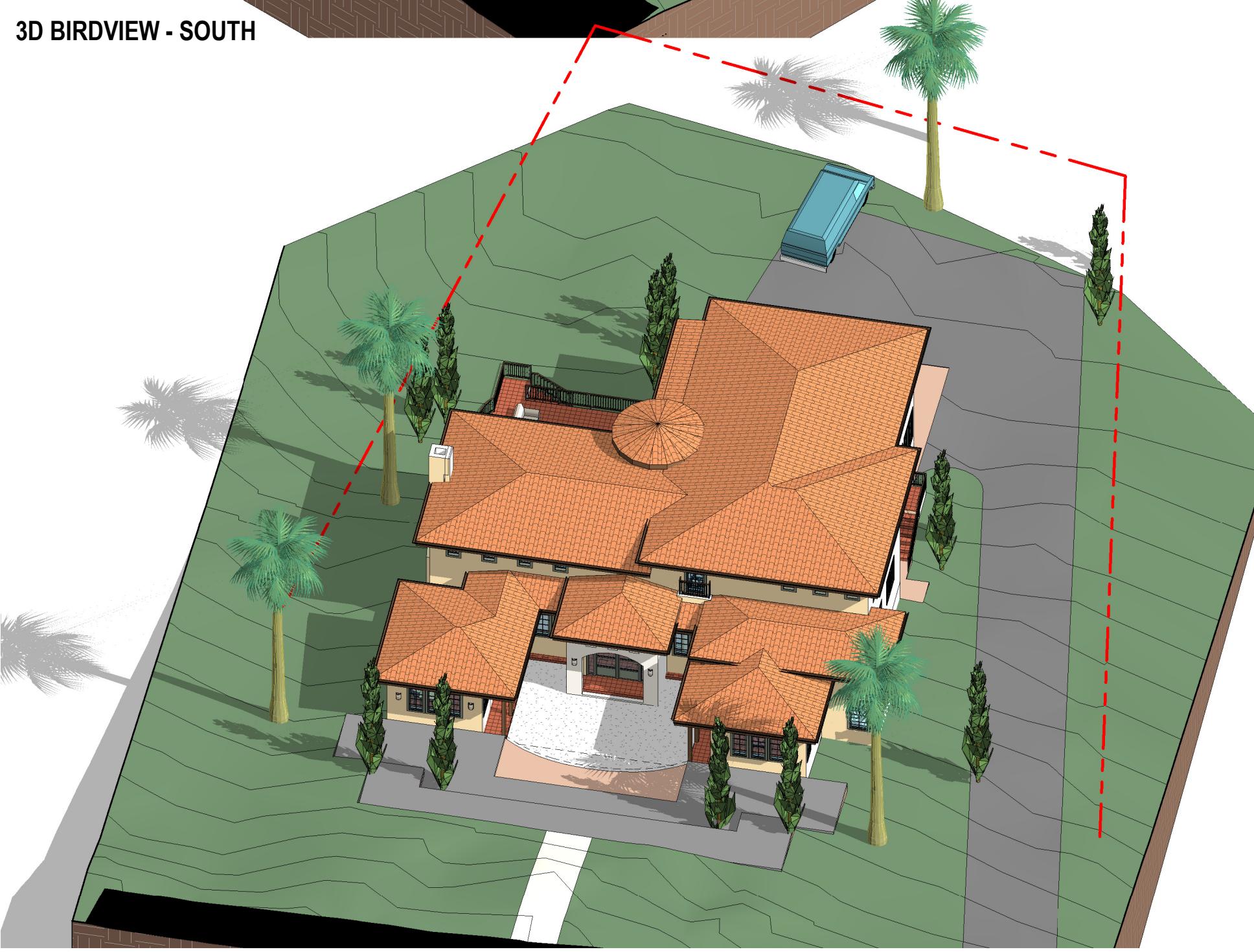
3D BIRDVIEW - NORTH WEST



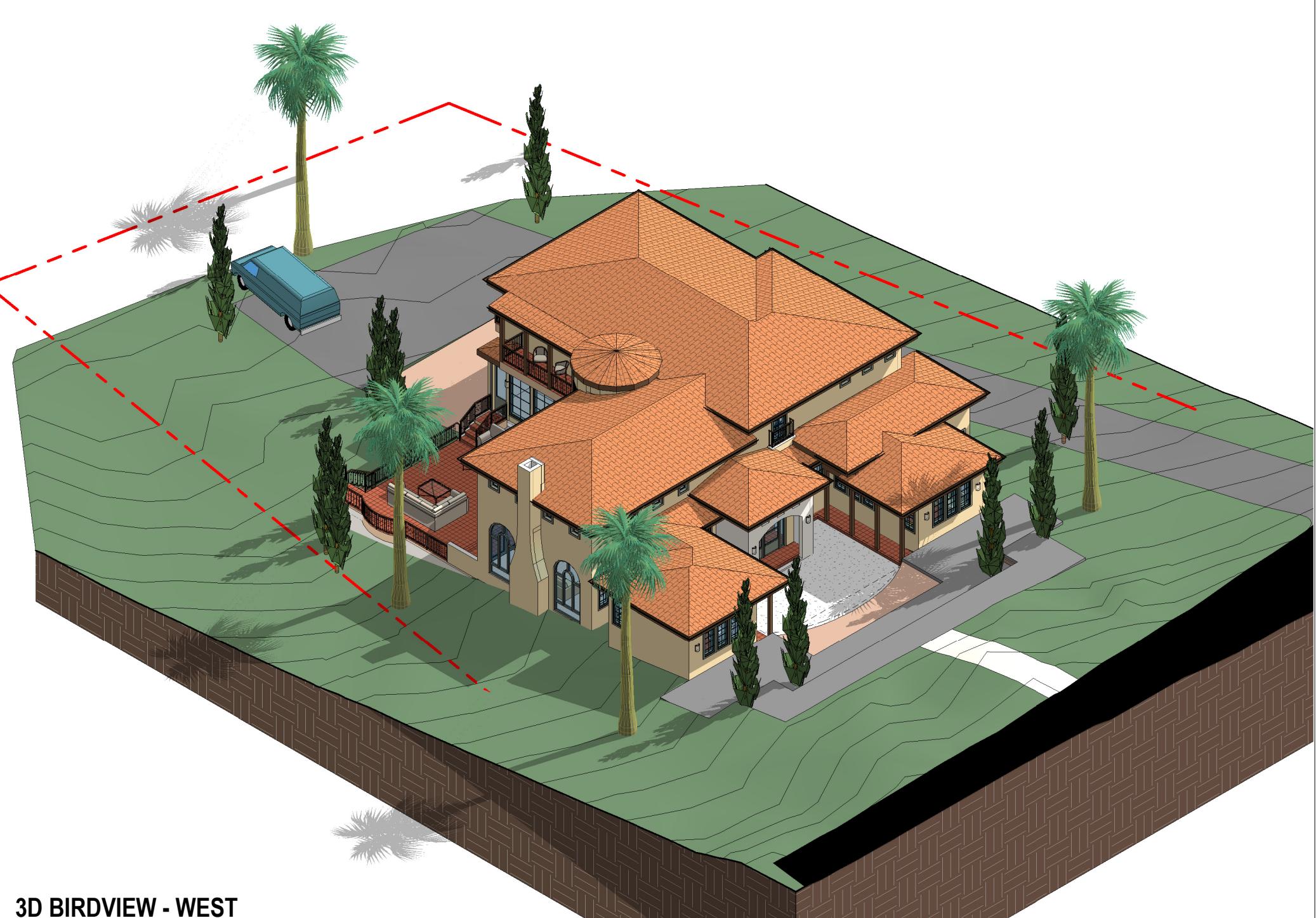
3D BIRDVIEW - TOP



3D BIRDVIEW - SOUTH



3D BIRDVIEW - SOUTH WEST



3D BIRDVIEW - WEST

No.	Description	Date
CLIENT REVIEW v9		05.07.24
ISSUED FOR ARB REVIEW		11.14.24
ISSUED FOR PLN REVIEW		11.15.24

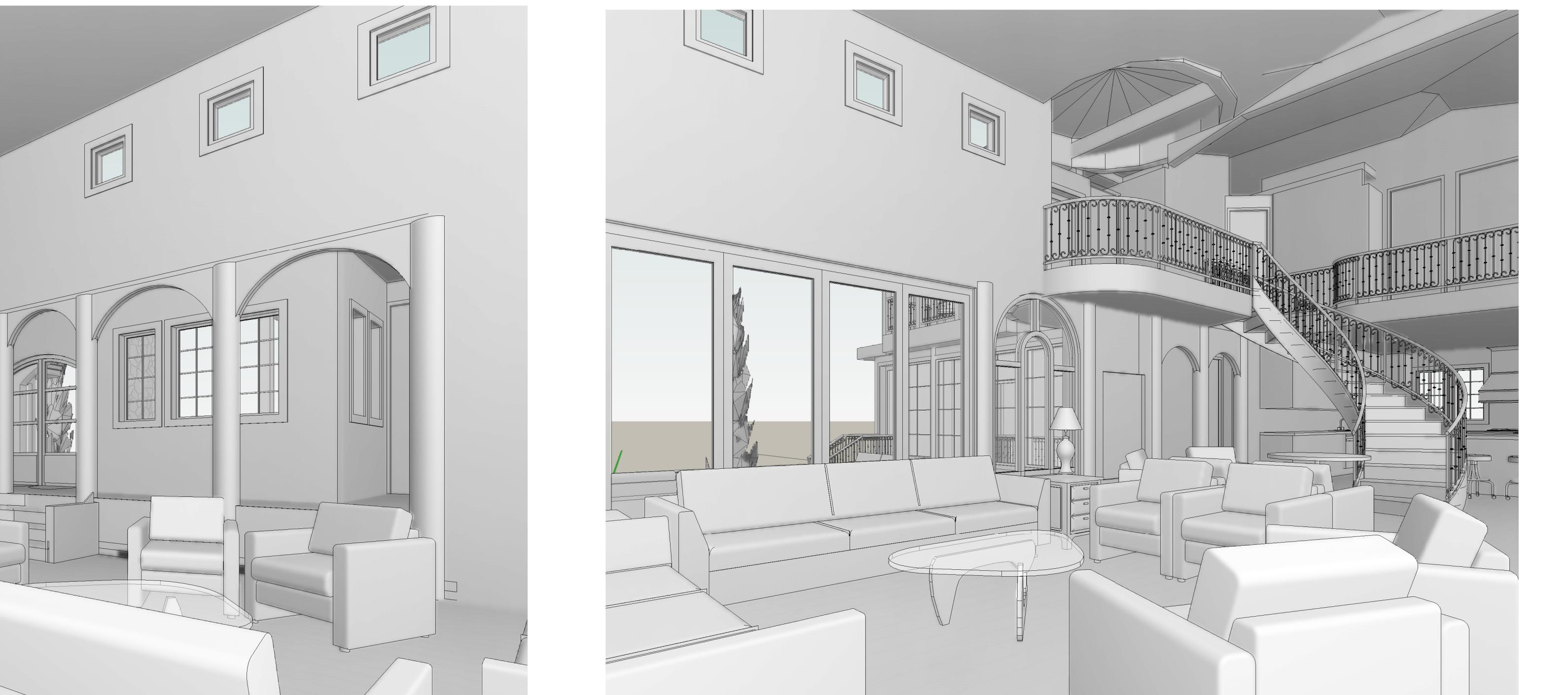
## 3D VIEWS - EXTERIOR

SCALE	
PROJECT NO	KD240317
SHEET NUMBER	



## ASHKAR NEW RESIDENCE

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③ INT2-MainFlr,Fireplace2GrandStairs



④ INT3-MainFlr,SlidingDr2Entrance



① INT1-MainFlr,Cneter2Fireplace



② INT4-MainFlr,2GrandStairs

No.	Description	Date
CLIENT REVIEW v9	05.07.24	
ISSUED FOR ARB REVIEW	11.14.24	
ISSUED FOR PLN REVIEW	11.15.24	

3D VIEWS -INTERIOR-1  
 (FOR REFERENCE ONLY)

SCALE	
PROJECT NO	KD240317
HEET NUMBER	



## ASHKAR NEW RESIDENCE

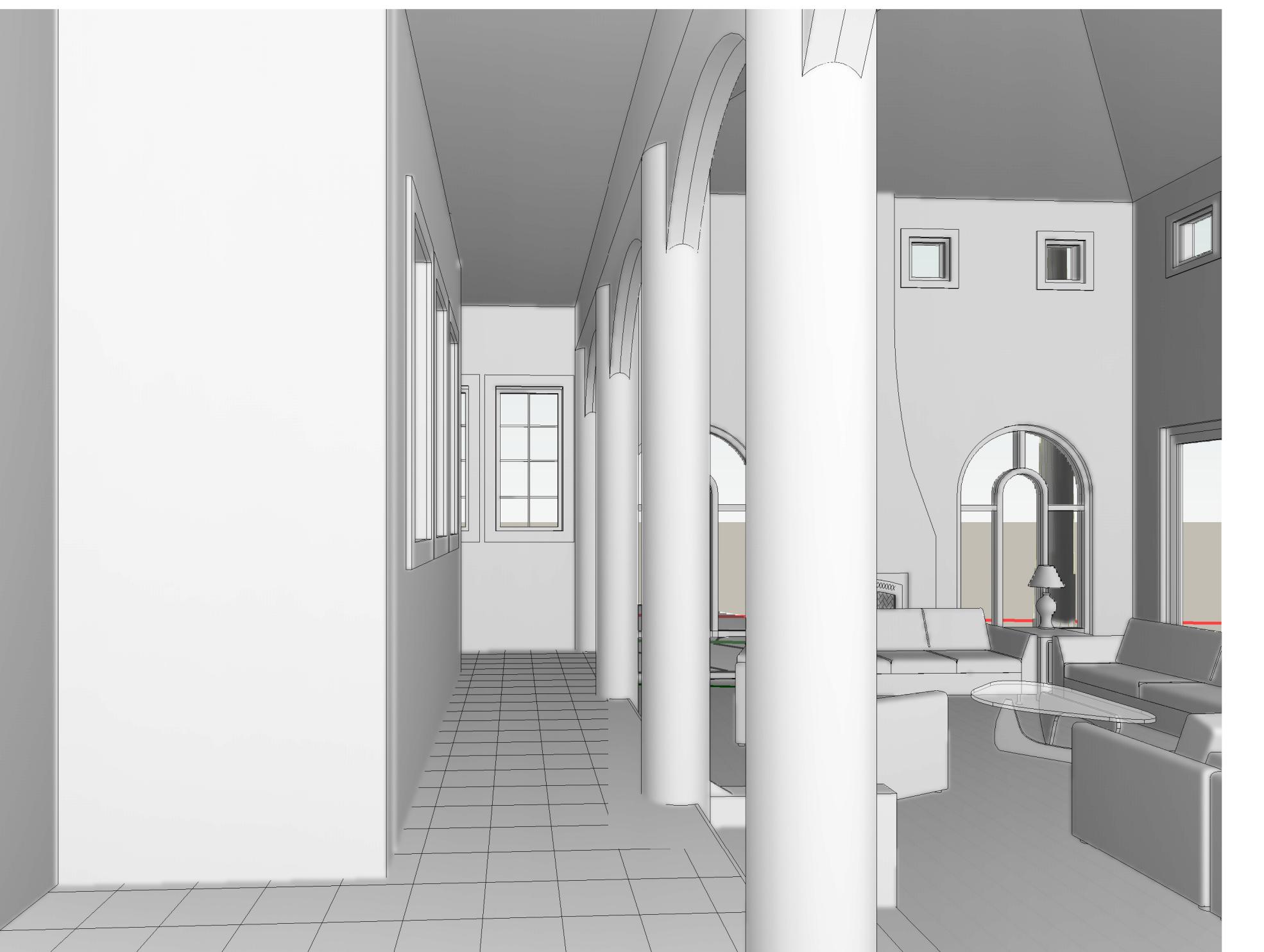
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② INT6-MainFlr,2StairsDown2Garage



① INT5-FrontCourtyard,Entrance2GrandStairs



③ INT7-FrontCourtyard,Entrance2HallAtLeft

No.	Description	Date
CLIENT REVIEW v9	05.07.24	
ISSUED FOR ARB REVIEW	11.14.24	
ISSUED FOR PLN REVIEW	11.15.24	

3D VIEWS -INTERIOR-2  
 (FOR REFERENCE ONLY)

SCALE	
PROJECT NO	KD240317
HEET NUMBER	A1.3



## ASHKAR NEW RESIDENCE

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④ INT11-MainFlr,2Kitchen1



② INT9-MainFlr,BkfstNook2Dining



③ INT10-MainFlr,2Kitchen2



① INT8-MainFlr,2Dining

3D VIEWS -INTERIOR-3  
 (FOR REFERENCE ONLY)

SCALE	
PROJECT NO	KD240317
HEET NUMBER	

A1.4



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No.	Description	Date
CLIENT REVIEW v9	05.07.24	
ISSUED FOR ARB REVIEW	11.14.24	
ISSUED FOR PLN REVIEW	11.15.24	

3D VIEWS -INTERIOR-4  
 (FOR REFERENCE ONLY)

SCALE	
PROJECT NO	KD240317
HEET NUMBER	

A1.5



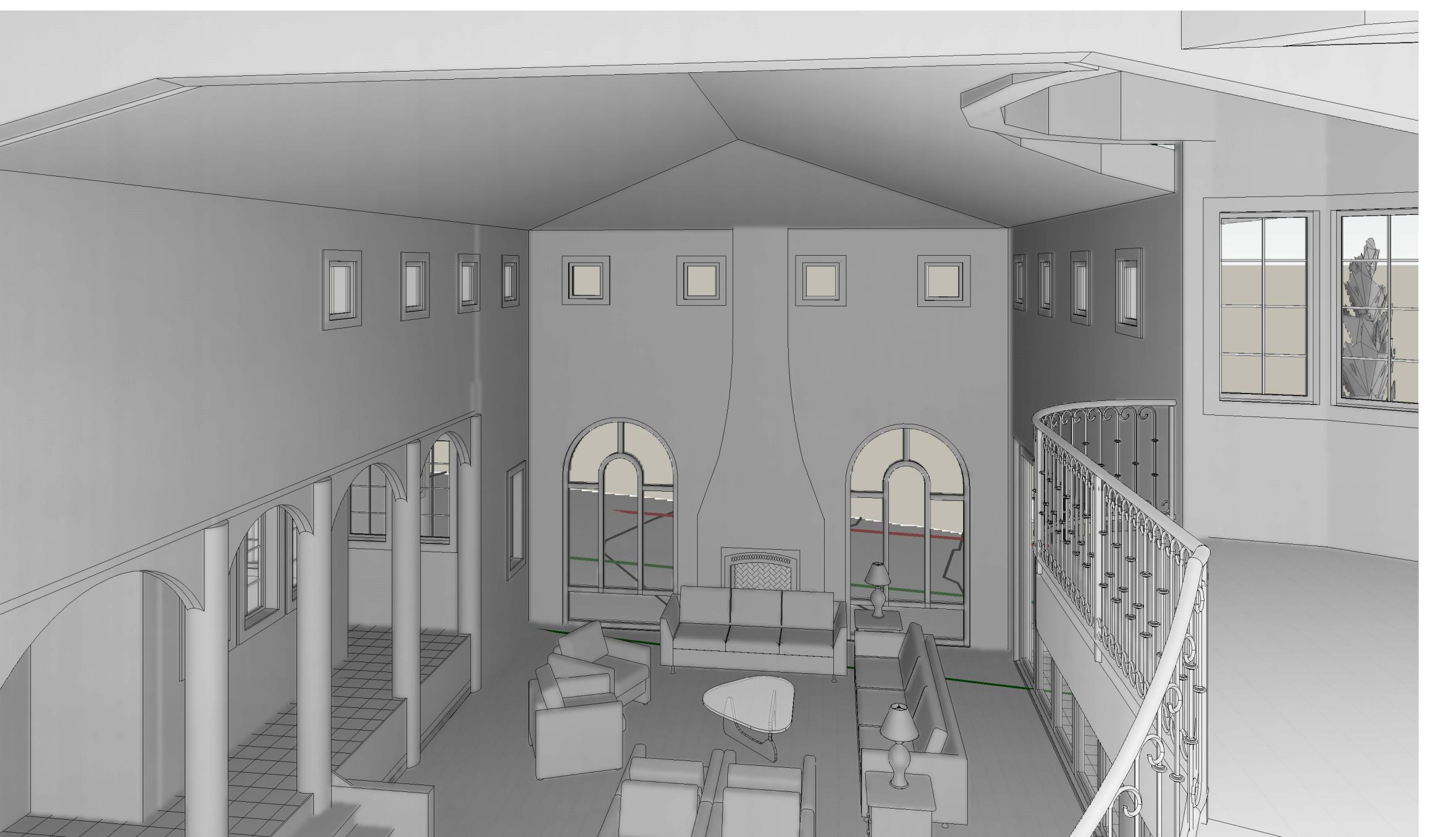
③ INT14-2ndFlrHall2Entrance



④ INT15-2ndFlr,MBedroom2Balcony



② INT13-2ndFlrHall2GrandStairs



① INT12-2ndFlrHall2Fireplace

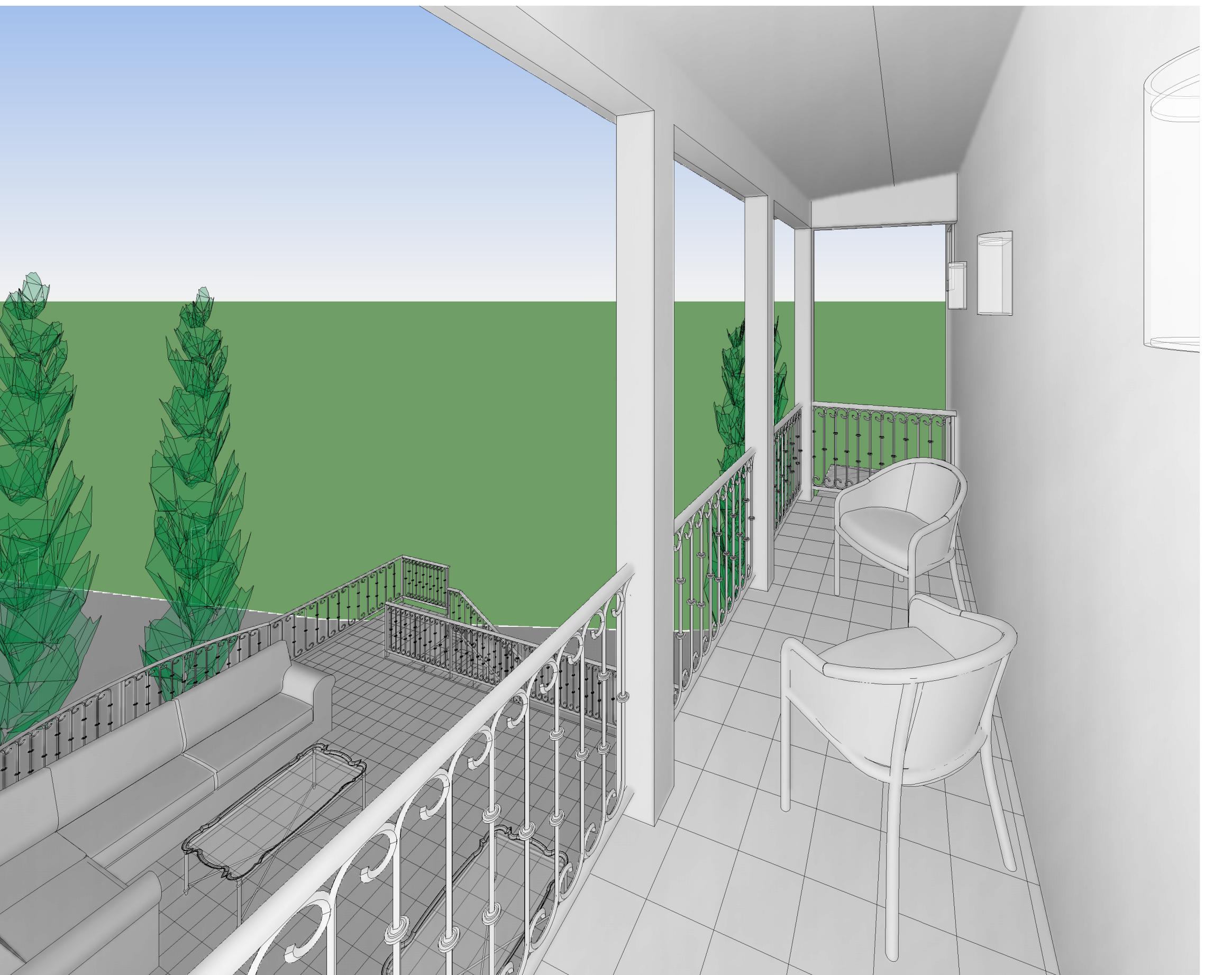


## ASHKAR NEW RESIDENCE

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③ EXT-Backyard2MidCourtyard



④ EXT-2ndFlr,2Balcony



② EXT-Driveway2Garage

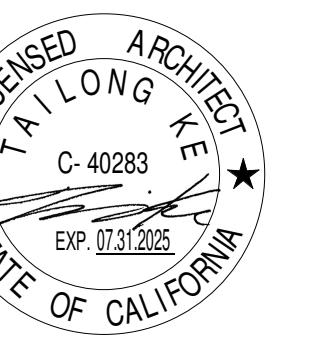


① EXT-FrontCourtyard2Entrance

No.	Description	Date
CLIENT REVIEW v9		05.07.24
ISSUED FOR ARB REVIEW		11.14.24
ISSUED FOR PLN REVIEW		11.15.24

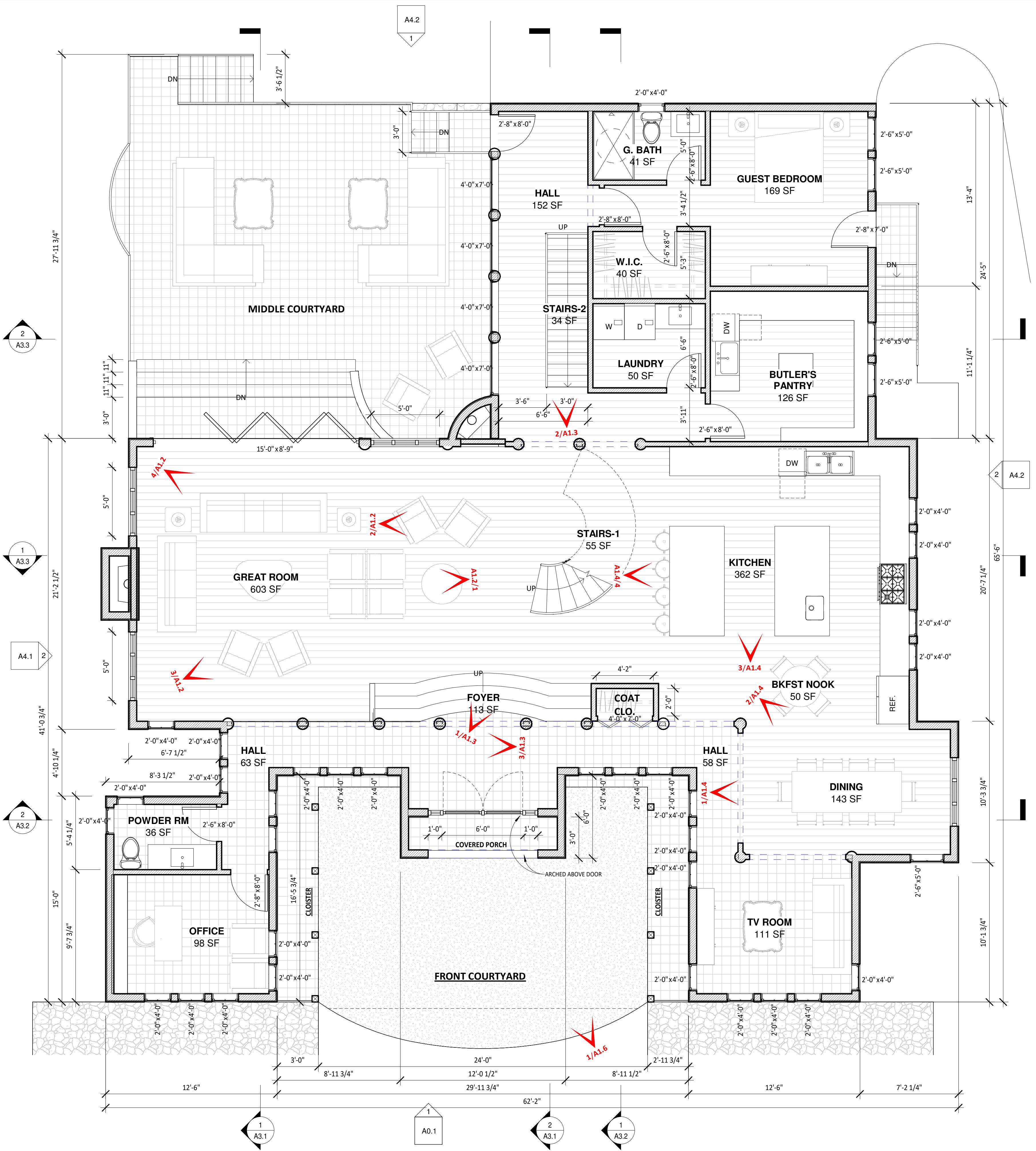
3D VIEWS -EXTERIOR-1  
 (FOR REFERENCE ONLY)

SCALE	
PROJECT NO	KD240317
SHEET NUMBER	



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# PROPOSED MAIN FLOOR PLAN

## PROPOSED MAIN FLOOR PLAN

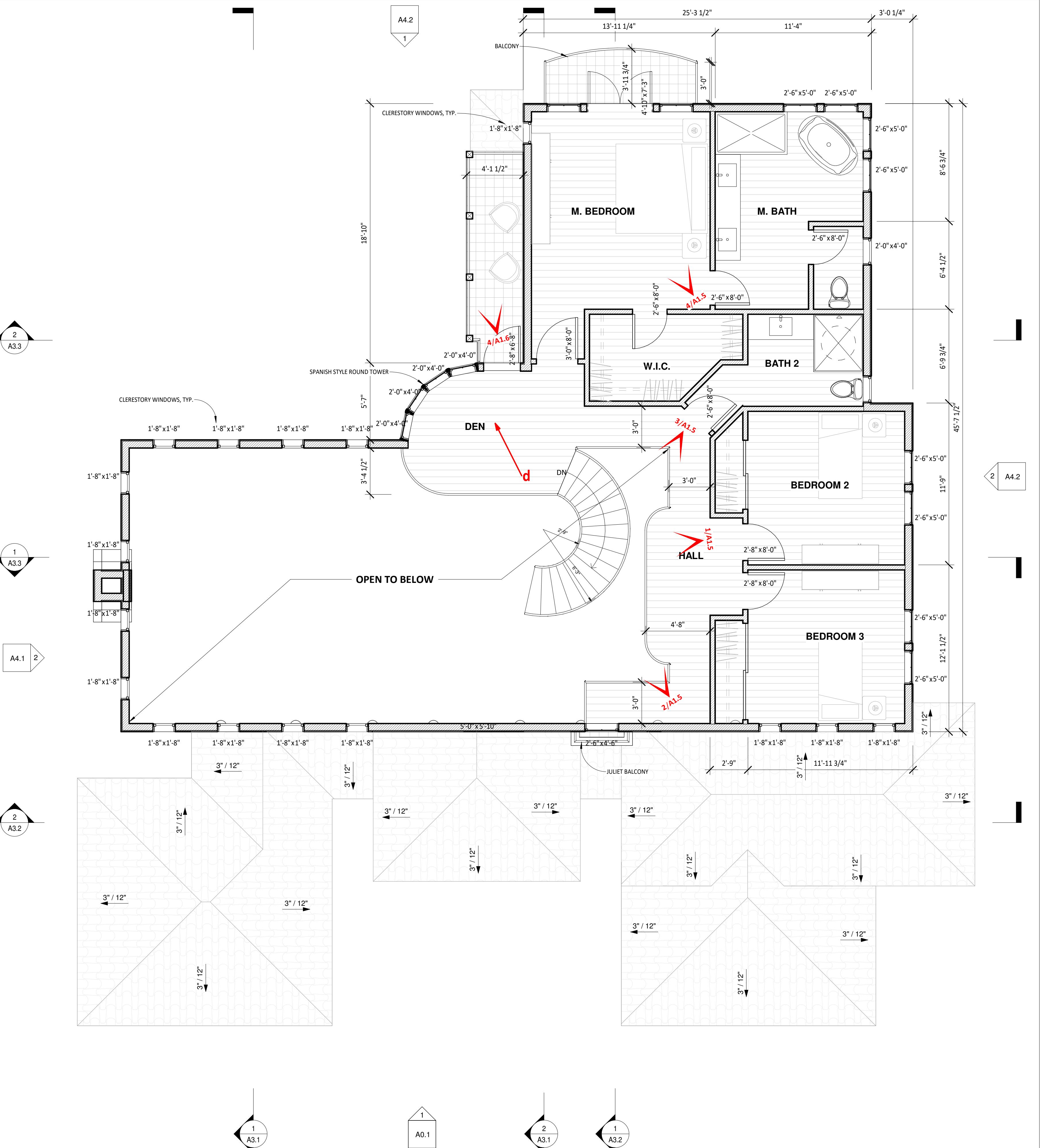
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**ReATIVE DESIGN**  
Virtual Design and Construction Manager  
VERDANT WAY, SAN JOSE, CA 95117  
408.921.0005  
tailongke@gmail.com  
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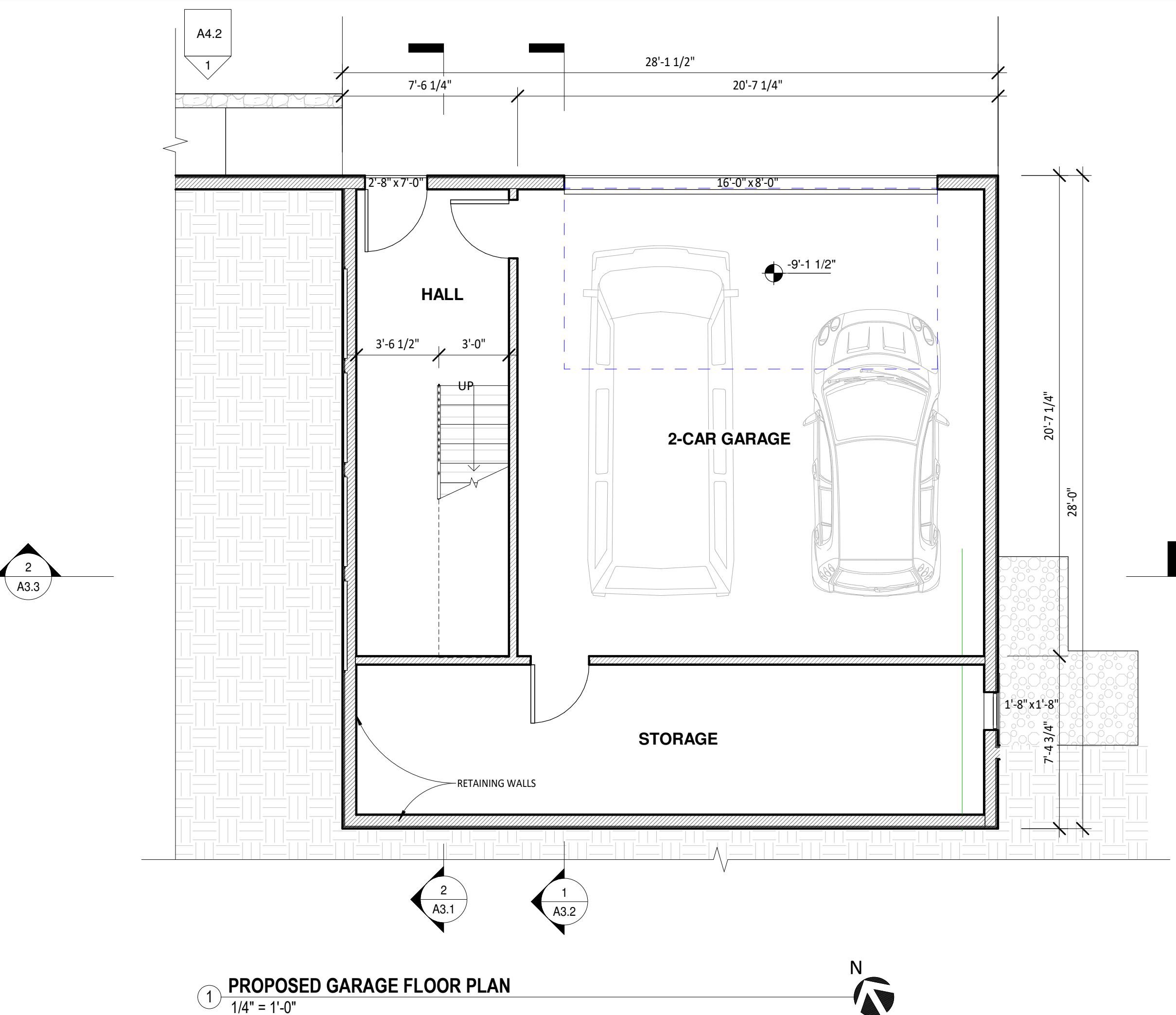
## PROPOSED 2ND FLOOR PLAN

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## A2.2

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No.	Description	Date
CLIENT REVIEW v9	05.07.24	
ISSUED FOR ARB REVIEW	11.14.24	
ISSUED FOR PLN REVIEW	11.15.24	

PROPOSED GARAGE FLOOR PLAN	
SCALE	1/4" = 1'-0"
PROJECT NO	KD240317
SHEET NUMBER	A2.3

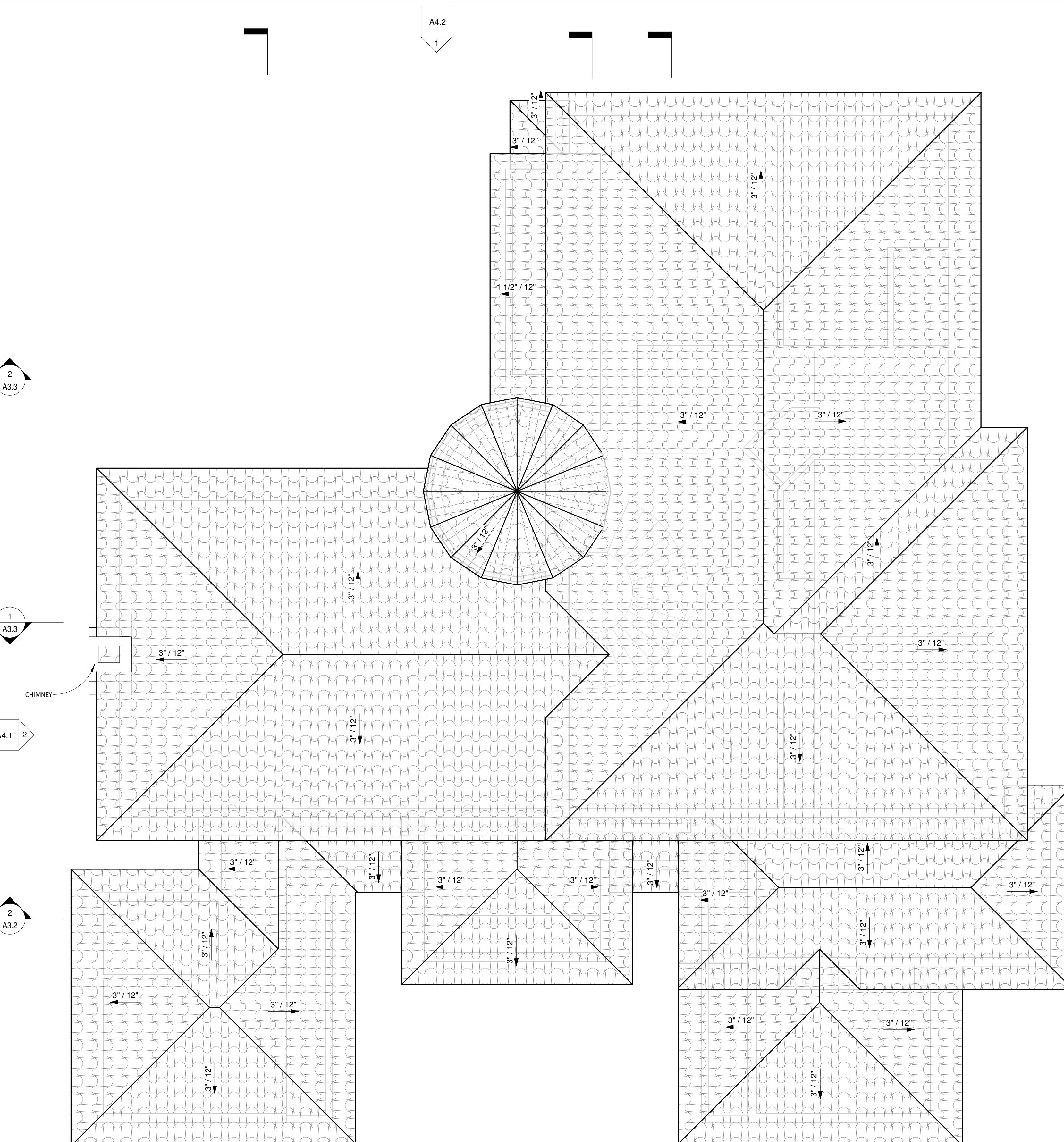


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No.	Description	Date
CLIENT REVIEW v9	05.07.24	
ISSUED FOR ARB REVIEW	11.14.24	
ISSUED FOR PLN REVIEW	11.15.24	

## PROPOSED ROOF PLAN



① PROPOSED ROOF PLAN  
 $1/4'' = 1'-0''$

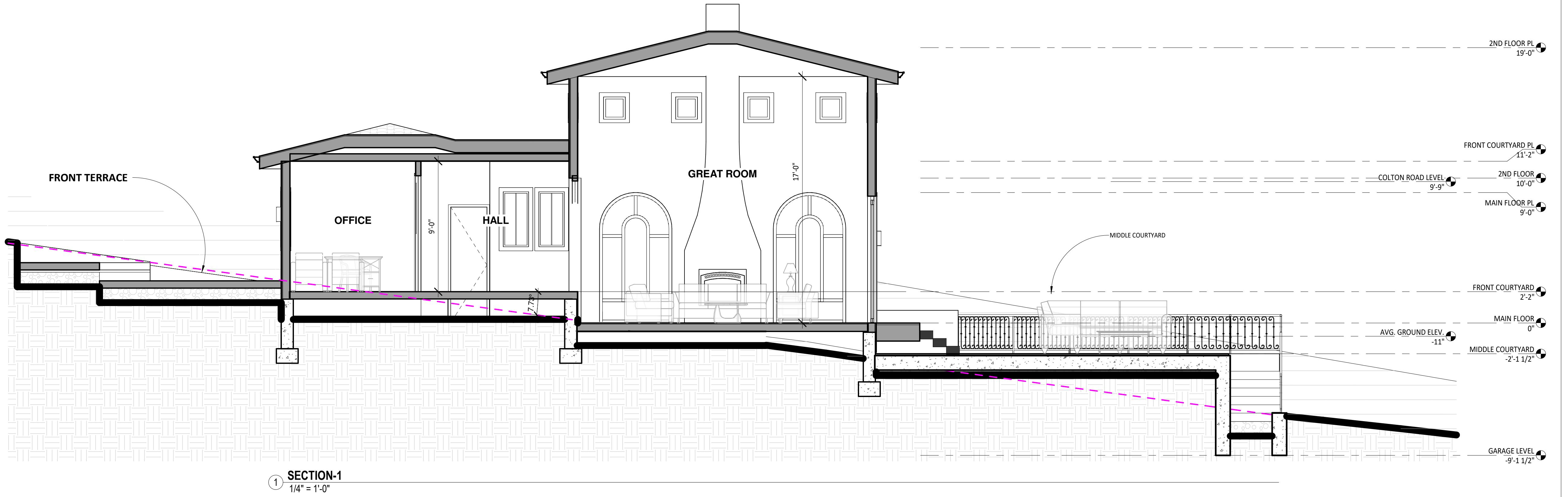


SCALE	1/4'' = 1'-0''
PROJECT NO	KD240317
SHEET NUMBER	



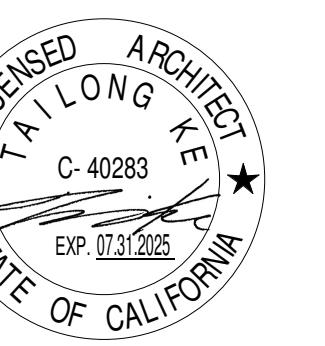
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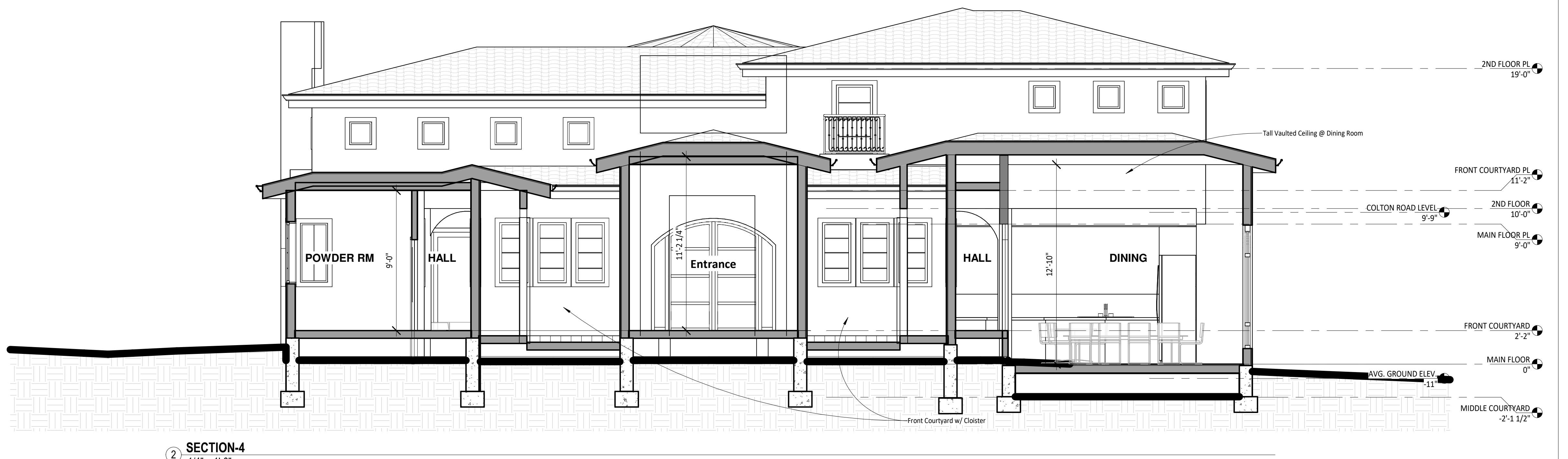
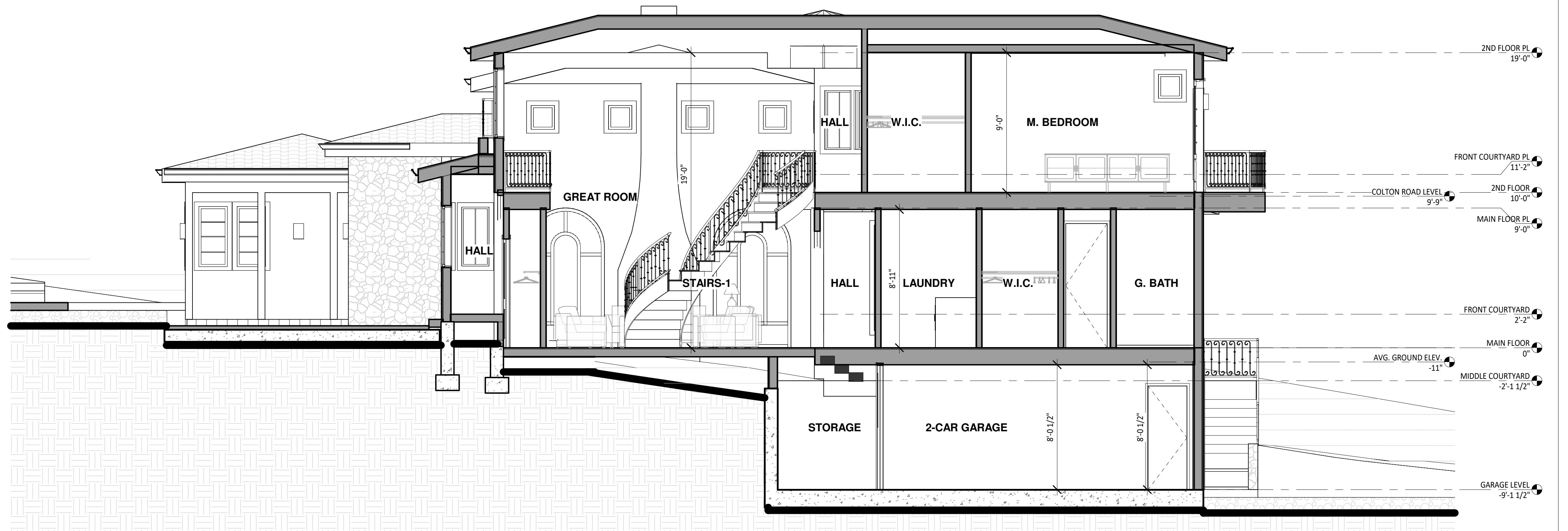
# BUILDING SECTIONS

# A3.1



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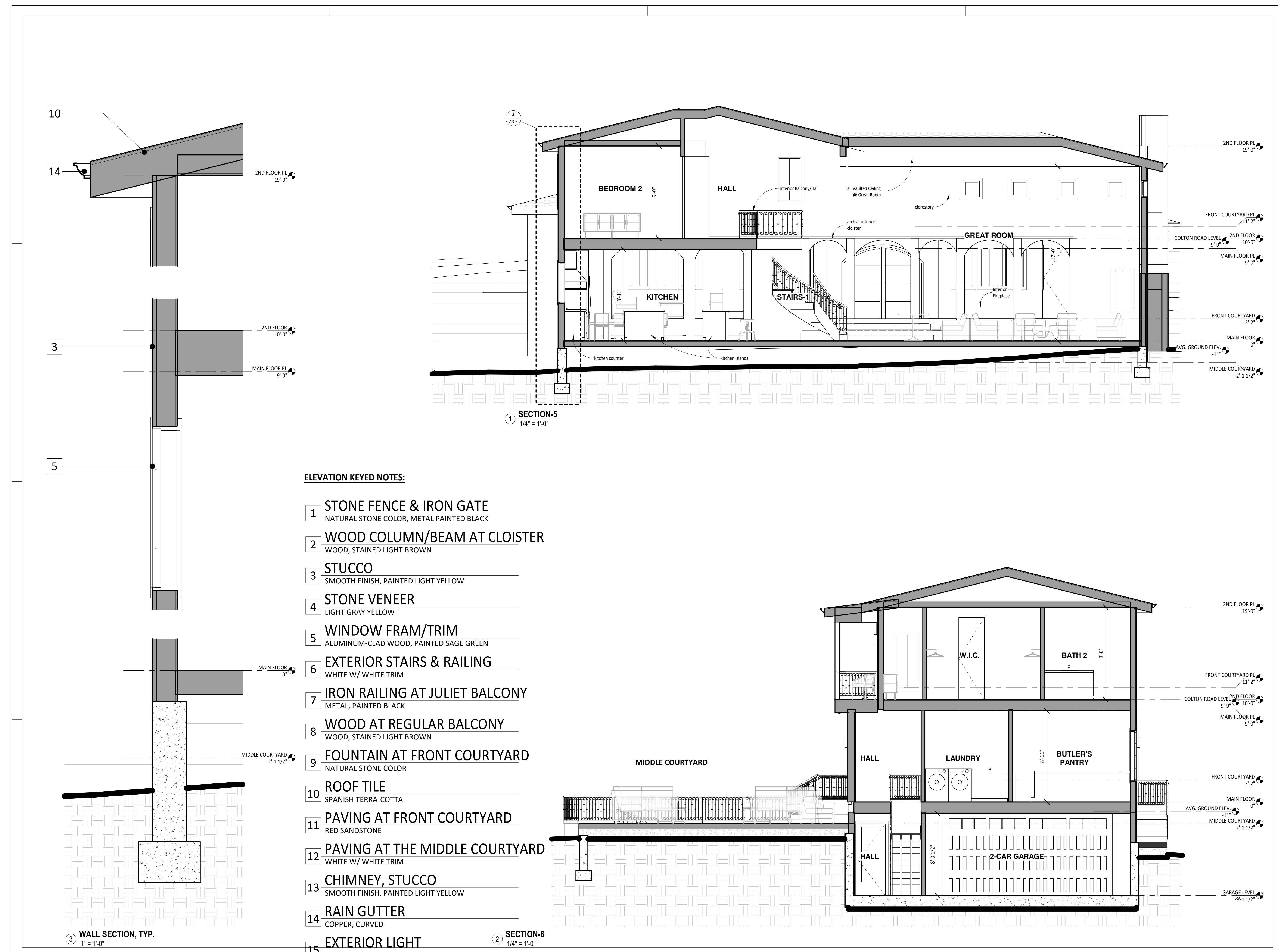
## BUILDING SECTIONS

SCALE	1/4" = 1'-0"
PROJECT NO	KD240317
SHEET NUMBER	A3.2



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# BUILDING SECTIONS

A3.3

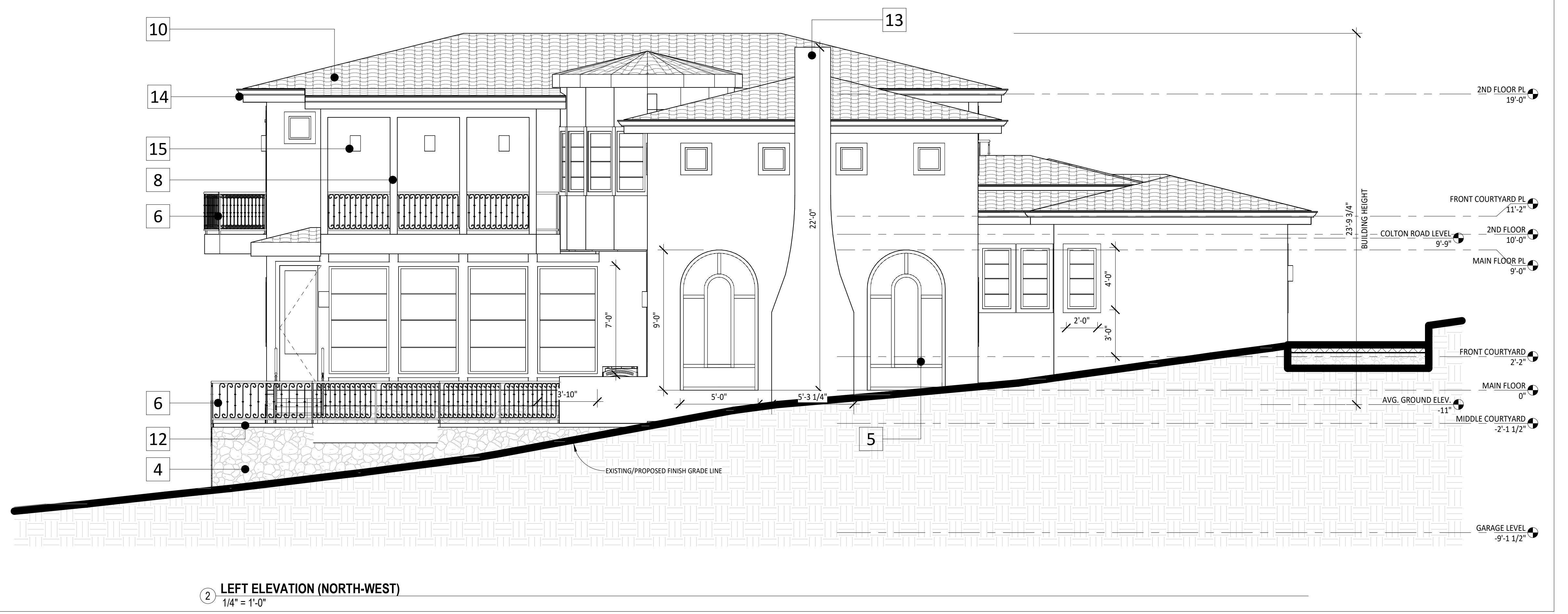
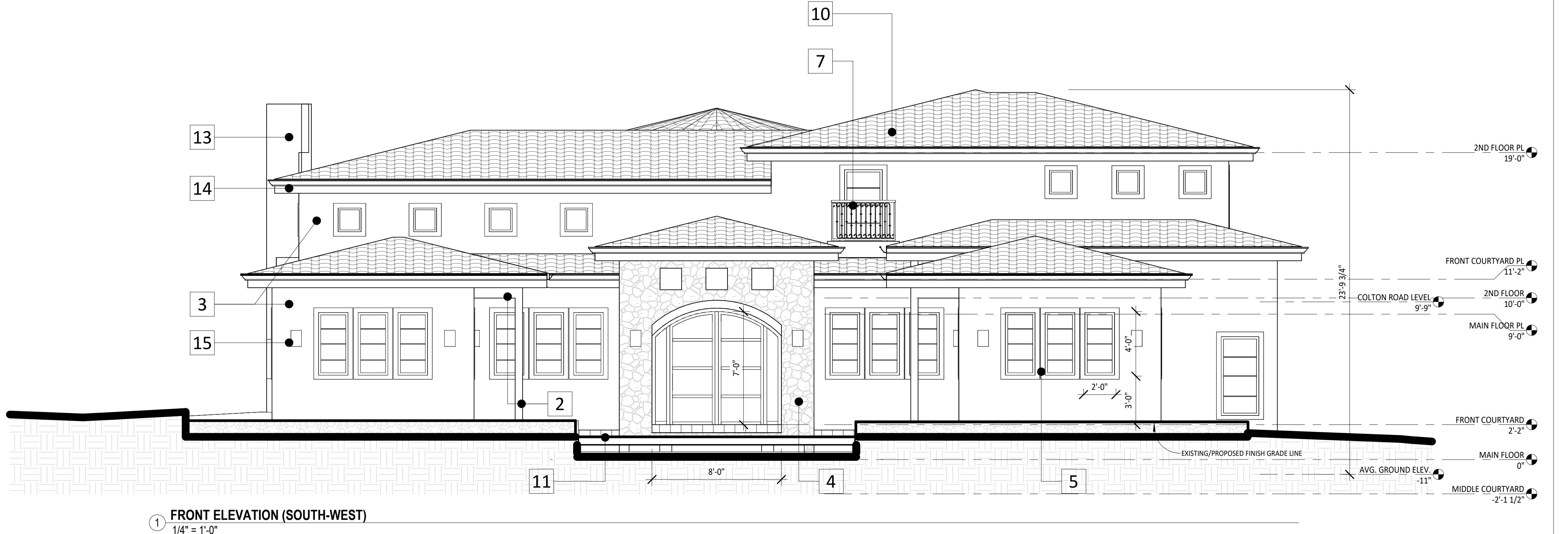
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## ELEVATION KEYED NOTES:

- 1 STONE FENCE & IRON GATE  
NATURAL STONE COLOR, METAL PAINTED BLACK
- 2 WOOD COLUMN/BEAM AT CLOISTER  
WOOD, STAINED LIGHT BROWN
- 3 STUCCO  
SMOOTH FINISH, PAINTED LIGHT YELLOW
- 4 STONE VENEER  
LIGHT GRAY YELLOW
- 5 WINDOW FRAM/TRIM  
ALUMINUM-CLAD WOOD, PAINTED SAGE GREEN
- 6 EXTERIOR STAIRS & RAILING  
WHITE W/ WHITE TRIM
- 7 IRON RAILING AT JULIET BALCONY  
METAL, PAINTED BLACK
- 8 WOOD AT REGULAR BALCONY  
WOOD, STAINED LIGHT BROWN
- 9 FOUNTAIN AT FRONT COURTYARD  
NATURAL STONE COLOR
- 10 ROOF TILE  
SPANISH TERRA-COTTA
- 11 PAVING AT FRONT COURTYARD  
RED SANDSTONE
- 12 PAVING AT THE MIDDLE COURTYARD  
WHITE W/ WHITE TRIM
- 13 CHIMNEY, STUCCO  
SMOOTH FINISH, PAINTED LIGHT YELLOW
- 14 RAIN GUTTER  
COPPER, CURVED
- 15 EXTERIOR LIGHT  
BRONZE, MODERN STYLE

\* SEE SJHEET A12 FOR MATERIAL & COLOR BOARD



No.	Description	Date
CLIENT REVIEW v9	05.07.24	
ISSUED FOR ARB REVIEW	11.14.24	
ISSUED FOR PLN REVIEW	11.15.24	

EXTERIOR ELEVATIONS		
SCALE	1/4" = 1'-0"	
PROJECT NO	KD240317	
SHEET NUMBER		



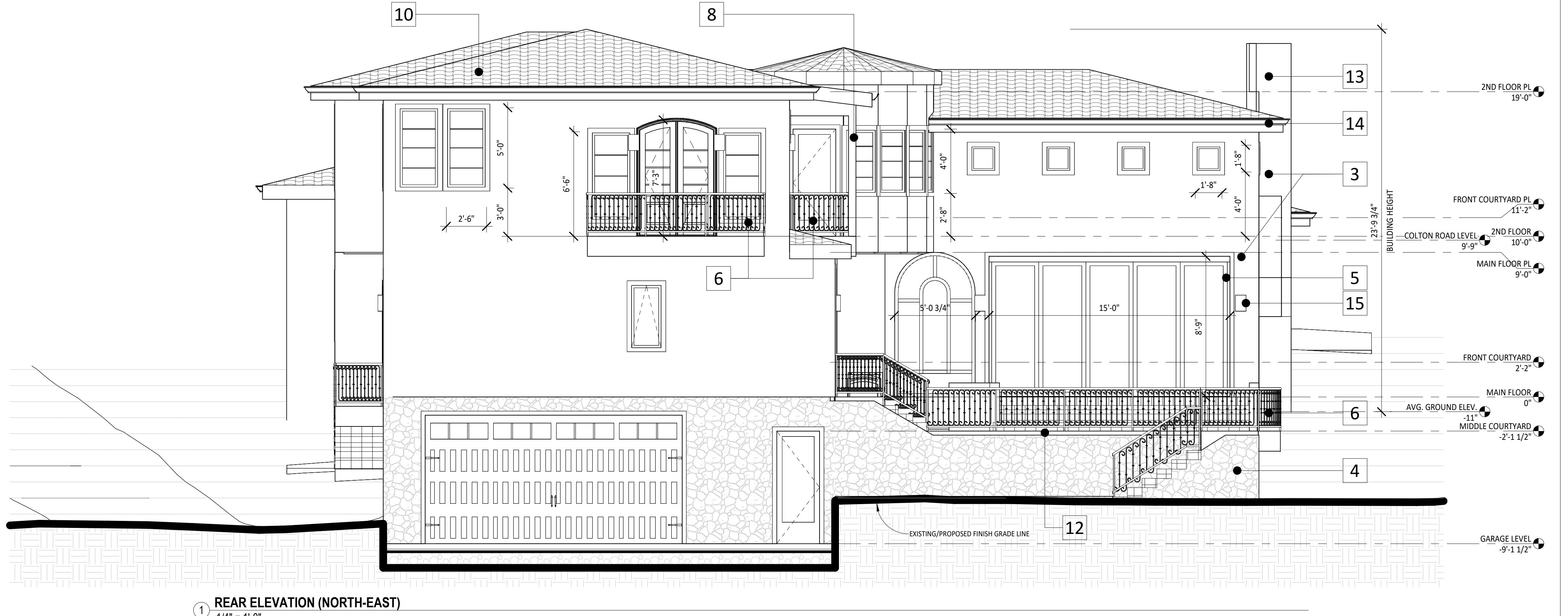
# ASHKAR NEW RESIDENCE

Kamran Ashkar  
 2972 Colton Rd, Pebble Beach, CA 93953

## ELEVATION KEYED NOTES:

- 1 **STONE FENCE & IRON GATE**  
 NATURAL STONE COLOR, METAL PAINTED BLACK
- 2 **WOOD COLUMN/BEAM AT CLOISTER**  
 WOOD, STAINED LIGHT BROWN
- 3 **STUCCO**  
 SMOOTH FINISH, PAINTED LIGHT YELLOW
- 4 **STONE VENEER**  
 LIGHT GRAY YELLOW
- 5 **WINDOW FRAM/TRIM**  
 ALUMINUM-CLAD WOOD, PAINTED SAGE GREEN
- 6 **EXTERIOR STAIRS & RAILING**  
 WHITE W/ WHITE TRIM
- 7 **IRON RAILING AT JULIET BALCONY**  
 METAL, PAINTED BLACK
- 8 **WOOD AT REGULAR BALCONY**  
 WOOD, STAINED LIGHT BROWN
- 9 **FOUNTAIN AT FRONT COURTYARD**  
 NATURAL STONE COLOR
- 10 **ROOF TILE**  
 SPANISH TERRA-COTTA
- 11 **PAVING AT FRONT COURTYARD**  
 RED SANDSTONE
- 12 **PAVING AT THE MIDDLE COURTYARD**  
 WHITE W/ WHITE TRIM
- 13 **CHIMNEY, STUCCO**  
 SMOOTH FINISH, PAINTED LIGHT YELLOW
- 14 **RAIN GUTTER**  
 COPPER, CURVED
- 15 **EXTERIOR LIGHT**  
 BRONZE, MODERN STYLE

\* SEE SJHEET A12 FOR MATERIAL & COLOR BOARD



(2) RIGHT ELEVATION (SOUTH-EAST)  
 1/4" = 1'-0"

No.	Description	Date
CLIENT REVIEW v9	05.07.24	
ISSUED FOR ARB REVIEW	11.14.24	
ISSUED FOR PLN REVIEW	11.15.24	

## EXTERIOR ELEVATIONS

SCALE	1/4" = 1'-0"
PROJECT NO	KD240317
SHEET NUMBER	



## ASHKAR NEW RESIDENCE

Kamran Ashkar  
2972 Colton Rd, Pebble Beach, CA 93953



14 RAIN GUTTER  
COPPER, CURVED



13 CHIMNEY, STUCCO  
SMOOTH FINISH, PAINTED LIGHT YELLOW



12 PAVING AT THE MIDDLE COURTYARD  
WHITE W/ WHITE TRIM



11 PAVING AT FRONT COURTYARD  
RED SANDSTONE



10 ROOF TILE  
SPANISH TERRA-COTTA



9 FOUNTAIN AT FRONT COURTYARD  
NATURAL STONE COLOR



8 WOOD AT REGULAR BALCONY  
WOOD, STAINED LIGHT BROWN



7 IRON RAILING AT JULIET BALCONY  
METAL, PAINTED BLACK



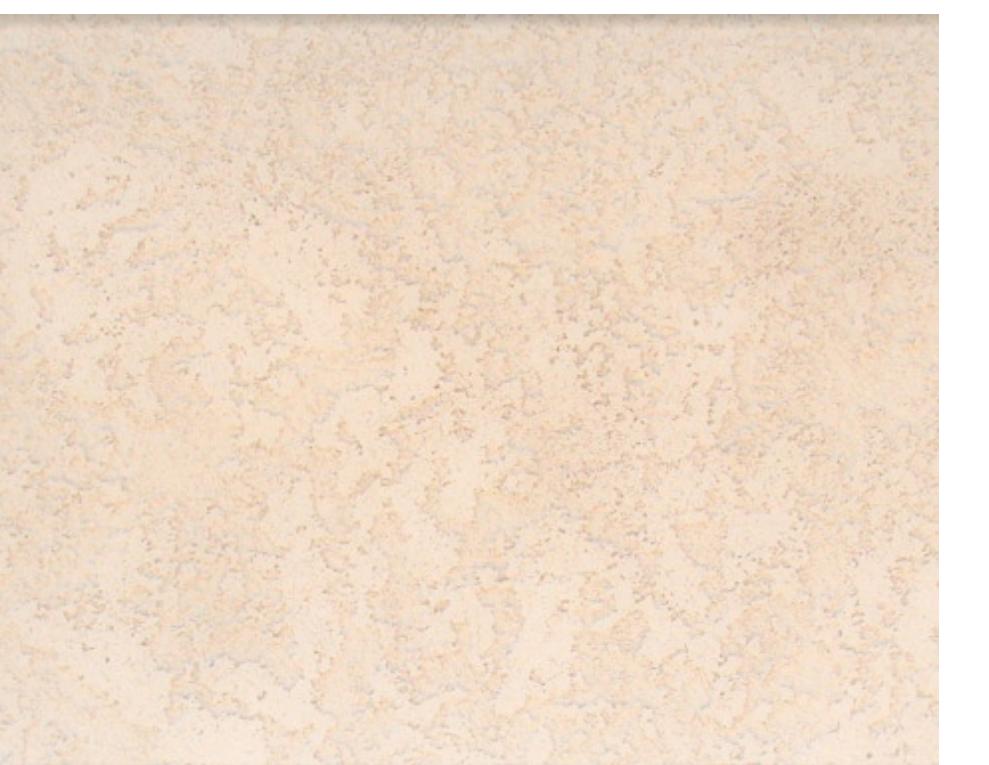
6 EXTERIOR STAIRS & RAILING  
WHITE W/ WHITE TRIM



5 WINDOW FRAM/TRIM  
ALUMINUM-CLAD WOOD, PAINTED SAGE GREEN



4 STONE VENEER  
LIGHT GRAY YELLOW



3 STUCCO  
SMOOTH FINISH, PAINTED LIGHT YELLOW



2 WOOD COLUMN/BEAM AT CLOISTER  
WOOD, STAINED LIGHT BROWN



1 STONE FENCE & IRON GATE  
NATURAL STONE COLOR, METAL PAINTED BLACK

No.	Description	Date
ISSUED FOR ARB REVIEW		11.14.24
ISSUED FOR PLN REVIEW		11.15.24

MATERIAL & COLOR BOARD		
SCALE		
PROJECT NO	KD240317	
HEET NUMBER		

## GENERAL NOTES

- THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK ON THE JOBSITE. THE CONTRACTOR IS TO VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND IS TO COORDINATE THESE DRAWINGS WITH ALL OTHER TRADE DISCIPLINES FOR THE COMPLETED WORK. THE CONTRACTOR IS ALSO TO UNDERSTAND THAT ANY FEATURE OF CONSTRUCTION NOT FULLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE AS SHOWN FOR SIMILAR CONDITIONS.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING ON THE DRAWINGS OR FOUND IN HIS COORDINATION WORK. NO CHANGES IN APPROVED PLANS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER AND THE COUNTY OF MONTEREY DEPARTMENT OF PUBLIC WORKS.
- ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE PROJECT ENGINEER ACCOMPANIED BY A DETAILED SKETCH, FOR REVIEW, BEFORE ANY APPROVAL WILL BE GIVEN AND BEFORE PROCEEDING WITH THE WORK. ABSOLUTELY NO ALTERATIONS OF THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS (CALTRANS), LATEST EDITION, THE COUNTY OF MONTEREY DESIGN CRITERIA AND ALL APPLICABLE CODES AND ORDINANCES.
- THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLANS WERE OBTAINED FROM RECORD DRAWINGS AND NOT REPRESENT TRUE LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF THESE UTILITIES PRIOR TO CONSTRUCTION, AND TO NOTIFY THE PROJECT ENGINEER IN CASE OF CONFLICT.
- THE CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS FROM THE COUNTY OF MONTEREY PRIOR TO THE START OF WORK.
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD PROJECT ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE PROJECT ENGINEER.
- GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATIONS AND THE REQUIREMENTS OF THE COUNTY OF MONTEREY.
- THE CONTRACTOR SHALL NOTIFY THE COUNTY GRADING INSPECTOR, GEOTECHNICAL ENGINEER, THE CIVIL ENGINEER, & THE COUNTY CONSTRUCTION ENGINEER AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- WORK SHALL BE LIMITED TO 8:00 A.M. TO 5:00 PM WEEKDAYS. NON-NOISE PRODUCING ACTIVITIES, SUCH AS INTERIOR PAINTING, SHALL NOT BE SUBJECT TO THIS RESTRICTION.
- NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS THE PLANNING DIRECTOR APPROVES A SEPARATE WINTER EROSION CONTROL PLAN.
- BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
- THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY.
- WHILE IN TRANSIT TO AND FROM THE PROJECT SITE, ALL TRUCKS TRANSPORTING FILL SHALL BE EQUIPPED WITH TARP.
- IF AT ANY TIME DURING SITE PREPARATION, EXCAVATION, OR OTHER GROUND DISTURBANCE ASSOCIATED WITH THIS DEVELOPMENT, ANY ARTIFACT OR OTHER EVIDENCE OF AN HISTORIC ARCHAEOLOGICAL RESOURCE OR A NATIVE AMERICAN CULTURAL SITE IS DISCOVERED, THE RESPONSIBLE PERSONS SHALL IMMEDIATELY CEASE AND DESIST FROM ALL FURTHER SITE EXCAVATION AND NOTIFY THE SHERIFF-CORONER IF THE DISCOVERY CONTAINS HUMAN REMAINS, OR THE PLANNING DIRECTOR IF THE DISCOVERY CONTAINS NO HUMAN REMAINS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF CONSTRUCTION QUANTITIES PRIOR TO BIDDING ON ANY ITEM. QUANTITY REFERENCES SHOWN ON THESE PLANS OR ENGINEER'S ESTIMATES ARE FOR ESTIMATING PURPOSES ONLY AND SHALL NOT BE CONSIDERED AS A BASIS FOR CONTRACTOR PAYMENT. CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY FLUCTUATIONS IN SUCH QUANTITIES AND ESTIMATES.
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- UNDERGROUND UTILITY LOCATIONS SHOWN ARE COMPILED FROM INFORMATION SUPPLIED BY UTILITY AGENCIES, AND ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY LOCATIONS OF AFFECTED UTILITY LINES PRIOR TO ANY TRENCHING OR EXCAVATING AND POTHOLE THOSE AREAS WHERE POTENTIAL CONFLICTS EXIST OR WHERE DATA IS OTHERWISE INCOMPLETE. FOR LOCATION, CALL USA 1-800-624-1444.
- ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE OWNER'S EXPENSE.

## EARTHWORK AND GRADING

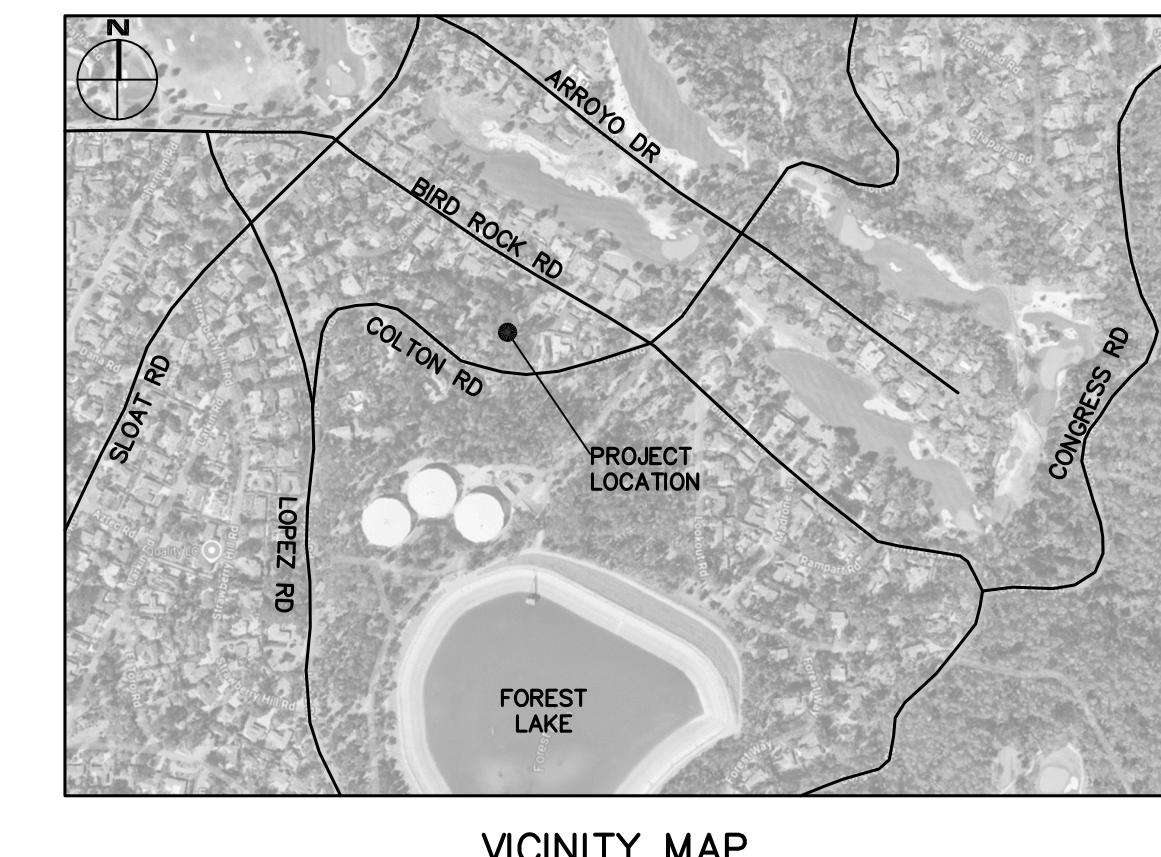
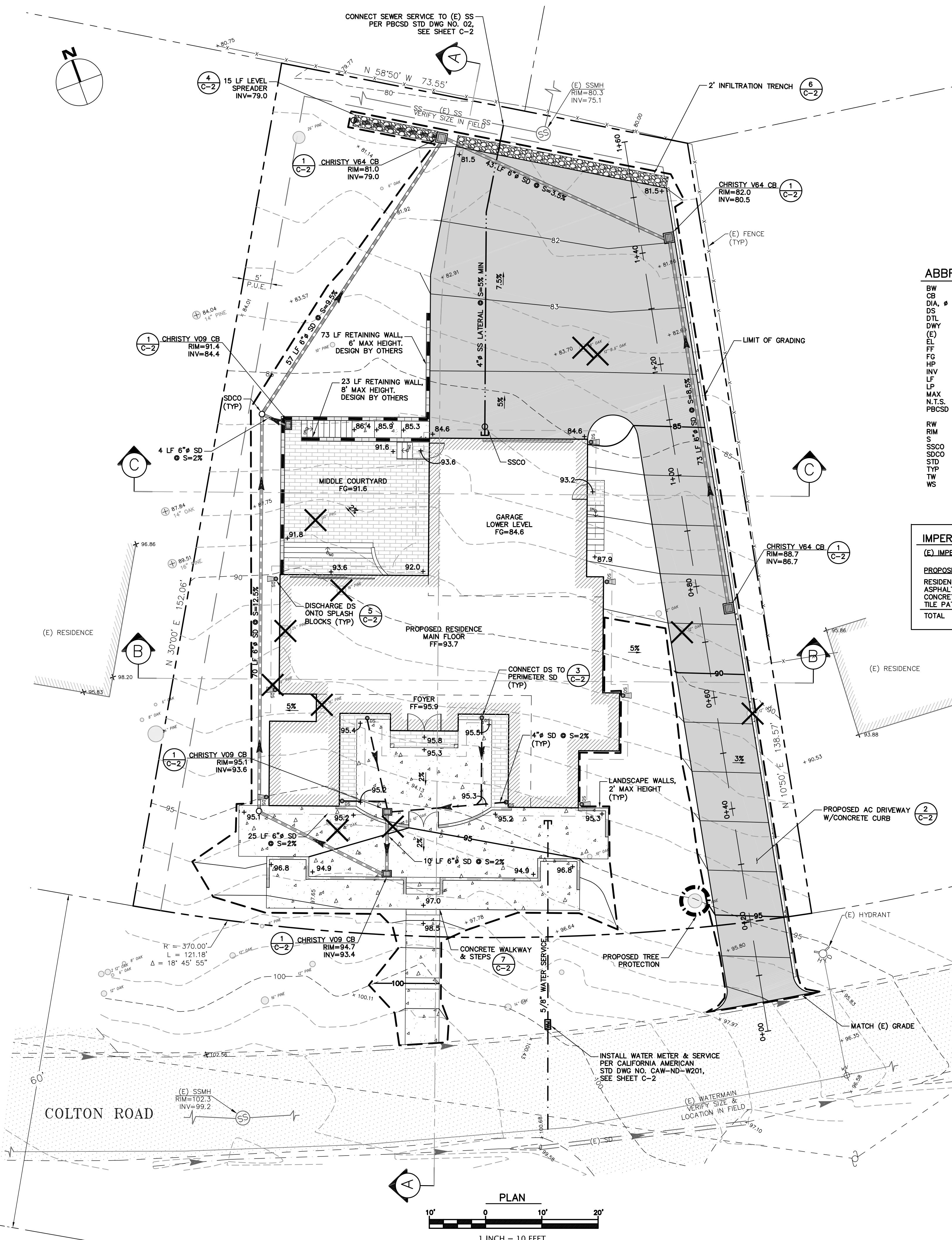
- WORK SHALL CONSIST OF ALL CLEARING, GRUBBING, STRIPPING, PREPARATION OF LAND TO BE FILLED, EXCAVATION, SPREADING, COMPACTION AND CONTROL OF FILL, AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADES, AND SLOPES, AS SHOWN ON THE APPROVED PLANS.
- ALL GRADING OPERATIONS SHALL CONFORM TO SECTION 19 OF THE CALTRANS STANDARD SPECIFICATIONS, AND SHALL ALSO BE DONE IN CONFORMANCE WITH THE REQUIREMENTS OF THE COUNTY OF MONTEREY. THE MOST STRINGENT GUIDELINE SHALL PREVAIL.
- REFERENCE IS MADE TO THE GEOTECHNICAL INVESTIGATIONS BY BUTANO GEOTECHNICAL ENGINEERING, ENTITLED "GEOTECHNICAL INVESTIGATION DESIGN PHASE", DATED AUGUST 2024. THE CONTRACTOR SHALL MAKE A THOROUGH REVIEW OF THIS REPORT AND SHALL FOLLOW ALL RECOMMENDATIONS THEREIN. THE CONTRACTOR SHALL CONTACT BUTANO GEOTECHNICAL ENGINEERING, FOR ANY CLARIFICATIONS NECESSARY PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL GRADE TO THE LINE AND ELEVATIONS SHOWN ON THE PLAN, AND SHALL SECURE THE SERVICES OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER TO PROVIDE STAKES FOR LINE AND GRADE.
- THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED AT LEAST FOUR (4) DAYS PRIOR TO ANY SITE CLEARING AND GRADING OPERATIONS.
- STRIPPED AREAS SHOULD BE SCARIFIED TO A DEPTH OF ABOUT 6", WATER-CONDITIONED TO BRING THE SOILS WATER CONTENT TO ABOUT 2% ABOVE THE OPTIMUM, AND COMPACTED TO A DENSITY EQUIVALENT TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY OF THE SOIL ACCORDING TO ASTM D1557 (LATEST EDITION). SUBGRADES AND AGGREGATE BASE ROCK FOR PAVEMENTS SHOULD BE COMPACTED TO A MINIMUM OF 95%.
- ENGINEERED FILL SHOULD BE PLACED IN THIN LIFTS NOT EXCEEDING 8" IN LOOSE THICKNESS, MOISTURE CONDITIONED, AND COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
- MATERIAL USED FOR ENGINEERED FILL SHALL MEET THE REQUIREMENTS OF THE AFOREMENTIONED REPORTS BY BUTANO GEOTECHNICAL ENGINEERING.
- IMPORTED FILL MATERIAL USED AS ENGINEERED FILL FOR THE PROJECT SHALL MEET THE REQUIREMENTS OF THE AFOREMENTIONED GEOTECHNICAL INVESTIGATION.
- ALL FILL MATERIAL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO JOBSITE DELIVERY AND PLACEMENT. NO EARTHWORK OPERATIONS SHALL BE PERFORMED WITHOUT THE DIRECT OBSERVATION AND APPROVAL OF THE GEOTECHNICAL ENGINEER.
- BARE GROUND WITHIN 10' OF FOUNDATIONS SHALL BE SLOPED AWAY @ 5% MINIMUM OR 2% MINIMUM FOR PAVED SURFACES.

## SEWER LATERAL NOTES

- SEWER LATERALS SHALL BE POLYVINYL CHLORIDE (PVC SDR26) AND SHALL HAVE A SMOOTH INTERIOR AND CONFORM TO PEBBLE BEACH COMMUNITY SERVICE DISTRICT (PBCSD) STANDARD SPECIFICATIONS
- SEWER LATERALS SHALL BE SLOPED AT A MINIMUM 2%.

## STORM DRAINAGE NOTES

- CULVERTS SHALL BE POLYVINYL CHLORIDE (PVC SDR35), HIGH DENSITY POLYETHYLENE (HDPE ADS N12 OR EQUAL), OR REINFORCED CONCRETE PIPE (RCP), AND SHALL HAVE A SMOOTH INTERIOR.
- INLETS SHALL BE CHRISTY CONCRETE PRODUCTS OR APPROVED EQUAL WITH SMOOTH CONCRETE BOTTOM.
- DISCHARGE DOWNSPOUTS ONTO SPLASH BLOCKS OR CONNECTION TO PERIMETER STORM DRAIN AS SHOWN ON THE PLANS.



## ABBREVIATIONS

BW	BOTTOM OF WALL
CB	CATCH BASIN
DA, S	DOWN DRAIN
DS	DOWNSPOUT
DTL	DETAIN
DWY	DRIVEWAY
(E)	EXISTING
EL	ELEVATION
FF	FINISH FLOOR
FG	FINISH GRADE
INV	INVERT
LF	LOW POINT
LP	LIMIT POINT
MAX	MAXIMUM
N.T.S.	NOT TO SCALE
PBCSD	PEBBLE BEACH COMMUNITY SERVICE DISTRICT
RW	RETAINING WALL
RIM	RIM ELEVATION
S	SLOPE
SSCO	SANITARY SEWER CLEANOUT
SDCO	STORM DRAIN CLEANOUT
STD	STANDARD
TP	TOP
TW	TOP OF WALL
WS	WATER SERVICE

## IMPERVIOUS AREAS

(E) IMPERVIOUS AREA	= 0 SF
PROPOSED IMPERVIOUS AREA	
RESIDENCE	2,570
CONCRETE	3,340
TILE PATIO	1,582
TOTAL	= 6,272 SF

## LEGEND

(E) AB	RESIDENTIAL AREA
(E) AC	NON-RESIDENTIAL AREA
PROPOSED AC	PROPOSED NON-RESIDENTIAL AREA
PROPOSED CONCRETE	PROPOSED CONCRETE
PROPOSED TILE PATIO	PROPOSED TILE PATIO
(E) FLOWLINE	PROPOSED FLOWLINE
PROPERTY LINE	PROPERTY LINE
PROPOSED LIMIT OF GRADING	PROPOSED LIMIT OF GRADING
PROPOSED RETAINING WALL	PROPOSED RETAINING WALL
PROPOSED CONCRETE CURB	PROPOSED CONCRETE CURB
PROPOSED SD	PROPOSED SD
PROPOSED PERIMETER SD	PROPOSED PERIMETER SD
PROPOSED SDCO	PROPOSED SDCO
PROPOSED CB	PROPOSED CB
MAJOR GRADE CONTOUR LINES	MAJOR GRADE CONTOUR LINES
MINOR GRADE CONTOUR LINES	MINOR GRADE CONTOUR LINES
MAJOR PROPOSED CONTOUR LINES	MAJOR PROPOSED CONTOUR LINES
MINOR PROPOSED CONTOUR LINES	MINOR PROPOSED CONTOUR LINES
REMOVE (E) TREE	REMOVE (E) TREE

## TOPOGRAPHIC SURVEY

THE TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION PROVIDED HEREON WAS COMPLETED BY HANAGAN LAND SURVEYING. RI ENGINEERING INC. MAKES NO GUARANTEE AS TO THE ACCURACY OF BOTH. THE CONTRACTOR SHALL VERIFY THE BOUNDARY LOCATION AND TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK.

## BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS MAP HAS BEEN ESTABLISHED BETWEEN IRON PIPE MONUMENTS FOUND ALONG COLTON ROAD PER THAT CERTAIN TRACT MAP FOUND IN VOLUME 8 OF "CITIES AND TOWNS" AT PAGE 87, OF MONTEREY COUNTY RECORDS.

## BASIS OF ELEVATION

AN ASSUMED ELEVATION OF 100.00' WAS USED ON A SET SPIKE. THE CONTOUR INTERVAL IS 1 FOOT.

## APPROXIMATE EARTHWORK QUANTITIES

SITE GRADING FOUNDATION GRADING	CUBIC YARDS		
	57	115	58
	103	86	17

NOTES:

- EARTHWORK QUANTITIES ARE APPROXIMATE AND SHALL BE INDEPENDENTLY VERIFIED BY THE CONTRACTOR FOR BIDDING PURPOSES.
- EARTHWORK VOLUMES FOR RESIDENCE GRADING INCLUDE EXCAVATION TO ROUGH GRADE FOR CONSTRUCTION OF THE PROPOSED RESIDENCE. EARTHWORK VOLUMES REQUIRED TO CONSTRUCT THE FOUNDATIONS HAVE NOT BEEN INCLUDED.
- EXCESS SOIL SHALL BE HAULED OR PLACED IN A COUNTY APPROVED LOCATION.

NEW RESIDENCE	FOR	KAMRAN ASHKAR
		29.2 COLTON ROAD
		PEBBLE BEACH, CA 93953
	APR 007-512-028	
GRADING & DRAINAGE PLAN		

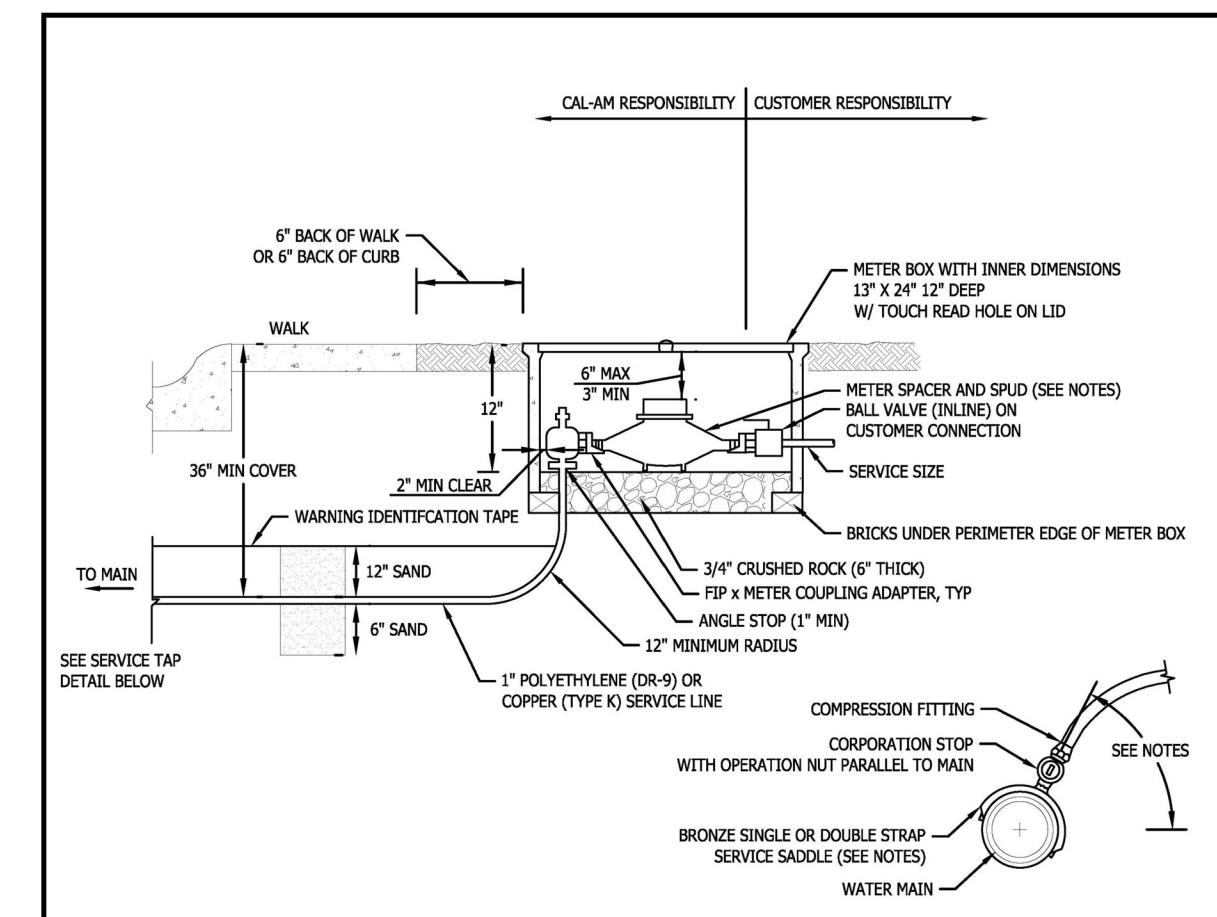
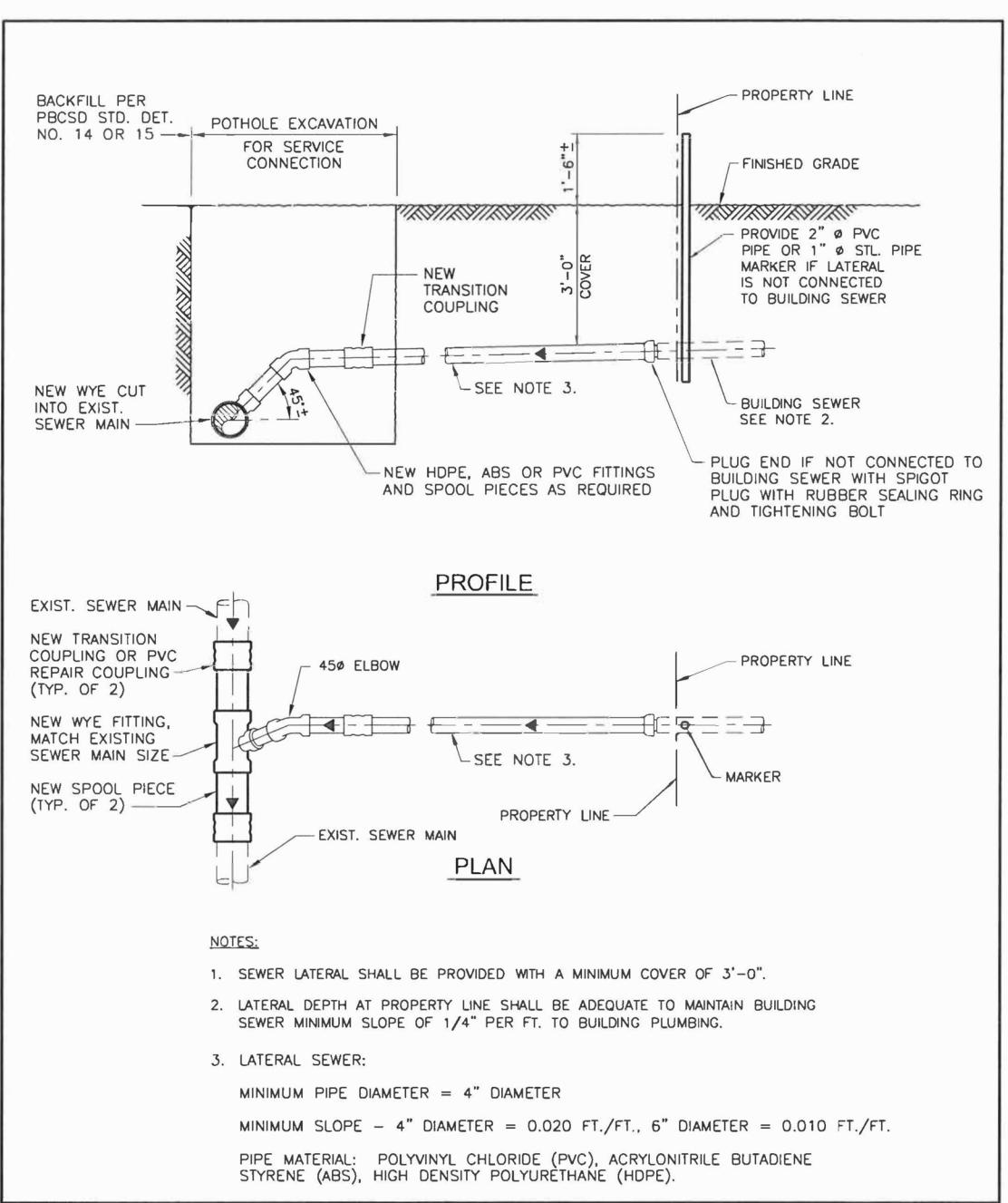
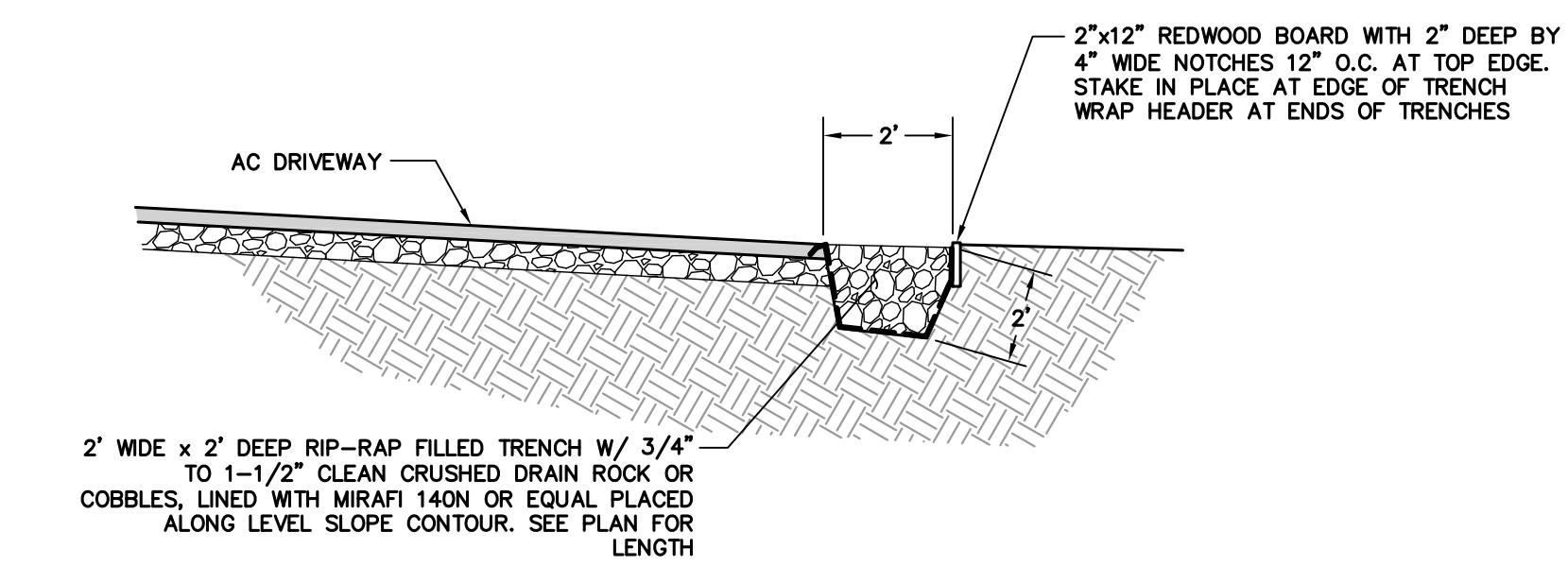
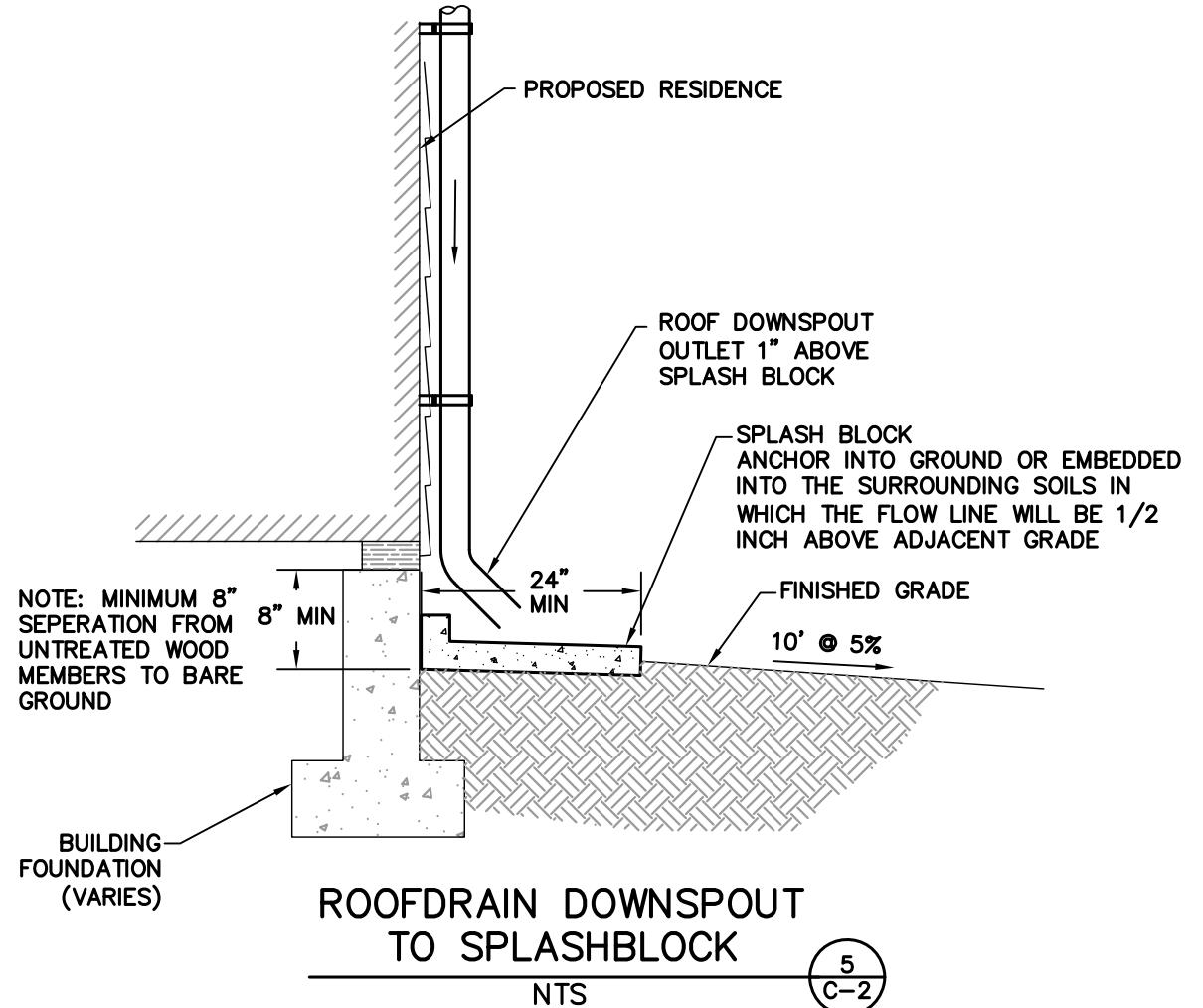
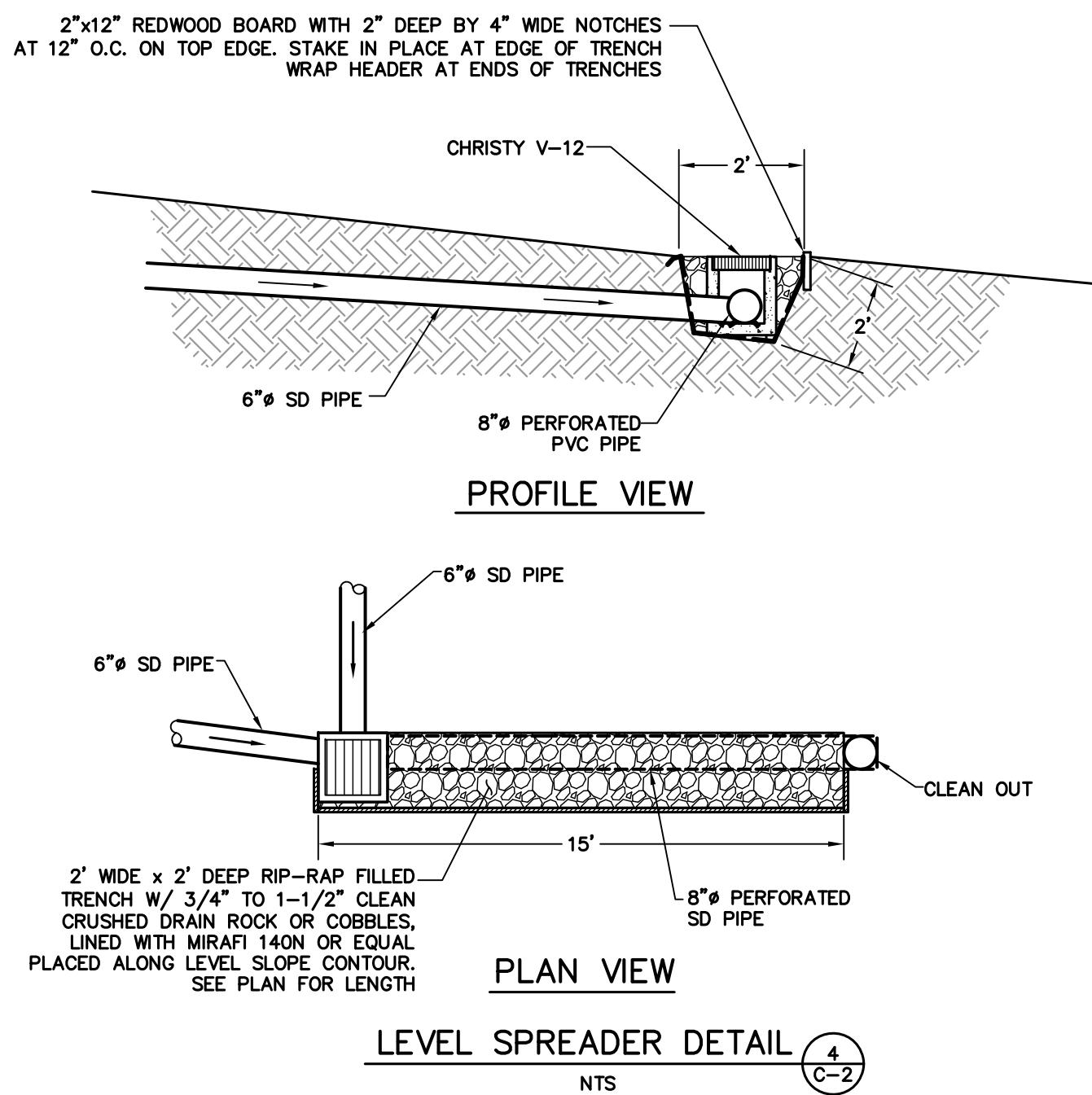
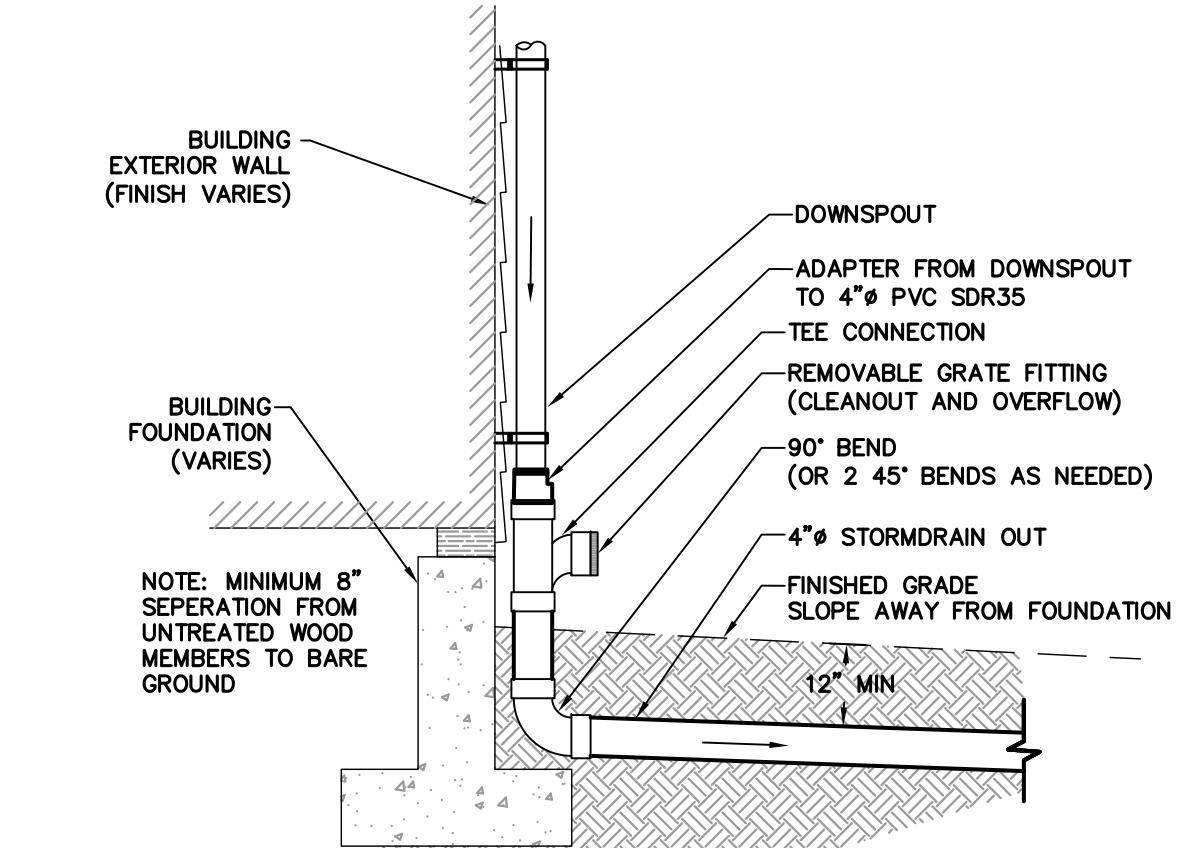
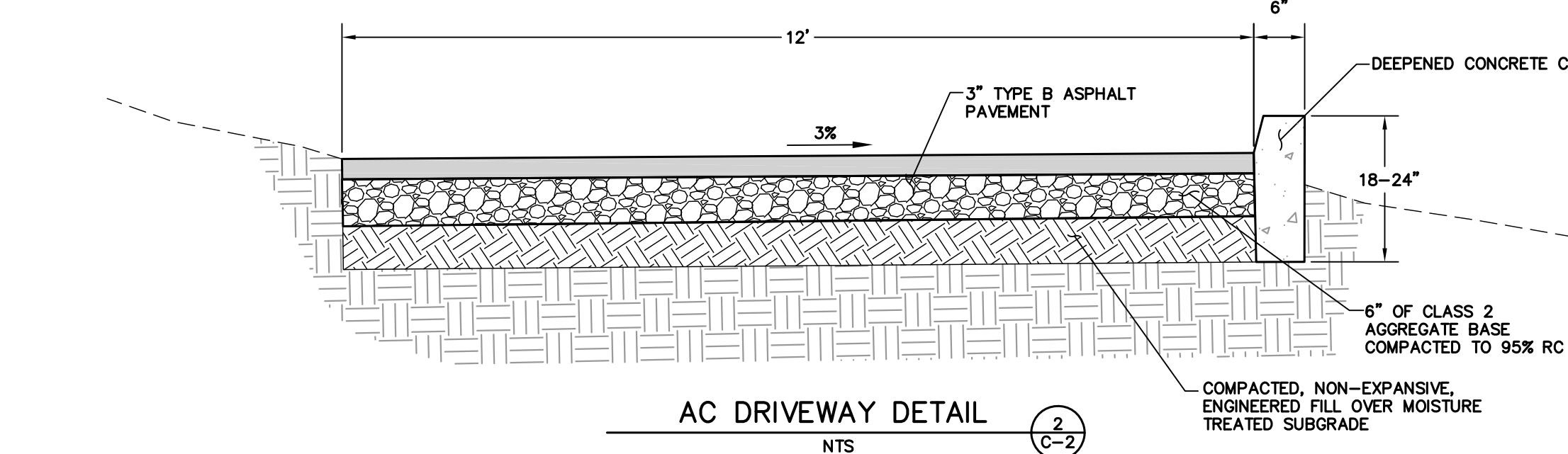
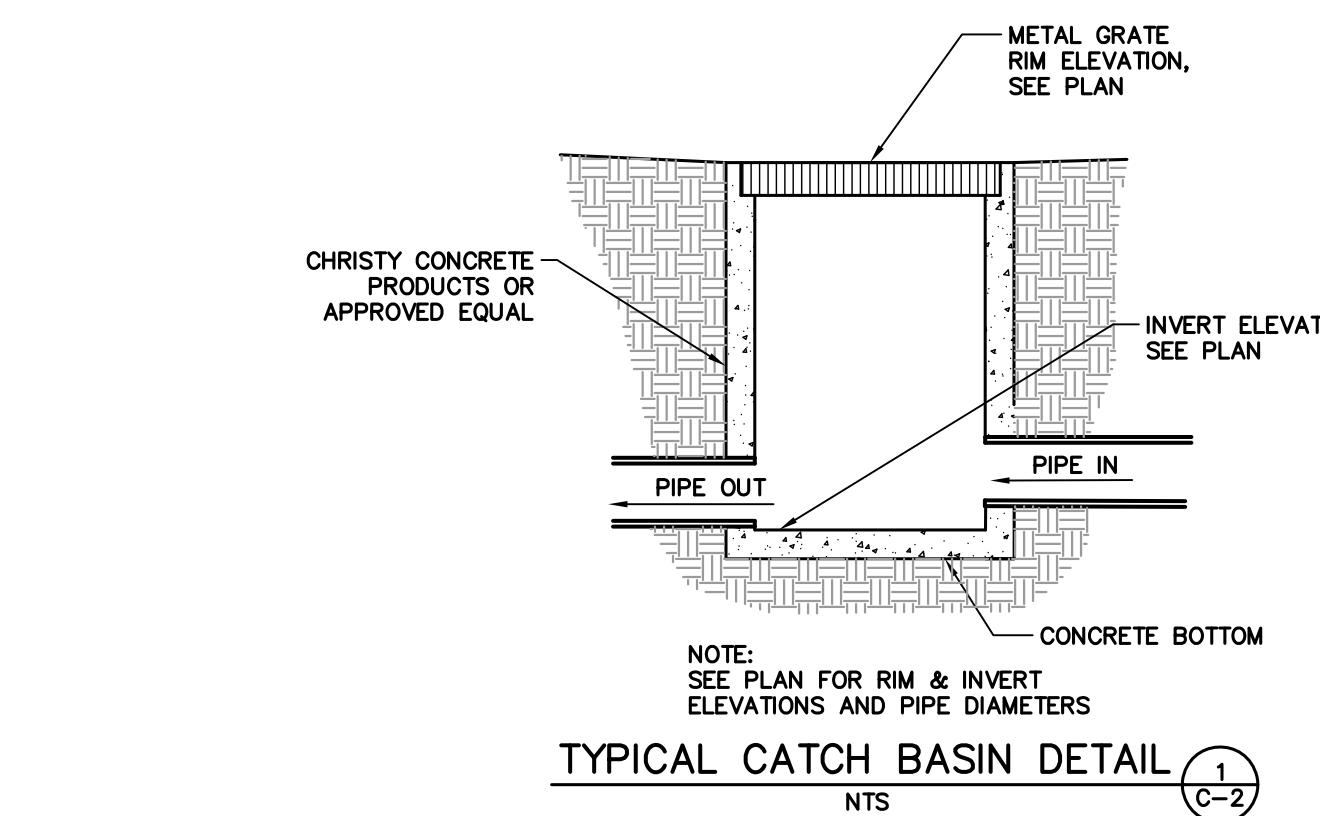
project no.	24-073-1
date	SEPTEMBER 2024
scale	AS SHOWN
dwg name	CIVIL1.dwg

C-1

BUILDING PERMIT SUBMITTAL

RJ Engineering, Inc.  
303 Potrero St., Suite 42-202, Santa Cruz, CA 95060  
831-425-3901 www.rjengineering.com

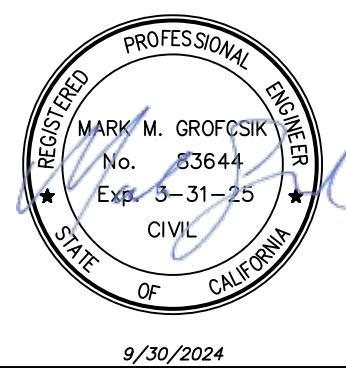
9/30/2024  
PROFESSIONAL ENGINEER  
MARK M. GROFSKIR  
No. 03644-03  
Exp. 3-31-25  
CIVIL  
STATE OF CALIFORNIA



ITEM	INTERVAL	INSPECTION	REPAIR
CATCH BASINS	ANNUAL	1. SEDIMENT BUILD UP 2. TRASH & DEBRIS	1. REMOVE SEDIMENT 2. REMOVE TRASH & DEBRIS
SWALES	ANNUAL	1. WASHOUTS 2. MISPLACED ROCK 3. ACCUMULATION OF TRASH & DEBRIS	1. REPLACE TRANSPORTED ROCK 2. REMOVE TRASH & DEBRIS
GRAVEL RETENTION PIT	ANNUAL	1. DISPLACEMENT OF GRAVEL 2. SCOUR AROUND PERIMETER 3. ACCUMULATION OF TRASH & DEBRIS	1. REPLACE GRAVEL 2. REPAIR DAMAGED SLOPES & FABRIC 3. REMOVE TRASH & LOOSE DEBRIS

#### STORM DRAIN SYSTEM MAINTENANCE

THE HOME OWNER IS RESPONSIBLE FOR MAINTAINING THE STORM DRAINAGE SYSTEM AND ALL COMPONENTS. EVERY YEAR, PRIOR TO THE WET WEATHER SEASON (OCTOBER 15TH) ALL THE CATCH BASINS AND STORM DRAIN CLEANOUTS SHALL BE INSPECTED AND CLEANED OF ANY DEBRIS, SILT, TRASH AND SEDIMENT.



9/30/2024

**RJ** Engineering, Inc.

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060  
831-425-3901 www.rjengineering.com

NEW RESIDENCE  
FOR  
KAMRAN ASHKAR  
29/2 COLTON ROAD  
PEBBLE BEACH, CA 93953  
APN 007-512-028  
DETAILS

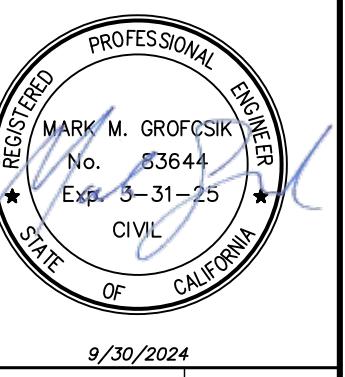
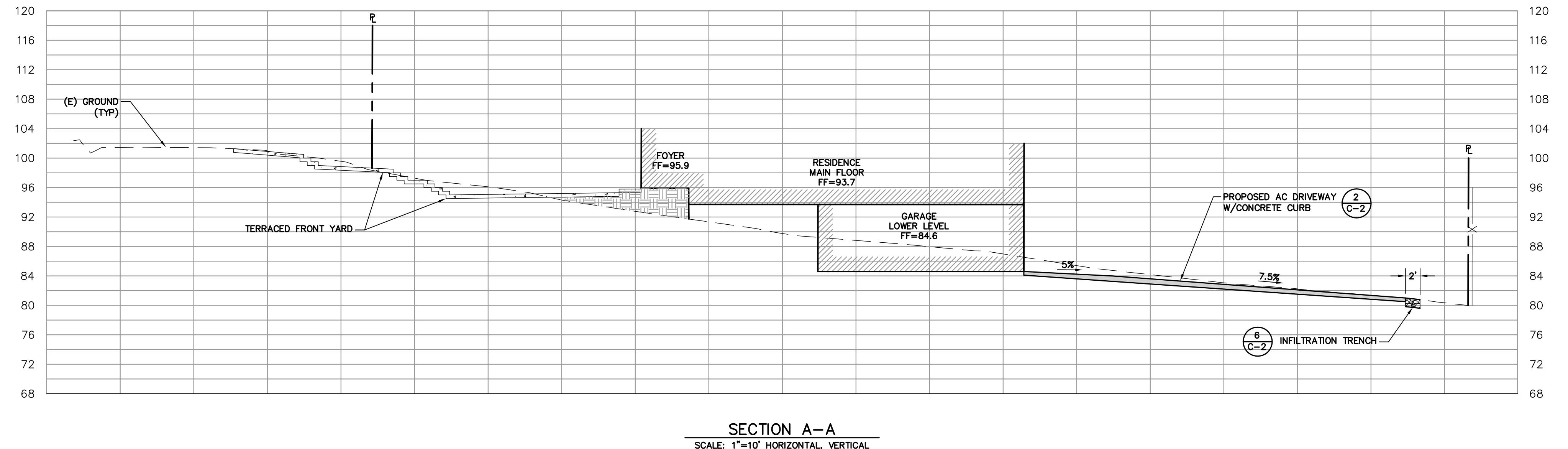
project no.  
24-073-1  
date  
SEPTEMBER 2024  
scale  
AS SHOWN  
dwg name  
CIVIL.1.dwg

**C-2**

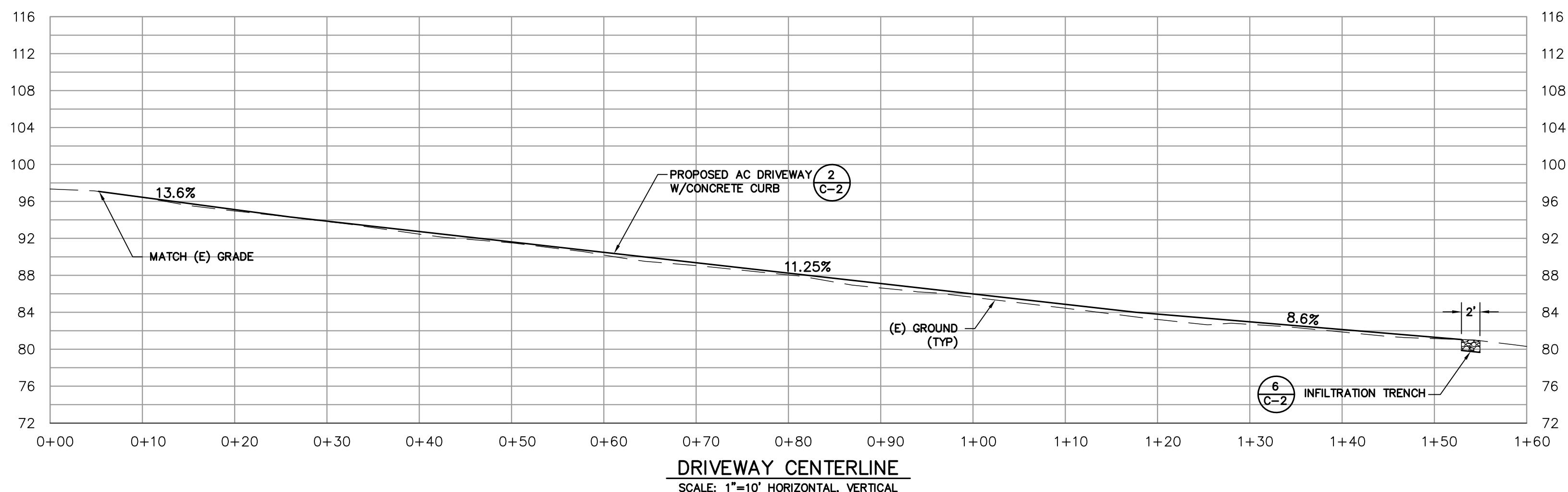
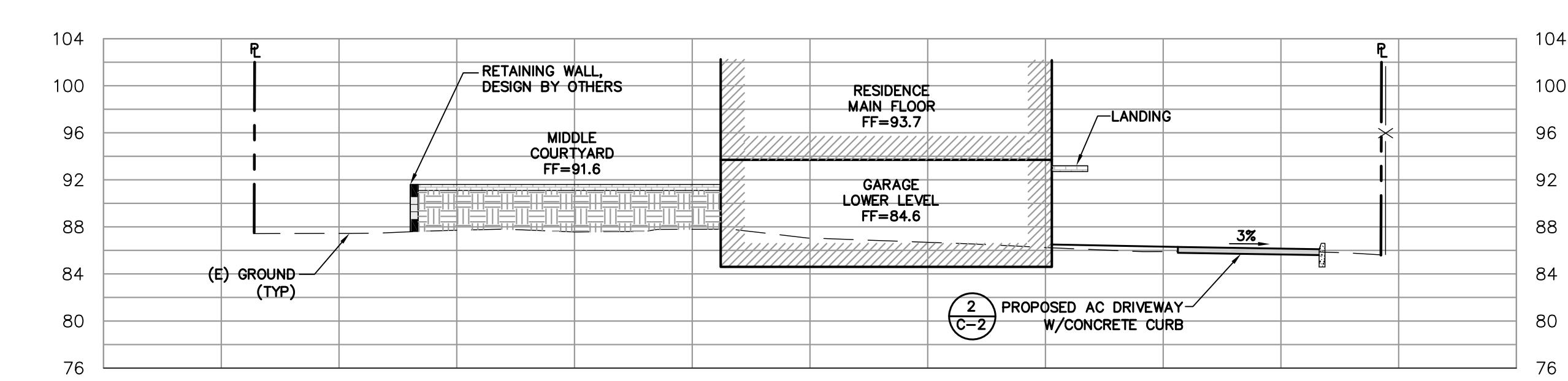
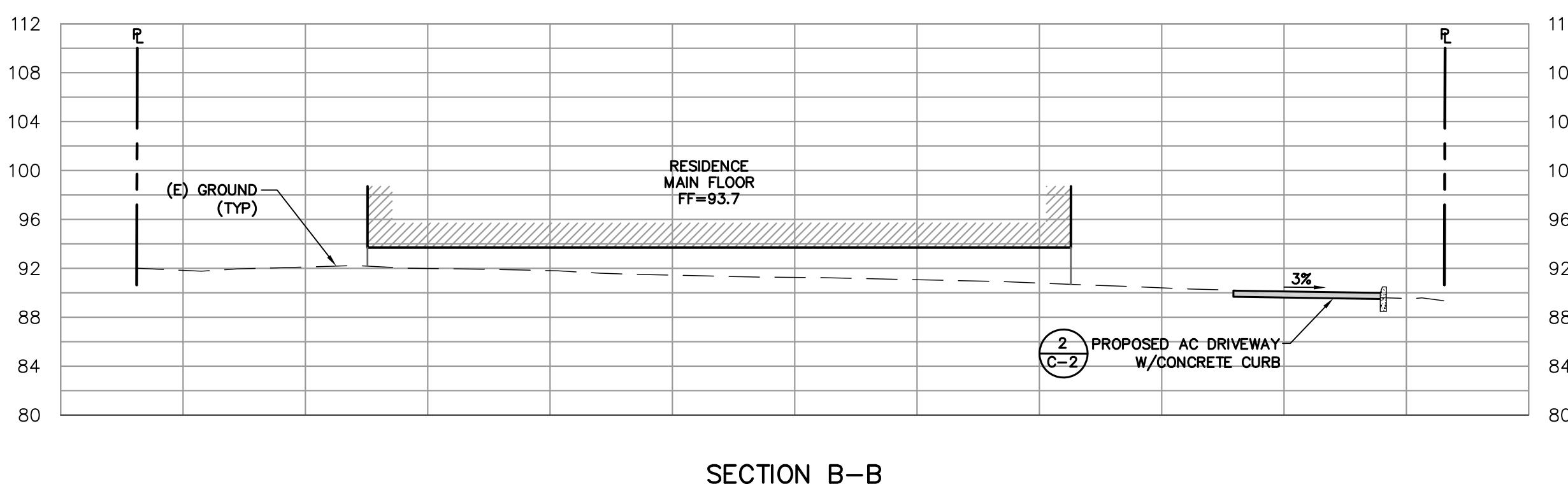
PEBBLE BEACH COMMUNITY SERVICES DISTRICT  
PEBBLE BEACH, CALIFORNIA  
DATE: MARCH 2013  
APPROVED  
DIRECTOR ENGINEER  
LATERAL SEWER SERVICE CONNECTION  
STD. DWG. NO.  
02

1-INCH AND LESS SERVICE  
CALIFORNIA AMERICAN WATER  
NORTHERN DIVISION  
STANDARD DRAWING NUMBER  
CAW-ND-W201  
COMMITTEE APPROVAL 04/12/2023

BUILDING PERMIT SUBMITTAL



9/30/2024



NEW RESIDENCE  
FOR  
KAMRAN ASHKAR  
2912 COLTON ROAD  
PEBBLE BEACH, CA 93953  
APN 007-512-028  
CROSS SECTIONS

project no.  
24-073-1  
date  
SEPTEMBER 2024  
scale  
AS SHOWN  
dwg name  
CIVIL1.dwg

C-3

**RJ**  
RJ Engineering, Inc.  
303 Potrero St., Suite 42-202, Santa Cruz, CA 95060  
831-425-3901 www.rjengineering.com

TOTAL AREA OF DISTURBANCE = 0.23 ACRES  
= 10,080 SF

#### SITE HOUSEKEEPING REQUIREMENTS

**CONSTRUCTION MATERIALS**

- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
- ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
- ALL EQUIPMENT AND MATERIALS THAT ARE NOT ACTIVELY BEING USED SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
- BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

**LANDSCAPE MATERIALS**

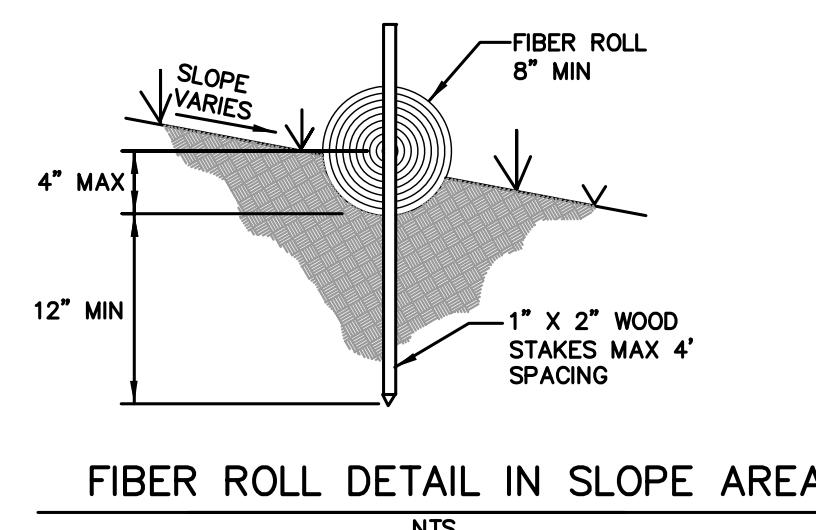
- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
- CONTAIN FERTILIZER AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
- DISCONTINUE THE APPLICATION OF ANY ERODABLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIOD OF PRECIPITATION.
- STACK ERODABLE LANDSCAPE MATERIAL IN QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
- STACK ERODABLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

**VEHICLE STORAGE AND MAINTENANCE**

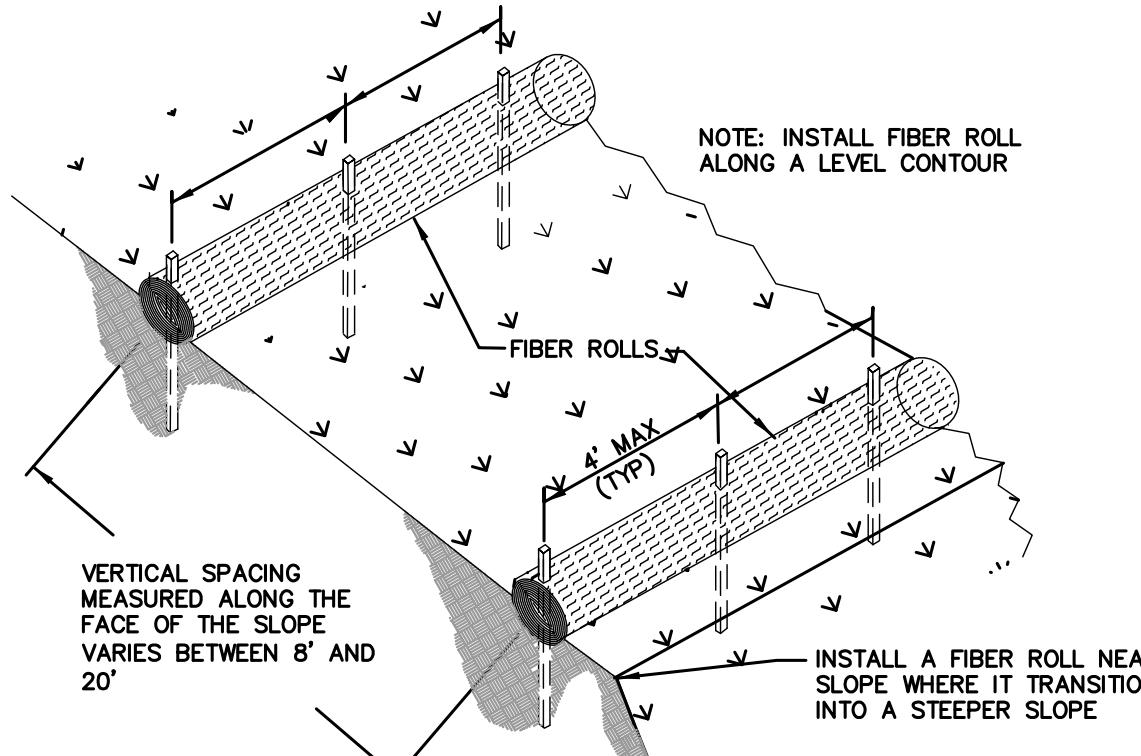
- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORE DRAINS OR SURFACES WATERS.
- ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND REPAIRS ONCE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S.
- LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

**WATER MANAGEMENT**

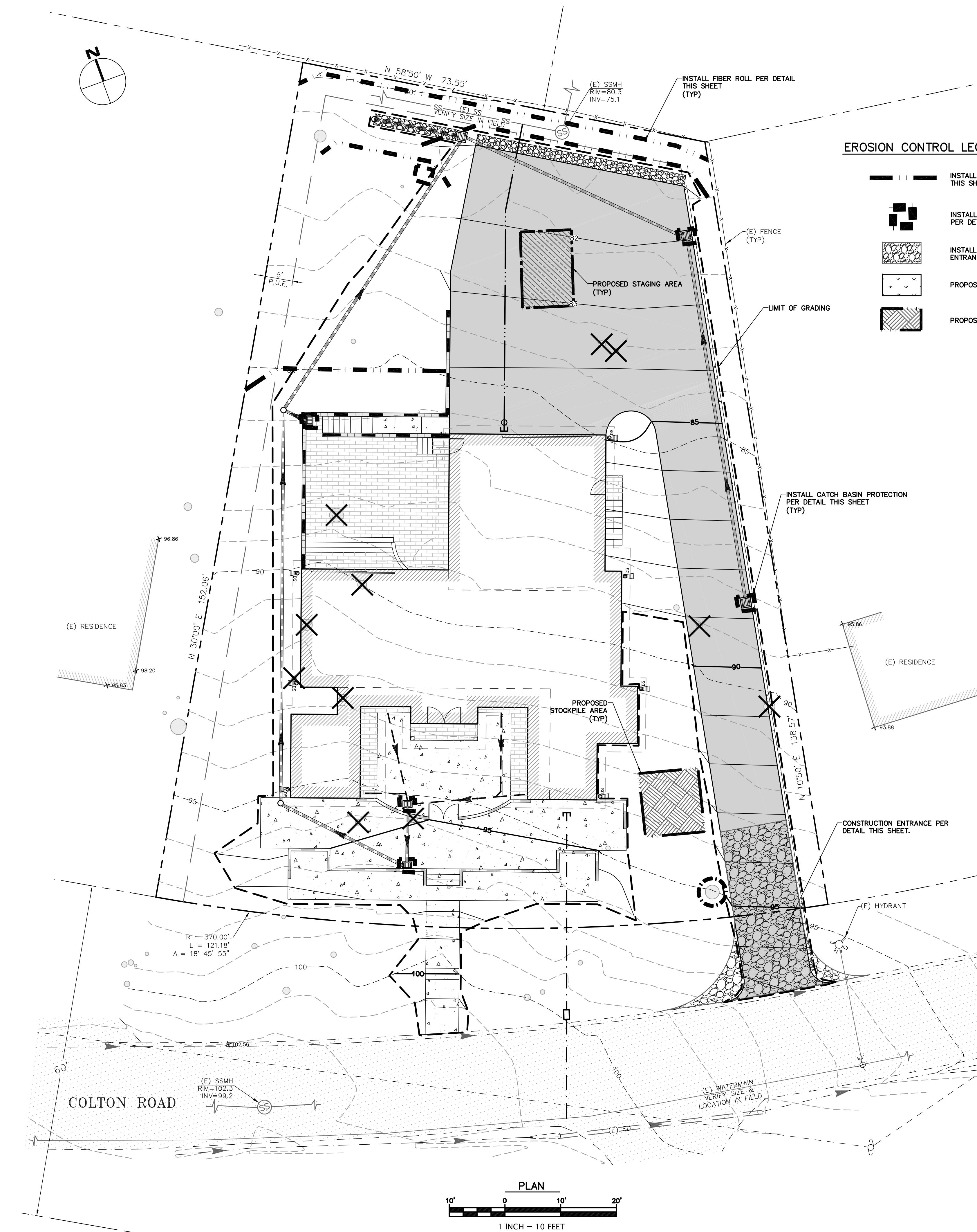
- DO NOT RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVERSUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
- SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF FEET AWAY FROM THE STORM DRAIN, STREET, OR DRIVEWAY, STREAM, RIPARIAN AREA, OR OTHER DRAINAGE FACILITY.
- SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
- COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY DURING A RAIN EVENT.
- DISCHARGE FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
- STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM MINN AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
- PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
- EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OR PROPERLY, AND
- CONTAMINATED MATERIALS ARE TO BE WASHED IN AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.



FIBER ROLL DETAIL IN SLOPE AREA  
NTS



TYPICAL FIBER ROLL INSTALLATION  
NTS



PLAN  
1 INCH = 10 FEET

#### EROSION CONTROL MEASURES

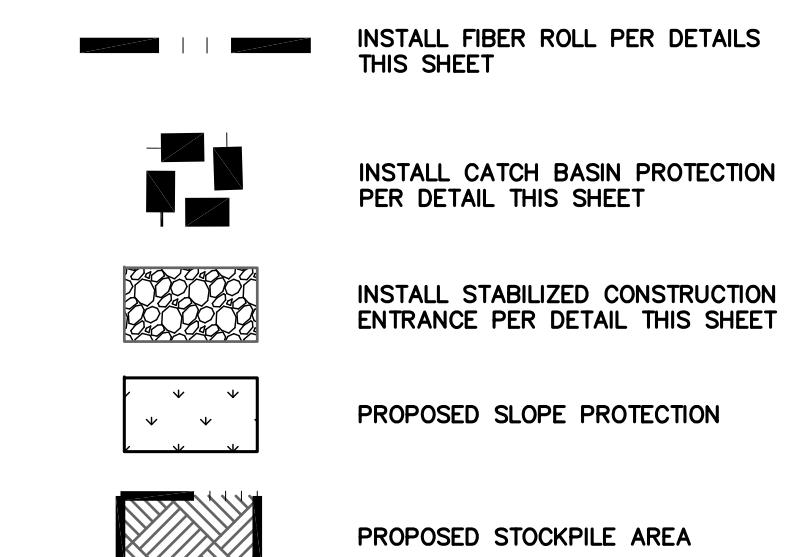
- EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
- UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THIS PLAN, ALL COLLECTED RUNOFF SHALL BE CARRIED TO DRAINAGE COURSES IN LINED CONDUITS. DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLANS.
- THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE ERECTED AND MAINTAINED. INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
- ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEEDED WITH THE FOLLOWING SEED MIXTURE.

WINTER BARLEY 25#/ACRE

- AFTER SEEDING, STRAW MULCH WILL BE APPLIED IN 4" (AVG.) LAYERS.
- AMMONIUM PHOSPHATE FERTILIZER, 6-3-3, SHALL BE APPLIED AT A RATE OF 30 LBS. PER ACRE. ON SLOPES GREATER THAN 20% EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
- SILT BARRIERS SHALL BE PLACED END TO END AND STAKED DOWN ALONG THE BOTTOM OF ALL GRADED SLOPES.

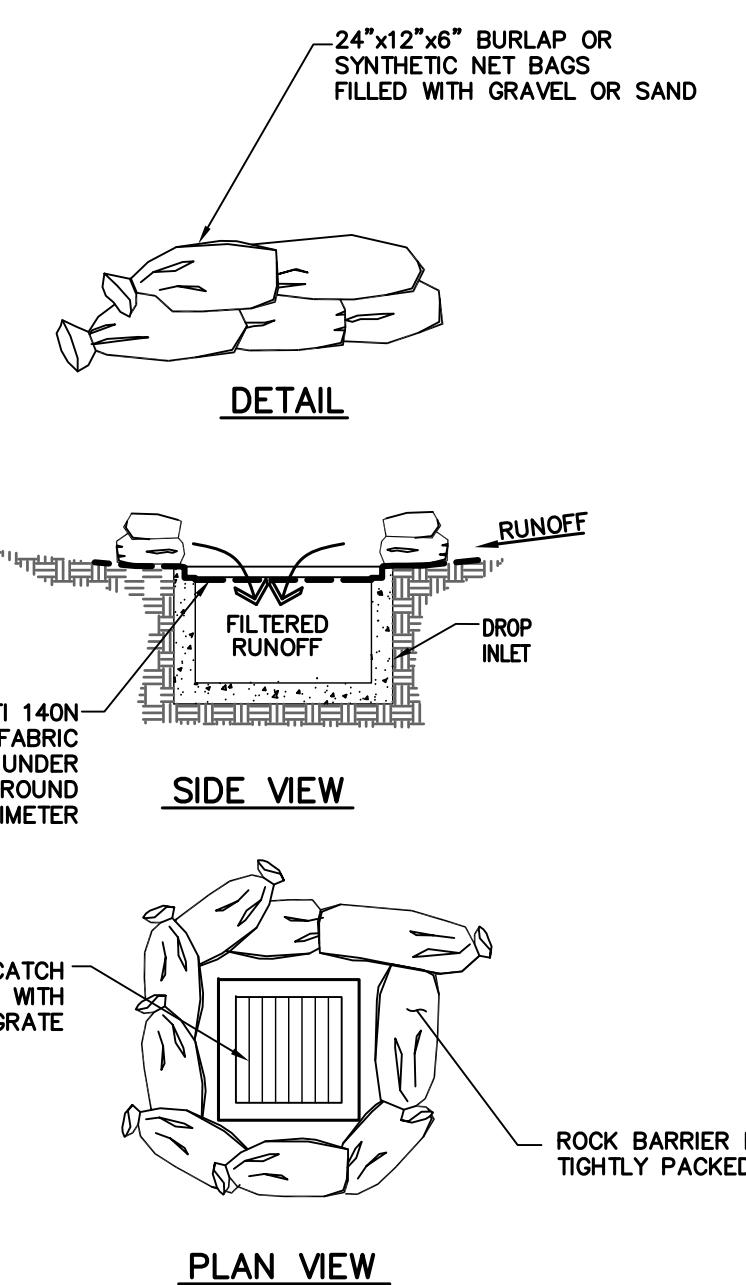
ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SILT BARRIERS, STRAW MULCH AND SLOPE PROTECTION SHALL BE PLACED BY OCTOBER 15TH. THE ENGINEER OF RECORD SHALL INSPECT ONCE EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

#### EROSION CONTROL LEGEND

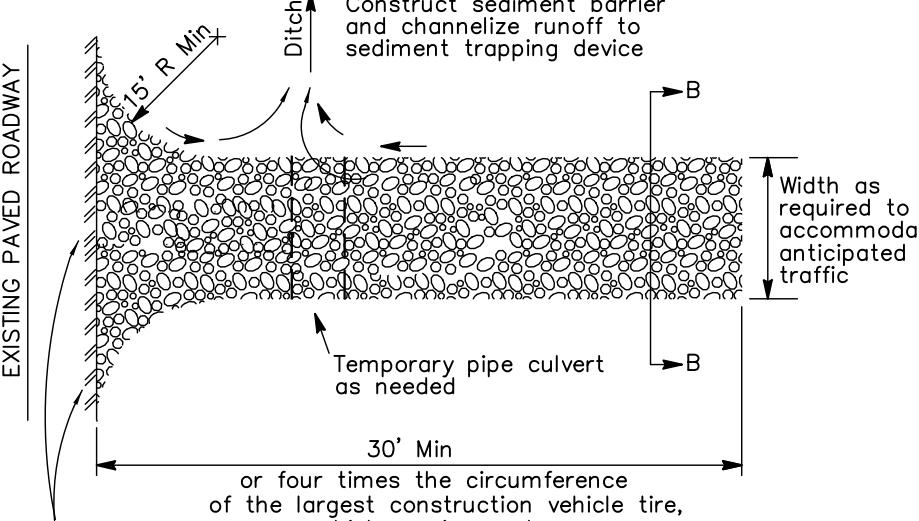
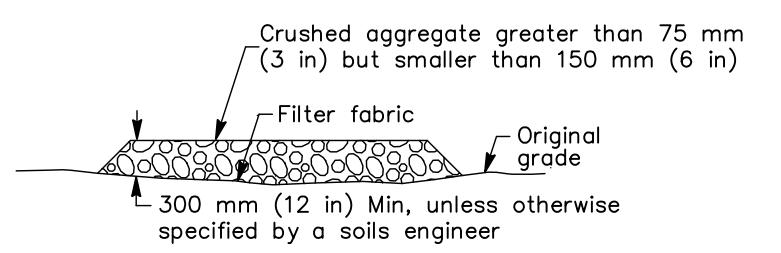


#### EXPOSED SLOPE MEASURES

- COVER ALL EXPOSED SLOPES
- STRAW 2 TONS/ACRE ON SLOPES  $\leq$  20% WITH SOIL BINDER
- USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES  $>$  20%



GRANULE BAG CATCH BASIN PROTECTION  
NTS



CONSTRUCTION ENTRANCE DETAIL  
NTS

NEW RESIDENCE	KAMRAN ASHKAR
FOR	2912 COLTON ROAD
	PEBBLE BEACH, CA 93953
project no.	APN 007-512-028
date	SEPTEMBER 2024
scale	AS SHOWN
dwg name	CIVIL.1.dwg

#### STORMWATER POLLUTION CONTROL PLAN

project no.	24-073-1
date	SEPTEMBER 2024
scale	AS SHOWN
dwg name	CIVIL.1.dwg

C-4

BUILDING PERMIT SUBMITTAL