

Exhibit C

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FISCHELL MILLER RESIDENCE

40 Arroyo Sequoia - Santa Lucia Preserve Carmel, California 93923

PROJECT DATA			PROJECT INFORMATION			SHEET INDEX			CONSULTANT ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com																																																																									
SETBACKS TO HOMELAND BOUNDARY <table><tr><td>RC/40-D-S</td><td>ALLOWED</td><td>PROPOSED</td></tr><tr><td>FRONT</td><td>30'-0"</td><td>248'-1"</td></tr><tr><td>SIDE - NORTH</td><td>20'-0"</td><td>172'-10"</td></tr><tr><td>SIDE - SOUTH</td><td>20'-0"</td><td>1314'-5"</td></tr><tr><td>SIDE - EAST</td><td>20'-0"</td><td>461'-2"</td></tr><tr><td>REAR - WEST</td><td>20'-0"</td><td>561'-1"</td></tr></table> <table><tr><td>BUILDING HEIGHT:</td><td>30'-0" MAX.</td><td>24'-5"</td></tr></table>			RC/40-D-S	ALLOWED	PROPOSED	FRONT	30'-0"	248'-1"		SIDE - NORTH	20'-0"	172'-10"	SIDE - SOUTH	20'-0"	1314'-5"	SIDE - EAST	20'-0"	461'-2"	REAR - WEST	20'-0"	561'-1"	BUILDING HEIGHT:	30'-0" MAX.	24'-5"	LOT DATA: <table><tr><td>LOT SIZE:</td><td>38.6581 ACRES (1,683,946.8 S.F.)</td></tr><tr><td>ZONING:</td><td>RC/40-D-S</td></tr><tr><td>BUILDING HEIGHT:</td><td>ALLOWABLE 30' MAX.</td></tr><tr><td>APN:</td><td>234-041-040-000</td></tr></table> BUILDING SITE COVERAGE <table><tr><td>BUILDING FOOTPRINT ALLOWED:</td><td>420,986.7 S.F. (25%)</td></tr><tr><td>PROPOSED:</td><td>4347 S.F. (3%)</td></tr></table> PROPOSED FLOOR AREA: <table><tr><td>LOWER LEVEL</td><td>1,721 S.F.</td></tr><tr><td>STAIRS</td><td>67 S.F.</td></tr><tr><td>LOWER TOTAL</td><td>1,788 S.F.</td></tr><tr><td>UPPER LEVEL</td><td>1,917 S.F.</td></tr><tr><td>MECHANICAL / STAIRS</td><td>165 S.F.</td></tr><tr><td>GARAGE</td><td>477 S.F.</td></tr><tr><td>UPPER TOTAL</td><td>3,059 S.F.</td></tr><tr><td>TOTAL FLOOR AREA</td><td>4,847 S.F.</td></tr></table> SITE COVERAGE IMPERVIOUS <table><tr><td>BUILDING FOOTPRINT</td><td>4347 S.F.</td></tr><tr><td>DRIVEWAY</td><td>5821 S.F.</td></tr><tr><td>AUTOCOURT / TRASH ENCLOSURE</td><td>3551 S.F.</td></tr><tr><td>SITE WALLS & RETAINING WALLS</td><td>495 S.F.</td></tr><tr><td>WALKWAY / STEPS / LANDINGS</td><td>442 S.F.</td></tr><tr><td>VIEW DECKS / PATIOS</td><td>1,711 S.F.</td></tr><tr><td>UTILITY ENCLOSURE</td><td>84 S.F.</td></tr><tr><td>SUB TOTAL IMPERVIOUS</td><td>16,551 S.F.</td></tr></table> SITE COVERAGE PERVIOUS <table><tr><td>AUTOCOURT</td><td>3,467 S.F.</td></tr><tr><td>SUB TOTAL PERVIOUS</td><td>3,467 S.F.</td></tr></table> TOTAL SITE COVERAGE <table><tr><td>20,018 S.F. (1.2%)</td></tr></table>			LOT SIZE:	38.6581 ACRES (1,683,946.8 S.F.)	ZONING:	RC/40-D-S	BUILDING HEIGHT:	ALLOWABLE 30' MAX.	APN:	234-041-040-000	BUILDING FOOTPRINT ALLOWED:	420,986.7 S.F. (25%)	PROPOSED:	4347 S.F. (3%)	LOWER LEVEL	1,721 S.F.	STAIRS	67 S.F.	LOWER TOTAL	1,788 S.F.	UPPER LEVEL	1,917 S.F.	MECHANICAL / STAIRS	165 S.F.	GARAGE	477 S.F.	UPPER TOTAL	3,059 S.F.	TOTAL FLOOR AREA	4,847 S.F.	BUILDING FOOTPRINT	4347 S.F.	DRIVEWAY	5821 S.F.	AUTOCOURT / TRASH ENCLOSURE	3551 S.F.	SITE WALLS & RETAINING WALLS	495 S.F.	WALKWAY / STEPS / LANDINGS	442 S.F.	VIEW DECKS / PATIOS	1,711 S.F.	UTILITY ENCLOSURE	84 S.F.	SUB TOTAL IMPERVIOUS	16,551 S.F.	AUTOCOURT	3,467 S.F.	SUB TOTAL PERVIOUS	3,467 S.F.	20,018 S.F. (1.2%)	OWNER: TIM FISCHELL 2348 SHEFFIELD DRIVE KALAMAZOO, MI 49008 ARCHITECT: ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVE. MONTEREY, CA 93940 PH: (831) 372-0410 CONTACT: CARLA HASHIMOTO ARBORIST: FRANK ONO 1213 MILES AVENUE PACIFIC GROVE, CA 93950 PH: (831) 373-1086 LAND SURVEYOR: LANDSET ENGINEERS, INC. 520-B CRAZY HORSE CANYON SALINAS, CALIFORNIA 93907 PH: (831) 443-6410 CONTACT: GUY GIRAUDO LANDSCAPE: SEVEN SPRINGS STUDIO 2548 EMPIRE GRADE SANTA CRUZ, CA 95060 PH: (831) 466-4617 CONTACT: SIMON PHILLIPS CIVIL ENGINEER: LANDSET ENGINEERS, INC. 520-B CRAZY HORSE CANYON SALINAS, CALIFORNIA 93907 PH: (831) 443-6410 CONTACT: GUY GIRAUDO			ARCHITECTURAL: A-0.1 COVER SHEET I OF I TOPO SURVEY A-1.0 OVERALL SITE PLAN A-1.1 PROPOSED ENLARGED SITE PLAN A-1.2 PREVIOUS & PROPOSED ENLARGED SITE PLAN COMPARISON A-1.3 SLOPE ANALYSIS A-1.4 PROPOSED SITE SECTIONS A-2.1 PROPOSED FLOOR PLANS A-2.2 PROPOSED ROOF A-3.1 WEST & SOUTH ELEVATIONS A-3.2 EAST & NORTH ELEVATIONS A-T.1 MATERIAL SAMPLES A-T.2 RENDERINGS A-T.3 RENDERED ELEVATIONS A-T.4 RENDERED ELEVATIONS CIVIL: C1 COVER SHEET C2 TOPOGRAPHIC MAP/EXISTING CONDITIONS C3 HOMELAND OVERVIEW C4 DRIVEWAY PLAN & PROFILE C5 GRADING, DRAINAGE & UTILITY PLAN C6 GRADING SECTIONS C7 STANDARD PLANS & CONSTRUCTION DETAILS C8 EROSION & SEDIMENT CONTROL PLANS C9 CONSTRUCTION MANAGEMENT PLAN LANDSCAPE: L-1.0 FUEL MANAGEMENT PLAN L-1.1 TREE REMOVAL PLAN L-1.2 TREE MITIGATION PLAN L-2.0 OVERALL SITE PLAN L-2.1 ENLARGED SITE PLAN L-2.2 SITE SECTIONS L-3.0 PLANTING PLAN L-4.0 IRRIGATION NOTES L-4.1 IRRIGATION PLAN L-4.2 IRRIGATION PLAN L-5.0 LIGHTING PLAN		
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PROJECT DESCRIPTION			NEW SINGLE FAMILY DWELLING HAVING 4 BEDROOMS, 4 BATHS, 1 HALF BATH, & A 3-CAR GARAGE. THE DESIGN CONSISTS OF 3,705 S.F. OF LIVABLE SPACE, 1,711 S.F. OF DECKS / PATIOS & EXTERIOR BARBEQUE AREA, 477 S.F. OF GARAGE & UTILITY, AN ENCLOSED AUTO COURT, AND STONE PATHWAYS. IMMEDIATE LANDSCAPE FEATURES INCLUDE DESIGNATED PLANTING AREAS WITH 56 L.F. OF RETAINING WALLS OVER 6 FEET, 191 L.F. OF RETAINING WALLS UP TO 6 FEET, AND A 84 S.F. ENCLOSED UTILITY ENCLOSURE.																																																																															
TREE REMOVAL			COASTAL OAK - 6 VALLEY OAK - 22 DEAD TREES - 6 TOTAL: 28 TREES TO BE REMOVED																																																																															
OWNERSHIP NOTES			OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS: 1. TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER, HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED RESTRICTIONS. 2. THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IS THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE. 3. THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE. 4. IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/ EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.																																																																															
UTILITIES			1. WATER: CAL-AM 2. ELECTRICAL: PACIFIC GAS & ELECTRIC 3. SEWER: SANTA LUCIA PRESERVE COMMUNITY SERVICE DISTRICT 4. GAS: PROPANE																																																																															
GRADING			CUT = 880 C.Y. FILL = 515 C.Y. NET = 365 C.Y. TO SPREAD ON SITE																																																																															
LOCATION MAP																																																																																		
VICINITY MAP																																																																																		
COVER SHEET			JOB NAME: Fischell Miller Residence 40 Arroyo Sequoia Carmel, CA 93923 A.P.N. 234-041-040-000																																																																															
DATE: 4/29/2024			SCALE: N.T.S.																																																																															
DRAWN:			JOB NUMBER: 21.23																																																																															
A-0.1			SHEET OF																																																																															

REVISION

No.

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

COVER SHEET

JOB NAME: Fischell Miller Residence
40 Arroyo Sequoia
Carmel, CA 93923
A.P.N. 234-041-040-000

DATE: 4/29/2024

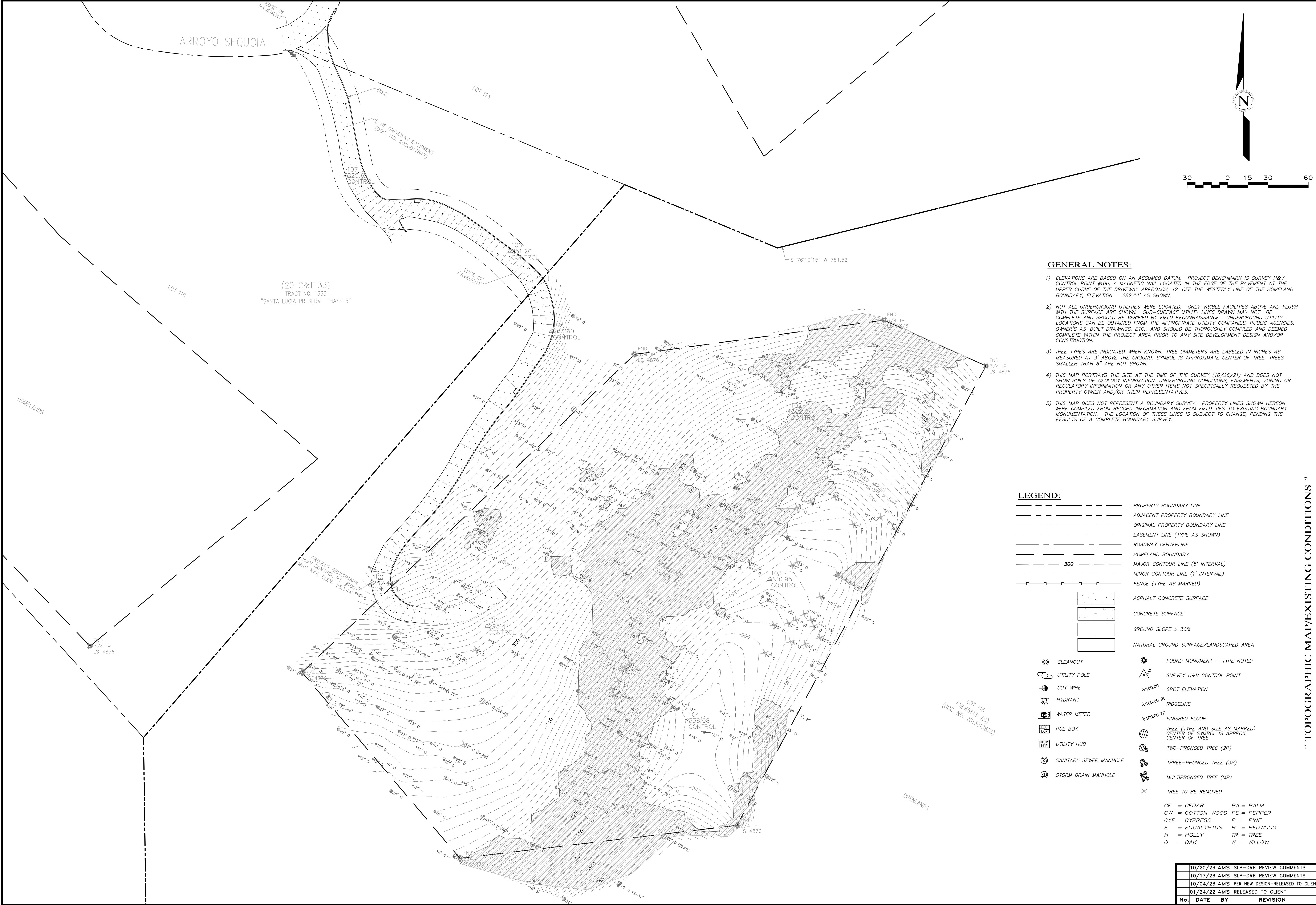
SCALE: N.T.S.

DRAWN:

JOB NUMBER: 2123

A-0.1

SHEET OF



GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #100, A MAGNETIC NAIL LOCATED IN THE EDGE OF THE PAVEMENT AT THE UPPER CURVE OF THE DRIVEWAY APPROACH, 12' OFF THE WESTERLY LINE OF THE HOMELAND BOUNDARY, ELEVATION = 282.44' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (10/28/21) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

LEGEND:

- | | |
|-----|--|
| --- | PROPERTY BOUNDARY LINE |
| --- | ADJACENT PROPERTY BOUNDARY LINE |
| --- | ORIGINAL PROPERTY BOUNDARY LINE |
| --- | EASEMENT LINE (TYPE AS SHOWN) |
| --- | ROADWAY CENTERLINE |
| --- | HOMELAND BOUNDARY |
| --- | MAJOR CONTOUR LINE (5' INTERVAL) |
| --- | MINOR CONTOUR LINE (1' INTERVAL) |
| --- | FENCE (TYPE AS MARKED) |
| --- | ASPHALT CONCRETE SURFACE |
| --- | CONCRETE SURFACE |
| --- | GROUND SLOPE > 30% |
| --- | NATURAL GROUND SURFACE/LANDSCAPED AREA |
| --- | CLEANOUT |
| --- | UTILITY POLE |
| --- | GUY WIRE |
| --- | HYDRANT |
| --- | WATER METER |
| --- | PGE BOX |
| --- | UTILITY HUB |
| --- | SANITARY SEWER MANHOLE |
| --- | STORM DRAIN MANHOLE |
| --- | FOUND MONUMENT - TYPE NOTED |
| --- | SURVEY H&V CONTROL POINT |
| --- | SPOT ELEVATION |
| --- | RIDGELINE |
| --- | FINISHED FLOOR |
| --- | TREE (TYPE AND SIZE AS MARKED) |
| --- | CENTER OF SYMBOL IS APPROX. |
| --- | CENTER OF TREE |
| --- | TWO-PRONGED TREE (2P) |
| --- | THREE-PRONGED TREE (3P) |
| --- | MULTIPRONGED TREE (MP) |
| --- | TREE TO BE REMOVED |
| --- | CE = CEDAR |
| --- | CW = COTTON WOOD |
| --- | CYP = CYPRESS |
| --- | E = EUCALYPTUS |
| --- | H = HOLLY |
| --- | O = OAK |
| --- | PA = PALM |
| --- | PE = PEPPER |
| --- | P = PINE |
| --- | R = REDWOOD |
| --- | TR = TREE |
| --- | W = WILLOW |

TOPOGRAPHIC MAP/EXISTING CONDITIONS "

GRADING, DRAINAGE & EROSION CONTROL PLAN

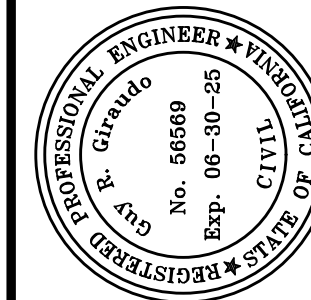
FISCHELL RESIDENCE
40 ARROYO SEQUOIA - LOT 15 (A.P.N.: 239-091-040-000)
SANTA LUCIA PRESERVE, CARMEL, MONTEREY COUNTY, CALIFORNIA

MR. TIM FISCHHELL

SCALE: 1"=30'
DATE: AUGUST 2022
JOB NO. 2401-02

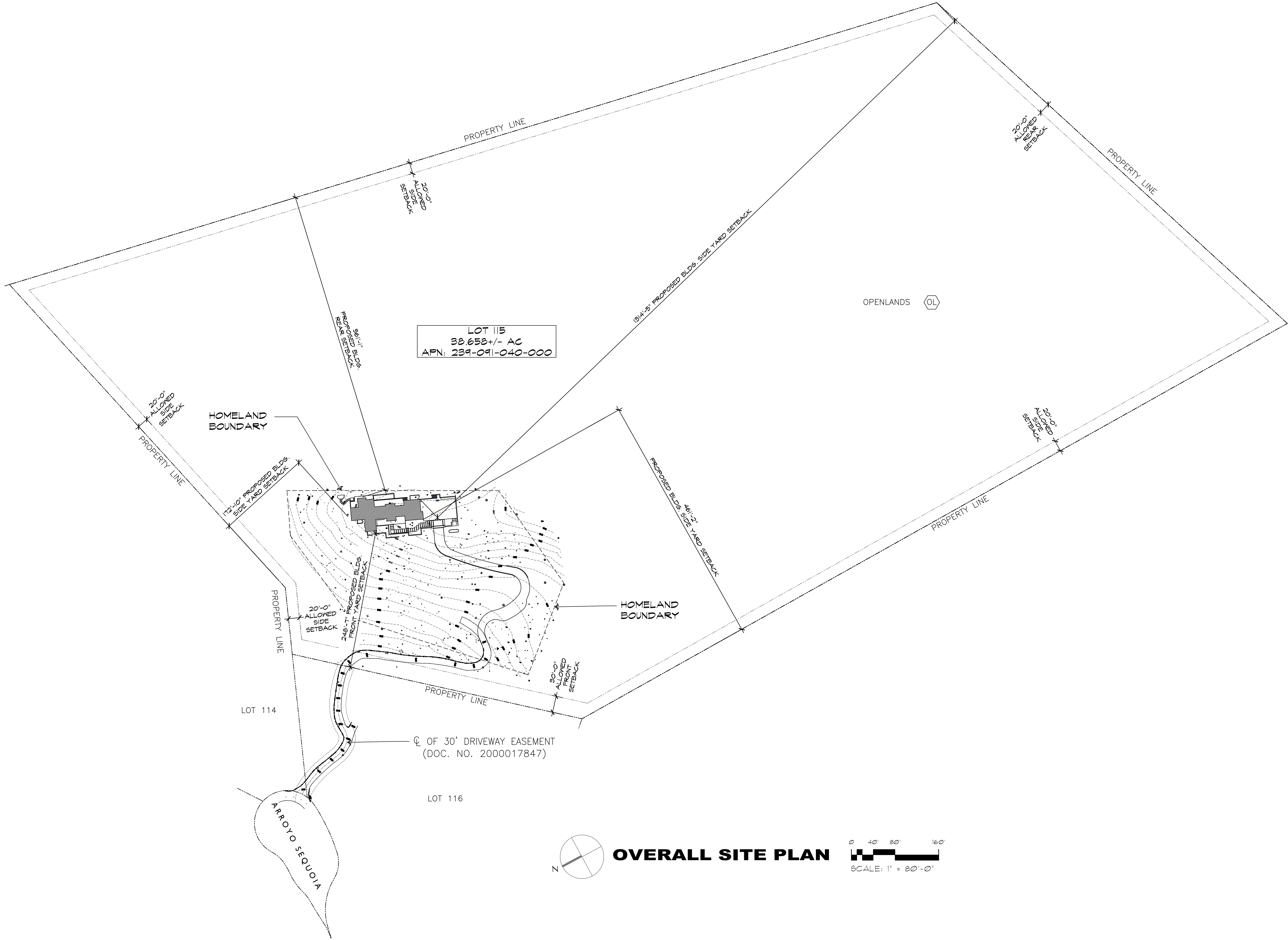
No.	DATE	BY	REVISION
10/20/23	AMS	SLP-DRB	REVIEW COMMENTS
10/17/23	AMS	SLP-DRB	REVIEW COMMENTS
10/04/23	AMS	PER NEW DESIGN-RELEASED TO CLIENT	
01/24/22	AMS	RELEASED TO CLIENT	

SHEET C2
OF 9 SHEETS

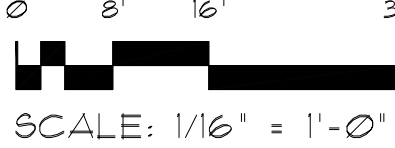


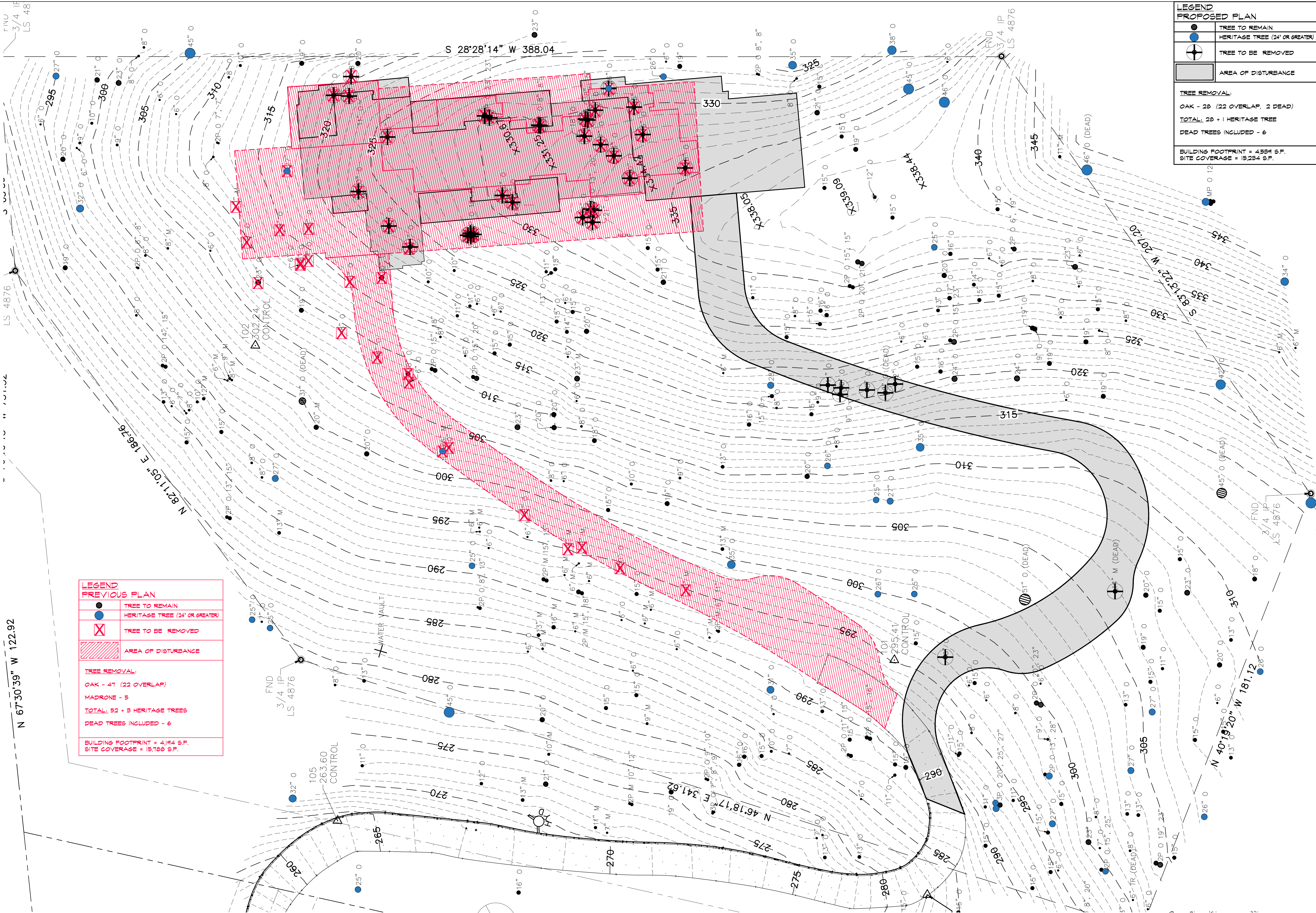
APPROVED BY:
GUY R. FISCHELL
CIFA/DO



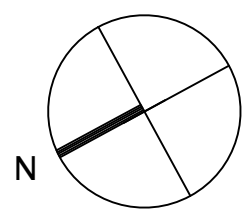


REVISION		No.
ARCHITECT		CONSULTANT:
ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		MONTEREY, CA 93940 WEB: www.ericmillerarchitects.com
OVERALL SITE PLAN		JOB NAME: Fischer Miller Residence 40 Arroyo Sequoia Carmel, CA 93923 A.P.N. 239-091-040-000
DATE:		4/29/2024
SCALE:		1"=80'
DRAWN:		HRM
JOB NUMBER:		21.23
A-1.0		SHEET OF

[illegible]



ARCHITECT		CONSULTANT:	
ERIC MILLER ARCHITECTS, INC.		ERIC MILLER ARCHITECTS, INC.	
211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com	
ENLARGED SITE COMPARISON		REVISION	
JOB NAME: Fischell Miller Residence 40 Arroyo Sequoia Carmel, CA 93923 A.P.N. 239-091-040-000		No.	
DATE: 4/29/2024			
SCALE: 1/16" = 1'-0"			
DRAWN: SSB			
JOB NUMBER: 2123			
A-1.2			
SHEET OF			

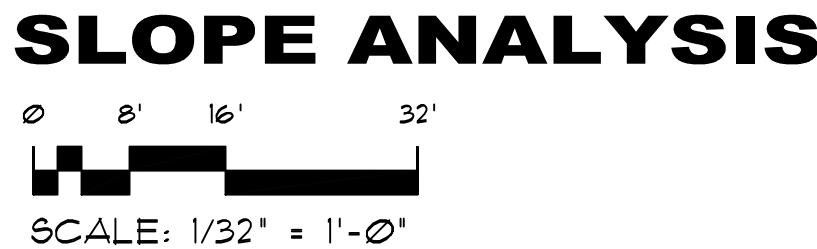


0 8' 16' 32'

SCALE: 1/32" = 1'-0"

SITE DEVELOPMENT:	
PROPOSED SITE DEVELOPMENT: = 20,018 S.F.	
SITE DEVELOPMENT IN 30% SLOPE = 2,056 S.F.	(10.27 %)

A-1.3
SHEET OF

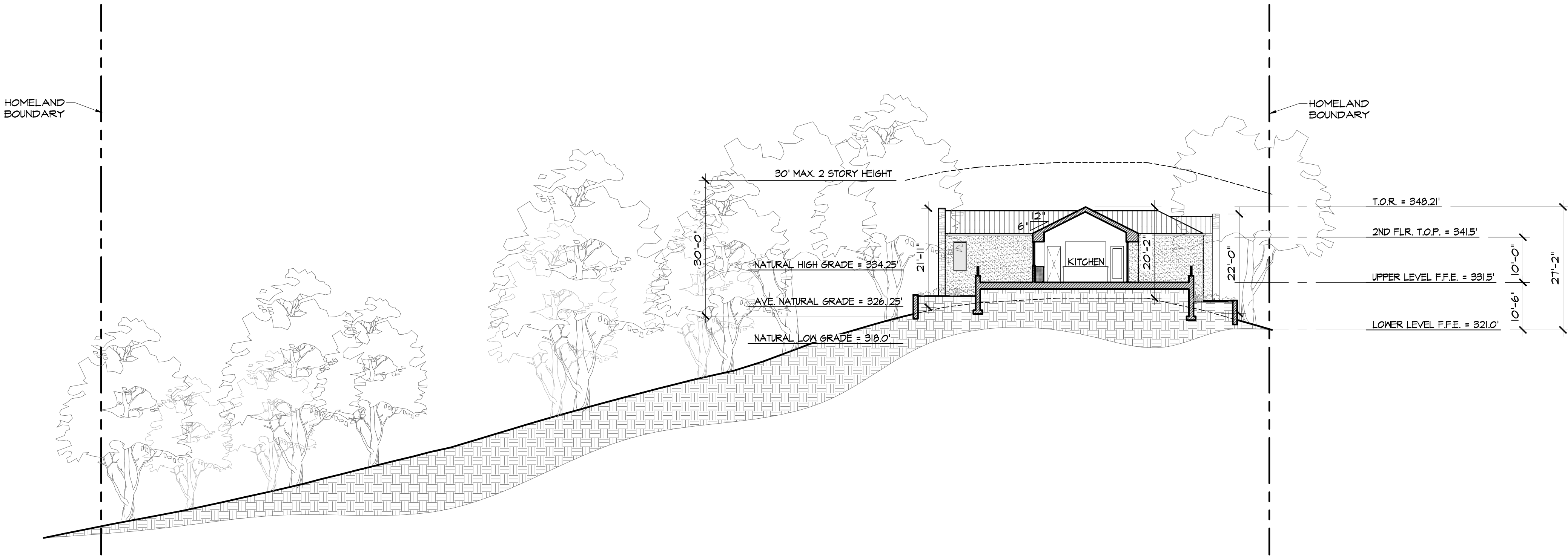


LOT SIZE: 38.6581 ACRES (1,683,946.8 S.F.)
30" SLOPE IN BUILDING AREA = 115 S.F. (0.0068 %)
30" SLOPE IN SITE DEVELOPED AREA = 2,056 S.F. (0.12 %)
BUILDING FOOTPRINT:
PROPOSED BUILDING FOOTPRINT: = 4397 S.F.
BUILDING FOOTPRINT IN 30% SLOPE = 115 S.F. (2.61 %)
SITE DEVELOPMENT:
PROPOSED SITE DEVELOPMENT: = 20,018 S.F.
SITE DEVELOPMENT IN 30% SLOPE = 2,056 S.F. (10.27 %)

REVISION		No.
CONSULTANT:		
ARCHITECT ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com MONTEREY, CA 93940		
SLOPE ANALYSIS		
JOB NAME:	Fischell Miller Residence 40 Arroyo Sequoia Carmel, CA 93925 A.P.N. 239-091-040-000	
DATE:	4/29/2024	
SCALE:	1/32" = 1'-0"	
DRAWN:	CAD	
JOB NUMBER:	21.23	
A-1.3		
SHEET OF		



2 LONGITUDINAL SITE SECTION



1 LATITUDINAL SITE SECTION

PROPOSED SITE SECTIONS

JOB NAME: Fischel Miller Residence
40 Arroyo Sequoia
Carmel, CA 93923
A.P.N. 239-091-040-000

DATE: 4/29/2024

SCALE: 1/16" = 1'-0"

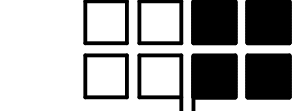
DRAWN: K.J.L.

JOB NUMBER: 21.23

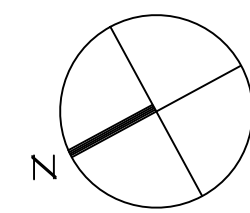
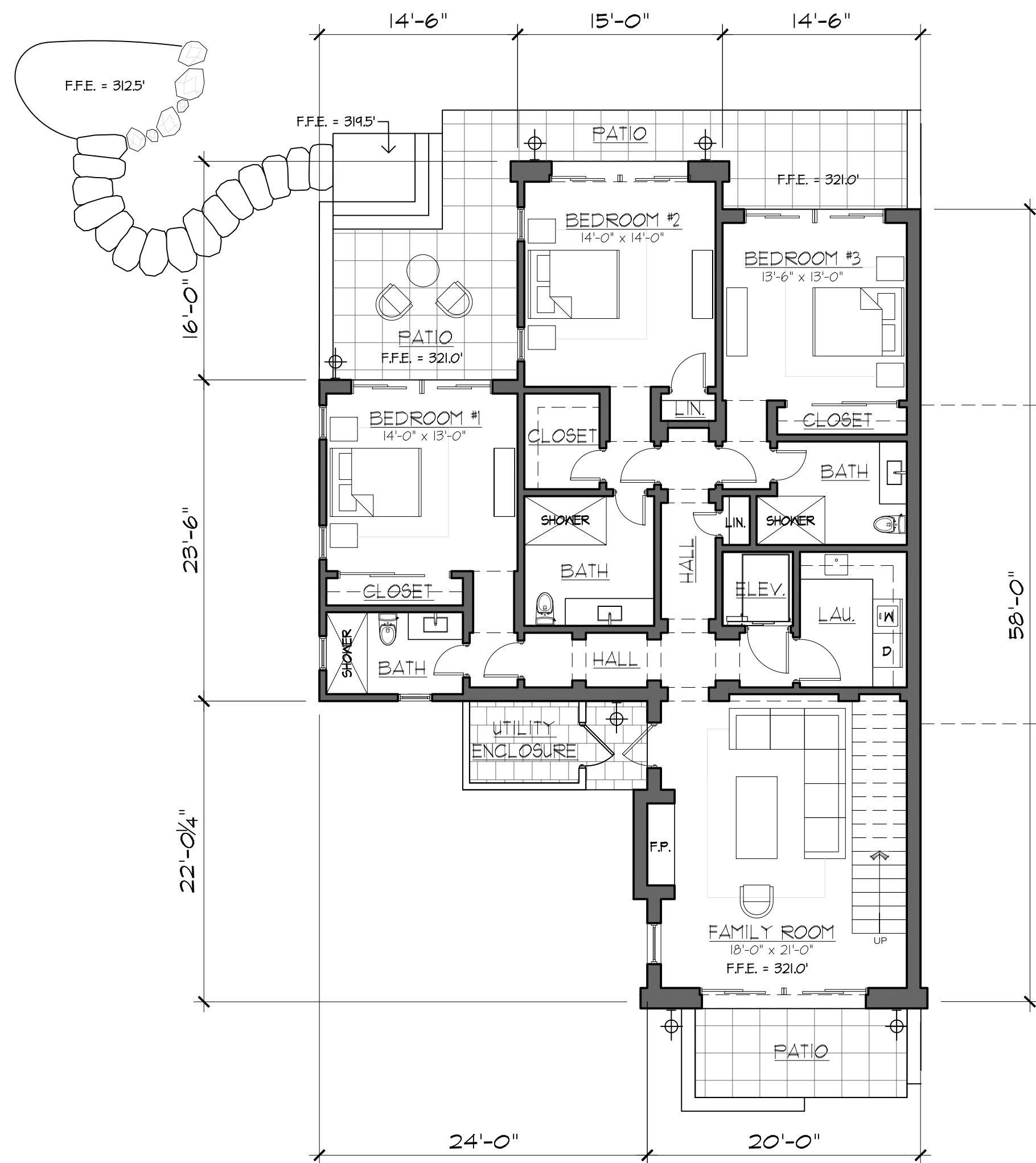
A-1.4
SHEET OF

CONSULTANT:

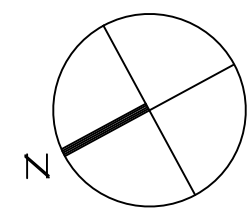
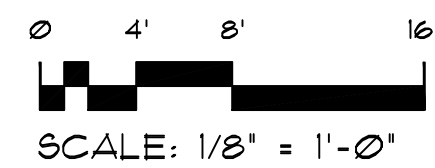
ARCHITECT
ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com



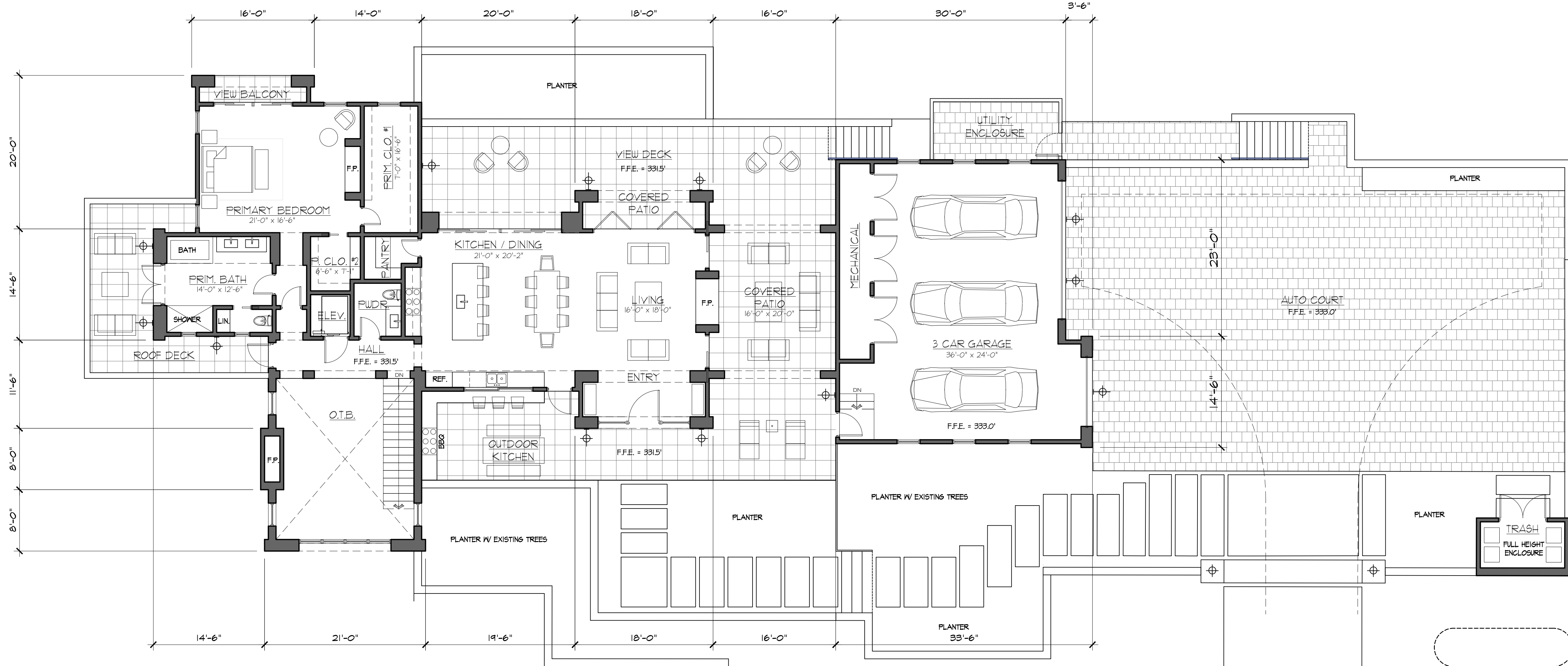
REVISION	No.



PROPOSED LOWER LEVEL FLOOR PLAN



PROPOSED UPPER LEVEL FLOOR PLAN



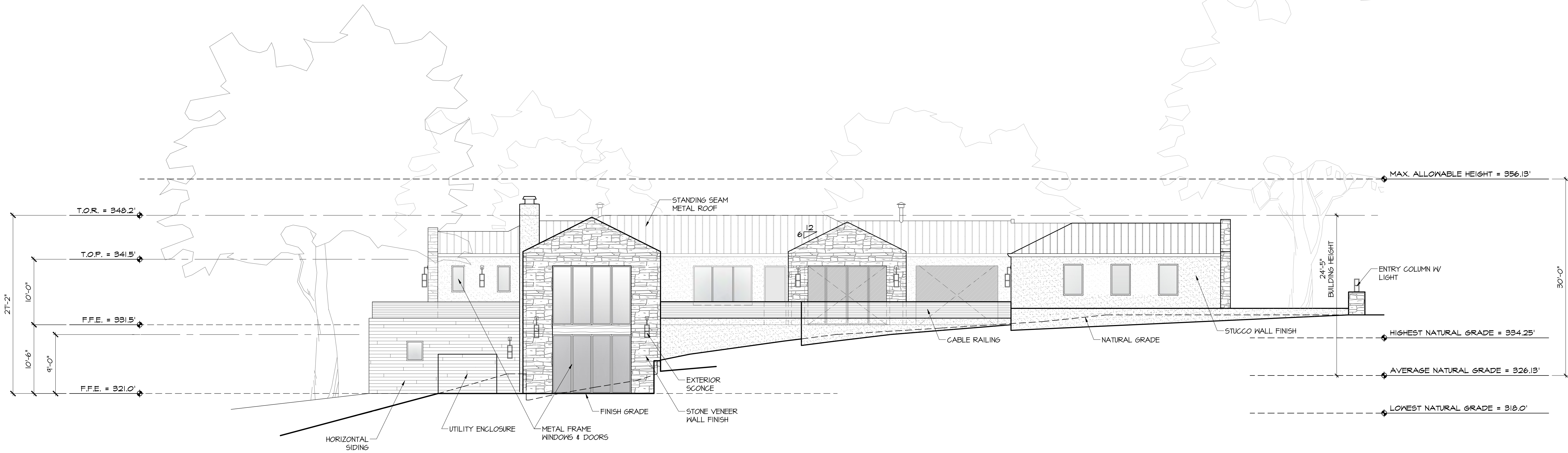
LIGHT FIXTURES	
	WALL SCONCE
	POST TOP MOUNT

PROPOSED FLOOR AREA:	
FIRST FLOOR:	
LIVABLE SPACE =	1,788 S.F.
SECOND FLOOR:	
LIVABLE SPACE =	1,917 S.F.
MECHANICAL / STAIRS =	165 S.F.
GARAGE =	977 S.F.
TOTAL FLOOR AREA S.F. =	4,647 S.F.

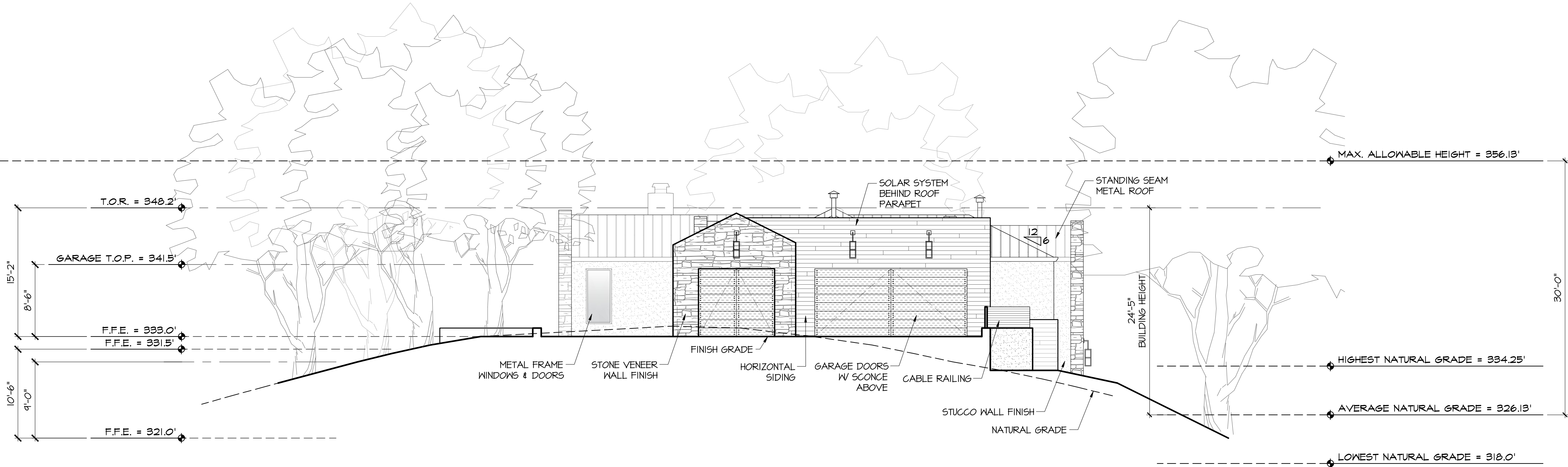
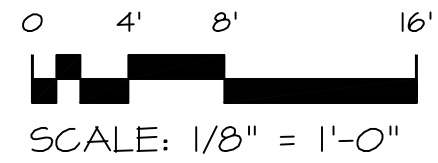
REVISION	No.
CONSULTANT:	
ARCHITECT	
ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com	
PROPOSED FLOOR PLANS	
JOB NAME:	Fischel Miller Residence 40 Arroyo Sequoia Carmel, CA 93923 A.P.N. 239-091-040-000
DATE:	4/29/2024
SCALE:	1/8" = 1'-0"
DRAWN:	HRM
JOB NUMBER:	21.23
A-2.1	
SHEET OF	



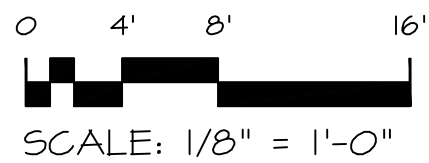
						REVISION	No.
CONSULTANT:							
ARCHITECT ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com							
PROPOSED ROOF PLAN							
JOB NAME: <i>Fischell Miller Residence</i> 40 Arroyo Sequela Carmel, CA 93925 A.P.N. 239-091-040-000							
DATE: 4/24/2024							
SCALE: 1/8" = 1'-0"							
DRAWN: HRM, JK							
JOB NUMBER: 2123							
A-2.2							
SHEET OF							



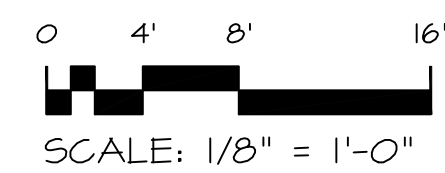
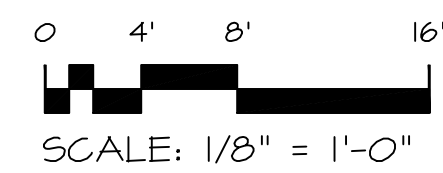
WEST ELEVATION



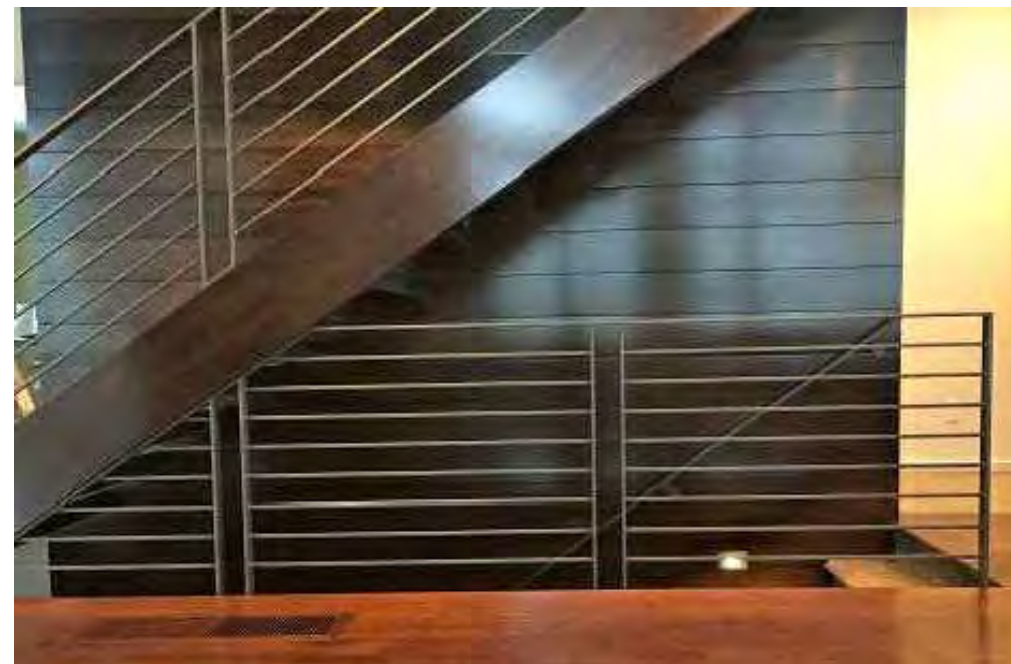
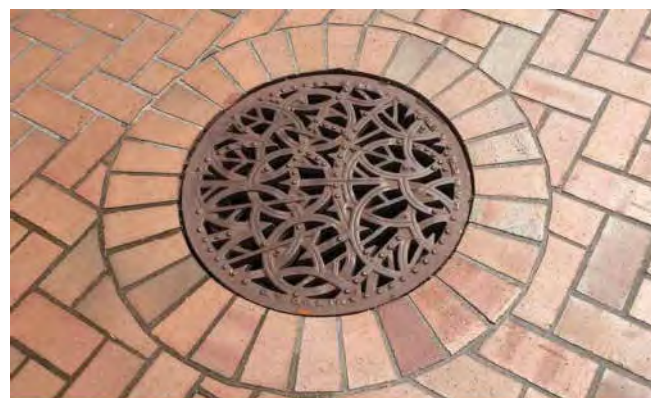
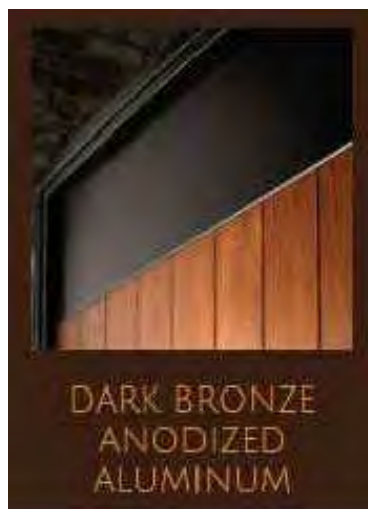
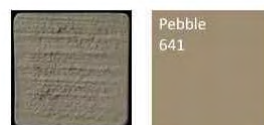
SOUTH ELEVATION



REVISION		No.
CONSULTANT:		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
SOUTH & WEST ELEVATION		
JOB NAME: Fischel Miller Residence 40 Arroyo Sequoia Carmel, CA 93923 A.P.N. 239-091-040-000		
DATE: 4/29/2024		
SCALE: 1/8"=1'-0"		
DRAWN: HRM		
JOB NUMBER: 21.23		
A-3.1		
SHEET OF		



REVISION		No.
CONSULTANT:		
ARCHITECT ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
NORTH & EAST ELEVATION JOB NAME: <i>Fischell Miller Residence</i> 40 Arroyo Sequoia Carmel, CA 93925 A.P.N. 239-091-040-000		
DATE: 4/29/2024		
SCALE: 1/8"=1'-0"		
DRAWN: HRM		
JOB NUMBER: 21.23		
A3.2 SHEET OF		

		REVISION	No.	
		CONSULTANT:		
		ARCHITECT		
		ERIC MILLER ARCHITECTS, INC.		
		211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
		MATERIAL SAMPLE		
		JOB NAME: Fischell Miller Residence 40 Arroyo Sequoia Carmel, CA 93923 A.P.N. 289-091-040-000		
		DATE: 4/29/2024		
		SCALE: N.T.S.		
		DRAWN: HRM		
		JOB NUMBER: 21.23		
		A-7.1		
		SHEET OF		
 FINISH : BRONZE METAL MANUFACTURER : CUSTOM	 STYLE: CASEMENT CLAD WINDOWS COLOR: BRONZE MANUFACTURER : KOLBE	 MANUFACTURER: WESTERN BLENDED PRODUCTS COLOR: INSPIRE FINISH: SMOOTH	 COLOR: WEATHERED COPPER STYLE: STANDING SEAM MANUFACTURER: CUSTOM-BILT METALS	
10 DECK GUARD RAIL	7 WINDOW & DOORS	4 STUCCO	1 METAL ROOF	
 MODEL: OT TITLE-24 FINISH: BRONZE MANUFACTURER : URBAN ACCESSORIES	 MODEL : TWO IF BY SEA LAMP: 3.5 LED WATT MANUFACTURER : MODERN FORMS TITLE 24 & DARK SKY COMPLIANT	 MODEL: HUMBOLDT MATERIAL: DARK BRONZE ANODIZED ALUMINUM MANUFACTURER : CARRIAGE HOUSE DOOR COMPANY	 COLOR: SILVERDALE MANUFACTURER: US STONE COLOR: VERONA MANUFACTURER: BASALITE - ITALIAN RENAISSANCE	
11 DRAIN COVER & TRENCH GRATES	8 EXTERIOR WALL LIGHT	5 GARAGE DOOR SAMPLE	2 DECK & DRIVEWAY PAVING	
 BOARD FINISHED CONCRETE WALL TINT = PEBBLE	 Model: SPJ-SQ100-1 Finish: PVD Graphite MANUFACTURER : FOREVER BRIGHT MANUFACTURER : ALCON SPJ570-96 MANUFACTURER : SPJ LIGHTING INC. ELM ARCHITECTURAL LED STEP LIGHT	 FOND DU LAC: COUNTRY SQUIRE, OVER GROUT W/ SMEAR	 NORDIC FACADE PANELS COLOR: BLACK SURFACE TYPE: NORDIC RAW	
12 RETAINING WALL	9 SITE LIGHT	6 STONE WALL	3 HORIZONTAL SIDING	



REAR BEDROOMS PERSPECTIVE



REAR VIEW DECK PERSPECTIVE

REVISION		No.	
CONSULTANT:		ARCHITECT ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com	
RENDERING JOB NAME: Fischell Miller Residence 40 Arroyo Sequola Carmel, CA 93923 A.P.N. 239-091-040-000			
DATE:		4/29/2024	
SCALE:		N.T.S.	
DRAWN:		HRM	
JOB NUMBER:		21.23	
A7.2 SHEET OF			



EAST ELEVATION



NORTH ELEVATION

REVISION		No.
CONSULTANT:		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC. 		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
RENDERED ELEVATIONS		
JOB NAME: Fischel Miller Residence		
40 Arroyo Sequoia		
Carmel, CA 93923		
A.P.N. 239-091-040-000		
DATE:		4/29/2024
SCALE:		N.T.S.
DRAWN:		HRM
JOB NUMBER:		21.23
A7.3		
SHEET OF		



SOUTH ELEVATION



WEST ELEVATION

REVISION		No.
CONSULTANT:		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
RENDERED ELEVATIONS		
JOB NAME: Fischer Miller Residence		
40 Arroyo Sequoia		
Carmel, CA 93923		
A.P.N. 239-091-040-000		
DATE: 4/29/2024		
SCALE: N.T.S.		
DRAWN: HRM		
JOB NUMBER: 2123		
A7.4		
SHEET OF		

SHEET INDEX

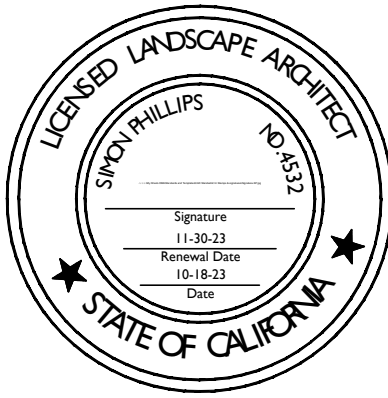
SHEET NO:	CONTENTS:
L-1.0	FUEL MANAGEMENT PLAN
L-1.1	TREE REMOVAL PLAN
L-1.2	TREE MITIGATION PLAN
L-2.0	OVERALL SITE PLAN
L-2.1	ENLARGED SITE PLAN
L-2.2	SITE SECTIONS
L-3.0	PLANTING PLAN
L-4.0	IRRIGATION NOTES
L-4.1	IRRIGATION PLAN
L-4.2	IRRIGATION PLAN
L-5.0	LIGHTING PLAN

LEGEND

- ZONE 0: ZONE EXTENDS 5' FROM BUILDINGS, STRUCTURES DECKS, ETC. THE EMBER-RESISTANT ZONE IS THE MOST IMPORTANT OF ALL THE DEFENSIBLE SPACE ZONES. THIS ZONE INCLUDES THE AREA UNDER AND AROUND ALL ATTACHED DECKS, AND REQUIRES THE MOST STRINGENT WILDFIRE FUEL REDUCTION. THE EMBER-RESISTANT ZONE IS DESIGNED TO KEEP FIRE OR EMBERS FROM IGNITING MATERIALS THAT CAN SPREAD THE FIRE TO YOUR HOME. THE FOLLOWING PROVIDES GUIDANCE FOR THIS ZONE, WHICH MAY CHANGE BASED ON THE REGULATION DEVELOPED BY THE BOARD OF FORESTRY AND FIRE PROTECTION.
- USE HARDSCAPE LIKE GRAVEL, PAVERS, CONCRETE, AND OTHER NONCOMBUSTIBLE MULCH MATERIALS. NO COMBUSTIBLE BARK OR MULCH.
 - REMOVE ALL DEAD AND DYING WEEDS, GRASS, PLANT, SHRUBS, TREES, BRANCHES AND VEGETATIVE DEBRIS (LEAVES, NEEDLES, CONES, BARK, ETC.); CHECK YOUR ROOFS, GUTTERS, DECKS, PORCHES, STAIRWAYS, ETC.
 - REMOVE ALL BRANCHES WITHIN 10 FEET OF ANY CHIMNEY OR STOVEPIPE OUTLET.
 - NO PLANTING IS PERMITTED IN THIS ZONE.
 - LIMIT COMBUSTIBLE ITEMS (OUTDOOR FURNITURE, PLANTERS, ETC.) ON TOP OF ROOF DECKS.
 - RELOCATE FIREWOOD AND LUMBER TO ZONE 2
 - REPLACE COMBUSTIBLE FENCING, GATES AND ARBORS ATTACH TO THE HOME WITH NON-COMBUSTIBLE ALTERNATIVES.
 - CONSIDER RELOCATING GARBAGE AND RECYCLING CONTAINERS OUTSIDE THIS ZONE.
 - CONSIDER RELOCATING BOATS, RVS, VEHICLES AND OTHER COMBUSTIBLE ITEMS OUTSIDE THIS ZONE.
- ZONE 1: ZONE EXTENDS 30 FEET FROM ALL SIDES OF BUILDINGS, STRUCTURES, DECKS, ETC OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. WITHIN THIS ZONE, THE FOLLOWING CONDITIONS SHALL BE MAINTAINED:
- REMOVE ALL DEAD PLANTS, GRASS, AND WEEDS (VEGETATION)
 - REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES FROM YARD, ROOF, AND RAIN GUTTERS.
 - TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10 FEET FROM OTHER TREES.
 - REMOVE BRANCHES THAT HANG OVER ROOFS AND KEEP DEAD BRANCHES A MINIMUM OF 10 FEET AWAY FROM CHIMNEYS AND STOVEPIPES.
 - WOOD PILES ARE PROHIBITED WITHIN THIS ZONE. RELOCATE WOOD PILES TO ZONE 2.
 - REMOVE OR PRUNE FLAMMABLE PLANTS AND SHRUBS NEAR WINDOWS.
 - REMOVE OR PRUNE FLAMMABLE ITEMS THAT COULD CATCH FIRE FROM AROUND AND UNDER DECKS, BALCONIES, AND STAIRS.
 - CREATE A SEPARATION BETWEEN TREES, SHRUBS, AND ITEMS THAT COULD CATCH FIRE, SUCH AS PATIO FURNITURE, WOOD PILES, SWING SETS, ETC.
 - MAINTAIN A TREE, SHRUB OR OTHER PLANT ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.
 - MAINTAIN THE ROOF OF A STRUCTURE FREE OF LEAVES, NEEDLES OR OTHER VEGETATIVE MATERIALS. REMOVE OR PRUNE FLAMMABLE PLANTS AND SHRUBS NEAR WINDOWS
- ZONE 2: ZONE 2 EXTENDS FROM 30 FEET TO 100 FEET OUT FROM BUILDINGS, STRUCTURES, DECKS ETC. OR TO THE PROPERTY LINE WHICHEVER IS CLOSER. FUELS SHALL BE MAINTAINED IN A CONDITION SO THAT A WILDFIRE BURNING UNDER AVERAGE WEATHER CONDITIONS WOULD BE UNLIKELY TO IGNITE THE STRUCTURE. THE ITEMS STIPULATED BELOW DO NOT APPLY TO SINGLE SPECIMENS OF TREES OR OTHER VEGETATION THAT ARE WELL-PRUNED AND MAINTAINED SO AS TO EFFECTIVELY MANAGE FUELS AND NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM OTHER NEARBY VEGETATION TO A STRUCTURE OR FROM A STRUCTURE TO THE OTHER NEARBY VEGETATION. WITHIN THIS ZONE, THE FOLLOWING CONDITIONS SHALL BE MAINTAINED:
- CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
 - CREATE HORIZONTAL SPACING BETWEEN SHRUBS AND TREES.
 - CREATE VERTICAL SPACING BETWEEN GRASS, SHRUBS, AND TREES.
 - REMOVE ALL DEAD TREES.
 - REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF 3 INCHES.
 - ALL EXPOSED WOOD PILES MUST HAVE A MINIMUM OF 10 FEET OF CLEARANCE, DOWN TO BARE MINERAL SOIL, IN ALL DIRECTIONS.
- ZONE 1 AND 2 - 'OUTBUILDINGS' AND LIQUID PROPANE GAS (LPG) STORAGE TANKS SHALL HAVE 10 FEET OF CLEARANCE TO BARE MINERAL SOIL AND NO FLAMMABLE VEGETATION FOR AN ADDITIONAL 10 FEET AROUND THEIR EXTERIOR.
- FUEL MANAGEMENT TO FOLLOW PUBLIC RESOURCE CODE 4291 AS DEVELOPED BY CALIFORNIA'S DEPARTMENT OF FORESTRY AND FIRE PROTECTION (CALFIRE).
- CLEARING BEYOND THE PROPERTY LINE MAY ONLY BE REQUIRED IF THE STATE LAW, LOCAL ORDINANCE, RULE, OR REGULATION INCLUDES FINDINGS THAT THE CLEARING IS NECESSARY TO SIGNIFICANTLY REDUCE THE RISK OF TRANSMISSION OF FLAME OR HEAT SUFFICIENT TO IGNITE THE STRUCTURE AND THERE IS NO FEASIBLE MITIGATION MEASURES POSSIBLE TO REDUCE THE RISK OF IGNITION OR SPREAD OF WILDFIRE TO THE STRUCTURE. CLEARANCE ON THE ADJACENT PROPERTY SHALL ONLY BE CONDUCTED FOLLOWING WRITTEN ON CONSENT BY THE ADJACENT LANDOWNER.
- CLEARING BEYOND THE HOMELAND BOUNDARY IS TO BE COORDINATED WITH THE SANTA LUCIA CONSERVANCY.
- FOR ADDITIONAL INFORMATION, SEE THE LOT SPECIFIC FUEL MANAGEMENT REPORT AND TREE RESOURCE AND MANAGEMENT PLAN DATED SEPTEMBER 30, 2023.

SEVEN
SPRINGS
STUDIO
LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:

FISCHELL-
MILLER
RESIDENCE

PROJECT ADDRESS:

40 ARROYO SEQUOIA
CARMEL, CA 93923

APN: 239-091-040

ISSUANCE:

DESIGN REVIEW BOARD
FINAL REVIEW

PROJECT NO: 2022-05
DATE: 10/18/2023

REVISIONS:

DATE DESCRIPTION

SHEET NAME:

FUEL
MANAGEMENT
PLAN

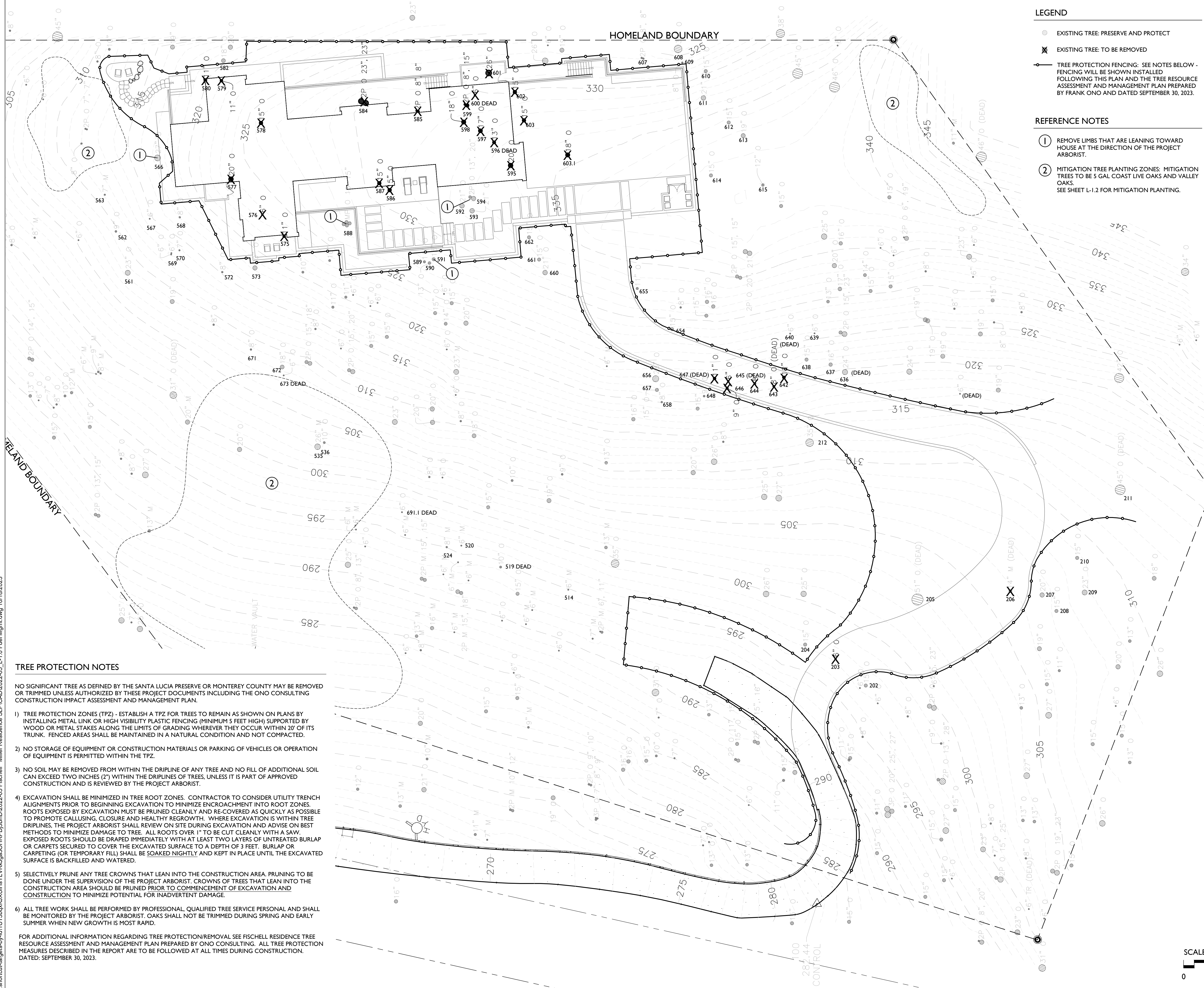
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L-1.0

SCALE: 1/16"= 1'-0"



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LEGEND

- EXISTING TREE: PRESERVE AND PROTECT
- EXISTING TREE: TO BE REMOVED
- TREE PROTECTION FENCING: SEE NOTES BELOW - FENCING WILL BE SHOWN INSTALLED FOLLOWING THIS PLAN AND THE TREE RESOURCE ASSESSMENT AND MANAGEMENT PLAN PREPARED BY FRANK ONO AND DATED SEPTEMBER 30, 2023.

REFERENCE NOTES

- REMOVE LIMBS THAT ARE LEANING TOWARD HOUSE AT THE DIRECTION OF THE PROJECT ARBORIST.
- MITIGATION TREE PLANTING ZONES: MITIGATION TREES TO BE 5 GAL COAST LIVE OAKS AND VALLEY OAKS. SEE SHEET L-1.2 FOR MITIGATION PLANTING.

TREE REMOVAL LIST

TREE # PER ARBORIST REPORT	SPECIES	DBH	
TREE REMOVAL - 6" - 23"			
203	COAST LIVE OAK	6"	
206	VALLEY OAK	14"	DEAD
575	COAST LIVE OAK	11"	
576	VALLEY OAK	6"	
577	COAST LIVE OAK	20"	
578	VALLEY OAK	15"	
579	VALLEY OAK	11"	
580	VALLEY OAK	11"	
584	VALLEY OAK	23.23"	
585	VALLEY OAK	8.8"	
586	VALLEY OAK	15"	
587	VALLEY OAK	15"	
595	VALLEY OAK	20"	
596	VALLEY OAK	13"	DEAD
597	COAST LIVE OAK	17"	
598	VALLEY OAK	18"	
599	COAST LIVE OAK	15.8"	
600	VALLEY OAK	6"	DEAD
602	VALLEY OAK	15"	
603	VALLEY OAK	15"	
603.1	VALLEY OAK	18"	
642	VALLEY OAK	12"	
643	VALLEY OAK	8"	DEAD
644	COAST LIVE OAK	8"	
645	VALLEY OAK	6"	DEAD
646	VALLEY OAK	9"	
647	VALLEY OAK	11"	DEAD
SUBTOTAL			27
TOTAL DEAD			6
TOTAL ALIVE			21
MITIGATION REQUIREMENT AT 3:1			
TOTAL - 63			
TREE REMOVAL - 24" + LANDMARK TREE			
601	VALLEY OAK	25"	
TOTAL			1
MITIGATION REQUIREMENT AT 5:1			
TOTAL - 5			
TOTAL MITIGATION - 68			

TREE PROTECTION NOTES

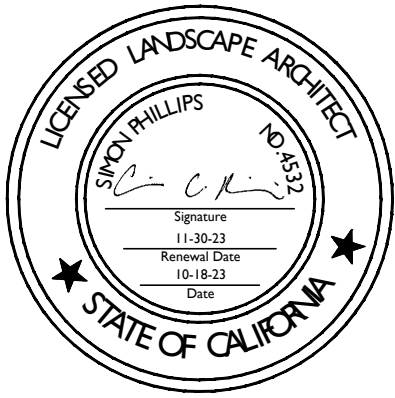
NO SIGNIFICANT TREE AS DEFINED BY THE SANTA LUCIA PRESERVE OR MONTEREY COUNTY MAY BE REMOVED OR TRIMMED UNLESS AUTHORIZED BY THESE PROJECT DOCUMENTS INCLUDING THE ONO CONSULTING CONSTRUCTION IMPACT ASSESSMENT AND MANAGEMENT PLAN.

- TREE PROTECTION ZONES (TPZ) - ESTABLISH A TPZ FOR TREES TO REMAIN AS SHOWN ON PLANS BY INSTALLING METAL LINK OR HIGH VISIBILITY PLASTIC FENCING (MINIMUM 5 FEET HIGH) SUPPORTED BY WOOD OR METAL STAKES ALONG THE LIMITS OF GRADING WHEREVER THEY OCCUR WITHIN 20' OF ITS TRUNK. FENCED AREAS SHALL BE MAINTAINED IN A NATURAL CONDITION AND NOT COMPACTED.
- NO STORAGE OF EQUIPMENT OR CONSTRUCTION MATERIALS OR PARKING OF VEHICLES OR OPERATION OF EQUIPMENT IS PERMITTED WITHIN THE TPZ.
- NO SOIL MAY BE REMOVED FROM WITHIN THE DRIPLINE OF ANY TREE AND NO FILL OF ADDITIONAL SOIL CAN EXCEED TWO INCHES (2") WITHIN THE DRIPLINES OF TREES, UNLESS IT IS PART OF APPROVED CONSTRUCTION AND IS REVIEWED BY THE PROJECT ARBORIST.
- EXCAVATION SHALL BE MINIMIZED IN TREE ROOT ZONES. CONTRACTOR TO CONSIDER UTILITY TRENCH ALIGNMENTS PRIOR TO BEGINNING EXCAVATION TO MINIMIZE ENCROACHMENT INTO ROOT ZONES. ROOTS EXPOSED BY EXCAVATION MUST BE PRUNED CLEANLY AND RE-COVERED AS QUICKLY AS POSSIBLE TO PROMOTE CALLUSING, CLOSURE AND HEALTHY REGROWTH. WHERE EXCAVATION IS WITHIN TREE DRIPLINES, THE PROJECT ARBORIST SHALL REVIEW ON SITE DURING EXCAVATION AND ADVISE ON BEST METHODS TO MINIMIZE DAMAGE TO TREE. ALL ROOTS OVER 1" TO BE CUT CLEANLY WITH A SAW. EXPOSED ROOTS SHOULD BE DRAPED IMMEDIATELY WITH AT LEAST TWO LAYERS OF UNTREATED BURLAP OR CARPETS SECURED TO COVER THE EXCAVATED SURFACE TO A DEPTH OF 3 FEET. BURLAP OR CARPETING (OR TEMPORARY FILL) SHALL BE SOAKED NIGHTLY AND KEPT IN PLACE UNTIL THE EXCAVATED SURFACE IS BACKFILLED AND WATERED.
- SELECTIVELY PRUNE ANY TREE CROWNS THAT LEAN INTO THE CONSTRUCTION AREA. PRUNING TO BE DONE UNDER THE SUPERVISION OF THE PROJECT ARBORIST. CROWNS OF TREES THAT LEAN INTO THE CONSTRUCTION AREA SHOULD BE PRUNED PRIOR TO COMMENCEMENT OF EXCAVATION AND CONSTRUCTION TO MINIMIZE POTENTIAL FOR INADVERTENT DAMAGE.
- ALL TREE WORK SHALL BE PERFORMED BY PROFESSIONAL QUALIFIED TREE SERVICE PERSONAL AND SHALL BE MONITORED BY THE PROJECT ARBORIST. OAKS SHALL NOT BE TRIMMED DURING SPRING AND EARLY SUMMER WHEN NEW GROWTH IS MOST RAPID.

FOR ADDITIONAL INFORMATION REGARDING TREE PROTECTION/REMOVAL SEE FISCHELL RESIDENCE TREE RESOURCE ASSESSMENT AND MANAGEMENT PLAN PREPARED BY ONO CONSULTING. ALL TREE PROTECTION MEASURES DESCRIBED IN THE REPORT ARE TO BE FOLLOWED AT ALL TIMES DURING CONSTRUCTION. DATED: SEPTEMBER 30, 2023.

SEVEN SPRINGS STUDIO LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:

FISCHELL-MILLER RESIDENCE

PROJECT ADDRESS:

40 ARROYO SEQUOIA
CARMEL, CA 93923

APN: 239-091-040

ISSUANCE:

DESIGN REVIEW BOARD
FINAL REVIEW

PROJECT NO: 2022-05

DATE: 10/18/2023

REVISIONS:

DATE DESCRIPTION

SHEET NAME:

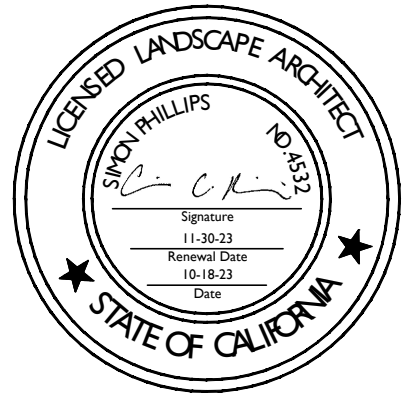
TREE REMOVAL
PLAN

SHEET NO:

L-1.1

SCALE: 1/16"= 1'-0"





PROJECT NAME:

FISCHELL-
MILLER
RESIDENCE

PROJECT ADDRESS:

40 ARROYO SEQUOIA
CARMEL, CA 93923

APN: 239-091-040

ISSUANCE:

DESIGN REVIEW BOARD
FINAL REVIEW

PROJECT NO: 2022-05

DATE: 10/18/2023

REVISIONS:

DATE	DESCRIPTION
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SHEET NAME:

TREE
MITIGATION
PLAN

SHEET NO:

L-1.2



TREE MITIGATION NOTES

MITIGATION TREES TO BE COAST LIVE OAKS AND VALLEY OAKS.

QUERCUS AGRIFOLIA (COAST LIVE OAK) - 18 TOTAL
12 @ 5 GAL.
6 @ 15 GAL.

QUERCUS LOBATA (VALLEY OAK) - 50 TOTAL
33 @ 5 GAL.
17 @ 15 GAL.

TOTAL - 68

TREES TO BE TEMPORARILY IRRIGATED FOLLOWING PLANTING FOR FIVE YEARS.

IRRIGATION TO BE INSTALLED ABOVE THE GROUND AND TO INCLUDE DRIP EMITTERS AT EACH TREE CONTROLLED VIA AN AUTOMATIC VALVE WHICH SHALL BE REMOVED AFTER 5 YEARS OR TREE ESTABLISHMENT - SEE IRRIGATION PLAN FOR ADDITIONAL INFORMATION.

THE HOME OWNER SHALL BE RESPONSIBLE FOR MAINTAINING AND REPLACING TREES DURING THE FIVE YEAR MAINTENANCE PERIOD.

DURING THE FIVE-YEAR MAINTENANCE PERIOD, DEAD OR DYING TREES SHALL BE REPLACED WITH TREES OF THE SAME SPECIES AND SIZE. AT THE END OF THE FIVE-YEAR PERIOD, ALL DEAD OR DYING TREES SHALL BE REPLACED AT THE PROJECT PROPONENT'S COST AND MAINTAINED ACCORDINGLY.

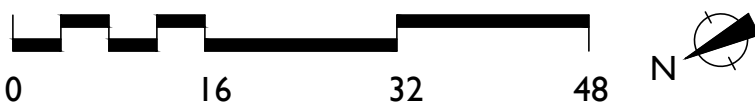
MONITORING
MITIGATION OAKS TO BE MONITORED ANNUALLY BY THE SANTA LUCIA CONSERVANCY OR A QUALIFIED ARBORIST TO REVIEW TREE HEALTH. ARBORIST TO SUBMIT A REPORT TO THE SLC EACH YEAR FOLLOWING REVIEW.

AT COMPLETION OF 5 YEAR MONITORING PERIOD ALL DEAD TREES SHALL BE REPLACED WITH NEW TREES AND MONITORED FOR AN ADDITIONAL 5 YEARS. THERE SHALL BE 100% SURVIVABILITY OF MITIGATION TREES.

 MITIGATION TREES - COAST LIVE OAKS - EACH SYMBOL REPRESENTS THREE TREES PLANTED IN THE SAME HOLE. TWO 5 GAL. AND ONE 15 GAL. STANDARDS.

 MITIGATION TREES - VALLEY OAKS - EACH SYMBOL REPRESENTS THREE TREES PLANTED IN THE SAME HOLE. TWO 5 GAL. AND ONE 15 GAL. STANDARDS.

SCALE: 1/16"= 1'-0"



- REFERENCE NOTES
- 1 FIRE DEPARTMENT PULL-OUT
 - 2 FIRE DEPARTMENT HAMMERHEAD TURN AROUND
 - 3 GUEST PARKING
 - 4 PLANTING TO SCREEN OUT ADJACENT HOME ON LOT 116. FRANGULA CALIFORNICA, 15 GAL. (PLANTING WITH IRRIGATION APPROVED BY SANTA LUCIA CONSERVANCY ON 9/29/2023. SEE EMAIL BELOW.)
 - 5 WOOD FENCE - 6' HIGH TO MATCH HOUSE SIDING.
 - 6 UNDERGROUND PROPANE TANK - SEE CIVIL DRAWINGS.
 - 7 WOOD GATE - 6' HIGH TO MATCH HOUSE SIDING
 - 8 GUARDRAIL - SEE IMAGE BELOW
 - 9 TRASH ENCLOSURE
 - 10 MECHANICAL ENCLOSURE: SEE ARCHITECTURAL DRAWINGS
 - 11 EXISTING ASPHALT PAVING AND BASE TO BE REMOVED
 - 12 STONE PILASTER OVER CMU - STONE TYPE TO MATCH ARCHITECTURAL STONE.
 - 13 WALL FOOTING TO BE HAND DUG IN ROOT ZONE - OMIT FOOTING IN AREA IF SIGNIFICANT ROOTS ARE OBSERVED AND BRIDGE AREA WITH CONCRETE GRADE BEAM. REVIEW FOOTING WITH PROJECT ARBORIST DURING EXCAVATION.
 - 14 ORNAMENTAL HANDRAIL: 1 1/2" X 3/4" FLAT BAR TO MATCH GUARDRAIL.

From: Andrew Nguyen <anguyen@slconservancy.org>
Sent: Friday, September 29, 2023 9:27 AM
To: simon.sevensprings@gmail.com
Cc: Carla Hashimoto <carla@ericmillerarchitects.com>
Subject: RE: Lot 115 Proposed Planting in Openlands

Simon,

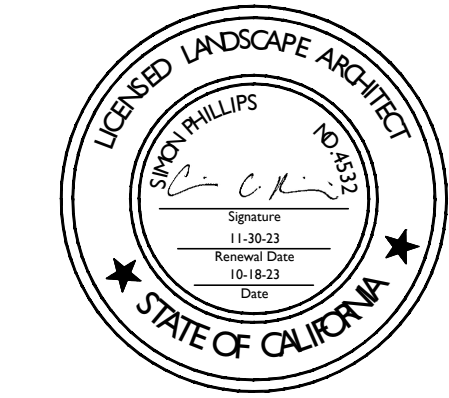
Thanks for reaching out and sharing this. The planting plan you've shared looks great and you have my approval to plant 5 coffee berry plants in the Openlands for screening purposes. One question I do have is whether you anticipate irrigation to be installed as part of this project.

Andrew Nguyen
Stewardship Manager
Santa Lucia Conservancy
(831) 238-0990
(He/him/his)



SEVEN
SPRINGS
STUDIO
LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:

FISCHELL-
MILLER
RESIDENCE

PROJECT ADDRESS:

40 ARROYO SEQUOIA
CARMEL, CA 93923

APN: 239-091-040

ISSUANCE:

DESIGN REVIEW BOARD
FINAL REVIEW

PROJECT NO: 2022-05
DATE: 10/18/2023

REVISIONS:

DATE	DESCRIPTION
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SHEET NAME:

OVERALL SITE
PLAN

SHEET NO:

SEE L-2.1 FOR WALL HEIGHT TABLE
SEE L-2.1 FOR LEGEND

SCALE: 1/16"= 1'-0"

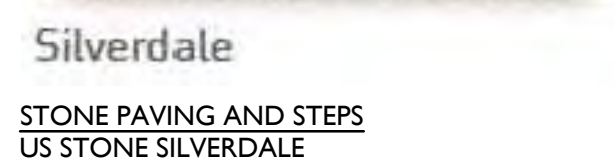
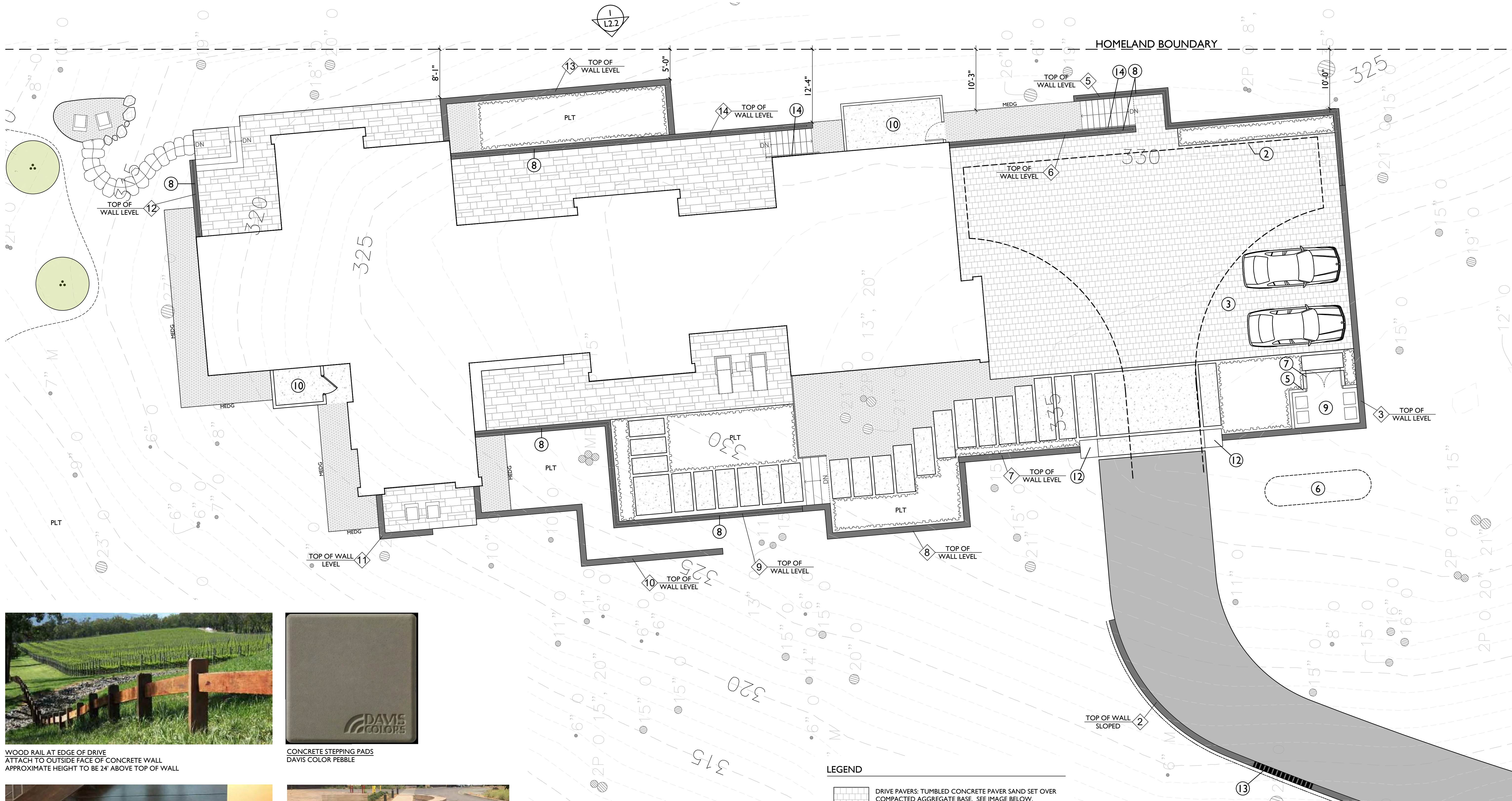


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 DRIVE PAVERS: TUMBLED CONCRETE PAVER SAND SET OVER COMPACTED AGGREGATE BASE. SEE IMAGE BELOW.

 STONE PAVING: SILVERDALE STONE - WET SET OVER A CONCRETE SUB-SLAB AND ANTIFRACTURE MEMBRANE - SUB-SLAB TO BE 4" THICK WITH #4 AT 16" O.C. OVER 4" COMPACTED CLASS II BASE. SEE IMAGE BELOW.

 CONCRETE STEPPING PADS WITH INTEGRAL COLOR - 'PEBBLE' BY DAVIS COLORS AND TOPCAST LIGHT SAND FINISH: 4" THICK WITH #4 AT 16" O.C. OVER 4" COMPACTED CLASS II BASE. SEE IMAGE BELOW.

 ASPHALT PAVING: SEE CIVIL DRAWINGS.

 CRUSHED GRAVEL: 2" SECTION OVER GOPHER WIRE AND FILTER FABRIC.

 CONCRETE STEPS: TO MATCH CONCRETE STEPPING PADS. SEE IMAGE BELOW.

 CONCRETE WALL: BOARD FORMED WALL WITH INTEGRAL COLOR - 'PEBBLE' BY DAVIS COLORS. SEE WALL LEGEND FOR HEIGHTS. SEE IMAGE BELOW.

 LOW WOOD RAIL: 24" ABOVE DRIVE ELEVATION. ATTACH TO OUTSIDE FACE OF RETAINING WALL. SEE IMAGE BELOW.

 GUARDRAIL: 42" HIGH MINIMUM. SEE IMAGE BELOW.

MEDG
METAL EDGE

PLT PLANTING AREA: SEE PLANTING PLAN

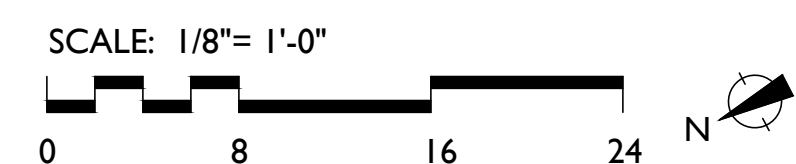
FFE FINISHED FLOOR ELEVATION

TW TOP OF WALL

FS FINISHED SURFACE

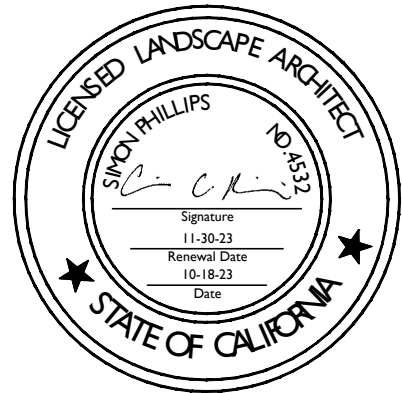
WALL LEGEND		
RETAINING WALL		
WALL	WALL HEIGHT	WALL LENGTH
1	2'-0"	46'-9"
2	1'-0" - 4'-0"	164'-8"
3	3'-0" - 4'-0"	65'-6"
4	LEFT BLANK	
5	0'-6" - 6'-6"	63'-6"
6	4'-0"	31'-6"
7	1'-6"	20'-7"
8	0'-0" - 4'-0"	44'-0"
9	2'-0" - 4'-0"	71'-2"
10	1'-6" - 4'-0"	55'-0"
11	2'-0" - 3'-6"	15'-5"
12	3'-0" - 4'-0"	13'-0"
13	0'-0" - 6'-6"	55'-7"
14	2'-6" - 5'-6"	61'-0"

- ① FIRE DEPARTMENT PULL-OUT
- ② FIRE DEPARTMENT HAMMERHEAD TURN AROUND
- ③ GUEST PARKING
- ④ PLANTING TO SCREEN OUT ADJACENT HOME ON LOT 116. FRANGULA CALIFORNICA. 15 GAL. (PLANTING WITH IRRIGATION APPROVED BY SANTA LUCIA CONSERVANCY ON 9/29/2023. SEE EMAIL BELOW.)
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- ⑭ ORNAMENTAL HANDRAIL: 1 1/2" x 3/4" FLAT BAR TO MATCH GUARDRAIL.



SEVEN
SPRINGS
STUDIO
LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:
**FISCHELL-
MILLER
RESIDENCE**

PROJECT ADDRESS:
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CARMEL, CA 93923
APN: 239-091-040

ISSUANCE:
**DESIGN REVIEW BOARD
FINAL REVIEW**

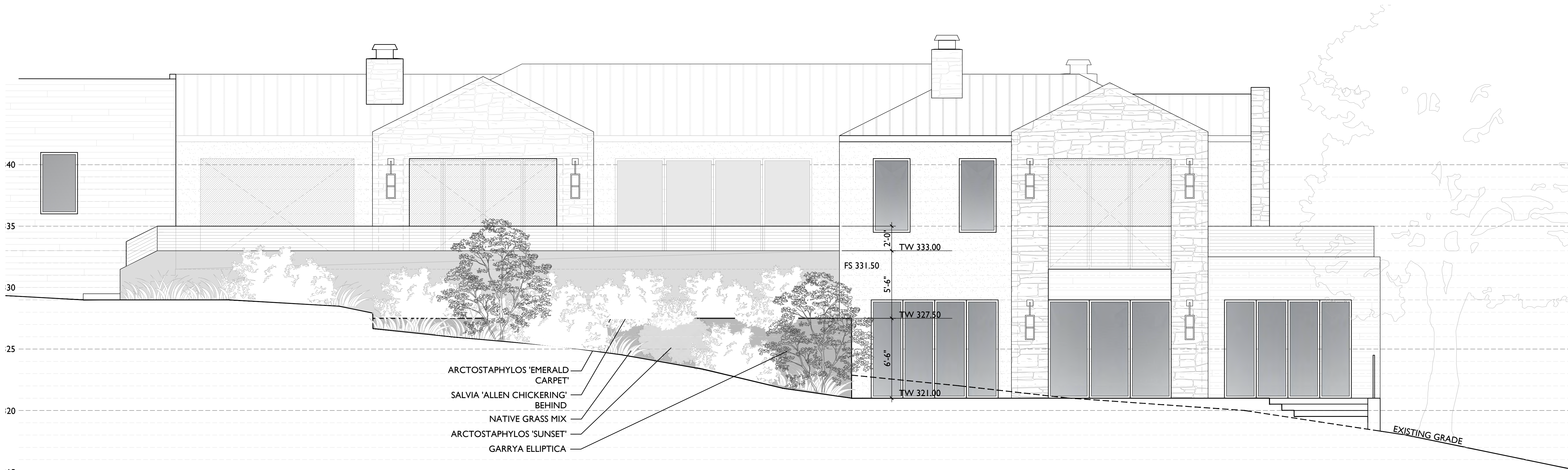
PROJECT NO: 2022-05
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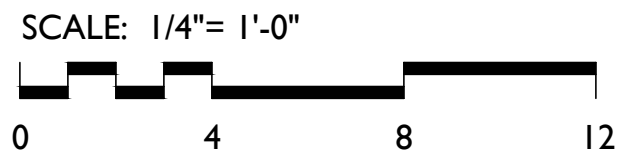
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SITE SECTIONS

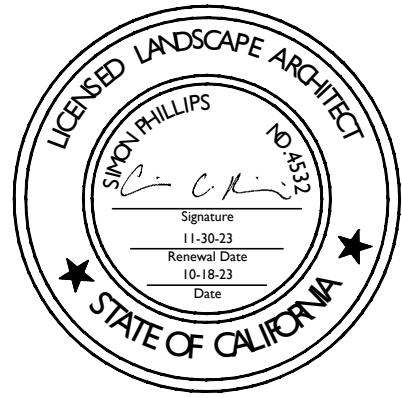
SHEET NO:

L-2.2



I EAST ELEVATION
1/4" = 1'-0"





PROJECT NAME:

FISCHELL-
MILLER
RESIDENCE

PROJECT ADDRESS:

40 ARROYO SEQUOIA
CARMEL, CA 93923

APN: 239-091-040

ISSUANCE:

DESIGN REVIEW BOARD
FINAL REVIEW

PROJECT NO: 2022-05

DATE: 10/18/2023

REVISIONS:

DATE DESCRIPTION

SHEET NAME:

PLANTING PLAN

SHEET NO:



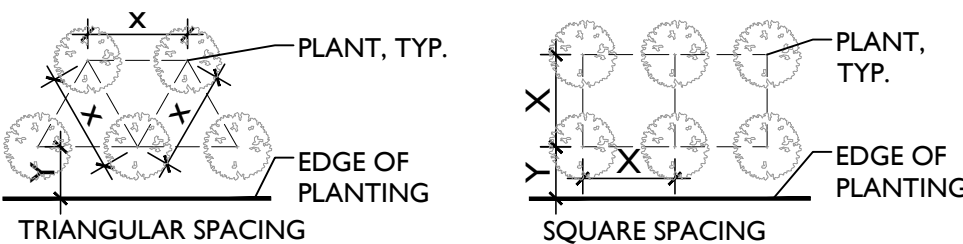
REFERENCE NOTES

- HYDOSEED LIMITS TO FOLLOW GRADING LIMITS AS DETERMINED IN FIELD
- HYDOSEED TO BE APPLIED AT 36 LBS/AC EVENLY BETWEEN THE SPECIES AS LISTED
- SEE TREE MITIGATION PLAN FOR PROPOSED MITIGATION PLANTING
- SEE OVERALL SITE PLAN SHEET L-2.0 FOR SCREEN PLANTING ALONG DRIVEWAY.
- SEED SPOILS AREA WITH SEED MIX LISTED IN LEGEND

GENERAL NOTES

- ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
- CONTRACTOR TO OBTAIN SOIL ANALYSIS PRIOR TO BEGINNING OF PLANTING AND TO PREPARE, AMEND AND FERTILIZE EXISTING SOIL FOLLOWING RECOMMENDATIONS IN THE SOIL ANALYSIS. PREPARE, AMEND, AND FERTILIZE EXISTING SOIL.
- PRE-MIX AMENDMENTS INTO SOIL BEFORE BACKFILLING PLANT PITS - DO NOT MIX INSIDE PITS. BREAK LARGE CLOUDS INTO SMALL PIECES. ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
- STAKE ALL TREES WITH MINIMUM 6' TALL LODGEPOLE STAKES, FOLLOWING STANDARD NURSERY PRACTICES.
- INSTALL 3" MULCH TO ALL PLANTING AREAS. MULCH TO BE SHREDDED CEDAR BARK OR SIMILAR. SUBMIT A SAMPLE OF MULCH FOR OWNER & LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION.
- PLANTING AREAS WITHIN 5' OF STRUCTURE TO BE MULCHED WITH 3/8" CRUSHED GRAVEL.
- COMPOST: COMPOST MINIMUM OF 4 CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA TILLED TO A DEPTH OF 6".
- ALL NEW PLANTING TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTEM, IRRIGATION CONTROLLER TO HAVE EITHER EVAPOTRANSPIRATION OR SOIL MOISTURE SENSING CAPABILITIES AND A RAIN SENSOR.
- ALL SEED AREAS TO BE TEMPORARILY IRRIGATED WITH OVERHEAD SPRAY. TEMPORARY IRRIGATION LINES TO BE INSTALLED ABOVE GROUND AND SHALL BE REMOVED AFTER ESTABLISHMENT OR 24 MONTHS, WHICHEVER IS SOONEST.
- MITIGATION TREES TO BE IRRIGATED AND MAINTAINED FOR 5 YEARS WITH A DRIP IRRIGATION SYSTEM.
- IRRIGATION SYSTEM TO HAVE A DEDICATED BACKFLOW PREVENTER AND MASTER SHUT OFF VALVE AT THE POINT OF CONNECTION.
- PRESSURE REGULATORS SHALL BE INSTALLED AT EACH DRIP VALVE AND SET TO THE OPTIMAL PRESSURE AS SUGGESTED BY THE MANUFACTURER OF THE DRIP EMITTERS. ALL DRIP ZONES INSTALLED ON SLOPES TO BE FITTED WITH CHECK VALVES AND ALL LINES TO INCLUDE FLUSH PORTS.
- MANUAL SHUT-OFF VALVE SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION AND AT VALVE MANIFOLDS.
- IRRIGATION VALVES TO CORRESPOND TO HYDROZONE LIMITS.
- SEE TREE MITIGATION PLAN FOR MITIGATION PLANTING - SHEET L-1.2.

PLANT SPACING AND PLANTING SETBACK DIAGRAM



- FOR SPACING 'X', SEE PLANTING PLAN LEGEND
- $Y = 1/2X + 12"$ UON

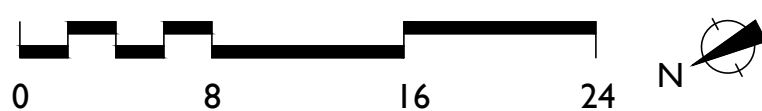
PLANT LEGEND

METAL HEADER: RYERSON OR EQUAL				
*WUC	CODE	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
L	Qa	QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL / 5 GAL
L	Ql	QUERCUS LOBATA	VALLEY OAK	15 GAL / 5 GAL
SHRUBS				
L	Am	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL
L	Ae	ARCTOSTAPHYLOS 'EMERALD CARPET'	EMERALD CARPET MANZANITA	1 GAL
L	Ap	ARCTOSTAPHYLOS 'PACIFIC MIST'	PACIFIC MIST MANZANITA	1 GAL
L	As	ARCTOSTAPHYLOS 'SUNSET'	SUNSET MANZANITA	5 GAL
L	Fm	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 GAL
L	Fc	FRANGULA CALIFORNICA	CALIFORNIA COFFEBERRY	15 GAL
L	Ge	GARRYA ELLIPTICA	SILK TASSEL	15 GAL
L	Jp	JUNCUS PATENS	CALIFORNIA GREY RUSH	1 GAL
L	Md	MUHLENBERGIA DUBIA	PINE MUHLY	1 GAL
L	Mr	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL
L	Sc	SALVIA C. 'ALLEN CHICKERING'	ALLEN CHICKERING SAGE	5 GAL
L	Ss	SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL
L	Tp	THYMUS 'PINK RIPPLE'	PINK RIPPLE THYME	4" POT
SEED MIX				
		ELYMUS GLAUCUS	BLUE WILDRIE	HYDOSEED
		STIPA PULCHRA	PURPLE NEEDLEGRASS	HYDOSEED
		BROMUS CARINATUS	CALIFORNIA BROME GRASS	HYDOSEED
		CRUSHED GRAVEL, 3/8" CALIFORNIA GOLD, 2" SECTION OVER FILTER FABRIC AND GOPHER WIRE OVER COMPACTED SUBGRADE.		

* WATER USE CATEGORY (WUC) KEY

WUCOLS REGION APPLICABLE TO THIS PROJECT: REGION I
H = HIGH; M = MODERATE; L = LOW; VL = VERY LOW; NL = SPECIES NOT LISTED
* FROM: WATER USE CLASSIFICATION OF LANDSCAPE SPECIES
A GUIDE TO THE WATER NEEDS OF LANDSCAPE PLANTS (WUCOLS)
REVISED 2014, UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, L.R. COSTELLO, K.S. JONES

SCALE: 1/8"= 1'-0"



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WATER EFFICIENT LANDSCAPE WORKSHEET - RESIDENTIAL

Project Name Fischell Residence
Project Number 22-05

Reference Evapotranspiration (ETo) 32.00

Hydrozone #/Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Use (ETWU) ^d
Regular Landscape Areas							
1 Entry Drive	0.3	drip	0.81	0.37	280	103.70	2057.48
2 Entry Garden	0.3	drip	0.81	0.37	490	181.48	3600.59
3 Back Garden	0.3	drip	0.81	0.37	400	148.15	2939.26
4 Gravel	0	drip	0.81	0.00	915	0.00	0.00
				Totals (A)	2085 (B)	433.33	8597.33
Special Landscape Areas							
				1.00		0.00	0.00
				Totals (C)	0 (D)	0.00	0.00
ETWU Total (Gallons)							8597.33
Maximum Allowed Water Allowance (MAWA) ^e (Gallons)							22751.52
ETWU (Acre Feet)							0.03
MAWA (Acre Feet)							0.07

^aHydrozone #/Planting Description
E.g.
1.) front lawn
2.) low water use plantings
3.) medium water use planting

^bIrrigation Method
overhead spray
or drip

^cIrrigation Efficiency
0.75 for spray head
0.81 for drip

^dETWU (Annual Gallons Required) =
Eto x 0.62 x ETAF x Area
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

^eMAWA (Annual Gallons Allowed) = (Eto) / (0.62) / (ETAF x LA) + ((1-ETAF) x SLA)
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Areas		
Total ETAF x Area	(B)	433.33
Total Area	(A)	2085.00
Average ETAF	B ÷ A	0.21

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas

Total ETAF x Area	(B+D)	433.33
Total Area	(A+C)	2085.00
Sitewide ETAF	(B+D) ÷ (A+C)	0.21

GENERAL NOTES

1. WARRANTY:
CONTRACTOR TO WARRANT THE IRRIGATION SYSTEM FOR ONE YEAR FOLLOWING INSTALLATION FROM DATE OF ACCEPTANCE. SYSTEM SHALL BE WARRANTIED FOR DEFECTIVE MATERIALS AND INSTALLATION ISSUES.

2. VERIFICATION:
FOR NEW SYSTEMS, DESIGN IS BASED ON 30 P.S.I. AND 20.P.M. REQUIRED AT DISCHARGE OUTLET OF POINT OF CONNECTION. VERIFY SAME AND NOTIFY OWNER'S REPRESENTATIVE IF SUCH DATA ADVERSELY AFFECTS THE OPERATION OF THE SYSTEM. SUCH NOTICE SHALL BE MADE IN WRITING AND PRIOR TO COMMENCING ANY IRRIGATION WORK.

3. UTILITIES:
VERIFY LOCATION OF ALL ON-SITE UTILITIES. PRESERVE AND PROTECT ALL SUCH UTILITIES UNLESS OTHERWISE NOTED. RESTORE DAMAGED UTILITIES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE, AND AT NO ADDITIONAL COST TO THE OWNER.

4. SCHEMATIC:
SYSTEM FEATURES ARE SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. INSTALL ALL PIPING AND VALVES IN COMMON TRENCHES WHERE FEASIBLE AND INSIDE PLANTING AREAS ADJACENT TO WALKWAYS AND INSIDE MEDIANS WHENEVER POSSIBLE.

5. CODES:
IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS. NOTIFY OWNER'S REPRESENTATIVE BY TELEPHONE AND IN WRITING OF ANY CONFLICTS PRIOR TO INSTALLATION.

6. MASTER VALVE / FLOW SENSOR:
a. CONNECT MASTER VALVE, AND FLOW SENSOR IF INCLUDED, TO CONTROLLER WITH COMMUNICATION CABLE. SEE IRRIGATION DETAILS. INSTALL IN-DICATED 1" DIAMETER PVC CONDUIT.
b. NORMALLY CLOSED MASTER VALVES: IF IRRIGATION CONTROLLER DOES NOT HAVE A MASTER VALVE OVER-RIDE FUNCTION / PROGRAM, THEN DEDICATE ONE STATION TO QUICK COUPLER USE.

7. CHECK VALVES:
INSTALL IN-LINE CHECK VALVES IN DRIP IRRIGATION SUPPLY LINES, AS REQUIRED TO MINIMIZE LINE DRAINAGE. ALLOW IN BID PRICE AN AMOUNT SUFFICIENT TO PROVIDE AND INSTALL ADDITIONAL CHECK VALVES TO ACCOMMODATE ANY NECESSARY FIELD CHANGES.

8. BORING
JET BORE OR DIRECTIONAL BORE UNDER EXISTING RIGID PAVING AREAS. DO NOT TRENCH ACROSS UNLESS SPECIFICALLY SHOWN ON THE DRAWINGS AND/OR APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.

9. SLEEVING:
SCH. 40 PVC PIPE FOR ALL WIRING AND IRRIGATION LINES INSTALLED UNDER PAVING AREAS AND THAT PASS THROUGH DRAINAGE TRENCHES WITH DRAIN ROCK. 4-INCH DIA. OR TWICE THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITHIN THE SLEEVE, WHICHEVER IS GREATER. INSTALL (WITH ENDS CLEARLY MARKED ABOVE GRADE) AT THE NECESSARY DEPTH PRIOR TO THE CONSTRUCTION OF PAVING AREAS OR FIELD BASES. SLEEVING TO EXTEND 12-INCHES FROM EDGE OF PAVING OR DRAINAGE TRENCH INTO ADJACENT SUBGRADE. NO UNSLEEVED PIPING, ANGLE-BENDS, 90-DEGREE BENDS, OR JOINTS SHALL BE ALLOWED UNDER PAVING.

10. DRIP VALVES
GROUP DRIP VALVE RUN TIMES TOGETHER IF REQUIRED TO ENSURE THE MINIMUM FLOW AS REQUIRED BY THE FLOW SENSOR.
INSTALL AIR RELIEF VALVES ON ALL DRIP ZONES - AIR RELIEF VALVES TO BE PLACED AT THE HIGH POINT OF THE ZONE. INSTALL FLUSH PORTS AT THE ENDS OF ALL DRIP SUPPLY LINES AND CHECK VALVES IN SYSTEMS ON SLOPES TO PREVENT WET AREAS AT THE BOTTOM OF THE SYSTEM.
INSTALL DRIP LINES PARALLEL TO THE NATURAL SLOPE OF THE PLANTING AREA WHERE POSSIBLE.

11. CONTROLLER:
INSTALL CONTROLLER AS SHOWN ON THE DRAWINGS. ALL ABOVE-GRADE CONDUIT SHALL BE RIGID STEEL SECURELY FASTENED TO STRUCTURE AND TO CONTROLLER.

12. PROGRAMMING / SCHEDULING:
a. SET UP ESTABLISHMENT IRRIGATION SCHEDULES FOR OPTIMUM PLANT GROWTH BASED ON ANTICIPATED WEATHER OVER THE MAINTENANCE PERIOD. WATER USE OF PLANTINGS (SEE PLANTING PLAN LEGEND) AND SUN EXPOSURE. ASSUME THE SOIL TYPE TO BE A SAND LOAM.
b. CONTROLLERS: PRIOR TO THE END OF THE MAINTENANCE PERIOD, PROGRAM THE CONTROLLER PER MANUFACTURER'S DIRECTIONS.
c. DO NOT CYCLE DRIP IRRIGATION APPLICATION MORE THAN ONCE PER DAY, ADJUST LENGTH OF RUN TIME TO PROVIDE THE REQUIRED VOLUME OF WATER IN ONE CYCLE.

13. VALVE BOXES:
CONTRACTOR TO INSTALL ALL VALVE BOXES A MINIMUM OF 18" FROM ADJACENT WALKS, WALLS AND PAVING EDGES. BOXES TO BE INSTALLED PERPENDICULAR TO THE ADJACENT EDGE WITH THE SHORT END OF THE BOX RUNNING PARALLEL TO THE EDGE. WHEN MULTIPLE BOXES ARE INSTALLED TOGETHER SEPARATE BOXES BY A MINIMUM OF 12".

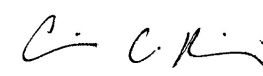
14. SYSTEM FLUSHING:
PRIOR TO INSTALLATION OF VALVES CONTRACTOR SHALL FLUSH MAIN LINE. CONTRACTOR TO INSTALL FLUSH PORTS AT THE END OF ALL DRIP LINES FOR FUTURE MAINTENANCE USE. ENTIRE SYSTEM TO BE FLUSHED AT THE COMPLETION OF INSTALLATION.

15. PRESSURE TEST:
CONTRACTOR SHALL PRESSURE TEST THE MAIN LINE PRIOR AT A MINIMUM OF 100 PSI FOR 2 HOURS PRIOR TO BACKFILLING TRENCHES. SECURE PIPE AS NEEDED PRIOR TO PRESSURE TESTING.

16. AS BUILT:
AT COMPLETION OF PROJECT CONTRACTOR SHALL PROVIDE TO OWNER AN AS BUILT DRAWING SHOWING DIMENSIONS OFF SITE FEATURES OR BUILDING WALLS TO MAIN LINE TRENCHES. AS BUILT PLAN TO SHOW VALVE LOCATIONS AND NUMBERS AS SEQUENCED WITH THE IRRIGATION CONTROLLER.

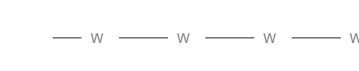
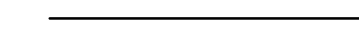
MONTEREY COMPLIANCE STATEMENT

I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

 SIMON PHILLIPS 4532 10-18-2023
SIGNED NAME CLA# DATE

LEGEND

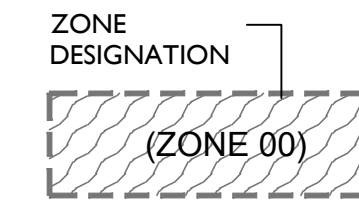
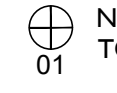
SYMBOL MANUFACTURER DESCRIPTION

	MAIN LINE: 18" MINIMUM COVER. SCH/CLASS FOR PIPE / FITTINGS PER TABLE, BELOW. 1" DIAMETER UNLESS SHOWN OTHERWISE.
	POTABLE SERVICE TO HOUSE: 2" DIA. SEE CIVIL DRAWINGS.
	LATERAL LINE / DRIP IRRIGATION SUPPLY LINE: 18" MIN. COVER, 24" UNDER AC PAVING SCH 40. SEE CHART FOR SIZE.
	STUB OUT: SEE IRRIGATION DETAILS
	SUPERIOR 3200 NORMALLY OPEN MASTER VALVE (MV) WITH FLOW SENSOR
	NDS FULL PORT, TRUE UNION, PVC BALL VALVE: LINE SIZE
	RAINBIRD PEB REMOTE CONTROL VALVE: SIZE AS SHOWN ON PLAN.
	WATTS / FEBCO LEAD-FREE BACKFLOW PREVENTER LF825YA W/ BRONZE WYE STRAINER. DARK GREEN BLANKET
	HUNTER CONTROLLER WITH MV TERMINAL, WALL MOUNT, 24 STATIONS. MODEL # PRO-C
	HUNTER ET SENSOR: SOLAR SYNC (WIRED)
	HOSE BIBB MOUNT HOSE BIBB ON 4X4 REDWOOD POST - 24" ABOVE GRADE.
	HUNTER MP ROTATOR - NOZZLE AS NEEDED
	1" CONDUIT: 24" DEPTH MINIMUM. FOR ET SENSOR WIRE
	POINT OF CONNECTION

TOTAL IRRIGATED LANDSCAPE AREA=0.04 ACRES. ANNUAL WATER REQUIREMENT=0.03 ACRE-FEET

LEGEND - DRIP IRRIGATION

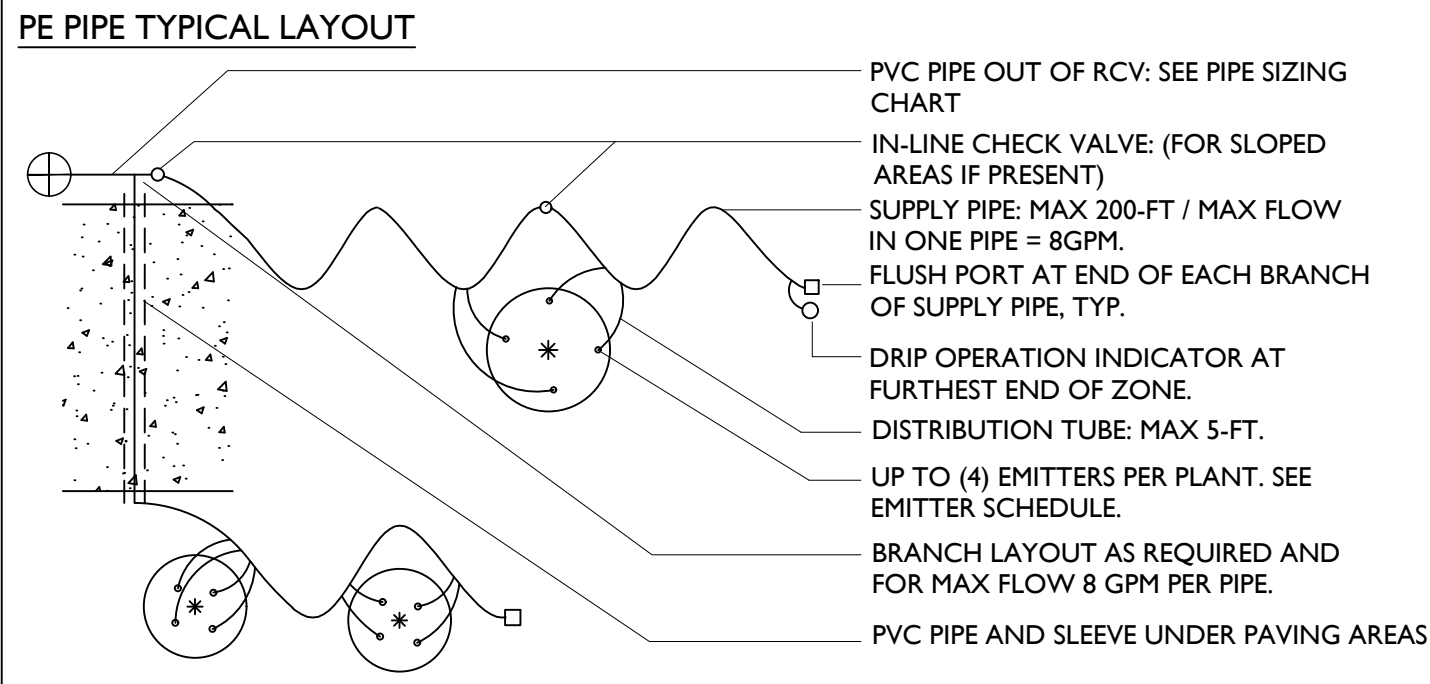
SYM MANUFACTURER DESCRIPTION

	POINT-SOURCE: 3/4" I.D. PE SUPPLY PIPE & 1/4" I.D. PE DISTRIBUTION TUBES. SEE SPEC. SEE IRRIGATION DETAILS. EMITTERS: 2.0 GPH PRESSURE COMPENSATING W/ BUG/DUST CAP. RAINBIRD XERLBUG / TORO NGE / NETAFIM WPC. SEE EMITTER SCHEDULE. MANUAL FLUSH VALVE AT END OF EACH BRANCH OF SUPPLY PIPE. RAINBIRD DRIP OPERATION INDICATOR AT FURTHEST END OF EACH ZONE. SEE SCHEMATIC IRRIGATION DIAGRAM.
	NETAFIM HIGH FLOW CONTROL ZONE KIT W/ DISC FILTER (4.5-17.6 GPM). LOW FLOW KIT W/ DISC FILTER (0.25-4.4 GPM)
	RAINBIRD XCZLF-100- / XCZ-075 CONTROL ZONE KIT. PRBR FILTER. -100 > 5.0 GPM. -075 < 5.0 GPM AS REQUIRED PER ZONE
	TORO DZK-TPV-1-LF / MF DRIP ZONE VALVE KIT. MF > 4.5 GPM LF < 4.5 GPM AS REQUIRED PER ZONE
	POINT SOURCE IRRIGATION - SEE NOTES 3 & 4 BELOW

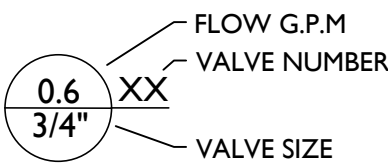
REFERENCE NOTES

- HYDROSEED TO BE TEMPORARILY IRRIGATED WITH OVERHEAD SPRAY. IRRIGATION TO BE INSTALLED WITH LATERAL LINE ABOVE GROUND AND STAKED TO THE GROUND. IRRIGATION TO BE REMOVED AFTER 24 MONTHS. CONTRACTOR TO USE HUNTER MP ROTATORS - ENSURE NOZZLES ARE ADJUSTED TO AVOID SPRAY ONTO TRUNKS OF EXISTING OAK TREES. ADD HEADS ON EITHER SIDE OF TREES AS NEEDED.
- POTABLE WATER SERVICE TO HOUSE - 2" DIAMETER. SEE CIVIL DRAWINGS.
- IRRIGATION AT MITIGATION TREES TO BE THREE 2.0 GPH EMITTERS AT EACH GROUPING OF THREE TREES - INSTALL ONE ON THE UPHILL SIDE OF THE TREES AND TWO CENTERED ON THE TREES ON EITHER SIDE OPPOSITE EACH OTHER. LATERAL LINE TO TREE LOCATIONS TO BE CLASS 200 PVC AND SHOULD BE INSTALLED BELOW THE DUFF LAYER - CARE SHOULD BE TAKEN TO AVOID DISTURBING EXISTING TREE ROOT SYSTEMS DURING INSTALLATION.
- IRRIGATION AT COFFEEBERRY SCREEN TO BE TWO 2.0 GPH EMITTERS AT EACH SHRUB. LATERAL LINE TO TREE LOCATIONS TO BE CLASS 200 PVC AND SHOULD BE INSTALLED BELOW THE DUFF LAYER.

DRIP IRRIGATION POINT SOURCE TYP. SCHEMATIC DIAGRAM	EMITTER SCHEDULE	
SEE PLANTING PLAN FOR PLANT SIZES AND LOCATIONS. PE SUPPLY PIPE AND PE DISTRIBUTION TUBE ALIGNMENTS PER REQUIREMENTS OF PLANTING. INSTALL EMITTERS PER EMITTER SCHEDULE, AND ALLOW FOR ADDITIONAL PORTS TO EACH PLANT FOR FUTURE NEEDS. LOCATE EMITTERS TOWARDS THE UPHILL SIDE OF PLANTS ON SLOPES. SEE IRRIGATION DETAILS.	1 GAL.	1
	5 GAL.	2
	15 GAL.	3
	24" BOX	4

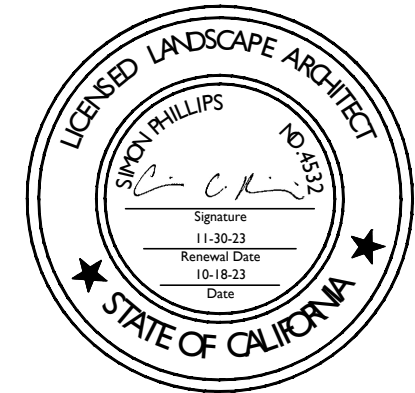


PIPE SIZING CHART - SCH 40	
MP ROTATOR LATERALS	
POINT-SOURCE DRIP SUPPLY LINES	
ZONE / PARTIAL ZONE FLOW	PIPE SIZE
0-8 GPM	PVC 3/4"
8.1-13 GPM	PVC 1"
13.1-22 GPM	PVC 1-1/4"
22.1-30 GPM	PVC 1-1/2"
3/4" IS MINIMUM PIPE SIZE.	



SEVEN SPRINGS STUDIO LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:

FISCHELL-MILLER RESIDENCE

PROJECT ADDRESS:

40 ARROYO SEQUOIA
CARMEL, CA 93923

APN: 239-091-040

ISSUANCE:

DESIGN REVIEW BOARD
FINAL REVIEW

PROJECT NO: 2022-05
DATE: 10/18/2023

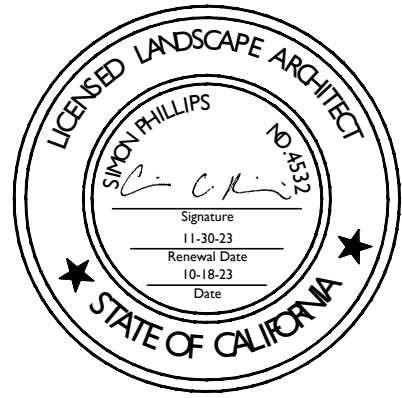
REVISIONS:

DATE DESCRIPTION

SHEET NAME:

IRRIGATION NOTES

SHEET NO:



PROJECT NAME:

FISCHELL-
MILLER
RESIDENCE

PROJECT ADDRESS:

40 ARROYO SEQUOIA
CARMEL, CA 93923

APN: 239-091-040

ISSUANCE:

DESIGN REVIEW BOARD
FINAL REVIEW

PROJECT NO: 2022-05

DATE: 10/18/2023

REVISIONS:

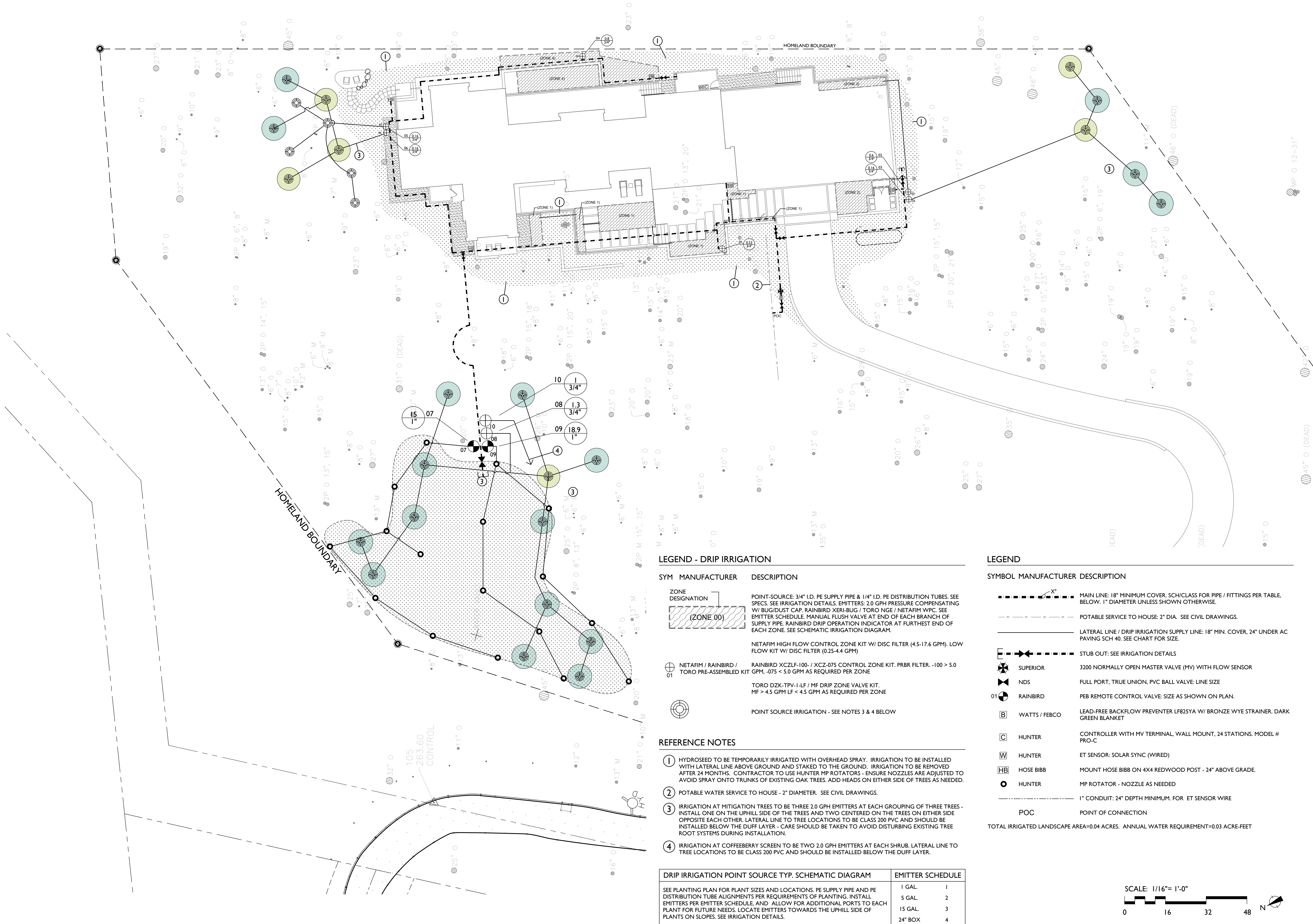
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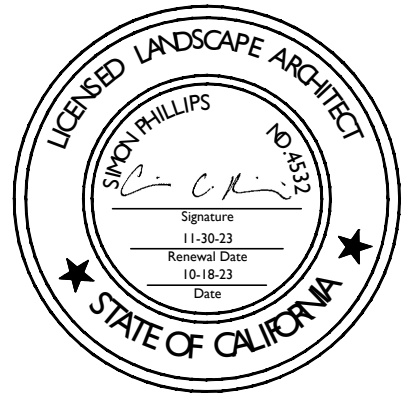
SHEET NAME:

IRRIGATION PLAN

SHEET NO:

L-4.I





PROJECT NAME:

FISCHELL-
MILLER
RESIDENCE

PROJECT ADDRESS:

40 ARROYO SEQUOIA
CARMEL, CA 93923

APN: 239-091-040

ISSUANCE:

DESIGN REVIEW BOARD
FINAL REVIEW

PROJECT NO: 2022-05

DATE: 10/18/2023

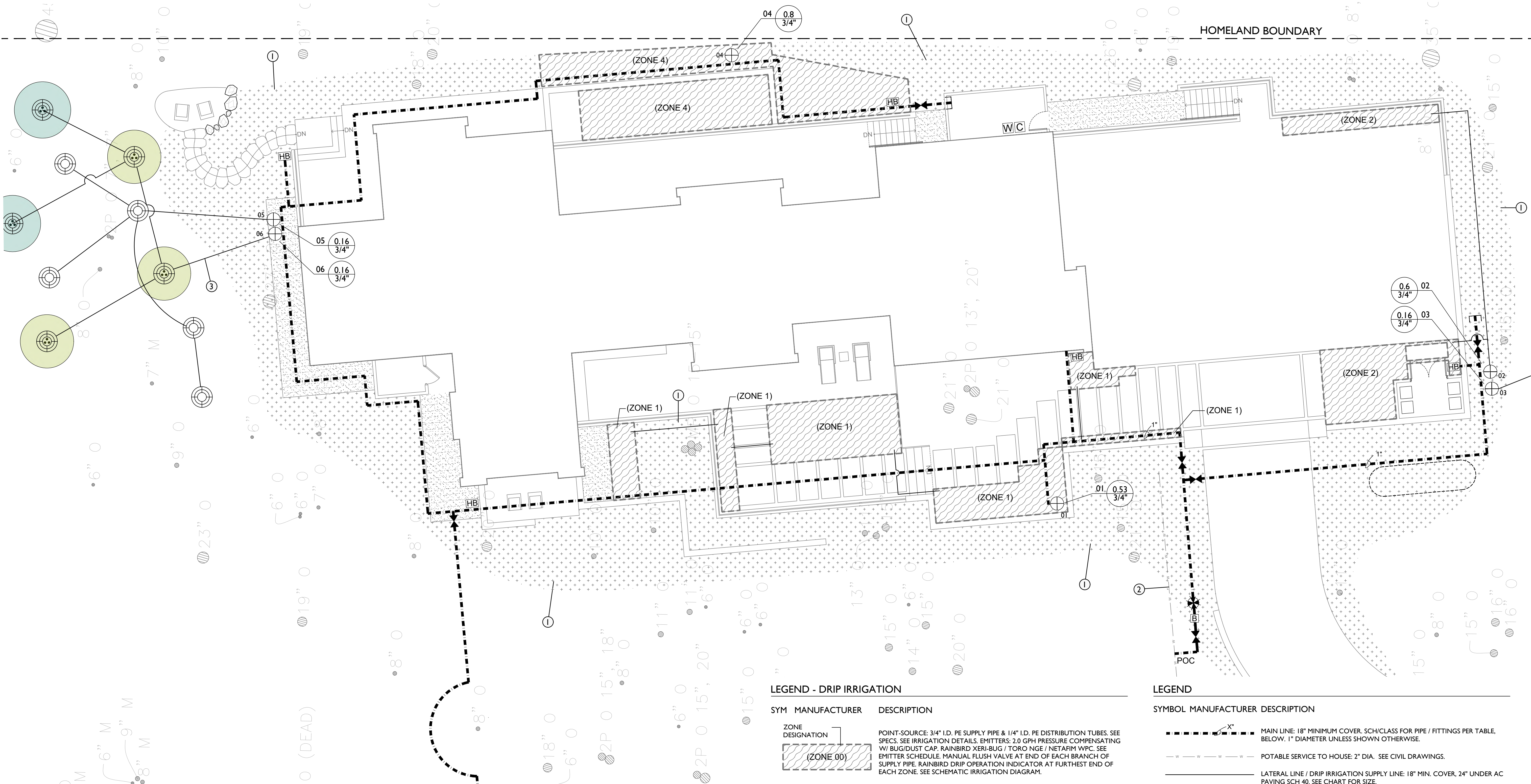
REVISIONS:

DATE DESCRIPTION

SHEET NAME:

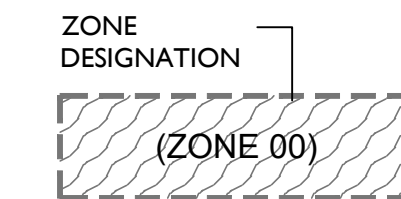
IRRIGATION PLAN

SHEET NO:



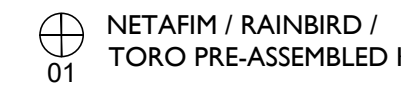
LEGEND - DRIP IRRIGATION

SYM MANUFACTURER DESCRIPTION



POINT-SOURCE: 3/4" I.D. PE SUPPLY PIPE & 1/4" I.D. PE DISTRIBUTION TUBES. SEE SPECS. SEE IRRIGATION DETAILS. EMITTERS: 2.0 GPH PRESSURE COMPENSATING W/ BUG/DUST CAP. RAINBIRD XERI-BUG / TORO NGE / NETAFIM WPC. SEE EMITTER SCHEDULE. MANUAL FLUSH VALVE AT END OF EACH BRANCH OF SUPPLY PIPE. RAINBIRD DRIP OPERATION INDICATOR AT FURTHEST END OF EACH ZONE. SEE SCHEMATIC IRRIGATION DIAGRAM.

NETAFIM HIGH FLOW CONTROL ZONE KIT W/ DISC FILTER (4.5-17.6 GPM). LOW FLOW KIT W/ DISC FILTER (0.25-4.4 GPM)



RAINBIRD XCZLF-100- / XCZ-075 CONTROL ZONE KIT. PRBR FILTER. -100 > 5.0 GPM. -075 < 5.0 GPM AS REQUIRED PER ZONE

TORO DZK-TPV-1-LF / MF DRIP ZONE VALVE KIT.
MF > 4.5 GPM LF < 4.5 GPM AS REQUIRED PER ZONE



POINT SOURCE IRRIGATION - SEE NOTES 3 & 4 BELOW

REFERENCE NOTES

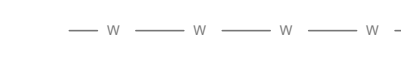
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- POTABLE WATER SERVICE TO HOUSE - 2" DIAMETER. SEE CIVIL DRAWINGS.
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- IRRIGATION AT COFFEEBERRY SCREEN TO BE TWO 2.0 GPH EMITTERS AT EACH SHRUB. LATERAL LINE TO TREE LOCATIONS TO BE CLASS 200 PVC AND SHOULD BE INSTALLED BELOW THE DUFF LAYER.

LEGEND

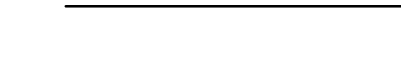
SYMBOL MANUFACTURER DESCRIPTION



MAIN LINE: 18" MINIMUM COVER. SCH/CLASS FOR PIPE / FITTINGS PER TABLE. BELOW. 1" DIAMETER UNLESS SHOWN OTHERWISE.



POTABLE SERVICE TO HOUSE: 2" DIA. SEE CIVIL DRAWINGS.



LATERAL LINE / DRIP IRRIGATION SUPPLY LINE: 18" MIN. COVER, 24" UNDER AC PAVING SCH 40. SEE CHART FOR SIZE.



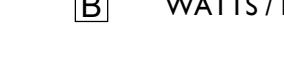
STUB OUT: SEE IRRIGATION DETAILS



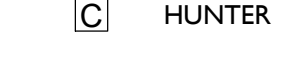
3200 NORMALLY OPEN MASTER VALVE (MV) WITH FLOW SENSOR



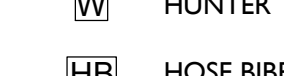
FULL PORT, TRUE UNION, PVC BALL VALVE: LINE SIZE



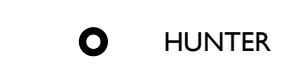
PEB REMOTE CONTROL VALVE: SIZE AS SHOWN ON PLAN.



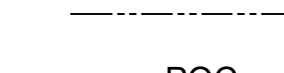
LEAD-FREE BACKFLOW PREVENTER LF825YA W/ BRONZE WYE STRAINER. DARK GREEN BLANKET



CONTROLLER WITH MV TERMINAL, WALL MOUNT, 24 STATIONS. MODEL # PRO-C



ET SENSOR: SOLAR SYNC (WIRED)



MOUNT HOSE BIBB ON 4X4 REDWOOD POST - 24" ABOVE GRADE.



MP ROTATOR - NOZZLE AS NEEDED



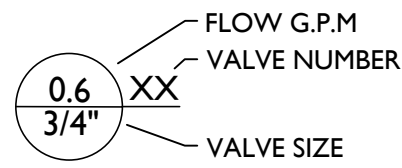
1" CONDUIT: 24" DEPTH MINIMUM. FOR ET SENSOR WIRE



POINT OF CONNECTION

TOTAL IRRIGATED LANDSCAPE AREA=0.04 ACRES. ANNUAL WATER REQUIREMENT=0.03 ACRE-FEET

PIPE SIZING CHART - SCH 40	
MP ROTATOR LATERALS	
POINT-SOURCE DRIP SUPPLY LINES	
ZONE / PARTIAL ZONE FLOW	PIPE SIZE
0-8 GPM	PVC 3/4"
8.1-13 GPM	PVC 1"
13.1-22 GPM	PVC 1-1/4"
22.1-30 GPM	PVC 1-1/2"
3/4" IS MINIMUM PIPE SIZE.	



FLOW G.P.M.

VALVE NUMBER

VALVE SIZE

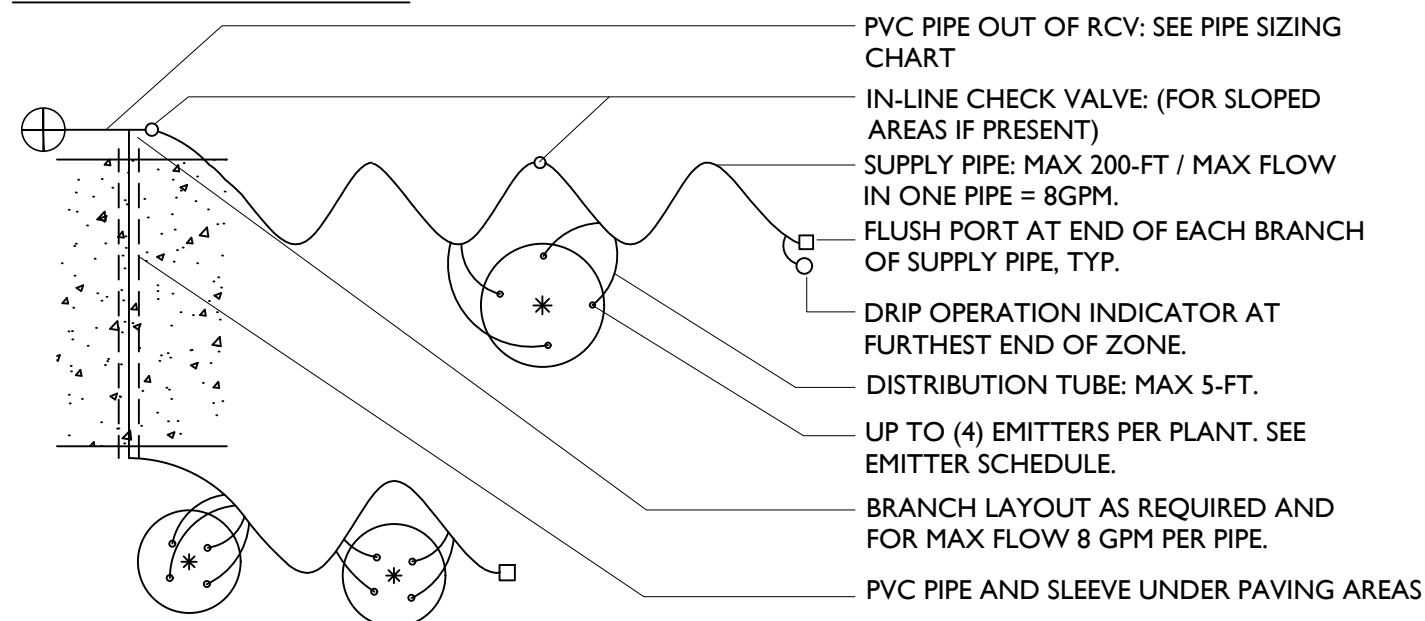
DRIP IRRIGATION POINT SOURCE TYP. SCHEMATIC DIAGRAM

SEE PLANTING PLAN FOR PLANT SIZES AND LOCATIONS. PE SUPPLY PIPE AND PE DISTRIBUTION TUBE ALIGNMENTS PER REQUIREMENTS OF PLANTING. INSTALL EMITTERS PER EMITTER SCHEDULE, AND ALLOW FOR ADDITIONAL PORTS TO EACH PLANT FOR FUTURE NEEDS. LOCATE EMITTERS TOWARDS THE UPHILL SIDE OF PLANTS ON SLOPES. SEE IRRIGATION DETAILS.

EMITTER SCHEDULE

1 GAL.	1
5 GAL.	2
15 GAL.	3
24" BOX	4

PE PIPE TYPICAL LAYOUT



MONTEREY COMPLIANCE STATEMENT

I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

Simon Phillips

SIMON PHILLIPS

4532

10-18-2023

SIGNED

NAME

CLA#

DATE

G:\shortcuts\targets-by-id\1\UT5box\XUI\h5\1VRK-gas3CHRPD\3Bnd\2022-05_L-5.0 Lighting.dwg 10/17/2023 Miller Residence SLP\CAD\2022-05_L-5.0 Lighting.dwg 10/17/2023



SEVEN
SPRINGS
STUDIO
LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617

PROJECT NAME:
**FISCHELL-
MILLER
RESIDENCE**

PROJECT ADDRESS:
40 ARROYO SEQUOIA
CARMEL, CA 93923
APN: 239-091-040



SPECIFICATION SHEET

SPJ570-D
Column



MODEL: SPJ570-D
MATERIAL : Marine Grade Stainless Steel
FINISH : Specify
GLASS : Specify
ELECTRICAL : 120v
SOCKET : 1 Medium Base
LAMP : 2W LED

Stainless steel requires regular cleaning and maintenance, much like household appliances, to maintain its luster and to prevent tarnishing or the appearance of rust like stains.

Specify Wet Location

DRAWN BY: MMC BASE DESIGN: SPJ DATE: 01-10-10
SPJ LIGHTING INC.
2107 Chico Avenue
South El Monte, CA 91733
(800) 469-3637 FAX: (626) 433-4839

3 PILASTER LIGHT



2 PATH LIGHT

SPJ-SQ100-F

Model:	SPJ-SQ100-F
Shown:	Satin Brass
Material:	Solid Brass
Finish:	Specify
Electrical:	12V
Engine:	FB-LS2
Lumens:	150
Color Temp:	2700K
Mounting:	1/2" NPT, Dual Fin Spike Incl.
LED:	Nichia Forever Bright



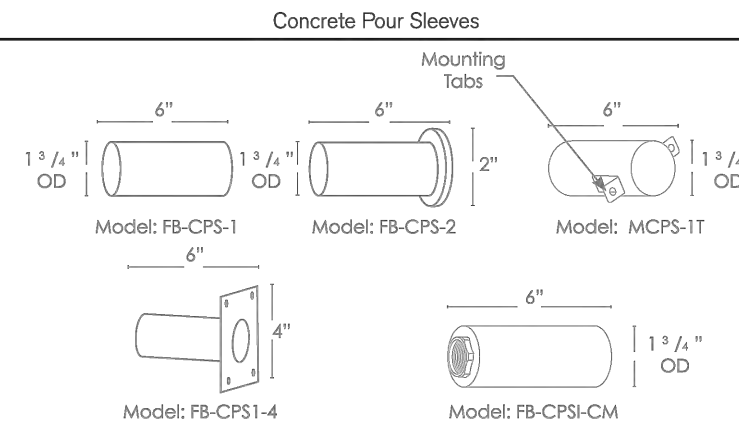
Model: **SPJ-FB-275-3**
Finish: Matte Bronze

The Versatile GDG Series

DESCRIPTION

Model#: SPJ-FB-275-3
Engine: FB-2W-CYL-TA16 (standard)
Lumens: 150
Optics: Wide Angle Flood
Color Temp: 2700K
Electrical: 8-15V, 120V
Mounting: Recessed
LED: Nichia

Unlimited LED Lumen Packages & Color Temperatures Available!



ORDERING INFORMATION						
Model#	Finishes	Wattage	Optics	Lumens	Color Temp.	Electrical
SPJ-FB-275-3	MBR	2W	WIDE ANGLE FLOOD	150	2700K	8-15V
Y = Vert M = Brass AG = Aged Brass WB = White Bronze SB = Satin Brass GM = Gun Metal B = Black R = Rusty PWP = PVD Polished PVS = PVD Satin						

WWW.SPJLIGHTING.COM

1 WALL LIGHT

Forever Bright

SPECIFICATION FEATURES

Finish: Our naturally etched finishes will withstand the test of time. All finishes are individually treated insuring consistency. Our meticulous application results in a fixture that truly becomes "a one of a kind".
Electrical: Available in 8-15V or 120V
Labels: ETL Standard Wet Label
C-ETL

Concrete Pour Steeves



FIXTURE LEGEND

SYM	TYPE	MANUFACTURER	LAMP	LUMENS	COMMENTS
	WALL LIGHT	SPJ Lighting SPJ-FB-275-3	2W LED	150	SEE 1/L-5.0
	PATH LIGHT	SPJ-SQ100F	2W LED	150	SEE 2/L-5.0
	PILASTER LIGHT	SPJ570-SS-D	2W LED	150	SEE 3/L-5.0

ISSUANCE:
**DESIGN REVIEW BOARD
FINAL REVIEW**

PROJECT NO: 2022-05
DATE: 10/18/2023

REVISIONS:
DATE DESCRIPTION

SHEET NAME:

LIGHTING PLAN

SHEET NO:

SCALE: 1/8"= 1'-0"



L-5.0

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