

**Before the Zoning Administrator  
in and for the County of Monterey, State of California**

In the matter of the application of:

**WAYLAND (PLN170092)**

RESOLUTION NO. 18-031

Resolution by the Monterey County Director of  
RMA-Planning:

- 1) Finding the project is a single-family dwelling and qualifies for an exemption under Section 15303 of the CEQA Guidelines; and
- 2) Administrative Permit and Design Approval to allow construction of a 4,647 square foot single family residence with attached 774 square foot garage and 1,371 square feet of covered porches, a 496 square foot guest house with attached 662 square foot garage and 188 square feet of covered porches, and a 92 square foot pool house.

[PLN170092 Wayland, 25015 Boots Rd, Monterey, Greater Monterey Peninsula Area Plan (APN: 173-062-011-000 and 173-062-007-000)]

**REVISED  
June 21, 2018**

**(This resolution  
supersedes the  
previous resolution  
mailed on June 1,  
2018)**

**The Wayland application (PLN170092) came on for public hearing before the Monterey County Zoning Administrator on May 31, 2018. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:**

**FINDINGS AND EVIDENCE**

1.     **FINDING:**           **PROJECT DESCRIPTION** – The proposed project is an Administrative Permit and Design Approval to allow construction of a 4,647 square foot single family residence with attached 774 square foot garage and 1,371 square feet of covered porches, a 496 square foot guest house with attached 662 square foot garage and 188 square feet of covered porches, and a 92 square foot pool house.  
  
          **EVIDENCE:**           The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170092.
  
2.     **FINDING:**           **CONSISTENCY / SITE SUITABILITY** - The proposed project and/or use, as conditioned, is consistent with the 2010 Monterey County General Plan, the Greater Monterey Peninsula Area Plan, and the requirements of the Title 21 Zoning Ordinance to include Chapter 21.70 (Administrative Permits) and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the use proposed.  
  
          **EVIDENCE:**     a) No conflicts were found to exist. No communications were received during the course of review of the project indicating any

inconsistencies with the text, policies, and regulations in these documents.

- b) The project has been reviewed for site suitability by the following departments and agencies: RMA-Planning, Monterey County Regional Fire Protection District, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
- c) The property is located 25015 Boots Rd, Monterey (Assessor's Parcel Number 173-062-011-000), Greater Monterey Peninsula Area Plan. The parcel is designated Rural Density Residential/ 5.1 acres per unit, with a Visual Sensitive Zoning Overlay and a 20-foot maximum height limit. (RDR/5.1-VS(20')). The construction of a single-family dwelling and accessory structures including guesthouses is an allowed use in the RDR land use designation. A permit is required for development in a VS district. In this case an administrative permit is required for the development because the project does not have the potential to create a substantial adverse visual impact when viewed from a common public viewing area (See evidences d and e below). If approved, the project would be consistent with this requirement.
- d) The parcel includes a "VS" overlay, which provides review of development in areas in which such development could potentially create adverse visual impacts when viewed from a common public viewing area and requires that structures be located and sited to minimize tree removal, grading, and visibility. The project was staked and flagged. The planner conducted a site visit to determine if the project is visible from public viewing areas including from Highway 68. The proposed structures will not be visible from Highway 68 due to distance and existing vegetation. The proposed structures will be located over 700 feet from Highway 68. The adjacent parcels to the north, between the highway and the subject property, are already developed with single-family residences that would block the view of the proposed structures. In addition, these parcels contain many existing oak trees that provide thick natural screening between the homes and Highway 68 and will also screen the proposed structures. The project site is also bordered on the South, East, and West by existing trees. No tree removal is proposed.
- e) The parcel includes a VS(20') overlay, which limits the height of structures to 20 feet. The main house will be 19 feet 11 inches at its highest point. A standard condition requiring height verification (Condition 6) has been added.
- f) The project is consistent with Greater Monterey Peninsula Area Plan Policy GMP-3.3 for areas with high visual sensitivity. The proposed structures have been sited within an existing clearing and will be bordered on three sides by existing trees. The north side will be screened from Highway 68 by existing development and dense vegetation that already screens the existing homes. The proposed structures are located over 700 feet from Highway 68 and will not be visible through the existing homes and trees. The proposed structures maintain a low profile with a maximum height just under 20 feet and

the proposed colors and materials including brown, grey, beige, and stone have been selected to minimize visual disturbance while blending with other homes in the area.

- g) The project is consistent with Greater Monterey Peninsula Area Plan Policy GMP-2.4 which prohibits new direct access points from single-family residences onto Highway 68 unless there is no other feasible access. The project avoids creating a new access point from Highway 68 by accessing off Boots Rd.
- h) The project planner conducted a site inspection on March 15, 2017 to verify that the project on the subject parcel conforms to the plans listed above and to verify that the site is suitable for this use.
- i) The project was not originally referred to the Greater Monterey Peninsula Advisory Committee (LUAC) for review because it does not involve a Design Approval subject to review by the Zoning Administrator or Planning Commission. However, after the project was elevated to public hearing, it was scheduled with the LUAC for review. The Greater Monterey Peninsula LUAC was scheduled to review this project on May 16<sup>th</sup>. On May 14<sup>th</sup>, staff was informed that all but two LUAC members would not be able to attend. Although staff attempted to coordinate, a quorum was not reached and the May 16<sup>th</sup> meeting was cancelled.
- j) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN170092.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by RMA-Planning, Monterey County Regional Fire Protection District, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) The following reports were prepared:
    - "Percolation and Groundwater Study for Parcels 1&2 with septic recommendations for all parcels of the proposed Merrill Subdivision Highway 68, Boots and Bit Roads Monterey, California A.P.N. 173-062-008" (LIB110032) prepared by Grice Engineering, 561A Brunken Ave, Salinas, CA, April 2009.
    - "Second Evaluation Septic Report of Parcel 1 and Improved Preliminary Septic Plans of the proposed Merrill Subdivision Highway 68 Boots and Bit Roads, Monterey, CA A.P.N. 173-062-008-000"(LIB110033) prepared by Grice Engineering, Salinas, CA, August 2009.

- “Soil Engineering Investigation for the Wayland Residence (APN 173-062-008) 24915 Boots Rd, Monterey, California, Project 1686-01” (LIB170318) prepared by Landset Engineers, Inc., Salinas, CA, August 2017.
  - “Preliminary Geologic Investigation Merrill Property 24915 Boots Rd Monterey County, California, Monterey County APN173-062-008” (LIB170319) Prepared by Rogers E. Johnson & Associates, Watsonville, CA, November 6, 2017.
- c) The project includes construction of a single-family residence and accessory structures to the residential use within a residential zone. An existing onsite well will serve the proposed residence. The well is a single connection and thus is not regulated as a water system by the Environmental Health Bureau (EHB). EHB reviewed the water quality analysis and source capacity testing and recommended periodic testing for arsenic since levels were approaching the threshold, however, since arsenic levels are below the acceptable threshold no further testing is required. Sewage will be disposed of through an on-site septic system under permit by the Environmental Health Bureau.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County RMA-Planning and RMA-Building Services records and is not aware of any violations existing on subject property.
  - b) Code Enforcement Case 16CE00463 was previously active for this property; however, grading permit 17CP00954 was issued on November 14, 2017, and final inspection was completed by RMA-Environmental Services for Phase 1 of the grading permit, the phase affecting this parcel, on April 6, 2018.

5. **FINDING:** **CEQA (Exempt)** - The project is categorically exempt from environmental review and no unusual circumstances were identified for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts a single-family residence and accessory structures within residentially zoned areas.
  - b) The proposed project involves the construction of a single-family residence and accessory structures including an attached garage and a guesthouse, all located within a residential zone.
  - c) No adverse environmental effects were identified during staff review of the development application during a site visit on March 15, 2017
  - d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, unusual circumstances that would result in a significant effect on the environment, or development that would result in a cumulative significant impact. The project will also not result in damage to scenic resources because, as designed, the project will not be visible from Highway 68.

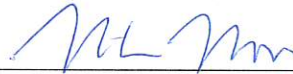
6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission.  
**EVIDENCE:** Section 21.80.040.A of the Monterey County Zoning Ordinance (Designation of Appeal Authority).

**DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find the project exempt from CEQA per Section 15303 of the CEQA Guidelines; and
- B. Approve an Administrative Permit and Design Approval to allow construction of a 4,647 square foot single family residence with attached 774 square foot garage, a 496 square foot guest house with attached 662 square foot garage, and a 92 square foot pool house, in general conformance with the attached sketch and subject to the conditions, both being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 31 day of May, 2018.



Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON JUN 01 2018.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE JUN 11 2018.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

**NOTES**

- 1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

- 2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

# Monterey County RMA Planning

## Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN170092

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** This Administrative Permit and Design Approval (PLN170092) allows a 4,737 square foot single family residence with attached 774 square foot garage, a 496 square foot guest house with attached 662 square foot garage, a 92 square foot pool house. The property is located at 25015 Boots Rd, Monterey (Assessor's Parcel Number 173-062-011-000 and 173-062-007-000), greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Zoning Administrator. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"An Administrative Permit and Design Approval (Resolution Number 18-031) was approved by the Zoning Administrator for Assessor's Parcel Number 173-062-011-000 and 173-062-007-000 on May 31, 2018. The permit was granted subject to 17 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

### 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(RMA - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. PD019(A) - DEED RESTRICTION-GUESTHOUSE (INLAND)

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a deed restriction stating the regulations applicable to a GUESTHOUSE (Inland) as follows:

- Only 1 guesthouse shall be allowed per lot.
  - Detached guesthouses shall be located in close proximity to the principal residence.
    - Guesthouses shall share the same utilities with the main residence, unless prohibited by public health requirements.
    - The guesthouse shall not have cooking or kitchen facilities, including but not limited to microwave ovens, hot plates and toaster ovens.
    - The guesthouse shall have a maximum of 6 linear feet of counter space, excluding counter space in a bathroom. There shall be a maximum of 8 square feet of cabinet space, excluding clothes closets.
    - The guesthouse shall not exceed 600 square feet of livable floor area.
    - The guesthouse shall not be separately rented, let or leased from the main residence whether compensation be direct or indirect.
    - Subsequent subdivisions which divide a main residence from a guesthouse shall be prohibited.
    - The guesthouse shall be designed in such a manner as to be visually consistent and compatible with the main residence on site and other residences in the area.
    - The guesthouse height shall not exceed 15 feet nor be more than one story.
- (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading or building permits, the Owner/Applicant shall submit the signed and notarized document to the Director of RMA-Planning for review and signature by the County.

Prior to occupancy or commencement of use, the Owner/Applicant shall submit proof of recordation of the document to the RMA-Planning.

#### 5. PD035 - UTILITIES UNDERGROUND

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** All new utility and distribution lines shall be placed underground. (RMA - Planning and RMA- Public Works)

**Compliance or Monitoring Action to be Performed:** On an on-going basis, the Owner/Applicant shall install and maintain utility and distribution lines underground.



## 6. PD041 - HEIGHT VERIFICATION

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of RMA - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA - Planning and RMA - Building Services)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

## 7. PW0045 – COUNTYWIDE TRAFFIC FEE

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to the RMA-Development.

## 8. WR002 - STORMWATER CONTROL

**Responsible Department:** Water Resources Agency

**Condition/Mitigation Monitoring Measure:** The applicant shall provide a drainage plan, prepared by a registered civil engineer or licensed architect, to mitigate on-site and off-site impacts. Impervious surface stormwater runoff shall be dispersed at multiple points, on the least steep available slopes, away from and below any septic leach fields. Erosion control shall be provided at each outlet. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any construction permit, the owner/applicant shall submit a drainage plan with the construction permit application.

The Building Services Department will route a plan set to the Water Resources Agency for review and approval.

## 9. WR049 - WATER AVAILABILITY CERTIFICATION

**Responsible Department:** Water Resources Agency

**Condition/Mitigation Monitoring Measure:** The applicant shall provide the Monterey County Water Resources Agency proof of water availability in the form of a complete Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any construction permit, the owner/applicant shall submit a Water Release Form to the Water Resources Agency for review and approval.

A copy of the Water Release Form can be obtained at the Monterey Peninsula Water Management District, the Water Resources Agency, or online at:  
[www.mcwra.co.monterey.ca.us](http://www.mcwra.co.monterey.ca.us).

## 10. EROSION CONTROL PLAN

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit an Erosion Control Plan in conformance with the requirements of Monterey County Code Chapter 16.12. The Erosion Control Plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any grading or building permits, the applicant shall submit an Erosion Control Plan to RMA-Environmental Services for review and approval.

## 11. GEOTECHNICAL CERTIFICATION

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall provide certification from a licensed practitioner that all development has been constructed in accordance with the recommendations in the project Soil Engineering Investigation. (RMA- Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to final inspection, the owner/applicant shall provide RMA-Environmental Services a letter from a licensed practitioner.

## 12. GRADING PLAN

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a Grading Plan incorporating the recommendations from the project Soil Engineering Investigation prepared by Landset Engineering Inc. The Grading Plan shall include contour intervals and cross-sections that identify the existing grade, proposed grade, and the extent of any proposed excavation and/or fill. The Grading Plan shall include the geotechnical inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date. The applicant shall also provide certification from the licensed practitioner that the Grading Plan incorporates their geotechnical recommendations. (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any grading or building permits, the applicant shall submit a Grading Plan to RMA-Environmental Services for review and approval.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed the Grading Plan for conformance with the geotechnical recommendations.

## 13. INSPECTION-DURING ACTIVE CONSTRUCTION

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

**Compliance or Monitoring Action to be Performed:** During construction, the applicant shall schedule an inspection with RMA-Environmental Services.

## 14. INSPECTION-FOLLOWING ACTIVE CONSTRUCTION

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall schedule an inspection with RMA-Environmental Services to ensure all disturbed areas have been stabilized and all temporary erosion and sediment control measures that are no longer needed have been removed. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

**15. INSPECTION-PRIOR TO LAND DISTURBANCE**

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

**16. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)**

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of RMA - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to RMA - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by RMA-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to RMA-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County RMA - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

**17. PD014(B) - LIGHTING-EXTERIOR LIGHTING PLAN (VS & RIDGELINE)**

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. Exterior lighting shall have recessed lighting elements. Exterior light sources that would be directly visible from when viewed from a common public viewing area, as defined in Section 21.06.195, are prohibited. The applicant shall submit three (3) copies of exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to issuance of building permits.  
(RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, staff shall conduct a site visit to ensure that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

WAYLAND RESIDENCE

VICINITY MAP
NORTH
SCALE: N.T.S.
LOCATION OF PROJECT

- VERY HIGH FIRE HAZARD SEVERITY ZONE REQUIREMENTS
A. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
B. ROOF AND ATTIC VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE...

- OWNERSHIP NOTES
TITLE AND ALL 'COPYRIGHT' PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY HOLDREN LIETZKE ARCHITECTURE REFERRED TO AS 'DESIGNERS' WITHOUT PREJUDICE VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED RESTRICTIONS...

- FIRE DEPARTMENT SAFETY REQUIREMENTS
1. DRIVEWAYS - SHALL NOT BE LESS THAN 12' WIDE UNOBSTRUCTED, IV AN UNOBSTRUCTED VERTICAL CLEARANCE OF AT LEAST 15'. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15%...
2. GATES - ALL GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST 30' FROM THE ROADWAY...
3. ADDRESSES FOR BUILDINGS - ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE IV MONTEREY COUNTY ORDINANCE NO. 1241...

- DEFENSIBLE SPACE REQUIREMENT - MANAGE COMBUSTIBLE VEGETATION WITHIN A MINIMUM OF 100 FEET OF STRUCTURES; OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. THIS SHALL NOT APPLY TO SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVER...
5. FIRE PROTECTION - SPRINKLER SYSTEM (STANDARD) - THE BUILDINGS & ATTACHED GARAGES SHALL BE FULLY PROTECTED IV AUTOMATIC FIRE SPRINKLER SYSTEMS. INSTALLATION SHALL BE IN ACCORDANCE IV THE APPLICABLE NFPA STANDARD...
6. ROOF CONSTRUCTION (VERY HIGH HAZARD SEVERITY ZONE) - ALL NEW STRUCTURES, & ALL EXISTING STRUCTURES RECEIVING NEW ROOFING COVER 50% OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS 'A' ROOF CONSTRUCTION...

SPECIAL INSPECTIONS
SEE STRUCTURAL SHEETS FOR SPECIAL INSPECTIONS REQUIRED FOR THIS PROJECT
CONTRACTOR SHALL COORDINATE FORMS & PROCEDURES WITH THE BUILDING DEPARTMENT

- ITEMS REQUIRING SEPARATE PERMIT SUBMITTAL
TO THE MONTEREY COUNTY BUILDING DEPARTMENT PRIOR TO INSTALLATION:
1. PRESSURIZED SEPTIC SYSTEM
2. 4 SETS OF FIRE SPRINKLER PLANS, DETAILS & CALCULATIONS PREPARED BY A LICENSED C-16 CONTRACTOR...

- DEFERRED ITEM
1. THE PRESSURIZED SEPTIC SYSTEM DESIGN SHALL BE PROVIDED TO THE MONTEREY COUNTY RESOURCE MANAGEMENT PLANNING AND BUILDING DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION.
2. ROUGH-IN INSPECTIONS MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR AND COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION.

PROJECT INFORMATION SUMMARY
PROJECT DESCRIPTION: (N) SINGLE FAMILY RESIDENCE WITH ATTACHED TWO-CAR GARAGE AND DETACHED GUEST HOUSE WITH ATTACHED TWO-CAR GARAGE.
BUILDING CODES: ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2016 EDITION OF THE CALIFORNIA RESIDENTIAL CODE, CALIFORNIA GREEN BUILDING STANDARDS CODE, PLUMBING, MECHANICAL, ELECTRICAL, FIRE & ENERGY CODES & ANY AMENDMENTS OF PRESIDING CITY OR COUNTY.
NO TREES PROPOSED TO BE REMOVED AS A PART OF THIS PROJECT
ZONING: RDR/S 1-VS(20)
DENSITY: 5.1A(U)
AREA PLAN: GREATER MONTEREY PENINSULA
LOT: A
SUBDIVISION: MERRILL SUBDIVISION
LOT SIZE: 618,016 S.F. (14.19 AC.) + 202,232 S.F. (4.64 AC.)

SETBACKS:
MAIN HOUSE / GARAGE FRONT: 30'-0", SIDE: 20'-0", REAR: 20'-0"
DETACHED GUEST HOUSE / GARAGE FRONT: 50'-0", SIDE: 6'-0", REAR: 6'-0"
MIN. DISTANCE BETWEEN STRUCTURES: ACCESSORY / MAIN: 10'-0", ACCESSORY / MAIN: 35'-2" MIN.
BUILDING HEIGHTS: ALLOWED, PROPOSED
MAX. BUILDING HEIGHT: MAIN HOUSE: 20'-0", DETACHED GUEST HOUSE / GARAGE: 15'-0"

PROJECT TEAM
OWNER: WARREN AND MARGIE WAYLAND
25304 CAMINO DE CHAMISAL
SALINAS, CA 93406
PH: 831-443-9553
SITE ADDRESS: 25015 BOOTS ROAD, MONTEREY, CA 93940
ARCHITECT: HOLDREN LIETZKE ARCHITECTURE
225 CANNERY ROW, SUITE A, MONTEREY, CA 93940
PH: 831-649-6001
SURVEYOR/CIVIL ENGINEER: WHITSON ENGINEERS
6 HARRIS COURT, MONTEREY, CA 93940
PH: 831-849-5229
CONTACT: RICHARD WEBER
CONSULTING ENGINEERING GEOLOGISTS: ROGERS E. JOHNSON & ASSOCIATES
41 HANGAR WAY, SUITE B, WATSONVILLE, CA 95076
PH: 831-728-7200
PRELIMINARY GEOLOGIC INVESTIGATION #607022-1135M - DATED 6 NOVEMBER 2011

- SHEET INDEX
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1 of 1 TOPOGRAPHIC MAP
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C0.2 CIVIL DETAILS
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C1.2 DRIVEWAY PLAN AND PROFILE
C1.3 CIVIL GRADING SECTIONS
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A2.0 1/8" SCALE FLOOR PLAN
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A6.1 FIREPLACE DETAILS
A6.0 TYP. WATERPROOFING DETAILS
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S1.2 GENERAL DETAILS
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WSN1 STRONGWALL WSN ANCHORAGE DETAILS
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- MECHANICAL / SOLAR / PLUMBING / ELECTRICAL
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E2.2 GUEST & MAIN HOUSE POWER & LTG. PLANS
LANDSCAPE
L-1 CONCEPT LANDSCAPE PLAN

HOLDREN+LIETZKE ARCHITECTURE
225 CANNERY ROW - SUITE A, MONTEREY, CA 93940
Ph: 831.649.6001, Fax: 831.649.6003, www.hl-arc.com
DATE: 11/10/17
SCALE:
DRAWN: LL
JOB NUMBER: 16.14
REVISION
COVER SHEET, PROJECT INFORMATION SUMMARY
WAYLAND RESIDENCE
BOOTS ROAD, MONTEREY, CA 93940
A.P.N. 173-062-007 & 173-062-011
A0.1

ABBREVIATIONS

Table of abbreviations and their corresponding full names, such as AB. ANCHOR BOLT, ALT. ALTERNATE, APPROX. APPROXIMATE, etc.

EROSION CONTROL NOTES

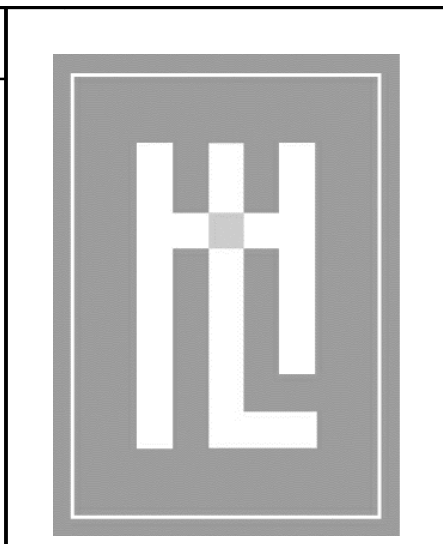
Table of erosion control standards and measures, including sections on general standards, sediment control, dust control, revegetation, and winter operations.

NEW CONSTRUCTION NOTES

Table of new construction notes covering runoff, erosion control measures, prior to issuance of permit, prior to commencement of land disturbance, during construction, and prior to final building inspection.

GENERAL NOTES

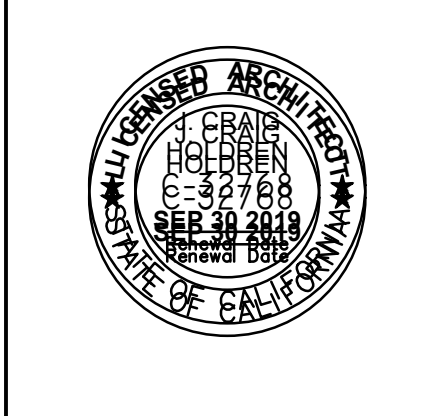
Table of general notes including contractor license, scope, quality control, warranty, permits, legal notices, responsibility, insurance, indemnification, cleaning up, contractor visit, building codes, no land clearing, shop drawings, change orders, construction bracing, similar conditions, discrepancies, technical specifications, subsequent changes, contractor emergency access, manufacturer installation instructions, and demolition notes.



HOLDREN+LIETZKE ARCHITECTURE
225 CANTARY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

Table with project details: DATE: 11/10/17, SCALE: NONE, DRAWN: LL, JOB NUMBER: 16.14, REVISION: 1 PLAN CK. REVS. 1-29-18

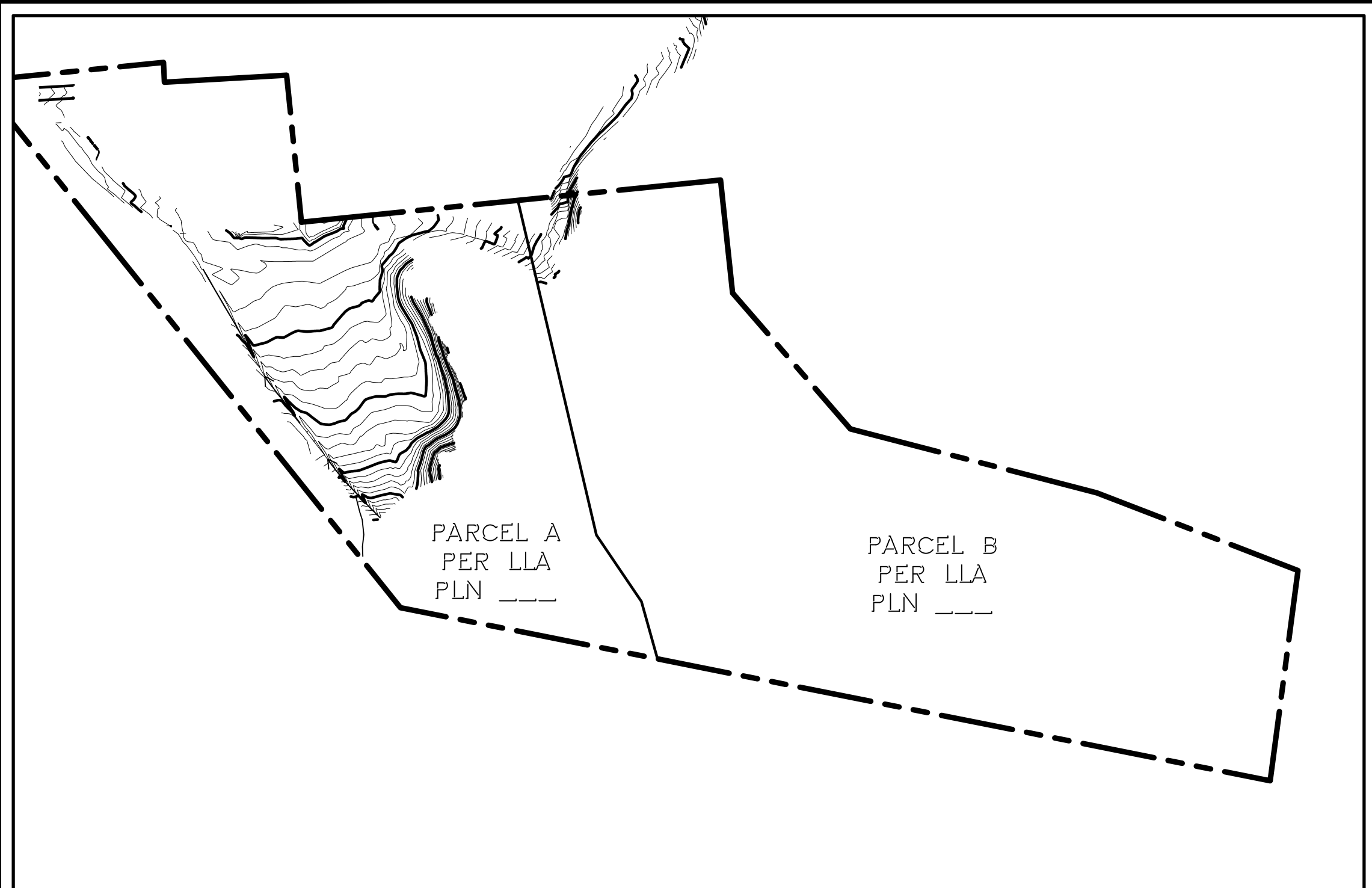
DATE: 11/10/17
SCALE: NONE
DRAWN: LL
JOB NUMBER: 16.14
REVISION: 1 PLAN CK. REVS. 1-29-18



GENERAL NOTES
WAYLAND RESIDENCE
BOOTS ROAD
MONTEREY, CA 93940
A.P.N. 173-062-007 & 173-062-011

A0.2





**VICINITY MAP**  
SCALE: 1" = 250'

**LEGEND**

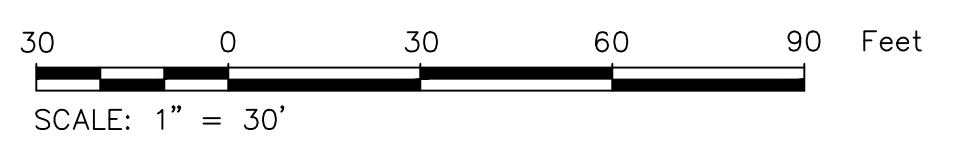
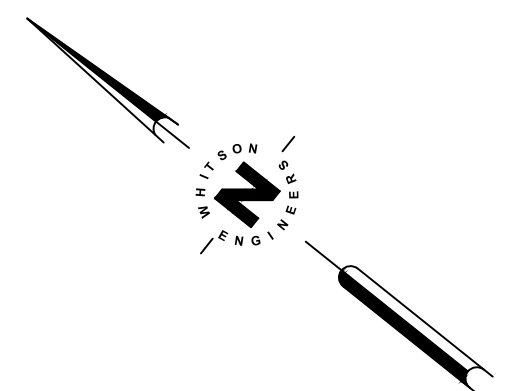
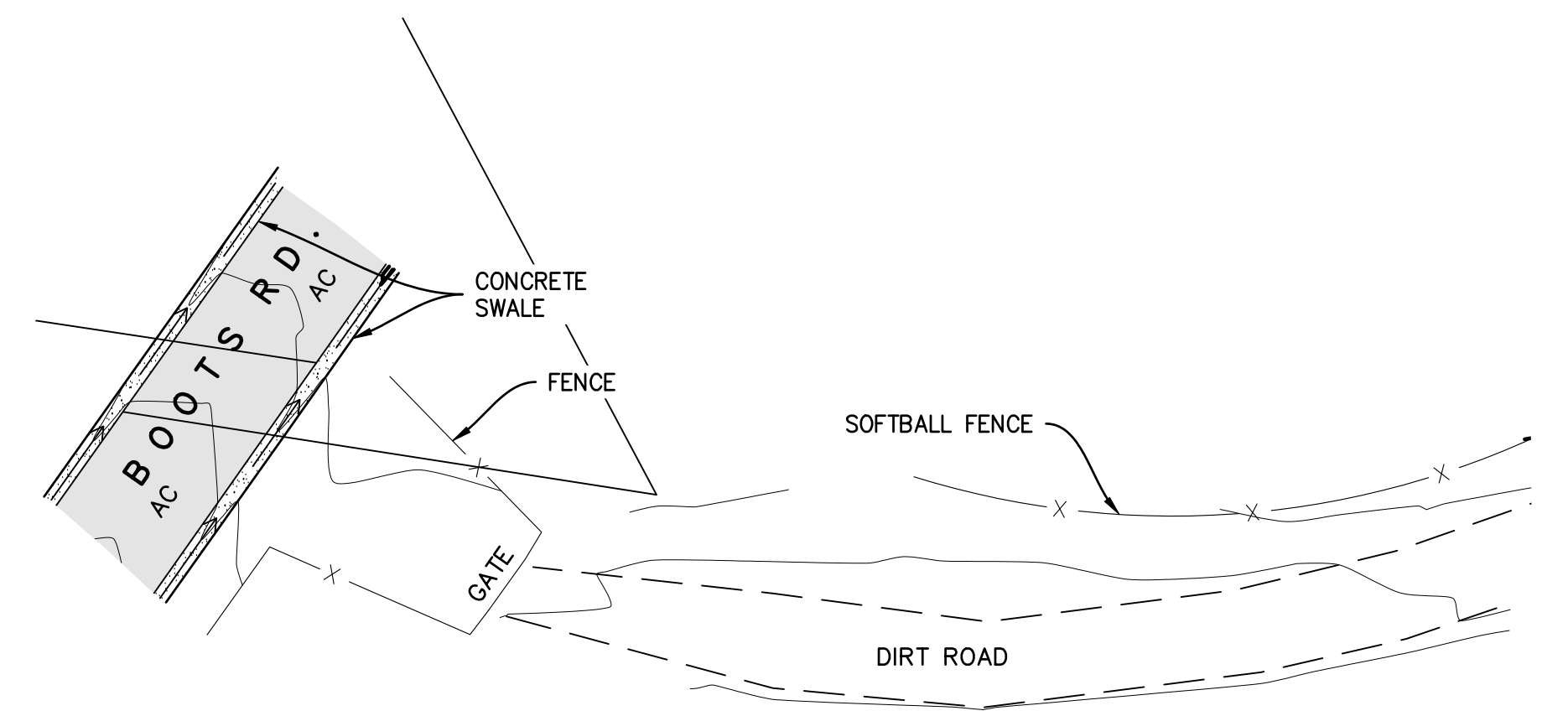
- 100 GROUND CONTOUR
- SUBJECT PROPERTY LINE
- LOT LINE
- ADJACENT PROPERTY LINE
- △200 CONTROL POINT
- BM BENCHMARK
- + 928.30 SPOT GRADE
- 12" OAK TREE
- TREE DRIP LINE
- RIP RAP
- X FENCE
- FLOW LINE
- AREA OF 25% OR GREATER SLOPE
- ⊙ STORM DRAIN INLET
- ⊙ WELL

**ABBREVIATIONS**

- AC ASPHALT CONCRETE
- CMP CORRUGATED METAL PIPE
- DIA DIAMETER
- ELEV ELEVATION
- INV INVERT
- SDDI STORM DRAIN DROP INLET
- TBM TEMPORARY BENCH MARK

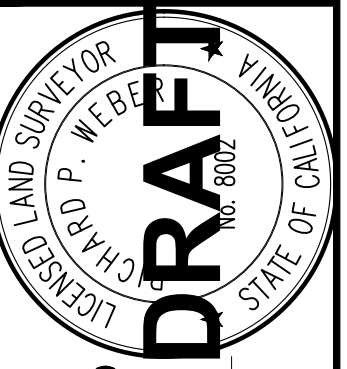
**NOTES:**

1. THIS MAP REPRESENTS A TOPOGRAPHIC SURVEY PERFORMED BY WHITSON ENGINEERS ON 1/15/17.
2. THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE CLIENT.
3. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY SHOWN IS FROM RECORD DATA. THIS TOPOGRAPHY DOES NOT CONSTITUTE A BOUNDARY SURVEY. THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.
4. DISTANCES AND DIMENSIONS SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.
5. TEMPORARY BENCHMARK TAKEN AS SET 3/8" REBAR AT THE LOCATION SHOWN ON THIS PLAN. ELEVATION: 350.41' (ASSUMED DATUM)
6. UNDERGROUND UTILITIES WERE NOT WITHIN THE SCOPE THIS SURVEY. THE EXISTENCE, LOCATION AND DEPTH OF ALL UTILITIES SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.
7. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" WERE NOT NECESSARILY LOCATED AS PART OF THIS SURVEY.



NO.	DATE	BY	DESCRIPTION

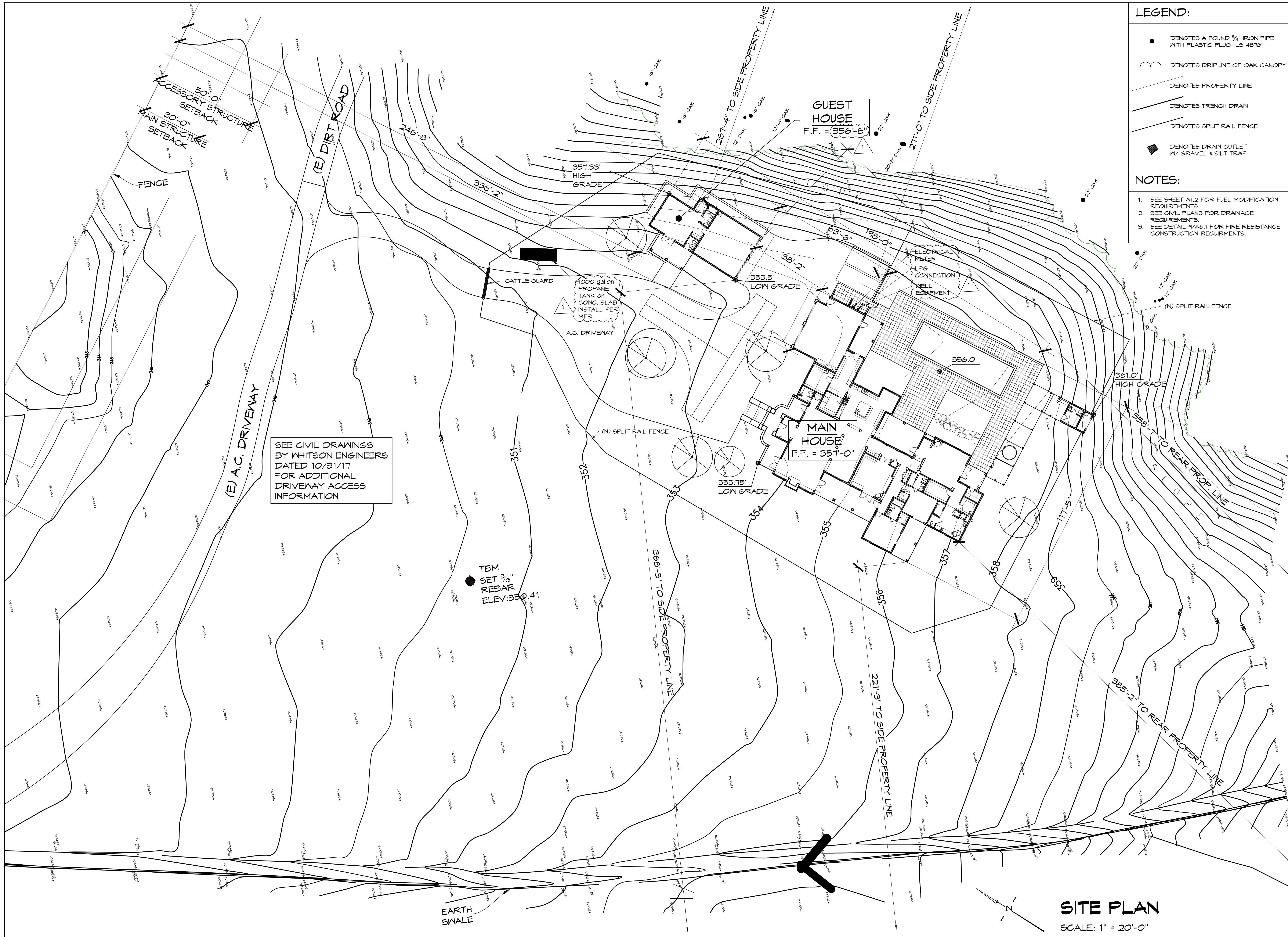
DATE: 6/14/17  
SCALE: 1" = 30'  
ENGR: [Signature]  
JOB NO.: 1718101



**WHITSON ENGINEERS**  
6 Harris Court - Monterey, CA 93940  
831 649-5225 - Fax 831 373-5065  
CIVIL ENGINEERING - LAND SURVEYING - PROJECT MANAGEMENT

WAYLAND RANCH  
MONTEREY COUNTY CALIFORNIA  
TOPOGRAPHIC MAP  
APN 173-062-007 AND 173-062-011

D:\Monterey\_Plan\173-062-007-008-1718101-Topo\_Combined.dwg Jun 14, 2017 - 12:30pm



- LEGEND:**
- DENOTES A FOUND 3/4" IRON PIPE WITH PLASTIC PLUG "LS 4876"
  - DENOTES DRIPLINE OF OAK CANOPY
  - DENOTES PROPERTY LINE
  - DENOTES TRENCH DRAIN
  - DENOTES SPLIT RAIL FENCE
  - DENOTES DRAIN OUTLET W/ GRAVEL & SILT TRAP

- NOTES:**
1. SEE SHEET A1.2 FOR FUEL MODIFICATION REQUIREMENTS.
  2. SEE CIVIL PLANS FOR DRAINAGE REQUIREMENTS.
  3. SEE DETAIL 9/A.1 FOR FIRE RESISTANCE CONSTRUCTION REQUIREMENTS.

SEE CIVIL DRAWINGS BY WHITSON ENGINEERS DATED 10/31/17 FOR ADDITIONAL DRIVEWAY ACCESS INFORMATION

GUEST HOUSE  
F.F. = 356'-6"

MAIN HOUSE  
F.F. = 357'-0"

**HOLDREN+LIETZKE ARCHITECTURE**  
225 CANNERY ROW - SUITE A  
MONTEREY, CA 93940  
Ph: 831.649.6001  
Fax: 831.649.6003  
www.hl-arc.com

DATE:	11/10/17
SCALE:	1" = 20'-0"
DRAWN:	LL
JOB NUMBER:	16.14
REVISION	
1	PLAN CK. REVS. 1-29-18



**SITE PLAN**  
**WAYLAND RESIDENCE**  
BOOTS ROAD  
MONTEREY, CA 93940  
A.P.N. 173-062-007 & 173-062-011

**SITE PLAN**  
SCALE: 1" = 20'-0"

### GENERAL

- CONSTRUCTION CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL(S) HARMLESS FROM ANY AND ALL LIABILITY, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL(S).
- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH:
  - ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, ORDINANCES, AND RULES, INCLUDING WITHOUT LIMITATION: CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIVE CODE (CAL-OSHA) CALIFORNIA CODE 4216 - PROTECTION OF UNDERGROUND INFRASTRUCTURE
  - THE 2016 CALIFORNIA BUILDING STANDARDS CODE (CCR TITLE 24), WITH AMENDMENTS ADOPTED BY THE JURISDICTION HAVING AUTHORITY
  - CALIFORNIA EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
  - THE PROJECT PLANS AND SPECIFICATIONS
  - THE 2015 EDITION OF "STANDARD SPECIFICATIONS," STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION (CALTRANS), AS AMENDED BY THE MOST CURRENT "REVISED STANDARD SPECIFICATIONS". THE "STANDARD SPECIFICATIONS" AND "REVISED STANDARD SPECIFICATIONS" CAN BE DOWNLOADED FOR FREE FROM [http://www.dot.ca.gov/hq/esc/oe/construction\\_standards.html](http://www.dot.ca.gov/hq/esc/oe/construction_standards.html)
  - THE 2015 EDITION OF "STANDARD PLANS," STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION (CALTRANS), AS AMENDED BY THE MOST CURRENT "REVISED STANDARD PLANS". THE "STANDARD PLANS" AND "REVISED STANDARD PLANS" CAN BE DOWNLOADED FOR FREE FROM [http://www.dot.ca.gov/hq/esc/oe/construction\\_standards.html](http://www.dot.ca.gov/hq/esc/oe/construction_standards.html)
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL CURRENTLY APPLICABLE SAFETY LAWS OF ALL APPLICABLE JURISDICTIONAL BODIES. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, SALINAS, CALIFORNIA AT PHONE (831) 443-3050.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA.
- INTENTION OF GRADING: CONSTRUCTION OF A SINGLE FAMILY RESIDENCE, DRIVEWAY AND ASSOCIATED SITEWORK.
- PROPERTY IS NOT SUBJECT TO INUNDATION OR 100 YEAR FLOOD LEVELS.
- ESTIMATED START: TBD , ESTIMATED COMPLETION: TBD.
- IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHEOLOGIST (I.E. AN ARCHEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

### EARTHWORK AND AREA OF DISTURBANCE SUMMARY

CUT: 200± CY  
 FILL: 950± CY  
 IMPORT: 750± CY

AREA OF DISTURBANCE: 0.98± AC

- THE QUANTITIES PRESENTED ABOVE ARE ESTIMATES ONLY, BASED ON THE DIFFERENCE BETWEEN EXISTING GRADE AND FINISHED GRADE AND SUBGRADE ELEVATIONS, AS SHOWN ON THE PLANS, AND ARE NOT ADJUSTED FOR CHANGES IN VOLUME DUE TO CHANGES IN SOIL DENSITY.
- OVER-EXCAVATION IS NOT INCLUDED IN THE ABOVE ESTIMATE. CLEARING AND STRIPPING AND REMOVAL OF AC AND PCC PAVEMENTS ARE NOT INCLUDED IN THE ABOVE ESTIMATES. SITE SPOILS SUCH AS FROM UTILITY TRENCHING, FOUNDATIONS, ETC. ARE NOT INCLUDED IN ABOVE ESTIMATES.
- THESE QUANTITIES SHALL BE USED FOR BONDING AND PERMIT PURPOSES ONLY. CONTRACTOR SHALL MAKE HIS/HER OWN SITE VISIT AND QUANTITY TAKE-OFFS AND SHALL BID ACCORDINGLY.
- EARTHWORK VALUES SHOULD BE REEVALUATED DURING THE EARLY STAGES OF SITE GRADING. CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING FINAL EARTHWORK QUANTITIES TO HIS/HER SATISFACTION PRIOR TO START OF GRADING OPERATIONS.

### SURVEY AND EXISTING CONDITIONS

- TOPOGRAPHY WAS PREPARED BY WHITSON ENGINEERS ON 12 OCTOBER 2016 AND COMBINED WITH AVAILABLE AERIAL DATA.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OF REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE CLIENT..
- TEMPORARY BENCHMARK TAKEN AS SET REBAR AT THE LOCATION SHOWN ON THIS PLAN. LOCAL ELEVATION = 350.41' (ASSUMED DATUM)
- ALL "MATCH" OR "JOIN" CALLOUTS ON THE PLANS SHALL BE FIELD VERIFIED FOR EXACT LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER IN THE CASE OF ANY FIELD DISCREPANCY.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS. (MONTEREY COUNTY)
- THE CONSTRUCTION CONTRACTOR SHALL MAINTAIN A CURRENT, COMPLETE, AND ACCURATE RECORD OF ALL DEVIATIONS FROM THE WORK PROPOSED IN THESE PLANS AND SPECIFICATIONS, AND A RECORD DRAWING SET SHALL BE PREPARED AND PROVIDED TO THE ENGINEER AT THE COMPLETION OF WORK. CHANGES SHALL NOT BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE DESIGN ENGINEER.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND FACILITIES ARE SHOWN ON THESE PLANS IN A GENERAL WAY ONLY. NOT ALL UTILITIES MAY BE SHOWN. IT IS MANDATORY THAT THE CONTRACTOR EXPOSE AND VERIFY THE TOP AND BOTTOM OF ALL UTILITIES PRIOR TO ANY WORK ON SYSTEMS WHICH MAY BE AFFECTED BY THE EXISTING UTILITY'S LOCATION. IT IS THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE THE FINAL DETERMINATION AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND TO BRING ANY DISCREPANCY TO THE ATTENTION OF THE ARCHITECT.
- A LETTER SHALL BE SUBMITTED FROM A LICENSED SURVEYOR CERTIFYING THAT PAD ELEVATIONS ARE WITHIN 0.1 FEET OF ELEVATIONS STATED ON APPROVED PLANS, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.

### GRADING AND DRAINAGE

- SITE GRADING AND EARTHWORK SHALL BE PERFORMED IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL REPORT ENTITLED:  
 SOIL ENGINEERING INVESTIGATION FOR THE WAYLAND RESIDENCE (APN 173-062-008) 24915 BOOTS ROAD MONTEREY COUNTY, CALIFORNIA.  
 PREPARED BY: LANDESET ENGINEERS INC., DATED AUGUST 2017, PROJECT NO. 1686-01
- ONSITE GRADING AND EARTHWORK, SITE PREPARATION, EXCAVATION, TRENCHING AND COMPACTION SHALL BE OBSERVED AND TESTED BY THE GEOTECHNICAL ENGINEER DESIGNATED BY THE OWNER. ALL GRADING AND EARTHWORK SHALL BE DONE TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- SPECIAL INSPECTIONS BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- SHOULD THE RESULTS OF ANY COMPACTION TEST FAIL TO MEET THE MINIMUM REQUIRED DENSITY AS SPECIFIED ON THESE PLANS OR IN THE GEOTECHNICAL REPORT, THE DEFICIENCY SHALL BE CORRECTED TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER AT THE CONTRACTOR'S EXPENSE. THE EXPENSE OF RETESTING SUCH AREAS SHALL ALSO BE BORNE BY THE CONTRACTOR, AT NO COST TO THE OWNER.
- NOTIFY THE GEOTECHNICAL ENGINEER AT LEAST FIVE (5) WORKING DAYS PRIOR TO ANY GRADING OR FOUNDATION EXCAVATION.
- ALL SOILS UTILIZED FOR FILL PURPOSES SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE COMMENCEMENT OF GRADING OPERATIONS. IMPORTED SOILS SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE BEING BROUGHT TO THE SITE.
- EXCAVATION FOR ANY PURPOSE SHALL NOT REMOVE LATERAL SUPPORT FROM ANY FOUNDATION WITHOUT FIRST UNDERPINNING OR PROTECTING THE FOUNDATION AGAINST SETTLEMENT OR LATERAL TRANSLATION. THE EXCAVATION OUTSIDE THE FOUNDATION SHALL BE BACKFILLED WITH SOIL THAT IS FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS, COBBLES AND BOULDERS OR WITH A CONTROLLED LOW-STRENGTH MATERIAL (CLSM). THE BACKFILL SHALL BE PLACED IN LIFTS AND COMPACTED IN A MANNER THAT DOES NOT DAMAGE THE FOUNDATION OR THE WATERPROOFING OR DAMPPROOFING MATERIAL. EXCEPTION: CLSM NEED NOT BE COMPACTED (REF. 2013 CBC 1804.1-1804.2)
- IMPERVIOUS SURFACES ADJACENT TO STRUCTURES SHALL SLOPE A MINIMUM OF 2% AWAY FROM THE STRUCTURE FOR A MINIMUM DISTANCE OF 10 FEET, UNLESS OTHERWISE SHOWN. LANDSCAPE AREAS ADJACENT TO STRUCTURES SHALL SLOPE A MINIMUM OF 5% AWAY FROM THE STRUCTURE FOR A MINIMUM DISTANCE OF 10 FEET, UNLESS OTHERWISE SHOWN. (REF. 2013 CBC 1804.3)
- RELATIVE COMPACTION SHALL BE EXPRESSED AS A PERCENTAGE OF THE MAXIMUM DRY DENSITY OF THE MATERIAL AS DETERMINED BY ASTM TEST D-1557. IN-PLACE DENSITY TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM TESTS D-1556 AND D-6938.
- GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING STRUCTURES, OBSTRUCTIONS, TREES SHOWN TO BE REMOVED, VEGETATION, ORGANIC-LADEN TOPSOIL, LARGE ROOTS, DEBRIS, AND OTHER DELETERIOUS MATERIALS. BURIED SUBSURFACE OBJECTS ENCOUNTERED, OR VOIDS CREATED DURING SITE PREPARATION SHALL BE CALLED TO THE ATTENTION OF THE GEOTECHNICAL ENGINEER.
- FOLLOWING SITE PREPARATION IN THE AREAS TO RECEIVE FILL, THE UPPER 12 TO 18 INCHES OF TOPSOIL SHOULD BE REMOVED (OVEREXCAVATED). THE SOILS EXPOSED BY OVEREXCAVATION SHOULD BE SCARIFIED APPROXIMATELY 12 INCHES; MOISTURE CONDITIONED TO OPTIMUM MOISTURE CONTENT AND RECOMPACTED TO A MINIMUM 90 PERCENT OF MAXIMUM DRY DENSITY.
- SURPLUS EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE SITE IN A LEGAL MANNER. EXPORT SOIL SHALL BE TRANSPORTED TO A LEGAL DUMP OR TO A PERMITTED SITE APPROVED BY THE COUNTY. CONTRACTOR SHALL NOTIFY GRADING OFFICIAL OF PROPOSED HAUL ROUTE.
- SUBGRADE PREPARATION AND ENGINEERED FILL THAT SUPPORTS FOOTINGS, SLABS, PAVEMENTS, AND FLATWORK SHALL EXTEND AT LEAST 5 FEET BEYOND THE LIMITS OF PROPOSED IMPROVEMENTS.
- FOOTINGS LOCATED ADJACENT TO OTHER FOOTINGS OR RETAINING WALLS SHALL HAVE THEIR BEARING SURFACES FOUNDED BELOW A 1:1 (H:V) LINE PROJECTED UPWARD FROM THE BOTTOM EDGE OF THE ADJACENT FOOTING, WALL, OR UTILITY TRENCH.
- THE GEOTECHNICAL ENGINEER SHALL INSPECT ALL SURFACES TO RECEIVE FILL PRIOR TO THE PLACEMENT OF ANY FILL.
- ENGINEERED FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES IN LOOSE THICKNESS, MOISTURE CONDITIONED, AND COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DRY DENSITY.
- WHERE CUTS IN THE BUILDING AREAS EXCEED DEPTHS OF 15- FEET, OVEREXCAVATION OF ADDITIONAL SOIL WILL NOT BE NECESSARY. HOWEVER, THE CUTS SHOULD BE OBSERVED BY A REPRESENTATIVE OF THIS FIRM TO VERIFY THAT NO DELETERIOUS MATERIALS ARE PRESENT AND THAT THE EXPOSED SOIL IS SUFFICIENTLY UNIFORM TO SUPPORT SLABS AND FOUNDATIONS. THE CUT SURFACES SHOULD THEN BE SCARIFIED APPROXIMATELY 12 INCHES; MOISTURE CONDITIONED TO NEAR OPTIMUM MOISTURE CONTENT, AND COMPACTED TO A MINIMUM 90 PERCENT OF MAXIMUM DRY DENSITY.
- CUT/FILL SLOPES SHALL BE NO STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2H:1V) UNLESS OTHERWISE APPROVED AT THE TIME OF GRADING BY THE GEOTECHNICAL ENGINEER.
- WHERE EXISTING GRADE IS AT A SLOPE OF 10H:1V (10%) OR STEEPER, BENCHING SHALL BE PROVIDED. A TOE KEY SHALL BE CUT A MINIMUM DEPTH DETERMINED BY THE GEOTECHNICAL ENGINEER, INTO UNDISTURBED SOILS TO THE INSIDE OF THE FILL'S TOE. THIS KEY SHALL BE A MINIMUM OF 12 FEET WIDE AND SLOPE AT NO LESS THAN 2% INTO THE SLOPE. AS THE FILL ADVANCES UP-SLOPE, BENCHES AT LEAST 3 FEET WIDE SHALL BE SCARIFIED INTO THE FILL/UNDISTURBED SOIL INTERFACE.
- ENGINEERED FILL IN BUILDING AREAS, STRUCTURAL BACKFILL, AND THE UPPER 12" BELOW FLATWORK AND PAVEMENT SHALL BE COMPACTED TO A MINIMUM OF 95% OF ITS MAXIMUM DRY DENSITY.
- ALL RE-COMPACTED AND ENGINEERED FILL SOILS SHALL BE COMPACTED WITHIN 2 PERCENT OF THE LABORATORY OPTIMUM MOISTURE CONTENT FOR THE SOIL.
- ON-SITE NON-ORGANIC SOIL IS GENERALLY ACCEPTABLE FOR USE AS ENGINEERED FILL. NATIVE SOIL USED AS ENGINEERED FILL SHALL MEET THE FOLLOWING REQUIREMENTS:
  - SOIL SHALL BE FREE OF ORGANICS, DEBRIS, AND OTHER DELETERIOUS MATERIALS.
  - ROCK OVER 3 INCHES IN ITS MAXIMUM DIMENSION MAY NOT BE USED IN AN ENGINEERED FILL.
  - SOIL SHALL BE GRANULAR, HAVING A PLASTICITY INDEX OF LESS THAN 12.
  - SOIL SHALL HAVE SUFFICIENT BINDER TO ALLOW FOOTING AND UNSHORED EXCAVATIONS WITHOUT CAVING
- IN THE EVENT THAT ANY UNUSUAL CONDITIONS ARE ENCOUNTERED DURING GRADING OPERATIONS WHICH ARE NOT COVERED BY THE SOIL INVESTIGATION OR SPECIFICATIONS, THE SOILS ENGINEER SHALL BE IMMEDIATELY NOTIFIED SUCH THAT ADDITIONAL RECOMMENDATIONS MAY BE MADE.
- A "FINAL SOILS LETTER" FROM THE GEOTECHNICAL ENGINEER STATING THAT ALL EARTHWORK COMPLETED WAS IN ACCORDANCE WITH THE RECOMMENDATIONS STATED IN THE GEOTECHNICAL REPORT SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION.

### LEGEND

	100	GROUND CONTOUR
		SUBJECT PROPERTY LINE
		ADJACENT PROPERTY LINE
		HOMELAND BOUNDARY
		EASEMENT LINE
		CENTER LINE
	△100	CONTROL POINT
	●BM	BENCHMARK
	○+ 928.30	SPOT GRADE
	○12" OAK	TREE WITH CRITICAL ROOT ZONE
		STUMP OR SNAG (DEAD)
		TREE DRIP LINE
		DRAINAGE PATH
		CREEK/RIVER FLOW
		WATER SURFACE ELEVATION
		FLOW LINE
		AREA OF 30% OR GREATER SLOPE
	○OH	OVERHEAD UTILITY LINE(S)
	○E	UNDERGROUND ELECTRIC LINE
	○G	GAS LINE
	○GV or ICV	GAS VALVE, IRRIGATION CONTROL VALVE
	○SD	STORM DRAIN LINE
	○SDM	STORM DRAIN MANHOLE
	○DS	DOWNSPOUT
	○SS	SANITARY SEWER LINE (GRAVITY)
	○SSFM	SANITARY SEWER FORCE MAIN
	○SSM	SANITARY SEWER MANHOLE
	○SSCO	CLEANOUT
	○T	UNDERGROUND TELEPHONE LINE
	○w	WATER LINE
	○W	WELL
	○WV	WATER VALVE
	○FDC	FIRE DEPARTMENT CONNECTION
	○FH	FIRE HYDRANT
	□	UTILITY VAULT
	○1541.00 TOW	TOP OF WALL ELEVATION

### ABBREVIATIONS

±	PLUS OR MINUS; APPROX
AT	ASPHALT CONCRETE
AC	AREA DRAIN
AD	APPROXIMATE
APPROX	BEGIN CURVE
BC	BEGINNING POINT
BS	BOTTOM OF STAIR
BVC	BEGIN VERTICAL CURVE
BVCE	BVC ELEVATION
BVCS	BVC STATION
BW	BACK OF WALK
C&G	CURB AND GUTTER
CGSW	CURB, GUTTER AND SIDEWALK CENTERLINE
CL	CLASS
CLR	CLEAR
CMP	CORRUGATED METAL PIPE
CONC	CONCRETE
CONST	CONSTRUCT
CONT	CONTINUOUS
CY	CUBIC YARD
DI	DRAIN INLET
DIA	DIAMETER
DS	DOWNSPOUT
EX	EXISTING
EC	END CURVE
EG	EXISTING GRADE
ELEC	ELECTRIC
ELEV	ELEVATION
EQ	EQUAL
EVC	END VERTICAL CURVE
EVC ELEVATION	EVC ELEVATION
EVCST	EVC STATION
EX	EXISTING
FC	FACE OF CURB
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOWLINE
FR	FIRE RISER
FS	FINISHED SURFACE
GB	GRADE BREAK
GBE	GB ELEVATION
GBS	GB STATION
GRT	GRATE
GV	GAS VALVE/VAULT
HP	HIGH POINT
HORIZ.	HORIZONTAL
INV	INVERT
K	ALGEBRAIC DIFFERENCE
LD	LANDING
LF	LINEAR FEET
LFF	LOWER FINISH FLOOR
LP	LOW POINT
LT	LEFT
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
N.I.C.	NOT IN CONTRACT (BY OTHERS)
O.W.	ON CENTER
O.G.	ORIGINAL GROUND
P.A.	PLANTER AREA
PB	PULL BOX
PC	POINT OF CURVATURE
P.C.	POINT OF CONNECTION
P.O.C.	POINT OF REVERSE CURVATURE
PRC	POINT TANGENT
PT	POLYVINYL CHLORIDE
PVC	POINT OF VERTICAL INTERSECTION
PVI	RADIUS
R	R.C.
R.C.	RELATIVE COMPACTION
RCP	REINFORCED CONC PIPE
RT	RIGHT
RWL	RAIN WATER LEADER
SD	STORM DRAIN
SL	STREET LIGHT
SS	SANITARY SEWER
STA	STATION
SW	SIDEWALK
TBM	TEMPORARY BENCH MARK
TC	TOP OF CURB
TFC	TOP OF FLUSH CURB
TG	TOP OF GRATE
TOP	TOP OF PIPE
TS	TOP OF STAIR / TRAFFIC SIGNAL
TW	TOP OF WALL
TYP	TYPICAL
UFF	UPPER FINISH FLOOR
UG	UNDERGROUND
U.O.N.	UNLESS OTHERWISE NOTED
UNKN	UNKNOWN
VAR	VARIES
VC	VERTICAL CURVE
VERT.	VERTICAL
W	WATER
WM	WATER METER
WV	WATER VALVE

### SITE ADDRESS & APN

24915 BOOTS ROAD  
 MONTEREY COUNTY, CA  
 APN: 173-062-007  
 173-062-011

### CIVIL ENGINEER

WHITSON ENGINEERS  
 6 HARRIS COURT  
 MONTEREY, CA 93940

TEL (831) 649-5225

### CONTRACTOR

T.B.D.



VICINITY MAP

### CIVIL SHEET INDEX

C0.1	CIVIL COVER SHEET
C0.2	CIVIL DETAILS
C1.1	GRADING AND DRAINAGE PLAN
C1.2	DRIVEWAY PLAN AND PROFILE
C1.3	CIVIL GRADING SECTIONS
C2.1	SEPTIC PLAN*
C3.1	TEMPORARY EROSION CONTROL PLAN

\*PRESSURIZED SEPTIC SYSTEM SHALL BE A DEFERRED SUBMITTAL

SPECIAL TESTS AND INSPECTION SCHEDULE					
THE FOLLOWING ITEMS SHALL BE INSPECTED. "SPECIAL INSPECTION" SHALL CONFORM TO 2016 CBC 1704.7. SPECIAL INSPECTION AGENCIES AND/OR INDIVIDUALS SHALL BE RETAINED BY THE OWNER AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO ANY WORK. FOR MATERIAL TESTING REQUIREMENTS, SEE SPECIFICATIONS AND/OR GENERAL NOTES. TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE BUILDING OFFICIAL AND ENGINEER.					
ITEM	REQ.	REMARKS	INSPECTOR NAME	START DATE	END DATE
FOUNDATION EXCAVATIONS	YES	BY SOIL ENGINEER / PERIODIC			
SUBGRADE / FINISH GRADE PREPARATION	YES	BY SOIL ENGINEER / PERIODIC			
CLASSIFICATION/TESTING FILL MATERIAL	YES	BY SOIL ENGINEER / PERIODIC			
OBSERVATION OF FILL MATERIAL/COMPACTION	YES	BY SOIL ENGINEER / CONTINUOUS			
FOUNDATION	YES	BY SOIL ENGINEER / PERIODIC VERIFICATION - MATERIALS BELOW FOOTING/Achieve BEARING CAPACITY			
MASONRY & CONCRETE CONSTRUCTION	YES	TO BE DETERMINED / PERIODIC			
REINFORCING STEEL CONSTRUCTION	YES	TO BE DETERMINED / PERIODIC			
SOILS ENGINEER TO PROVIDE OBSERVATION DURING GRADING AND FOUNDATION PHASE OF CONSTRUCTION.					

REVISIONS:

NO.	BY:	DATE:	DESCRIPTION:

DATE: 2/6/17  
 SCALE: N.T.S.  
 ENGR. SA  
 JOB NO.: 1719/01

**WHITSON ENGINEERS**  
 6 Harris Court - Monterey, CA 93940  
 831 649-5225 - Fax 831 373-5065  
 CIVIL ENGINEERING - LAND SURVEYING - PROJECT MANAGEMENT

**WAYLAND RESIDENCE**

MONTEREY COUNTY CALIFORNIA

**SINGLE FAMILY RESIDENCE GRADING AND DRAINAGE PLAN**

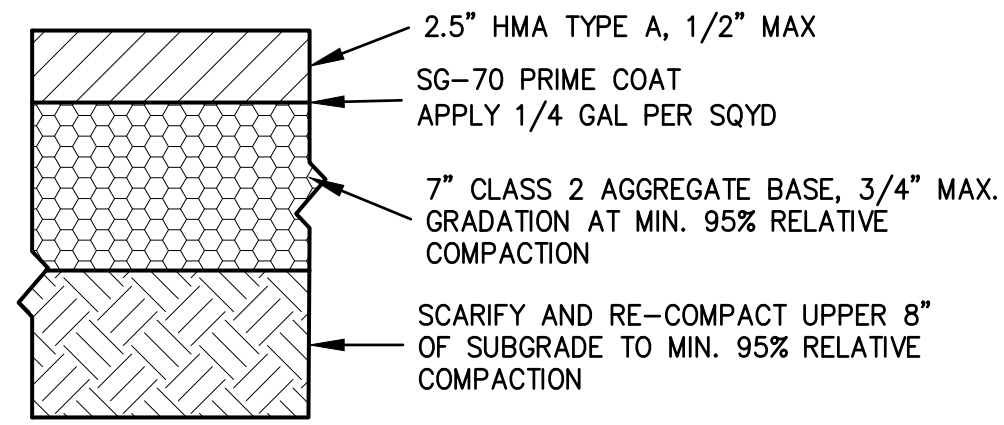
COVER SHEET

APN 173-062-007 AND 173-062-011

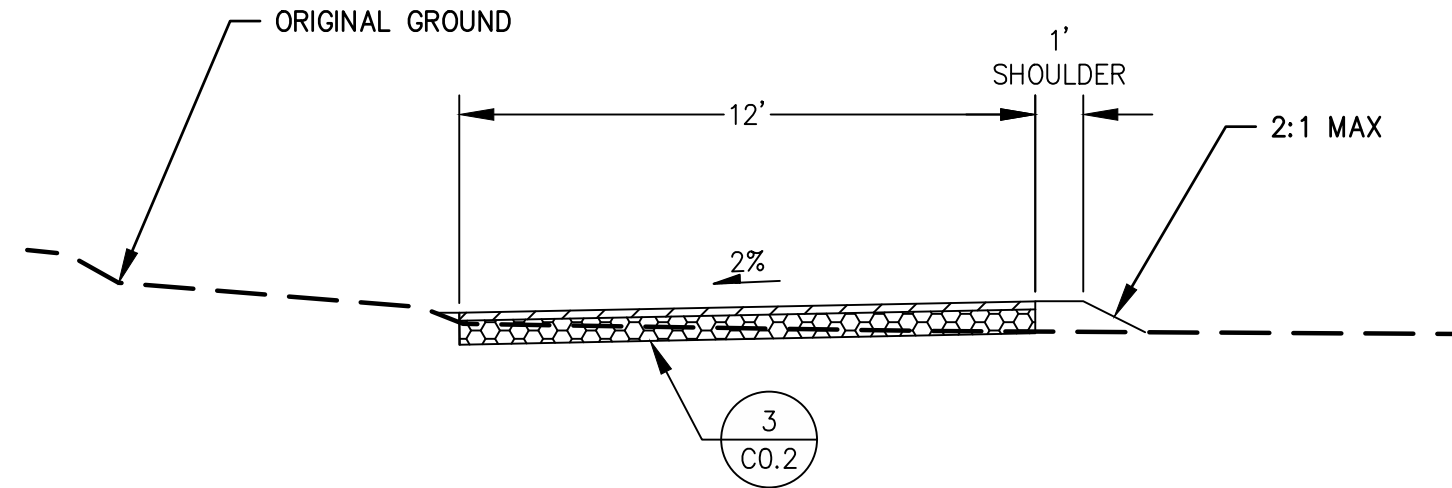




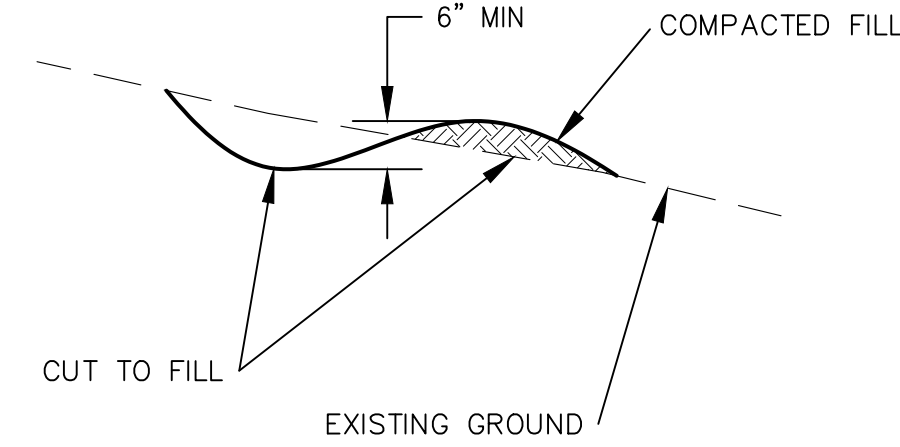
Know what's below.  
Call before you dig.



**3 AC PAVEMENT**  
SCALE: NONE

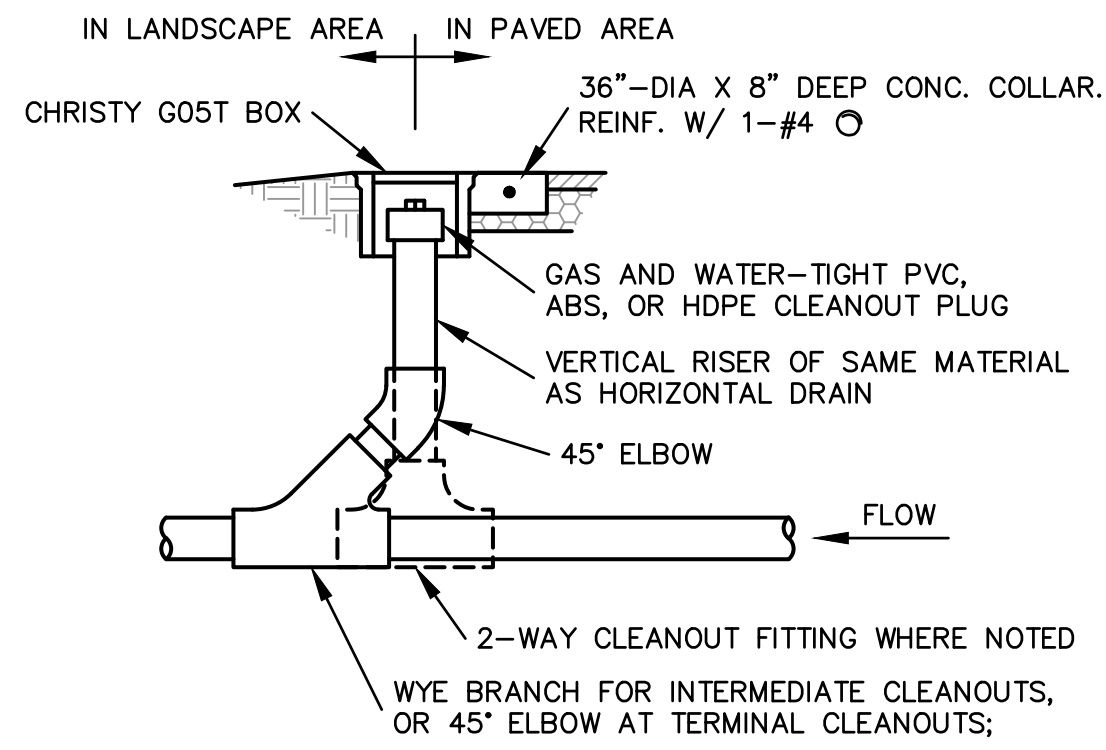


**6 TYPICAL DRIVEWAY SECTION**  
SCALE: NONE

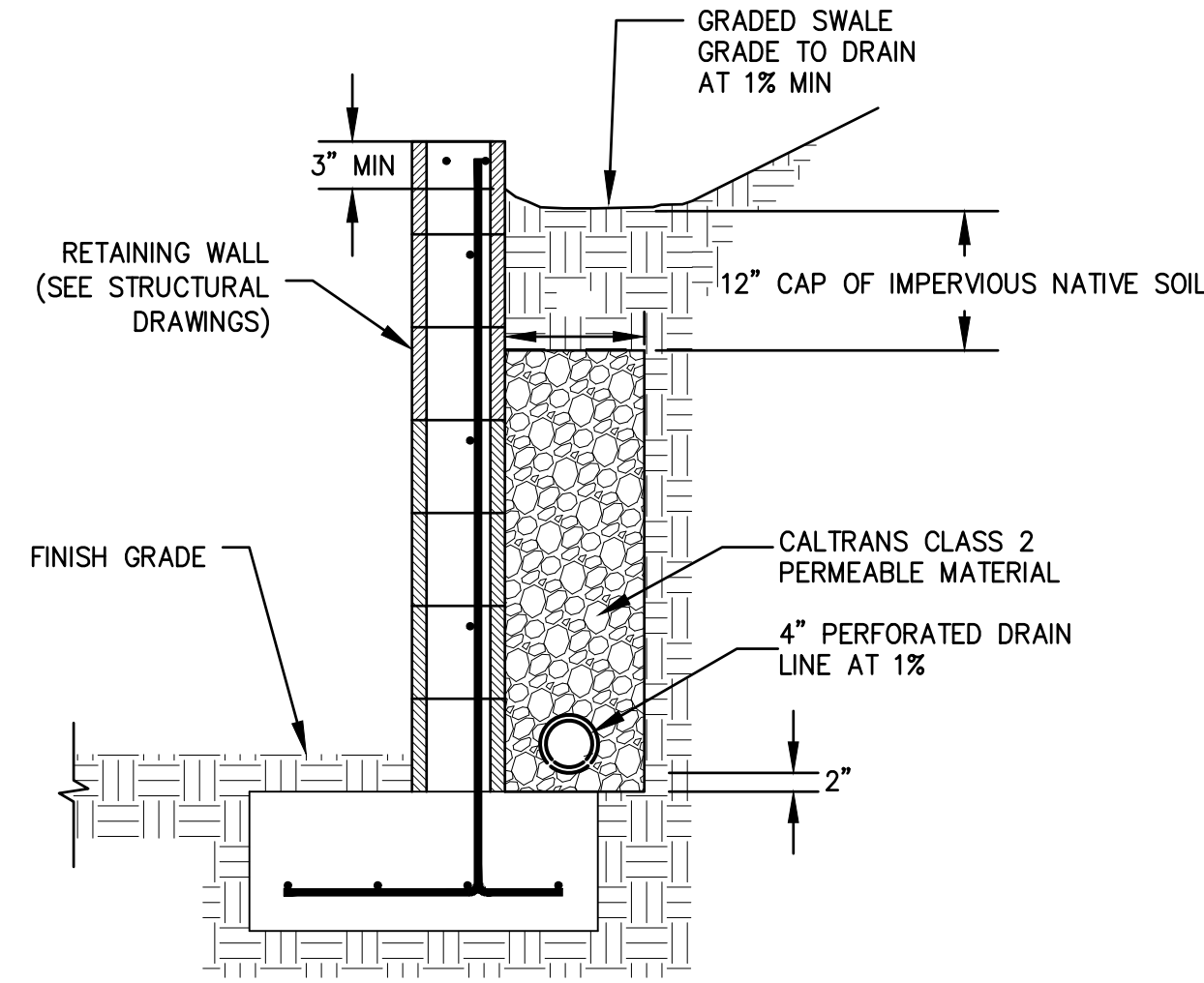


NOTE: SEED OR PLANT DISTURBED AREAS

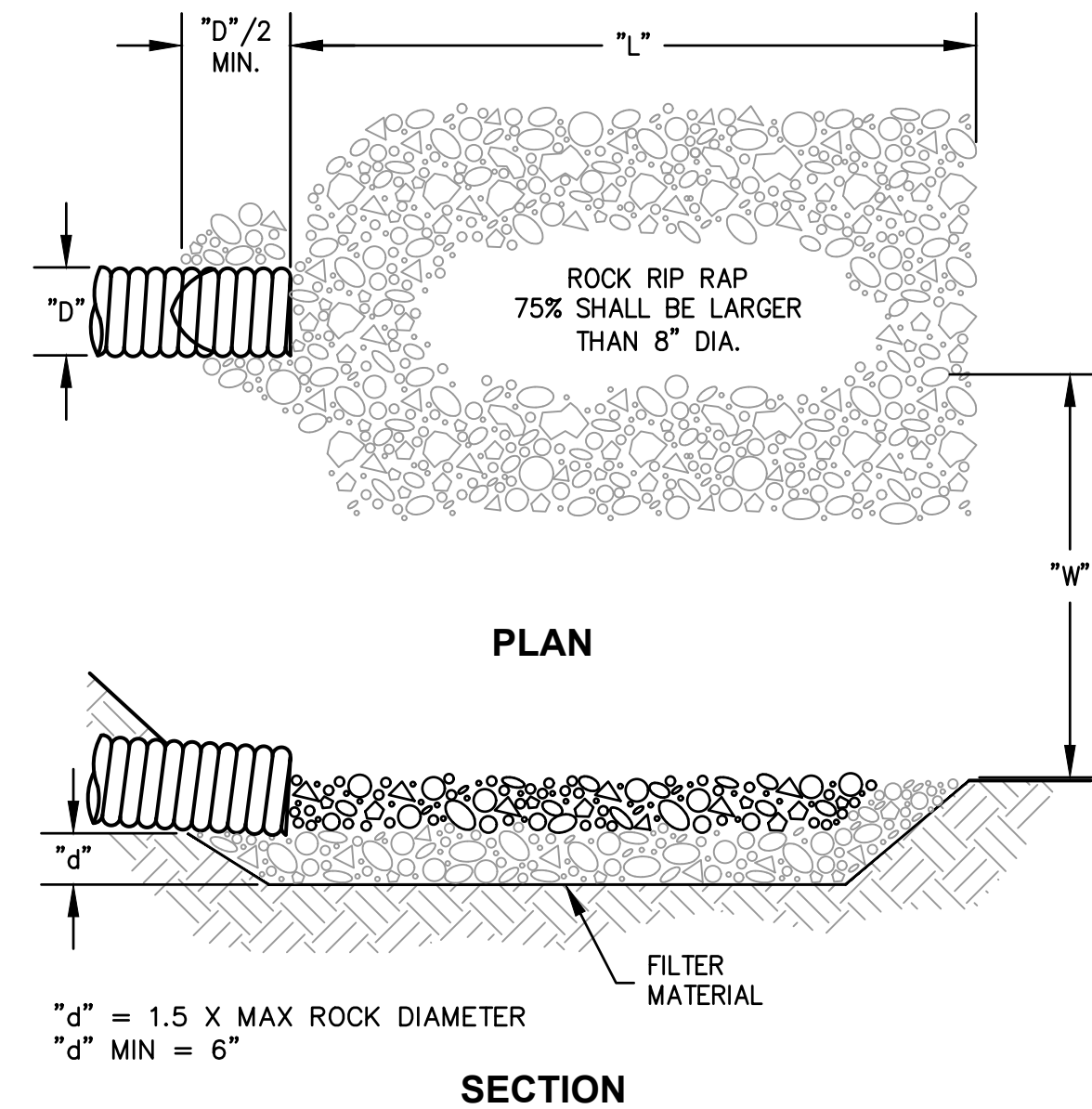
**8 BROW DITCH**  
SCALE: NONE



**2 CLEAN OUT**  
SCALE: NONE



**5 WALL DRAIN DETAIL**  
SCALE: NONE



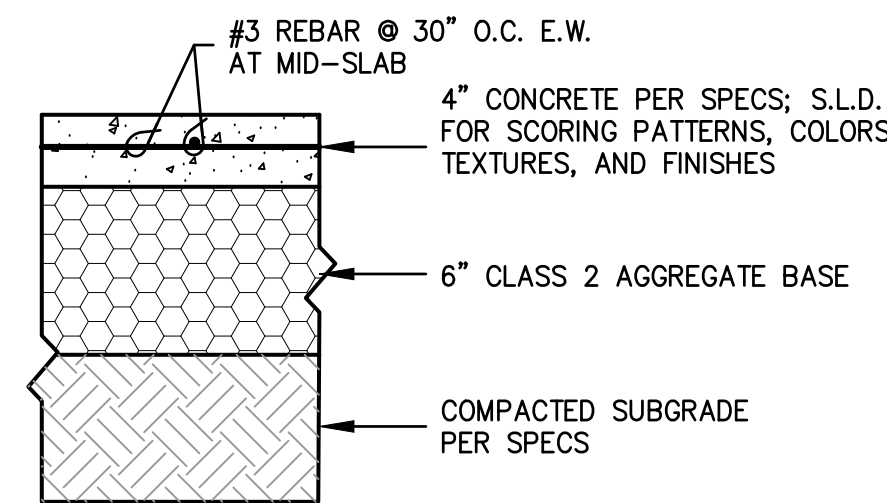
TYPE SHOWN ON PLANS

TYPE	L (FT)	W (FT)	D (IN)
A	8	5	12
B	5	3	8
C	3	2	8

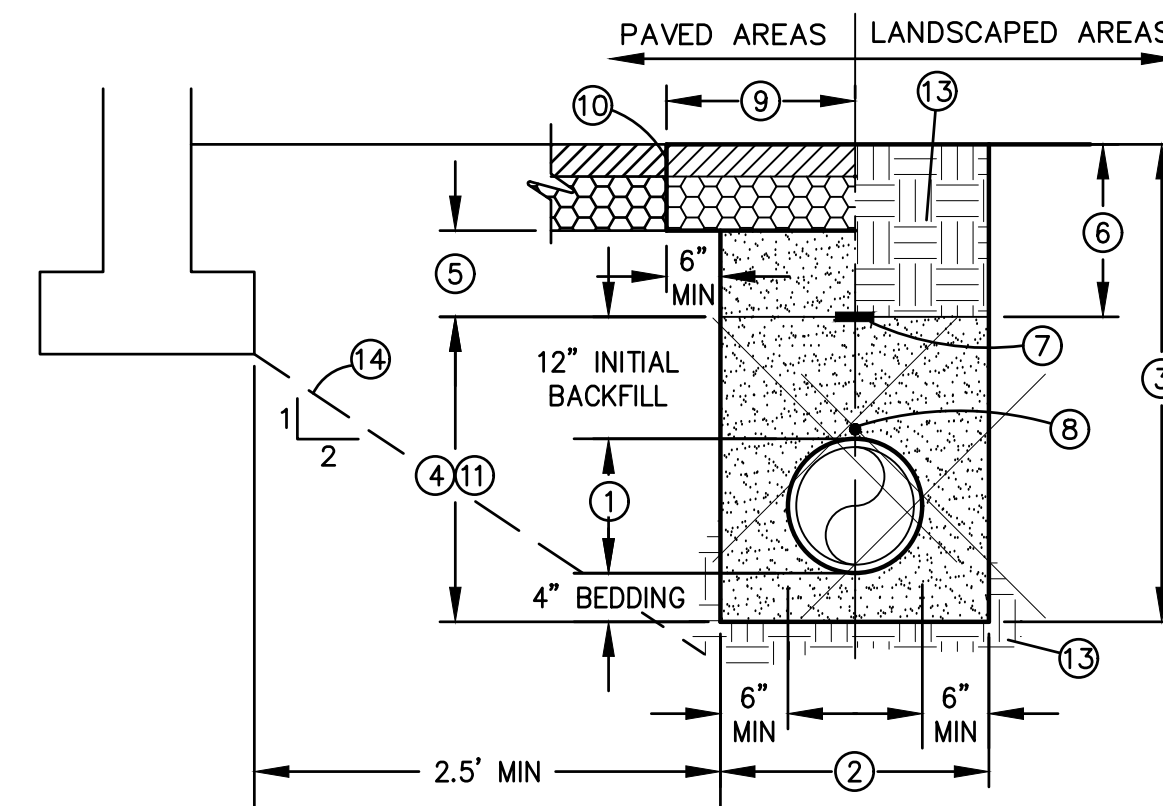
- NOTES:
- "L", "W", and "D" AS SHOWN ON PLANS
  - APRON SHALL BE SET AT ZERO GRADE AND ALIGNED STRAIGHT
  - FILTER MATERIAL SHALL BE FILTER FABRIC OR 6" THICK MINIMUM GRADED GRAVEL LAYER
  - ROCK SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND ENGINEER

**1 ROCK SLOPE PROTECTION**  
SCALE: NONE

**4 CONCRETE PEDESTRIAN PAVEMENT**  
SCALE: NONE



**7 PRIVATE UTILITY TRENCHING**  
SCALE: NONE



KEYNOTES

- PROPOSED PRIVATE UTILITY; PIPE ZONE
- PIPE BEDDING AND INITIAL BACKFILL: CLEAN SAND AS DEFINED IN ASTM 2487-10, WITH SAND EQUIVALENT OF 30 OR GREATER, COMPACTED IN MAX 8" LIFTS TO MIN. 95% R.C
- TRENCH DEPTH AS SHOWN ON PLANS. IF NOT SHOWN OR OTHERWISE SPECIFIED, PROVIDE MIN 36" COVER FOR WATER MAINS 4" AND LARGER, AND MIN 30" COVER FOR OTHER FACILITIES.
- PROVIDE INSULATED 12 AWG TRACER WIRE FOR ALL EXTERIOR NON-METALLIC WATER AND GAS PIPES 4"-DIA AND LARGER. TAPE TO TOP OF PIPE AT 10' INTERVALS. EXTEND TO THE SURFACE AT VALVE BOXES, RISERS, ETC., SO LOCATOR EQUIPMENT CAN BE CONNECTED.
- FINAL BACKFILL IN BUILDING, SLAB, FLATWORK, AND PAVEMENT AREAS: CLEAN SAND AS DEFINED IN ASTM 2487-10, WITH SAND EQUIVALENT OF 30 OR GREATER, COMPACTED IN MAX 8" LIFTS TO MIN. 95% R.C.
- FINAL BACKFILL IN LANDSCAPE AREAS: NATIVE MATERIAL COMPACTED IN MAX 8" LIFTS TO MIN. 85% R.C.
- PLACE 3"-WIDE WARNING TAPE 12" ABOVE PIPE.
- PIPE TRENCHING WORK IN EXISTING IMPROVED STREETS SHALL INCLUDE REPLACEMENT OF EXISTING PAVEMENT. THE THICKNESS OF THE NEW AC AND AB SHALL BE EQUIVALENT TO THE EXISTING AC AND AB THICKNESS, OR 2.5" AC ON 8" AB, WHICHEVER IS GREATER. TRENCH PATCH SHALL EXTEND MIN 6" BEYOND TRENCH WALL.
- ALL STREET CUTS SHALL BE NEATLY SAWCUT ON TRUE LINE TO 1-1/2" MINIMUM DEPTH AT A MINIMUM OF 6" BEYOND EDGE OF TRENCH WALL.
- IN VEHICULAR AREAS, WHERE FINISH GRADE IS LESS THAN 24" ABOVE THE TOP OF PIPE, BACKFILL TO MIN 6" ABOVE TOP OF PIPE WITH 5-SACK CONCRETE.
- ALL SOILS PROPOSED TO BE UTILIZED FOR TRENCH BEDDING AND BACKFILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE USE. IMPORTED SOILS SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE BEING BROUGHT TO THE SITE.
- UNDISTURBED SUBGRADE SOIL. THE GEOTECHNICAL ENGINEER SHALL APPROVE SUBGRADE PRIOR TO PLACING BEDDING.
- UTILITY TRENCHES THAT ARE PARALLEL TO THE SIDES OF BUILDINGS OR WALL FOOTINGS SHALL BE LOCATED SO THAT THE TRENCHES DO NOT EXTEND BELOW AN IMAGINARY LINE SLOPING DOWN AT A 1:1 (H:V) SLOPE FROM THE BOTTOM OUTSIDE EDGE OF THE FOOTINGS.
- WHERE UTILITY TRENCHES CROSS BENEATH FOOTINGS (INCLUDING PERIMETER FOUNDATIONS), A CONCRETE PLUG SHALL BE PROVIDED

STORM DRAINAGE

STORM DRAIN PIPE

4" AND 6" PIPE: RUBBER GASKETED PVC GRAVITY SEWER PIPE CONFORMING TO ASTM D-3034, SDR 35 OR SDR 26. ALTERNATE: RUBBER GASKETED PVC WATER PIPE CONFORMING TO AWWA C900, SDR 25. ALTERNATE, 4" AND 6" RAIN WATER LEADERS: SOLVENT WELD ABS SEWER PIPE CONFORMING TO ASTM D-2661, SCH 40.

8" AND LARGER PIPE: HDPE TYPE "S" (SMOOTH INTERIOR, CORRUGATED EXTERIOR) PIPE WITH WATER TIGHT JOINTS CONFORMING TO AASHTO DESIGNATION M 294. ALTERNATE: RUBBER GASKETED PVC GRAVITY SEWER PIPE CONFORMING TO ASTM D-3034, SDR 35 OR SDR 26. ALTERNATE: RUBBER GASKETED PVC WATER PIPE CONFORMING TO AWWA C900, SDR 25

NOTE:

ALL RAINWATER LEADERS SHALL BE 4" UNLESS OTHERWISE NOTED ON PLANS.

PERFORATED PIPE

SOLVENT WELD PERFORATED PVC PIPE CONFORMING TO ONE OF THE FOLLOWING: ASTM D-1785, SCH 40; ASTM D-3034, SDR 35 OR SDR 25; OR ASTM D-2729; OR SOLVENT WELD PERFORATED ABS PIPE CONFORMING TO ASTM D-2661, SCH 40.

PERFORATION PATTERN SHALL CONFORM TO AASHTO M-27 OR ASTM D-2729.

DRAINAGE INLETS

CAST IN PLACE CONCRETE AND PRECAST CONCRETE DRAIN INLETS SHALL CONFORM TO SECTION 51, "CONCRETE STRUCTURES", SECTION 52 "REINFORCEMENT", SECTION 70 "MISCELLANEOUS FACILITIES", SECTION 75 "MISCELLANEOUS METAL" AND THESE SPECIAL PROVISIONS.

PRECAST MEMBERS SHALL CONFORM TO SECTION 70-1.02H, "PRECAST CONCRETE STRUCTURES", OF THE STANDARD SPECIFICATIONS, AND NEW STANDARD PLAN D73A.

PRECAST UNIT JOINTS SHALL BE SEALED WITH PREFORMED BUTYL RUBBER JOINT SEALANT CONFORMING TO ASTM C-990.

PIPE CONNECTIONS TO CONCRETE STRUCTURES SHALL BE FITTED WITH AN ELASTOMERIC GASKET OR WATERSTOP CONFORMING TO ASTM C-923 OR ASTM C-1478 (FOR PVC PIPE), OR ASTM F-2510 (FOR HDPE TYPE 'S' PIPE).

THE BASE OF CONCRETE INLETS, WHETHER PRECAST OR CAST IN PLACE, SHALL BE FORMED IN THE FIELD TO PROVIDE A SMOOTH FLOW LINE TO AT LEAST THE PIPE SPRING LINE. THE INVERT PAVING THICKNESS SHALL BE AT LEAST 4" BELOW THE BOTTOM OF PIPE.

ALL INLETS SHALL BE H-20 LOAD RATED IF LOCATED IN VEHICULAR AREAS, AND PEDESTRIAN LOAD RATED OTHERWISE.

ADA-COMPLIANT GRATES SHALL HAVE LESS THAN 1/2" CLEAR BETWEEN BARS, AND THE BARS SHALL BE ALIGNED PERPENDICULAR TO THE PATH OF TRAVEL. ALL GRATES WITHIN PEDESTRIAN AREAS SHALL BE ADA-COMPLIANT, UON.

INLET SCHEDULE

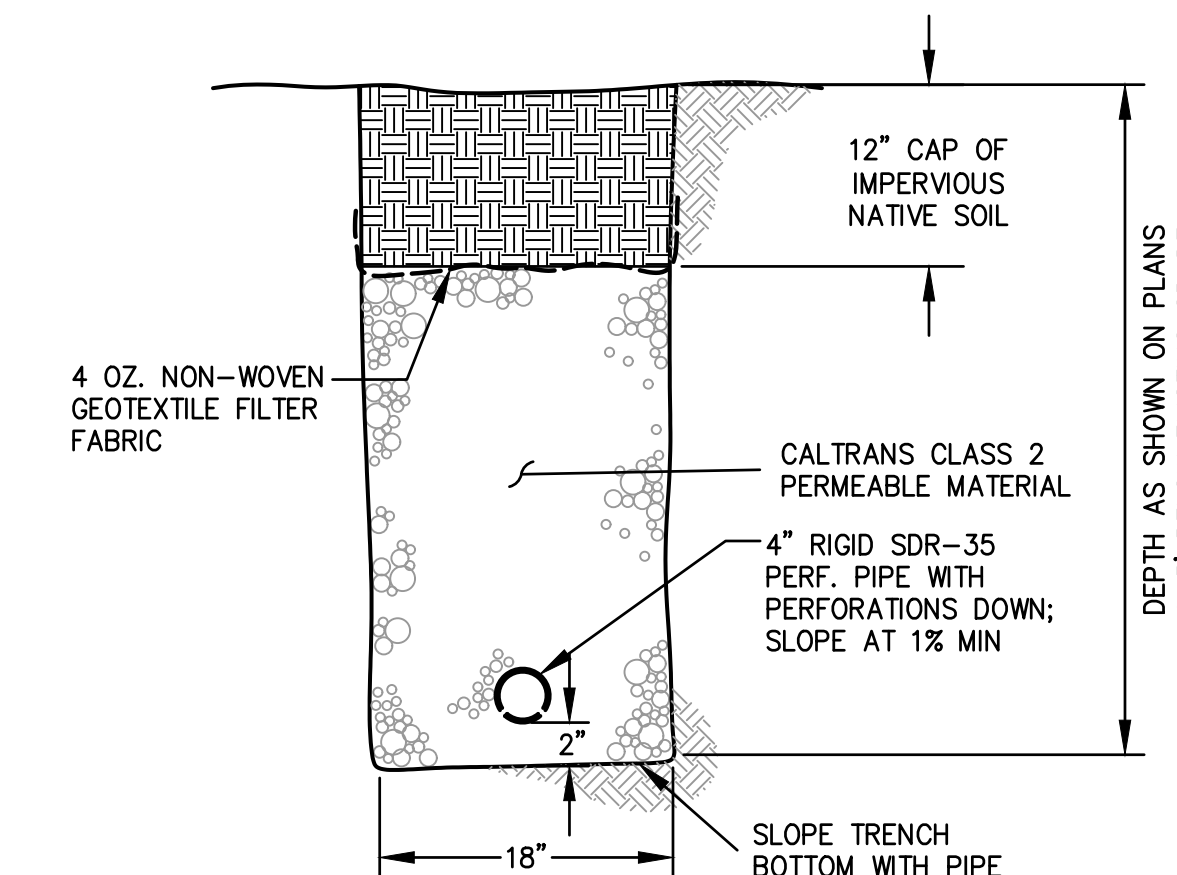
12"DI/JB: 12" SQUARE PRECAST CONCRETE DRAIN INLET WITH H-20 LOAD RATED GALVANIZED STEEL FRAME AND GRATE. JB CAN HAVE SOLID LIDS. CENTRAL PRECAST MODEL CP1212 OR EQUIVALENT.

18"DI/JB: 18" SQUARE PRECAST CONCRETE DRAIN INLET WITH H-20 LOAD RATED GALVANIZED STEEL FRAME AND GRATE. JB CAN HAVE SOLID LIDS. CENTRAL PRECAST MODEL CP1212 OR EQUIVALENT.

6"AD: 6"-DIA ROUND DRAIN INLET WITH HDPE GRATE. ADS OR NDS 6" DROP-IN GRATE, OR APPROVED EQUAL. PIPE RISER SHALL BE 6 INCHES IN DIAMETER OR SHALL MATCH HORIZONTAL STORM DRAIN PIPE IF SMALLER.

NOTES:

- ALL GRATES SHALL BE BOLT- OR LOCK-DOWN.
- ALL INLETS SHALL BE H-20 LOAD RATED IF LOCATED IN VEHICULAR AREAS, OR PEDESTRIAN LOAD RATED OTHERWISE.
- ALL RAINWATER LEADERS SHALL BE 4" UNLESS OTHERWISE NOTED ON PLANS.



**9 SUBDRAIN DETAIL**  
SCALE: NONE

REVISIONS:

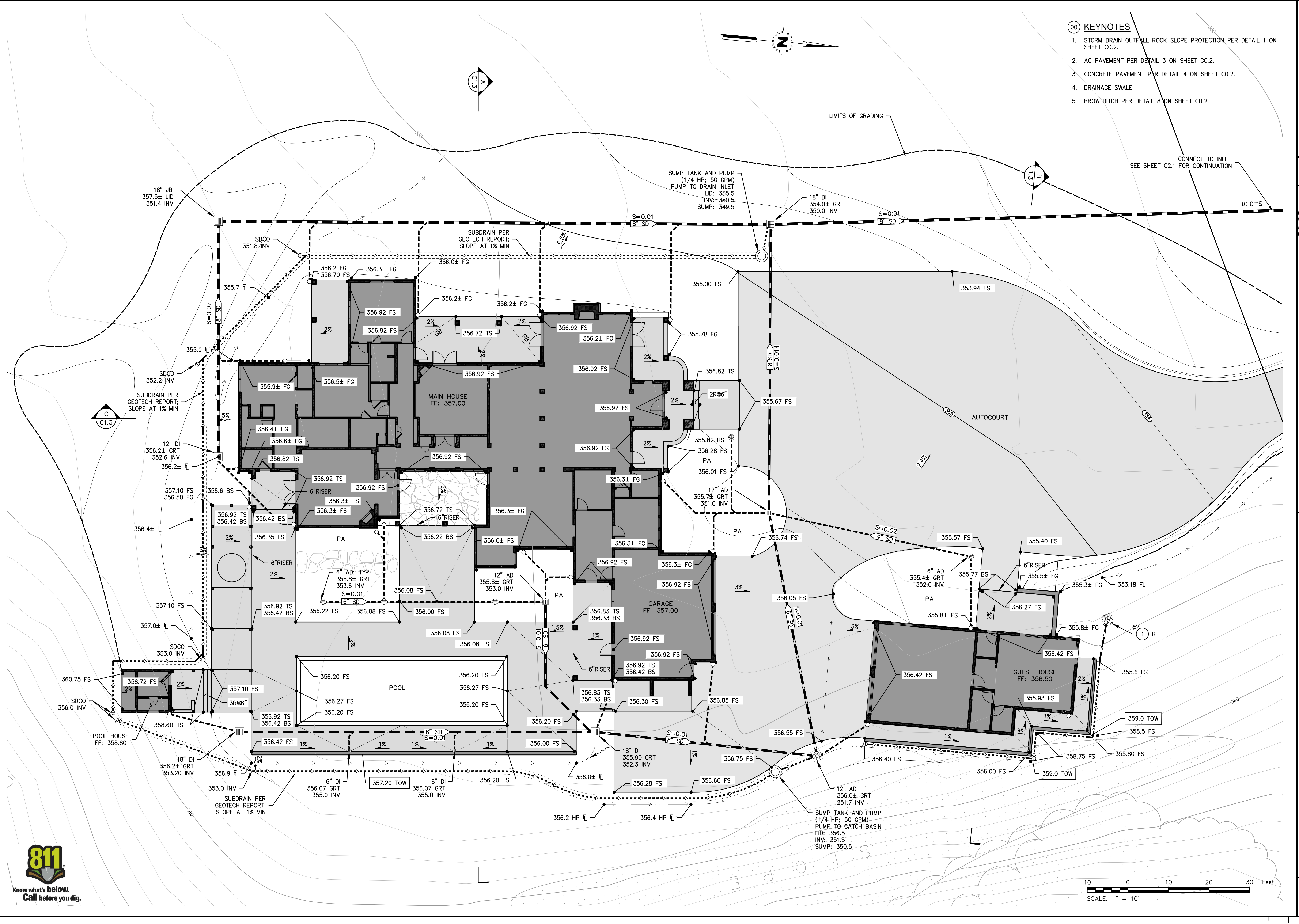
NO.	DATE	BY	DESCRIPTION

DATE: 2/6/17  
SCALE: N.T.S.  
ENGR: SA  
JOB NO.: 1719101

**WHITSON ENGINEERS**  
6 Harris Court • Monterey, CA 93940  
831 649-5225 • Fax 831 373-5065  
CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT

CALIFORNIA  
**WAYLAND RESIDENCE**  
SINGLE FAMILY RESIDENCE GRADING AND DRAINAGE PLAN  
CIVIL DETAILS

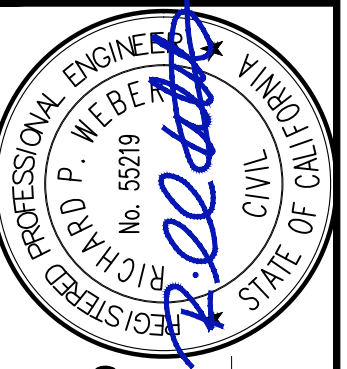
APN 173-062-007 AND 173-062-011



- KEYNOTES**
1. STORM DRAIN OUTFALL ROCK SLOPE PROTECTION PER DETAIL 1 ON SHEET C0.2.
  2. AC PAVEMENT PER DETAIL 3 ON SHEET C0.2.
  3. CONCRETE PAVEMENT PER DETAIL 4 ON SHEET C0.2.
  4. DRAINAGE SWALE
  5. BROW DITCH PER DETAIL 8 ON SHEET C0.2.

REVISIONS:	NO.	DATE:	DESCRIPTION:

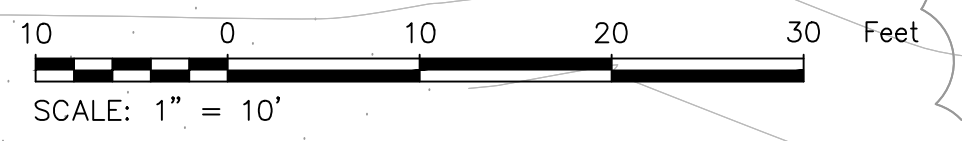
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 ENGR. SA  
 JOB NO.: 1718101



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 6 Harris Court - Monterey, CA 93940  
 831 649-5225 - Fax 831 373-5065  
 CIVIL ENGINEERING - LAND SURVEYING - PROJECT MANAGEMENT

**WAYLAND RESIDENCE**  
 CALIFORNIA  
 MONTEREY COUNTY  
 SINGLE FAMILY RESIDENCE GRADING AND DRAINAGE PLAN  
 GRADING AND DRAINAGE PLAN  
 APN 173-062-007 AND 173-062-011

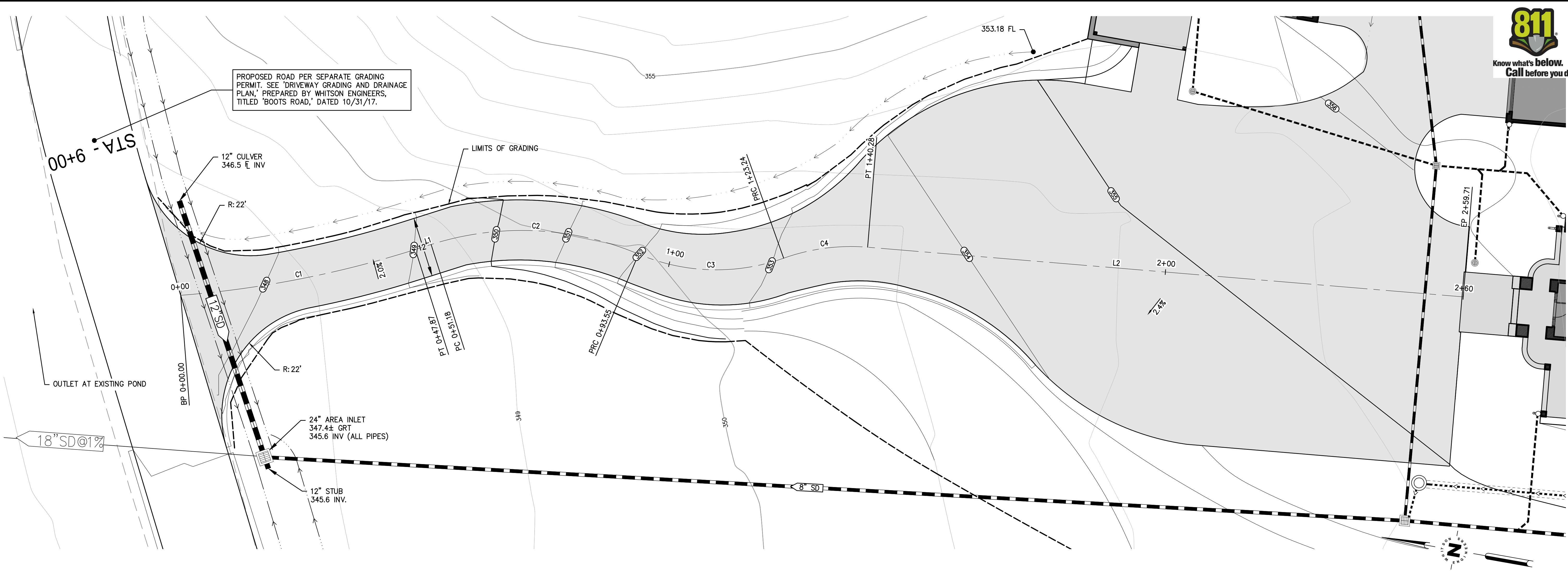
SHEET **C1.1** OF 7  
 2 INCHES



D:\Projects\Wayland\Task\Wayland\_24131718.dwg - 018-WAYLAND-02.dwg Jun 14, 2018 - 12:27pm



Know what's below. Call before you dig.



PROPOSED ROAD PER SEPARATE GRADING PERMIT. SEE 'DRIVEWAY GRADING AND DRAINAGE PLAN,' PREPARED BY WHITSON ENGINEERS, TITLED 'BOOTS ROAD,' DATED 10/31/17.

NO.	DATE	BY	DESCRIPTION

DATE: 2/6/17  
 SCALE: 1" = 10'  
 ENGR. SA  
 JOB NO.: 1719.01

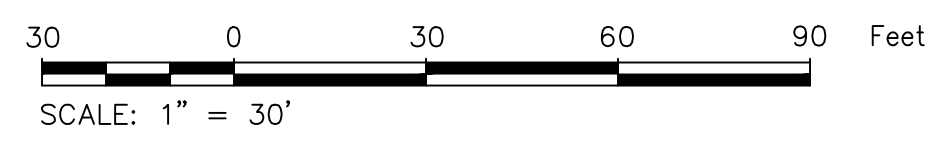
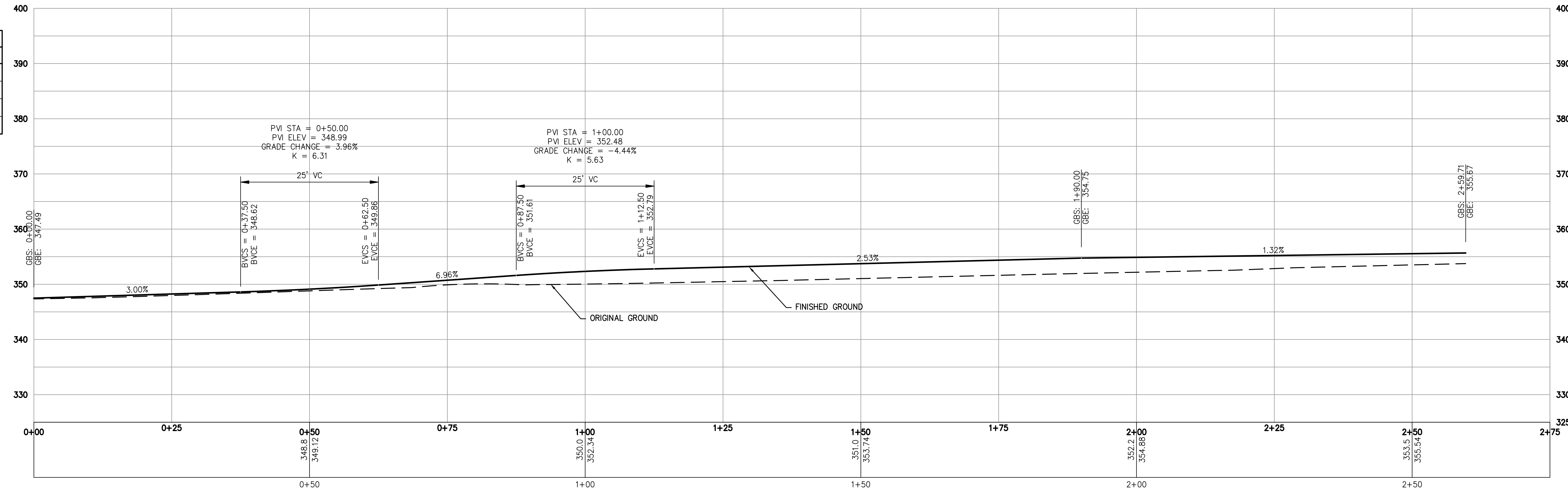


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 6 Harris Court - Monterey, CA 93940  
 831 649-5225 - Fax 831 373-5065  
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CURVE TABLE			
CURVE	RADIUS	DELTA	LENGTH
C1	210.00	13°03'41"	47.87
C2	60.00	40°27'36"	42.37
C3	40.00	42°31'25"	29.69
C4	40.00	24°24'25"	17.04

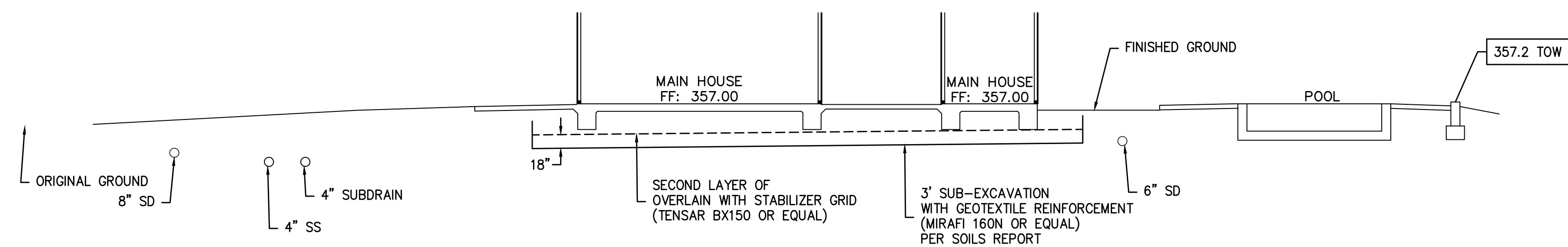
LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S27°34'54"E	3.31
L2	S5°14'17"E	119.42



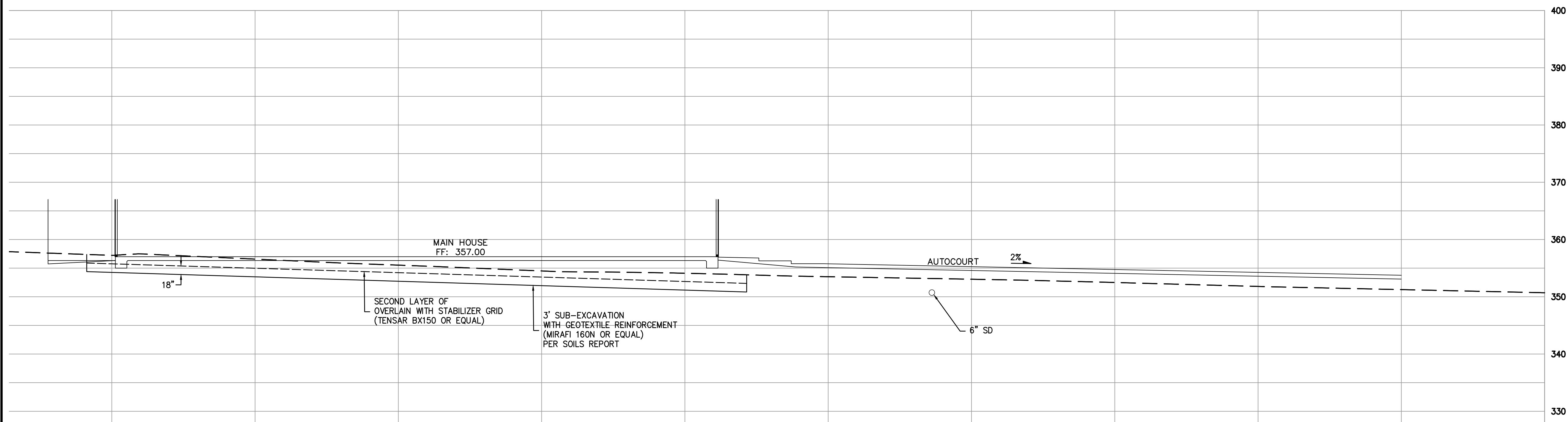
**WAYLAND RESIDENCE**  
 MONTEREY COUNTY CALIFORNIA  
**SINGLE FAMILY RESIDENCE GRADING AND DRAINAGE PLAN**  
 DRIVEWAY PLAN AND PROFILE  
 APN 173-062-007 AND 173-062-011

SHEET **C1.2** OF 7  
 INCHES 3

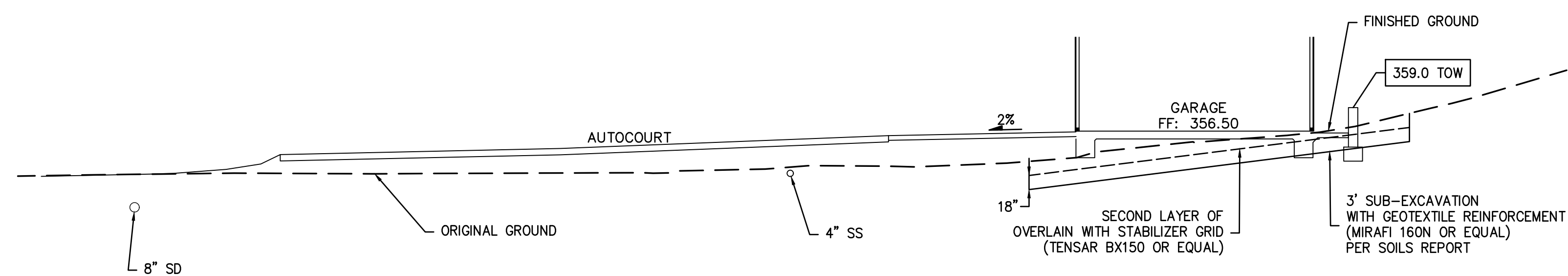
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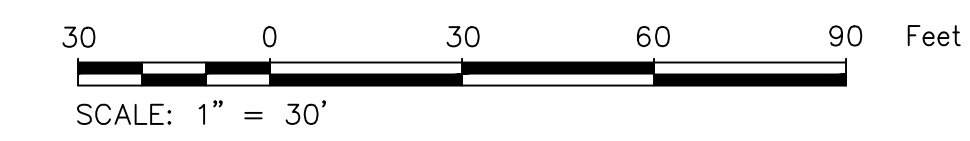
**A** MAIN HOUSE SECTION  
SCALE: 1" = 10'



**C** MAIN HOUSE SECTION  
SCALE: 1" = 10'



**B** GARAGE SECTION  
SCALE: 1" = 10'



REVISIONS:	DATE:	BY:	NO.	DESCRIPTION:

DATE: 2/6/17  
SCALE: 1" = 10'  
ENGR. SA  
JOB NO.: 1719101

**WHITSON ENGINEERS**  
6 Harris Court - Monterey, CA 93940  
831 649-5225 - Fax 831 373-5065  
CIVIL ENGINEERING - LAND SURVEYING - PROJECT MANAGEMENT

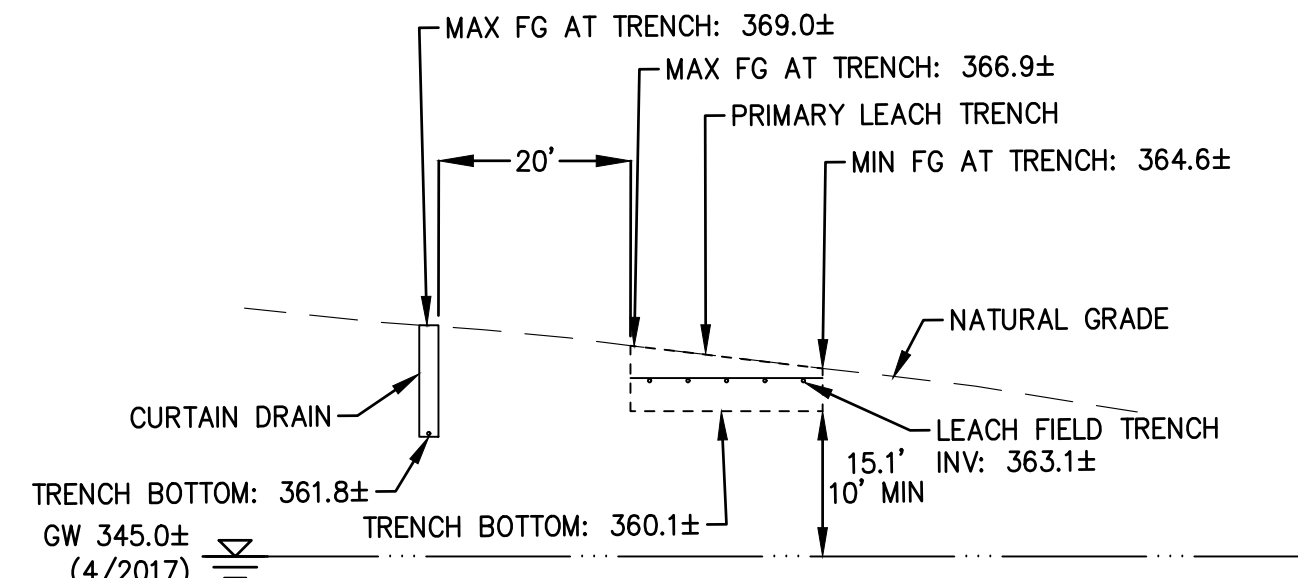
**WAYLAND RESIDENCE**  
MONTEREY COUNTY CALIFORNIA  
**SINGLE FAMILY RESIDENCE GRADING AND DRAINAGE PLAN**  
CIVIL GRADING SECTIONS  
APN 173-062-007 AND 173-062-011

SHEET **C1.3** OF 7  
INCHES 3

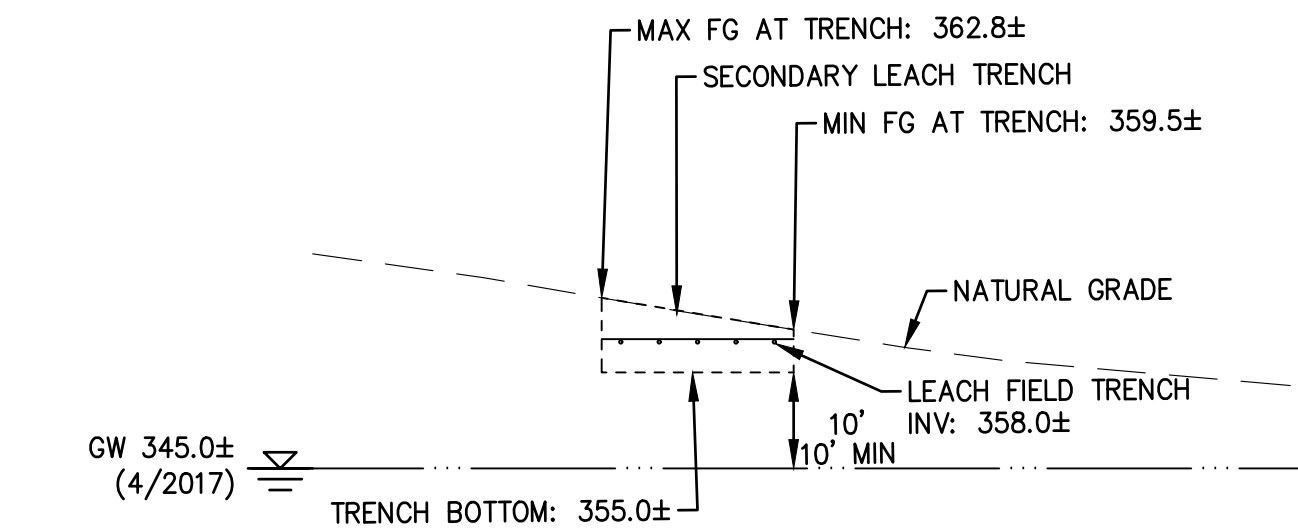
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**SEPTIC SYSTEM NOTES AND SPECIFICATIONS:**

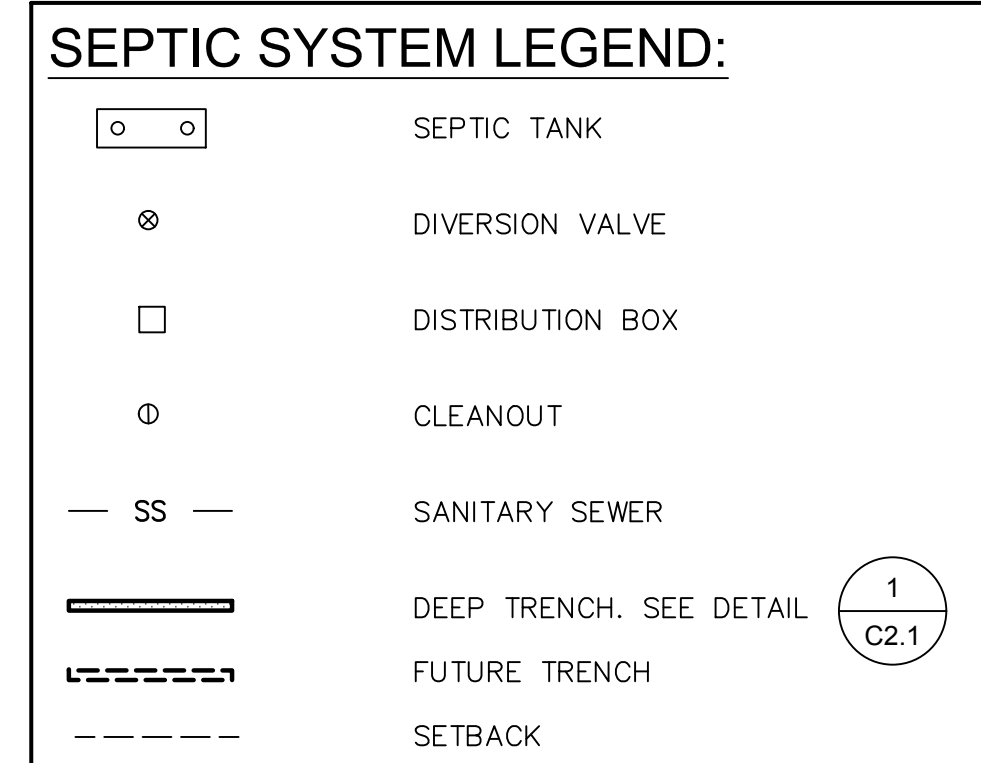
- CODES AND STANDARDS:**  
ALL WORK SHALL BE IN CONFORMANCE WITH:  
1.1. 2013 CALIFORNIA PLUMBING CODE  
1.2. MONTEREY COUNTY SEWAGE DISPOSAL ORDINANCE #04055
- SANITARY SEWER PIPE:** 4" SOLVENT-WELD ABS, OR 4" SOLVENT-WELD OR RUBBER GASKETED PVC PIPE WITH WATERTIGHT JOINTS, CONFORMING TO ONE OF THE FOLLOWING: ASTM D-2661; ASTM D-1785, SCH 40; ASTM D-3034, SCH 35; OR ASTM D-2729. PIPE SHALL BE PLACED AT 2% OR GREATER SLOPE.
- PERFORATED PIPE:** SOLVENT WELD PERFORATED PVC PIPE CONFORMING TO ONE OF THE FOLLOWING: ASTM D-1785, SCH 40; ASTM D-3034, SDR 35 OR SDR 25; OR ASTM D-2729; OR SOLVENT WELD PERFORATED ABS PIPE CONFORMING TO ASTM D-2661, SCH 40. PERFORATION PATTERN SHALL CONFORM TO AASHTO M-27 OR ASTM D-2729.
- DIVERSION VALVE:** 4"-DIA PVC VALVE WITH THREADED FEMALE SOCKETS DESIGNED FOR DIVERSION OF FLOWS TO SEPTIC FIELDS, AND OPERATED THROUGH A VERTICAL RISER USING A STANDARD WATER METER KEY, "BULL RUN VALVE" OR APPROVED EQUAL. VALVE RISER SHALL BE OF SAME MATERIAL AS SANITARY SEWER PIPE. IN PLANTER AREAS RISER SHALL TERMINATE 4" ABOVE THE SURFACE WITH WATER-TIGHT THREADED CLEANOUT PLUG. IN VEHICULAR AREAS, TERMINATE CLEANOUT PLUG IN A CHRISTY G03 TRAFFIC-RATED VALVE BOX, OR APPROVED EQUAL. INSTALL VALVE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND MONTEREY COUNTY SEWAGE DISPOSAL ORDINANCE #04055.
- SEPTIC TANK:** PRECAST CONCRETE SEPTIC TANK SHALL CONFORM TO MONTEREY COUNTY REQUIREMENTS, SHALL BE UPC CERTIFIED, AND SHALL CONFORM TO IAPMO/ANSI Z1000-2007. TANK, RISERS, AND LIDS SHALL BE HS-20 VEHICLE LOAD RATED IF LOCATED IN VEHICULAR AREA, OR RATED FOR A MINIMUM OF 500 PSF IF LOCATED OUTSIDE VEHICULAR AREAS, AND SOIL COVER IS 3 FEET OR LESS. CONNECTIONS TO PIPES SHALL BE MADE USING FLEXIBLE CONNECTORS CONFORMING TO ASTM C-1644. PRECAST SECTION JOINTS SHALL BE SEALED USING JOINT SEALANT OR GASKETS SUPPLIED BY MANUFACTURER. TANK AND APPURTENANCES SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. A TWO-WAY SEWER LINE CLEANOUT, WITH RISER TO THE SURFACE, LOCATED TWO FEET FROM THE INLET END OF THE SEPTIC TANK SHALL BE INSTALLED UNLESS MANHOLE RISERS TO THE SURFACE ARE OTHERWISE PROVIDED. IN-LINE EFFLUENT FILTERS SHALL BE INSTALLED. EFFLUENT FILTERS SHALL BE APPROVED BY THE MONTEREY COUNTY ENVIRONMENTAL HEALTH DEPARTMENT.
- LEACH FIELDS SHALL MEET ALL MONTEREY COUNTY SETBACK REQUIREMENTS.
- PROVIDE CLEANOUTS ON SANITARY SEWER LINES AT EACH AGGREGATE HORIZONTAL CHANGE IN DIRECTION EXCEEDING 135° AND AT INTERVALS NOT EXCEEDING 100'.



**A SEPTIC LEACH FIELD SECTION (DEFERRED SUBMITTAL)**  
C2.1 SCALE: 1"=20'

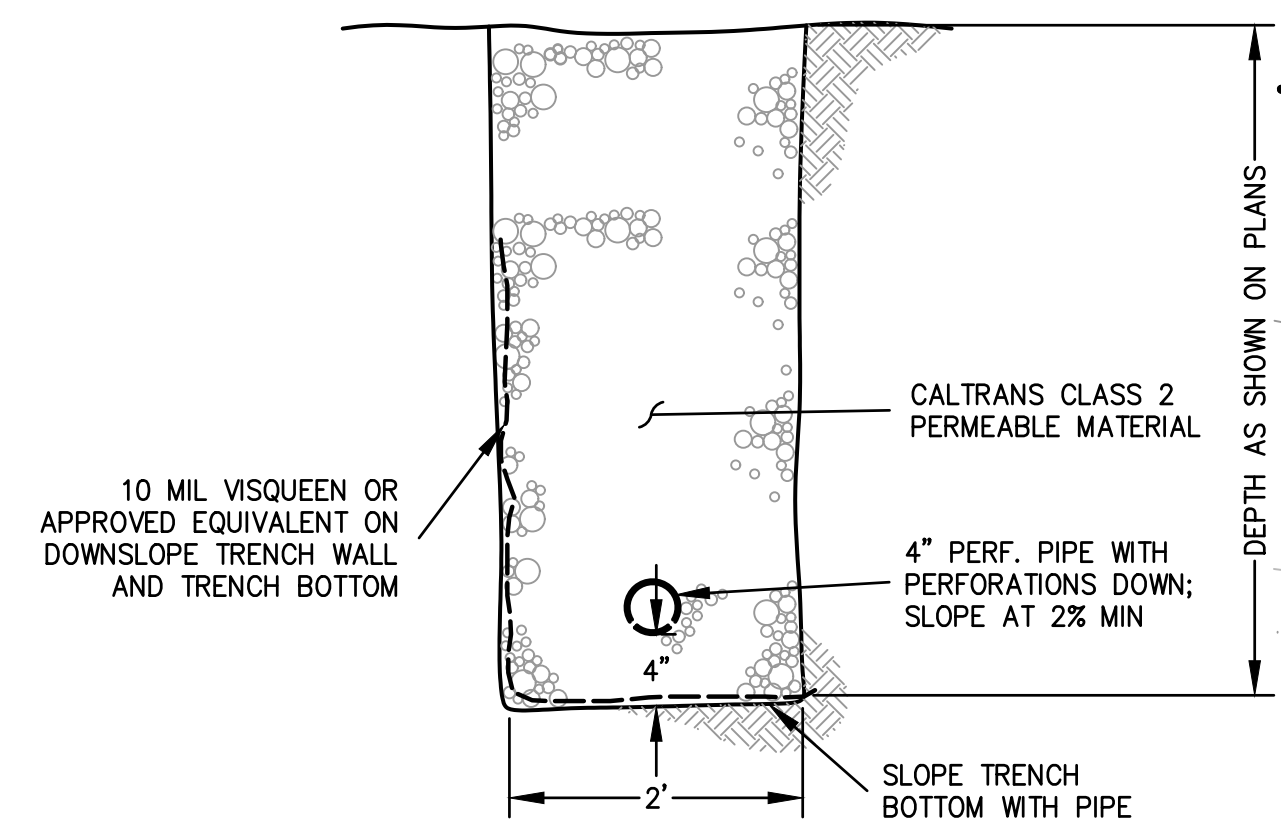


**B SEPTIC LEACH FIELD SECTION (DEFERRED SUBMITTAL)**  
C2.1 SCALE: 1"=20'

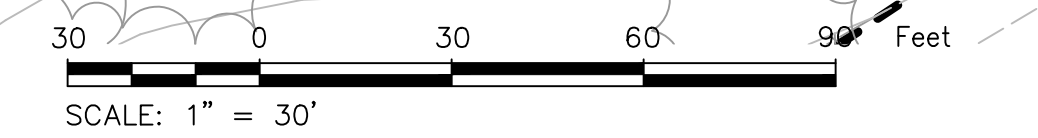
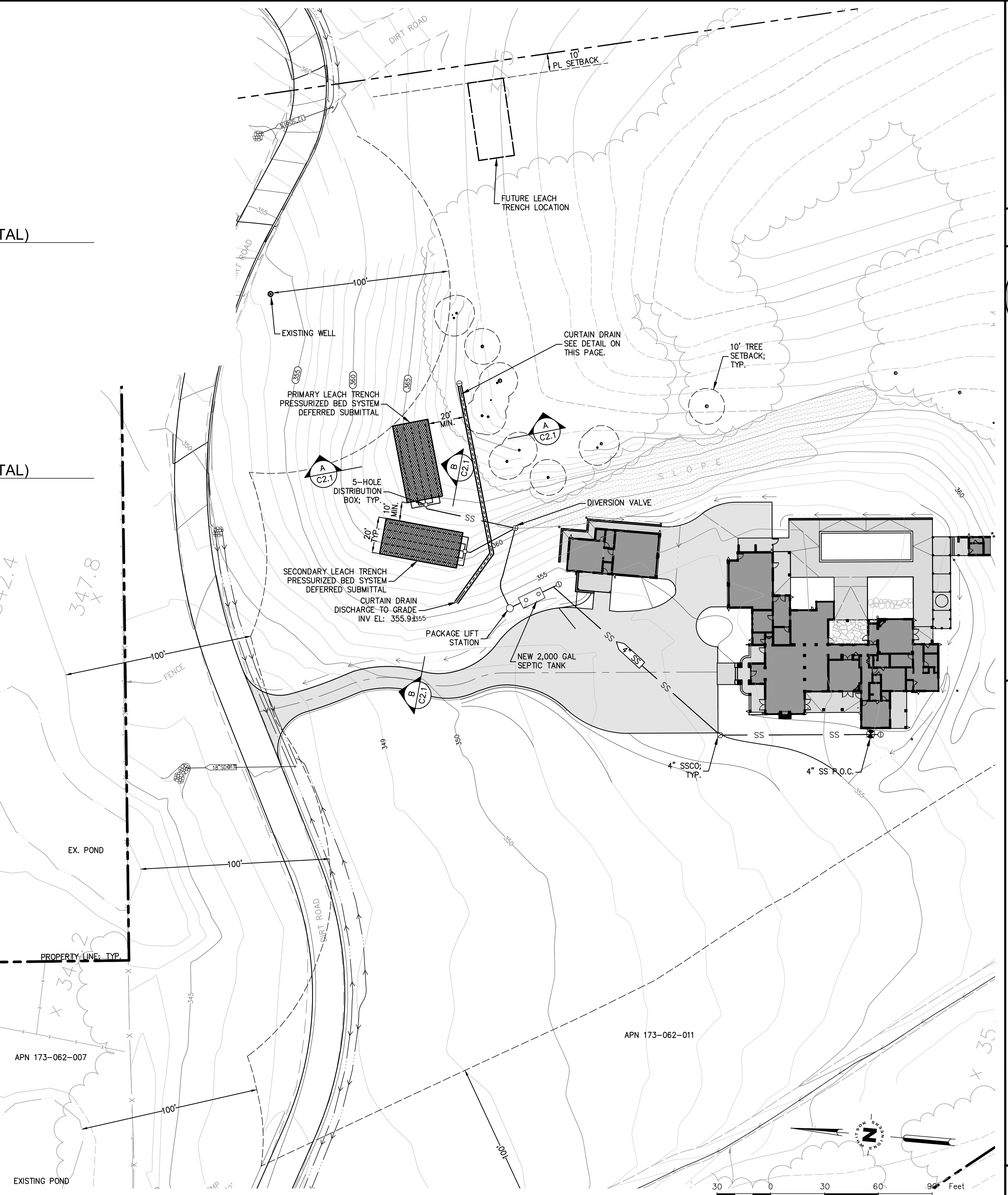


**SEPTIC SYSTEM DESIGN CRITERIA:**

NUMBER OF BEDROOMS = GUEST HOUSE(1) + MAIN HOUSE(3)  
 NUMBER OF PERSONS = 5  
 REQUIRED SEPTIC TANK SIZE = 2,000 GAL (4 BEDROOMS + DISPOSAL)  
 REQUIRED SEEPAGE AREA = 5 PERSONS X 75 GPD/PERSON / (3/10 GPD/SF) = 1250 SF  
 PROVIDED PRIMARY SEEPAGE AREA = BASE AREA + (DEPTH X TRENCH PERIMETER) = 1251 SF  
 (43.5' X 20') + 3'(43.5'+20'+43.5'+20')  
 PROVIDED SECONDARY SEEPAGE AREA = SAME AS PRIMARY  
 FUTURE SEEPAGE AREA = SAME AS PRIMARY



**2 CURTAIN DRAIN DETAIL**  
C2.1 SCALE: NONE



DATE: 2/6/17	REVISIONS:
SCALE: 1"=30'	NO. BY: DATE: DESCRIPTION:
ENGR: SA	
JOB NO.: 1719101	

**WHITSON ENGINEERS**  
 6 Harris Court - Monterey, CA 93940  
 831 649-5225 - Fax 831 373-5065  
 CIVIL ENGINEERING - LAND SURVEYING - PROJECT MANAGEMENT

**WAYLAND RESIDENCE**  
 CALIFORNIA  
 MONTEREY COUNTY  
 SINGLE FAMILY RESIDENCE GRADING AND DRAINAGE PLAN  
 SEPTIC PLAN

SHEET **C2.1** OF 7



# WATER POLLUTION CONTROL PLAN

- ESTIMATED TOTAL DISTURBED AREA: 0.98± AC. THIS PLAN SHALL BE USED IN CONJUNCTION WITH THE PROJECT SWPPP.
- BEST MANAGEMENT PRACTICES (BMPs) (MATERIALS AND THEIR INSTALLATION) SHALL CONFORM TO ONE OF THE FOLLOWING:
  - THE 2011 EDITION OF THE CALTRANS STORM WATER QUALITY HANDBOOK / CONSTRUCTION SITE BMP MANUAL. THE HANDBOOK MAY BE DOWNLOADED FOR FREE AT [http://www.dot.ca.gov/hq/construc/stormwater/documents/SWPPP\\_Prep\\_ManualJune2011.pdf](http://www.dot.ca.gov/hq/construc/stormwater/documents/SWPPP_Prep_ManualJune2011.pdf)
  - THE 2011 EDITION OF THE CALIFORNIA STORMWATER BMP HANDBOOK PROMULGATED BY THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA). THE HANDBOOK MAY BE DOWNLOADED FOR A FEE FROM THE CASQA WEBSITE AT <http://www.csbmp.com/handbooks/>
- THE BMPs SHOWN ON THIS WATER POLLUTION CONTROL PLAN SHALL BE ADJUSTED OR SUPPLEMENTED AS REQUIRED TO PROTECT WATER QUALITY AND/OR AS DIRECTED BY THE ENGINEER OR JURISDICTION HAVING AUTHORITY.
- THIS PLAN IS INTENDED TO BE USED FOR INTERIM WATER POLLUTION CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING BMPs PRIOR TO, DURING, AND AFTER STORM EVENTS, AND SHALL PROMPTLY CORRECT ANY DEFICIENCIES NOTED.
- ALL PAVED AREAS SHALL BE KEPT CLEAN OF SOIL AND DEBRIS. REGULAR STREET SWEEPING IS REQUIRED. ADDITIONAL STREET SWEEPING MAY BE REQUIRED BY THE ARCHITECT/ENGINEER OR JURISDICTION HAVING AUTHORITY.
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. ANY MATERIAL THAT IS TO BE HAULED OFF-SITE SHALL BE COVERED. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
- KEEP ADDITIONAL EROSION AND SEDIMENT CONTROL SUPPLIES ON SITE IN CASE IMMEDIATE REPAIRS OR MODIFICATIONS ARE REQUIRED. THESE SUPPLIES MAY INCLUDE ADDITIONAL SLIT FENCING, FILTER FABRIC, HAY BALES, JUTE NETTING, BAGS AND TARPS.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
- PROVIDE TEMPORARY "EFFECTIVE SOIL COVER" ON ALL INACTIVE DISTURBED AREAS (AREAS WHICH HAVE NOT BEEN DISTURBED FOR AT LEAST 14 DAYS) PRIOR TO INSTALLATION OF FINAL LANDSCAPING, IF REQUIRED DUE TO PROJECT SCHEDULING.
- PROVIDE WIND EROSION CONTROL AT ALL TIMES IN ACCORDANCE WITH BEST MANAGEMENT PRACTICE WE-1.
- LIMIT THE USE OF PLASTIC MATERIALS WHEN MORE SUSTAINABLE, ENVIRONMENTALLY FRIENDLY ALTERNATIVES EXIST. WHERE PLASTIC MATERIALS ARE DEEMED NECESSARY, CONSIDER THE USE OF PLASTIC MATERIALS RESISTANT TO SOLAR DEGRADATION AND WHICH MAY BE RE-USED.
- ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE.
  - PROVIDE SILT FENCE AT CONSTRUCTION SITE PERIMETER WHERE RUNOFF LEAVES THE CONSTRUCTION SITE.
  - PROVIDE INLET PROTECTION AT ALL DRAIN INLETS.
- ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE #2535, EROSION CONTROL ORDINANCE #2806, AND CALIFORNIA BUILDING CODE.
- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15TH THROUGH APRIL 15TH).
- IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION. (MCC 16.12.100)

## GENERAL REQUIREMENTS

- ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS.
- THE FOLLOWING PROVISIONS SHALL APPLY BETWEEN OCTOBER 1 AND APRIL 30.
    - DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY APPLYING STRAW MULCH AT 2000 LBS. PER ACRE AND ANCHORED BY TRACK-WALKING TO PREVENT MOVEMENT DURING WATER FLOW.
    - RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
    - EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
    - THE BUILDING INSPECTOR SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
    - CUT AND FILL SLOPES SHALL BE PLANTED WITH AN SEED MIX APPROVED BY THE LANDSCAPE ARCHITECT. AMOUNT OF SEED AND FERTILIZER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
  - ALL SURFACES EXPOSED OR EXPECTED TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PREPARED AND MAINTAINED THROUGH THE LENGTH OF THE ENTIRE PROJECT TO PROTECT AGAINST EROSION.
  - AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE, SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE BY WATERING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM HIS OR HER SUBCONTRACTOR.

## OBSERVATION AND MAINTENANCE

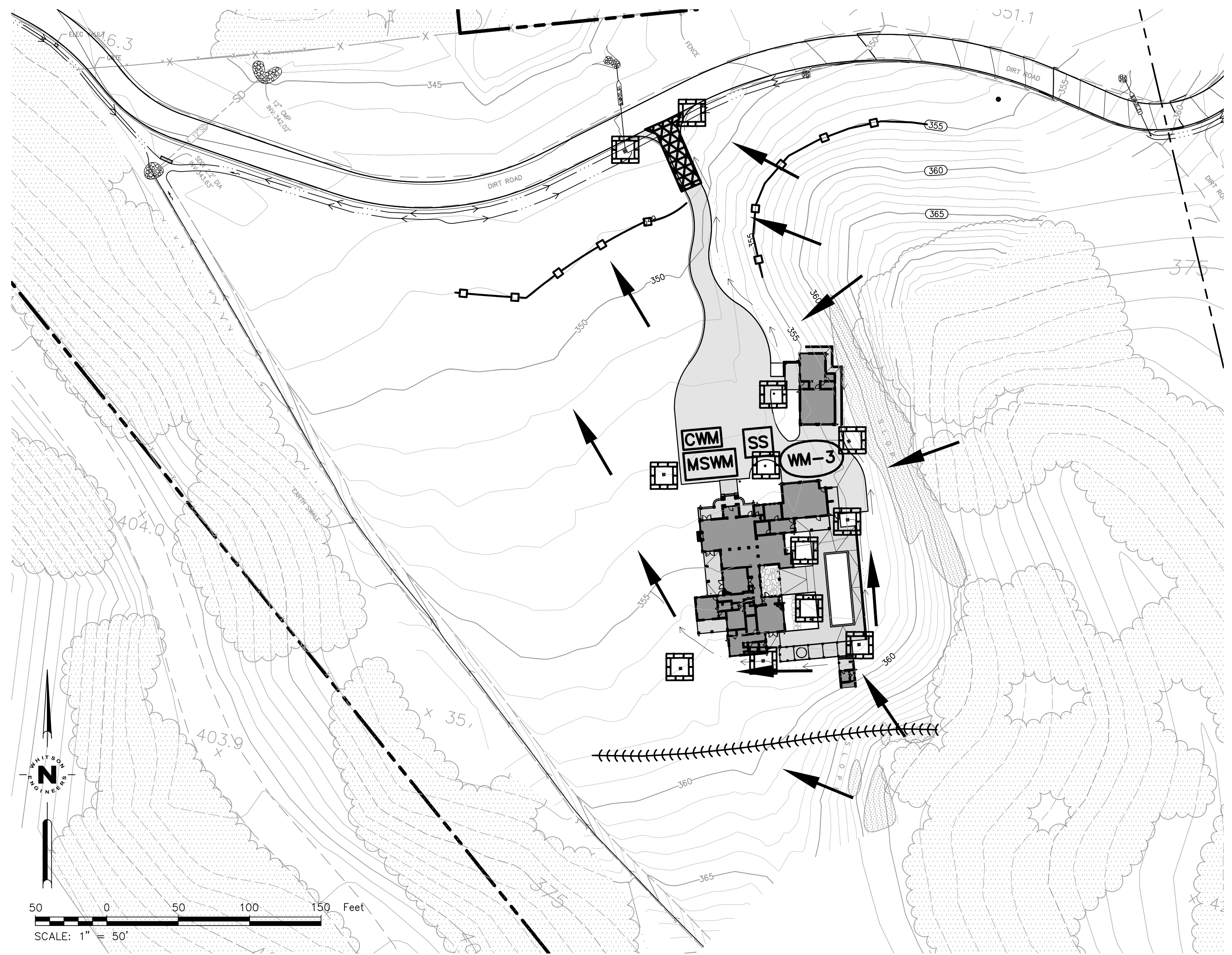
- VISUALLY OBSERVE AND MAINTAIN BEST MANAGEMENT PRACTICES (BMPs) AS FOLLOWS:
  - WEEKLY, AND
  - WITHIN 48 HOURS PRIOR TO EACH STORM EVENT, AND
  - WITHIN 48 HOURS AFTER EACH STORM EVENT.
  - DAILY DURING STORM EVENTS
- REPAIR DAMAGED BMPs WITHIN 48 HOURS OF OBSERVATION.
- SEDIMENT SHALL BE REMOVED FROM SEDIMENT CONTROL BMPs BEFORE SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF THE SEDIMENT BARRIER OR SUMP, IF NOT OTHERWISE SPECIFIED IN THE SPECIAL PROVISIONS OR BY THE BMP SUPPLIER OR MANUFACTURER.
- TRASH AND DEBRIS SHALL BE REMOVED FROM BMPs DURING SCHEDULED INSPECTIONS.
- REMOVED SEDIMENT SHALL BE PLACED AT AN APPROVED LOCATION AND IN SUCH A MANNER THAT IT WILL NOT ERODE, OR SHALL BE DISPOSED OF OFF-SITE.
- REPAIR RILLS AND GULLIES BY RE-GRADING AND THEN TRACKWALKING PERPENDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.

## NON-STORM WATER DISCHARGES

- NON-STORM WATER DISCHARGES INCLUDE A WIDE VARIETY OF SOURCES, INCLUDING IMPROPER DUMPING, SPILLS, OR LEAKAGE FROM STORAGE TANKS OR TRANSFER AREAS. NON-STORM WATER DISCHARGES MAY CONTRIBUTE SIGNIFICANT POLLUTANT LOADS TO RECEIVING WATERS, AND AS SUCH ARE PROHIBITED.
- MEASURES TO CONTROL SPILLS, LEAKAGE, AND DUMPING, AND TO PREVENT ILLEGAL CONNECTIONS DURING CONSTRUCTION, MUST BE TAKEN.
- HOWEVER, CERTAIN NON-STORM WATER DISCHARGES MAY BE AUTHORIZED FOR THE COMPLETION OF CONSTRUCTION. AUTHORIZED NON-STORM WATER DISCHARGES MAY INCLUDE THOSE FROM DECHLORINATED POTABLE WATER SOURCES SUCH AS:
  - FIRE HYDRANT FLUSHING,
  - IRRIGATION OF VEGETATIVE EROSION CONTROL MEASURES,
  - PIPE FLUSHING AND TESTING,
  - WATER TO CONTROL DUST,
  - UNCONTAMINATED GROUND WATER FROM DEWATERING,
  - OTHER DISCHARGES NOT SUBJECT TO A SEPARATE GENERAL NPDES PERMIT ADOPTED BY A REGIONAL WATER BOARD.
- THE DISCHARGE OF NON-STORM WATER IS AUTHORIZED UNDER THE FOLLOWING CONDITIONS:
  - THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD
  - THE DISCHARGE DOES NOT VIOLATE ANY OTHER PROVISION OF THE GENERAL PERMIT
  - THE DISCHARGE IS NOT PROHIBITED BY THE APPLICABLE BASIN PLAN
  - THE DISCHARGER HAS INCLUDED AND IMPLEMENTED SPECIFIC BMPs REQUIRED BY THE GENERAL PERMIT TO PREVENT OR REDUCE THE CONTACT OF THE NONSTORM WATER DISCHARGE WITH CONSTRUCTION MATERIALS OR EQUIPMENT
  - THE DISCHARGE DOES NOT CONTAIN TOXIC CONSTITUENTS IN TOXIC AMOUNTS OR (OTHER) SIGNIFICANT QUANTITIES OF POLLUTANTS
  - THE DISCHARGE IS MONITORED
- IF ANY OF THE ABOVE CONDITIONS ARE NOT SATISFIED, THE DISCHARGE IS NOT AUTHORIZED.

## EMPLOYEE TRAINING

- STORM WATER POLLUTION PREVENTION TRAINING SHALL BE PROVIDED AT THE BEGINNING OF CONSTRUCTION AND REGULARLY DURING CONSTRUCTION FOR ALL EMPLOYEES WORKING ON THE JOB SITE. TRAINING SHALL BE PROVIDED BY THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER. TOPICS SHALL INCLUDE, BUT ARE NOT LIMITED TO:
  - SPILL PREVENTION AND RESPONSE;
  - LOCATIONS AND FUNCTIONS OF SEDIMENT/EROSION CONTROL DEVICES;
  - GOOD HOUSEKEEPING;
  - FINES AND PENALTIES;
  - MATERIAL MANAGEMENT PRACTICES.



## LEGEND

SYMBOL	CALTRANS BMP #	CALTRANS STD. PLAN	DESCRIPTION
))))))	SS-9	-	BROW DITCH, EARTH DIKES, DRAINAGE SWALES AND LINED DITCHES SEE SHEET C0.2 FOR DETAILS.
—○—	SC-1, SC-5, SC-6	T51, T56, T60, T66	LINEAR SEDIMENT BARRIER: FIBER ROLLS, SILT FENCE, OR COMPOST SOCK (CONTRACTOR'S OPTION)
—□—	SC-1	T51, T60	SILT FENCE
—ESA—	-	-	TREE PROTECTION FENCING (ORANGE SNOW FENCING)
~SC-7~	SC-7	-	STREET SWEEPING
□	SC-10	-	INLET PROTECTION
CWM	WM-8	T61, T62, T63, T64	CONCRETE WASTE MANAGEMENT (WASHOUT) AREA
□	TC-1, TC-3	T58	STABILIZED CONSTRUCTION ENTRANCE/EXIT OR TIRE WASH
MSWM	WM-1	-	MATERIAL STORAGE AND WASTE MANAGEMENT AREA
WM-3	WM-3	T53	TEMPORARY STOCKPILES
SS	WM-9	-	SANITARY FACILITIES
→	-	-	DIRECTION OF DRAINAGE

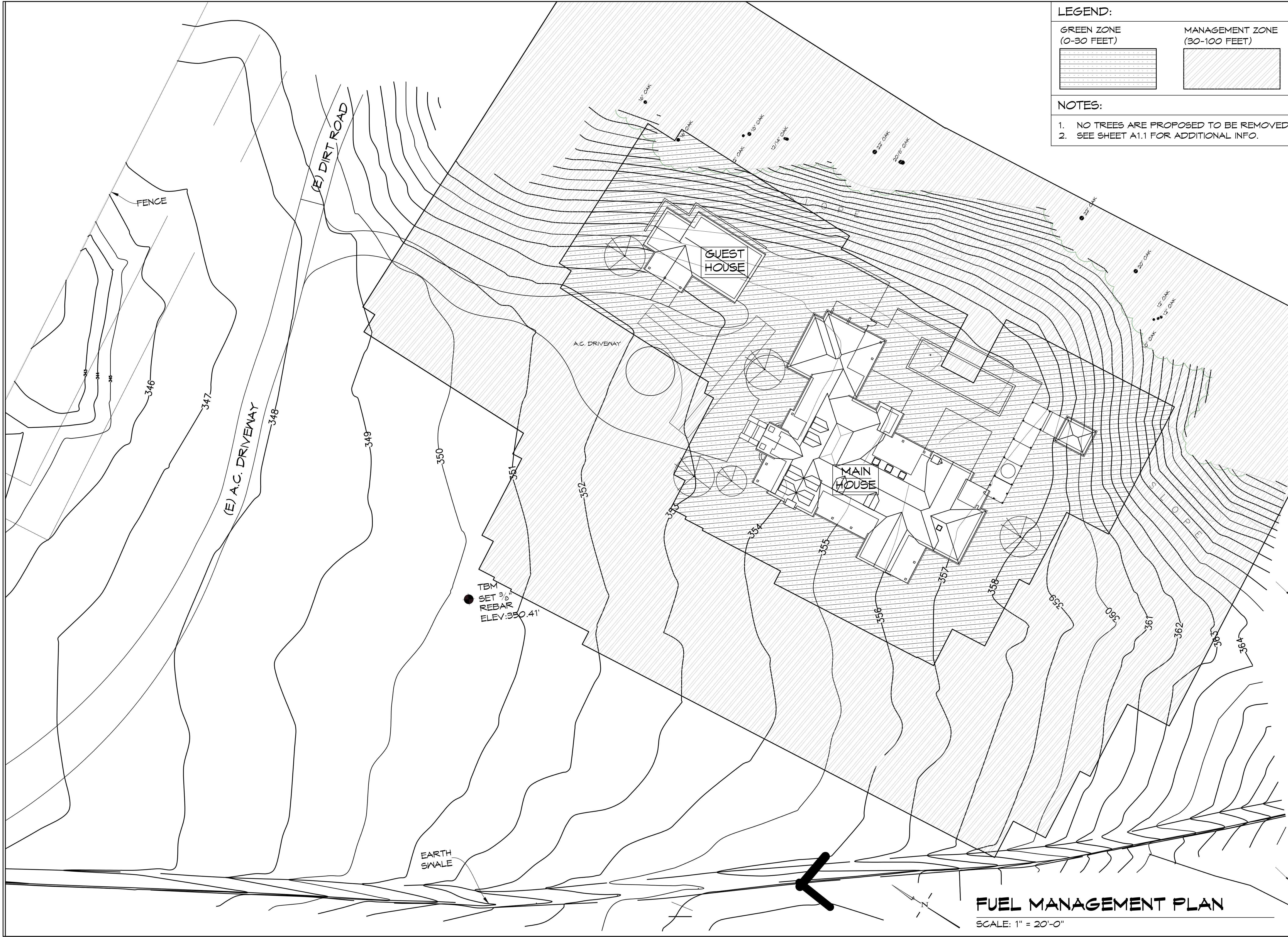
NO.	DATE	BY	DESCRIPTION

DATE: 2/6/17  
SCALE: 1"=50'  
ENGR. RICHARD P. WHITSON  
CIVIL ENGINEER  
JOB NO. 1719.01

**WHITSON ENGINEERS**  
6 Harris Court - Monterey, CA 93940  
831 649-8225 - Fax 831 373-5065  
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WAYLAND RESIDENCE  
MONTEREY COUNTY  
CALIFORNIA  
SINGLE FAMILY RESIDENCE GRADING AND DRAINAGE PLAN  
TEMPORARY EROSION CONTROL PLAN  
APN 173-062-007 AND 173-062-011

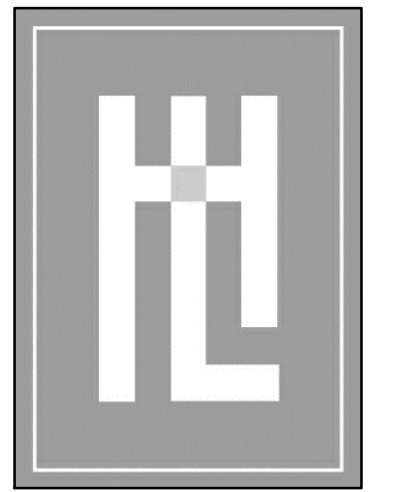
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**LEGEND:**

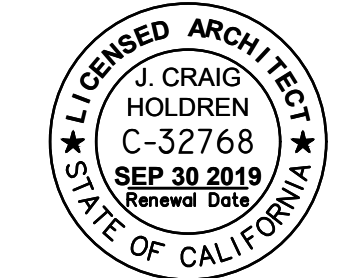
GREEN ZONE (0-30 FEET)	MANAGEMENT ZONE (30-100 FEET)

- NOTES:**
1. NO TREES ARE PROPOSED TO BE REMOVED
  2. SEE SHEET A1.1 FOR ADDITIONAL INFO.



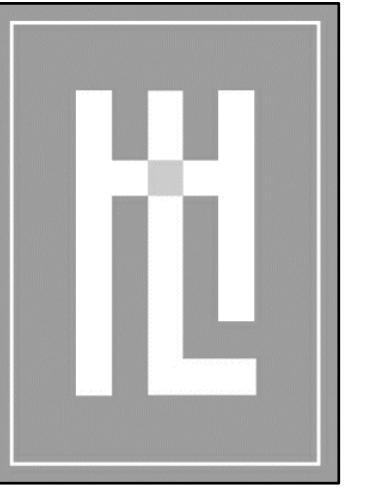
**HOLDREN+LIETZKE  
ARCHITECTURE**  
225 CANNERY ROW - SUITE A  
MONTEREY, CA 93940  
Ph: 831.649.6001  
Fax: 831.649.6003  
www.hl-arc.com

DATE:	11/10/17
SCALE:	1" = 20'-0"
DRAWN:	LL
JOB NUMBER:	16.14
REVISION	
1	PLAN CK. REVS. 1-29-18



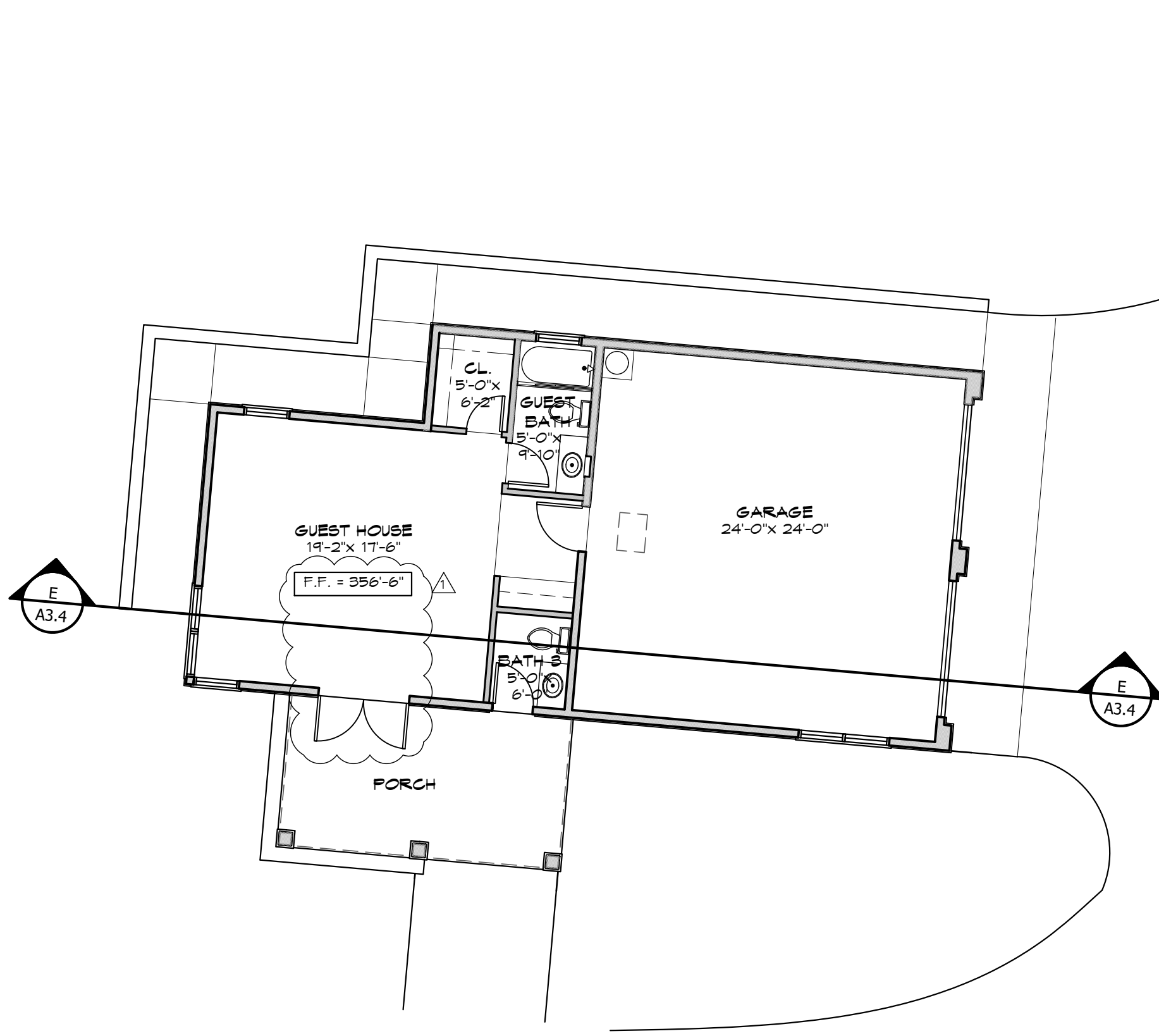
**FUEL MANAGEMENT PLAN**  
**WAYLAND RESIDENCE**  
BOOTS ROAD  
MONTEREY, CA 93940  
A.P.N. 173-062-007 & 173-062-011

**FUEL MANAGEMENT PLAN**  
SCALE: 1" = 20'-0"

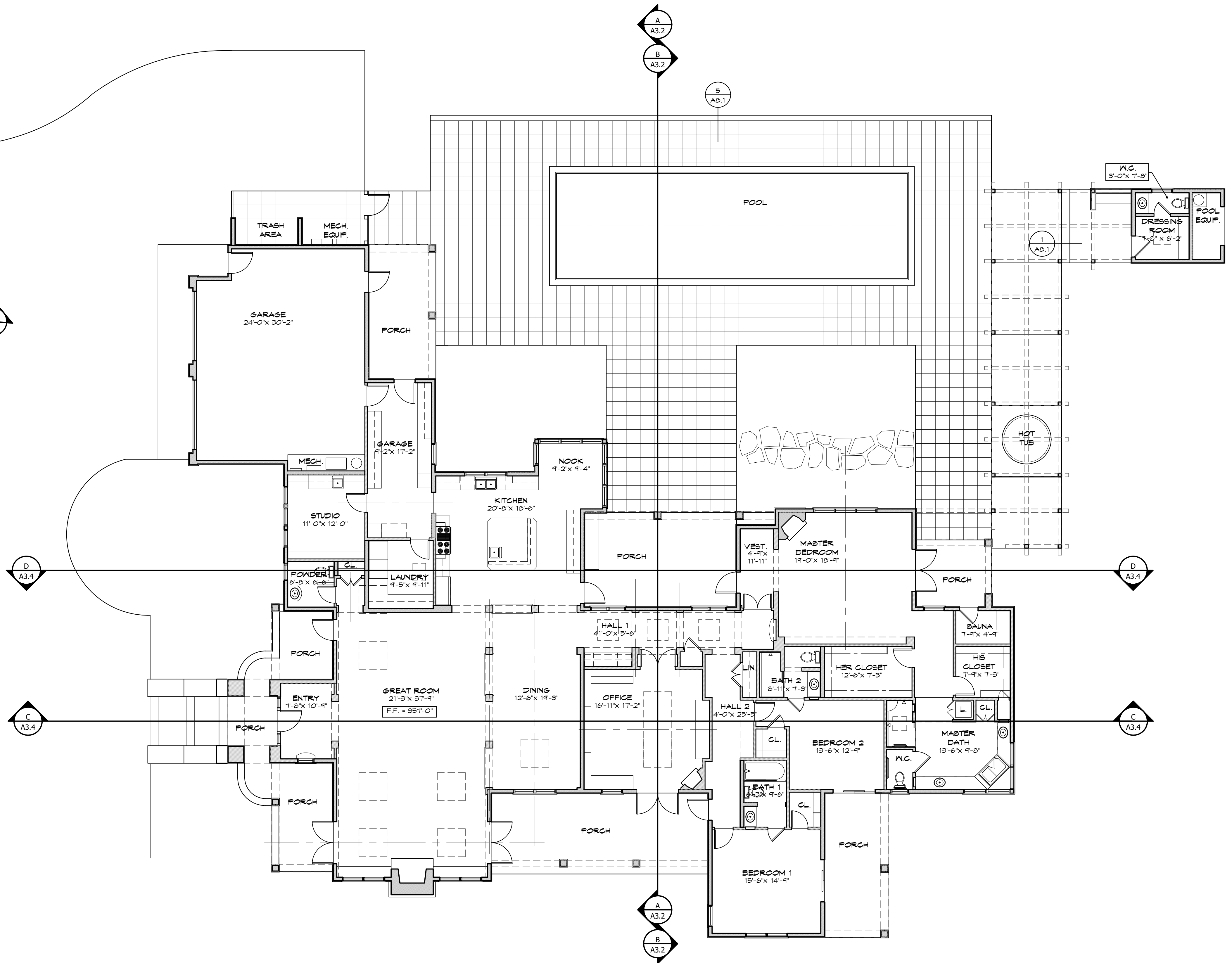


**HOLDREN+LIETZKE**  
**ARCHITECTURE**  
 225 CANNERY ROW - SUITE A  
 MONTEREY, CA 93940  
 Ph: 831.649.6001  
 Fax: 831.649.6003  
 www.hl-arc.com

DATE:	11/10/17
SCALE:	1/8" = 1'-0"
DRAWN:	LL
JOB NUMBER:	16.14
REVISION	
1	PLAN C.K. REVS. 1-24-18



**GUEST HOUSE FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

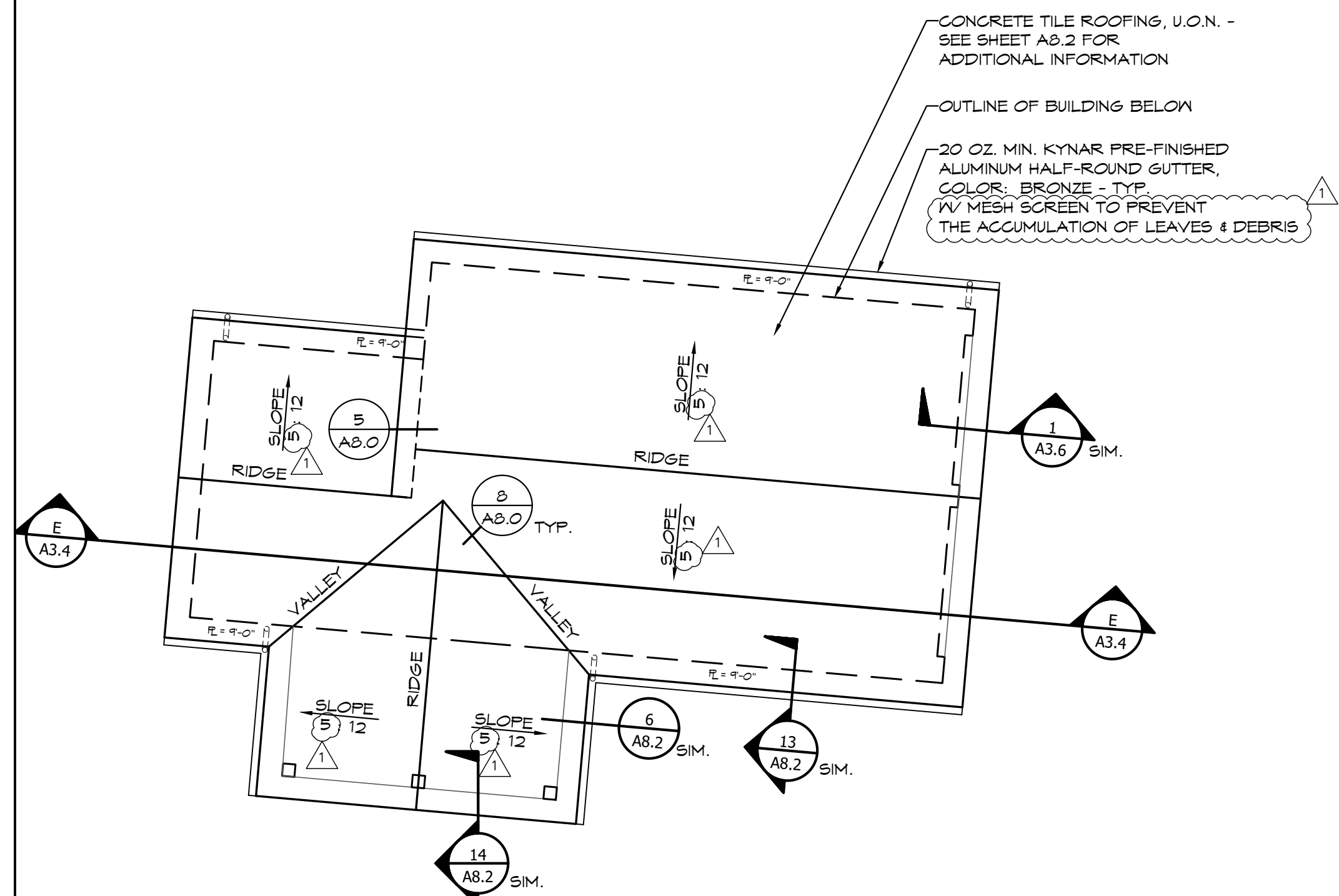


**MAIN HOUSE FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

NOTE: SEE SHEETS A2.1 - A2.3 FOR ADDITIONAL INFORMATION

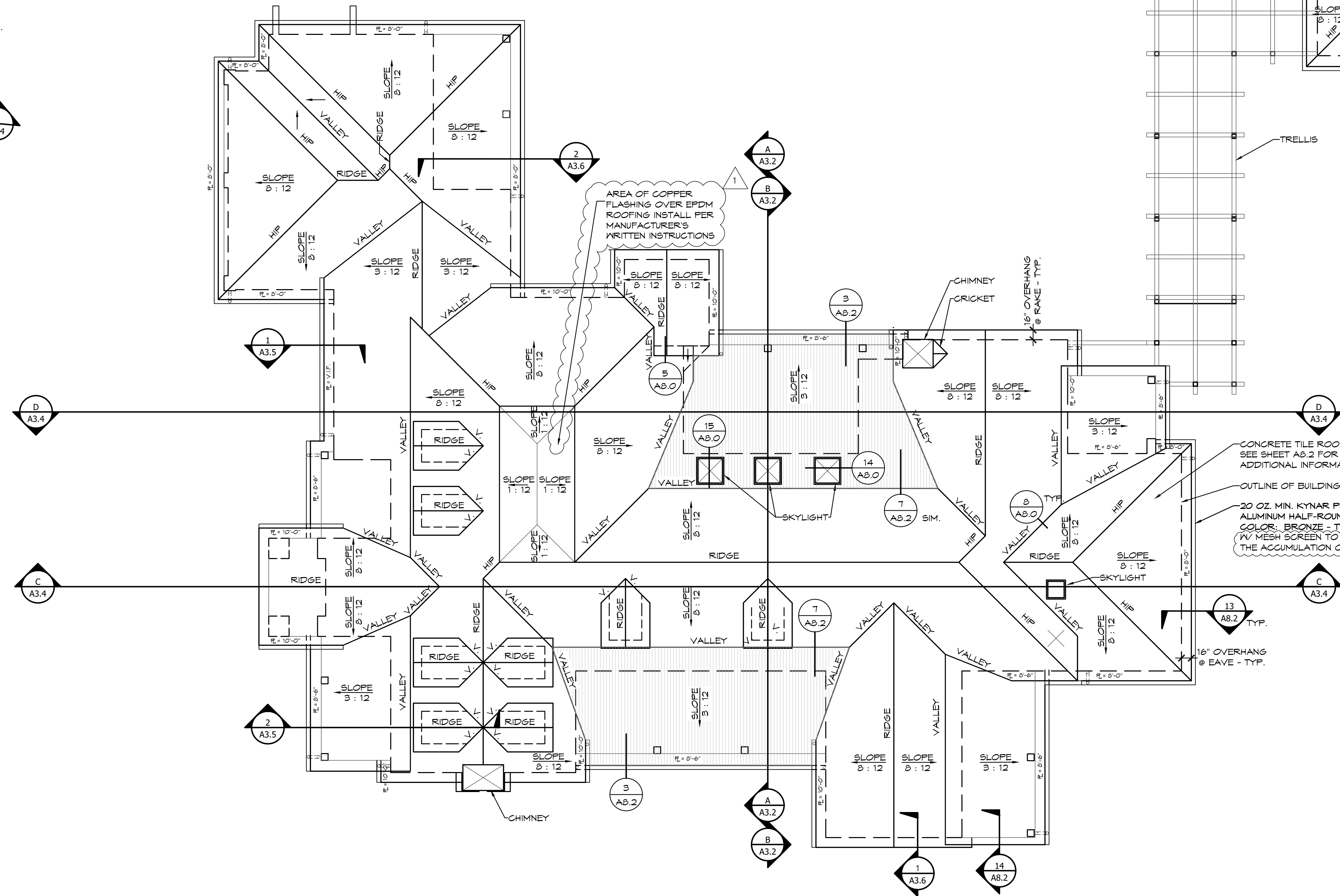


1/8" SCALE FLOOR PLAN  
**WAYLAND RESIDENCE**  
 BOOTS ROAD  
 MONTEREY, CA 93940  
 A.P.N. 173-062-007 & 173-062-011



**GUEST HOUSE ROOF PLAN**

SCALE: 1/8" = 1'-0"



**MAIN HOUSE ROOF PLAN**

SCALE: 1/8" = 1'-0"



**STUCCO NOTES:**

EXTERIOR WALL COVERING SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF AND TERMINATE AT 2" NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AND EAVES AT ALL ROOF OVERHANGS, OR AT ENCLOSED EAVES TERMINATE AT THE ENCLOSURE

PLASTERING WITH CEMENT PLASTER SHALL NOT BE LESS THAN 3-COATS WHEN APPLIED OVER METAL LATH OR WIRE FABRIC LATH.

THE FIRST COAT SHALL BE APPLIED WITH SUFFICIENT MATERIAL AND PRESSURE TO FILL SOLIDLY ALL OPENINGS IN THE LATH.

THE SURFACE SHALL BE SCORED HORIZONTALLY SUFFICIENTLY ROUGH TO PROVIDE ADEQUATE BOND TO RECEIVE THE SECOND COAT.

THE MINIMUM CURE TIME PRIOR TO PLACEMENT OF THE SECOND APPLICATION SHALL BE 48 HOURS.

THE SECOND COAT SHALL BE BROUGHT OUT TO PROPER THICKNESS, RODDED, AND FLOATED SUFFICIENTLY ROUGH TO PROVIDE ADEQUATE BOND FOR THE FINISH COAT.

THE SECOND COAT SHALL HAVE NO VARIATION GREATER THAN 1/4" IN ANY DIRECTION UNDER A 5-FOOT STRAIGHT EDGE.

THE MINIMUM CURE TIME PRIOR TO PLACEMENT OF THE CEMENT PLASTER FINISH COAT SHALL BE 7 DAYS.

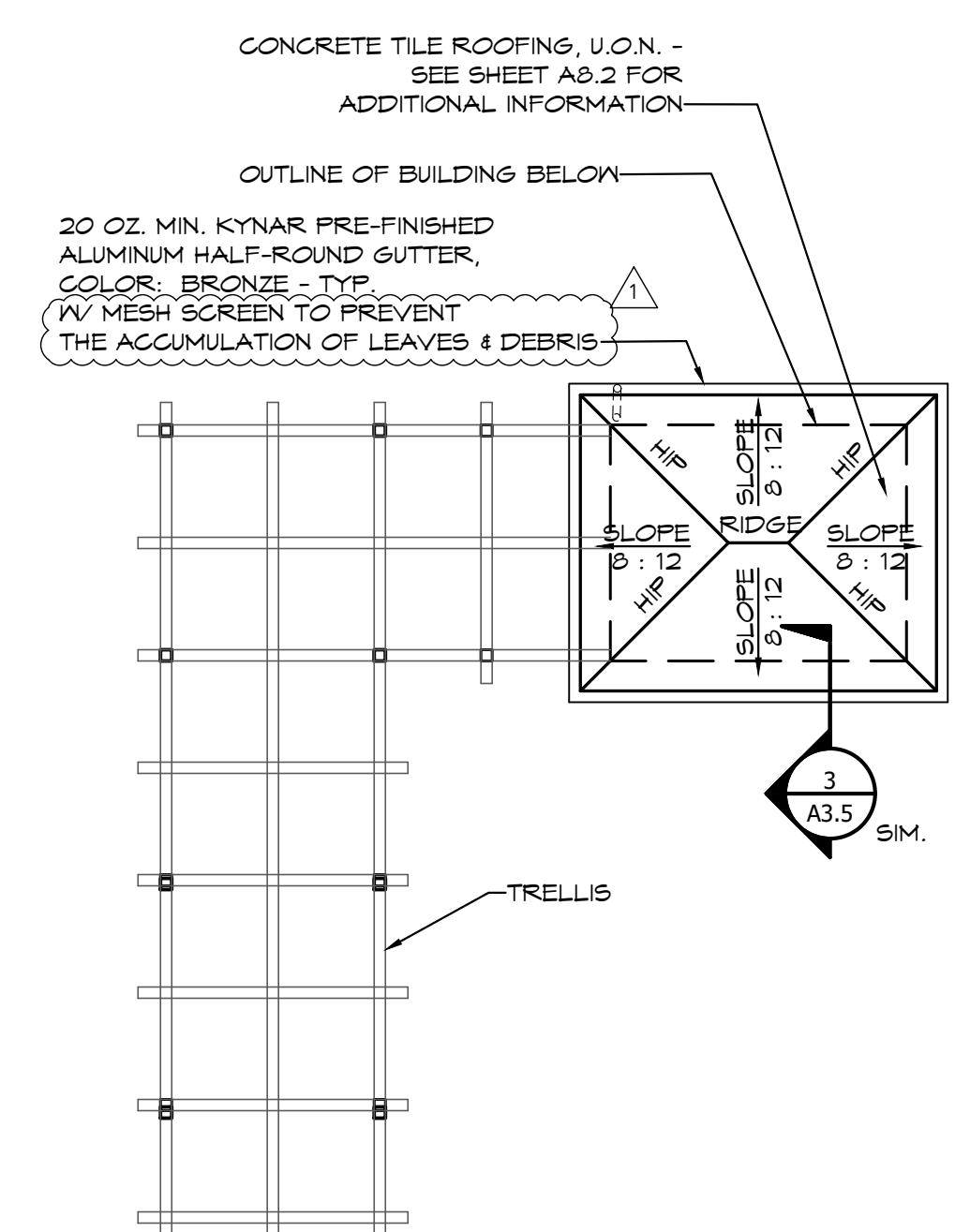
CEMENT PLASTER FINISH COAT SHALL BE APPLIED WITH SUFFICIENT MATERIAL THICKNESS AND PRESSURE TO BOND TO AND TO COVER/CONCEAL THE "BROWN COAT"

**NOTES**

1. ROOF & ATTIC VENTS SHALL RESIST THE INTRUSION OF FLAME & EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION RESISTANT NONCOMBUSTIBLE WIRE MESH W/ OPENINGS A MIN. OF 1/8" & SHALL NOT EXCEED 1/2"
2. VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES OR CORNICES.

**LEGEND**

V.	VALLEY
	AREA OF CORRUGATED METAL ROOFING



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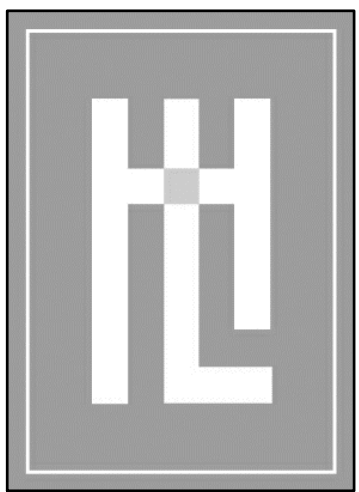
DATE: 11/10/17  
 SCALE: 1/8" = 1'-0"  
 DRAWN: LL  
 JOB NUMBER: 16.14  
 REVISION  
 11 FEELING & REVISION 1/29/18



**ROOF PLANS**

**WAYLAND RESIDENCE**  
 BOOTS ROAD  
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**A2.5**



**HOLDREN+LIETZKE  
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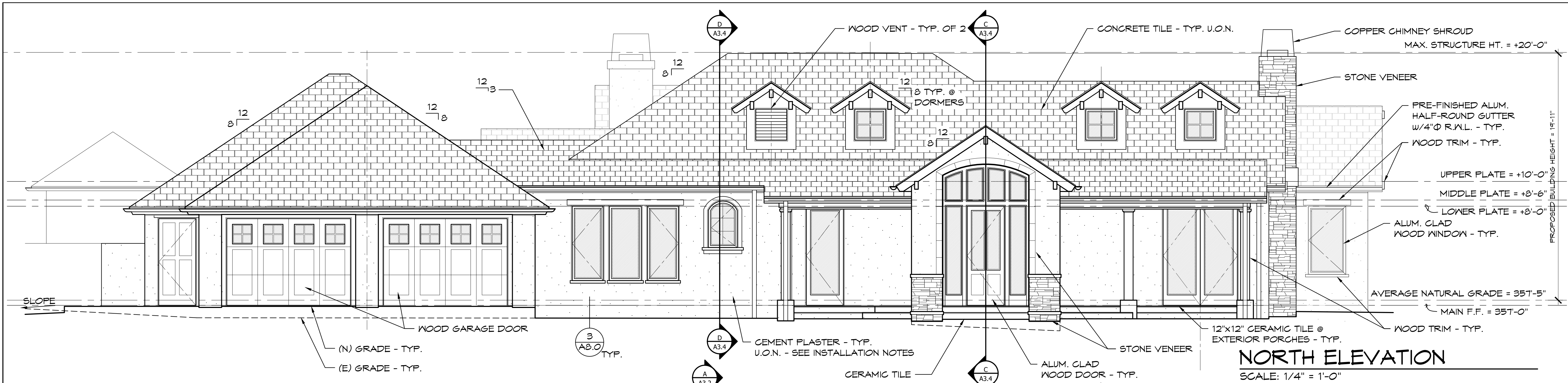
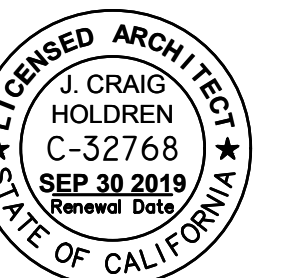
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DRAWN: LL

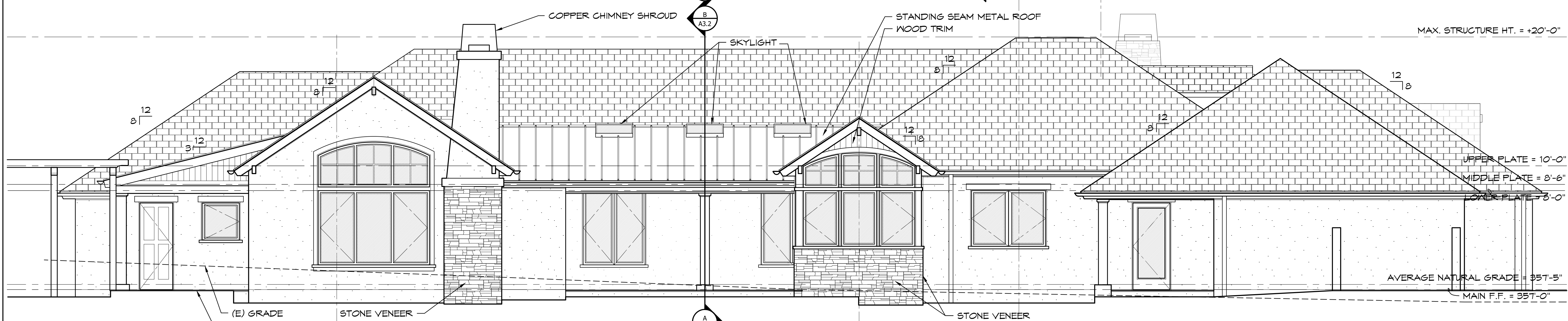
JOB NUMBER: 16.14

REVISION

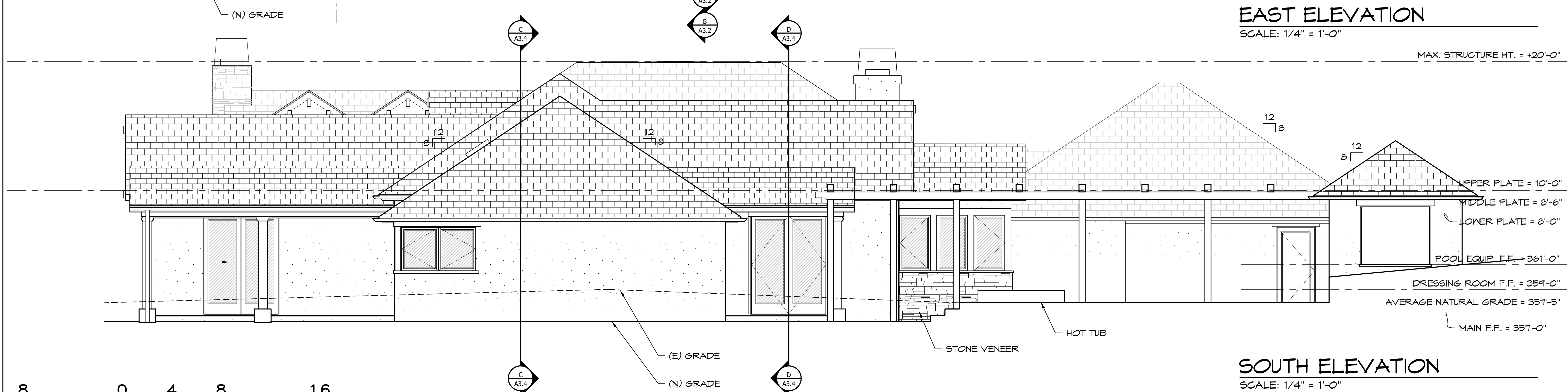
1 PLAN CK. REVS.  
1-29-18



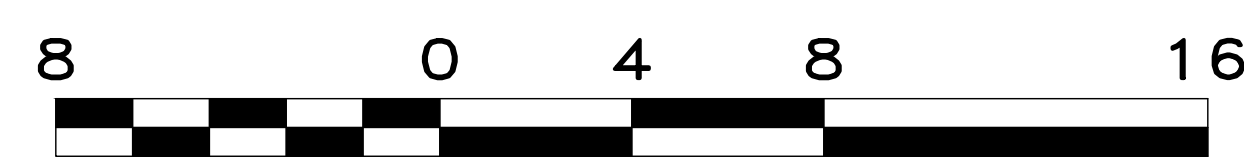
**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

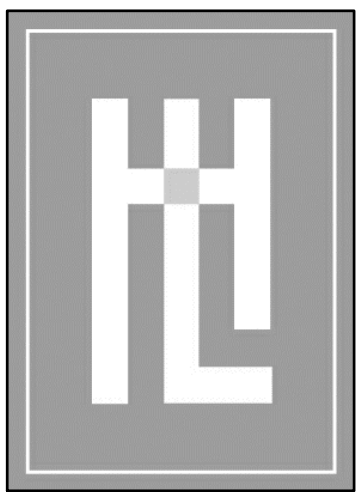


**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



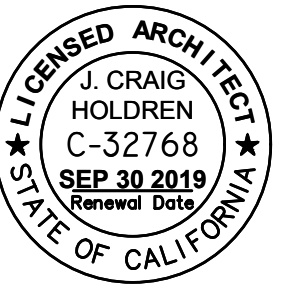
**MAIN HOUSE EXTERIOR ELEVATIONS**  
**WAYLAND RESIDENCE**  
BOOTS ROAD  
MONTEREY, CA 93940  
A.P.N. 173-062-007 & 173-062-011

**A3.1**



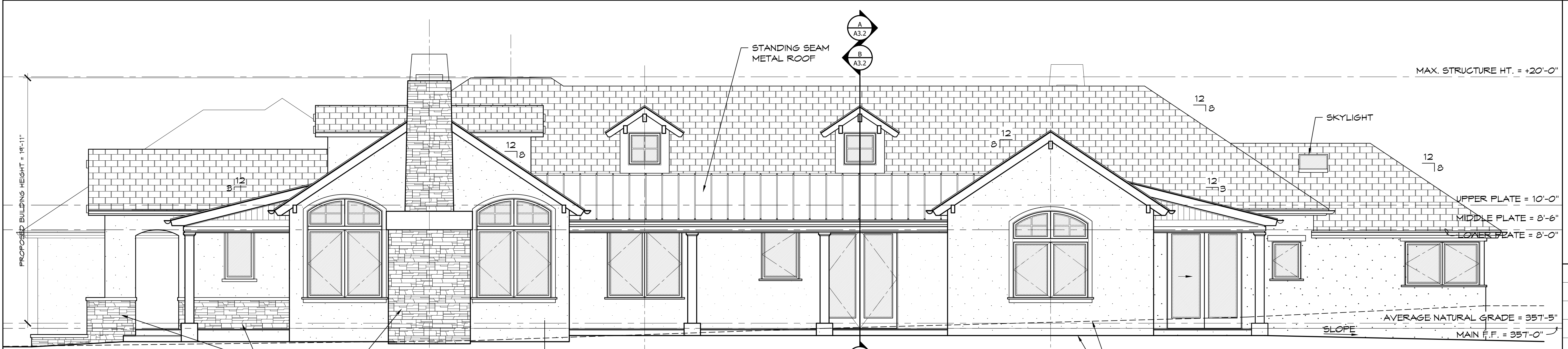
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SCALE:	1/4" = 1'-0"
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JOB NUMBER:	16.14
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1	PLAN CK. REVS. 1-29-18

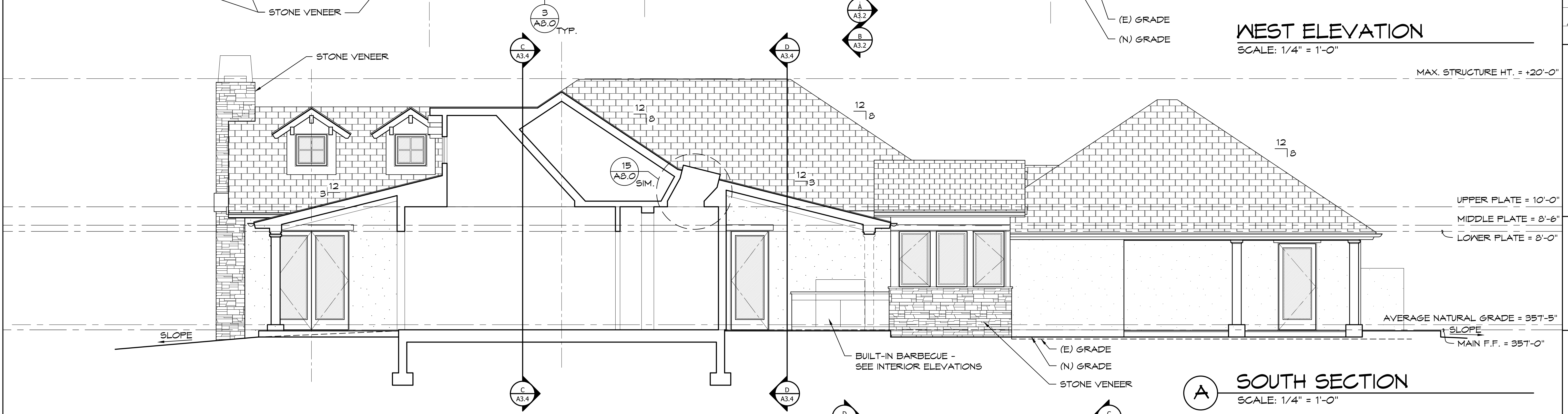


MAIN HOUSE EXTERIOR ELEVATIONS / SECTIONS

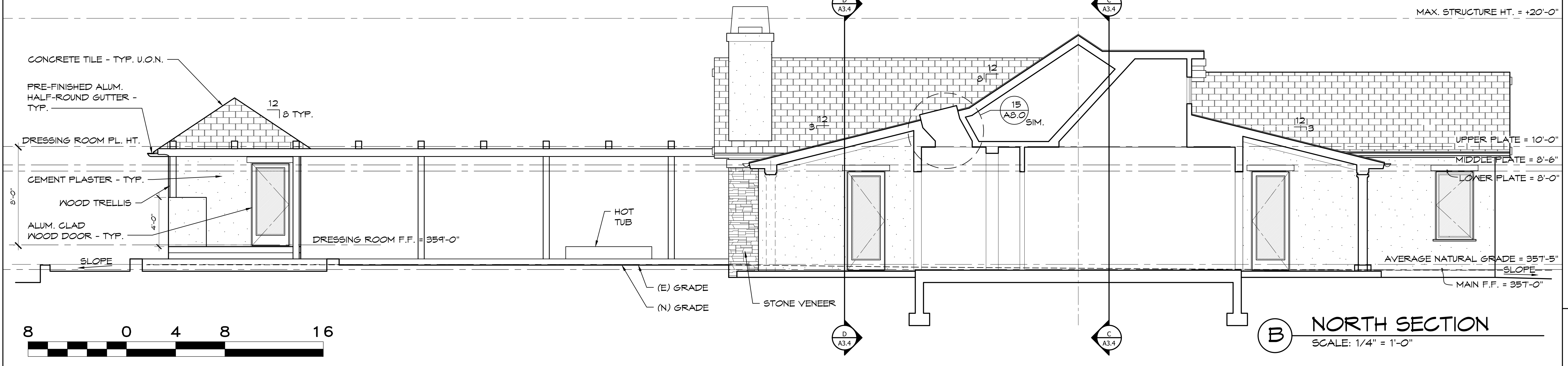
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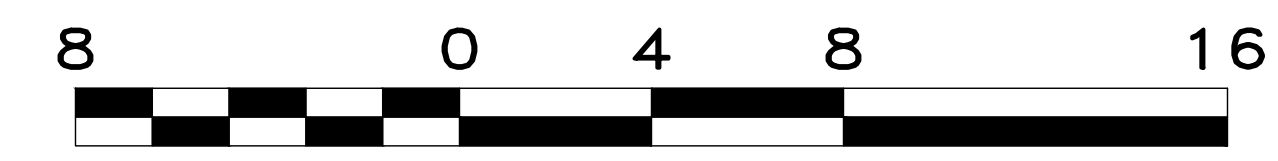
**WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"



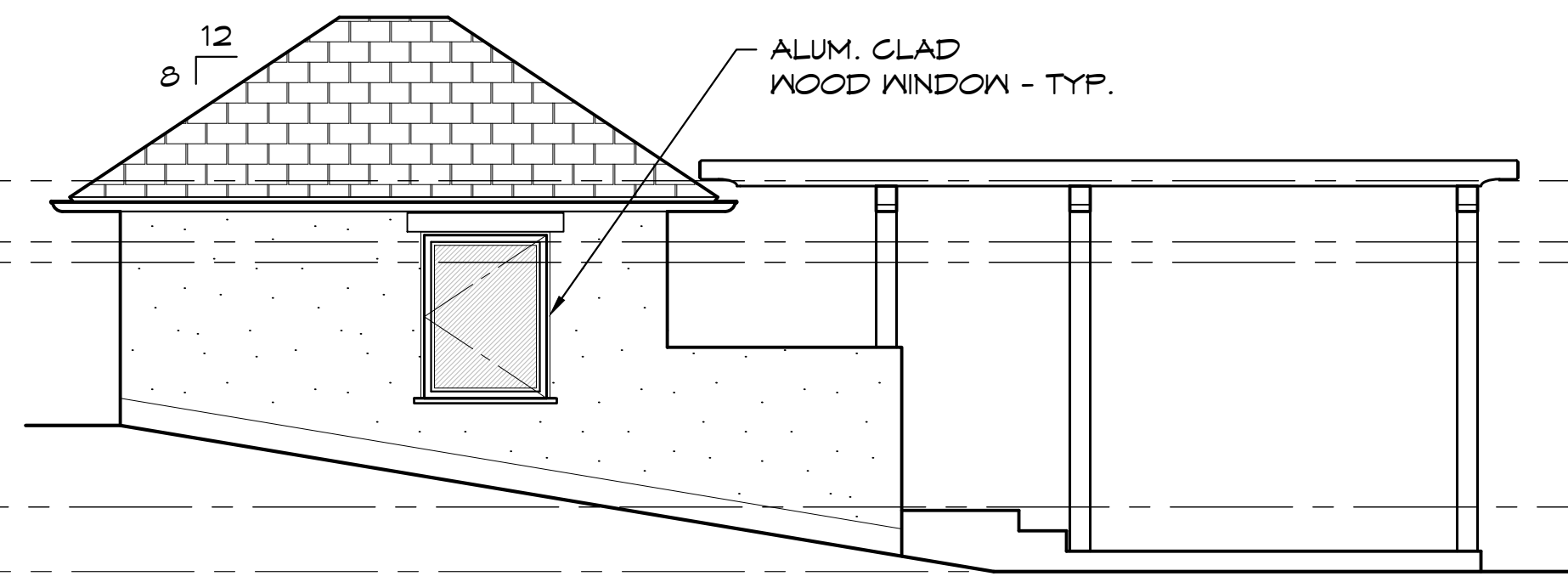
**A SOUTH SECTION**  
 SCALE: 1/4" = 1'-0"



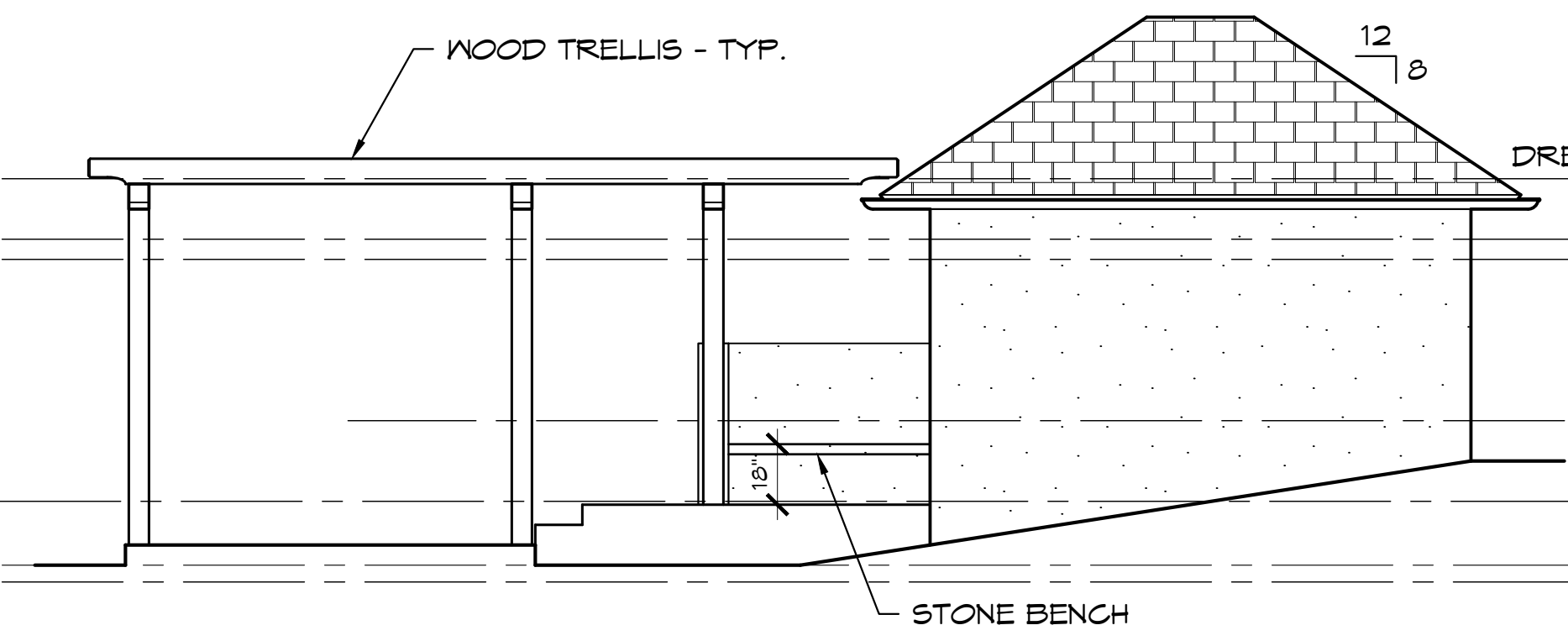
**B NORTH SECTION**  
 SCALE: 1/4" = 1'-0"



**A3.2**



**MAIN HOUSE PARTIAL EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



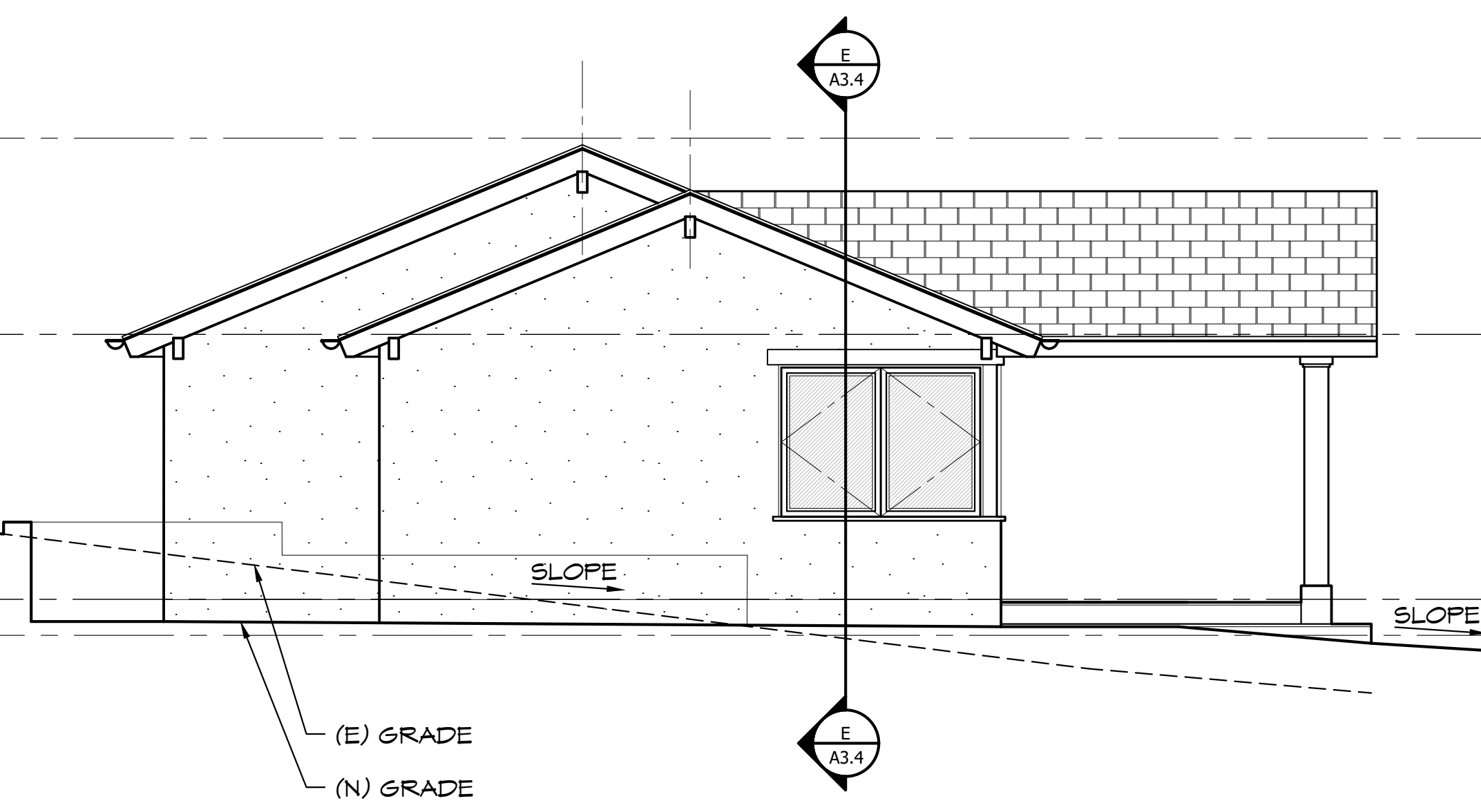
**MAIN HOUSE PARTIAL WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

MAX. STRUCTURE HT. = +20'-0"  
PROPOSED BUILDING HEIGHT = 20'-0"  
DRESSING ROOM PL. HT. UPPER PLATE = +10'-0"  
MIDDLE PLATE = +8'-6"  
LOWER PLATE = +8'-0"  
POOL EQUIP. F.F. = 361'-0"  
DRESSING ROOM F.F. = 359'-0"  
AVERAGE NATURAL GRADE = 357'-5"  
MAIN F.F. = 357'-0"

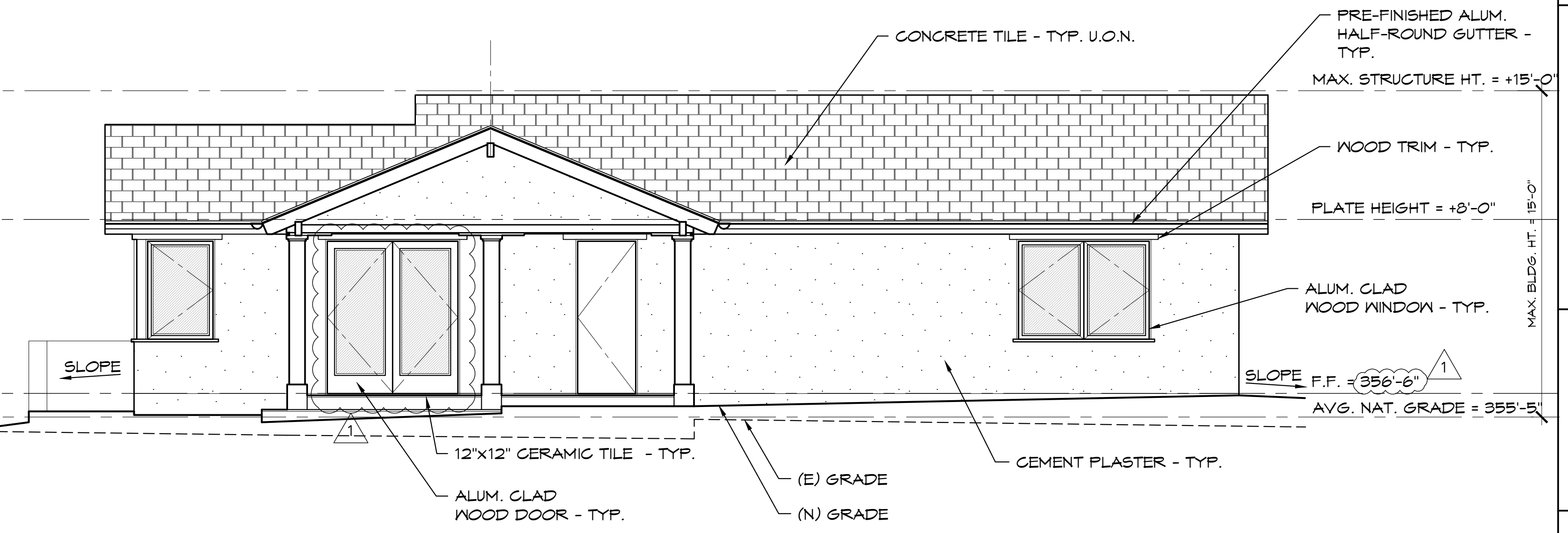
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**MAIN HOUSE**

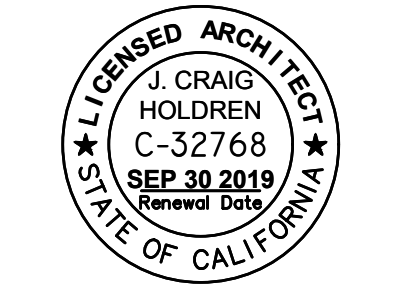


**GUEST HOUSE NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

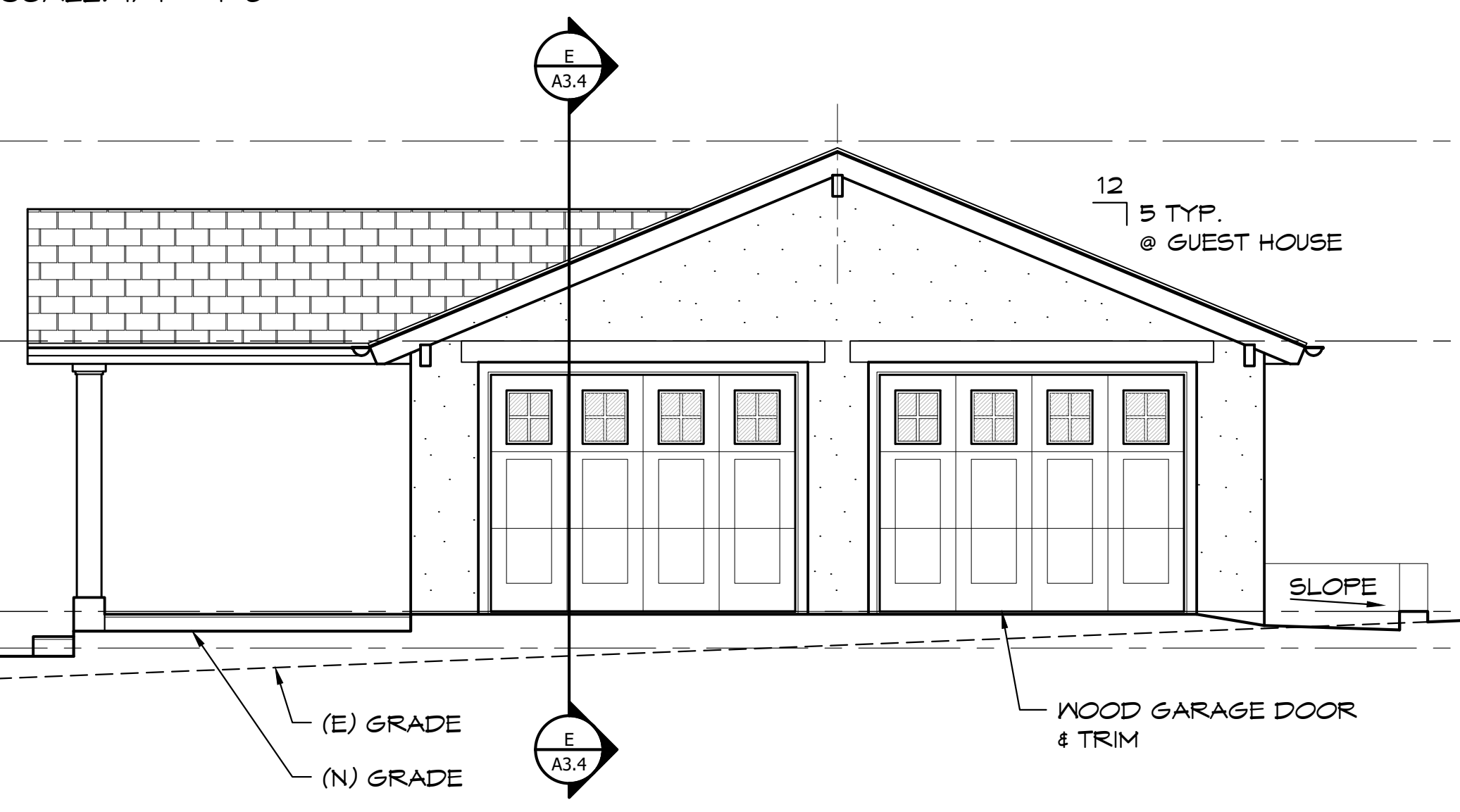


**GUEST HOUSE WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

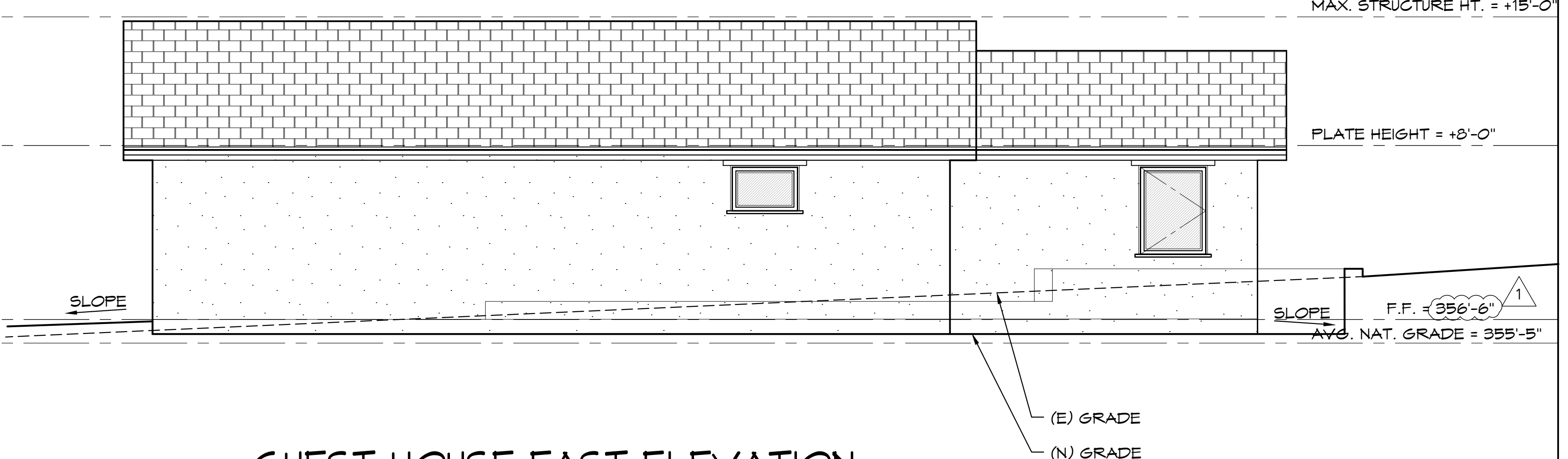
PRE-FINISHED ALUM. HALF-ROUND GUTTER - TYP.  
MAX. STRUCTURE HT. = +15'-0"  
WOOD TRIM - TYP.  
PLATE HEIGHT = +8'-0"  
ALUM. CLAD WOOD WINDOW - TYP.  
MAX. BLDG. HT. = 15'-0"  
SLOPE F.F. = 356'-6"  
AVG. NAT. GRADE = 355'-5"



**DRESSING ROOM & GUEST HOUSE EXT. ELEVATIONS**



**GUEST HOUSE SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

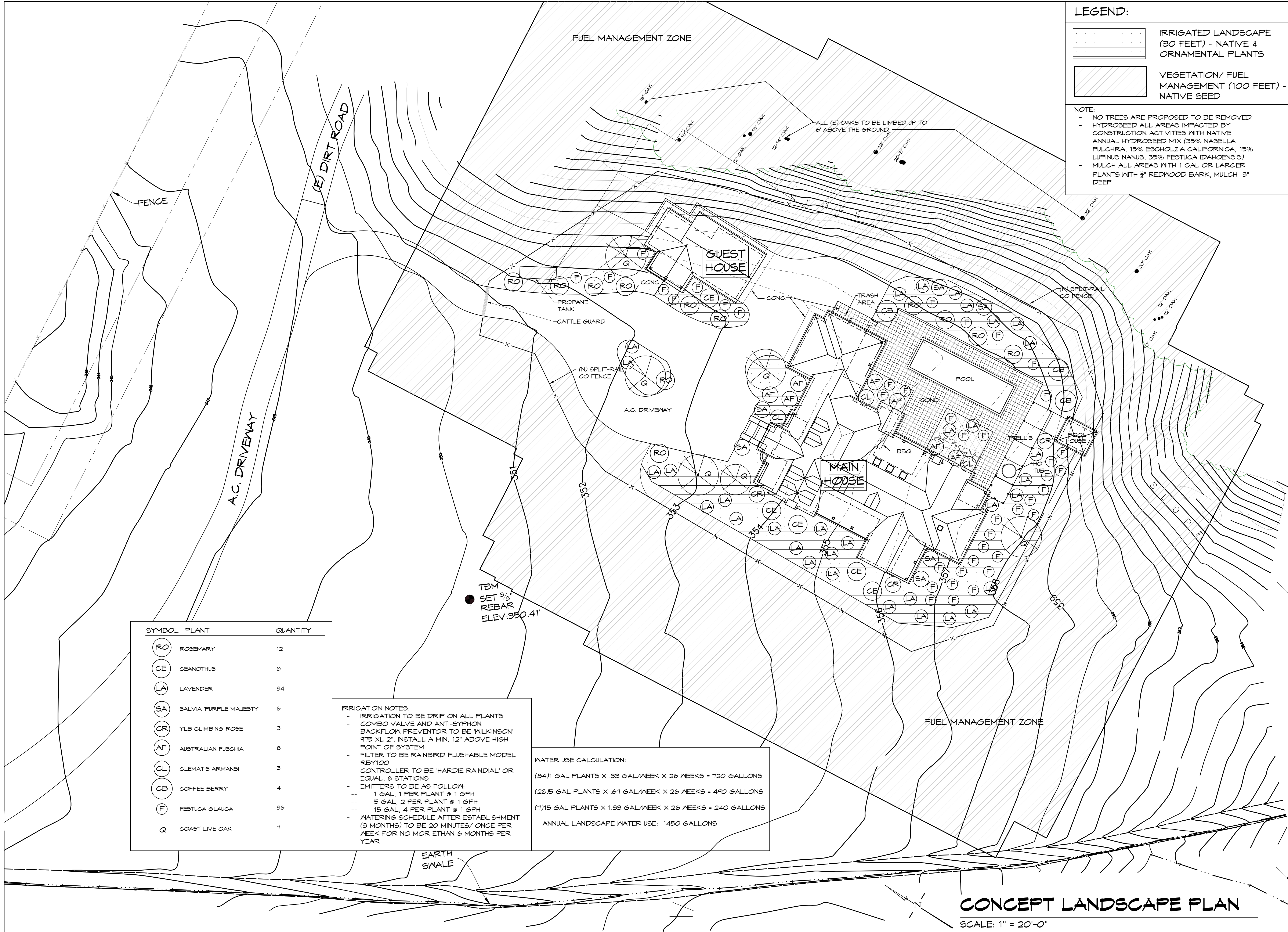


**GUEST HOUSE EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

MAX. STRUCTURE HT. = +15'-0"  
PLATE HEIGHT = +8'-0"  
SLOPE F.F. = 356'-6"  
AVG. NAT. GRADE = 355'-5"

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**LEGEND:**

- IRRIGATED LANDSCAPE (30 FEET) - NATIVE & ORNAMENTAL PLANTS
- VEGETATION/ FUEL MANAGEMENT (100 FEET) - NATIVE SEED

**NOTE:**

- NO TREES ARE PROPOSED TO BE REMOVED
- HYDROSEED ALL AREAS IMPACTED BY CONSTRUCTION ACTIVITIES WITH NATIVE ANNUAL HYDROSEED MIX (35% NASELLA FULCHRA, 15% ESCHOLZIA CALIFORNICA, 15% LUPINUS NANUS, 35% FESTUCA IDAHOENSIS)
- MULCH ALL AREAS WITH 1 GAL OR LARGER PLANTS WITH 2" REDWOOD BARK, MULCH 3" DEEP

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SYMBOL	PLANT	QUANTITY
RO	ROSEMARY	12
CE	CEANOTHUS	8
LA	LAVENDER	34
SA	SALVIA 'PURPLE MAJESTY'	6
CR	YLB CLIMBING ROSE	3
AF	AUSTRALIAN FUSCHIA	8
CL	CLEMATIS ARMANSI	3
CB	COFFEE BERRY	4
F	FESTUCA GLAUCA	36
Q	COAST LIVE OAK	7

**IRRIGATION NOTES:**

- IRRIGATION TO BE DRIP ON ALL PLANTS
- COMBO VALVE AND ANTI-SYPHON BACKFLOW PREVENTOR TO BE 'WILKINSON' 975 XL 2". INSTALL A MIN. 12" ABOVE HIGH POINT OF SYSTEM
- FILTER TO BE RAINBIRD FLUSHABLE MODEL RBY100
- CONTROLLER TO BE 'HARDIE RAINFALL' OR EQUAL, 6 STATIONS
- EMITTERS TO BE AS FOLLOW:  
 -- 1 GAL, 1 PER PLANT @ 1 GPH  
 -- 5 GAL, 2 PER PLANT @ 1 GPH  
 -- 15 GAL, 4 PER PLANT @ 1 GPH
- WATERING SCHEDULE AFTER ESTABLISHMENT (3 MONTHS) TO BE 20 MINUTES/ ONCE PER WEEK FOR NO MOR ETHAN 6 MONTHS PER YEAR

**WATER USE CALCULATION:**

(84)1 GAL PLANTS X .33 GAL/WEEK X 26 WEEKS = 720 GALLONS  
 (28)5 GAL PLANTS X .67 GAL/WEEK X 26 WEEKS = 490 GALLONS  
 (7)15 GAL PLANTS X 1.33 GAL/WEEK X 26 WEEKS = 240 GALLONS  
 ANNUAL LANDSCAPE WATER USE: 1450 GALLONS

**CONCEPT LANDSCAPE PLAN**  
 SCALE: 1" = 20'-0"

**CONCEPT LANDSCAPE PLAN**  
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