

Exhibit I

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October 6, 2016

Stephen W. Pearson

Lloyd W. Lowrey, Jr.

Anne K. Secker

Randy Meyenberg

Michael Masuda

Christine G. Kemp

Terrence R. O'Connor

Timothy J. Baldwin

** Charles Des Roches*

** Leslie E. Finnegan*

Ana C. Toledo

Robert D. Simpson

Lindsey Berg-James

E-mail jsidor@co.monterey.ca.us

Joseph Sidor
Associate Planner
Monterey County RMA-Planning
168 West Alisal Street
Salinas, Ca 93901

Re: PLN160233/Hill
Short Term Rental - 3097 Sloat Road, Pebble Beach, CA

Dear Mr. Sidor:

I am writing on behalf of Leah and Jeremy Hill, owners of the property at 3097 Sloat Road, regarding their above referenced use permit application.

On August 31, the County Planning Commission deferred action on their use permit to October 26, to obtain clarification regarding notice of the application being provided to the affected homeowners' association.

As you know, the Del Monte Forest Property Owners Association (DMFPO) was notified of the use permit application and has informed the County that they are taking no action on the permit.

I understand Pebble Beach Company (PBC) is also asserting it has jurisdiction over the matter through its CC&Rs.

It is important to note that PBC has already determined that Short-term rentals are not a commercial activity prohibited by the CC&Rs, as stated in their adopted "Architectural Standards and Residential Guidelines for Del Monte Forest, (See pages 37 and 38, of the attached "Residential Guidelines").

The adopted Residential Guidelines, at page 37 under "Business Activities" reiterate that deed restrictions (CC&R's) do not permit businesses in private residences within the residential of the community, **but then go on to state, at page 38 under "Multiple and Short-Term Rentals", that under the deed restrictions, the renting**

Retired

Peter T. Hoss

James D. Schwefel, Jr.

Jo Marie Ometer

Harry L. Noland
(1904-1991)

Paul M. Hamerly
(1920-2000)

Myron E. Etienne, Jr.
(1924-2016)

Joseph Sidor
October 6, 2016
Page 2

of separate guest houses is not permitted, but Short-term rental (fewer than 30 days) of a residence is regulated by Monterey County and is subject to an approve Use permit.

If PBC intended find Short-term rentals inconsistent with their CC&Rs, they would have expressly so found in this document, as they did with the rental of separate guest houses.

PBC's adopted Residential Guidelines do not prohibit Short-term rentals. Moreover, they specifically provide for them, subject to a County use permit.

This is the current adopted PBC policy relevant to the Hill property.

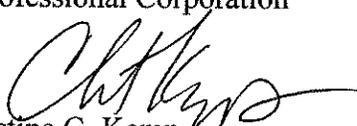
If PBC wants to change their position now, they need to do that through a formal amendment of their adopted Residential Guidelines.

PBC's current position is not consistent with their current adopted residential regulations. The Hill use permit must be approved under the current PBC procedures, as outlined in PBC's adopted Residential Guidelines.

The Hill use permit, as conditioned, meets the County Ordinance and should be approved by the Commission.

Sincerely,

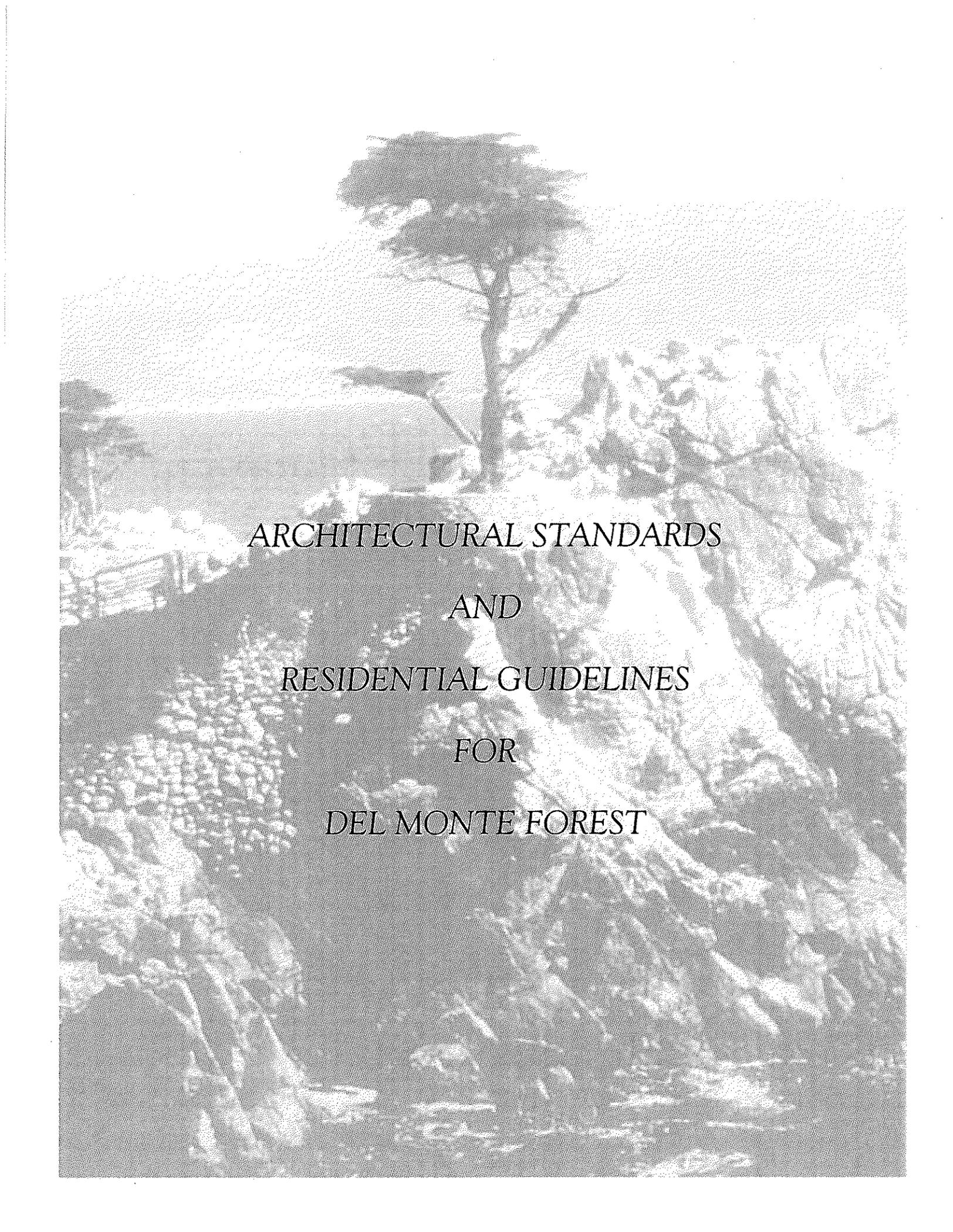
NOLAND, HAMERLY, ETIENNE & HOSS
A Professional Corporation


Christine G. Kemp

CGK:vsv

Attachment

cc: Clients

A black and white photograph of a forest landscape. In the center, a tall, slender tree with a dense, rounded canopy stands prominently. To the left, a building with a gabled roof is partially visible. The foreground is filled with the lower branches and foliage of other trees, creating a textured, layered effect. The overall scene is serene and natural.

ARCHITECTURAL STANDARDS
AND
RESIDENTIAL GUIDELINES
FOR
DEL MONTE FOREST

ACKNOWLEDGMENT



Pebble Beach Company wishes to acknowledge and thank the members of the Del Monte Forest Architectural Review Board for their generous gift of time and effort in the revision and publication of this document.

BOARD MEMBERS

Steven R. Aitchison, Chairperson and
Senior Vice President, Pebble Beach Company
Lloyd Townley, Vice Chair
Mary Lou Lawry
Shirley Loomis
Rick Verbanec
Mary Wiltse

ARCHITECTURAL CONSULTANT

Donald Goodhue, Architect, FAIA
HGHB, Architects, Inc.
Monterey, California

PEBBLE BEACH COMPANY

Margaret E. Leighton
Manager, Architectural Review and Building Inspection

Five Dollars

January 2002

*All photos and renderings courtesy of Pebble Beach Company Archives
Printed on recycled paper*

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Bulletin

Del Monte Properties Company

Architectural Restrictions Our deeds and contracts of sale contain clauses stating that plans and specifications for proposed buildings shall be approved by the Del Monte Properties Co. In certain tracts the type of architecture is broadly defined, but in all cases the approval is required. Such restrictions are imposed for the purpose of creating on the Monterey Peninsula a group of communities which will typify the highest ideals of American life, be harmonious with themselves, and preserve the natural beauties which are our heritage, and which will prevent the erection of undesirable and inharmonious buildings that would depreciate those of their neighbors.

There is growing up in California a type of architecture founded on the traditions brought here by the first Spanish settlers. It has the general characteristics of the architecture of those countries along the north shores of the Mediterranean from Gibraltar to the Dardanelles, where the climate and topography are so similar to ours. It is an architecture of low-pitched roofs, generally of tile; of simple, light-colored walls, and an informality of plan capable of easy adjustment to topography and orientation. The Dons modified it to fill their needs, and it is being constantly adjusted today to keep pace with modern conditions; but its fundamental characteristics persist.

The Company believes this general type best suited to our locale, our needs, and the life we lead. It is so plastic that each builder has ample latitude to express his personality, and to provide for his comfort within his means; and there should be no necessity to go into those steep-roofed styles representative of the more northern snow countries.

Plans and Specifications In order to be able to visualize the proposed building, the Company must have floor plans and all elevations of all buildings, fences, walls or other structures drawn to an architectural scale, and accompanied by specifications defining the structure and exterior materials. Adequate notes on the plans may take the place of specifications. In addition there must be a small scale plan of the property, showing the location of the buildings, the fences or walls and at least a general outline of the proposed landscaping. The specifications or notes should state clearly the colors of the various materials of the exterior, or a written reference be given to colors on other buildings to be duplicated.

One set of blue prints of the drawings must be submitted for approval. These, when approved, to be retained in the Company files until the building is completed.

It is urged that the prospective builder submit to the Supervisor of Architecture of the Company preliminary sketches of his problem in order that all changes may be made with the least effort, and that the final plans may be satisfactory when they are submitted for approval.

This bulletin is issued to acquaint those concerned with what the Company is endeavoring to accomplish, and in the hope that it will bring about a clearer understanding and a hearty cooperation between the Company and those who make up the community, in whose interests these restrictions were imposed.

DEL MONTE PROPERTIES COMPANY

December 1, 1927

Original architectural restrictions document for Del Monte Properties, December 1927

INTRODUCTION and HISTORY



AN HISTORICAL PERSPECTIVE OF THE DEL MONTE FOREST

The Del Monte Forest lies on a portion of two former Spanish land grants—Point Piños Rancho (Point of the Pines) and El Pescadero Rancho (The Fishing Place) – and covers 5,300 acres. It was Sebastian Viscaino who came ashore in 1602 and claimed the area for Spain. As a tribute to the Count de Monte Rey, viceroy of New Spain, the region was named Monterey. It wasn't until 1770, however, that an outpost was established here and Monterey was declared the Capital of Alta (*Upper*) California.

The rugged and wooded terrain of the peninsula was not originally attractive to the new residents. Seeking the comfort of the city, a widow named Doña Maria del Carmen Barreto sold the 4,000 acre El Pescadero Rancho in 1840 for \$500. In 1880, the Rancho (along with most of Point Piños Rancho) was sold to the Pacific Improvement Company (PI Company), who built the nearby Hotel Del Monte and established the Peninsula's *17-Mile Drive*.

SAMUEL F. B. MORSE AND THE DEL MONTE PROPERTIES COMPANY

The Pacific Improvement Company soon established a log lodge to service travelers along the already famous *17-Mile Drive*. A row of guest cottages was eventually added. The Company also created the first development plan for the area with land priced from \$500 to \$2,500 per acre, but sales were slow, causing the PI Company to decide to liquidate in 1915.



Samuel F. B. Morse

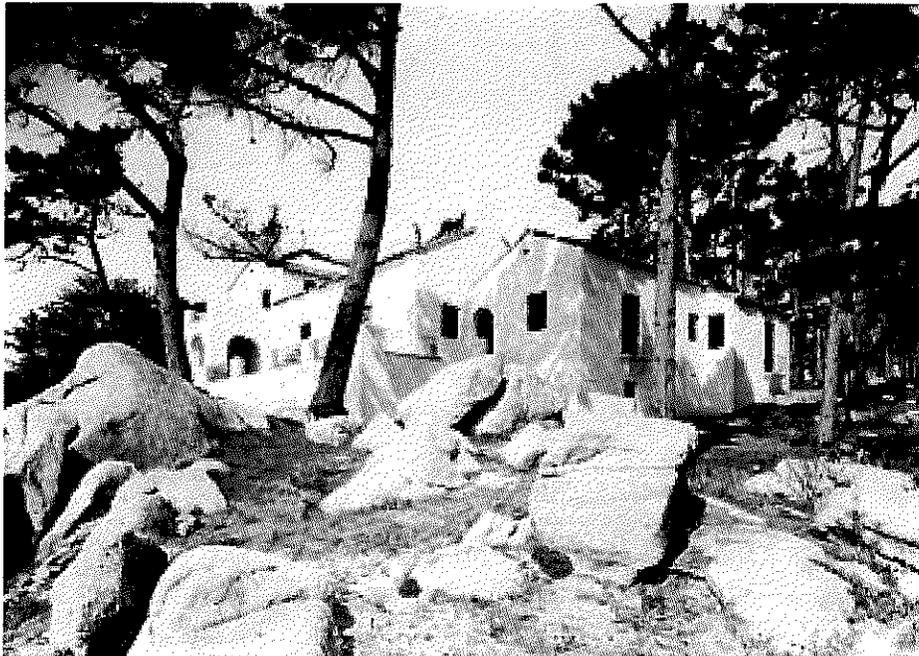
Samuel F. B. Morse, brought in by PI Company to oversee the sale, convinced them to invest in improvements to make the holdings more attractive. With new management and modernization of the log lodge, PI Company decided upon a new plan for *Pebble Beach* – a golf course. The *Pebble Beach Golf Links* would preserve the shoreline as open space and attract property owners wanting views of the ocean. In 1919, Morse formed the Del Monte Properties Company, which purchased the entire PI Company holdings, developing and controlling the Del Monte Forest and Del Monte Properties Company for the next fifty years. Morse's vision was to use recreational and open space to preserve large coastal vistas, a vision that continues today.

Since the early 1920s, preservation of the natural beauty of Del Monte Forest and its coastline has been the guiding principle in establishing design standards for all building and landscaping within the Forest boundaries.

Historically, the first homes built in the mid 1920s were only permitted to be *Mediterranean* style, but in the 30s and 40s this rule was relaxed to include all types of architectural styles. Today, these early landmark estates are preserved amidst newer homes with a diverse mix of designs and materials.

Pebble Beach Company continues the philosophy of Samuel F. B. Morse and Del Monte Properties and has consulted qualified professionals in establishing these architectural standards. A primary goal of these standards is to ensure that development and on-going management of individual properties take place in a manner that maintains and enhances the natural and unique environmental character of Del Monte Forest.

In order to ensure that each site is developed with an approach compatible with the total environment, the **Del Monte Forest Architectural Review Board (ARB)** has been established by Pebble Beach Company and its predecessors. It is the function of the ARB to encourage design excellence through the careful application of thoughtful and reasonable standards for siting, architecture, landscaping and construction, without unduly inhibiting freedom of individual expression.



DEL MONTE FOREST ARCHITECTURAL REVIEW BOARD



The six-member Board consists of five resident Del Monte Forest property owners, appointed by Pebble Beach Company. A Pebble Beach Company Senior Executive serves as the Chairperson for the Board. A quorum of three (3) voting members is necessary for action. The affirmative vote of a majority of those in attendance is required for design approval.

PURPOSE

The purpose of architectural review is to foster careful design and harmony between structures and the surrounding environment and to enhance the overall desirability of living within the Del Monte Forest. The **Del Monte Forest Architectural Review Board (ARB)** will consider size, design, aesthetic quality, compatibility with neighboring properties, disturbance of existing terrain and vegetation, location with respect to various setback requirements and other site conditions, building materials, exterior color, and other relevant factors. A design proposal that is harmonious with the surroundings and does not seek to dominate the neighboring residences is preferred over proposals that are overly assertive in size and character.

AUTHORITY

The ARB shall have authority and responsibility for approving, conditionally approving, or rejecting plans for all residential construction and site improvements on all property within Del Monte Forest covered by architectural approval deed restrictions. The ARB has the authority to enumerate the documents, time, and fees needed to permit adequate review. Approval by the ARB does not assure approval by the Monterey County Planning & Building Inspection Department. **It is the responsibility of the applicant to secure all necessary approvals from the Monterey County Planning and Building Inspection Department, and any other governmental agencies, which may be required.**

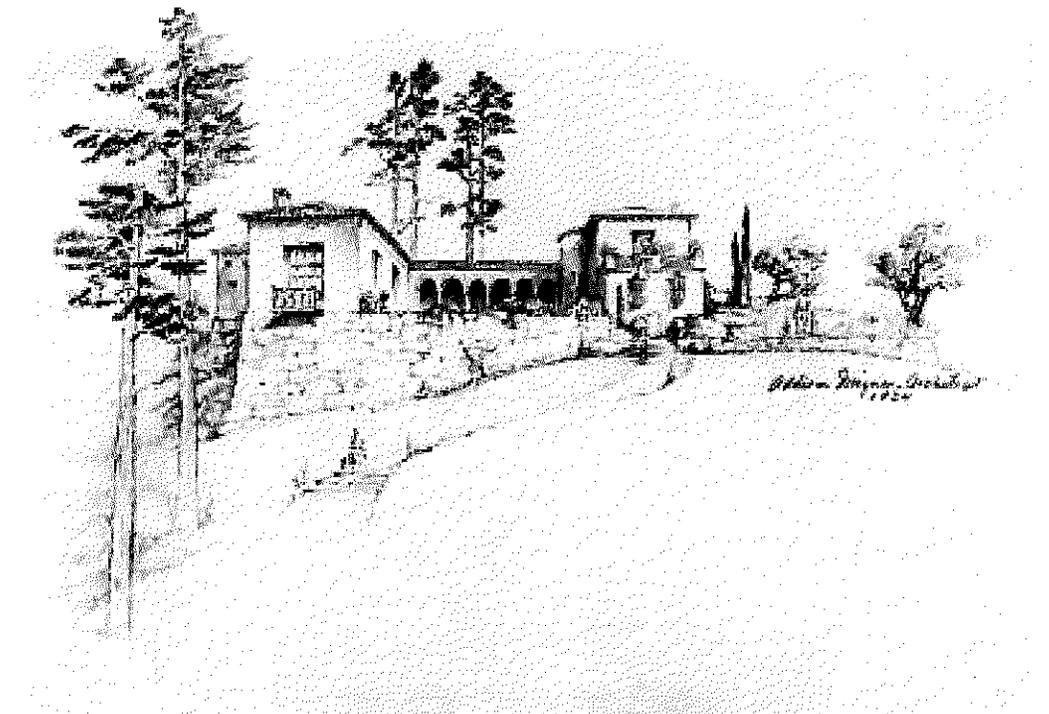
RESPONSIBILITY

The ARB will generally respond to the applicant within thirty (30) days of receipt of a correctly completed submittal. However, the ARB reserves the right to take longer than 30 days to respond if the specific application requires extra review time or is deemed incomplete.

This response will be in the form of non-conditional approval, conditional approval, disapproval, or continuance of review. The decision will be given in writing. Approval will be revoked after one (1) year, unless work has begun or the applicant has applied for, and received, an extension from the ARB. Extensions are granted at the discretion of the ARB, based on extenuating circumstances.

It is understood that with the passing of time, changes in building materials, and methods of construction, design concepts and governmental regulations may occur. Therefore, it may be desirable and/or necessary for the ARB to revise the form and content of these design standards. The ARB retains the prerogative to consider and adopt such modifications as is deemed appropriate, subject to requirements for consistency with the policies and provisions of the *Del Monte Forest Area Land Use Plan*, and/or other officially adopted plans and implementing ordinances.

Review and approval by the ARB is for design, appearance and environmental compatibility on a community basis only. The ARB assumes no responsibility for the structural or mechanical soundness of approved designs or for resulting impacts on neighboring properties or for strict compliance with private or public design standards or restrictions. All proposed construction shall be in accordance with the requirements of all applicable Federal, State, and local codes and regulations.



APPLICATION PROCESS



PROCEDURE

Whenever a property owner in Del Monte Forest (hereinafter referred to as the *Applicant*) wishes to build, reconstruct, add on to or change the exterior of a structure, or significantly affect the landscaping or vegetation on his or her property, he or she shall submit plans to the ARB. Submittals may be made in *preliminary* design or *final* construction form, depending on the scope of the proposed project.

Although the ARB will give consideration to any design proposal submitted that is of sufficient graphic quality and accuracy, applicants are encouraged to secure the services of licensed professionals from the appropriate fields.

As a courtesy, adjacent property owners may be notified of the filing of a major application (e.g. new residences, large additions, major remodels, etc.).

PLAN SUBMITTAL

Preliminary Plans

With extensive or complex proposals, submittal of preliminary plans is preferred. In that way, if changes are required, the applicant may be saved the time and expense of extensive plan revisions. (See *preliminary submittal requirements, page 21.*) This type of application still requires submittal of Final Plans when the drawings are at the completed stage.

Final Plans

Less complex plans may be submitted in complete, final construction plan format. (See *final submittal requirements, page 24.*)

The applicant is encouraged to receive preliminary ARB approval **prior** to applying to the Planning and Building Inspection Department of Monterey County for Planning and Design approval and a building permit, and to any other agencies for approvals or permits.

EXCEPTIONS TO ARCHITECTURAL STANDARDS



The ARB reserves the right to grant an applicant an exception from any standards or conditions contained herein, or from any rule or regulation of the ARB. Such exceptions may be for the purpose of saving significant trees, vegetation or environmentally sensitive habitat, avoiding unnecessary cuts and fills, or because a design, though desirable and compatible, is so unique in concept that it is beyond the scope of such standards. The applicant who applies for such an exception has the burden of proof and shall offer substantial evidence in support of his or her application. A design exception shall not be granted unless the ARB finds that the exception is appropriate to the location and the neighborhood; the exception is consistent with the intent of the design standards; and the exception will not significantly affect the character of the neighborhood.

Applicants requesting an exception to design standards shall submit the following information in addition to the regular submittal requirements:

- i. A written explanation of the facts supporting the request.
- ii. Any other information requested by the ARB to properly evaluate the application.

Obtaining an exception from ARB Design Standards does not absolve the requirement for an applicant to obtain, where required, other types of exceptions or variances from appropriate public agencies such as the County of Monterey.



MONTEREY
CYPRESS

REVIEW AND INSPECTION FEES



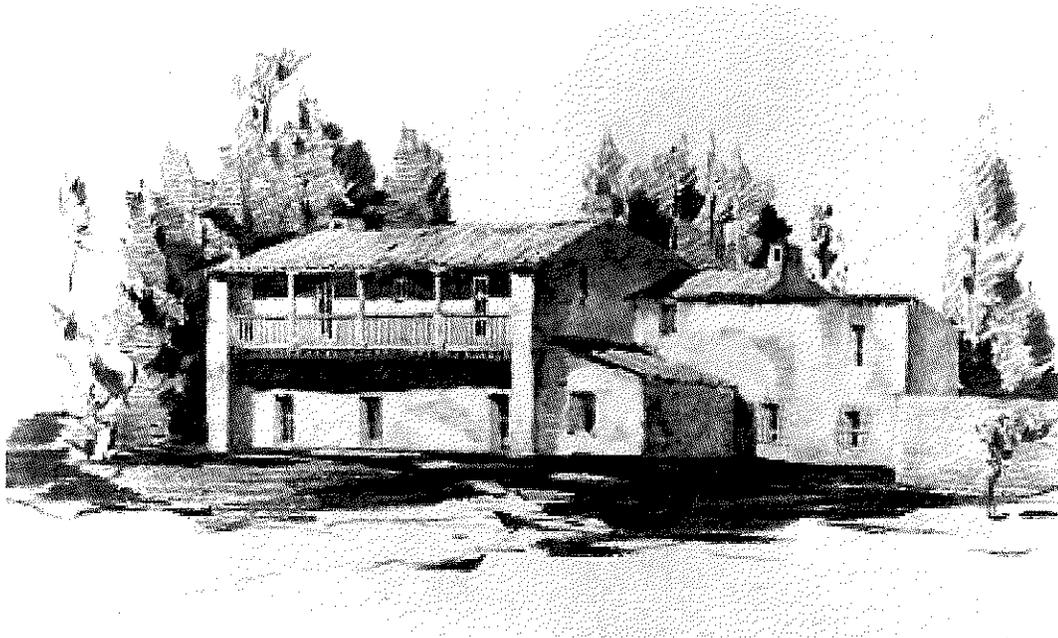
Pebble Beach Company has established a fee schedule for plan review and inspection. Review, inspection and road right-of-way encroachment fees are to be paid at the time plans are submitted and are based on estimated construction cost. A current fee schedule is available from the Architectural Review office.

Fees are non-refundable in the event the applicant abandons plans, or the plans are denied by the ARB or other agencies. Fees are non-refundable on the grounds of downsizing the project or lowered construction estimates.

Revisions to plans that have already received final written approval are subject to re-review and a separate fee will be assessed. An additional fee will be assessed for each subsequent revision.

ARB fees are separate from fees charged by other agencies. Payment of Architectural Review fees does not exempt the applicant from subsequent fees collected by those entities or public agencies.

Failure to obtain Architectural Review Board approval prior to construction of any improvements subject to these Standards will result in an assessment of double fees or legal action for violation of the Covenants, Conditions, and Restrictions (CC&R's) and possible removal of improvements at the owners expense.



RESIDENTIAL STANDARDS AND RESTRICTIONS



There are Covenants, Conditions and Restrictions (CC&Rs) that apply to all lots in Del Monte Forest. Deed restrictions for each lot have been recorded with the County of Monterey. Copies of CC&Rs may be obtained from any title company or from the Office of the Monterey County Recorder.

The following are general standards and restrictions for all residential property within Del Monte Forest.

- ❖ **Antennae & Satellite Dishes** - Any type of antenna (radio, television, satellite dish, etc.) may not be installed without prior approval of the ARB. (Some deed restrictions prohibit antennae.) Approved antennae shall not interfere with television or radio transmissions to neighboring properties.
- ❖ **Clotheslines** - Exterior clotheslines shall be located in fenced service yards and screened from the view of neighboring properties and roadways.
- ❖ **Exterior Fires** - Because of the extreme fire hazard, exterior unconfined fires are not permitted except as may be allowed by the Pebble Beach Community Services District (PBCSD) Fire Department.
- ❖ **Generators** - Installation of gasoline or diesel powered electrical generators require ARB approval and wherever possible the generator shall be soundproofed and installed away from neighboring properties and enclosed with fencing or similar housing. Timing for cycling the generator when not in use should be coordinated to cause the least neighborhood impact.
- ❖ **Mailboxes and Newspaper Receptacles** - The preferred designs are small wooden housings mounted on 4x4 wooden posts. Mailbox location is determined by the United States Postal Service. Mailboxes may not extend into the road or restrict traffic.
- ❖ **Pools, Spas, Etc.** - Swimming pools, reflecting pools, landscaping ponds, and exterior hot tubs, spas, etc., require ARB approval. All related electrical and/or mechanical equipment shall be housed in a sound-insulated enclosure. Exterior lighting of such facilities shall not illuminate neighboring properties and shall be kept to a minimum.

- ❖ **Signs and Property Identification** - House numbers should be clearly visible from the street for identification by emergency vehicles. Signs of any kind on private residences or property are subject to ARB approval and no sign shall be installed on any private residence or property other than signs stating name of occupant, name of residence, or address of residence.

Real Estate Signage shall not exceed a total of six square feet and is limited to one sign per road frontage. The bottom of the sign may not be higher than three feet from the ground. Signage may not inhibit traffic in any way or interfere with sight distance for vehicles or neighboring residents entering or exiting property.

- ❖ **Solar Panels** - Solar panels for auxiliary heating require prior ARB approval and shall be installed without visual disturbance to neighbors or to the view from the road.
- ❖ **Stables** - Horses may be kept on properties exceeding one acre in size, subject to standard ARB approval. This approval will be based on proper stabling, fencing, husbandry, manure removal and protection of neighboring properties. No stables may be constructed on a vacant lot without prior construction of a single-family residence.
- ❖ **Storage** - Exterior storage structures are permitted, however, if they are to be located within the setback area, they may not exceed 6' in height. ARB approval is required prior to installation. All small storage structures should be painted to match the main residence and be kept in good repair. Storage sheds larger than 110 square feet may require additional approval and permits from Monterey County.
- ❖ **Tree Removal** - No trees may be removed from any property in Del Monte Forest without a tree permit from Pebble Beach Company. Native trees, particularly *Monterey Pine*, *Bishop Pine*, *Coast Live Oak*, *Monterey Cypress* and *Gowen Cypress* are specially protected. Refer to the **Landscaping and Construction Regulations** for specific tree removal standards.

- ❖ **Water Storage** - Tanks for storing irrigation water require ARB approval. The tank shall be screened from neighboring properties and roadways and shall be painted to blend with the surrounding environment. Distribution pipelines from the tank shall be installed underground. If a pump is required for water distribution, it shall be installed in a sound-insulated enclosure away from neighboring properties.

- ❖ **Wells** - Private wells and other independent water systems are prohibited except as approved by applicable governmental agencies.



DESIGN AND CONSTRUCTION STANDARDS



GENERAL

The following applies to the design and construction of new residences, additions and/or exterior alterations to existing residences.

- ❖ **Accessory Structures** - Each interrelated structure on the property shall be consistent with all others in architectural character, materials and finishes. Accessory buildings or structures that are intended for permanent or semi-permanent use cannot be constructed prior to the main residence. Each property is limited to one detached habitable accessory structure and one non-habitable structure, such as a detached garage. **Accessory structures are subject to the same setback standards as the main residence.**

- ❖ **Building Character** - It is the purpose of the ARB to evaluate the design of a proposed structure, remodel or addition by itself and also to evaluate the proposal in its environmental or neighborhood setting. Garish, pretentious or ostentatious architecture is not acceptable. Innovative and creative architecture will be recognized as long as it is not in strong contrast to or out of scale with neighboring residences. Preference will be given to well-designed structures with fine detailing. Architectural clichés such as false fronts, random shutters, strips of veneer, etc., will be rejected.

Design elements and structural details such as natural stone, heavy wood corbels and beams, slate, copper and other similar types of material are highly desirable to blend the proposed residence with the forest environment. Other structures, such as fences and gates should also blend with the surroundings. Paint and stain should be natural, neutral tones and should not draw attention to the structure.

- ❖ **Building Siting** - Considerable care should be taken to protect existing terrain and vegetation when locating the main structure (or structures), walls, fences, driveways, paths, paved areas and landscaped areas. In addition, the location of the main structure (or structures) and the driveway should be as unobtrusive as possible to neighboring properties in particular and the community in general. This will be an especially important consideration for developments on visually prominent sites.

- ❖ **Drainage** - A comprehensive drainage plan to show how runoff from roofs and impervious surfaces on the site will be channeled to prevent accelerated erosion will be considered as part of the overall design for the property. Containment of on-site drainage by means of drywells, retention basins, etc., is encouraged to reduce the volume of runoff. Surface water may be conducted to storm drains or suitable watercourses if no other solution is feasible. No excess surface water may be channeled or directed onto neighboring properties.



- ❖ **Foundations** - Wherever possible, continuous footings shall be located outside the drip line of all trees that are to remain after construction of the new residence or addition. If it is necessary to locate a building foundation inside the drip line of a tree, a pier and grade beam type of foundation shall be used. Extreme care shall be taken to avoid the cutting of tree roots. Bay windows, cornices, eaves, canopies, fireplaces, driveways and similar architectural features may extend into any required setback by two feet. However, no foundation will be permitted to extend into any setback, and no architectural feature will be permitted to encroach into the setback if there is a foundation with the structure.
- ❖ **Garages and Parking** - An enclosed garage for a minimum of two cars is required for each single family residence. Carports are not permitted. A minimum of two additional parking spaces are to be provided per property on-site. Parking vehicles on the roadway is not permitted. The garage should be located to minimize the length of the driveway and, wherever possible without constraining design, should not be the focus of the street elevation. No existing garage may be converted to a living space unless an approved replacement garage is constructed.
- ❖ **Grading** - Residences should be designed to fit the existing topography of the property without excessive manipulation of the site by cut and fill. Changes in the natural grade by cutting or filling for main structures, garages, other accessory structures, walks, driveways and similar site improvements shall be kept to a minimum to preserve the existing land form and to prevent scars, erosion and damage to root systems of trees which are to remain. Property owner shall be responsible for any erosion cleanup in the road right-of-way.
- ❖ **Height Limitations** - Monterey County Zoning Ordinance regulations apply. Depending on the site location within Del Monte Forest and the size of the lot, the main structure may not exceed 30 feet; in certain subdivisions the height may not exceed 27 feet and certain properties are restricted by deed to single story structures only. Habitable accessory structures shall not exceed 15 feet in height. **It is the responsibility of the property owner to determine if the property has restrictions regarding structural heights that are more stringent than those set forth in the Monterey County Zoning Ordinance.**
- ❖ **Lot Coverage and Floor Area Ratio (FAR)** - The amount of property which may be covered by structures and paving is determined by Monterey County Zoning Ordinance and varies by subdivision and property location within

Del Monte Forest. **It is the responsibility of the property owner to confirm the maximum allowable lot coverage or FAR prior to commencement of architectural plans.**

- ❖ **Paving and Driveways** - Materials for driveways and paths are subject to ARB approval. Natural pervious surfaces such as interlocking pavers, gravel, pebbles, and turf block should be used whenever possible. Concrete and asphalt are also permitted for short driveways. Where the driveway connects to the road surface asphalt paving shall be installed between the property line and the edge of the existing road paving. These driveway connections shall be constructed to standards approved by Pebble Beach Company Roads Department and are the responsibility of the owner for construction and future maintenance. The construction standards are available from Pebble Beach Company Roads Department office.

In order to minimize the number of driveway connections to roads, and to maintain and enhance the forested buffer between the road and residences, only one driveway entrance per property will be permitted. Circular driveways will be considered only when no other solution is feasible. An on-site turn-around area shall be provided where possible to avoid vehicles backing onto roadways, particularly where a driveway connects to a heavily traveled road or where visibility of on-coming traffic is restricted. Driveways that have a slope in excess of twenty five percent (25%) are prohibited for drainage and safety considerations. *(see Fences, Walls and Gate standards for entry gate setbacks, page 28.)*

All driveway connections over Pebble Beach Company road right-of-way and all future necessary repairs are the responsibility of the property owner. PBC assumes no liability for maintenance of these connections.

- ❖ **Service Yards** - Each residence is required to have an enclosed area where trash cans, firewood, garden tools, clotheslines and other service and yard related items can be stored. These areas shall be fully enclosed with a concealing fence not less than five feet (5') or more than six feet (6') in height. The fencing shall be of materials and finish consistent with the residence.
- ❖ **Setbacks** - Building setbacks (distance from the property line to the nearest part of the structure) vary according to deed restrictions, zoning regulations, or the final recorded subdivision map. **It is the responsibility of the property owner to confirm applicable setbacks prior to commencement of**

architectural plans. In cases where Monterey County regulations differ from those required by the Deed, the more restrictive setback will apply.

- ❖ **Skylights** - Skylights shall be flat, low silhouette, and non-glare. Bubble-type, plexiglas skylights are not permitted. Skylights will not be permitted in locations where light from the interior will be overly visible to neighbors or roads.
- ❖ **Utilities** - All utility lines and pipes shall be installed underground in new subdivisions. Connections from trunk lines to the exterior wall of an individual structure shall be underground. All utility trenches or cuts in Pebble Beach Company road right-of-way shall conform to Pebble Beach Company trench standards which are available from the Architectural Review office. Additionally, prior to commencement of trenching, the owner/agent or contractor is required to notify Pebble Beach Company 48 hours in advance of beginning the work. **An encroachment permit and fee will be required.**

EXTERIOR FINISHES AND MATERIALS

- ❖ **General** - Consistently applied, quality materials, such as heavy wood, detailed plaster, shingle and natural stone are preferred. Small areas of materials applied inappropriately for decoration will not be approved. Exterior colors should be natural earth tones and subtle shades, which blend rather than contrast with the surrounding environment. Excessively reflective materials and finishes will not be approved.
- ❖ **Exterior Lighting** - All exterior lighting shall be unobtrusive and harmonious with the surrounding area. Light fixtures shall be located so that only the intended area is illuminated. Exterior fixtures whose light sources are overly visible from neighboring properties or road traffic will not be permitted. Motion-sensitive lights are permitted on lower levels only and shall not shine onto the road right-of-way or interfere with neighboring properties. The motion sensor shall be adjusted so as not to be set off by traffic or normal neighborhood activity. Indirect lighting is preferred, especially for light fixtures located at driveway entrances. Lighting of gates and entries shall be low-wattage and illuminate only the area at the gate. Night lighting of private tennis courts is not allowed.

- ❖ **Metal** - With the exception of copper, exposed metal gutters, downspouts, vents, flashing, trim, etc., shall be anodized or painted to blend with the exterior colors.
- ❖ **Roofs** - The ARB will consider all roofing forms suitable to the design of the structure. A design that includes both gabled and hipped roofs is generally not desirable, however, some exceptions for architectural integrity will be considered. Flat roofs will be approved if the roof is considered an integral part of the overall design concept and providing the surface is not visually objectionable from neighboring properties and roads.

Preferred roofing materials include natural slate, wood shake, wood shingle, cement tile and terra cotta tile. Copper and certain standing-seam metal roofs will be considered as part of the overall architectural design. Asphalt Composition Shingles are not desirable and only products with a 40-year warranty will be considered. Corrugated plastic and metal roofs are not permitted except in certain commercial applications. All roofing materials shall meet Monterey County Fire Department standards for Class "A" fire resistive construction.

- ❖ **Walls** - Wood, shingle, plaster, brick, natural stone, glass blocks and adobe blocks are acceptable if the color and texture complement the overall design of the structure. Use of several different types of materials is encouraged if it improves the modulation and appearance of the design.
- ❖ **Windows** - All exposed aluminum sash and framing shall be an anodized color or vinyl coated. Exposed mill finish aluminum, including window screens, is not permitted. Metal finishes on solariums and greenhouses are included in this category.



COAST
LIVE OAK

CONSTRUCTION PLAN SUBMITTAL REQUIREMENTS



PRELIMINARY DESIGN SUBMITTALS

Preliminary designs may be submitted for all new construction. With extensive or complex proposals, submittal of preliminary plans may save the applicant expense and delay if changes are required. Preliminary submittals shall adequately describe the site, drainage, driveway material and road connection, elevations, floor plans, exterior elevations, roof design, and exterior materials and character of the proposed structure. The following specific information shall be included as a **minimum** in a preliminary submittal:

1. General Location Map

- a. Location of the property within Del Monte Forest.
- b. Adjacent streets and names. North arrow and scale, if any.

2. Property Identification

- a. Lot and block numbers and subdivision designation.
- b. Assessor's Parcel Number. Property Address.
- c. Name, mailing address and telephone number of both applicant and architect or designer.

3. Site Plan

- a. Property lines with distances and bearings, setback lines, north direction arrow and existing topography indicated by contour lines at one-foot (1') elevation intervals. On large and/or steep sites, two-foot (2') elevation intervals for contour lines may be used outside of the construction area.
- b. Location of all trees over five inches in diameter.
- c. All trees to be removed clearly marked and tallied by type and size.
- d. Location of all proposed structures with dimensions to property lines.
- e. Locations of service yard, driveway, parking areas and any walls, fences and gates.
- f. Finish grade contour lines showing all cut and fill areas.
- g. Proposed site drainage and any impacts on neighboring property or road drainage.
- h. Direction of primary view, if any.

- i. Square footage of lot, square footage of all proposed structures, percentage of lot coverage, and total Floor Area Ratio (FAR) of all proposed structures.
- j. Locations of all underground utilities.
- k. Cut and fill calculations in cubic yards.

4. Roof Plan

The roof plan may be included on the site plan or on a separate sheet. Include sample of roofing material or a photograph from a brochure with the type and color clearly designated.

5. Floor Plan(s)

On additions and remodels to existing structures, new walls and walls to be removed should be designated clearly from existing walls which are to remain. The preferred scale is 1/4" to 1'.

6. Exterior Elevations

- a. Show all exterior elevations labeled in accordance with the north arrow on the floor plan drawing.
- b. All exterior materials designated clearly.
- c. Show existing and proposed finish grade lines and indicate the road level on the applicable exterior elevation(s).
- d. Indicate height of the structure from the average ground elevation covered by the structural footprint to the highest portion of the roof.
- e. On additions and remodels to existing structures, new construction should be designated clearly from the existing structure. The preferred scale is 1/4" to 1'.

7. Typical Wall Section

Include, from eave through foundation, a typical window and trim with all materials designated (new residences and demolitions only).

8. Color Samples

- a. Paint or stain samples for exterior walls and trim.
- b. Samples of pre-colored materials such as clad windows, integrally colored stucco, etc.

9. **Exterior Lighting**

- a. Proposed exterior light locations.
- b. Catalog cuts showing proposed fixtures and wattage.

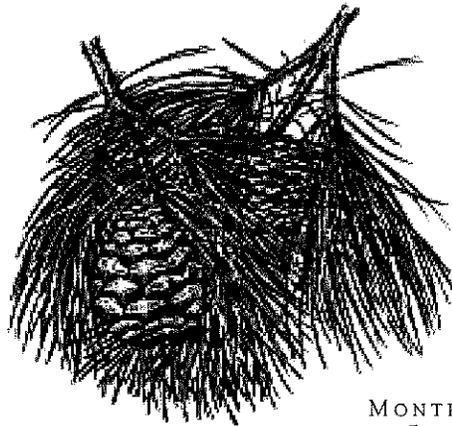
10. **Rendering**

For new residences, a colored perspective drawing or rendering of the street elevation is strongly recommended.

11. **Photographs**

For additions and exterior remodeling submittals, color photographs of the existing structures are required.

PEBBLE BEACH COMPANY RESERVES THE RIGHT TO ADD OR CHANGE REQUIREMENTS FOR PRELIMINARY PLAN SUBMITTAL.



MONTEREY
PINE

FINAL DESIGN SUBMITTALS

The submittal of final design plans will constitute the only basis for conclusive action by the ARB, and shall clearly delineate the final design of the proposed structure(s) and any proposed landscape plans. **Final plans shall be submitted in duplicate (2 copies) and shall include all information required for a preliminary submittal, plus the following:**

Landscaping Plan

See **Landscaping Standards**.

Floor Plans

- a. Locate all walls and partitions by dimension.
- b. Locate all exterior doors and windows by dimension.
- c. Indicate sizes of all doors and windows on the floor plans or on a Door and Window Schedule.
- d. Indicate all plumbing fixtures and locations of furnace and water heater.
- e. Show complete electrical and heating layout on the floor plan or on a separate Electrical and Mechanical Plan.

Construction Details

Details of special architectural features and construction details as required by Monterey County Planning and Building Inspection Department.

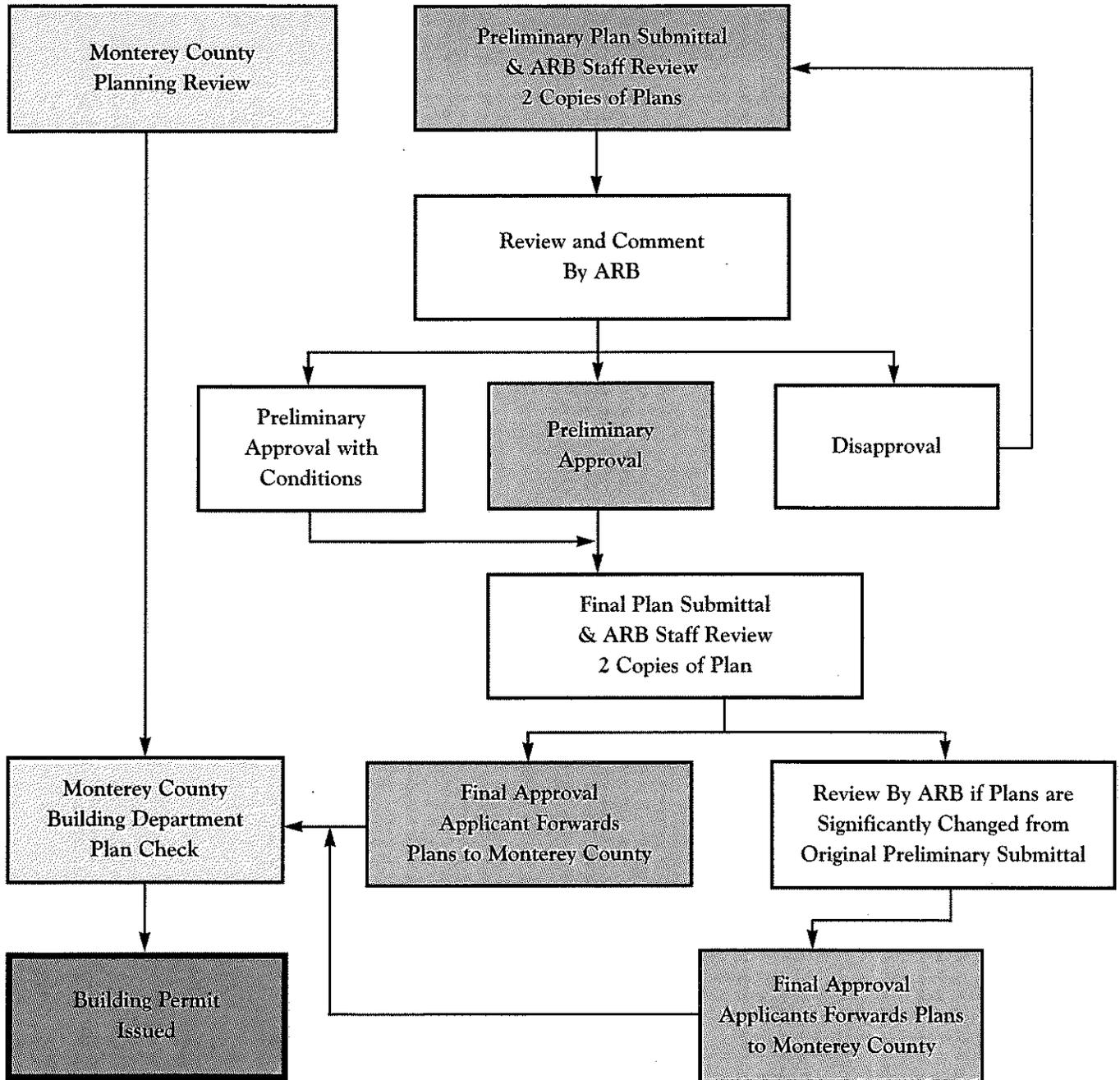
Construction Schedule

Proposed starting and completion dates.

General

Any other requirements for building codes and ordinances.

THE DEL MONTE FOREST ARCHITECTURAL REVIEW PROCESS



LANDSCAPING STANDARDS



The Del Monte Forest is a unique and beautiful area containing Monterey Pine, Coast Live Oak, Monterey and Gowen Cypress and Bishop Pine groves, numerous species of native grasses, wildflowers and other indigenous and endemic vegetation. It is the intent of the Architectural Review Board (ARB) to ensure in perpetuity the inherent qualities that make Del Monte Forest singularly beautiful.

Complete and total formal landscaping or transformation of property is not a requirement, nor is it desirable. On particularly large lots of half an acre or more, it is preferred to leave the lot in a natural condition with any formal landscaping limited to the close proximity of the residence. Large areas of lawn and non-endemic plant and tree species are particularly discouraged. Natural landscaping requires less water and maintenance and is more in keeping with the character of Del Monte Forest.

In order to ensure the highest standards of landscape design, applicants are urged to secure the services of a professional landscape architect or designer and a professional Forester or Arborist.

GENERAL

- ❖ **Adjacent Properties** - Landscaping plans should give consideration and thought to a visually pleasing juncture with adjacent properties and any existing greenbelt or open space areas. Existing trees that screen structures from neighboring properties should be preserved whenever possible. Consideration should be given to neighboring properties when planting trees which may eventually block views. Topping of existing native trees for view enhancement is prohibited.

- ❖ **Deer** - There is a large deer population within Del Monte Forest. Property owners should consult with local nursery or landscaping professionals concerning "deer resistant" or less palatable type of plants. Some losses of new plantings in unprotected areas can be expected.

- ❖ **Fences, Walls and Gates** - In order to promote a sense of open space in a forested setting, solid walls are discouraged. Fences, freestanding walls and retaining walls shall not exceed six feet (6') in height. Fence height is measured from existing grade.

Preferred fencing materials include natural stained redwood, dark painted wrought iron and other combinations of wood and see-through fencing materials. Solid walls will be considered on road frontages with heavy traffic or noise or where privacy could be compromised because of the location of the residence in relation to the road. Approved walls may be constructed of natural stone, brick or adobe-type concrete block. Standard concrete block walls with stone, brick or stucco veneer are acceptable. Side and rear yard fences may be constructed of non-climb type wire mesh with redwood or pressure treated wood posts and rails. Metal posts are not permitted.

Landscaping of all fences is encouraged to soften or conceal them, and is a requirement for solid walls. Special consideration and review may apply to fences, walls and landscaping of fences on property between 17-Mile Drive and the ocean.

Except in the case of certain commercial or public improvements, galvanized chain link type fencing and gates are not permitted. On larger lots dark green or black vinyl-clad cyclone fencing is permitted for the side and rear perimeter property lines.

Driveway gates shall be set back a minimum of twenty feet (20') from the front property line, wherever possible, to permit a vehicle to pull into the driveway without impeding traffic. Electronic key pads and telephone systems shall be located to allow a vehicle to pull off the pavement while in use.

All new fencing on front properties may not be located in the Pebble Beach Company road right-of-way. The property owner has the responsibility to survey, if necessary, the front property line prior to installation of any approved walls or fences.

- ❖ **Irrigation, Water Use & Drought Tolerant Plants** - The Monterey Peninsula is a drought-prone area and is subject to frequent water shortages. Native, drought tolerant plant species are preferred. Wherever possible, irrigation shall be drip irrigation only, and use of non-potable water for irrigation is encouraged.

Property owners should consult with qualified landscape professionals or nurseries, which specialize in native, drought tolerant species.

- ❖ **Invasive Plant and Tree Species** - Certain plants and trees, specifically *pampas grass*, *genista*, *gorse*, *eucalyptus*, *acacia* and *ice plant* are prohibited. Such plants are invasive and can eventually crowd-out native species of trees and understory plants and shrubs. Plans for new residences on vacant property shall indicate on the site plan any non-native species, and these shall be removed or eradicated prior to commencement of construction.
- ❖ **Other Landscape Features** - The natural forested character of Del Monte Forest shall be retained and enhanced. Correspondingly, the introduction of man-made landscape elements, such as exterior light fixtures, fountains, topiary, and statuary should be done in careful harmony with the environment and should not dominate the natural character. Extensive areas of lawn are discouraged. Informal, rather than formal groupings of trees and shrubs, are preferred.
- ❖ **Paths and Walkways** - Paving stones, exposed aggregate concrete, crushed stone and pebbles are the preferred materials.
- ❖ **Pebble Beach Company Road Right-of-Way** - Any proposed planting within the Pebble Beach Company road right-of-way shall first be approved by the ARB. Generally, only native species will be permitted. Structures, retaining walls, fences, etc., encroaching within the road right-of-way are permitted **only** when no other solution is feasible and shall be approved by Pebble Beach Company Roads Department **and** the ARB. Any improvements, including planting, shall be removed at the property owner's expense should Pebble Beach Company elect to widen, remove exotic species or plants, or otherwise improve the road right-of-way.



- ❖ **Protection of Native Plants and Trees** - Special standards for landscaping may be enforced where certain rare or endangered species, trees or plant communities are known or found to exist. Such trees, shrubs or plants and flowers may not be disturbed in any way by landscaping or construction and shall be protected at all times during the construction process. A qualified forester or arborist shall be consulted when trenching near tree roots. (*Refer to Construction Regulations, Page 33.*)

- ❖ **Removal of Trees, Rocks, Shrubs, or Other Natural Forms** - No native tree, major native shrub, natural rock formations or outcroppings shall be removed for the purpose of formal landscaping. Native trees that are removed for construction of a residence or addition shall be replaced on the site with at least two disease resistant native trees for each one removed, except where it is demonstrated that this rate of replacement would result in an overcrowded, unhealthy plant environment. Replacement native trees shall be maintained in healthy condition.

LANDSCAPING PLAN SUBMITAL REQUIREMENTS

The proposed landscaping shall be shown on an accurately drawn Site Plan of the entire parcel (minimum scale of 1/8" = 1'0" and contain the following information:

- i. North direction arrow, scale, finish grade contour lines and/or spot elevations, street location and location of property in Del Monte Forest.
- ii. Outline of all structures, including decks, patios, fences, walls, paths, driveways, parking areas, pools, fountains, and rock groupings, etc.
- iii. Locations of all existing trees over five inches (5") in diameter with type and size indicated.
- iv. Designation of existing trees or plants to be removed by species and size.
- v. Locations and types of all new trees, plants, lawns, ground cover.
- vi. Plant list containing botanical and common names, quantities and sizes of all new trees and plants.
- vii. Irrigation system.

CONSTRUCTION REGULATIONS



GENERAL

Construction shall not begin until final ARB approvals are received and a building permit is obtained from the County of Monterey. ARB approval will be revoked one (1) year after it is granted unless construction has begun or the owner has received an extension from the ARB. Once begun, construction shall be completed expeditiously.

- ❖ **Building Permits** - A building permit shall be obtained from the County of Monterey Planning and Building Inspection Department prior to commencement of construction. The building permit shall be kept on-site for review during regular working hours.
- ❖ **Construction Trash** - During construction, no trash shall be accumulated on-site. A construction dumpster shall be provided which shall be emptied or hauled away promptly when full. Dumpsters shall be parked off the road and may not obstruct traffic or neighboring property driveways.
- ❖ **Excavation and Grading** - Extreme care shall be taken during excavation to assure that trees not authorized for removal are not damaged. Brush, surplus soil and other excavated debris shall be promptly removed from the site to an authorized refuse/landfill site outside Del Monte Forest. Watering shall be used if necessary to control blowing dust from grading. On-site desilting measures shall be installed as appropriate in conjunction with grading operations, and construction erosion control measures shall be used to protect soils that have been disturbed during construction or development.
- ❖ **Parking** - All construction vehicles shall be parked on the construction site. Vehicles may not be parked in any location which blocks or hinders traffic, either on or off the building site.
- ❖ **Protection of Property** - All construction activity shall be contained on the property for which a building permit has been issued. Only one access to the property from the road will be permitted. Damage to common ground, adjacent lots, or roads during construction shall be promptly restored to the original condition to the satisfaction of Pebble Beach Company.

If restoration is not promptly completed, Pebble Beach Company may perform all required repairs with all costs charged to the property owner in whose name the building permit was issued.

- ❖ **Temporary Structures** - A small job office may be maintained on the site. Temporary living quarters for workmen or the property owner will not be permitted during construction. The job office shall be removed prior to the final inspection.
- ❖ **Water Connection and Toilets** - Permanent water connection and temporary enclosed chemical toilets shall be available during all new residence construction. Additions and remodels with existing toilets shall either provide access for workers or provide a chemical toilet on-site. Chemical toilets should be screened from the road, and the door shall open away from public and neighboring property owners' view. Chemical toilets shall be serviced regularly and shall be removed prior to final inspection.
- ❖ **Working Hours** - Working hours are from 8 a.m. to 6 p.m., Monday through Saturday. No work is permitted on Sundays or holidays. Workers may be on-site prior to 8 a.m. and after 6 p.m., however, no work may be performed which will disturb neighboring residents.

CONSTRUCTION SITE SIGNAGE

Signage indicating the general contractor and architect or designer for the construction project will be permitted during construction only. Subcontractors may also display signage at the discretion of the General Contractor, however, this signage shall be removed promptly when their portion of the overall project is completed.

Signs at a construction site shall conform to the following requirements:

- i. No larger than 6 square feet and no higher than 36 inches off the ground.
- ii. Information contained on the sign should be limited to name, address and telephone number.
- iii. Signs should be of durable material in well-maintained condition. No self-illuminated or fluorescent signs are permitted.

- iv. Signs shall be located on the property and may not obstruct the road right-of-way.
- v. All signs are to be removed upon completion of construction and prior to final inspection by Architectural Review staff.

PROTECTION OF TREES

Care shall be taken to preserve the trees on the property, as follows:

- i. Around each tree or group of trees to be preserved, a boundary with wood or metal stakes connected with orange snow netting shall be erected.
- ii. No storage of equipment or construction materials or parking of vehicles is permitted within the drip lines of trees.
- iii. No soil may be removed from within the drip line of any tree and no fill of additional soil can exceed two inches (2") within drip lines of trees.
- iv. Bark injury to any tree from equipment or materials is not acceptable.
- v. No tree may be removed or trimmed without prior authorization from the Architectural Review staff.
- vi. Roots exposed by excavation shall be pruned to promote callusing, closure, and re-growth.
- vii. All tree work shall be monitored by a qualified, registered Forester and work completed by qualified tree service personnel.

REQUIRED ARCHITECTURAL REVIEW STAFF INSPECTIONS

Generally, Architectural Review staff site inspections can be arranged 48 hours in advance of the required inspection.

TREE REMOVAL/BUILDING STAKEOUT INSPECTION

On construction projects which require tree removal, the first Architectural Review staff field inspection will be an inspection and approval of the trees to be removed and building outline stake-out. Trees to be removed should be flagged and counted prior to the inspection. Property corner points should be set or verified by a licensed Surveyor. **Tree Removal Inspection cannot occur until the applicant has acquired a Monterey County Building Permit.**

SETBACK INSPECTION

Inspection and measurement of proposed footings will take place when concrete forms are in position, prior to the pouring of foundation concrete. This inspection ensures that the proposed structure is located outside of any building setback areas and is in the location approved by the ARB. On large projects such as new residences, an affidavit from a licensed surveyor stating the structure is correctly located will have precedence over measurements by Architectural Review staff.

FINAL INSPECTION

At the completion of the project, but prior to occupancy, the Architectural Review staff will inspect the exterior and interior of the construction project for final compliance with the plans originally approved by the ARB. Before final sign-off, staff will require complete clean-up of the property, grading completed, any planting replaced, trash removed and driveways in place. All exterior finishes such as painting, gutters and trim shall be completed. Following final sign-off, the property owner will receive written confirmation that the property improvements have complied with plans approved by the ARB.

Pebble Beach Company reserves the right to perform other periodic inspections throughout the course of construction and landscape installation, to ensure compliance with the approved plans. Inspections by Architectural Review staff in no way supplant inspections for code as required by Monterey County. The property owner, General Contractor or his or her agent is responsible for securing all inspections by Monterey County Building Inspection staff.

CONTINUED MAINTENANCE OF PROPERTY & GENERAL NEIGHBORHOOD STANDARDS



All residential property should be kept in reasonable condition and repair. Exterior materials, such as wood, paint and roofing materials, should be replaced or repaired when required. Property should be maintained in weed-free, trash-free, fire-safe



condition, with grass cut and bushes and trees trimmed for appearance and safety. Yard equipment should be kept in fenced service areas and yard trash should be removed regularly or kept in compost piles away from neighboring residences.

To encourage compliance concerning maintenance and upkeep of properties, Architectural Review standards and restrictions will continue to apply after improvements have been completed. Pebble Beach Company may find it necessary to communicate to a property owner who fails to comply as required.

The following information is provided to help establish harmonious neighborhoods and positive communication between property owners:

- ❖ **Business Activities** - Deed restriction and Monterey County Zoning Ordinance do not permit businesses in private residences within the residential areas of the community. Certain home operations may be allowed if they require no sales or deliveries, no employees and are quiet in nature.
- ❖ **Domestic Animals** - No animals, livestock or poultry of any kind shall be raised, bred or kept for any commercial purpose on any residential lot.
- ❖ **Garage Sales** - A maximum of one sale per year per property is permitted. Signage from the Forest entry gates directing to the sale is not permitted. Parking provisions for guests of the sale should be made and vehicles may not hinder traffic, emergency services or ingress and egress to neighboring properties.

- ❖ **Multiple and Short-Term Rentals** - All residences in Del Monte Forest are limited by deed restriction and Monterey County Zoning Ordinance to single-family use. Renting of separate guest houses is not permitted. Short-term rental (fewer than 30 days) of a residence is regulated by Monterey County and is subject to an approved Use Permit.
- ❖ **Parking** - All vehicles shall be parked on private property, not on the road right-of-way. Any non-operational vehicles shall be removed and repairing vehicles in driveways is strongly discouraged. Residents are requested to fully utilize the garage for parking vehicles. Commercial vehicles may not be parked on residential property.
- ❖ **Power Equipment** - In order to promote quiet, harmonious neighborhoods, residents and their employees are requested not to use power equipment such as leaf blowers and power mowers on Sundays and holidays. On Saturdays and weekdays, such equipment should not be used before 8 a.m. or after 6 p.m.
- ❖ **Recreational Vehicles, Boats, Trailers, etc.** - The Monterey County Zoning Ordinance prohibits recreational vehicles, commercial vehicles, campers, trailers, boats or similar equipment from being parked in a residential area (except for the purpose of loading or unloading), unless it can be screened from the road and neighboring properties. Overnight parking for loading and unloading is permitted. Screening of such vehicles for permanent parking shall be approved by the ARB. Mobile homes, trailers, recreational vehicles and tents are prohibited as lodging on private residential property. Certain trailers for construction zones are permitted for day use as office space and storage only.
- ❖ **Refuse** - Trash service is mandatory. All garbage and trash shall be kept in animal proof, covered containers, which are screened from view of neighboring properties and roadways. Trash cans should be removed promptly from curbside after trash pick-up. Special service can be arranged with the disposal company for residents who are unable to place trash containers curbside. Temporary use of dumpsters is permitted for construction and site maintenance. They should be placed so as not to inhibit traffic or neighboring properties. Dumping of dirt, garbage, trash or other debris anywhere in Del Monte Forest is strictly prohibited.

- ❖ **Traffic** - The roads of Del Monte Forest are privately owned and maintained by Pebble Beach Company. However, they are subject to provisions of the California Vehicle Code. The Monterey County Sheriff and the California Highway Patrol police the roads. Posted speed limits should be observed at all times and where not posted, a maximum speed of 35 M.P.H. is allowed.



GLOSSARY OF LAND USE TERMINOLOGY

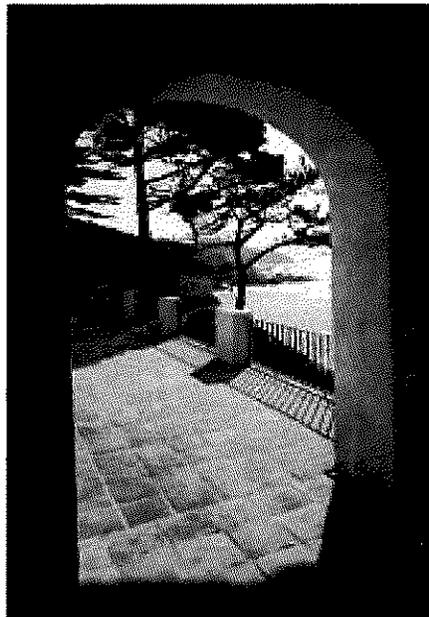


Access	A way of approaching or entering a property. This is to permit entry by the property owner or resident and to allow entry for emergency vehicles.
Accessory Building	A structure on a property which is incidental and subordinate to the main structure on the site.
Building Envelope	The space remaining on a site for structures after all building setback, height limit and bulk requirements have been met.
Building Coverage	The amount of land covered or permitted to be covered by a building, usually measured in terms of percentage of a lot.
Building Line (Setback Line)	A line, usually fixed parallel to the property or lot line, beyond which a structure cannot extend.
Certificate of Occupancy	Official certification that a premise conforms to provisions of the zoning ordinance (and building code) and may be used or occupied.
Coastal Commission	The State agency which reviews development plans within the Coastal Zone according to the 1976 California Coastal Act. In the Coastal Zone areas of Del Monte Forest, the Monterey County Planning & Building Inspection Department performs this review.
Coastal Zone	The area designated by the 1976 California Coastal Act requiring all development within this area to be reviewed by the California Coastal Commission.
Conditional Use Permit	A permit, allowing a use under special conditions, (<i>Special Use Permit</i>) which assures the use will not be detrimental to the public health, safety and welfare. The Monterey County Planning Commission either approves, subject to conditions, or denies such uses.

Conditions, Covenants & Restrictions (CC&Rs)	The requirements and limitations placed on each lot or subdivision. They are intended to protect each individual property owner as well as the other neighborhood residents regarding placement, construction, appearance and maintenance of buildings and common areas.
Conservation Easement	A portion of property on which future or additional development of the land is precluded.
Culvert	A drain, ditch or conduit not incorporated in a closed systems that carries drainage water under a driveway, roadway or pedestrian walk
Deed Restriction	A private legal restriction on the use of the land contained in the deed to the property or otherwise formally recorded.
Demolition Permit	A permit issued by a local authority (Monterey County) allowing a structure to be razed.
Density	The average number of families, persons or housing units, usually expressed per acre, i.e. MDR4 - Medium Density Residential or four units per one acre. LDR1.5 - Low Density Residential or one unit per 1.5 acres.
Encroachment	Any obstruction or protrusion into a right-of-way, adjacent property or setback line.
Environmental Impact Report (EIR)	A public document used by government agencies that analyzes the significant environmental effects of a proposed project, compares alternatives and discusses possible methods to reduce or avoid environmental damage.
Findings	Specific facts and required statements that serve as the legal basis for action by the local decision-making body.
Floor Area Ratio (FAR)	The gross floor area of all structures on the lot divided by the square footage of the lot, usually expressed as a percentage of the lot.

General Plan	A legal document, in the form of a map and accompanying text, adopted by the local legislative body that is a compendium of its policies regarding the long term development of its jurisdiction.
Grade	The rate of rise or descent of a sloping surface, usually expressed in degrees or in a percentage calculated by the number of feet of rise or drop per 100' horizontal distance.
Ground (Lot) Coverage	The amount of land covered or permitted to be covered by a structure, usually measured in terms of the percentage of a lot.
Impervious Surface	Any material that prevents absorption of water into previously undeveloped land.
Lot of Record	A lot that is part of a recorded subdivision or a parcel of land that has been recorded with the county recorder's office.
Natural Grade	The slope and elevation of the ground surface in its natural state before man-made alterations.
Non-conforming Lot	A lot that does not meet current zoning requirements.
Non-conforming Building Or Structure	A building that does not meet current zoning requirements.
Non-conforming Use	A land use that does not meet current zoning requirements.
Permitted Use	A land use that is specifically authorized in a particular zoning district. It is contrasted with conditional uses, that are authorized only if certain requirements are met.
Pervious Surface	Any material that permits full or partial absorption of water into previously unimproved land.

Planned Unit Development (PUD)	Land Use Zoning that allows adoption of a set of development standards that are specific to a particular project.
Restrictive Covenant	A restriction on the use of land usually set forth in the deed.
Right-Of-Way	A strip of land occupied or intended to be occupied by a road, crosswalk, electric transmission line or other similar utility.
Riparian Land	Land that is traversed or bounded by a natural watercourse or adjoining tidal lands.
Scenic Easement	A legal device for protecting beautiful views and associated aesthetic qualities of a site by restricting changes in existing land features without local government approval.
Setback	The minimum distance required by zoning to be maintained between two structures or between a structure and a property line.
Site Plan	A plan, to scale, showing uses and structures proposed for a parcel of land.
Variance	Permission to depart from the literal requirements of a zoning ordinance. Findings shall be made by the local decision-making body that a hardship would exist if the variance were not granted and that granting the variance would not constitute a special privilege. Financial considerations may not be used to deem hardship.
Zoning Ordinance	A local law that contains detailed standards and procedures to implement the general plan. The ordinance divides the city into various zoning districts with different land uses permitted in the districts. continues today.



PEBBLE BEACH
COMPANY

Real Estate Division
Pebble Beach CA 93953
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