

Attachment I

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GENERAL FIRE DEPARTMENT NOTES

- FIRE007 - DRIVEWAYS DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED... FIRE011 - ADDRESSES FOR BUILDINGS ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241... FIRE019 - DEFENSIBLE SPACE REQUIREMENTS (STANDARD) REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 30 FEET OF STRUCTURES... FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S)... FIRE025 - SMOKE ALARMS (SINGLE FAMILY DWELLING) WHERE A HOUSEHOLD FIRE WARNING SYSTEM OR COMBINATION FIRE/BURGULAR ALARM SYSTEM IS INSTALLED... FIRE026 - ROOF CONSTRUCTION (STANDARD) ALL NEW STRUCTURES, AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 50 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS B ROOF CONSTRUCTION.

GENERAL NOTES

- 1. SPECIAL INSPECTIONS, BY GEOTECH ENGINEER, ARE REQUIRED FOR EXISTING SITE SOIL CONDITIONS, FILL PLACEMENT AND LOAD-BEARING REQUIREMENTS... 2. DEVELOPMENT AND RELATED CONSTRUCTION ACTIVITIES SUCH AS SITE CLEANING, GRADING, SOIL REMOVAL OR PLACEMENT WHICH CAUSES A PERMANENT CHANGE TO EXISTING SITE CONDITIONS ARE PROHIBITED ON SLOPES GREATER THAN OR EQUAL TO 30%... 3. THE SLOPE OF CUT AND FILL SURFACES SHALL BE NO STEEPER THAN IS SAFE FOR THE INTENDED USE... 4. FILL MATERIAL SHALL NOT INCLUDE ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIALS... 5. ALL FILL MATERIAL SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DENSITY... 6. A 'FINAL SOILS LETTER' FROM THE GEOTECHNICAL ENGINEER STATING THAT ALL EARTHWORK COMPLETED WAS IN ACCORDANCE WITH THE RECOMMENDATIONS STATED IN THE GEOTECHNICAL REPORT SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION... 13. CALIFORNIA BUILDING STANDARDS CODE, 2019 EDITION: AS APPLICABLE, ALL MATERIALS, WORKMANSHIP, AND METHODS SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE... 30. ALL EXTERIOR SWINGING EXIT DOORS SHALL HAVE A THRESHOLD NOT EXCEED 1-1/2" IN HEIGHT.

GENERAL ELECTRICAL NOTES

- 1. AFCI PROTECTION IS REQUIRED FOR ALL RECEPTACLES EXCEPT FOR THOSE LOCATED OUTSIDE, IN BATHROOMS, GARAGES, ATTICS AND BASEMENTS... 2. A MINIMUM OF ONE-20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY RECEPTACLE OUTLETS IN THE LAUNDRY ROOM... 3. A MINIMUM OF ONE-20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY RECEPTACLE OUTLETS IN THE BATHROOMS... 4. RECEPTACLES INSTALLED IN A KITCHEN TO SERVE COUNTERTOP SURFACES SHALL BE SUPPLIED BY NOT FEWER THAN TWO 20 AMP SMALL-APPLIANCE BRANCH CIRCUITS... 5. AT LEAST ONE GFCI RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOMS WITHIN 3' OF THE OUTSIDE EDGE OF EACH BASIN AND LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE BASIN OR INSTALLED NO LESS THAN 12" BELOW COUNTERTOP AT BASIN CABINET... 10. PROVIDE SEPARATE 20-AMP BRANCH CIRCUITS FOR FIXED APPLIANCES SUCH AS FOOD WASTE GRINDERS, DISHWASHERS, WASHING MACHINES, DRYERS, BUILT-IN REFRIGERATORS OR FREEZERS, FURNACES, AC UNITS, OR ANY OTHER FIXED APPLIANCE WITH A MOTOR OF 1/4 H.P. OR LARGER... 13. KITCHEN RECEPTACLE OUTLETS SERVING COUNTERTOPS, INCLUDING ISLAND & PENINSULA COUNTERTOPS, SHALL: • HAVE GROUND PROTECTION... • BE INSTALLED IN EACH COUNTER WALL 12 INCHES OR WIDER SO NO POINT ALONG THE WALL IS MORE THAN 24 INCHES... • BE INSTALLED IN EACH WALL SPACE SEPARATED BY RANGE TOPS, REFRIGERATORS OR SINKS... • SHALL BE INSTALLED NOT MORE THAN 20 INCHES ABOVE THE COUNTERTOP... 14. GFCI PROTECTION REQUIRED FOR RECEPTACLES LOCATED OUTDOORS, IN BATHROOMS, UNFINISHED BASEMENTS, CRAWL SPACES, KITCHEN AND WET BAR COUNTERTOP SURFACES, GARAGES, ACCESSORY BUILDINGS NOT INTENDED AS HABITABLE ROOMS... 20. LUMINAIRES RECESSED INTO CEILINGS MUST BE SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING... 23. AT LEAST ONE LIGHT IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR CERTIFIED TO COMPLY WITH SECTION 119(D) THAT DOES NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION, (150(K)3)

GENERAL PLUMBING NOTES

- 1. ALL PLUMBING FIXTURES ARE REQUIRED TO BE LISTED BY AN ACCEPTABLE NATIONALLY RECOGNIZED TESTING LABORATORY... 2. THIS IS A PARTIAL LIST OF PRIMARY PLUMBING FIXTURES, AND IS NOT INTENDED AS A COMPREHENSIVE LIST OF ALL PLUMBING FIXTURES... 3. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1401.1 OF THE CALIFORNIA PLUMBING CODE... 4. PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH THE SPECIFIED PERFORMANCE REQUIREMENTS OF SECTION 4.303.3 OF CGBS... 5. CPC 402.5 SETTING, NO WATER CLOSET OR BIDET SHALL BE SET CLOSER THAN 15 INCHES FROM ITS CENTER TO A SIDE WALL OR OBSTRUCTION NOR CLOSER THAN 30 INCHES CENTER TO CENTER TO A SIMILAR FIXTURE... 6. CPC 408.6 SHOWER COMPARTMENTS, SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE AND A 22-INCH CLEAR OPENING/DOOR... 7. CPC 408.3 INDIVIDUAL SHOWER AND TUB-SHOWER COMBINATION CONTROL VALVES, SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD... 8. CPC 408.9 LOCATION OF VALVES AND HEADS, CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS OR OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY... 9. EXTERIOR HOSE BIBS: PROVIDE ANTI-SIPHON DEVICE AT ALL HOSE BIBS, ALL HOSE BIBS SHALL BE PROTECTED BY A LISTED NON-REMOVABLE HOSE BIB TYPE BACKFLOW PREVENTER OR WITH A LISTED ATMOSPHERIC VACUUM BREAKER... 10. SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A MINIMUM HEIGHT OF 72" ABOVE DRAIN INLET... TOILET 1.28 GAL SINK FAUCET 1.2 GPM SHOWER VALVE 2.0 GPM KITCHEN FAUCET 1.8 GPM DISHWASHER 2.0 GPM CLOTHES WASHER 2.0 GPM

GENERAL CAL GREEN NOTES

- 1. MINIMUM 65% OF THE NON-HAZARDOUS CONSTRUCTION OR DEMOLITION DEBRIS SHALL BE RECYCLED AND/OR SALVAGED, UNLESS A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE IS MORE STRINGENT... 2. AT THE TIME OF FINAL INSPECTION, AN "OPERATION AND MAINTENANCE MANUAL" SHALL BE PLACED IN THE BUILDING THAT CONTAINS THE APPLICABLE ITEMS LISTED IN CGBSC SECTION 4.410.1... 3. LOW VOC ADHESIVES, SEALANTS, PAINTS, COATINGS, CARPET SYSTEMS, LOW FORMALDEHYDE WOOD, LOW VOC RESILIENT FLOORING SHALL COMPLY WITH CGBSC SECTION 4.504... 4. CAL GREEN 4.106.4.1 NEW ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES WITH ATTACHED PRIVATE GARAGES... 5. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT (4.505.3 CGBSC) A. MOISTURE CONTENT MUST BE VERIFIED IN COMPLIANCE WITH ALL OF THE FOLLOWING: a. MOISTURE CONTENT MUST BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT TYPE MOISTURE METER; b. MOISTURE READING SHALL BE TAKEN AT A POINT 2 TO 4 FEET FROM THE GRADE STAMPED END TO BE VERIFIED; c. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO INSPECTOR. INSPECTOR MUST APPROVE MOISTURE CONTENT READING PRIOR TO ENCLOSING THE WALL AND FLOOR FRAMING.

SCHWARTZ TRYON REMODEL

24980 OUTLOOK DR., CARMEL, CA 93923



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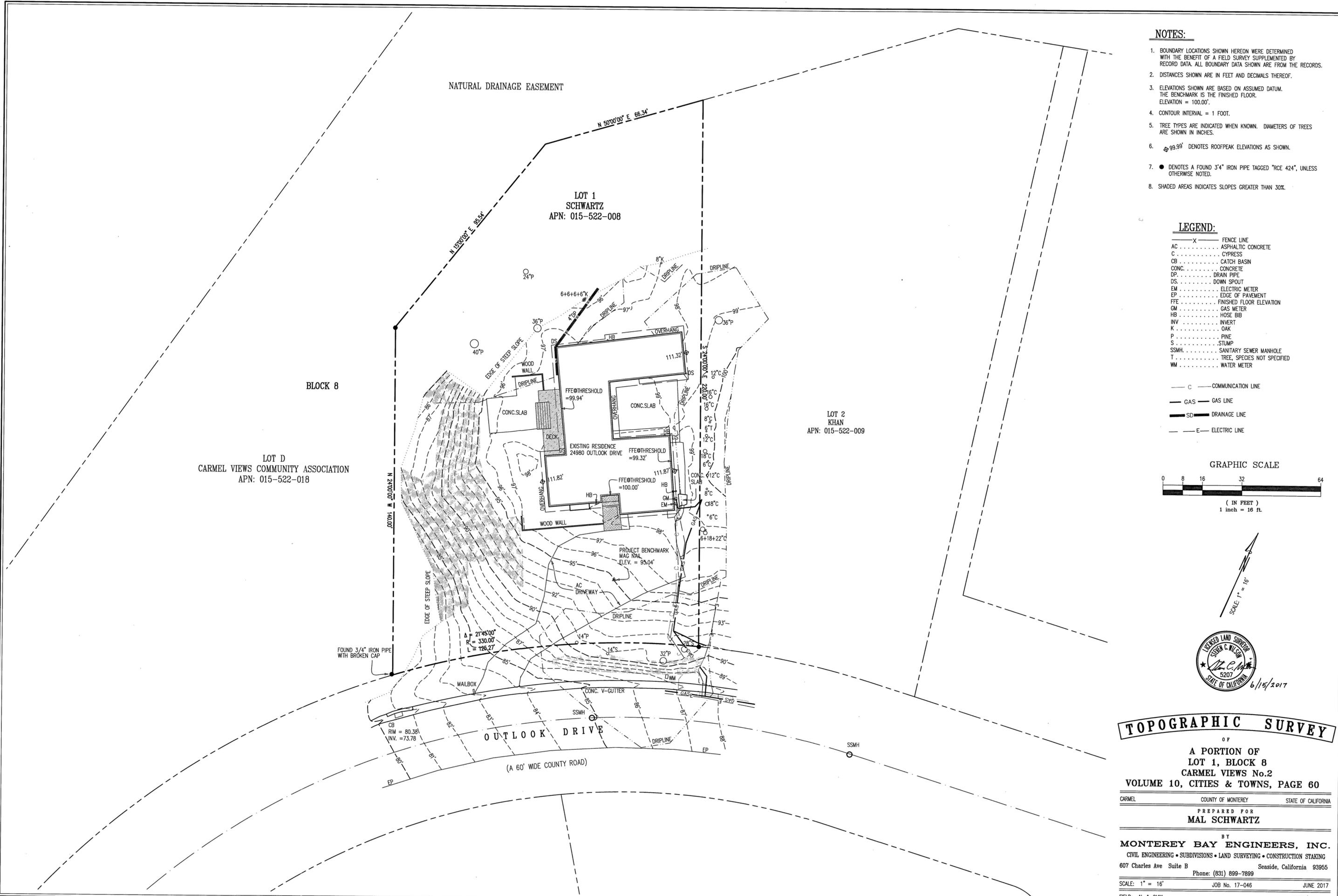
REVISION #

ARCHITECTURAL GENERAL NOTES

Scale: 1/2" = 1'-0" @ 24x36 Drawn By: DP Job: 1713

G1.1 7/12/2021

NOT FOR CONSTRUCTION



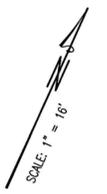
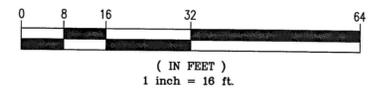
NOTES:

1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS.
2. DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
3. ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM. THE BENCHMARK IS THE FINISHED FLOOR. ELEVATION = 100.00'.
4. CONTOUR INTERVAL = 1 FOOT.
5. TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES.
6. \odot 99.99' DENOTES ROOFPEAK ELEVATIONS AS SHOWN.
7. \bullet DENOTES A FOUND 3/4" IRON PIPE TAGGED "RCE 424", UNLESS OTHERWISE NOTED.
8. SHADED AREAS INDICATES SLOPES GREATER THAN 30%.

LEGEND:

- X FENCE LINE
 - AC ASPHALTIC CONCRETE
 - C CYPRESS
 - CB CATCH BASIN
 - CONC. CONCRETE
 - DP DRAIN PIPE
 - DS DOWN SPOUT
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - FFE FINISHED FLOOR ELEVATION
 - GM GAS METER
 - HB HOSE BIB
 - INV INVERT
 - K OAK
 - P PINE
 - S STUMP
 - SSMH SANITARY SEWER MANHOLE
 - T TREE, SPECIES NOT SPECIFIED
 - WM WATER METER
-
- C COMMUNICATION LINE
 - GAS GAS LINE
 - SD DRAINAGE LINE
 - E ELECTRIC LINE

GRAPHIC SCALE



TOPOGRAPHIC SURVEY

OF
LOT 1, BLOCK 8
CARMEL VIEWS No.2
VOLUME 10, CITIES & TOWNS, PAGE 60

CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA
 PREPARED FOR
MAL SCHWARTZ

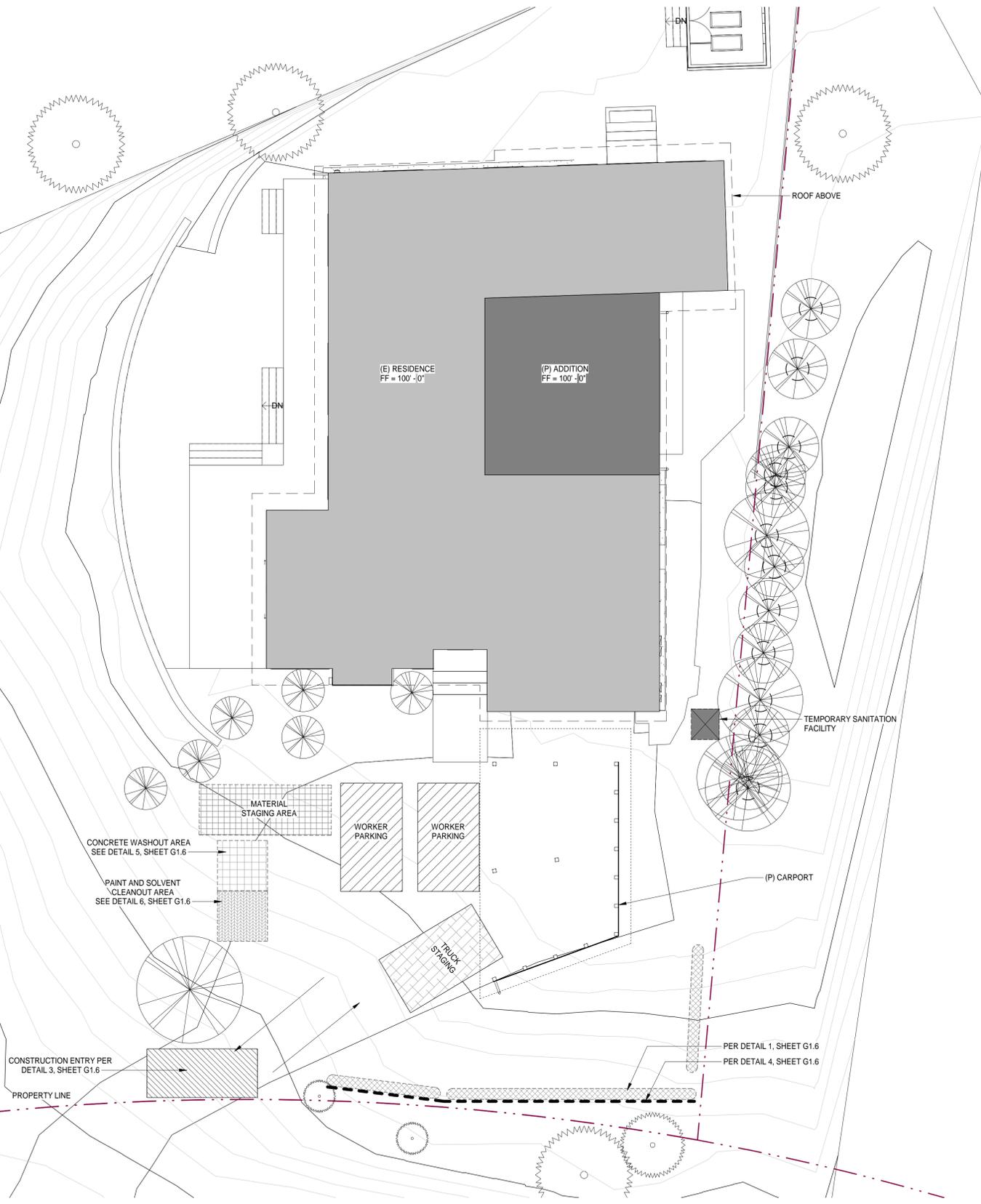
BY
MONTEREY BAY ENGINEERS, INC.
 CIVIL ENGINEERING • SUBDIVISIONS • LAND SURVEYING • CONSTRUCTION STAKING
 607 Charles Ave Suite B Seaside, California 93955
 Phone: (831) 899-7899

SCALE: 1" = 16'
 JOB No. 17-046 JUNE 2017
 FIELD: AL & CMW DRAWN BY: AL

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PROPERTY LINE

PROPERTY LINE



CONSTRUCTION MANAGEMENT NOTES:

- DURATION OF CONSTRUCTION IS ESTIMATED TO BE 6-8 MONTHS STARTING FROM THE DATE PERMITS ARE ISSUED.
- WORK SHALL BE PERFORMED ON WEEKDAYS BETWEEN THE HOURS OF 7 AM AND 7 PM AND ON SATURDAYS FROM 8 AM TO 6 PM. WORK PERFORMED BEFORE 8AM SHALL BE NON-CONSTRUCTION ACTIVITY (QUIET HOUR).
- TRUCKS WILL BE ROUTED TO AND FROM THE SITE USING CARMEL VALLEY ROAD VIA OUTLOOK DR.
- THE NUMBER OF WORKERS WILL VARY THROUGH OUT THE CONSTRUCTION. WORKERS ONSITE WILL RANGE FROM 2 TO 12.
- EROSION CONTROL PROTECTION TO BE INSTALLED PER THE PERMITTED PLANS PRIOR TO THE START OF CONSTRUCTION.
- STERILE STRAW WATTLES SHALL BE PLACED BEFORE AND DURING RAIN STORM EVENTS TO CONTAIN STORM WATER AND EROSION DURING CONSTRUCTION.
- ALL ON AND OFF-ROAD DIESEL EQUIPMENT SHALL NOT IDLE FOR MORE THAN 5 MINUTES.
- SUBSTITUTE GASOLINE-POWERED IN PLACE OF DIESEL-POWERED EQUIPMENT, WHERE FEASIBLE.
- USE ALTERNATIVELY FUELED CONSTRUCTION EQUIPMENT ON-SITE WHERE FEASIBLE, SUCH AS COMPRESSED NATURAL GAS (CNG), LIQUEFIED NATURAL GAS (LNG), PROPANE OR BIODIESEL.
- CONSTRUCTION TRUCK TRIPS WILL BE SCHEDULED DURING NON-PEAK HOURS TO REDUCE PEAK HOUR EMISSIONS.
- DUST CONTROL MEASURES WILL BE IMPLEMENTED INCLUDING THE USE WATER TRUCKS OR SPRINKLER SYSTEMS IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. WATERING FREQUENCY SHALL BE INCREASED WHENEVER WIND SPEEDS EXCEED 15 MPH. RECLAIMED (NON-POTABLE) WILL BE USED WHENEVER POSSIBLE.
- ALL TRUCKS HAULING DIRT, SAND, SOIL, OR OTHER LOOSE MATERIALS ARE TO BE COVERED OR SHOULD MAINTAIN AT LEAST TWO FEET OF FREEBOARD (MINIMUM VERTICAL DISTANCE BETWEEN TOP OF LOAD AND TOP OF TRAILER) IN ACCORDANCE WITH CVC SECTION 23114.

STORMWATER DRAINAGE LEGEND

- CONSTRUCTION ENTRY
- WORKER PARKING
- EQUIPMENT PARKING AND MATERIAL STAGING AREA
- TRUCK STAGING
- PAINT AND SOLVENT CLEANOUT AREA
- CONCRETE WASHOUT AREA
- TREE AND ROOT PROTECTION MEASURES PER ARBORIST
- STRAW WATTLE EROSION CONTROL
- TRAFFIC
- SILT FENCE

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REVISION #

2	8/5/2020	PLN170572
		REVISION
5	4/23/2021	BUILDING
		CORRECTIO
		NS

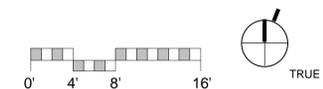
**ARCHITECTURAL
EROSION
CONTROL /
CONSTRUCTION
MGMNT PLAN**

Scale: As indicated
@ 24x36
Drawn By: DP
Job: 1713

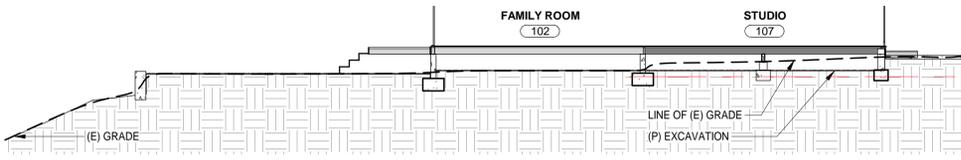
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1 EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN
1/8" = 1'-0"

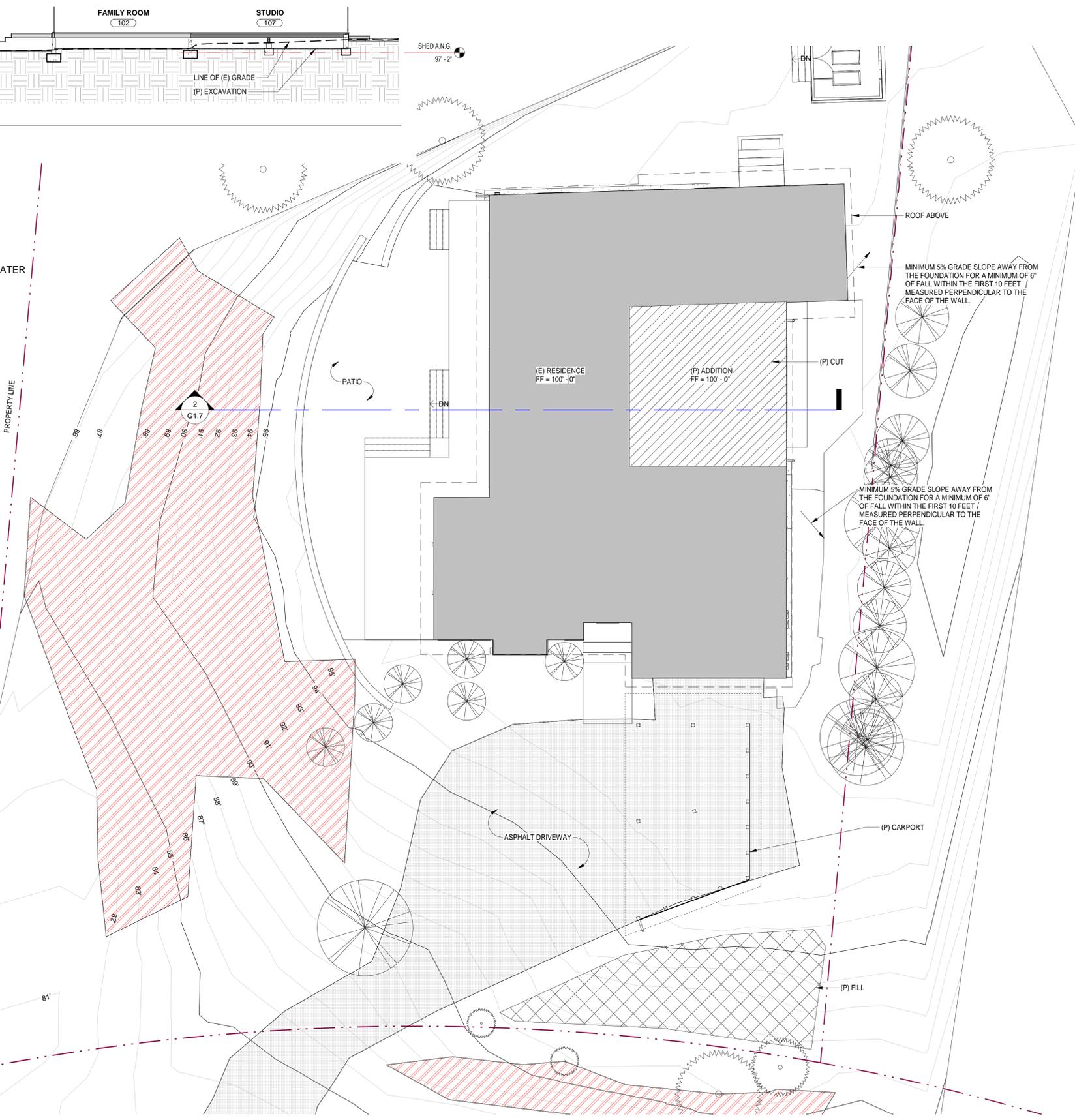


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2 GRADING SECTION
1/8" = 1'-0"

- LEGEND:**
- 30% SLOPE OR GREATER
 - MAN-MADE SLOPE 30% OR GREATER
 - PROPOSED CUT
 - PROPOSED FILL
 - ASPHALT DRIVEWAY
 - WATER FLOW
 - SILT FENCING
 - STRAW WATTLE



1 GRADING / SLOPE / DRAINAGE PLAN
1/8" = 1'-0"

GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES.
2. CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
3. CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED."
4. TOPOGRAPHY WAS PREPARED BY MONTEREY BAY ENGINEERS, INC.
5. THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND FACILITIES ARE SHOWN ON THESE PLANS AS REFERENCE ONLY. NOT ALL UTILITIES MAY BE SHOWN. IT IS MANDATORY THAT THE CONTRACTOR EXPOSE AND VERIFY THE TOP AND BOTTOM OF ALL UTILITIES PRIOR TO ANY WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE THE FINAL DETERMINATION AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND TO BRING ANY DISCREPANCY TO THE ATTENTION OF THE ARCHITECT.

GEOTECHNICAL ENGINEER INSPECTION SCHEDULE

When the inspection is to be completed	Who will conduct the inspection	Description of the required inspection	Name	Date
Pre-Construction Meeting	Geotechnical Engineer			
Completion of Over-Excavation	Geotechnical Engineer	Observation and testing		
Placement of Fill	Geotechnical Engineer	Observation and testing		

GEOTECHNICAL ENGINEER INSPECTION SCHEDULE

INSPECTION - PRIOR TO LAND DISTURBANCE
PRIOR TO LAND DISTURBANCE, THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.

INSPECTION - DURING ACTIVE CONSTRUCTION
DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.

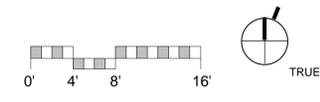
INSPECTION - FOLLOWING ACTIVE CONSTRUCTION
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INSPECTION - FOLLOWING ACTIVE CONSTRUCTION
PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

GEOTECHNICAL CERTIFICATION
PRIOR TO FINAL INSPECTION, THE APPLICANT SHALL PROVIDE A LETTER FROM A LICENSED PRACTITIONER CERTIFYING THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT.

GRADING ESTIMATES

GRADING CUT	20	CU. YDS.
GRADING FILL	20	CU. YDS.
GRADING NET IMPORT	0	CU. YDS.



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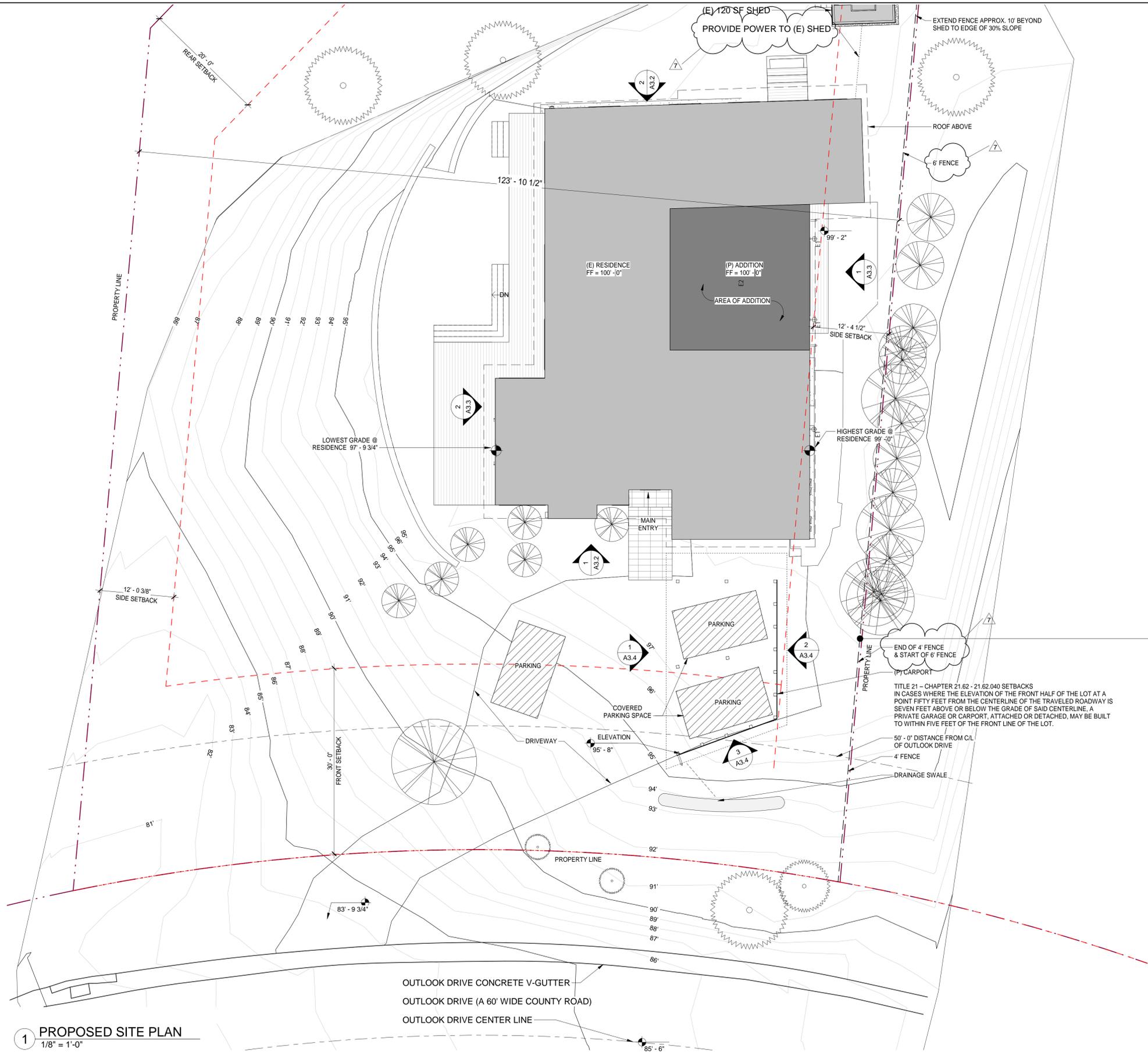
1	1/08/18	PLAN REVIEW COMMENTS
2	8/5/2020	PLN170572 REVISION
5	4/23/2021	BUILDING CORRECTIO NS

**ARCHITECTURAL
GRADING/SLOPE
MAP & DRAINAGE
PLAN**

Scale: As indicated
@ 24x36
Drawn By: DP
Job: 1713

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7/12/2021

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3. ALL EXTERIOR SWINGING EXIT DOORS SHALL HAVE A THRESHOLD THAT SHALL NOT EXCEED 1-1/2" IN HEIGHT.
4. CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES NOTIFICATION: STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY P&A-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

EXTERIOR LIGHTING FIXTURES

□ ϕ 1 EXTERIOR ULTRA NARROW BEAM LED WALL MOUNTED LIGHT QUANTITY = 3



PROPOSED FENCE

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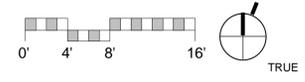


REVISION #	
2	8/5/2020 PLN170572 REVISION
3	3/24/2021 Revision 3
4	4/1/2021 FENCE
7	7/12/2021 Planning Revision

**ARCHITECTURAL
SITE PLAN**

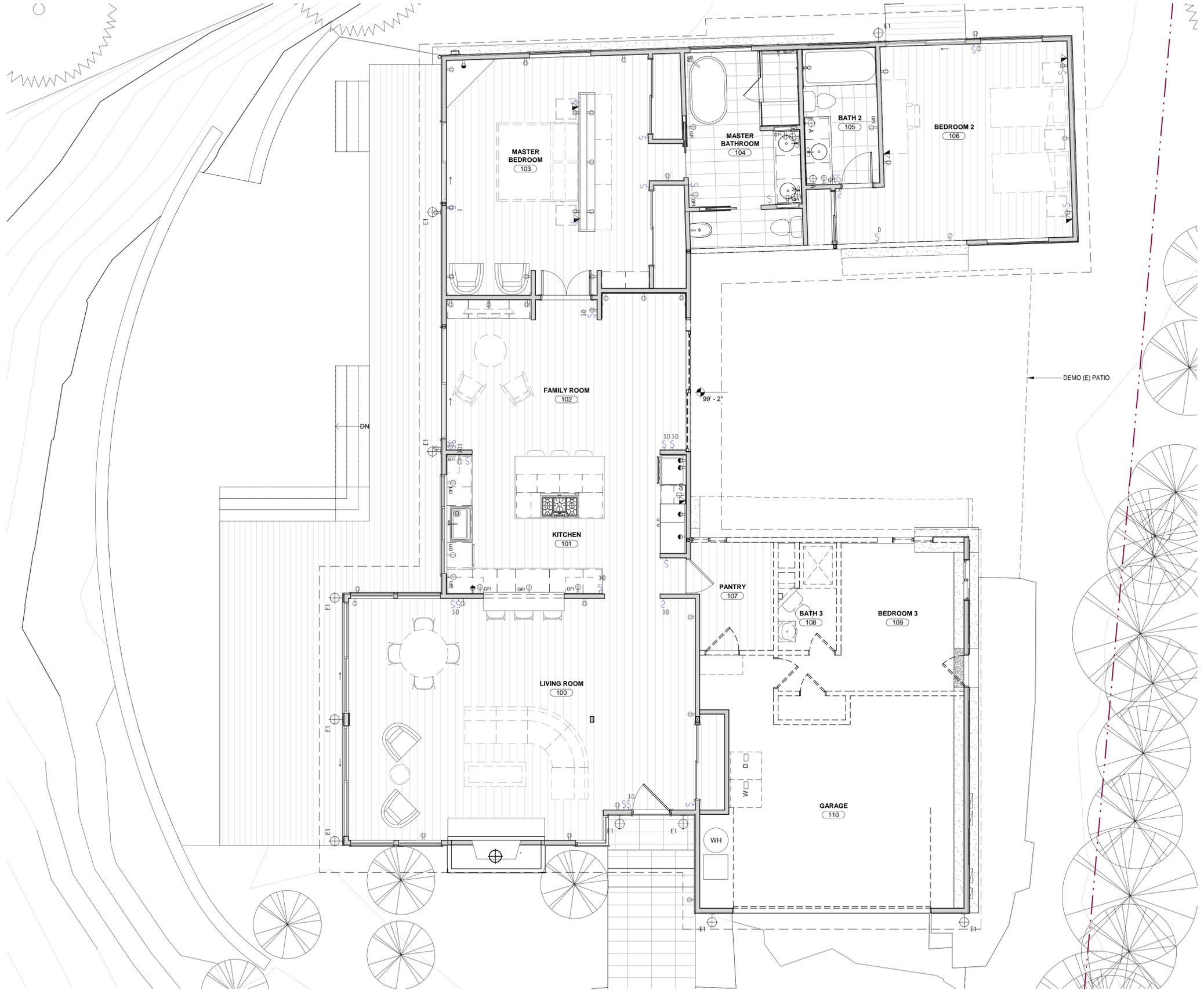
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@ 24x36
Drawn By: DP
Job: 1713

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1 PROPOSED SITE PLAN
1/8" = 1'-0"

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2. CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
3. CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED."
4. MINIMUM 50% OF THE NON-HAZARDOUS CONSTRUCTION OR DEMOLITION DEBRIS SHALL BE RECYCLED AND/OR SALVAGED, UNLESS A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE IS MORE STRINGENT. WHERE THE LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION AND WASTE MANAGEMENT PLAN COMPLYING WITH CGSBC SECTION 4.408.2 SHALL BE SUBMITTED FOR APPROVAL.

DEMOLITION LEGEND

-  EXISTING WALL TO REMAIN
-  EXISTING DOOR TO REMAIN
-  EXISTING WALL TO BE DEMOLISHED
-  EXISTING DOOR TO BE DEMOLISHED

1 LEVEL 1 - PHASE 2 DEMO
1/4" = 1'-0"

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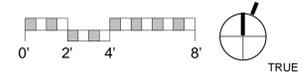


REVISION #	DATE	DESCRIPTION
1	1/08/18	PLAN REVIEW COMMENTS
2	8/5/2020	PLN170572 REVISION

**ARCHITECTURAL
EXISTING/ PHASE
2 DEMO FLOOR
PLAN**

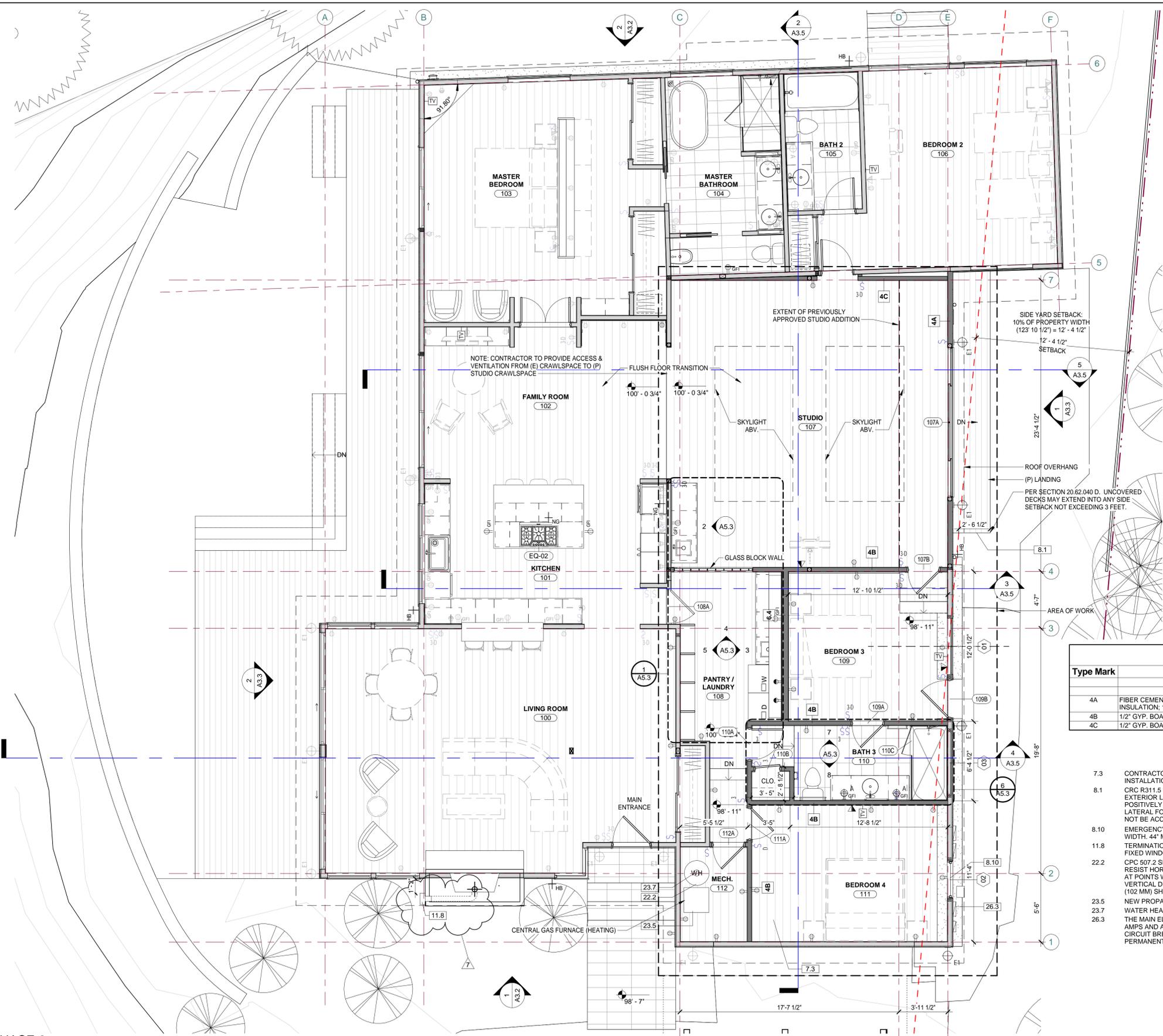
Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: DP
Job: 1713

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7/12/2021



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1 LEVEL 1 - PHASE 2
1/4" = 1'-0"



- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- EXISTING WALL TO REMAIN

ELECTRICAL SYMBOL LEGEND

- TAMPER RESISTANT DUPLEX OUTLET
- TAMPER RESISTANT TRIPLEX OUTLET
- GROUND FAULT CIRCUIT INTERRUPTER OUTLET / TAMPER RESISTANT
- WATER PROOF EXTERIOR OUTLET / TAMPER RESISTANT
- SWITCHED OUTLET / TAMPER RESISTANT
- DEDICATED OUTLET - VERIFY W/ EQUIP. MFG. TAMPER RESISTANT
- DUAL CATSE / TELEPHONE JACK
- CABLE TV JACK
- HOSE BIBB
- NATURAL GAS VALVE

UNDERFLOOR VENTILATION CALCULATIONS

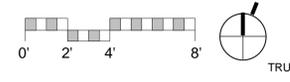
TOTAL CRAWL SPACE FLOOR AREA	2,673 SF
VENTING CODE	15F PER 150 SF OF FLOOR AREA
REQUIRED VENTING	17.82 SF
PROPOSED VENTING:	
(21) 8"X16" VENTS	
TOTAL VENTING	18.66 SF

WALL SCHEDULE

Type Mark	Description
4A	FIBER CEMENT SIDING; WRB; 1/2" PLYWOOD; 2x4 STUDS @ 16" O.C. W/ R=13 BATT INSULATION; 1/2" GYP. BOARD
4B	1/2" GYP. BOARD; 2x4 STUDS @ 16" O.C.; 1/2" GYP. BOARD
4C	1/2" GYP. BOARD; 2x4 STUDS @ 16" O.C.

KEYNOTE LEGEND

- 7.3 CONTRACTOR TO APPLY LATICRETE HYDROBAN TO (E) SLAB AND WALLS PRIOR TO INSTALLATION OF PROPOSED FLOOR
- 8.1 CRC R311.5 LANDING, DECK, BALCONY AND STAIR CONSTRUCTION AND ATTACHMENT - EXTERIOR LANDINGS, DECKS, BALCONIES, STAIRS AND SIMILAR FACILITIES SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES OR SHALL BE DESIGNED TO BE SELF-SUPPORTING. ATTACHMENT SHALL NOT BE ACCOMPLISHED BY USE OF TONNALS OR NAILS SUBJECT TO WITHDRAWAL.
- 8.10 EMERGENCY ESCAPE OPENING. MIN NET CLEAR OPENING OF 5.7 SF. MIN 24" NET CLEAR WIDTH. 44" MAX SILL HEIGHT A.F.F.
- 11.8 TERMINATION CAP W/ 12" MIN CLEARANCE TO INSIDE CORNER; 12" MIN CLEARANCE TO FIXED WINDOW; 12" MIN CLEARANCE TO UNVENTILATED SOFFIT PER MANUFACTURER
- 22.2 CPC 507.2 SEISMIC PROVISIONS - WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE THIRD (1/3) AND LOWER ONE-THIRD (1/3) OF ITS VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR(4) INCHES (102 MM) SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING.
- 23.5 NEW PROPANE FURNACE-PROVIDE PROPANE DRAIN AND DAYLIGHT TO EXTERIOR
- 23.7 WATER HEATER VENT TERMINATION PER CPC 510.1 & 510.5.2
- 26.3 THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 AMPS AND A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC".



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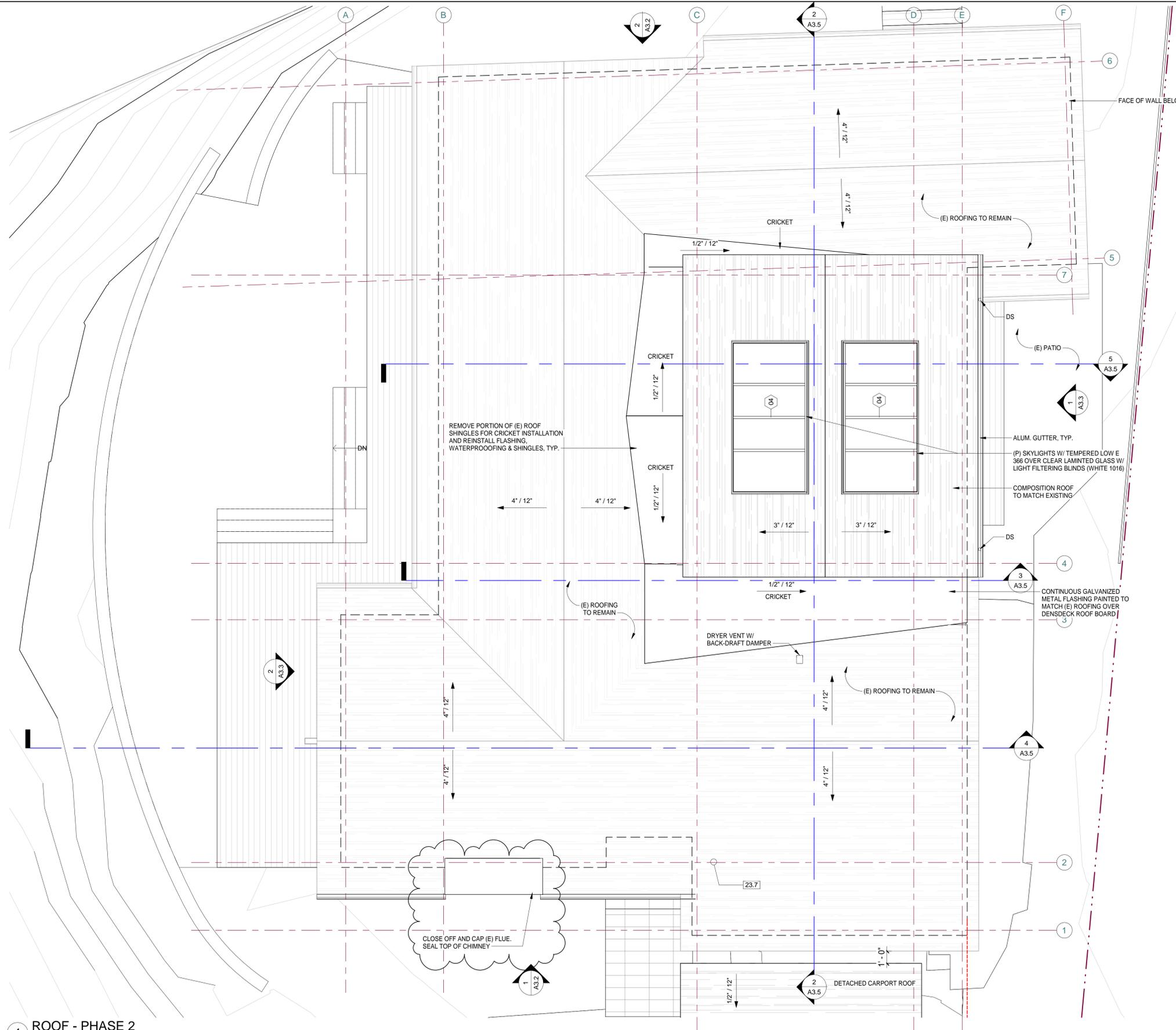
REVISION #	DATE	DESCRIPTION
1	1/08/18	PLAN REVIEW COMMENTS
2	8/6/2020	PLN170572 REVISION BUILDING CORRECTIO NS
5	4/23/2021	Planning Revision
7	7/12/2021	Planning Revision

**ARCHITECTURAL
PROPOSED
PHASE 2 FLOOR
PLAN**

Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: DP
Job: 1713

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7/12/2021

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KEYNOTE LEGEND
 23.7 WATER HEATER VENT TERMINATION PER CPC 510.1 & 510.5.2

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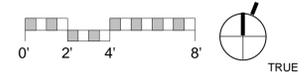
REVISION #	DATE	DESCRIPTION
1	1/08/18	PLAN REVIEW COMMENTS
2	8/5/2020	PLN170572 REVISION
5	4/23/2021	BUILDING CORRECTIO NS
6	5/3/2021	Planning
7	7/12/2021	Planning Revision

**ARCHITECTURAL
 PROPOSED
 ROOF PLAN**

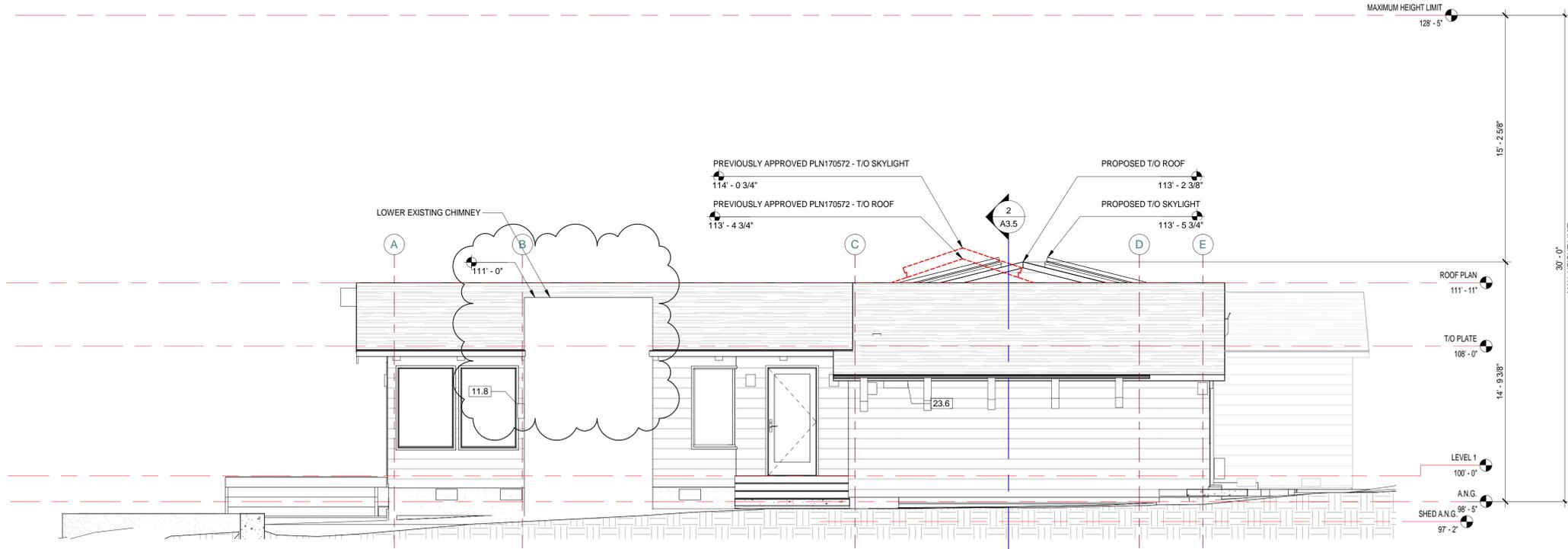
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 @ 24x36
 Drawn By: DP
 Job: 1713

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 7/12/2021

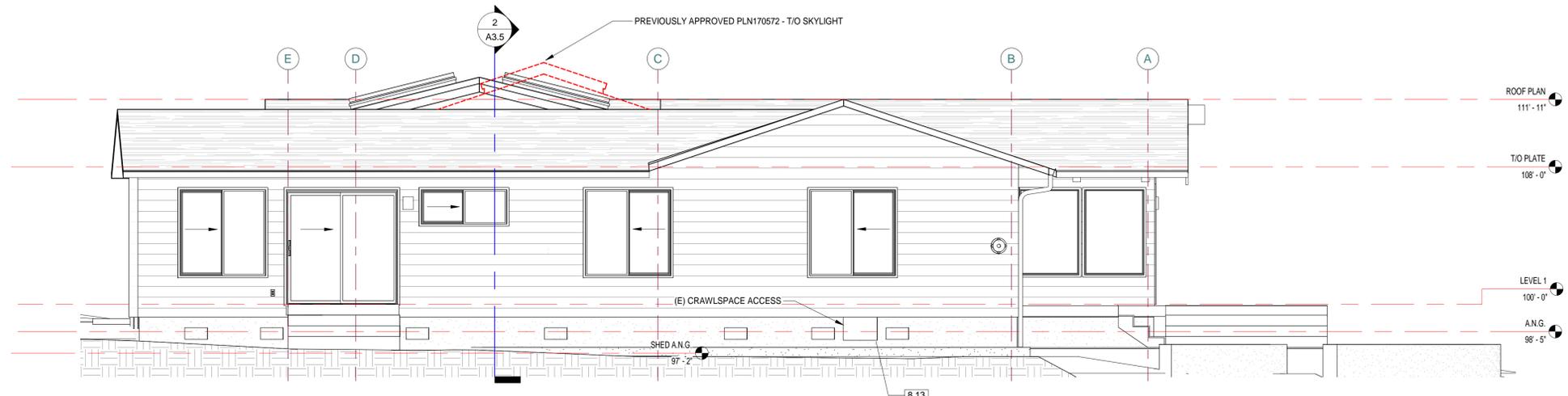
1 ROOF - PHASE 2
 1/4" = 1'-0"



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1 PHASE 2 - SOUTH ELEVATION
1/4" = 1'-0"



2 PHASE 2 - NORTH ELEVATION
1/4" = 1'-0"

KEYNOTE LEGEND

- 8.13 CRC R408.4 - ACCESS SHALL BE PROVIDED TO ALL UNDER-FLOOR SPACES. ACCESS OPENINGS THROUGH THE FLOOR SHALL BE A MINIMUM OF 18 INCHES BY 24 INCHES.
- 11.8 TERMINATION CAP W/ 12" MIN CLEARANCE TO INSIDE CORNER; 12" MIN CLEARANCE TO FIXED WINDOW; 12" MIN CLEARANCE TO UNVENTILATED SOFFIT PER MANUFACTURER
- 23.6 CMC 701.6 OUTDOOR COMBUSTION AIR - OUTDOOR COMBUSTION AIR SHALL BE PROVIDED THROUGH OPENING(S) TO THE OUTDOORS. THE DIMENSION OF AIR OPENINGS SHALL BE NOT LESS THAN 3 INCHES. 701.6.2 ONE PERMANENT OPENING METHOD - ONE PERMANENT OPENING, COMMENCING WITHIN 12 INCHES OF THE TOP OF THE ENCLOSURE, SHALL BE PROVIDED. THE APPLIANCE SHALL HAVE CLEARANCES OF NOT LESS THAN 1 INCH FROM THE SIDES AND BACK AND 6 INCHES FROM THE FRONT OF THE APPLIANCE. THE OPENING SHALL DIRECTLY COMMUNICATE WITH THE OUTDOORS OR SHALL COMMUNICATE THROUGH A VERTICAL OR HORIZONTAL DUCT TO THE OUTDOORS OR SPACES THAT FREELY COMMUNICATE WITH THE OUTDOORS AND SHALL HAVE A FREE AREA NOT LESS THAN THE FOLLOWING: ONE SQUARE INCH PER 3000 BTU/H / NOT LESS THAN THE SUM OF THE AREAS OF VENT CONNECTORS IN THE SPACE.



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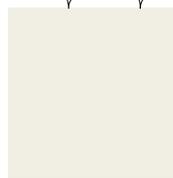
REVISION #	DATE	DESCRIPTION
1	1/08/18	PLAN REVIEW COMMENTS
2	8/5/2020	PLN170572 REVISION
5	4/23/2021	BUILDING CORRECTIO NS
6	5/3/2021	Planning
7	7/12/2021	Planning Revision

**ARCHITECTURAL
EXTERIOR
ELEVATIONS**

Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: DP
Job: 1713

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(E) SWISS COFFEE PAINTED STUCCO TO REMAIN OR CARMEL STONE VENEER



COMPOSITION ROOFING TO MATCH EXISTING



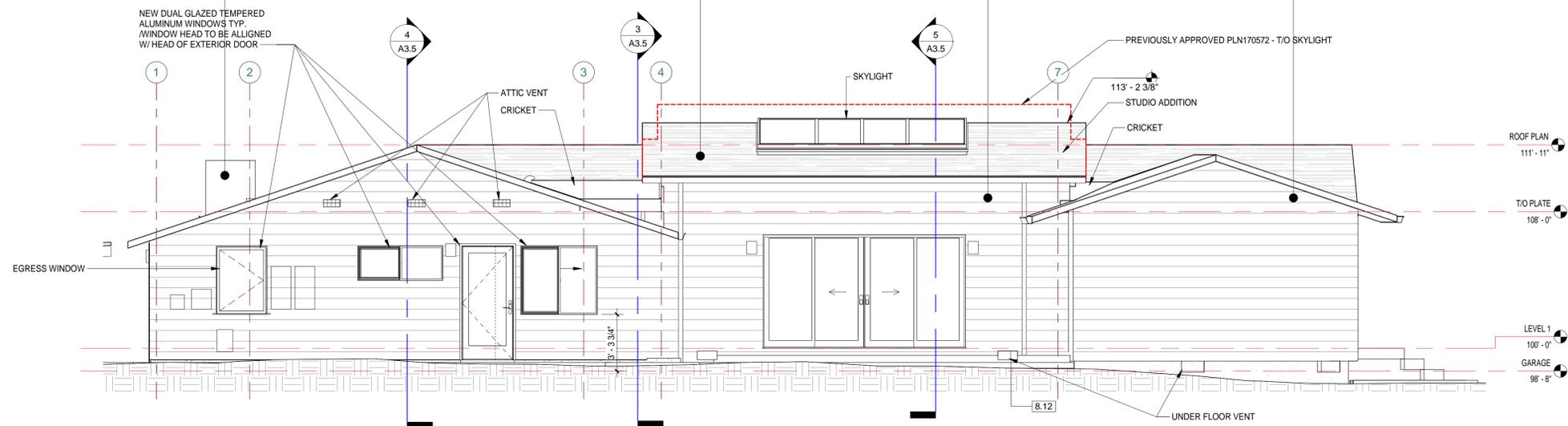
CONCRETE SIDING TO MATCH EXISTING



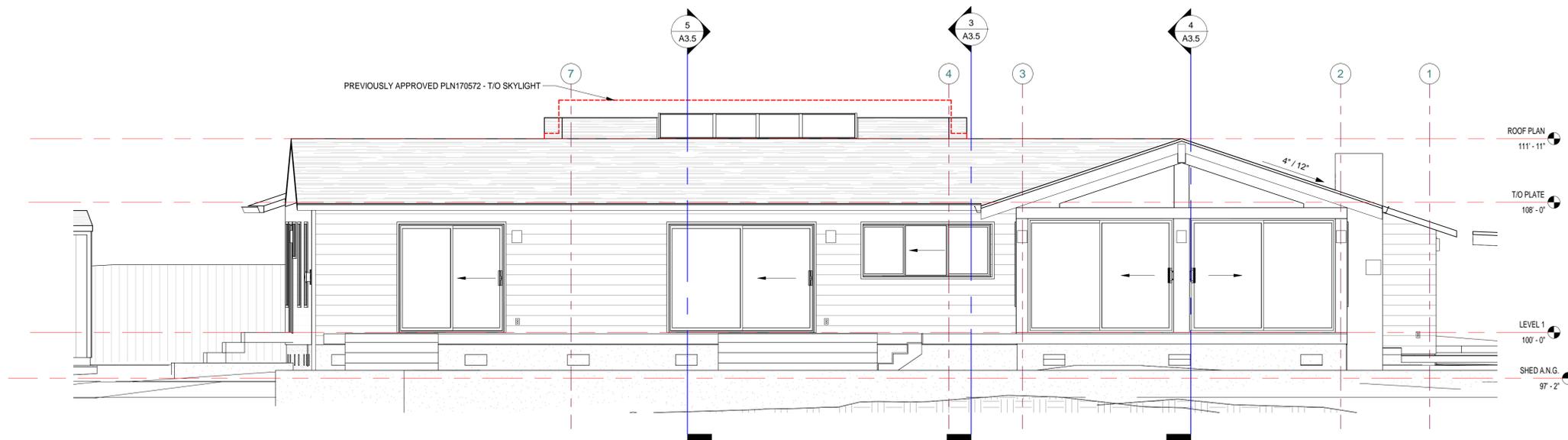
CONCRETE SIDING PAINTED W/ SWISS COFFEE

KEYNOTE LEGEND

8.12 CRC R408.2 - THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING. VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH WITH ANY OF THE FOLLOWING MATERIALS PROVIDED THAT THE LEAST DIMENSION OF THE COVERING SHALL NOT EXCEED 1/4 INCH.



1 PHASE 2 - EAST ELEVATION
1/4" = 1'-0"



2 PHASE 2 - WEST ELEVATION
1/4" = 1'-0"



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REVISION #

1	1/08/18	PLAN REVIEW COMMENTS
2	8/5/2020	PLN170572 REVISION
3	3/24/2021	Revision 3
6	5/3/2021	Planning
7	7/12/2021	Planning Revision

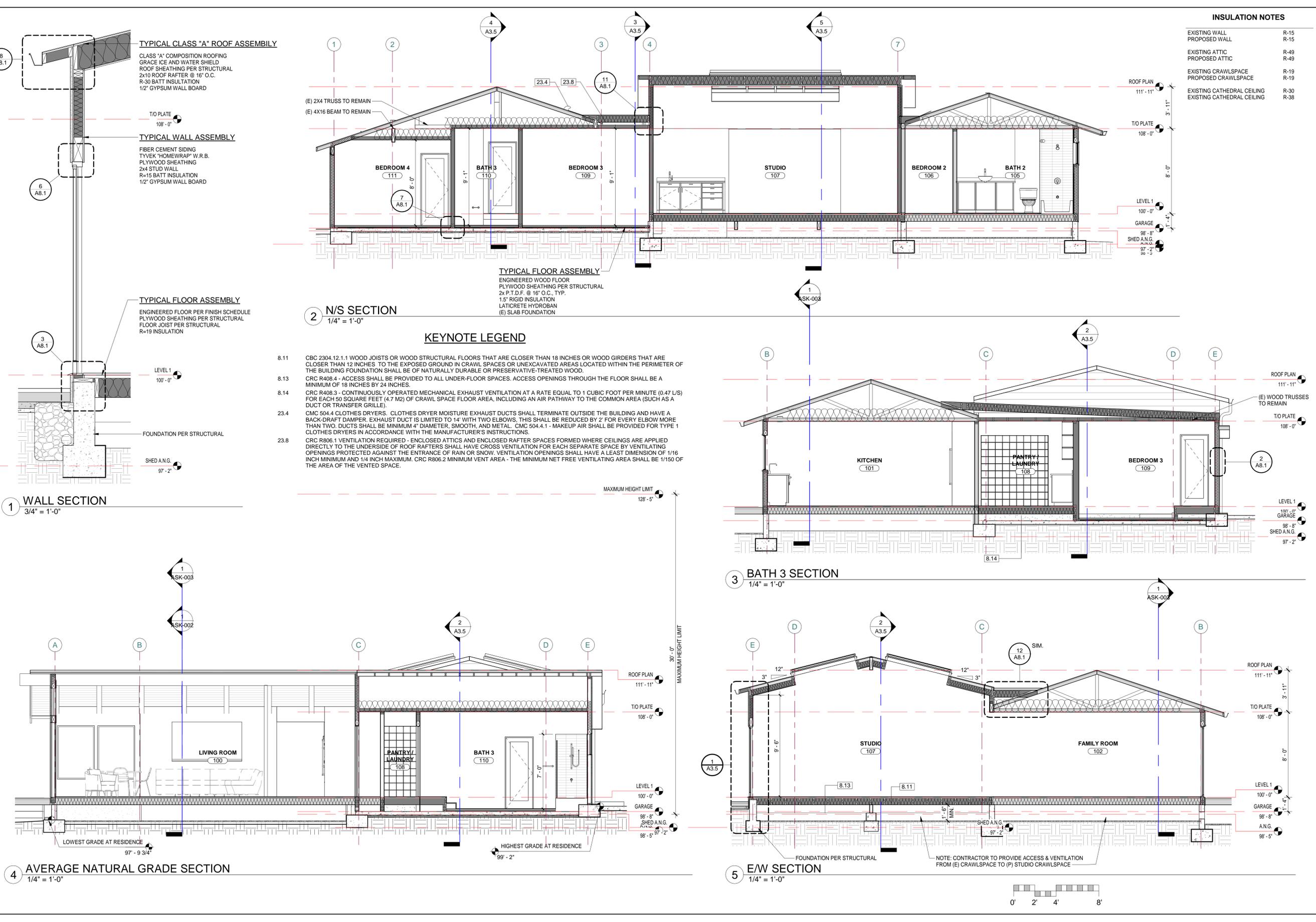
**ARCHITECTURAL
EXTERIOR
ELEVATIONS**

Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: DP
Job: 1713

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INSULATION NOTES

EXISTING WALL	R-15
PROPOSED WALL	R-15
EXISTING ATTIC	R-49
PROPOSED ATTIC	R-49
EXISTING CRAWLSPACE	R-19
PROPOSED CRAWLSPACE	R-19
EXISTING CATHEDRAL CEILING	R-30
EXISTING CATHEDRAL CEILING	R-38

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REVISION #

1	1/08/18	PLAN
2	8/5/2020	REVIEW COMMENTS
3	4/23/2021	REVISION
4		BUILDING CORRECTIO NS

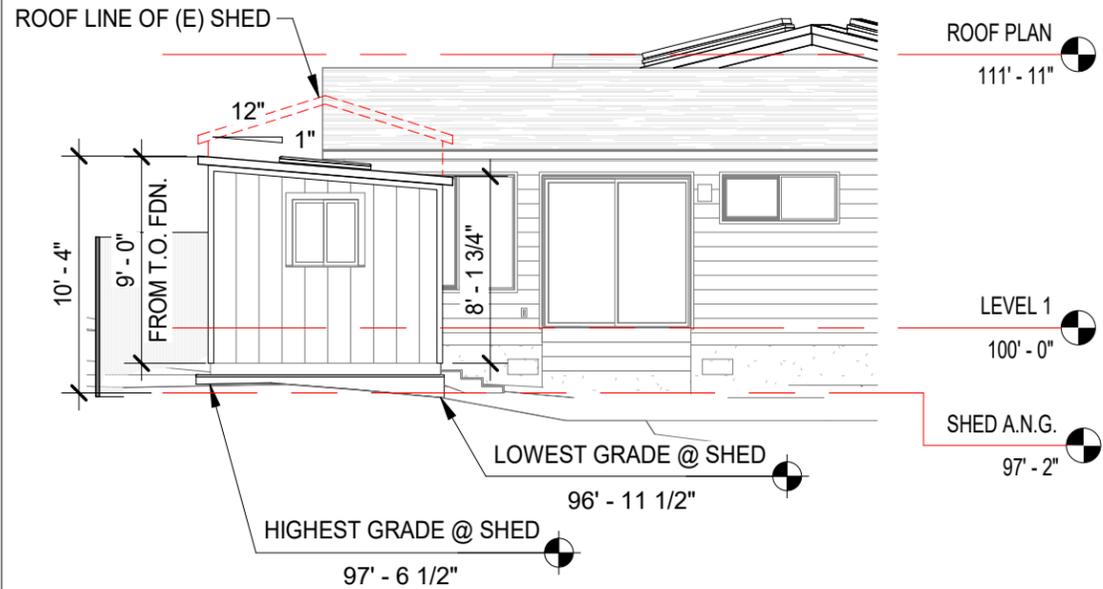
**ARCHITECTURAL
BUILDING & WALL
SECTIONS**

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@ 24x36
Drawn By: DP
Job: 1713

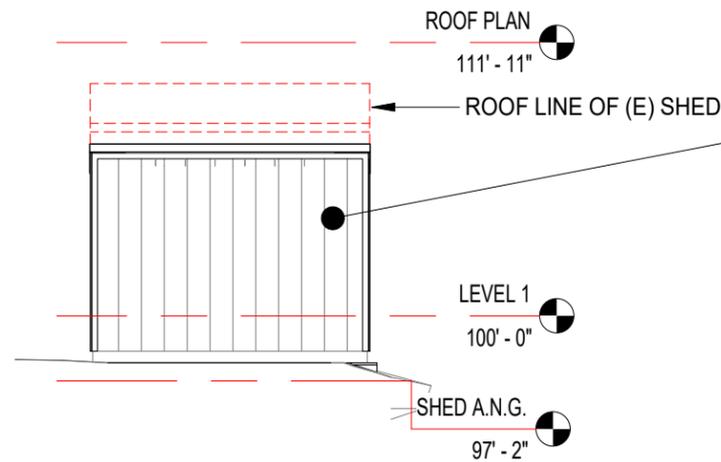
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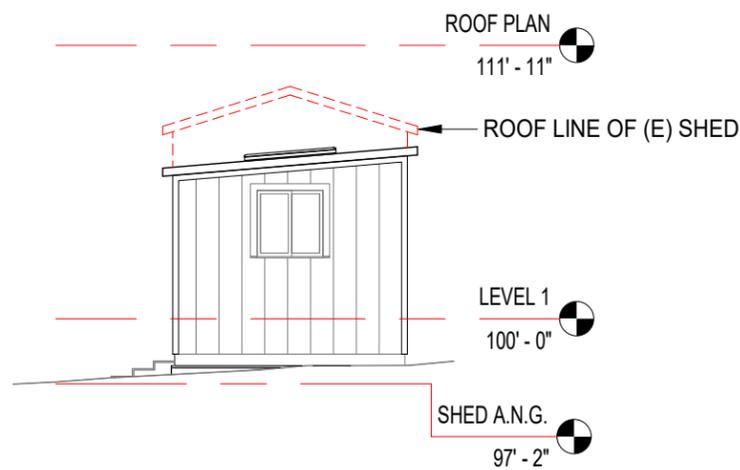
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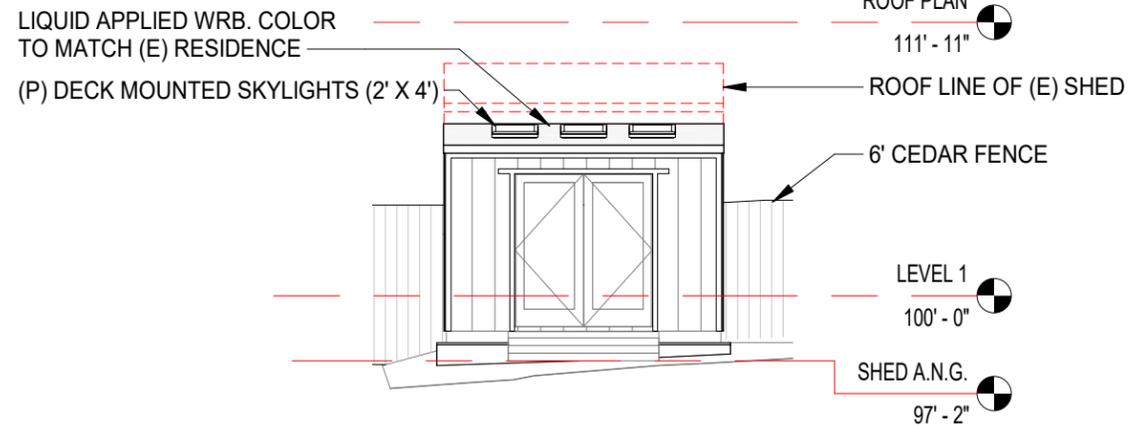
1 SHED - NORTH ELEVATION
1/8" = 1'-0"



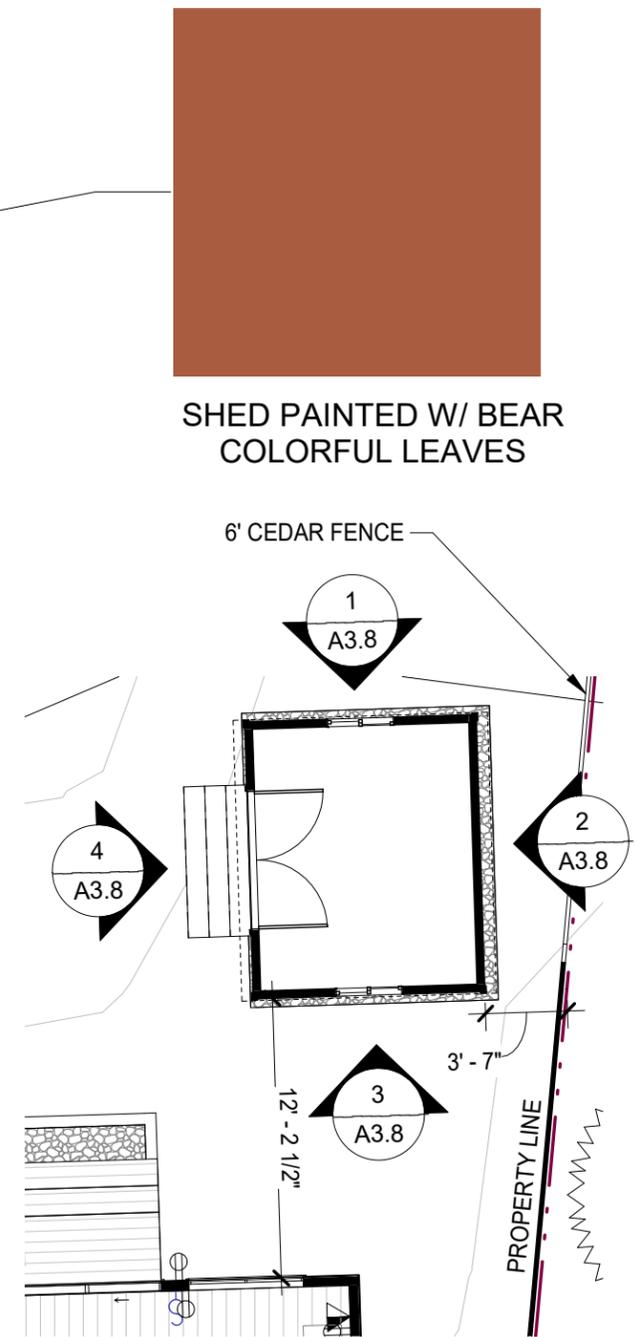
2 SHED - EAST ELEVATION
1/8" = 1'-0"



3 SHED - SOUTH ELEVATION
1/8" = 1'-0"



4 SHED - WEST ELEVATION
1/8" = 1'-0"



5 SHED
1/8" = 1'-0"

7 7/12/2021 PLANNING REVISION 7

Scale:	1/8" = 1'-0" @ 11" x 17"
Drawn By:	DP
Job:	1713

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