

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

JENKINS WILLIAM & JULIE (PLN250258)

RESOLUTION NO. 26-019

Resolution by the County of Monterey Chief of Planning:

- 1) Finding that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303; and
- 2) Approving a Coastal Administrative Permit and Design Approval allowing construction of a 1,027 square foot detached accessory dwelling unit and a 410 square foot detached non-habitable accessory structure, and associated site improvements, including 647 square feet of trellises.

[PLN230258, Jenkins William & Julie, 1605 Sonado Road, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone (APN: 008-201-004-000)]

The JENKINS WILLIAM & JULIE application (PLN240258) came on for an administrative hearing before the County of Monterey Chief of Planning on February 18th, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the County of Monterey Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan (DMF LUP);
 - Del Monte Forest Coastal Implementation Plan Part 5 (DMF CIP); and
 - Monterey County Zoning Ordinance (Title 20).No conflicts were found to exist. No communication was received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
b) Project Scope. The subject property is located at 1605 Sonado Road, Pebble Beach, Del Monte Forest Land Use Plan. On September 11th, 2024, the applicant submitted an application seeking to construct an Accessory

Dwelling Unit, a non-habitable accessory structure, and associated site improvements behind their existing single-family dwelling located in a residentially developed neighborhood.

- c) Allowed Use. The parcel is zoned Low Density Residential, 1.5 acres per unit with a Design Control overlay in the Coastal Zone, or “LDR/1.5-D(CZ)”, which allows for which allows the construction of Accessory Dwelling Unit and non-habitable accessory structures as principally allowed uses, subject to the approval of a Coastal Administrative Permit and Design Approval in each case pursuant to Title 20 section 20.14.040. The project includes the construction of a detached 1,027 square foot accessory dwelling unit and a detached 410 non-habitable accessory structure (gym) and associated site improvements. The associated site improvements include 647 square feet of trellises, a sports court, a bocci court, 350 square foot roof terrace, 524 square foot pool, 100 cubic yards of both cut and fill, 77 square feet of retaining walls and stairs, and a total of 129 square feet of stairs. The ADU and gym would be accessory to the existing single-family dwelling. No trees are proposed for removal. Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The subject property (69,541 square feet, or 1.6 acres), APN: 008-201-004-000, is shown in its current configuration within the Map of El Pescadero and Point Pinos Ranchos (Volume 34 of Surveys, Page 68), recorded on November 5th, 2019. Therefore, the County recognizes the subject property as a legal lot of record.
- e) Development Standards. The project meets all required development standards for Low Density Residential zoning district, which are identified in Title 20 section 20.14.060. Pursuant to Title 20 section 20.14.030.F, the required setbacks for habitable accessory structures are 50 feet (front), 6 feet (side), and 6 feet (rear). The ADU will generously meet the front setback of around 60 feet, the eastern portion of the property accessible through the dirt road, a side setback of over 30 feet, and a rear setback of over 40 feet. Pursuant to Title 20 section 20.14.030.F, the required setbacks for non-habitable accessory structures are 50 feet (front), six feet on the front one-half of the property and one foot on the rear one-half of the property (side), and 1 foot (rear). The accessory structure that will serve as a gym will generously meet all setbacks of over 100 feet for its front setback, and over 40 feet for both the side and rear setbacks. The LDR zoning district allows a maximum height of 15 feet for both habitable and non-habitable structures. The ADU will have a height of 15 feet, and the non-habitable accessory structure will have a height of 14.8 feet. The LDR zoning district allows a maximum building site coverage of 15%, and a maximum allowed Floor Area Ratio (FAR) is 17.5%. The subject property is 69,541 square feet and thus allows a site coverage of 10,431 square feet and an FAR of 12,170 square feet. The proposed project will have a building site coverage of 9,385 square feet or 13.467% and an FAR of 10,040 square feet, or 14.4%. Therefore, the project meets all required development standards.
- f) Design/Neighborhood and Community Character. The project site and surrounding area are designated as being within a Design Control

District or “D” overlay subject to the regulations outlined in Title 20 Chapter 20.44, which is intended to regulate the location, size, configuration, materials, and color of structures to assure protection of the public viewshed and the neighborhood character. The proposed structure is a blend of modern Mediterranean and Spanish architectural design, which is compatible with the varying architectural styles of nearby residences. As designed, the proposed accessory structure has colors that are consistent with the existing residence and nearby residences, which include smooth white exterior plaster, barrel clay mission roof tiles, golden granite stone walls with brick accents, dark bronze framing, railings, and doors, and pavers. The exterior finishes will not detract from the surrounding environment and are consistent with the surrounding residential neighborhood character.

DMF LUP Figure 3 identifies the subject property to be within the public viewshed when viewed from Point Lobos, a public viewing area pursuant to DMF LUP Policy 47. Although the subject property is identified to be within the viewshed from Point Lobos, the proposed development is not visible from public access areas and vista points, or along ridgelines, as the staking required by DMF CIP section 20.147.070.A.1 and flagging was provided, which showed the subject property was not visible from Point Lobos. Additionally, existing topography and vegetation screen the subject property from both Highway 1 and Point Lobos. Consistent with the DMF LUP Policy 53 and DMF CIP section 20.147.070.B.3, the project has been designed, sited, and conditioned in a manner to ensure minimal visibility from any scenic area. Therefore, as designed, sited, and conditioned, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity as outlined in the DMF LUP, DMF CIP, and Title 20.

- g) Accessory Dwelling Unit. As demonstrated in Finding 5, the project is consistent with the regulations outlined in Title 20.
- h) Pescadero Watershed Coverage Limitation. The subject property is located within the Pescadero Watershed (Area of Drainage of Carmel Area A.S.B.S). DMF LUP Policy 77 states that new residential development within the Pescadero Watershed is limited to a maximum of 9,000 square feet of site coverage, including both structural and other impervious surface coverage. The existing development on the parcel has square feet of 7,664 impervious coverage and proposes to increase this by 1,054 square feet. The proposed development has 8,718 square feet of impervious coverage in total for the whole scope of work and thus will be below the maximum allowed impervious coverage listed DMF LUP Policy 77 and in CIP section 20.147.030. Therefore, the proposed project complies with the maximum impervious coverage for the Pescadero Watershed.
- i) Cultural Resources. The Monterey County Geographic Information System (GIS) identifies the subject property as having a high archaeological sensitivity. Pursuant to DMF CIP Part 5 section 20.147.080.B.1, a Phase I Archaeological Survey (County of Monterey Library No. LIB250201) was prepared. The survey found no indicators

of culturally significant materials on site. There is no evidence that any cultural resources would be disturbed by this project. The potential for inadvertent impacts on cultural resources is limited and will be controlled by the application of the County's standard project condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.

- j) Land Use Advisory Committee (LUAC) Review. Based on the LUAC guidelines, the project was not referred to the Del Monte Forest Advisory Committee (LUAC) for review because it does not involve a public hearing Design Approval, a Lot Line Adjustment, preparation of an Initial study, or a Variance.
- k) The project planner conducted a virtual site inspection on January 27th, 2026, to verify that the project on the subject parcel conforms to the plans listed above.
- l) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240258.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to Biological Resources, Geological Resources (soils), Geotechnical Resources, and Archaeological Resources. The following reports have been prepared based on identified potential hazards:
 - “Biological Assessment” (County of Monterey Library No. LIB250202) prepared by Fred Ballerini, Pacific Grove, CA, May 13th, 2025.
 - “Updated Phase I Archaeological Study” (County of Monterey Library No. LIB250201) prepared by Dana E. Supernowicz, Pebble Beach, CA, April 10th, 2025.
 - “Geotechnical Investigation Report” (County of Monterey Library No. LIB250392) prepared by Belinda A. Taluban, Salinas, CA, November 17th, 2025.

County staff independently reviewed these reports and concurred with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a virtual site inspection on January 27th, 2026, to verify that the site is suitable for this use.

- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240258.

3. FINDING: **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) All necessary public facilities are available to the subject property. Domestic water and sewage services are currently, and will continue to be, provided by California American Water Company (Cal Am) and the Pebble Beach Community Services District. Sewer service will be provided by the Pebble Beach Community Services District (PBCSD). The PBCSD wastewater collection and treatment system has adequate remaining capacity for sewage disposal, which then transfers wastewater to the Carmel Area Wastewater District treatment facility. Potable water is provided by Cal Am.
 - c) Staff conducted a virtual site inspection on January 27th, 2026, to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240258.

4. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a virtual site inspection on January 27th, 2026, and researched County records to assess if any violations exist on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240258.

5. FINDING: **ACCESSORY DWELLING UNIT** – The project meets the established regulations and standards as identified in Title 20, Section 20.64.030.

- EVIDENCE:**
- a) Title 20, Section 20.64.030 establishes regulations and standards for which an accessory dwelling unit, accessory to the main residence on a

lot, may be permitted. The project includes the construction of an 800 square foot Accessory Dwelling Unit (ADU) that includes independent living facilities as shown in the attached plans (See attached plans and Finding 1, Evidence “a”, “d”, and “f”).

- b) As proposed, the ADU is below the maximum 1,200 square foot floor area and will be the first ADU on the subject property. The proposed ADU is detached from the main dwelling and will be consistent with the design of said existing residence.
- c) As defined in Title 20, Section 20.58.040, the ADU requires one parking space. Consistent with this requirement, the ADU will have one parking space.
- d) The ADU meets the required site development standards and design criteria defined in Title 20 Section 20.12.060 and Chapter 20.44 (see Finding 1, Evidence “d” and “f”).
- e) The application was reviewed by the Environmental Health Bureau (EHB) to ensure adequate sewage disposal and water supply facilities exist and are readily available to serve the ADU. EHB made the determination that the property has adequate public facilities and no further comments or conditions were provided (See Finding 3 and supporting evidence).
- f) Staff conducted a virtual site inspection and researched County records to assess if any violation exists on the subject property.
- g) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240258.

6. FINDING: **CEQA (Exempt)** – The project is categorically exempt from environmental review, and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts new construction of small structures.
 - b) The project includes the construction of a 1,027 square foot accessory dwelling unit with a 410 non-habitable accessory structure and associated site improvements. Therefore, the project is consistent with the Class 3 categorical exemption requirements of CEQA Guidelines section 15303.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. The project location is not within a sensitive environment. There is no cumulative impact without any prior successive projects of the same type in the same place, over time, and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site
 - d) No adverse environmental effects were identified during staff review of the development application during a virtual site visit.
 - e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240258.

7. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in DMF CIP Section 20.147.130, can be demonstrated.
 - b) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 8, Major Public Access and Recreational Facilities, in the DMF LUP).
 - c) The subject project site is not identified as an area where the Local Coastal Program requires visual public access (Figure 3, Visual Resources, in the DMF LUP).
 - d) Based on the project location and its topographical relationship to visual public access points in the area, the development proposal will not interfere with visual access along 17-Mile Drive or from Point Lobos. Consistent with DMF LUP Policies 123 and 137, the proposed development will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity
 - e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240258.
8. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.
- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20, Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Coastal Commission. Pursuant to Title 20, Section 20.86.080.A, the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea (i.e., State Route/Highway 1).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

1. Find the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303;

2. Approve the Coastal Administrative Permit and Design Approval to allow construction of a 1,027 square foot detached accessory dwelling unit and a 410 square foot detached non-habitable accessory structure and associated site improvements.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 18th day of February 2026.

Melanie Beretti, AICP
Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

_____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION-MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240258

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Coastal Administrative Permit and Design Approval (PLN240258) allows for the construction of a 1,027 square foot detached accessory dwelling unit with a 410 square foot attached non-habitable accessory structure and associated site improvements, including 647 square feet of trellises. The property is located at 1605 Sonado Road, Pebble Beach (Assessor's Parcel Number 008-201-004-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Coastal Administrative Permit (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 008-201-004-000 on February 18th, 2026. The permit was granted subject to 9 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

6. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

7. PD012(E) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-OTHER)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping and shall include an irrigation plan. The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Non-Residential Water Release Form and Water Permit Application" to the Monterey County Water Resources Agency for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be installed and inspected .

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

8. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

9. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

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JENKINS ADU / GYM

1605 SONADO RD., PEBBLE BEACH, CA.

JAMES
NEWHALL
SMITH
ARCHITECT, INC.

27880 DORRIS DR. #200
CARMEL VALLEY, CA.
93923

831-915-9518
JAMES@JNSARCH.COM



PROJECT/CLIENT

JENKINS
RESIDENCE

BJ & JULIE JENKINS
1605 SONADO RD
PEBBLE BEACH, CA.

SHEET TITLE

COVER
SHEET

ISSUE REVISIONS

07-17-24
PRELIM. REVIEW

DATE

PROJECT NUMBER

SHEET NUMBER

A0.0

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH. THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

GENERAL NOTES

- EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS WORK.
- CONTRACTOR SHALL PROVIDE THE ARCHITECT, JAMES N. SMITH, AND OWNERS, BJ AND JULIE JENKINS, WITH A COMPLETE COST BREAKDOWN AND SCHEDULE OF CONSTRUCTION FOR THIS PROJECT PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS, INSPECTIONS, CERTIFICATES, AND FEES. HE SHALL ALSO BE RESPONSIBLE FOR FILING OF APPLICATION FOR PERMIT AND PLAN CHECK APPROVAL AS NECESSARY. (THIS SECTION SUBJECT TO OWNER'S REVIEW AND APPROVAL.)
- CONTRACTOR SHALL PROTECT OWNER'S AREA, NEW AND/OR EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH OWNER PRIOR TO COMMENCEMENT OF WORK AS NECESSARY.
- MATERIALS THAT ARE SPECIFIED BY THEIR BRAND NAMES ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ANY REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER FOR REVIEW FOR EQUAL QUALITY AND PERFORMANCE AND SHALL NOT BE PURCHASED OR INSTALLED WITHOUT THEIR WRITTEN APPROVAL. ALL NON-SPECIFIED PRODUCTS SHALL CONFORM TO REQUIREMENTS SET FORTH BY CODE COMPLIANCE OR INDUSTRY STANDARDS AND CONTRACTOR SHALL SUBMIT A LIST OF PRODUCTS AND MANUFACTURERS BEING USED FOR REVIEW BY THE ARCHITECT PRIOR TO PURCHASE OR INSTALLATION.
- ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC., AS MAY BE REQUIRED, SHALL CONFORM TO THE LATEST EDITION OF THE UNIFORM BUILDING CODE AND THE LATEST EDITION OF ALL GOVERNING CODES AND REGULATIONS AS ADOPTED BY MONTEREY COUNTY. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF THE PRACTICE.
- DIMENSIONS ON CONSTRUCTIONS DRAWINGS ARE TO FACE OF PLY SHEATHING, TYP, OR AS OTHERWISE NOTED TO BE FACE OF FINISH (F.O.F.), FACE OF COLUMN (F.O.C.), OR CENTER LINE OF OPENING, MULLION, PARTITION, OR COLUMN, ETC. SEE ALSO CORNER DETAIL ON A8 SHEETS
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR AND/OR SUBCONTRACTORS SHALL NOT SCALE DRAWINGS. QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ARCHITECT OR OWNER PRIOR TO ANY START OF WORK.
- ALL CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY CONSTRUCTION DOCUMENTS SHALL BE PROVIDED AS THOUGH ON ALL RELATED DOCUMENTS. DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. WORK THAT IS CONTINUED, COVERED UP OR COMPLETED WITHOUT SAID CLARIFICATION SHALL BE AT GENERAL CONTRACTOR'S RISK OF REPAIR, REPLACEMENT OR REWORKING AT HIS OWN EXPENSE.
- ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR EXCEPT WHERE NOTED. THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE WITH MANUFACTURER'S REQUIREMENTS. WORK REQUIRED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, ETC. NECESSARY TO COMPLETE THIS PROJECT. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS SPECIFICALLY NOTED AND BE A QUALITY ACCEPTABLE BY INDUSTRY STANDARDS.
- THE USE OF THE WORD "PROVIDE" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED, AND CONNECTED WHERE SO REQUIRED, EXCEPT AS NOTED.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FABRICATED ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR BY THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION AND/OR INSTALLATION.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, SHALL COMPLY WITH THE SPIRIT AS WELL AS WITH THE LETTER IN WHICH THEY WERE DRAWN.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.
- THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
- ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE STATE FIRE MARSHALL, THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, AND ANY APPLICABLE STATE OR LOCAL LAWS AND ORDINANCES. NOTHING ON THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
- WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED IN ORDER TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE LIMITS AND SCOPE OF WORK, BUT WHICH MAY NOT BE SPECIFICALLY INCLUDED IN THE PLANS, SHALL BE PERFORMED BY CONTRACTOR AND INCLUDED IN HIS BID.
- ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION.
- CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP A COMPETENT EMPLOYEE, AUTHORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUOUSLY ON SITE DURING WORKING HOURS.
- TREES ADJACENT TO STRUCTURES AND OVER DRIVEWAYS SHALL BE TRIMMED TO CLEAR STRUCTURES AND PROVIDE 15' CLEARANCE OVER DRIVES. PROTECT OTHER TREES DURING CONSTRUCTION (SEE FOREST MGT. PLAN, IF REQUIRED). TREES TO BE REMOVED SHALL INCLUDE REMOVAL OF ALL ROOT STRUCTURES AND CONTRACTOR SHALL COORDINATE WITH OWNER FOR POSSIBLE STACKING OF CUT WOOD FOR FUTURE FIREPLACE WOOD.

BUILDING DEPT. NOTES

- NO PERSON MAY TAP INTO ANY FIRE HYDRANT OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
- NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE.
- THE USE OF SOLDER CONTAINING MORE THAN 2/10ths OF 1% LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED (SB 164).
- PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSEBIBS.
- THE BUILDER/CONTRACTOR SHALL PROVIDE THE OWNER AND THE COUNTY BUILDING DIVISION WITH A COPY OF THE GF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.
- GRADING PERMIT, IF REQUIRED, IS BY SEPARATE PERMIT.
- SPRINKLER SYSTEM, IF REQUIRED, TO BE PER SEPARATE PERMIT.
- RETAINING WALLS UNCONNECTED TO THE STRUCTURE(S), IF REQUIRED, ARE PER SEPARATE PERMIT.

ABBREVIATIONS

&	AND	NOM.	NOMINAL
L	ANGLE	N.T.S.	NOT TO SCALE
@	AT	O.C.	ON CENTER
○	CENTERLINE	O.D.	OUTSIDE DIAMETER
EXIST'G OR (E)	EXISTING	O.F.	OVERFLOW
A.B.	ANCHOR BOLT	OPNG.	OPENING
ACOUS.	ACOUSTICAL	PL.	PLASTIC
A.D.	AREA DRAIN	PLAM.	PLASTIC LAMINATE
ALUM.	ALUMINUM	PLAS.	PLASTER
APPROX.	APPROXIMATE	PWD.	PLYWOOD
ARCH.	ARCHITECTURAL	PR.	PAIR
BD.	BOARD	PTN.	PARTITION
BLUM.	BITUMINOUS	R.	RISER OR RADIUS
BLK.	BLOCK	REFR.	REFRIGERATOR
BM.	BEAM	RENF.	REINFORCED
BOT.	BOTTOM	REQD.	REQUIRED
CAB.	CABINET	RESL.	RESILIENT
CEM.	CEMENT	RM.	ROOM
CER.	CERAMIC	R.O.	ROUGH OPENING
CLG.	CEILING	RF	ROOF
CLG.	CAULKING	S.C.	SOLID CORE
CLR.	CLEAR	SCHED.	SCHEDULE
COL.	COLUMN	SH.	SHELF
CONC.	CONCRETE	SHT.	SHEET
CONT.	CONTINUOUS	SM.	SIMILAR
DBL.	DOUBLE	SPEC.	SPECIFICATION
D.F.	DRINKING FOUNTAIN	SD.	SQUARE
DET.	DETAIL	STD.	STANDARD
DIA.	DIAMETER	STL.	STEEL
DM.	DIMENSION	SYM.	SYMMETRICAL
DN.	DOWN	T.	TREAD
DR.	DOOR	T.O.S.	TOP OF CONCRETE SLAB
DWR.	DRAINER	T&G	TONGUE AND GROOVE
D.S.	DOWNSPOUT	THK.	THICK
DWG.	DRAWING	T.G.	TEMPERED GLAZING
EA.	EACH	T.O.P.	TOP OF PLATE
EL.	ELEVATION	T.V.	TELEVISION
ELEC.	ELECTRICAL	T.O.W.	TOP OF WALL
ELEV.	ELEVATOR	TYP.	TYPICAL
FLASH.	FLASHING	TP.	TOILET PAPER HOLDER
F.O.C.	FACE OF CONCRETE	U.G.N.	UNLESS OTHERWISE NOTED
F.O.S.	FACE OF STUDS	V.C.T.	VERT. COMPOSITION TILE
FTG.	FOOTING	VERT.	VERTICAL
FURR.	FURRING	W/H.	WITH
GA.	GAUGE	W.C.	WATER CLOSET
GALV.	GALVANIZED	W/O	WITHOUT
G.I.	GALVANIZED IRON	WP.	WATERPROOF
GR.	GRADE		
GYP.	GYPSPUM		
GYP. BD.	GYPSPUM WALLBOARD		
H.C.	HOLLOW CORE		
HORIZ.	HORIZONTAL		
HR.	HOUR		
I.D.	INSIDE DIAMETER		
INSUL.	INSULATION		
INT.	INTERIOR		
JT.	JOINT		
KIT.	KITCHEN		
LAM.	LAMINATE		
LT.	LIGHT		
MAX.	MAXIMUM		
M.C.	MEDICINE CABINET		
MEMB.	MEMBRANE		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
M.O.	MASONRY OPENING		
MTL.	MATERIAL		
N.	NORTH		
N.I.C.	NOT IN CONTRACT		
NO. OR #	NUMBER		

MATERIALS LEGEND

	EARTH		WOOD, FINISH
	SAND, MORTAR, PLASTER		WOOD, FRAMING (THRU MEMBER)
	ROCK FILL		WOOD FRAMING (INTERRUPTED MEMBER)
	CONCRETE		PLYWOOD*
	BRICK		GLASS
	CONCRETE BLOCK (C.M.U.)		ACOUSTIC TILE
	STONE		GYPSPUM BOARD
	METAL		INSULATION, BATT
	METAL LATH		INSULATION, RIGID

* PLYWOOD IS SHOWN DIAGRAMMATICALLY. THE NUMBER OF DIVIDING LINES AND SLASHES DO NOT INDICATE STRENGTH OR NUMBER OF PILES. S.S.D. FOR THIS INFORMATION

SYMBOLS

- GRID LINE
NUMBERS VERTICAL
LETTERS HORIZONTAL
- DOOR SYMBOL—NUMBERS
- WINDOW SYMBOL—NUMBERS
- DETAIL
DETAIL IDENTIFICATION
SHEET WHERE DETAIL IS DRAWN
- SECTION
SECTION IDENTIFICATION
SHEET WHERE SECTION IS DRAWN
- ELEVATION
ELEVATION IDENTIFICATION
SHEET WHERE ELEVATION IS DRAWN
- ROOM IDENTIFICATION
ROOM NAME
NUMBER
- REVISIONS—NUMBERS
CLOUD AROUND REVISION OPTIONAL
- MATCH LINE
SHADED PORTION IS THE SIDE CONSIDERED
- WORK POINT/CONTROL/DATUM
- GRADE
NEW OR FINISHED GRADE AT EXTERIOR
FINISH FLOOR ELEVATION AT INTERIOR
(EXISTING GRADE)
- PROPERTY LINE
- CENTER LINE
- FLOOR ELEVATION
FIN. FLR.
SUB. FLR.
TOP OF SLAB

PROJECT DIRECTORY

- PROPERTY OWNERS:
BJ AND JULIE JENKINS
1605 SONADO RD.
PEBBLE BEACH, CA. 93953
CONTACT: JULIE JENKINS
(508) 397-4698
EMAIL: JULIE@JCOJCO.COM
- ARCHITECT:
JAMES N. SMITH, ARCHITECT, INC.
27880 DORRIS DR. #200
CARMEL, CA. 93923
CONTACT PERSON : JAMES SMITH
TEL (831) 915-9518
EMAIL: JAMES@JNSARCH.COM
- CONTRACTOR:
- STRUCTURAL:
- CIVIL / SURVEYOR:
LANDSET ENGINEERS, INC.
520 B CRAZY HORSE CANYON RD.
SALINAS, CA. 93907
CONTACT PERSON: GUY GIRAUDO
TEL (831) 443-6970
- SOILS ENGINEER
- TITLE 24 / MECHANICAL ENGINEER
MONTEREY ENERGY GROUP
227 FOREST AVENUE, SUITE #5
PACIFIC GROVE, CA. 93950
CONTACT PERSON: DAVID KNIGHT
TEL (831) 372-8328
FAX (831)372-4613
EMAIL: DAVE@MEG4.COM

DRAWING INDEX

SHEET NO.	DESCRIPTION
A0.0	COVER SHEET
ARCHITECTURAL	
A1.0	SITE PLAN
A1.1	SITE PLAN—GYM AND ADU
A2.0	FLOOR PLAN — MAIN LEVEL
A2.1	FLOOR PLAN — GYM AND ADU
A2.1.1	FLOOR PLAN — GYM
A2.1L	LIGHTING PLAN
A2.2	FLOOR PLAN — UPPER LEVEL
A5.0	ROOF PLAN
A6.0	EXTERIOR ELEVATIONS
A6.1	EXTERIOR ELEVATIONS
A6.2	EXTERIOR ELEVATIONS
A6.3	NOT USED
A6.4	EXTERIOR ELEVATIONS
A6.R	COLORS—MATERIALS
A7.0	SECTIONS
A8.3	WALL SECTION—DETAILS
CIVIL	
C-1	COVER SHEET
C-2	GRADING AND DRAINAGE
C-3	GRADING SECTIONS
C-4	UTILITY PLAN
C-5	CONSTRUCTION DETAILS
C-6	CONSTRUCTION DETAILS
C-7	EROSION PLAN
C-8	CONST. MANAGEMENT PLAN
LANDSCAPE	
L1.1	LANDSCAPE PLAN
L1.2	IRRIGATION PLAN
L1.3	FUEL MANAGEMENT PLAN

SPECIAL INSPECTIONS

- THE GEOTECHNICAL ENGINEER SHALL INSPECT THE BUILDING PADS AND FOUNDATION EXCAVATIONS PRIOR TO THE PLACEMENT OF REINFORCING BARS, AND SHALL SUBMIT WRITTEN APPROVAL TO THE BUILDING INSPECTOR BEFORE REQUESTING FOUNDATION INSPECTION AND POURING OF FOOTING.
- THE STRUCTURAL ENGINEER OF RECORD SHALL INSPECT THE BUILDINGS FOUNDATIONS WITH ALL REINFORCING PER PLAN PRIOR TO POURING. THE ENGINEER SHALL SUBMIT WRITTEN APPROVAL OF THE FOUNDATION SYSTEM INSTALLATION TO THE BUILDING INSPECTOR.
- THE STRUCTURAL ENGINEER OF RECORD SHALL PROVIDE PERIODIC INSPECTIONS OF THE FRAMING AND PROVIDE WRITTEN REPORTS TO THE BUILDING DEPARTMENT.
- ALL WELDING SHALL BE CONTINUOUSLY INSPECTED BY AN INDEPENDANT INSPECTOR APPROVED BY THE BUILDING DEPARTMENT.

DEFERRED SUBMITTALS

- TRUSS CALCS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ANY TRUSS INSPECTIONS. CALCS BY MANUFACTURER SHALL INCLUDE TRUSS PROFILES AND LAYOUT PLANS.
- THE MANUFACTURED TRUSS SUBMITTALS SHALL BE REVIEWED (INDICATED BY LETTER OR STAMP, SIGNATURE AND DATE) BY THE ENGINEER OF RECORD FOR DESIGN COMPATIBILITY. A CERTIFICATION LETTER FROM THE ENGINEER SHALL BE SENT TO THE BUILDING DEPARTMENT STATING THIS APPROVAL.
- THE TRUSSES SHALL NOT BE INSTALLED UNTIL AN APPROVED JOB COPY OF THE TRUSS SUBMITTALS IS ISSUED BY THE BUILDING DEPARTMENT.
- GLU-LAM CERTIFICATES SHALL BE COPIED TO THE BUILDING DEPARTMENT.
- ANY NEW SITE RETAINING WALLS HAVE NOT BEEN REVIEWED UNDER THIS PERMIT. A SEPERATE PERMIT APPLICATION IS REQUIRED FOR ALL NEW RETAINING WALLS.

PROJECT INFORMATION

- PROJECT DESCRIPTION:
(E) TWO STORY SINGLE FAMILY RESIDENCE WITH ATTACHED 3 CAR GARAGE, BUILD NEW POOL, NEW GYM AND NEW ADU, NEW SPORT COURT AND RETAINING WALLS AND STEPS
- PROJECT ADDRESS:
1605 SONADO RD.
PEBBLE BEACH, CA. 93950

PLANNING INFORMATION

- A.P.N. 008-201-004
- LEGAL DESCRIPTION LOT ____ BLOCK ____
- COUNTY OF MONTEREY ZONING: LDR/1.5-D(CZ)
- TITLE 20 (COASTAL ZONE) ZONING ORDINANCE FOR MONTEREY COUNTY
- MAX. ALLOWABLE BUILDING HEIGHT: 30' MAIN RESIDENCE 15' ACCESSORY-DETACHED
- TREE REMOVAL: NONE
- APPROX. GRADING: 100 CY CUT, 100 CY FILL
- PARKING REQUIRED: COVERED: 2 UNCOVERED: --
- PARKING PROVIDED: COVERED: 3 UNCOVERED: 2

BUILDING INFORMATION

- PROJECT CODE COMPLIANCE—CODE EDITIONS USED:
2022 CAL. BUILDING CODE—CBC 2022 CAL. RESIDENTIAL CODE—CRC
2022 CAL. ELEC. CODE—CEC 2022 CAL. MECH. CODE—CMC
2022 CAL. PLUMB. CODE—CPC 2022 CAL. ENERGY CODE—CEC
2022 CAL. GREEN BLDG. STDS—CGCBS 2022 CAL. FIRE CODE—CFC

- CONSTRUCTION TYPE: VB
- BUILDING OCCUPANCY: R-3 / U

- FIRE DEPARTMENT:
FIRE DISTRICT: P.B.C.S.D.
AUTOMATIC SPRINKLERS EXISTING: YES
AUTOMATIC SPRINKLERS REQUIRED: YES NFPA 13D PER 903.3.1.3
WILDLAND URBAN INTERFACE CODES REQ'D: YES
W.U.I. ZONE: S.U.R.A.
- UTILITY PROVIDERS:
SEWER: P.B.C.S.D
WATER: CAL AM
ELEC / GAS: PG&E

PROJECT SQUARE FOOTAGE INFORMATION

TOTAL SITE AREA:	=	69,541 S.F. (1.6 AC.)
LOT / SITE COVERAGE		
STRUCTURAL LOT COVERAGE		
(E) RESIDENCE—MAIN LEVEL	=	5,109 S.F.
(E) THREE CAR GARAGE	=	777 S.F.
(E) REAR COVERED TERRACE	=	157 S.F.
(E) M. BED UPPER TERRACE	=	78 S.F.
(E) M. BATH UPPER TERRACE	=	106 S.F.
(N) GYM	=	410 S.F.
(N) ADU	=	1,027 S.F.
(N) STRUCTURAL TOTAL	=	7,664 S.F.

IMPERVIOUS LOT COVERAGE

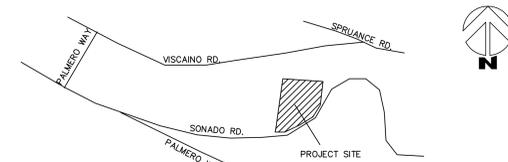
(E) REAR RETO WALL—STEPS	=	77 S.F.
(N) GARDEN WALL—MOTOR CT.	=	75 S.F.
(N) STEPS TO POOL	=	54 S.F.
(N) POOL	=	524 S.F.
(N) STEPS TO SUNDECK—WEST	=	9 S.F.
(N) STEPS TO SUNDECK—EAST	=	9 S.F.
(N) POOL STONE WALL	=	46 S.F.
(N) POOL EQUIPMENT	=	20 S.F.
(N) STEPS TO LOGGIA	=	10 S.F.
(N) REAR ADU RETAINING WALL	=	63 S.F.
(N) STEPS TO ADU	=	10 S.F.
(N) ADU FIREPIIT	=	12 S.F.
(N) SPORTCOURT RETAIN WALLS	=	55 S.F.
(N) STAR TO DECK ABOVE ADU	=	19 S.F.
(N) POOL DECK WALL	=	53 S.F.
(N) STEPS TO LOWER TERRACE	=	18 S.F.
IMPERVIOUS TOTAL	=	1,054 S.F.

TOTAL PROPOSED COVERAGE	=	8,718 S.F.
MAX. ALLOWABLE COVERAGE	=	9,000 S.F. PEBADERO WATERSHED
IMPERVIOUS TOTAL	=	8,718 S.F.
(N) NORTH LOGGIA	=	329 S.F. OPEN TRELLIS OVER PERMEABLE PAVERS
(N) DINING LOGGIA	=	318 S.F. OPEN TRELLIS OVER PERMEABLE PAVERS
TOTAL PROPOSED LOT COVERAGE	=	9,365 S.F.
MAX. ALLOWABLE COVERAGE	=	10,431 S.F. (15%) ZONING

PROPOSED FLOOR AREA		
(E) RESIDENCE—MAIN LEVEL	=	5,109 S.F.
(E) RESIDENCE—UPPER LEVEL	=	2,717 S.F.
(E) THREE CAR GARAGE	=	777 S.F.
(N) GYM	=	410 S.F.
(N) ADU	=	1,027 S.F.

PROPOSED FLOOR AREA	=	10,040 S.F. (14.4%)
MAX. ALLOWABLE FLOOR AREA	=	12,170 S.F. (17.5%)

VICINITY MAP



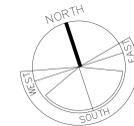
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SITE PLAN

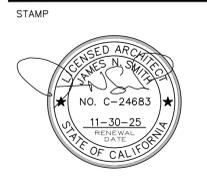
SCALE: 1/8" = 1'-0"
 0' 2' 4' 8' 16'



JAMES NEWHALL SMITH
 ARCHITECT, Inc.

27880 DORRIS DR. #200
 CARMEL VALLEY, CA.
 93923

831-915-9518
 JAMES@JNSARCH.COM



PROJECT/CLIENT
JENKINS RESIDENCE

BJ & JULIE JENKINS
 1605 SONADO RD
 PEBBLE BEACH, CA.

SHEET TITLE
SITE PLAN

ISSUE	REVISIONS
① 07-17-24	PRELIM. REVIEW
○	
○	
○	
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DATE
 PROJECT NUMBER
 SHEET NUMBER

A1.0

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JAMES@JNSARCH.COM

STAMP



PROJECT/CLIENT

JENKINS
RESIDENCE

BJ & JULIE JENKINS
1605 SONADO RD
PEBBLE BEACH, CA.

SHEET TITLE

SITE PLAN
ADU

ISSUE REVISIONS

1 07-17-24

PRELIM. REVIEW

DATE

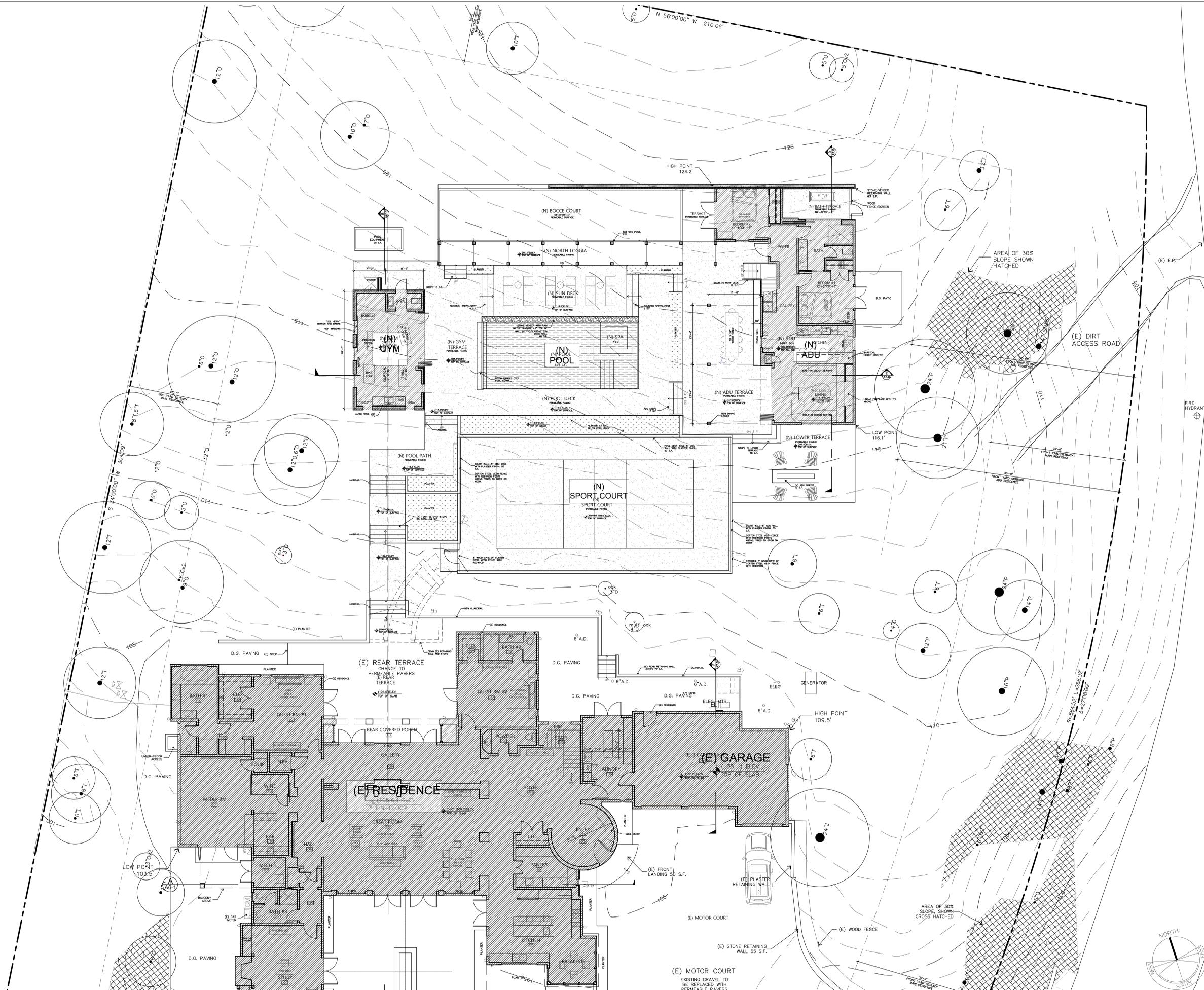
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SHEET NUMBER

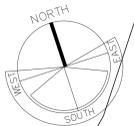
A1.1

SITE PLAN - GYM -ADU

SCALE: 1/8" = 1'-0" 0' 2' 4' 8' 16'



SONADO ROAD



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PROJECT/CLIENT
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RESIDENCE**

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PEBBLE BEACH, CA.

SHEET TITLE
**FLOOR PLAN
MAIN LEVEL
ADU**

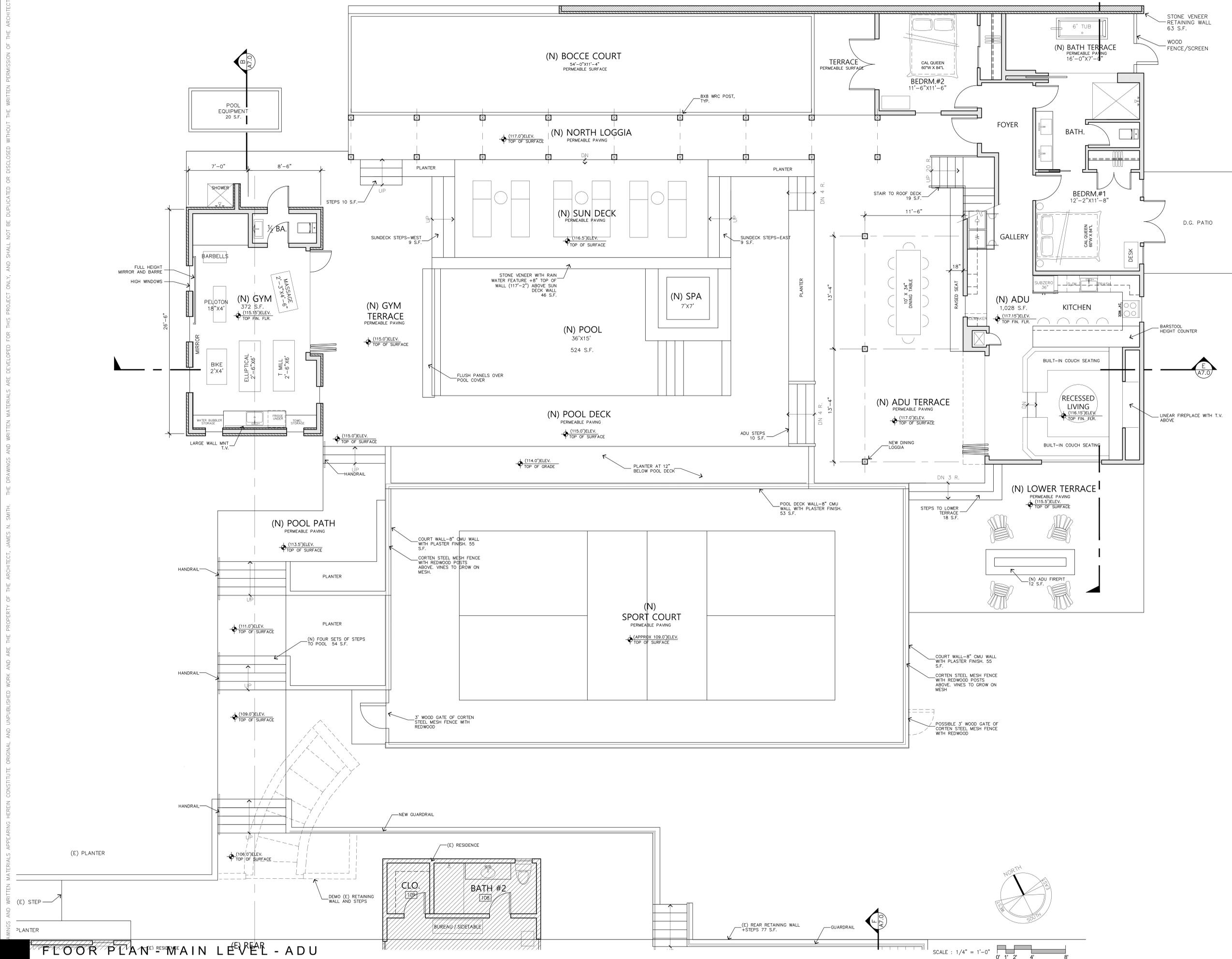
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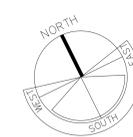
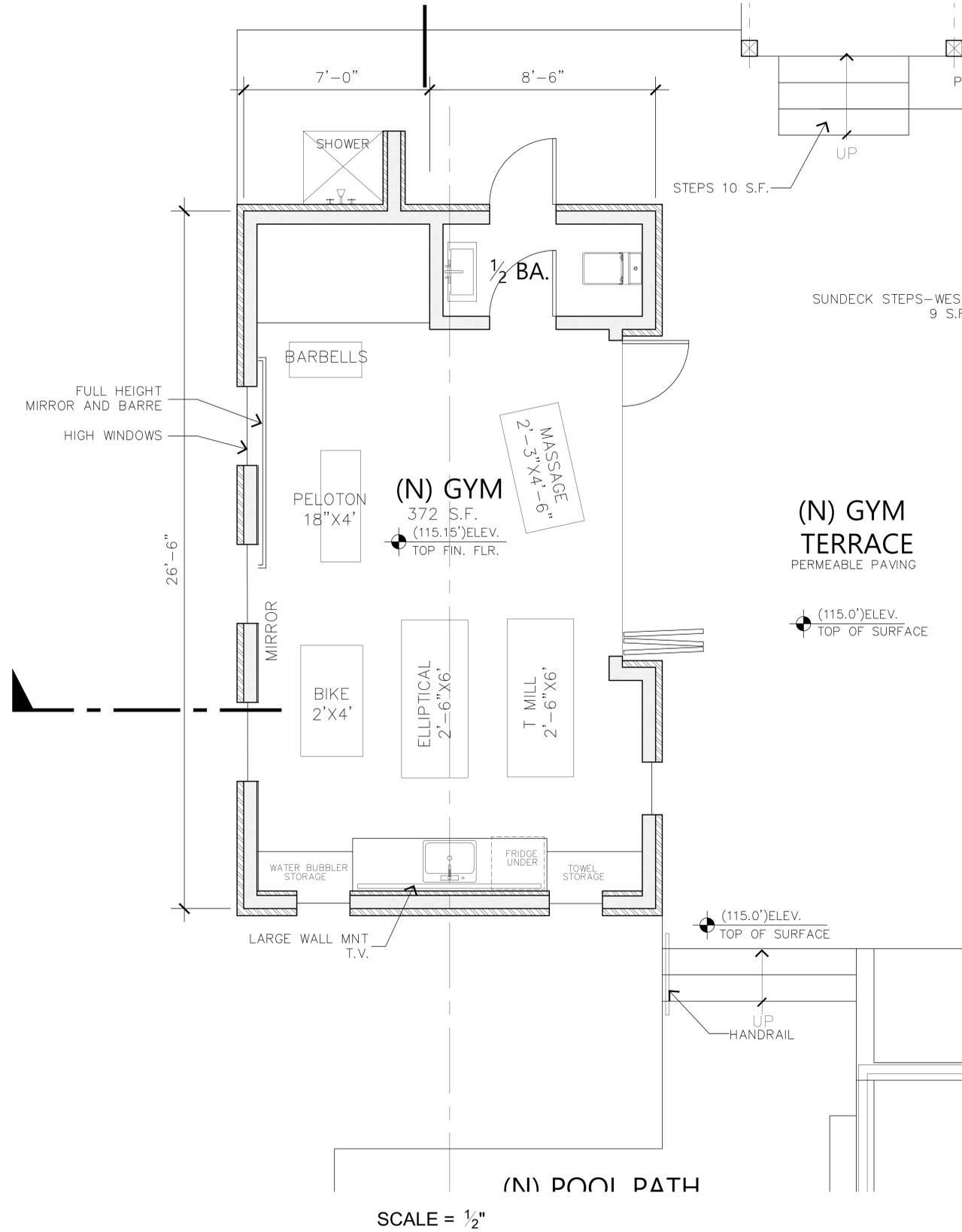
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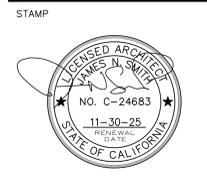
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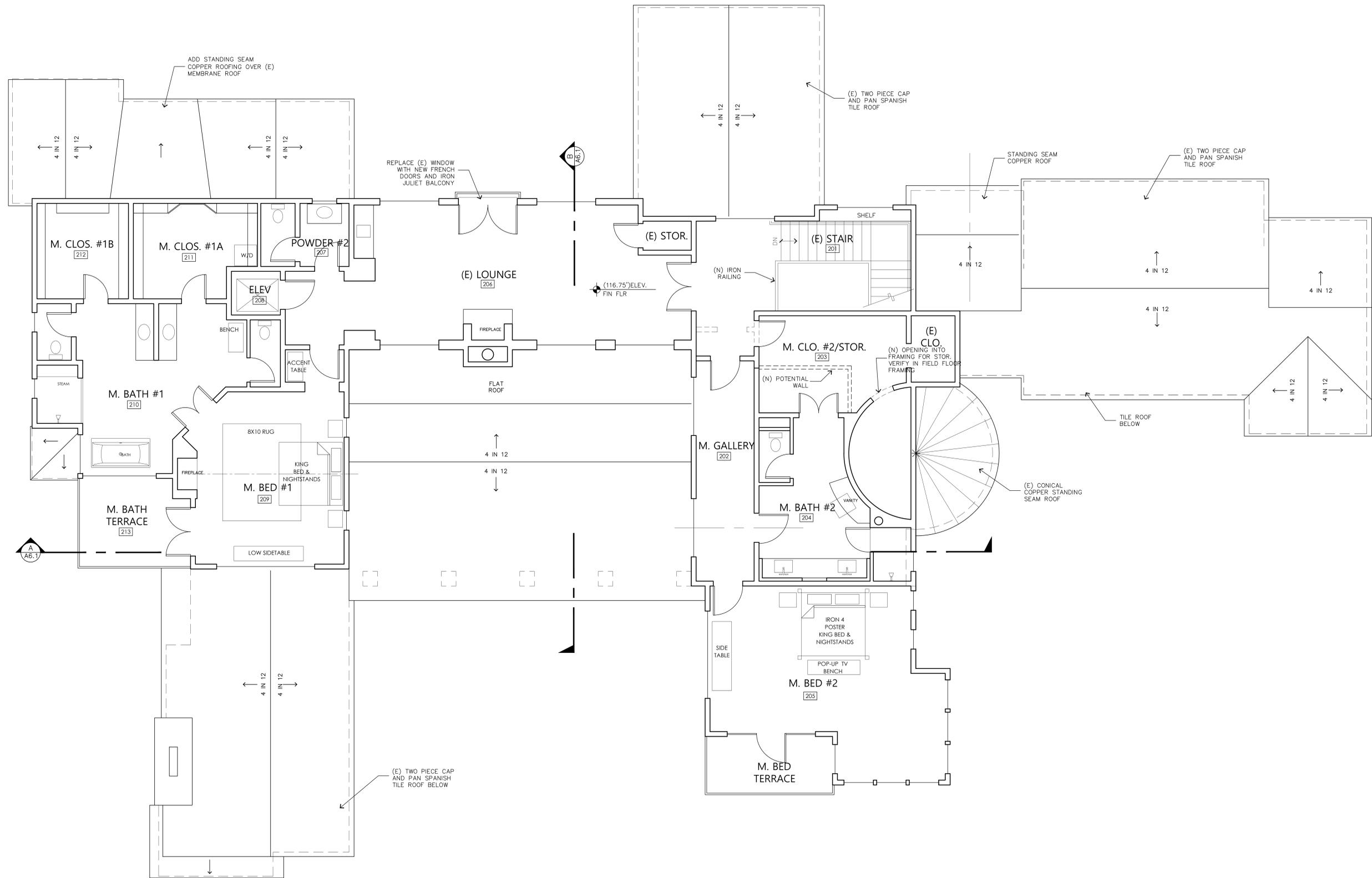
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**FLOOR PLAN
MAIN LEVEL
ADU**

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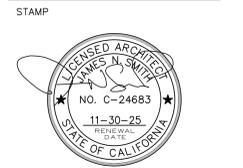
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SHEET TITLE
**FLOOR PLAN
UPPER LEVEL**

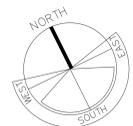
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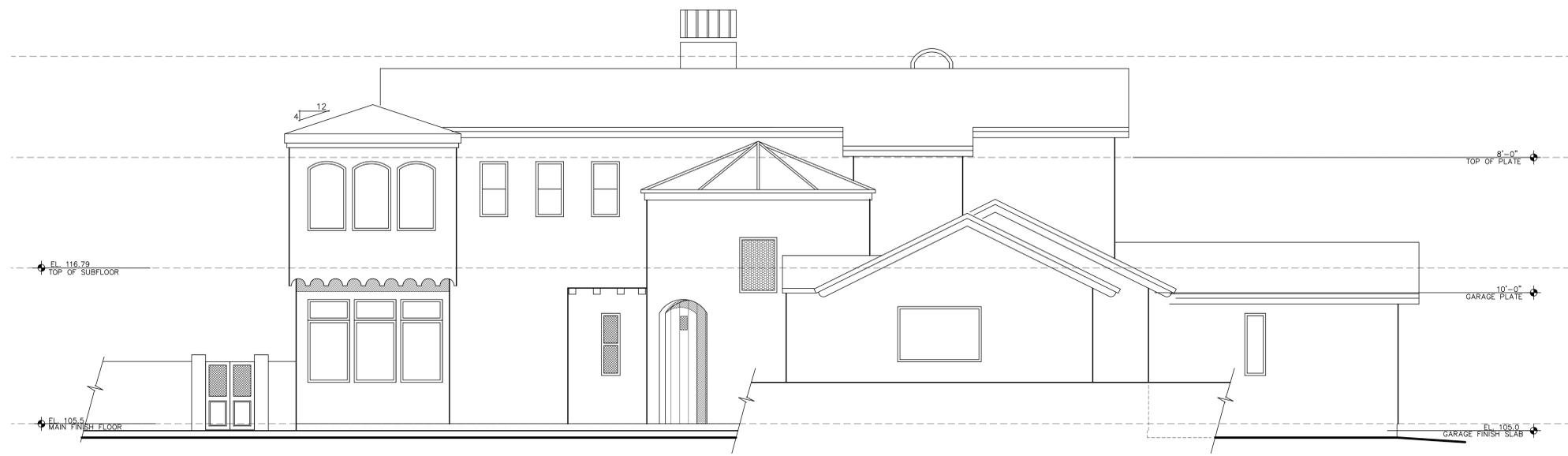
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SOUTH ELEVATION

SCALE : 1/4" = 1'-0"

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EAST ELEVATION

SCALE : 1/4" = 1'-0"

SHEET TITLE

**EXTERIOR
ELEVATIONS**

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① 07-17-24
PRELIM. REVIEW

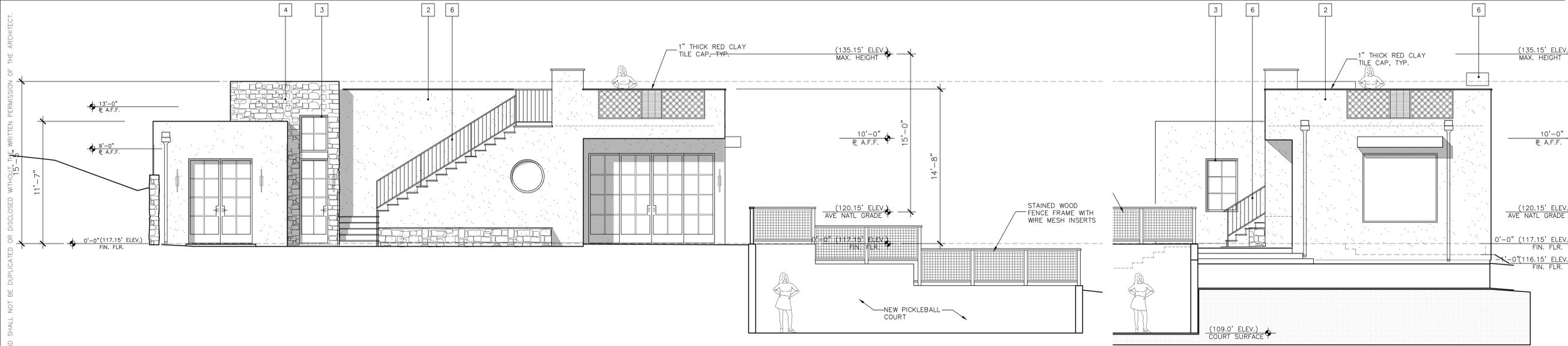
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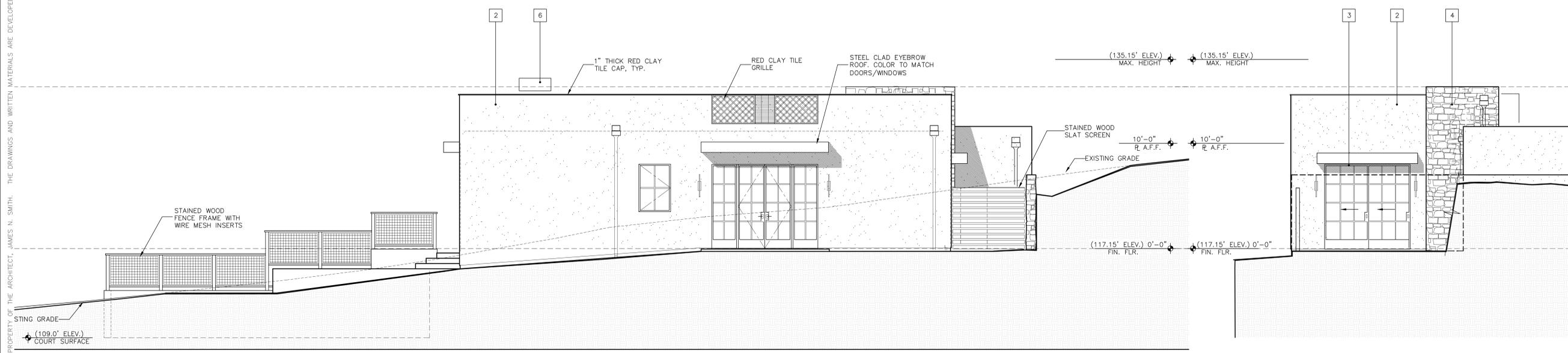
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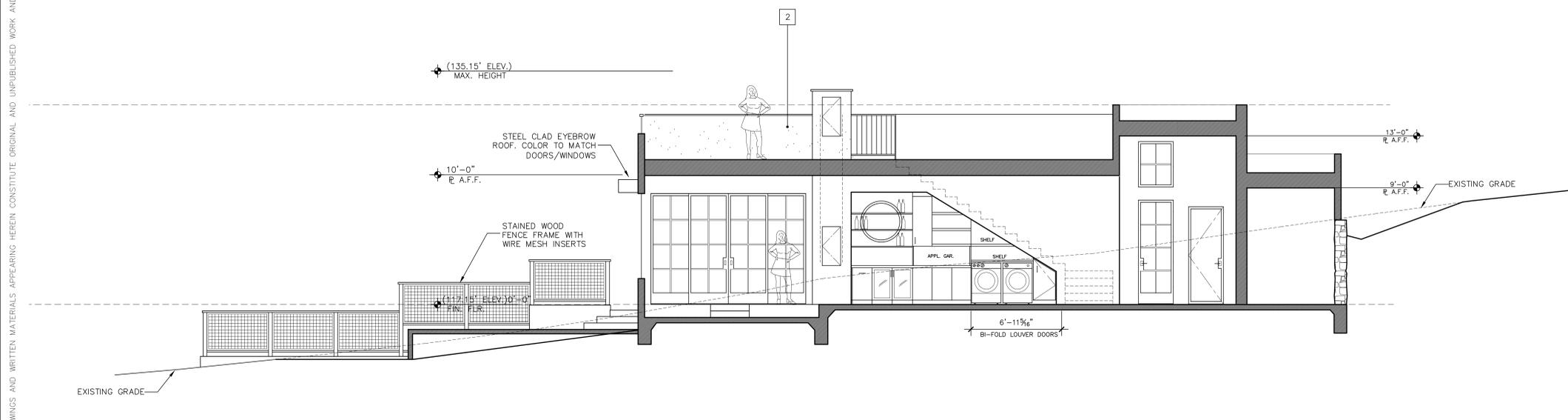
WEST ELEVATION - ADU

SOUTH ELEVATION - ADU SCALE: 1/4" = 1'-0"



EAST ELEVATION - ADU

NORTH ELEVATION - ADU SCALE: 1/4" = 1'-0"



INTERIOR ELEVATION - ADU

SCALE: 1/4" = 1'-0"

ELEVATION MATERIALS LEGEND

1	ROOFING—TWO PEICE CAP AND PAN CLAY TILE BY REDLAND; COLOR TO BE CAFE ANTIGUA SANDCAST BLEND, 2343
2	3 COAT EXTERIOR PLASTER WITH LEVEL 4 SMOOTH FINISH. COLOR:LA HABRA, CRYSTAL WHITE, TO MATCH EXISTING
3	THERMAL ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY ARCADIA. COLOR: AB-6 DARK BRONZE
4	STONE VENEER GOLDEN GRANITE TO MATCH EXISTING
5	COPPER CHIMNEY SHROUD
6	WROUGHT IRON RAILING BY CR LAWRENCE, OR EQUAL

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SHEET TITLE
EXTERIOR ELEVATIONS

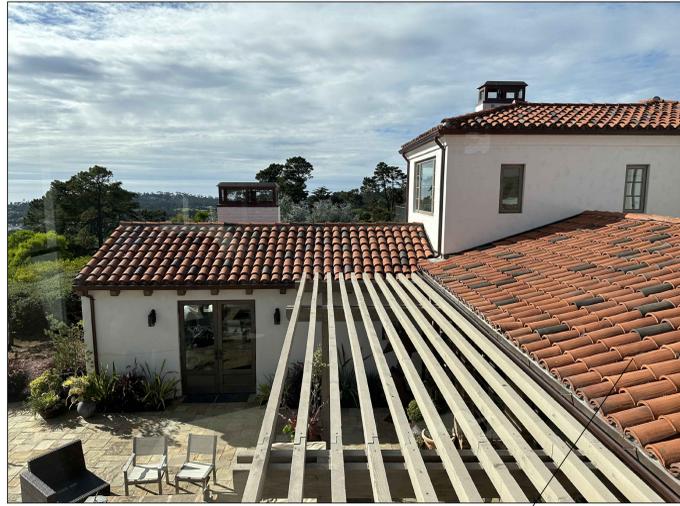
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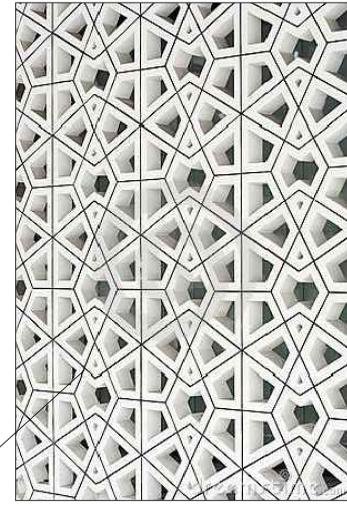


ROOFING TILE AND EAVES AT MAIN RESIDENCE TO MATCH FOR ADDITIONS



STEEL DOORS AND PLASTER

STYLE INSPIRATION



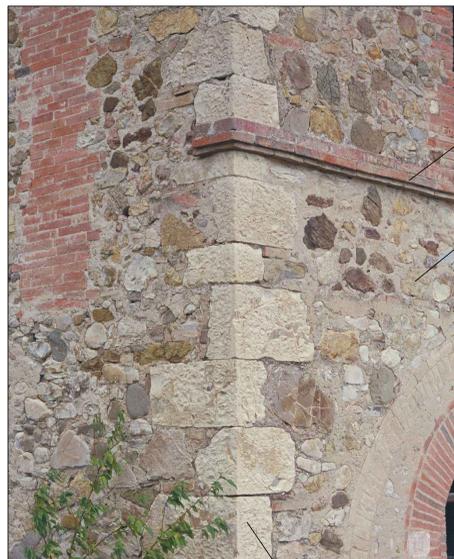
STYLE INSPIRATION



NEW GYM - PROPOSED EAST ELEVATION



NEW ADU - PROPOSED WEST ELEVATION



BRICK ACCENTS AT TOP OF CHIMNEY, FOR EXAMPLE, OR AT OTHER LOCATIONS

RUBBLE OR STND STONE WITH OVERMORTARED LOOK

STYLE INSPIRATION

STONE QUOINING AT CORNERS AND SOME OPENINGS



STONE AT MAIN RESIDENCE TO MATCH FOR ADDITIONS

WOOD FRAMED FENCE WITH WIRE MESH



STYLE INSPIRATION

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PROJECT/CLIENT JENKINS RESIDENCE

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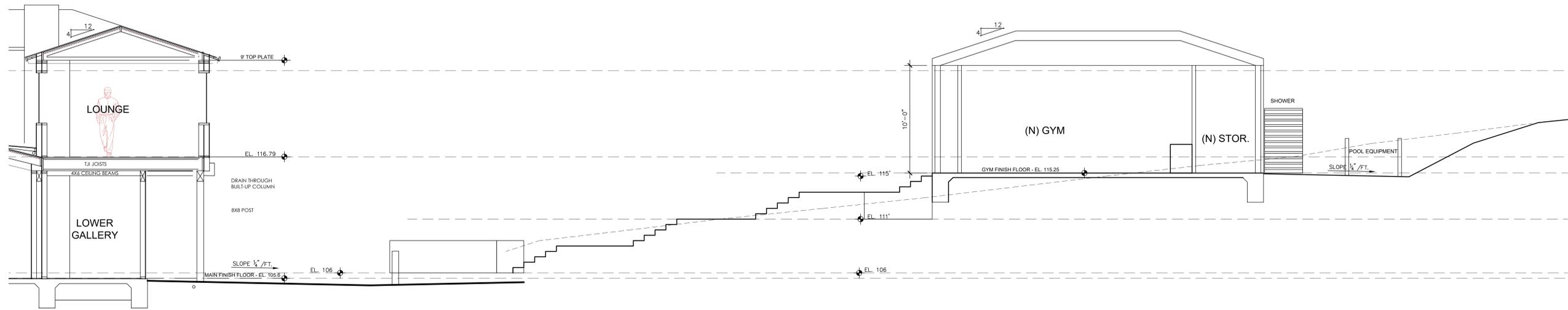
SHEET TITLE EXTERIOR ELEVATIONS

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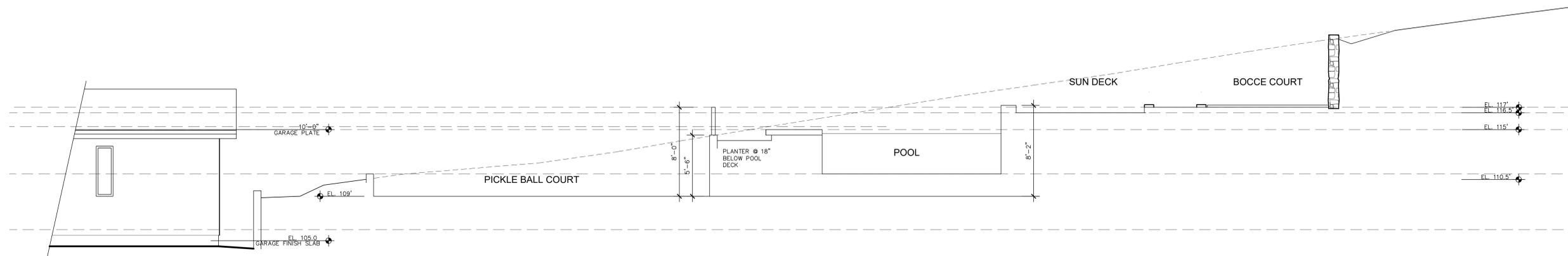
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SECTION 'B'

SCALE : 1/4" = 1'-0"



SECTION 'C'

SCALE : 1/4" = 1'-0"

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SHEET TITLE

SECTIONS

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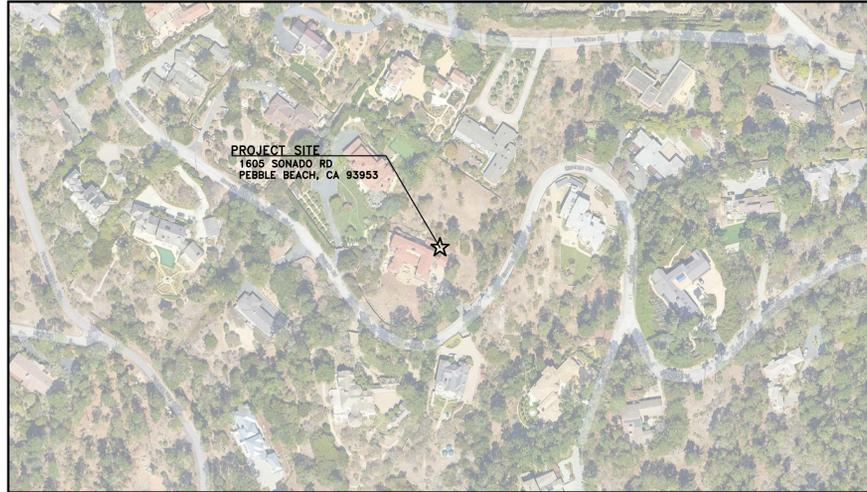
PROJECT NUMBER

SHEET NUMBER

A7.0

GRADING, DRAINAGE, AND EROSION CONTROL PLAN

OF
THE JENKINS ADU/GYM
 APN: 008-201-004
 PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA



VICINITY MAP
NOT TO SCALE



LOT OVERVIEW
SCALE: 1" = 50'

ABBREVIATIONS:

±	= PLUS OR MINUS; APPROXIMATE	EVC	= END OF VERTICAL CURVE	PL	= PROPERTY LINE
∅	= DIAMETER	EW	= EACH WAY	POC	= POINT OF CONNECTION
AB	= AGGREGATE BASE	EX	= EXISTING	PVC	= POLYVINYL CHLORIDE
ABAN	= ABANDON	FC	= FLUSH CURB	RC	= RELATIVE COMPACTION
AC	= ASPHALT CONCRETE	FD	= FIRE DEPARTMENT	RES	= RESIDENCE
AD	= AREA DRAIN	FF	= FINISHED FLOOR	RM	= ROOM
ADD	= ADDITION	FG	= FINISHED GRADE	RND	= ROUND
ADU	= ACCESSORY DWELLING UNIT	FL	= FLOWLINE	RW	= RETAINING WALL
BC	= BEGINNING OF CURVE	FM	= FORCE MAIN	RWL	= RAINWATER LEADER
B.E.	= BUILDING ENVELOPE	FP	= FINISHED PAD	SD	= STORM DRAIN
BLDG	= BUILDING	GAR	= GARAGE	SF	= SQUARE FEET
BOT	= BOTTOM	GB	= GRADE BREAK	SG	= SUBGRADE
BSMT	= BASEMENT	GR	= GRATE	SO	= SQUARE
BVC	= BEGINNING OF VERTICAL CURVE	HDPE	= HIGH-DENSITY POLYETHYLENE	SS	= SANITARY SEWER
CB	= CATCH BASIN	HP	= HIGH POINT	STA	= STATION
CF	= CUBIC FEET	HT	= HEIGHT	STN	= STONE
CL	= CENTERLINE	INV	= PIPE INVERT	STP	= STEP
CO	= CLEANOUT	JB	= JUNCTION BOX	SUBD	= SUBDRAIN
CONC	= CONCRETE	JT	= JOINT TRENCH	TBR	= TO BE REMOVED
CY	= CUBIC YARDS	LF	= LINEAR FEET	TD	= TRENCH DRAIN
DG	= DECOMPOSED GRANITE	LP	= LOW POINT	TW	= TOP OF WALL
DK	= DECK	MAX	= MAXIMUM	TYP	= TYPICAL
DS	= DOWNSPOUT	MIN	= MINIMUM	U.N.O.	= UNLESS NOTED OTHERWISE
DWY	= DRIVEWAY	OC	= ON-CENTER	VC	= VERTICAL CURB
EC	= END OF CURVE	OUT	= OUTLET	VIF	= VERIFY IN FIELD
EG	= EXISTING GROUND	PCC	= PORTLAND CEMENT CONCRETE	W/	= WITH
ELEV	= ELEVATION	PERF	= PERFORATED	W/O	= WITHOUT
ESMT	= EASEMENT	PERM	= PERMEABLE	WD	= WOOD

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	GRADING & DRAINAGE PLAN
SHEET C3	GRADING SECTIONS & DETAILS
SHEET C4	UTILITY PLAN
SHEET C5	CONSTRUCTION DETAILS
SHEET C6	CONSTRUCTION DETAILS
SHEET C7	EROSION & SEDIMENT CONTROL PLAN
SHEET C8	CONSTRUCTION MANAGEMENT PLAN

GENERAL NOTES:

- PROJECT DESIGN IS BASED ON INFORMATION OBTAINED FROM THE ARCHITECTURAL PLANS FOR THE JENKINS ADU/GYM PREPARED BY JAMES NEWHALL SMITH ARCHITECT, DATED 03/17/2025; AND THE TOPOGRAPHIC MAP FOR THE SITE PREPARED BY L&S ENGINEERING AND SURVEYING, DATED 09/09/2022.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUBSURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE LATEST AUTHORITY HAVING JURISDICTION GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE RECOMMENDATIONS FOUND IN THE PROJECT'S SOIL ENGINEERING INVESTIGATION PREPARED BY SOIL SURVEYS GROUP, DATED 01/31/2019; THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS; THE GOVERNING PUBLIC AGENCIES; THE LATEST REVISION OF THE CALIFORNIA BUILDING CODE (CBC); AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 1110 CUBIC YARDS OF CUT AND 65 CUBIC YARDS OF FILL TOTAL WITH A NET EXCESS OF 1045 CUBIC YARDS. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. ARE NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOILS REPORT AND BE APPROVED BY THE SOIL ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10' PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO DO SO AND FOR USE IN GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND THE FINAL GRADING REPORT SHALL BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10'. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10' OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 2% WHERE LOCATED WITHIN 5' OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE ACCOMPLISHED BY THE USE OF GUTTERS AND DOWNSPOUTS. THE DOWNSPOUTS SHALL BE CONNECTED TO RAINWATER LEADERS AND TIED INTO THE STORM DRAIN SYSTEM AS SHOWN ON THE SITE UTILITY PLAN. DOWNSPOUTS THAT ARE NOT CONNECTED TO A RAINWATER LEADER SHALL OUTLET ONTO SPLASH BLOCKS OR AN APPROVED ALTERNATIVE. SPLASH BLOCKS MAY BE UNNECESSARY IF THE DOWNSPOUT OUTLETS DIRECTLY ONTO AN IMPERVIOUS SURFACE THAT IS PROPERLY GRADED AWAY FROM FOUNDATIONS. RAINWATER LEADERS SHALL BE CONSTRUCTED WITH 4" SDR35 PVC PIPE. UNDER NO CIRCUMSTANCES SHALL A RAINWATER LEADER BE CONNECTED TO A SUBDRAIN LINE.
- SURFACE RUNOFF SHALL BE COLLECTED BY A SYSTEM OF SWALES AND DRAINS. CAPTURED STORMWATER SHALL BE PIPED TO A DISPERSION TRENCH AS SHOWN ON THE SITE UTILITY PLAN. STORM DRAIN LINES SHALL DRAIN BY GRAVITY AND BE SLOPED AT A MINIMUM OF 2% TO AN OUTLET. WHERE A 2% SLOPE IS IMPRACTICAL, PIPES SHALL BE SLOPED AT NO LESS THAN 1%. STORM DRAIN LINES SHALL HAVE A MINIMUM COVER OF 12" AND SHALL BE CONSTRUCTED WITH SDR35 PVC PIPE, SIZED AS INDICATED.
- TRENCH DRAINS SHALL BE NOS CHANNEL DRAINS, SIZED AS INDICATED ON THE SITE UTILITY PLAN. FLAT-BOTTOMED CHANNELS SHOULD BE SLOPED AT A MINIMUM OF 0.5% TO AN OUTLET IN ORDER TO ENSURE PROPER DRAINAGE AND PREVENT STANDING WATER IN THE TRENCH. ANY CHANNEL SLOPED AT LESS THAN 0.5% SHALL HAVE OUTLETS SPACED AT NO MORE THAN 10'. GRATES AND CHANNELS SHALL HAVE A LOAD RATING GREATER THAN OR EQUAL TO THE EXPECTED LOADING IN THE INSTALLATION AREA. ALL TRENCH DRAINS SHALL BE SURROUNDED BY A MINIMUM OF 4" OF CONCRETE. TRENCH DRAINS SHOULD BE SIZED TO HANDLE THE PEAK RUNOFF RATE PRODUCED BY A 10-YEAR DESIGN STORM.
- SUBSURFACE WATER BEHIND ANY RETAINING WALLS SHALL BE CONTROLLED BY THE INSTALLATION OF SUBDRAINS. SUBDRAIN LINES SHALL BE CONSTRUCTED WITH PERFORATED 4" SDR35 PVC PIPE PLACED WITH THE HOLES FACING DOWNWARD. COLLECTED WATER SHALL DRAIN TO DAYLIGHT AT A MINIMUM SLOPE OF 1% AS SHOWN ON THE SITE UTILITY PLAN. PIPES CARRYING SURFACE WATER OR ROOF WATER SHALL NOT UNDER ANY CIRCUMSTANCES OUTLET INTO A SUBDRAIN LINE. THE SYSTEM OF SUBDRAINS SHALL REMAIN INDEPENDENT OF THE SURFACE STORM DRAIN SYSTEM.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE AUTHORITY HAVING JURISDICTION PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- SPECIAL INSPECTIONS BY A SPECIAL INSPECTOR ARE REQUIRED DURING FILL PLACEMENT TO ENSURE PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT, AND PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- STOP WORK WITHIN 50 METERS (165') OF UNCOVERED RESOURCE AND CONTACT THE AUTHORITY HAVING JURISDICTION RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

PROJECT DATA:

GRADING VOLUMES:	
CUT	1110 CY
FILL	65 CY
NET	1045 CY CUT
SITE AREA: 69,541 SF (1.6 AC)	
DISTURBED AREA: 22,008 SF	
IMPERVIOUS LOT COVERAGE:	
EXISTING	6304 SF
NEW/REPLACED	2529 SF
TOTAL	8836 SF

LEGEND:

-----	PROPERTY BOUNDARY	█	EXISTING RESIDENCE FOOTPRINT	█	CATCH BASIN
-----	SETBACK	█	PROPOSED BUILDING FOOTPRINT	○	AREA DRAIN
-----	MAJOR CONTOUR (5' INTERVAL)	█	ASPHALT CONCRETE	□	JUNCTION BOX
-----	MINOR CONTOUR (1' INTERVAL)	█	CONCRETE	█	DISPERSION TRENCH
=====	RETAINING WALL	█	DECOMPOSED GRANITE	○	TREE
-> -> -> ->	SWALE FLOW LINE	█	GRAVEL	⊗	TREE TO BE REMOVED
— SD — SD —	STORM DRAIN PIPE	█	PERMEABLE PAVERS		
— RW — RW —	RAINWATER LEADER				
-----	SUBDRAIN LINE				

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection Item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	SOIL SURVEYS GROUP	Beginning of Project		
Subexcavation, fill placement, and compaction	SOIL SURVEYS GROUP	Throughout grading operations		
Foundation Excavations	SOIL SURVEYS GROUP	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	SOIL SURVEYS GROUP	Prior to trench backfill		
Utility trench compaction	SOIL SURVEYS GROUP	During backfill operations		
Retaining wall backfill compaction	SOIL SURVEYS GROUP	During backfill operations		
Baserock subgrade compaction	SOIL SURVEYS GROUP	Prior to pavement installation		

STORMWATER CONTROL NOTES:

- THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRa) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- THIS PROJECT SHALL IMPLEMENT THE FOLLOWING STRATEGIES: MINIMIZE COMPACTION OF HIGHLY PERMEABLE SOILS; LIMIT CLEARING AND GRADING OF NATIVE VEGETATION; MINIMIZE IMPERVIOUS SURFACES AND LEAVE THE REMAINING LAND IN A NATURAL UNDISTURBED STATE; MINIMIZE STORMWATER RUNOFF BY DIRECTING RUNOFF FROM PATIOS, PORCHES, AND DRIVEWAYS ONTO VEGETATED AREAS AND DIRECTING ROOF RUNOFF INTO AN INFILTRATION SYSTEM SAFELY AWAY FROM BUILDING FOUNDATIONS AND FOOTINGS, CONSISTENT WITH THE CALIFORNIA BUILDING CODE.

CONTACT INFORMATION:

OWNER:
 BJ AND JULIE JENKINS
 1605 SONADO RD
 PEBBLE BEACH, CA 93953

ARCHITECT:
 JAMES NEWHALL SMITH
 JAMES NEWHALL SMITH ARCHITECT
 27880 DORRIS DR #200
 CARMEL VALLEY, CA 93923

SITE LOCATION:
 1605 SONADO RD
 PEBBLE BEACH, CA 93953

"COVER SHEET"

GRADING, DRAINAGE, AND EROSION CONTROL PLAN
 OF
THE JENKINS ADU/GYM
 A.P.N.: 008-201-004
 PEBBLE BEACH, CALIFORNIA
 BJ AND JULIE JENKINS

SCALE: AS SHOWN
 DATE: MAY 2025
 JOB No. 2883-01

SHEET	C1	
OF	8	SHEETS
No.	DATE	BY
	05/08/25	JAN
		RELEASED TO CLIENT
		REVISION



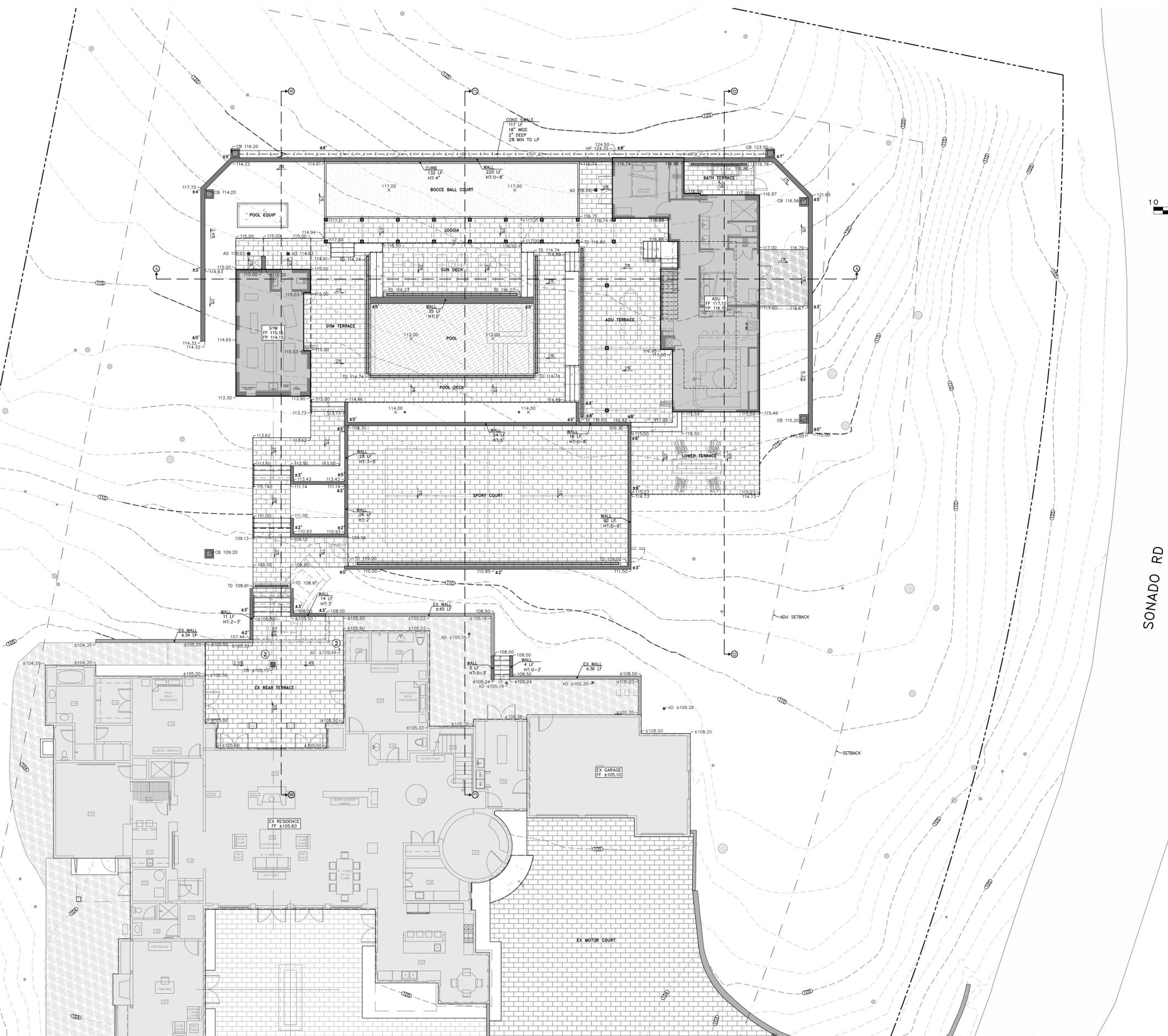
APPROVED BY:

 R. GIRARDO
 CIVIL ENGINEER

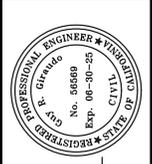


KEYNOTES: ①

- 1) GRADE AWAY FROM FOUNDATIONS THE GROUND ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY AT NO LESS THAN 5% (2% IF IMPERVIOUS) FOR AT LEAST 10' OR TO AN APPROVED ALTERNATIVE METHOD OF STORMWATER MANAGEMENT.
- 2) ADJUST TO GRADE THE EXISTING CATCH BASIN/INLET SHALL REMAIN IN PLACE BUT BE ADJUSTED TO THE NEW GRADE SPECIFIED.



SONADO RD



APPROVED BY:

 GUY R. GIRARDINO

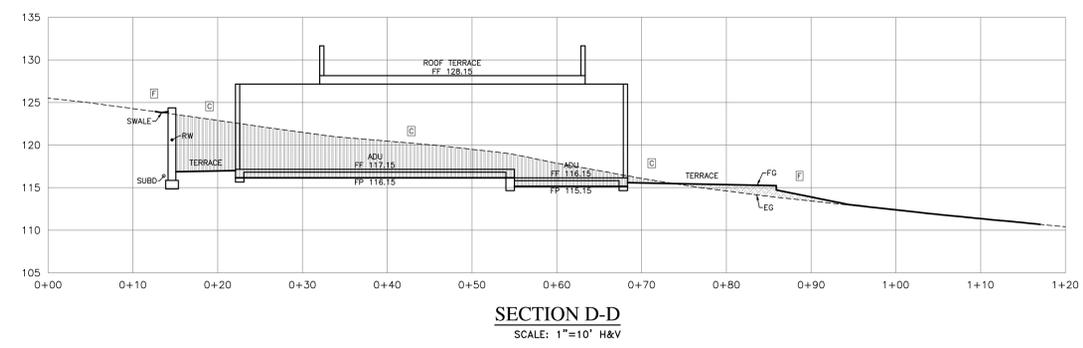
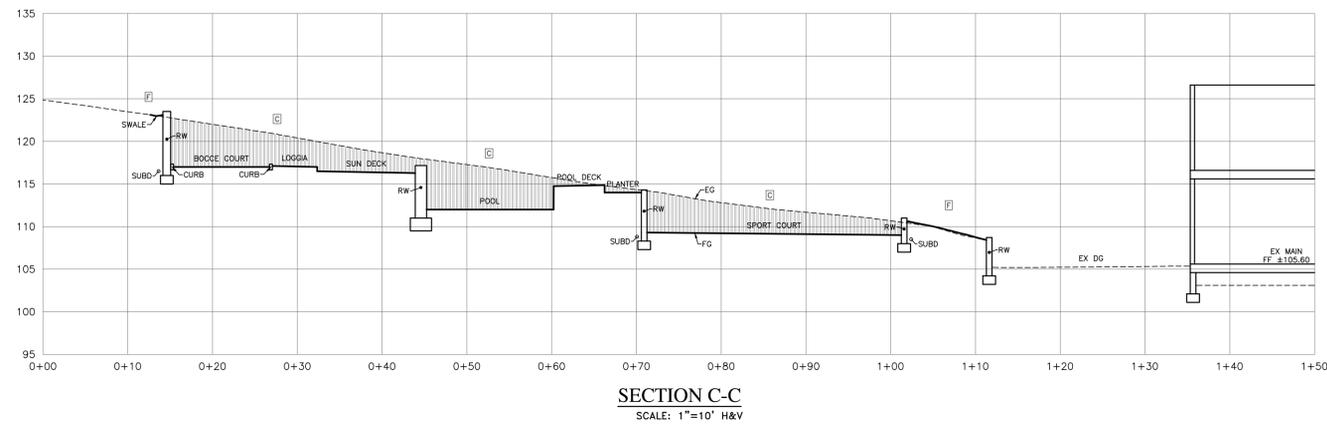
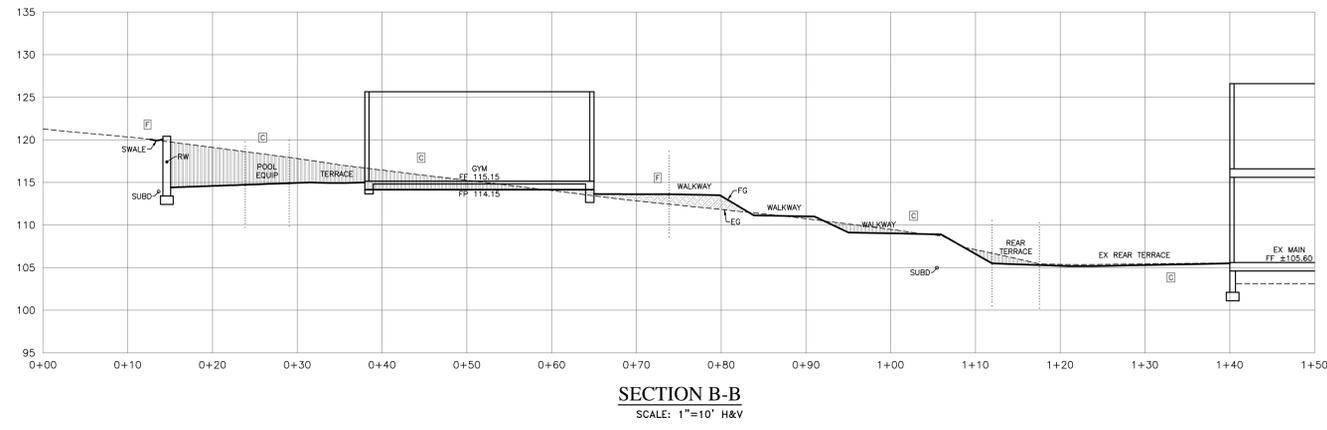
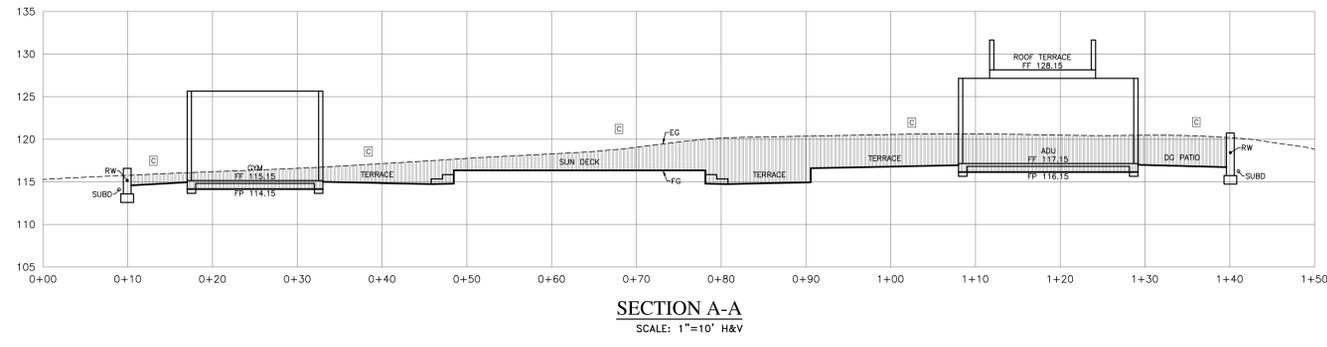


"GRADING & DRAINAGE PLAN"
 GRADING, DRAINAGE, AND EROSION CONTROL PLAN
 OF
 THE JENKINS ADU/GYM
 A.P.N.: 008-201-004
 PEBBLE BEACH, CALIFORNIA
 BJ AND JULIE JENKINS

SCALE: 1" = 10'
 DATE: MAY 2025
 JOB No. 2883-01

No.	DATE	BY	REVISION

SHEET **C2**
 OF 8 SHEETS



APPROVED BY:
[Signature]
GUY R. GIRANNO



"GRADING SECTIONS & DETAILS"
GRADING, DRAINAGE, AND EROSION CONTROL PLAN
OF
THE JENKINS ADU/GYM
A.P.N.: 008-201-004
PEBBLE BEACH, CALIFORNIA
BY AND JULIE JENKINS

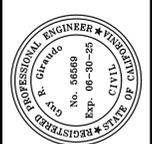
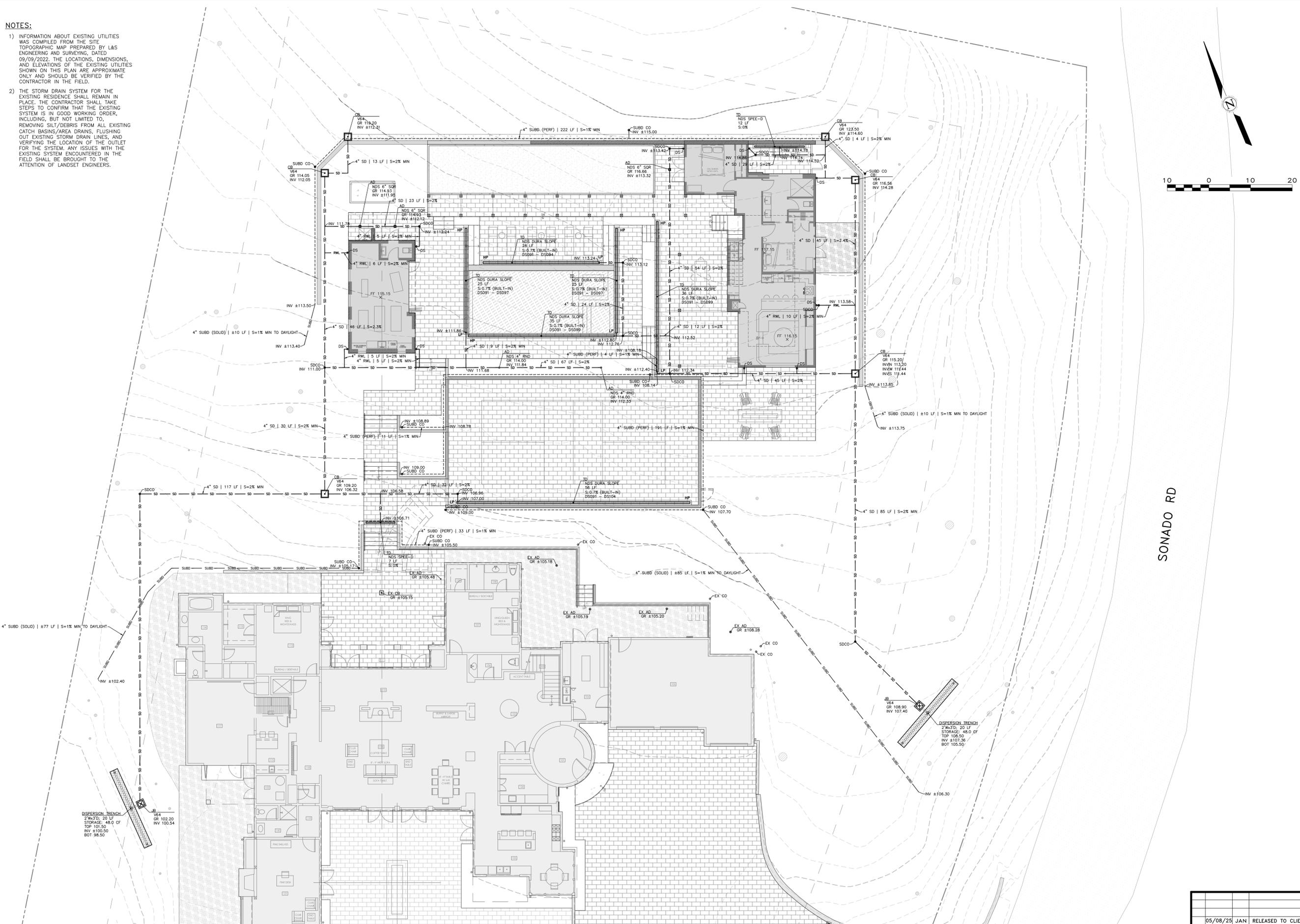
SCALE: AS SHOWN
DATE: MAY 2025
JOB No. 2883-01

No.	DATE	BY	RELEASED TO CLIENT	REVISION
	05/08/25	JAN	RELEASED TO CLIENT	

SHEET **C3**
OF 8 SHEETS

NOTES:

- 1) INFORMATION ABOUT EXISTING UTILITIES WAS COMPILED FROM THE SITE TOPOGRAPHIC MAP PREPARED BY L&S ENGINEERING AND SURVEYING, DATED 09/09/2022. THE LOCATIONS, DIMENSIONS, AND ELEVATIONS OF THE EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED BY THE CONTRACTOR IN THE FIELD.
- 2) THE STORM DRAIN SYSTEM FOR THE EXISTING RESIDENCE SHALL REMAIN IN PLACE. THE CONTRACTOR SHALL TAKE STEPS TO CONFIRM THAT THE EXISTING SYSTEM IS IN GOOD WORKING ORDER, INCLUDING, BUT NOT LIMITED TO, REMOVING SILT/DEBRIS FROM ALL EXISTING CATCH BASINS/AREA DRAINS, FLUSHING OUT EXISTING STORM DRAIN LINES, AND VERIFYING THE LOCATION OF THE OUTLET FOR THE SYSTEM. ANY ISSUES WITH THE EXISTING SYSTEM ENCOUNTERED IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF LANDSET ENGINEERS.



APPROVED BY:

 GUY R. GIRARDINO

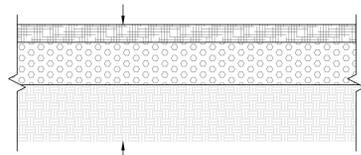


"UTILITY PLAN"
 GRADING, DRAINAGE, AND EROSION CONTROL PLAN
 OF
 THE JENKINS ADU/GYM
 A.P.N.: 008-201-004
 PEBBLE BEACH, CALIFORNIA
 BJ AND JULIE JENKINS

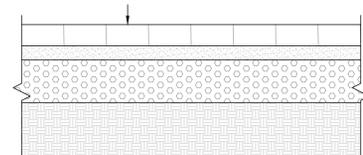
SCALE: 1" = 10'
 DATE: MAY 2025
 JOB No. 2883-01

SHEET **C4**
 OF 8 SHEETS

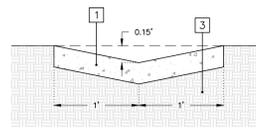
No.	DATE	BY	REVISION
	05/08/25	JAN	RELEASED TO CLIENT



STRUCTURAL SECTION
 2" DG
 6" CLASS 2 AB OR BETTER
 COMPACTED TO 95% RC
 8" MIN SC SCARIFICATION
 RECOMPACTED TO 95% RC



STRUCTURAL SECTION
 3" CONC PAVERS
 2" SAND BEDDING
 6" #57 STONE
 COMPACTED TO 95% RC
 8" MIN SC SCARIFICATION
 RECOMPACTED TO 95% RC



1. 4" THICK CONCRETE VALLEY GUTTER, LONGITUDINAL SLOPE SHALL NOT BE LESS THAN 1% OR GREATER THAN 20%. SIDE SLOPE SHALL BE A MINIMUM OF 5%.
2. IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO REGULARLY MAINTAIN THE SWALE AS NEEDED FROM SILTATION.
3. THE SOIL BELOW THE CONCRETE SHALL BE SCARIFIED 8" AND THEN RECOMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION.

① PAVEMENT SECTION (DG)

② PAVEMENT SECTION (PAVERS)

③ CONCRETE SWALE

④

⑤

⑥

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APPROVED BY:

 GUY R. GIRARDO

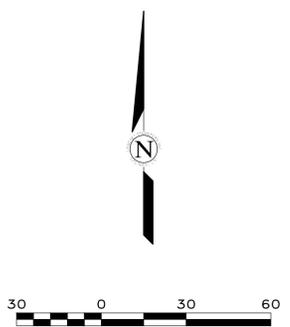
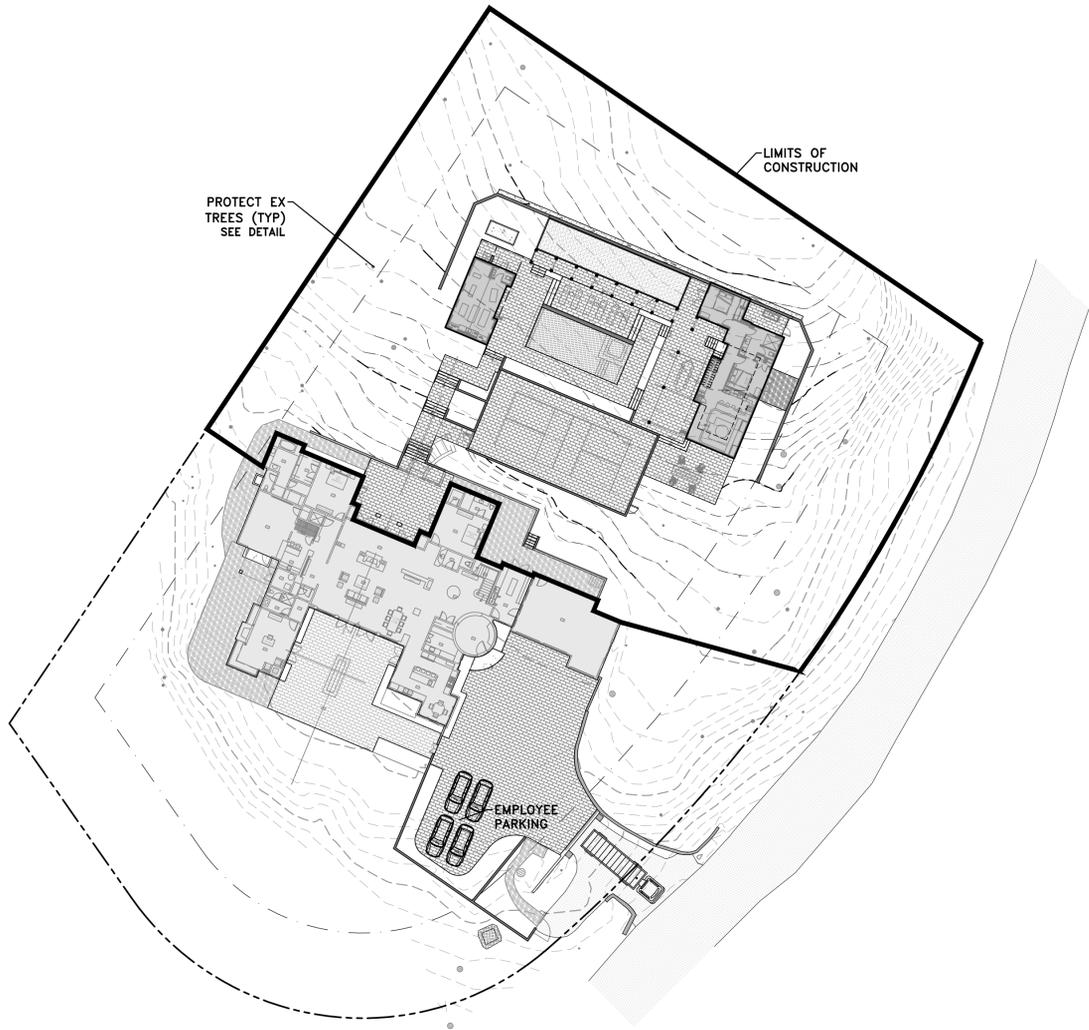


"CONSTRUCTION DETAILS"
 GRADING, DRAINAGE, AND EROSION CONTROL PLAN
 OF
 THE JENKINS ADU/GYM
 A.P.N.: 008-201-004
 PEBBLE BEACH, CALIFORNIA
 BJ AND JULIE JENKINS

SCALE: AS SHOWN
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SHEET **C6**
 OF 8 SHEETS



A PLAN
SCALE: 1" = 30'

SITE GRADING:
THE PROPOSED GRADING INCLUDES APPROXIMATELY 1110 CY OF CUT & 65 CY OF FILL.

CONSTRUCTION STAGING:

- MOBILIZE, CLEAR AND GRUB
- SITE GRADING
- UTILITY INSTALLATION
- CONSTRUCT STRUCTURE
- INSTALL PAVERS AND LANDSCAPING
- SITE CLEANING, PUNCH LIST

MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY. SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

HAUL ROUTES:
HAUL TRUCKS SHALL BACK ONTO THE SITE FROM SONADO RD. HAUL TRUCKS WILL EXIT THE SITE, HEADING NORTH ON SONADO RD. THEY WILL THEN FOLLOW THE ROUTE SHOWN IN DETAIL B, FROM SONADO RD TO MIDWOOD LN TO DEL CIERVO RD TO 17 MILE DR TO CA HWY 68 TO CA HWY 1. FLAGGERS SHALL BE STATIONED ON SONADO RD AS TRUCKS BACK FROM THE PUBLIC RIGHT-OF-WAY ONTO THE SITE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE EASEMENT/DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

TRUCK STAGING AREA:
VEHICLES OR TRUCKS SHALL NOT QUEUE ON SONADO RD. TRUCKS SHALL QUEUE OFFSITE AND SHALL BE DIRECTED TO APPROACH THE SITE BY ONSITE PERSONNEL VIA RADIO OR PHONE.

EMPLOYEE PARKING:
EMPLOYEES SHALL PARK ON SITE WHENEVER POSSIBLE. EMPLOYEES SHALL USE PUBLIC PARKING ALONG SONADO RD AS NECESSARY, OBEYING ALL PARKING LAWS. EMPLOYEES SHALL CARPOOL WHENEVER POSSIBLE. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION:
ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

NUMBER OF EMPLOYEES ONSITE PER DAY: APPROXIMATELY 10-20

NUMBER OF TRUCK TRIPS/DAY: 4

AMOUNT OF GRADING/DAY: 80 C.Y.

HOURS OF OPERATION/DAY: 8

DAYS OF OPERATION: MONDAY THROUGH FRIDAY

TIME OF OPERATION: 8:00 AM - 4:30 PM

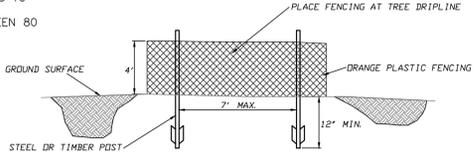
PROJECT SCHEDULING: PROJECTED START DATE IS JANUARY 1, 2026. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	4	5
GRADING & SOIL REMOVAL (EXPORT)	56	14
ENGINEERING MATERIALS (IMPORT)	-	-
TOTALS	60	19

TRUCK TRIP GENERATION NOTES:

- TRUCK TRIPS FOR THE GRADING/SOIL IMPORT IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 4 TRUCK LOADS PER DAY.
- THERE ARE APPROXIMATELY 1045 CUBIC YARDS OF SOIL MATERIAL TO BE EXPORTED FROM THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 19 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 100 CUBIC YARDS.



ESA FENCING
NOT TO SCALE

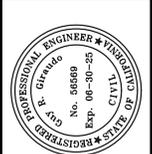


B NEIGHBORHOOD TRUCK ROUTING PLAN
NOT TO SCALE



OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

No.	DATE	BY	REVISION
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APPROVED BY:

GUY R. GIRARDO



"CONSTRUCTION MANAGEMENT PLAN"
GRADING, DRAINAGE, AND EROSION CONTROL PLAN
OF
THE JENKINS ADU/GYM
A.P.N.: 008-201-004
PEBBLE BEACH, CALIFORNIA
BY AND JULIE JENKINS

SCALE: 1" = 30'
DATE: MAY 2025
JOB No. 2883-01

SHEET **C8**
OF 8 SHEETS

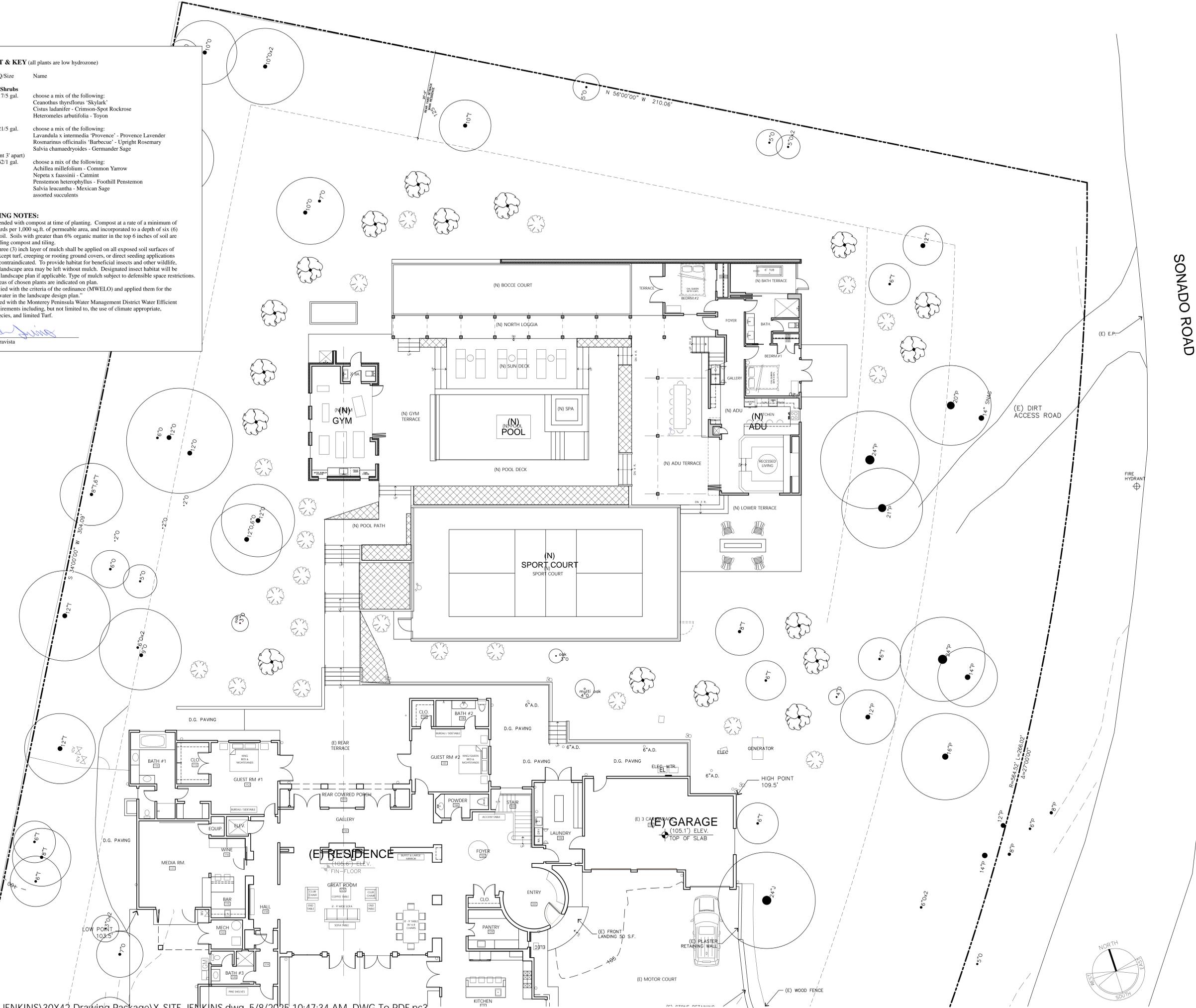
PLANT LIST & KEY (all plants are low hydrozone)

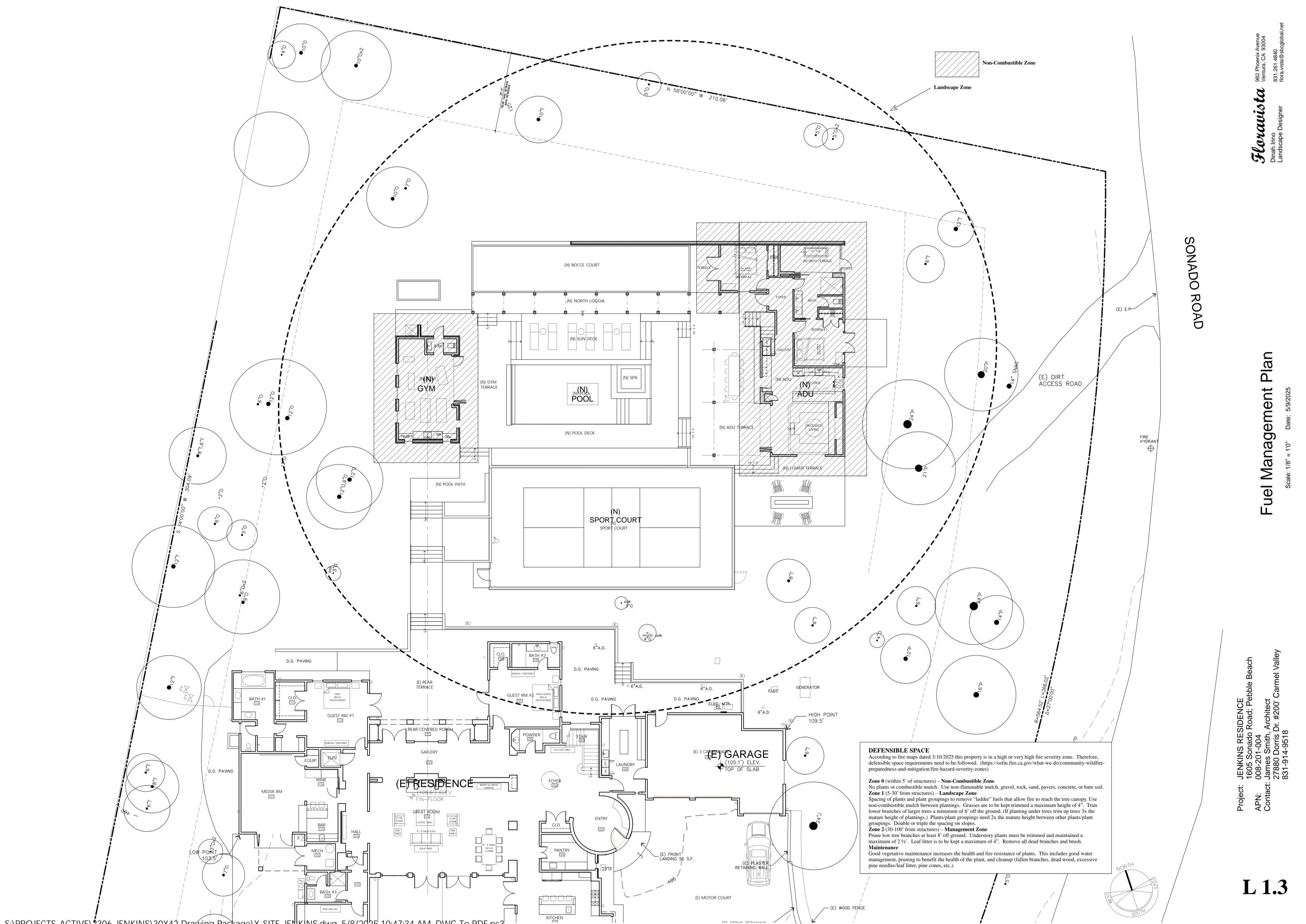
Symbol	Q/Size	Name
	17/5 gal.	choose a mix of the following: Ceanothus thyrsiflorus 'Skylark' Cistus ladanifer - Crimson-Spot Rockrose Heteromeles arbutifolia - Toyon
	21/5 gal.	choose a mix of the following: Lavandula x intermedia 'Provence' - Provence Lavender Rosmarinus officinalis 'Barbecue' - Upright Rosemary Salvia chamaedryoides - Germander Sage
	62/1 gal.	choose a mix of the following: Achillea millefolium - Common Yarrow Nepeta x faassini - Catmint Penstemon heterophyllus - Foothill Penstemon Salvia leucantha - Mexican Sage assorted succulents

LANDSCAPING NOTES:

- Soil to be amended with compost at time of planting. Compost at a rate of a minimum of four (4) cubic yards per 1,000 sq.ft. of permeable area, and incorporated to a depth of six (6) inches into the soil. Soils with greater than 6% organic matter in the top 6 inches of soil are exempt from adding compost and tiling.
- A minimum three (3) inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf, creeping or rooting ground covers, or direct seeding applications where mulch is contraindicated. To provide habitat for beneficial insects and other wildlife, up to 5% of the landscape area may be left without mulch. Designated insect habitat will be indicated on the landscape plan if applicable. Type of mulch subject to defensible space restrictions.
- Hydrozone areas of chosen plants are indicated on plan.
- "I have complied with the criteria of the ordinance (MWEL0) and applied them for the efficient use of water in the landscape design plan."
- I have complied with the Monterey Peninsula Water Management District Water Efficient Landscape Requirements including, but not limited to, the use of climate appropriate, non-invasive species, and limited Turf.

Dinah Irino
 Dinah Irino, Floravista





DEFENSIBLE SPACE
 According to fire maps dated 3/10/2025 this property is in a high or very high fire severity zone. Therefore, defensible space requirements need to be followed. (<https://osfm.fire.ca.gov/what-we-do/community-wildfire-preparedness-and-mitigation/fire-hazard-severity-zones>)

Zone 0 (within 5' of structures) – **Non-Combustible Zone**
 No plants or combustible mulch. Use non-flammable mulch, gravel, rock, gravel, rock, sand, pavers, concrete, or bare soil.

Zone 1 (5-30' from structures) – **Landscape Zone**
 Spacing of plants and plant groupings to remove "ladder" fuels that allow fire to reach the tree canopy. Use non-combustible mulch between plantings. Grasses are to be kept trimmed to a maximum height of 4". Trim lower branches of larger trees a minimum of 6' off the ground. (If planting under trees trim up trees 3x the mature height of plantings.) Plants/plant groupings need 2x the mature height between other plants/plant groupings. Double or triple the spacing on slopes.

Zone 2 (30-100' from structures) – **Management Zone**
 Prune low tree branches at least 8' off ground. Understory plants must be trimmed and maintained a maximum of 2 1/2'. Leaf litter is to be kept a maximum of 4". Remove all dead branches and brush.

Maintenance
 Good vegetative maintenance increases the health and fire resistance of plants. This includes good water management, pruning to benefit the health of the plant, and cleanup (fallen branches, dead wood, excessive pine needles/leaf litter, pine cones, etc.).

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